GENERAL CONDITIONS

01.NEW 2604 SQ.FT. SINGLE FAMILY HOME WITH 3 BEDROOMS, 3.5 BATHS, 672 SO.FT.. 2 CAR GARAGE AND 544 SQ.FT. DECKS

02. GENERAL CONDITIONS: PERFORM ALL WORK REQ'D BY THE CONTRACT DOCUMENTS FOR THE ALTERATION, RENOVATION, REPAIR & REHABILITATION OF THE DESIGNATED PREMISES, INCLUDING ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, SCAFFOLDING & OTHER FACILITIES & SERVICES NECESSARY FOR THE PROPER & COMPLETE EXECUTION OF THE WORK. THESE GENERAL CONDITIONS SHALL APPLY TO ALL WORK INDICATED IN THIS DRAWING SET & SHALL EXTEND TO ANY CHANGES OR ADDITIONAL SCOPE DEVELOPED DURING THE COURSE OF THE PROJECT.

03. EXCLUSIONS: CONTRACTOR SHALL MAKE KNOWN TO ARCHITECT & OWNER ANY LIMITATIONS, EXCLUSIONS OR MODIFICATIONS TO THE PROJECT EXPLICITLY IN THE PROJECT ESTIMATE. UNLESS SPECIFICALLY EXCLUDED, THEY WILL BE PRESUMED TO BE INCLUDED IN THE PRICING OF THE PROJECT.

- 04. COMPLEMENTARY DOCUMENTS: THE ARCHITECT'S DRAWINGS, SPECIFICATIONS & CONSTRUCTION NOTES ARE COMPLEMENTARY, & WHAT IS CALLED FOR BY ONE SHALL BE BINDING AS IF CALLED FOR BY ALL.
- 05. INCONSISTENCIES: WHERE DIFFERENCES BETWEEN DRAWINGS, NOTES & SPECIFICATIONS OCCUR, THE DECISION OF THE ARCHITECT SHALL GOVERN AS TO WHICH TAKES PRECEDENCE. THE ARCHITECT SHALL PROMPTLY RESOLVE ANY SUCH DISCREPANCIES BROUGHT FORWARD BY THE CONTRACTOR.
- 06. MISSING INFORMATION: THE CONTRACTOR SHALL STUDY THE DRAWINGS, NOTES, SPECIFICATIONS & OTHER INSTRUCTIONS, & NOTIFY THE ARCHITECT OF ANY INCONSISTENCIES OR MISSING INFORMATION REQ'D FOR FABRICATION OR FROM THE ARCHITECT BEFORE PROCEEDING W/ THE WORK.
- 07. DOUBTFUL CONDITIONS / FIELD CONDITIONS: VERIFY ALL (E) CONDITIONS & DIMENSIONS AFFECTING THE WORK ON SITE. NOTIFY THE ARCHITECT OF ANY CONDITIONS THAT ARE FOUND CONTRARY TO THOSE SHOWN ON THE DRAWINGS, OR OF ANY DOUBTFUL CONDITIONS THAT MIGHT AFFECT QUALITY OR INTERFERE W/ THE PROPER COMPLETION OF WORK BEFORE COMMENCING WORK. COMMENCEMENT OF WORK INDICATES ACCEPTANCE OF (E) CONDITIONS.
- 08. PERMITS AND APPROVALS: OBTAIN ALL REQUIRED PERMITS & PAY FEES FOR PERMITS, LICENSES, INSPECTIONS, FILINGS & APPROVALS REQUIRED BY LOCAL LAWS, ORDINANCES & REGULATIONS NECESSARY FOR COMPLETION OF THE PROJECT. SCHEDULE REQUIRED INSPECTIONS IN A TIMELY MANNER SO AS NOT TO INTERRUPT PROGRESS OF THE WORK.
- 09. A VALID WORK PERMIT SHALL BE PROMINENTLY DISPLAYED AT THE JOB SITE FOR THE ENTIRE DURATION OF THE WORK
- 10. COMPLIANCE WITH CODES: ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE SAN MATEO COUNTY PLANNING OFFICE, FIRE & EMERGENCY SERVICES & LOCAL UTILITY COMPANIES. WHERE REQUIREMENTS OF THESE CODES ARE CONTRADICTORY, THE MORE STRINGENT RULE SHALL APPLY.
- 11. MEANS AND METHODS: THE CONTRACTOR SHALL SUPERVISE THE WORK USING THE BEST SKILL & ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR. & SHALL HAVE CONTROL OVER, CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES.
- 12. SAFETY: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR INITIATING, MAINTAINING & SUPERVISING SAFETY PRECAUTIONS IN CONNECTION W/ THE WORK. HE SHALL GIVE NOTICES & COMPLY W/ ALL APPLICABLE LAWS, ORDINANCES, REGULATIONS & ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE SAFETY OF PERSONS AND PROPERTY, & THEIR PROTECTION FROM DAMAGE, INJURY & LOSS. HE SHALL INSURE THAT THE JOB SITE IS MAINTAINED AT ALL TIMES SO AS TO PREVENT INJURY OR DAMAGE TO ALL PERSONS WORKING ON OR VISITING THE PREMISES, & TO THEIR PROPERTY.
- 13. HAZARDOUS MATERIALS: IN THE EVENT THE CONTRACTOR ENCOUNTERS ASBESTOS OR PRODUCTS CONTAINING ASBESTOS, REMOVE ALL PERSONS FROM THE PROPERTY IMMEDIATELY W/O DISTURBING THESE PRODUCTS & NOTIFY THE OWNER. THE CONTRACTOR SHALL TAKE APPROPRIATE MEASURES TO PROTECT ALL PARTIES FROM POTENTIAL HAZARDS PRODUCED BY REMOVAL OF OR DAMAGE TO LEAD-BASED PAINTS OR OTHER SIM. HAZARDOUS MATERIALS, ON OR ABOUT THE PROPERTY.
- 14. SCHEDULE: SUBMIT A CONSTRUCTION SCHEDULE TO ARCHITECT & OWNER PRIOR TO COMMENCING WORK. THE SCHEDULE SHALL INDICATE THE CHRONOLOGICAL PHASES OF WORK THROUGH PROJECT COMPLETION. THE SCHEDULE SHALL INDICATE ORDERING LEAD TIME, START & COMPLETION DATES FOR EACH TRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR MEETING THE APPROVED SCHEDULE.
- 15. SEQUENCE AND COORDINATION: THE CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES & SUBCONTRACTORS FOR ALL PORTIONS OF THE WORK UNDER THIS CONTRACT. THE CONTRACTOR SHALL ALSO COOPERATE IN SEQUENCING INSTALLATION OF ITEMS FURNISHED BY THE OWNER.
- 16. APPROVED MATERIALS: THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERM "OR EQUAL" IS USED THE ARCHITECT SHALL DETERMINE THE ACCEPTABILITY OF A SUBSTITUTION ON SPECIFIC PRODUCTS, MATERIALS & ASSEMBLIES. REQUESTED BY THE CONTRACTOR. ALL MATERIALS SHALL BE NEW, UNUSED & OF THE HIGHEST QUALITY IN EVERY RESPECT, U.O.N. IN THE DRAWINGS, MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH MFR'S RECOMMENDATIONS & INSTRUCTIONS.
- 17. LICENSED TRADESPEOPLE: WORK, INCLUDING PLUMBING, ELECTRICAL & OTHER TRADES. SHALL BE PERFORMED BY CONTRACTORS LICENSED IN THEIR TRADE, WHO SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS & SIGN-OFFS. HVAC SYSTEMS INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, BY A PROGRAM ACCEPTABLE TO DO NOT MEET THE CURRENT FLOW RATES WILL NEED TO BE UPGRADED. WATER THE DBI, PER CAL GREEN 702.1
- 18. CURRENT DRAWINGS / REVISIONS: MAINTAIN A COMPLETE, CURRENT SET TRADES. UPON RECEIPT OF ISSUED REVISIONS TO THE CONST. DOCS. BY THE ARCHITECT, THE CONTRACTOR SHALL IMMEDIATELY REVISE THE FIELD SET OF CONST. DOCS. & NOTFIY ALL AFFECTED TRADES OF THE REVISIONS.

19. LAYOUT OF WORK: LAYOUT WORK FROM DIMENSIONS & ALIGNMENTS SHOWN ON DRAWINGS & BE RESPONSIBLE FOR ALL MEASUREMENTS IN CONNECTION THEREWITH. THE CONTRACTOR SHALL IMMEDIATELY REPORT ANY DISCREPANCIES BETWEEN DRAWINGS & FIELD CONDITIONS TO THE ARCHITECT. DO NOT SCALE DRAWINGS.

20. QUALITY ASSURANCES:

A) ALL WORK SHALL BE PERFORMED & SUPERVISED BY WORKERS THOROUGHLY

FAMILIAR W/ THE MATERIALS & METHODS SPECIFIED. B) WORK SHALL BE INSTALLED PLUMB & LEVEL. SHOULD EX'G ADJ WORK NOT BE PLUMB & LEVEL, NEW WORK SHALL BE INSTALLED AS NECESSARY TO MEET THE EX'G WORK, W/O APPEARING TO EMPHASIZE THE VARIANCE, SUBJECT TO THE APPROVAL OF THE ARCHITECT

21. SECURING OF PREMISES: SECURE THE PREMISES & MATERIALS WITHIN THE CONSTRUCTION AREA FOR THE DURATION OF CONSTRUCTION UNTIL OWNER'S FINAL ACCEPTANCE. TAKE ALL NECESSARY PRECAUTIONS AT THE END OF EACH WORK DAY TO INSURE UNAUTHORIZED PERSONS CANNOT ENTER THE JOB SITE.

22. PROTECTION DURING CONSTRUCTION: PROVIDE & MAINTAIN ALL NECESSARY COVERINGS & PROTECTION TO PREVENT DAMAGE, DISCOLORATION OR SOILING OF (E) & NEW CONST., FINISHES & BUILDING ELEMENTS. MAINTAIN PROTECTION UNTIL OWNER'S FINAL ACCEPTANCE. DUCT OPENINGS AND OTHER AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION, WITH TAPE, PLASTIC, SHEET METAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. UPON OWNER'S ACCEPTANCE, REMOVE ALL PROTECTION AND CLEAN ALL EXPOSED SURFACES. PROTECT HVAC SYSTEMS & COMPONENTS PER W/ SMACNA IAQ GUIDELINES.

INSTALLATION OF THE WORK. THE CONTRACTOR SHALL REQUEST INSTRUCTIONS 23. MEANS OF EGRESS: ALL EX'G MEANS OF EGRESS FOR WORKERS & VISTORS TO SITE SHALL BE MAINTAINED CLEAR & FREE OF OBSTRUCTIONS SUCH AS BUILDING MATERIALS, TOOLS, ETC.

> 24. DELIVERIES: CONTRACTOR SHALL MAKE ALL REQ'D ARRANGEMENTS FOR DELIVERY & TRANSFER OF EQUIPMENT AND MATERIALS TO THE JOB SITE.

25. CUTTING AND PATCHING: PERFORM ALL CUTTING AND PATCHING REQ'D BY THE INSTALLATION OF NEW FRAMING, PLUMBING FIXTURES & CONNECTIONS, WIRING, ELECTRICAL & TELEPHONE OUTLETS, SWITCHES, HEATING & VENTILATION ELEMENTS TO PROVIDE A FINISHED PROJECT.

A) MATERIALS USED IN CUTTING & PATCHING SHALL BE IDENTICAL TO ORIGINAL MATERIALS U.O.N. IF IDENTICAL MATERIALS ARE NOT AVAILABLE, PROVIDE FINISHED WORK HAVING EQ. OR BETTER PERFORMANCE CRITERIA.

B) USE METHODS LEAST LIKELY TO DAMAGE (E) ELEMENTS OR ADJ. WORK. C) LOCATE UTILITIES PRIOR TO CUTTING. CAP, VALVE, SEAL & PLUG ABANDONED UTILITIES.

D) PATCHING SHALL PROVIDE SOLID, TRUE & ALIGNED SUBSTRATES FOR THE INSTALLATION OF FINISHED MATERIALS.

E) PATCHING SHALL SEAMLESSLY JOIN THE IMMEDIATE EX'G ADJ CONST. IN MATERIALS, FINISH, GLOSS & COLOR. JOINTS SHALL BE DURABLE & INVISIBLE. CREATE TRUE, EVEN PLANES W/UNIFORM CONT. APPEARANCE.

F) REPAINT ENTIRE ASSEMBLIES & SURFACES, NOT ONLY PATCHED AREAS.

26. REMOVALS: MAINTAIN A CLEAN & NEAT WORK SITE AT ALL TIMES. CLEAN-UP & REMOVE FROM THE PREMISES ALL WASTE MATERIALS, RUBBISH, WRAPPINGS, CONTAINERS & SALVAGES GENERATED BY CONST., DEMOLITION & THE DELIVERY & INSTALLATION OF WOODWORK, FURNITURE & APPLIANCES, WHETHER PROVIDED UNDER THIS CONTRACT OR NOT. 100% OF MIXED DEBRIS SHALL BE PROCESSED FOR

27. FINAL CLEANUP: ALL SPACES MUST BE LEFT VACUUM-CLEAN & ORDERLY READY FOR OWNER OCCUPANCY. ALL SURFACES, INCLUDING COUNTERS, CABINET SHELVES & TOPS, MOLDINGS, DOOR & WINDOW HEADS, PLUMBING & LIGHTING FIXTURES, APPLIANCES, HVAC EQUIPMENT & FLOORS SHALL BE THOROUGHLY DUSTED W/ A FREQUENTLY RINSED DAMP CLOTH. AFTER DUSTING ALL SURFACES, FLOORS SHALL BE VACUUMED USING APPROPRIATE ATTACHMENTS. SCRAPE WINDOWS CLEAN W/ RAZOR & WASH.

28. PROJECT CLOSEOUT: UPON COMPLETION OF THE JOB THE CONTRACTOR SHALL SUBMIT ALL CERTIFICATES OF INSPECTION & A CERTIFICATE OF SUBSTANTIAL COMPLETION (AIA DOC. G-704) TO OWNER. UPON OWNER'S ACCEPTANCE, THE CONTRACTOR SHALL PERFORM A FINAL CLEANING.

29. PROJECT COMPLETION: THE PROJECT SHALL BE CONSIDERED COMPLETE WHEN THE WORK ON ARCHITECT'S PUNCH LIST HAS BEEN COMPLETED TO THE SATISFACTION OF THE ARCHITECT AND CLIENTS.

30. WARRANTY & GUARANTEE:

A) THE CONTRACTOR GUARANTEES THAT WORK COMPLETED UNDER THIS CONTRACT IS FREE FROM FAULTY MATERIALS & WORKMANSHIP, INCL. IMPROPER INSTALLATION. THIS GUARANTEE SHALL COVER A MINIMUM PERIOD OF ONE YEAR FOLLOWING THE DATE OF ACCEPTANCE OF THE WORK BY OWNER & SHALL BIND THE CONTRACTOR TO REPAIR OR REPLACE, PROMPTLY & EFFICIENTLY, ANY & ALL WORK & MATERIAL FOUND TO BE DEFECTIVE DURING THIS PERIOD, INCLUDING OTHER WORK NOT PERFORMED UNDER THIS CONTRACT, THAT IS DAMAGED BY SUCH DEFICIENCY. B) NEITHER THE FINAL CERTIFICATE NOR THE FINAL PAYMENT, NOR ANY OTHER PROVISION IN THE CONTRACT, SHALL RELIEVE THE CONTRACTOR OF RESPONSIBILITY DESCRIBED IN THIS SECTION

C) THIS WARRANTY IS IN ADDITION TO MANUFACTURER'S STANDARD WARRANTIES

D) IN THE EVENT ADDITIONAL PROFESSIONAL SERVICES ARE REQUIRED TO VERIFY & DIRECT REPAIRS OR REPLACEMENT OF WORK AS A DIRECT CONSEQUENCE OF THE FAILURE OF MATERIALS OR WORKMANSHIP GUARANTEED BY THE CONTRACTOR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAYMENT OF FEES FOR SUCH PROFESSIONAL SERVICES & ANY OTHER FEES NECESSARY TO CORRECT THE WORK.

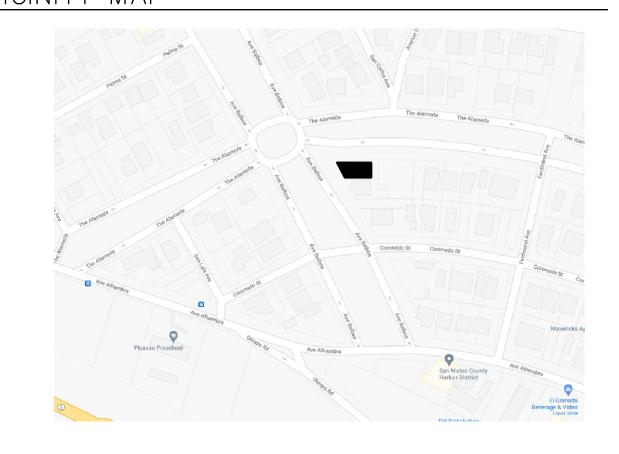
31. PER CALIFORNIA CIVIL CODE ARTICLE 1101.1 AND CALGREEN SECTION 301.1, FOR ALL BUILDING ATERATIONS OR IMPROVEMENTS TO A SINGLE FAMILY RESIDENTIAL PROPERTY, EXISTING PLUMBING FIXTURES IN THE ENTIRE HOUSE THAT CLOSETS WITH A MAX. FLOW RATE OF 1.28 GPF. SHOWER HEADS WITH A FLOW RATE GREATER THAN 2.5 GPM WILL NEED TO BE REPLACED WITH MAX. 1.8 GPM SHOWER HEAD. LAVATORY AND KITCHEN FAUCETS WITH A FLOW RATE GREATER OF CONTRACT DOCUMENTS ON SITE THROUGHOUT CONST. FOR THE USE OF ALL THAN 2.2 GPM WILL NEED TO BE REPLACED WITH A FAUCET WITH MAX. FLOW RATE 1.2 GPM (OR 1.8 GPM FOR KITCHEN FAUCETS).

> 32. WHEN ALTERATIONS REPAIRS, OR ADDITIONS REQUIRING A PERMIT OCCUR, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH SMOKE ALARMS LOCATED AS REQUIRED FOR NEW DWELLING PER CRC R314.2.2.

APPLICABLE CODES

2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODES 2019 CALIFORNIA ENERGY CODE - TITLE 24 NATIONAL ELECTRIC CODE 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE COASTSIDE FIRE PROTECTION DISTRICT CODES AND STANDARDS SAN MATEO COUNTY R3-S3 ZONING CODE

VICINITY MAP



INCL

INCLUDING

ABBREVIATIONS

CENTERLINE

CL PL	CENTERLINE PROPERTY LINE	JB	JUNCTION BOX	
Ø # or LB (E) (N)	DIAMETER OR ROUND	LAV LT	LAVATORY LIGHT/LIGHTING	<u>F</u>
X ADJ AFF ALUM APPRD APPROX	ADJACENT ABOVE FINISHED FLOOR	MAINT MAT MAX MECH MFR MICRO MIN MISC MTD MTL	MATERIAL MAXIMUM MECHANICAL MANUFACTURER MICROWAVE MINIMUM MISCELLANEOUS	
BD BTWN BLDG BLKG BM BOS BO	BOARD BETWEEN BUILDING BLOCKING BEAM BOTTOM OF STEEL BOTTOM OF	N NIC NO OR # NOM NTS	NOMINAL NOT TO SCALE	
CAB CEM CH CLG CLKG CLOS	CABINET	O/ OC OD OPNG OPP OVHD	OUTSIDE DIAMETER (DIM)	
CLOS CLR CLR OPG CO COL CONC CONSTR CONT CTR	CLEAR CLEAR OPENING	PART PLBG PLAS PLYWD PNTRY PT PTD	PLUMBING PLASTIC	
DBL	DOUBLE	QUAL QTY	QUALITY QUANTITY	
DEPT DET DIA DIM DISP DN DR	DEPARTMENT DETAIL DIAMETER DIMENSION DISPOSAL DOWN DOOR	R REF REQ'D RM RO	RISER REFRIGERATOR REQUIRED ROOM ROUGH OPENING	
DW DWR DWG	DISHWASHER DRAWER DRAWING	S SCHED SECT	SOUTH SCHEDULE SECTION SHEET	
EA E ELEV ELEC EQ EQPT EX'G EXT	EACH EAST ELEVATION ELECTRICAL EQUAL EQUIPMENT EXISTING EXTERIOR	SHT SIM SPEC SQ ST STL STD STL STOR STRUCT SUSP	SIMILAR SPECIFICATION SQUARE STAINLESS STEEL STAINED STEEL STORAGE STRUCTURAL SUSPENDED	
FA FIN FIN FL FL	FIRE ALARM FINISH(ED) FINISHED FLOOR FLOOR	SF SYST S.S.D.	SQUARE FEET SYSTEM SEE STRUCTURALDRAWINGS	
FLUOR FO FOC FOF FOS FR FRZ FT FURR	FLUORESCENT FACE OF FACE OF CONCRETE FACE OF FINISH FACE OF STUDS FRAME FREEZER FOOT OR FEET FURRING	TEL TEMP THK TR TV TYP	TELEPHONE TEMPERED THICK(NESS) TRASH TELEVISION TYPICAL	
GA GALV GL GWB	GAUGE GALVANIZED GLASS GYPSUM WALL BOARD	UNF UON UL UTIL	UNFINISHED UNLESS OTHERWISE NOTED UNDERWRITERS LABORATORY UTILITY	
HB HC HDWR	HOSE BIB HANDICAPPED HARDWARE	VERT VIF	VERTICAL VERIFY IN FIELD	
HT HTG	HEIGHT HEATING	W W/	WEST WITH	

SYMBOLS & GRAPHIC CONVENTIONS SECTION DETAIL AX.X WOOD FRAMING WOOD BLOCKING PLYWOOD BATT INSULATION INTERIOR **ELEVATION KEY** RIGID INSULATION GYPSUM WALL ENLARGED DETAIL BOARD

LINE ABOVE ◆ EL. X'-X" ELEVATION DATUM TAG LINE BELOW ROOM NUMBER EXISTING SHEET NOTE CONSTRUCTION L____J TO BE DEMOLISHED

EXISTING

TO REMAIN

CONSTRUCTION

NEW CONSTRUCTION

DOOR NUMBER WINDOW NUMBER

PROJECT DESCRIPTION NEW 2604 SQ.FT. SINGLE FAMILY HOME WITH 3 BEDROOMS, 3.5

BATHS, 672 SQ.FT., 2 CAR GARAGE AND 544 SQ.FT. DECKS

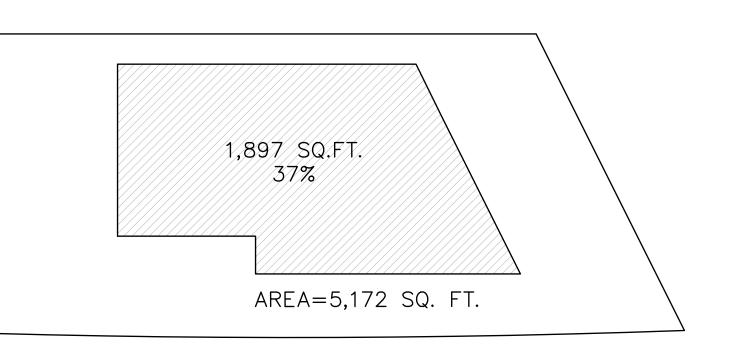
PROJECT INFORMATION

APN: 047-207-060 & 047-207-070, TO BE MERGED ZONING: R3-S3 USE TYPE: SINGLE FAMILY RESIDENCE OCCUPANCY: CONSTRUCTION WOOD FRAME- SPRINKLERED PARCEL AREA: 5,172 SQ.FT ALLOWED LOT COVERAGE: 50% = 2,586 PROPOSED LOT COVERAGE: 1,931 SQ.FT. (37%) PROPOSED BUILDING AREA: 2,638 SQ.FT. CONDITIONED LIVING + 672 SQ.FT GARAGE / MECHANICAL + 544 SQ.FT. DECKS

PROPOSED BUILDING HEIGHT: 32' FROM AVG. GRADE TO HIGHEST POINT FRONT SETBACK: 20' REAR SETBACK:

SIDE SETBACKS 10' AT THE ALAMEDA SIDE, 5' OPP. SIDE

LOT COVERAGE DIAGRAM:



SHEET	INDEX				
ARCHITECTURAL					
A0.0	COVER SHEET				
A0.1					
	DEMONSTRATION OF SCALE NORTH SIDE EXTERIOR MATERIALS				
	EXISTING SITE PLAN				
A1.0	PROPOSED SITE/ROOF PLAN				
A2.1	PROPOSED FIRST FLOOR PLAN				
	PROPOSED SECOND FLOOR PLAN				
	PROPOSED THIRD FLOOR PLAN				
	PROPOSED REFLECTED CEILING PLANS PROPOSED EXTERIOR ELEVATIONS				
	PROPOSED EXTERIOR ELEVATIONS PROPOSED BUILDING SECTIONS				
	PROPOSED BUILDING SECTIONS				
LANDSCAPE					
L1.0	PROPOSED LANDSCAPE PLAN				
CIVIL C-1	GRADING DRAINAGE & UTILITY PLAN				

GRADING DRAINAGE & UTILITY PLAN EROSION & SEDIMENT CONTROL & STAGING PLAN C-2C-3CIVIL DETAILS CONSTRUCTION BMP CHECKLIST

CLIENTS:

GREG BARSH & CAROLYN RUSSO 700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

> KATKIN ARCHITECTURE P.O. BOX 2115

EL GRANADA CA 94018

415.706.0981

PROJECT:

BARSH-RUSSO RESIDENCE

000 BALBOA EL GRANADA, CA APN 047-207-060/070

ISSUE:

NO. DESCRIPTION

DESIGN REVIEW

DATE

SCALE: N.T.S.

SHEET DATE: 01.13.2022

CODES, VICINITY MAP. PROJECT DESCRIPTION, SHEET INDEX



GREG BARSH & CAROLYN RUSSO

700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

REBECCA
SHAW KATKIN

NO. C-30747

1. 31. 23

C. RENEWAL DATE
OF CALIFOR

PROJECT:

BARSH-RUSSO RESIDENCE

000 BALBOA EL GRANADA, CA APN 047-207-060/070

ISSUE:

NO DESCRIPTION

- DESCRIPTION

DESIGN REVIEW

SCALE: N.T.S.

SHEET DATE: 01.13.2022

AO.1

DEMONSTRATION

OF SCALE:

NORTHWEST CORNER



GREG BARSH & CAROLYN RUSSO

700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

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SHEET DATE: 01.13.2022

AO.2

DEMONSTRATION

OF SCALE:

NORTH SIDE

GAVLAVNIZED ALUM. COLOR: MATTE BLACK

DECK RAILS: GLASS







EXTERIOR DOWNLIGHTS NORA LED DAMP RATED

3000 K



PROJECT:

BARSH-RUSSO

RESIDENCE

CLIENTS:

GREG BARSH &

CAROLYN RUSSO

700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN

ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018

415.706.0981

SHAW KATKIN

EXTERIOR PATH LIGHTS-WAC LED HORIZONTAL STEP LIGHT

000 BALBOA EL GRANADA, CA APN 047-207-060/070

GREEN ROOF

SEMPER GREEN OR EQ. SEDUM MIXED BLANKET



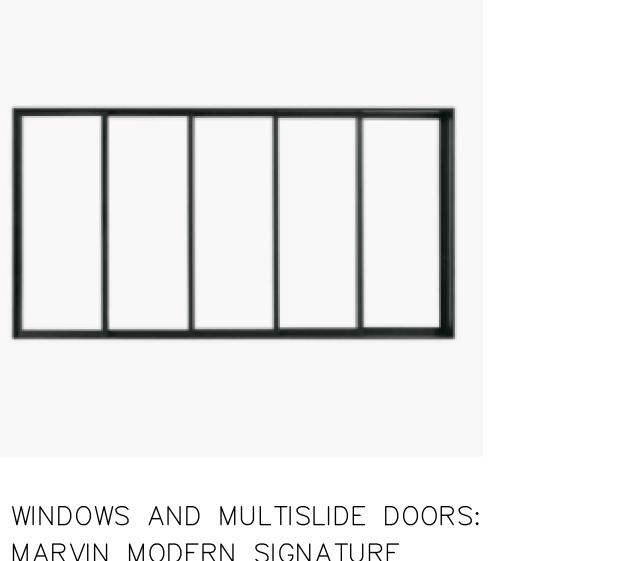
ISSUE:

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SCALE: N.T.S.

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EXTERIOR MATERIALS



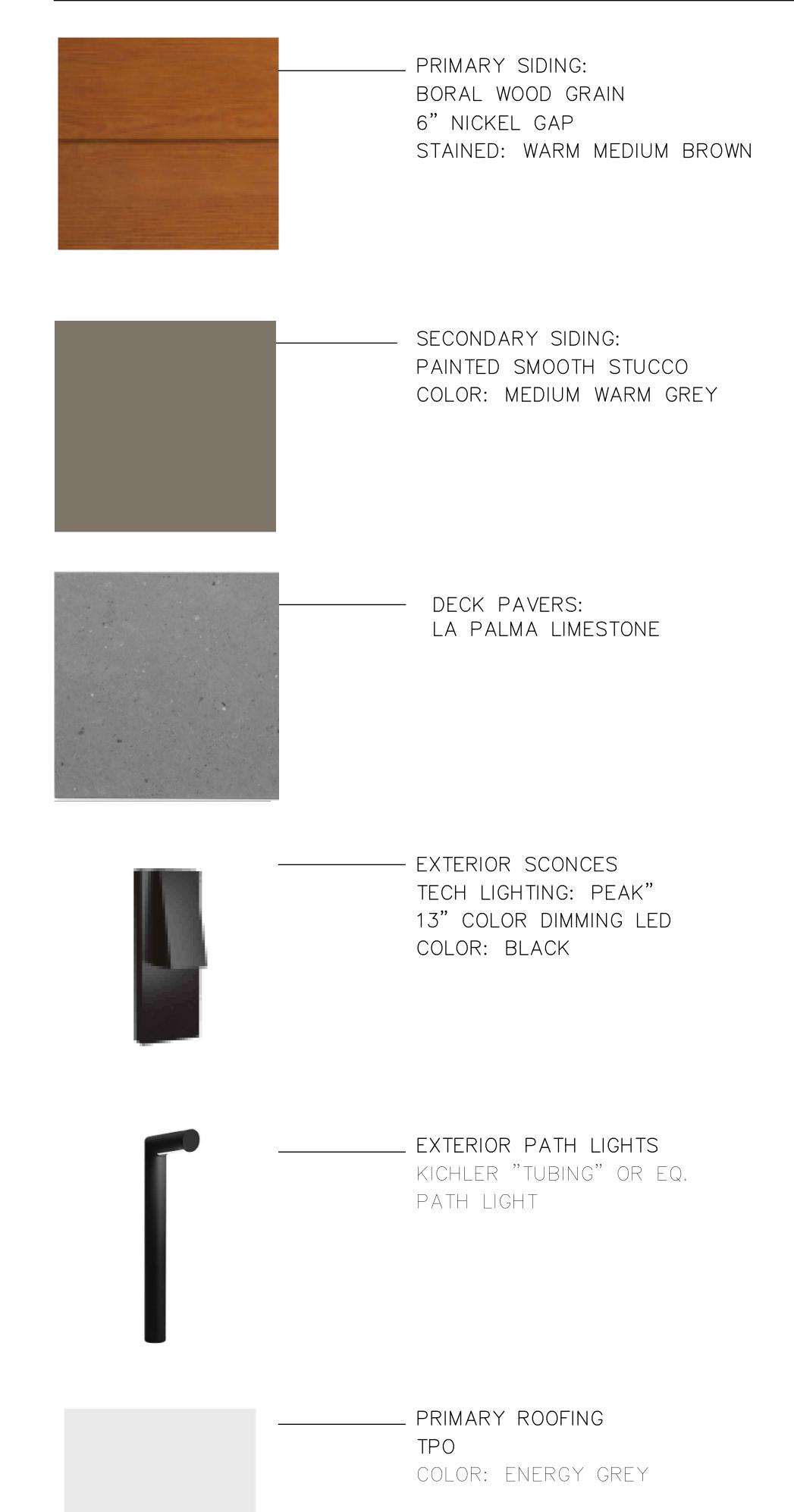
MARVIN MODERN SIGNATURE FIBERGLASS. COLOR: BLACK



ENTRY DOORS: SIX LITE FIBERGLASS OR MTL. COLOR: BLACK



GARAGE DOORS: CLOPAY CANYON RIDGE MODERN 3" PLANK W/ HALF SIDE LITES COLOR: BLACK



Energy Gray 322



GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

REBECCA
SHAW KATKIN
NO. C-30747
1. 31. 23

PROJECT:

RESIDENCE 000 BALBOA EL GRANADA, CA APN 047-207-060/070

BARSH-RUSSO

ISSUE:

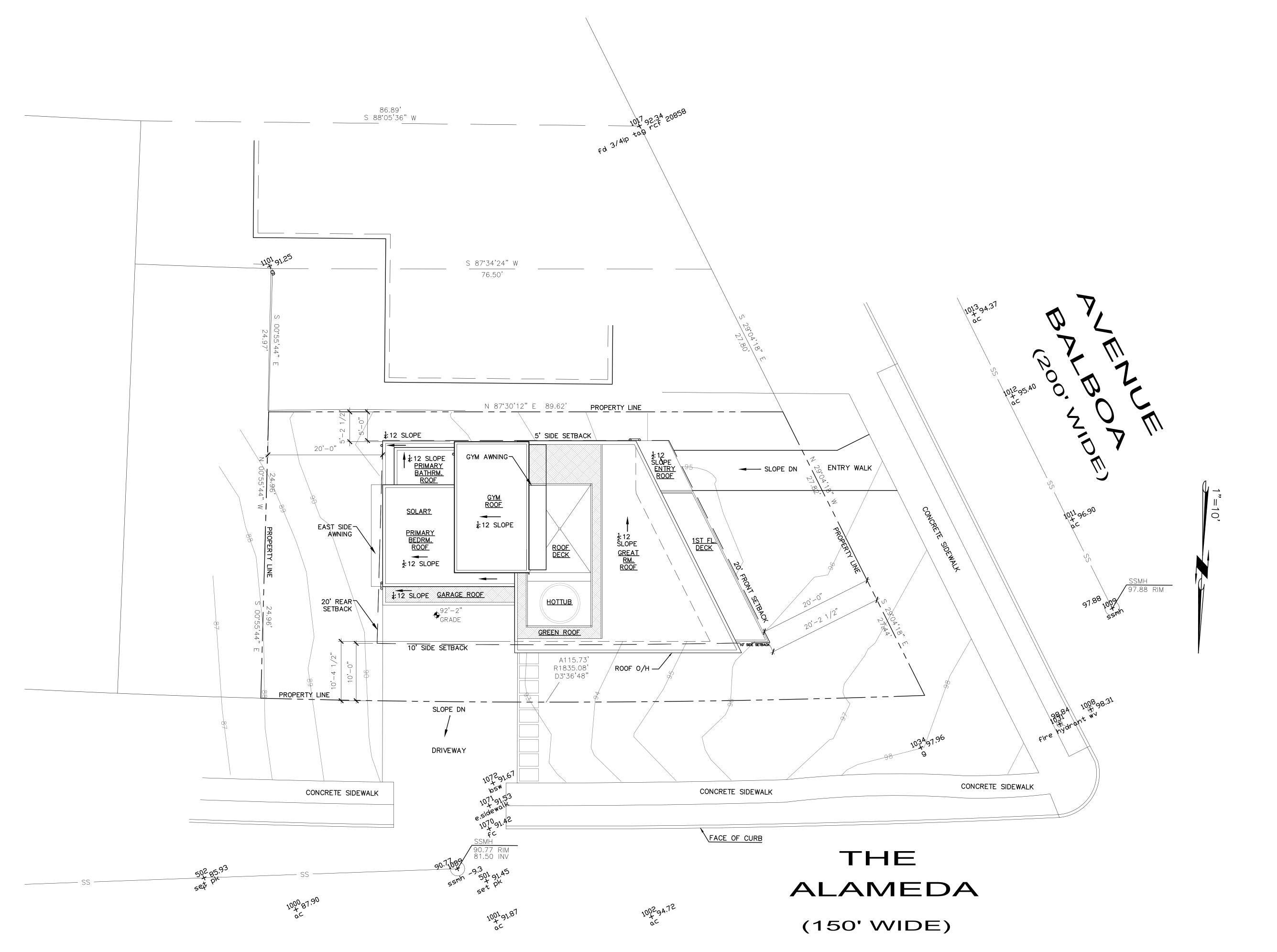
NO. DESCRIPTION

DESIGN REVIEW

SCALE: 1/8"=1'-0"

SHEET DATE: 01.13.2022

AB1.0 EXISTING SITE PLAN



GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

REBECCA
SHAW KATKIN
NO. C-30747

PENEWAL DATE TO CALIFOR TO CALIFOR TO THE CALIFORNIA OF CA

PROJECT:

BARSH-RUSSO RESIDENCE 000 BALBOA EL GRANADA, CA

APN 047-207-060/070

ISSUE:

NO. DESCRIPTION

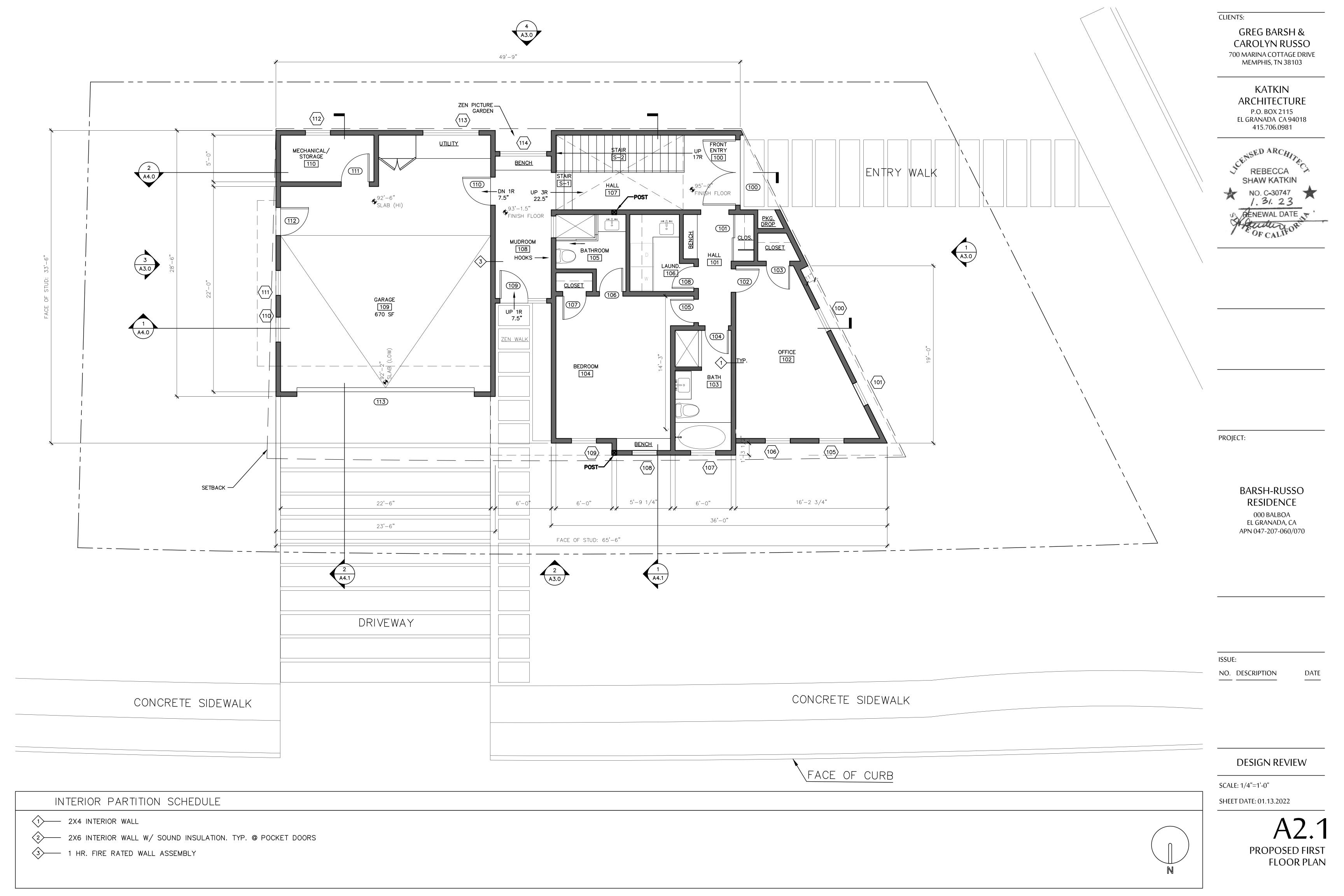
DESIGN REVIEW

SCALE: 1/8"=1'-0"

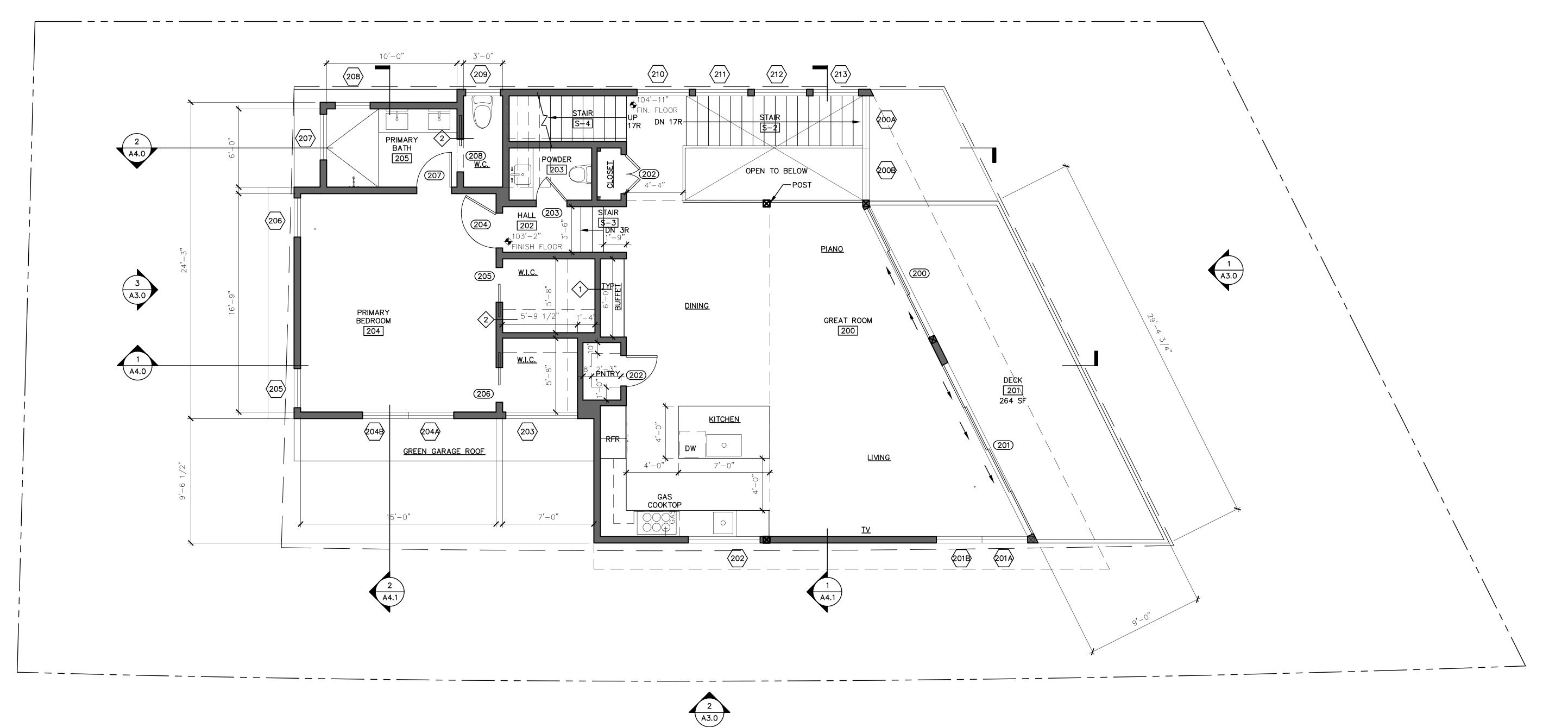
SHEET DATE: 01.13.2022

A1.0

PROPOSED SITE/ROOF PLAN







GREG BARSH & CAROLYN RUSSO 700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

SNSED ARCHITECA REBECCA SHAW KATKIN 1.31.23

PROJECT:

BARSH-RUSSO RESIDENCE 000 BALBOA

EL GRANADA, CA APN 047-207-060/070

INTERIOR PARTITION SCHEDULE

1 2X4 INTERIOR WALL

2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. @ POCKET DOORS

3 1 HR. FIRE RATED WALL ASSEMBLY

ISSUE: NO. DESCRIPTION

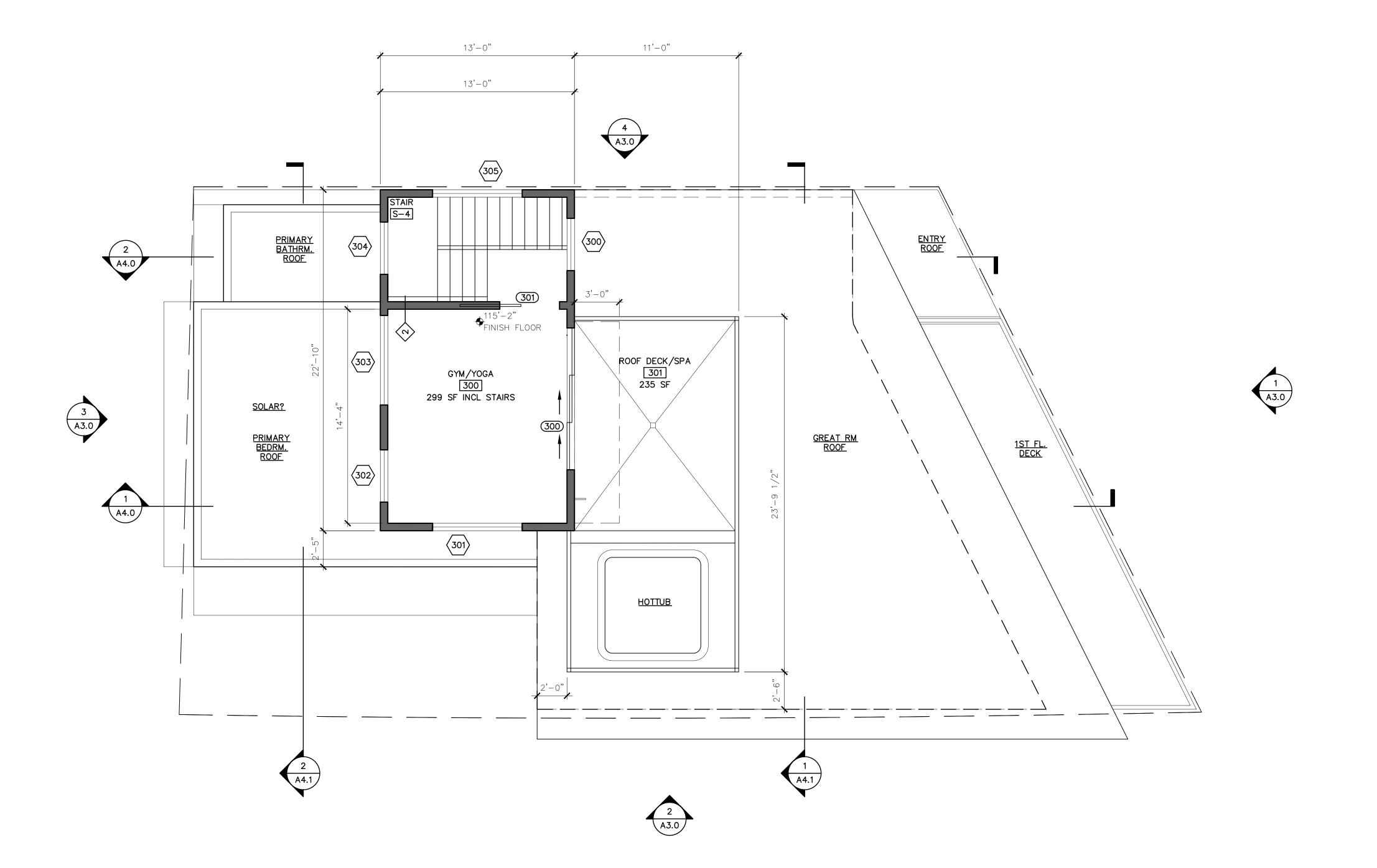
DESIGN REVIEW

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

PROPOSED SECOND FLOOR PLAN

GENERAL NOTES



GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

REBECCA
SHAW KATKIN

NO. C-30747

1. 31. 23

OF RENEWAL DATE

OF CALLED

PROJECT:

ISSUE:

NO. DESCRIPTION

BARSH-RUSSO RESIDENCE

000 BALBOA EL GRANADA, CA APN 047-207-060/070

INTERIOR PARTITION SCHEDULE

2X4 INTERIOR WALL

2X6 INTERIOR WALL W/ SOUND INSULATION. TYP. @ POCKET DOORS

1 HR. FIRE RATED WALL ASSEMBLY

DESIGN REVIEW

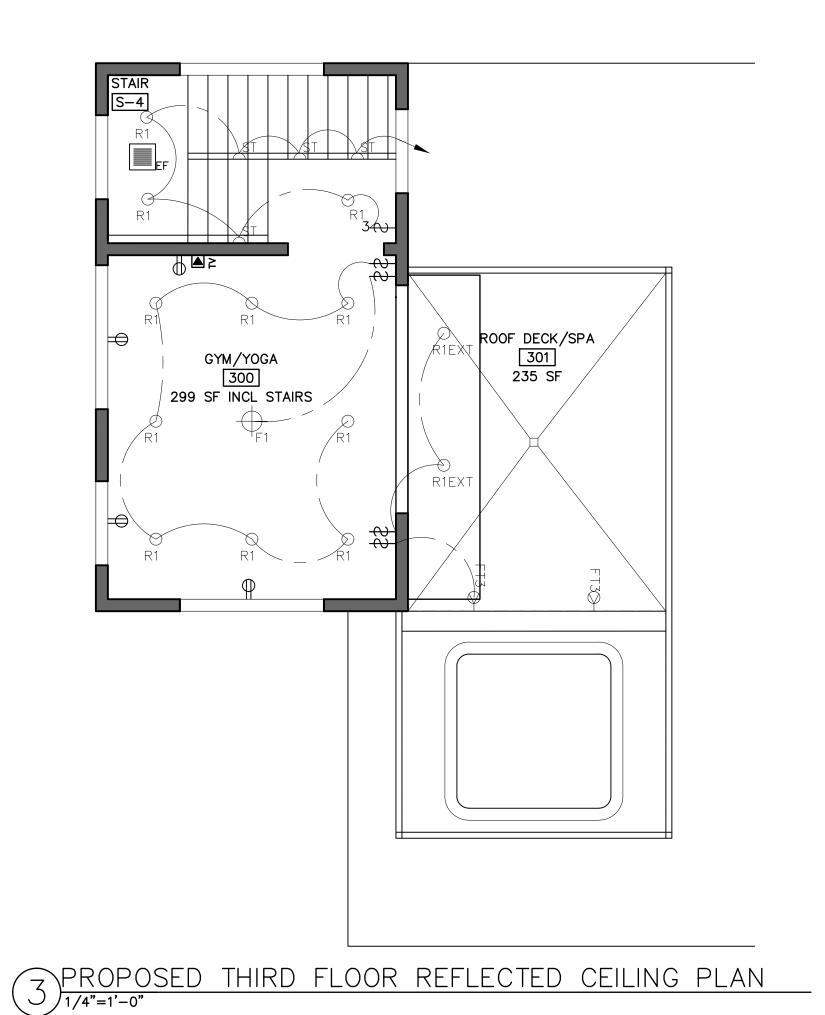
SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A2.3
PROPOSED THIRD
FLOOR PLAN

DATE

GENERAL NOTES



<u>LIGHTING LEGEND:</u>

- O R1 LED CAN DOWNLIGHT
- O R1W LED CAN DOWNLIGHT WET LOCATION
- R1WW LED CAN WALL WASH
- O R1EXT LED CAN DOWNLIGHT EXTERIOR
- D DECORATIVE CEILING FIXTURE
- F CEILING FAN
- Q S WALL SCONCE
- O SEXT EXTERIOR SCONCE
- LIN LINEAR SUSPENSION
- UC LED TAPE LIGHT
- ♥ FT FOOT LIGHT
- ST STEP LIGHT

 EXHAUST FAN

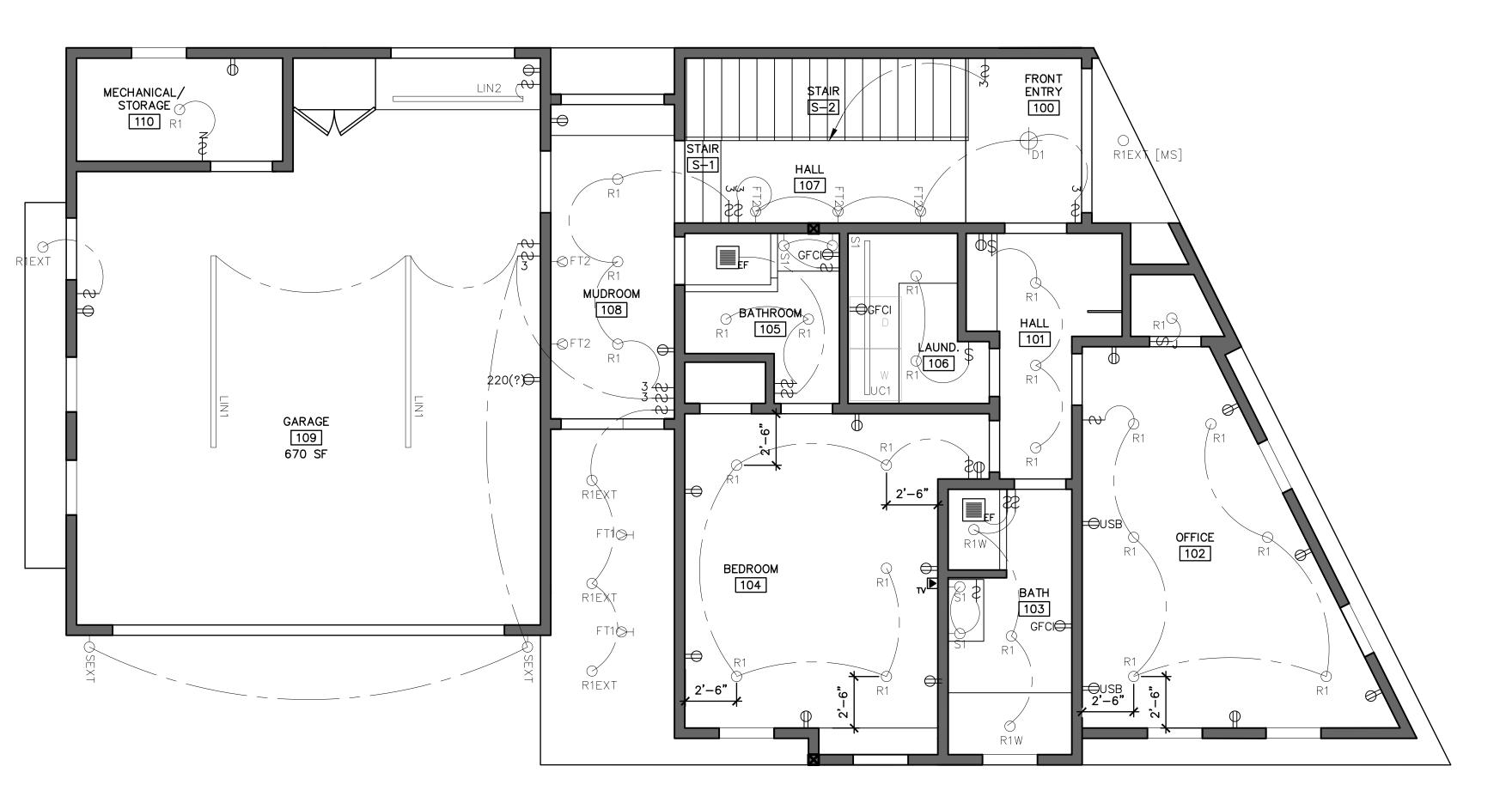
ELECTRICAL LEGEND:

- RECEPTACLE
- ⇒_{GFCI} GFCI RECEPTACLE
- ⇒EXT GFCI EXTERIOR RECEPTACLE (COORD. VOLTAGE AS INDICATED)
- 220V RECEPTACLE
- SWITCH WIFI ENABLED DIMMABLE CONTROL
- -∽Js JAMB SWITCH
- → 3 3=3WAY SWITCH WIFI ENABLED DIMMABLE CONTROL
- DATA PORT CAT 6
- √→ HVAC SUPPLY/RETURN/WHOLE HOUSE FAN
- JUNCTION BOX

PRIMARY IT SHOWN SHAPE TO THE STAND SHAPE TO THE ST

PROPOSED SECOND FLOOR REFLECTED CEILING PLAN

1/4"=1'-0"



1) PROPOSED FIRST FLOOR REFLECTED CEILING PLAN
1/4"=1'-0"

LIGHTING & ELECTRICAL NOTES:

- 1. ALL SWITCHES TO BE WIFI CAPABLE AND WITH DIMMING CONTROL. Lutron PD-5ANS-WH-R OR SIM. COORD. W/ ARCH. & OWNERS
- 2. ALL LIGHTING TO BE HIGH EFFICACY
- 4. ALL LIGHTING CONTROLS TO BE DIMMABLE
- 5. SPEAKERS, A/V SYSTEMS, AND SMART HOME FUNCTIONS T.B.D.

CLIENTS:

GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE P.O. BOX 2115

EL GRANADA CA 94018 415.706.0981

ARCHITECTURE
REBECCA

REBECCA
SHAW KATKIN

NO. C-30747

1. 31. 23

OF CALIFOR

OF CALIFO

PROJECT:

BARSH-RUSSO RESIDENCE 000 BALBOA EL GRANADA, CA

APN 047-207-060/070

ISSUE:

NO. DESCRIPTION

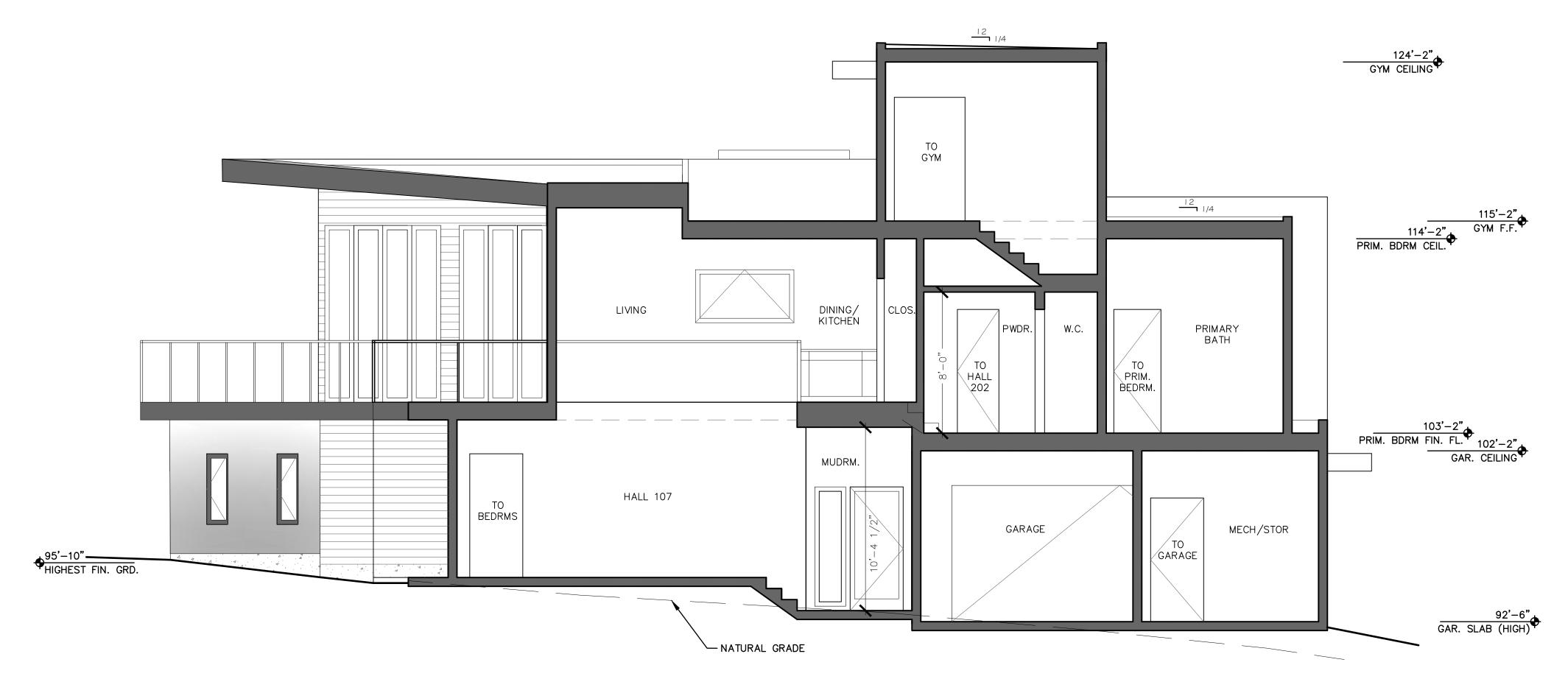
DESIGN REVIEW

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

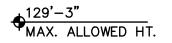
PROPOSED REFLECTED CEILING PLANS

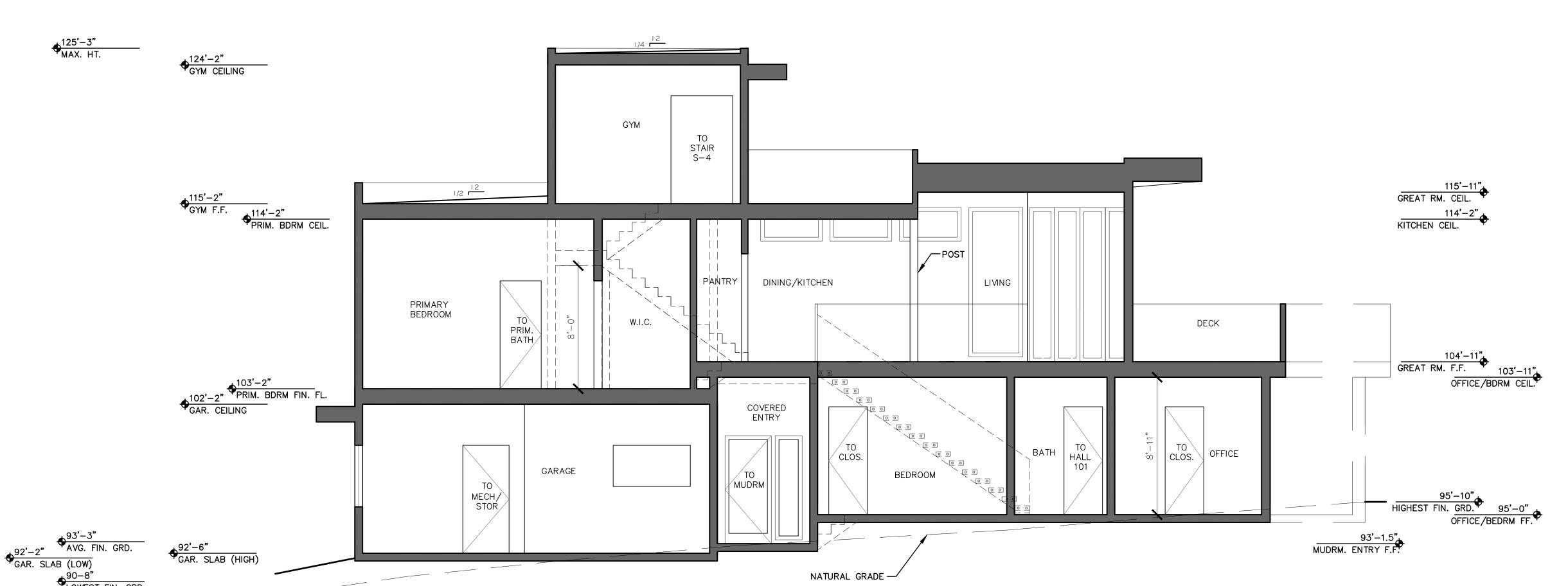




PROPOSED WEST TO EAST SECTION

1/4"=1'-0"





PROPOSED EAST TO WEST SECTION

1/4"=1'-0"

CLIENTS:

GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981



PROJECT:

BARSH-RUSSO RESIDENCE

000 BALBOA EL GRANADA, CA APN 047-207-060/070

ISSUE:

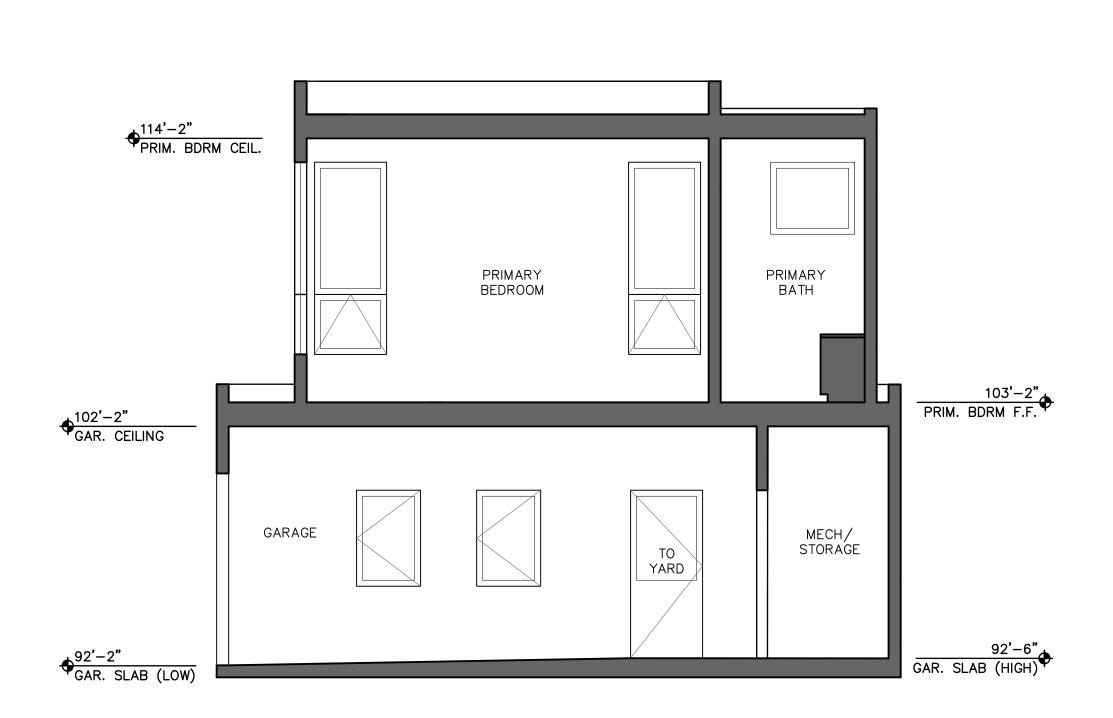
DESIGN REVIEW

DATE

SCALE: 1/4"=1'-0"

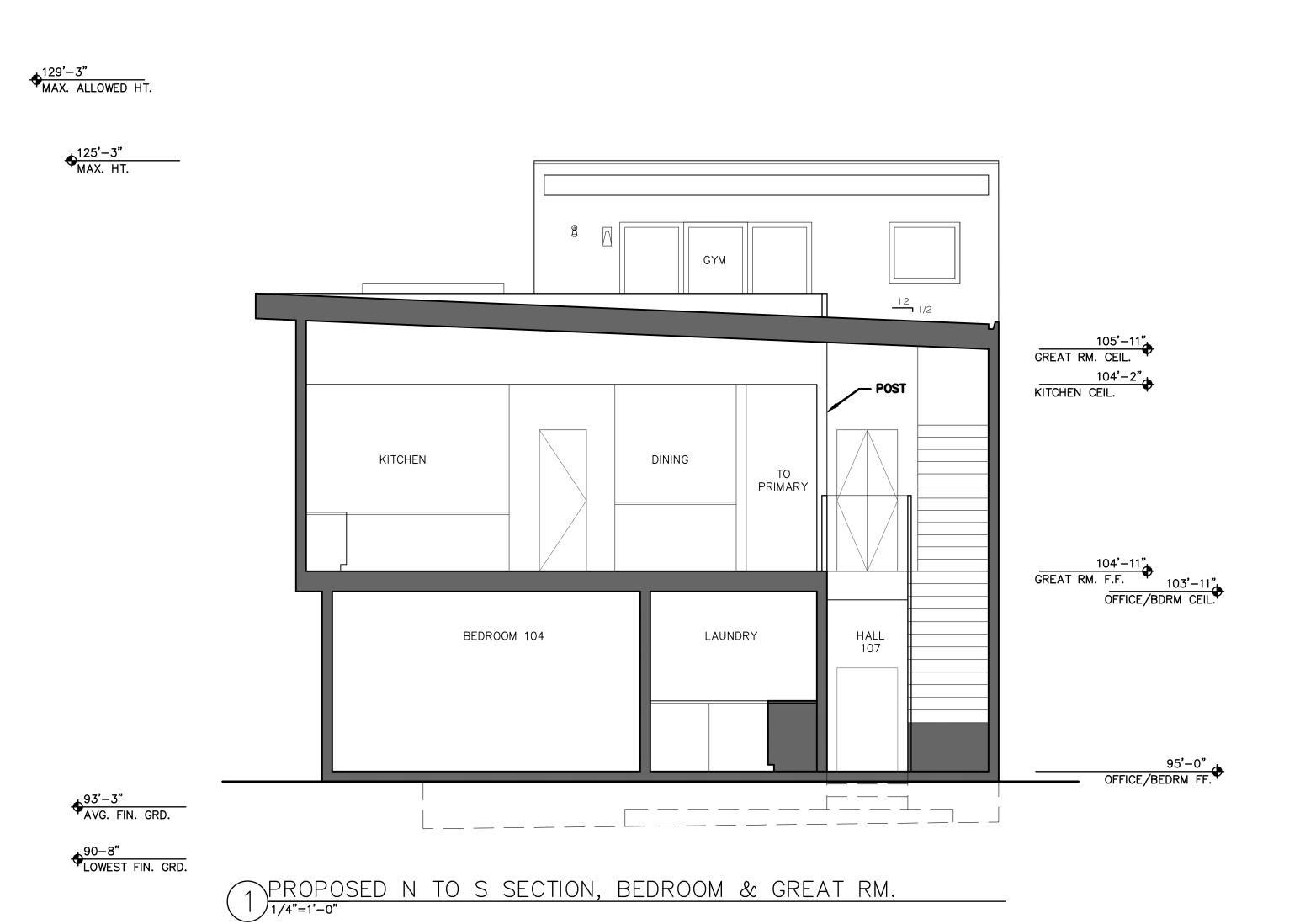
SHEET DATE: 01.13.2022

A4.0
PROPOSED BUILDING
SECTIONS



PROPOSED N TO S SECTION, GARAGE & PRIM. BDRM. ROOF

1/4"=1'-0"



GREG BARSH & CAROLYN RUSSO
700 MARINA COTTAGE DRIVE MEMPHIS, TN 38103

KATKIN ARCHITECTURE

P.O. BOX 2115 EL GRANADA CA 94018 415.706.0981

REBECCA
SHAW KATKIN

NO. C-30747

1. 31. 23

SENEWAL DATE
OF CALIFOR

PROJECT:

BARSH-RUSSO RESIDENCE

000 BALBOA EL GRANADA, CA APN 047-207-060/070

ISSUE:

NO. DESCRIPTION

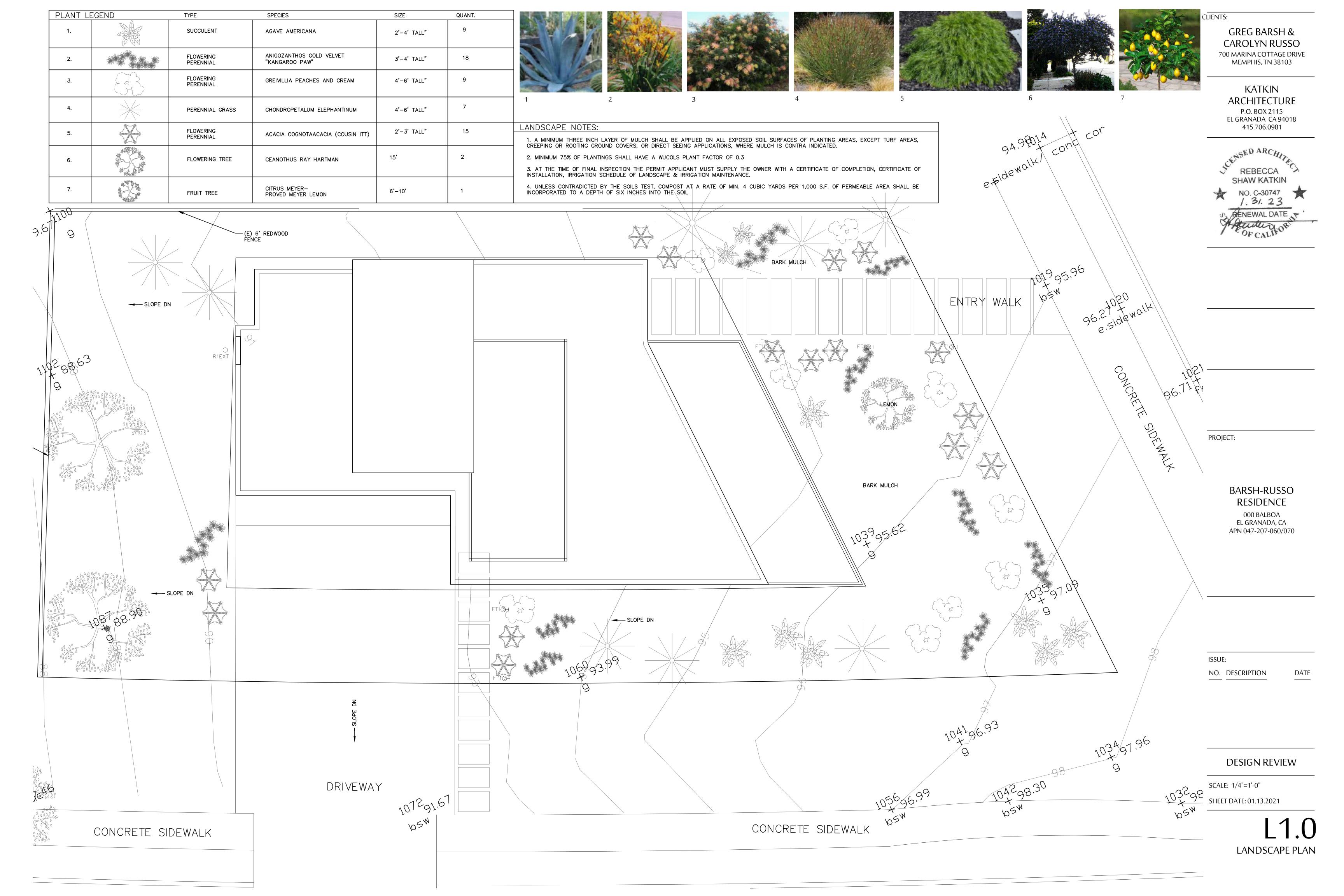
DESIGN REVIEW

DATE

SCALE: 1/4"=1'-0"

SHEET DATE: 01.13.2022

A4.1
PROPOSED BUILDING
SECTIONS



1/8"=1'-0"

GRADING, DRAINAGE & UTILITY PLAN

1. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL

2. TOPOGRAPHIC INFORMATION PROVIDE BY SAVIOR P. MICALLEF LAND SURVEYENG, DATED MARCH

3. SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.

4. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.

5. CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK

PRIOR TO PENDING INSPECTIONS. 6. ALL GRADING AND TRENCH BACKFILL TO BE PERFORMED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. ALL FOUNDATION DRAINS AND BASEMENT SUBDRAINS TO BE INSTALLED PER GEOTECHNICAL ENGINEER'S RECOMMENDATIONS AND ALL INSTALLATIONS TO BE INSPECTED BY

7. IT IS RECOMMENDED THAT AN AS-BUILT PLAN FOR THE DRAINAGE SYSTEM BE PREPARED AT THE COMPLETION OF CONSTRUCTION.

8. THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.

9. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING

10. ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.

11. CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.

12. FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL AND LANDSCAPE PLANS. 13. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE TOWN OF EL GRANADA PRIOR TO PERFORMING ANY WORK WITHIN THE PUBLIC RIGHT OF WAY OR WORK ON TOWN UTILITIES

CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS. SEE CONSTRUCTION BMP's CHECKLIST PLAN SHEET.

15. CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.

16. CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING. 17. PER TOWN, "UNLESS OTHERWISE APPROVED BY THE FIRE DEPT., ALL NEW OR RECONFIGURED DRIVEWAYS SHALL HAVE MIN. WIDTH OF FOURTEEN FEET, WITH MAX SLOPE OF 16%, EXCEPT THAT

18. ALL CONNECTIONS TO TOWN WATER/SEWER/STORM DRAIN FACILITIES AND ONSITE DETENTION FACILITIES SHALL BE INSPECTED BY TOWN PRIOR TO TRENCH BACKFILL. CONTRACTOR SHALL COORDINATE WITH THE TOWN OF EL GRANADA PUBLIC WORKS DEPARTMENT FOR INSPECTION.

19. ANY DAMAGE RIGHT OF WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB, GUTTER AND/OR PARKING STRIP SHALL BE REMOVED AND REPLACED, AS DIRECTED BY THE TOWN ENGÍNEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH STREET DEPARTMENT SUPERVISOR, FOR SITE VISIT PRIOR TO FINAL SIGN-OFF.

20. CONTRACTOR/PERMITEE SHALL SCHEDULE TWO INSPECTIONS WITH THE PUBLIC WORKS DEPARTMENT FOR THE PARKING STRIP INSTALLATION: (1) AFTER THE COMPACTION OF THE BASE/BEDDING MATERIAL AND (2) UPON THE COMPLETION.

ALL GRADING FOR WHICH THE TOWN HAS REQUIRED A SOILS REPORT SHALL BE SUPERVISED, DURING THE PLACEMENT AND COMPACTION PERIOD, BY THE SOIL ENGINEER OF RECORD AND SHALL BE PERFORMED IN CONFORMANCE WITH THE PROVISIONS OF EL GRANADA MUNICIPAL CODE AND CHAPTER 33 OF THE UNIFORM BUILDING CODE (UBC). THE SOILS ENGINEER SHALL CERTIFY SUCH GRADING WORK, UPON COMPLETION OF THE WORK, IN WRITING AND PROVIDED TO TOWN PRIOR TO FINAL SIGN-OFF. THE TOWN ENGINEERING DEPARTMENT SHALL CONTACTED FOR TWO (2) INSPECTIONS (650.375.7444). FIRST, INSPECTION FOLLOWING COMPLETION OF MASS GRADING BUT PRIOR TO THE FIRST FOUNDATION INSPECTION. SECOND, FOLLOWING COMPLETION OF ALL GRADING OPERATIONS, BUT PRIOR TO LANDSCAPE INSTALLATION.

22. CIVIL ENGINEER AND SOILS ENGINEER OF RECORD SHALL PROVIDE PROFESSIONAL INSPECTIONS WITHIN SUCH ENGINEER'S AREA OF TECHNICAL SPECIALTY PER SECTION 3317 OF UBC IN THE COURSE OF FULFILLING THEIR RESPECTIVE DUTIES, THE ENGINEERS FIND THAT THE WORK IS NOT BEING DONE IN CONFORMANCE WITH HMC, UBC OR THE APPROVED GRADING AND DRAINAGE PLANS, THE DISCREPANCIES SHALL BE REPORTED IMMEDIATELY, IN WRITING, TO THE PERMITTED AND TO THE ENGINEERING DEPARTMENT. FINAL INSPECTION SHALL NOT BE SCHEDULE UNTIL THE CERTIFICATION LETTERS FOR THE CIVIL ENGINEER AND SOILS ENGINEER HAVE BEEN RECEIVED BY

23. RETAINING WALLS SHALL NOT EXCEED THE ALLOWABLE HEIGHT OF 6' WITHIN THE PROPERTY LINE SETBACK LINE AND 4.5' WITHIN THE AREA BETWEEN PROPERTY LINE AND SETBACK.

24. CONTRACTOR SHALL TAKE EXTREME CARE AND PROTECT ALL EXISTING TREES TO REMAIN, AS REQUIRED BY THE LANDSCAPE PLAN. PROTECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT ARBORIST DIRECTIONS, AND SHALL BE INSPECTED BY THE ARBORIST PRIOR TO THE COMMENCEMENT OF GRADING ACTIVITIES.

25. ALL POOLS (INCLUDING SWIMMING, SPAS, HOT TUBS, AND FOUNTAINS) SHALL DRAIN TO EXISTING SEWER SYSTEM. ALL WATER FROM THESE SYSTEMS SHALL BE DECHLORINATED PRIOR TO BEING DISCHARGED TO THE MUNICIPAL SANITARY SEWER SYSTEM. ANY DISCHARGE OF POOL, SPA, HOT TUBE, OR FOUNTAINS TO THE STORM DRAIN SYSTEM IS PROHIBITED.

26. GRADING SHALL OCCUR ONLY BETWEEN MAY 1ST AND SEPTEMBER 30TH, UNLESS OTHERWISE APPROVED IN WRITING BY THE TOWN ENGINEER IN CONJUNCTION WITH AN APPROVED EROSION AND SEDIMENT CONTROL PLAN. GRADING OPERATIONS SHALL BE ACCOMPLISHED ONLY BETWEEN THE HOURS OF 8:00 AM TO 5:00 PM, MONDAY THROUGH FRIDAY, (HMC 15.24.080-G). NORMALLY SCHEDULED CONSTRUCTION ACTIVITIES SHALL ADHERE TO THE TOWN'S NOISE ORDINANCE.

27. FAILURE TO COMPLY WITH ANY PERMIT CONDITION MAY RESULT IN A "STOP WORK" ORDER OF

UTILITY NOTES:

1. CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION/RELOCATION OF GAS, ELECTRIC, PHONE AND TV SERVICES. SIZE OF NEW SERVICE T BE DETERMINED BY PG&E.

2. CONTRACTOR SHALL ASSIST OWNER TO PERMIT NEW SEWER LATERAL AND SERVICE WITH THE COASTSIDE SEWER DISTRICT. INSTALL CLEANOUTS AT PROPERTY LINE AND AT NEW HOME AS SHOWN ON PLAN. A DISTRICT APPROVED BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED IF REQUIRED BY DISTRICT.

3. ALL SEWER WORK TO BE IN CONFORMANCE WITH THE COUNTY AND DISTRICT STANDARDS... 4. ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED

ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.

5. ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, AS SHOWN ON PLAN. ALL PIPE SHALL BE 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

6. THE EXISTING WATER METER AND LATERAL IS TO REMAIN. CONTRACTOR TO INSTALL BACKFLOW PREVENTION DEVICE AND ISOLATION VALVE, IF CURRENTLY NOT ON SYSTEM. DEVICES SHALL BE INSTALLED ON THE DISCHARGE SIDE OF METER AND BE PLACED WITHIN ONE FOOT OF METER. A PRESSURE REDUCING VALVE SHALL BE INSTALLED AT BUILDING FACE. A NEW COPPER WATER SERVICE TO HOME SHALL BE INSTALLED. CONTRACTOR SHALL COORINDATE THE SIZING OF THE SERVICE WITH THE PROJECT FIRE SPRINKLER PLANS.

7. PATIO DRAINS (PD) SHALL BE 8" MINIMUM IN DIAMETER OR WIDTH. STYLE PER LANDSCAPE ARCHITECTS DIRECTION. AREA DRAINS (AD) SHALL BE 12" NDS (OR EQUIVALENT). DRAIN INLETS (D1) SHALL BE STACKED CHRISTY B9 OR EQUAL.

EARTHWORK TABLE	CUT	FILL
HOUSE	90 CY	0 CY
DRIVEWAY	9 CY	15 CY
REAR/FRONT/SIDE YARD	15 CY	75 CY
TOTAL	114 CY	90 CY

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

GENERAL NOTES:

AND ASSOCIATES, INC. CLIFFORD BECHTEL Engineering and Project Manageme 1321 254th Place, SE SAMMAMISH, WA 98075 650-333-0103 cliffbechtel1**0**comcast.ne



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GRADING, DRAINAGE & UTILITY

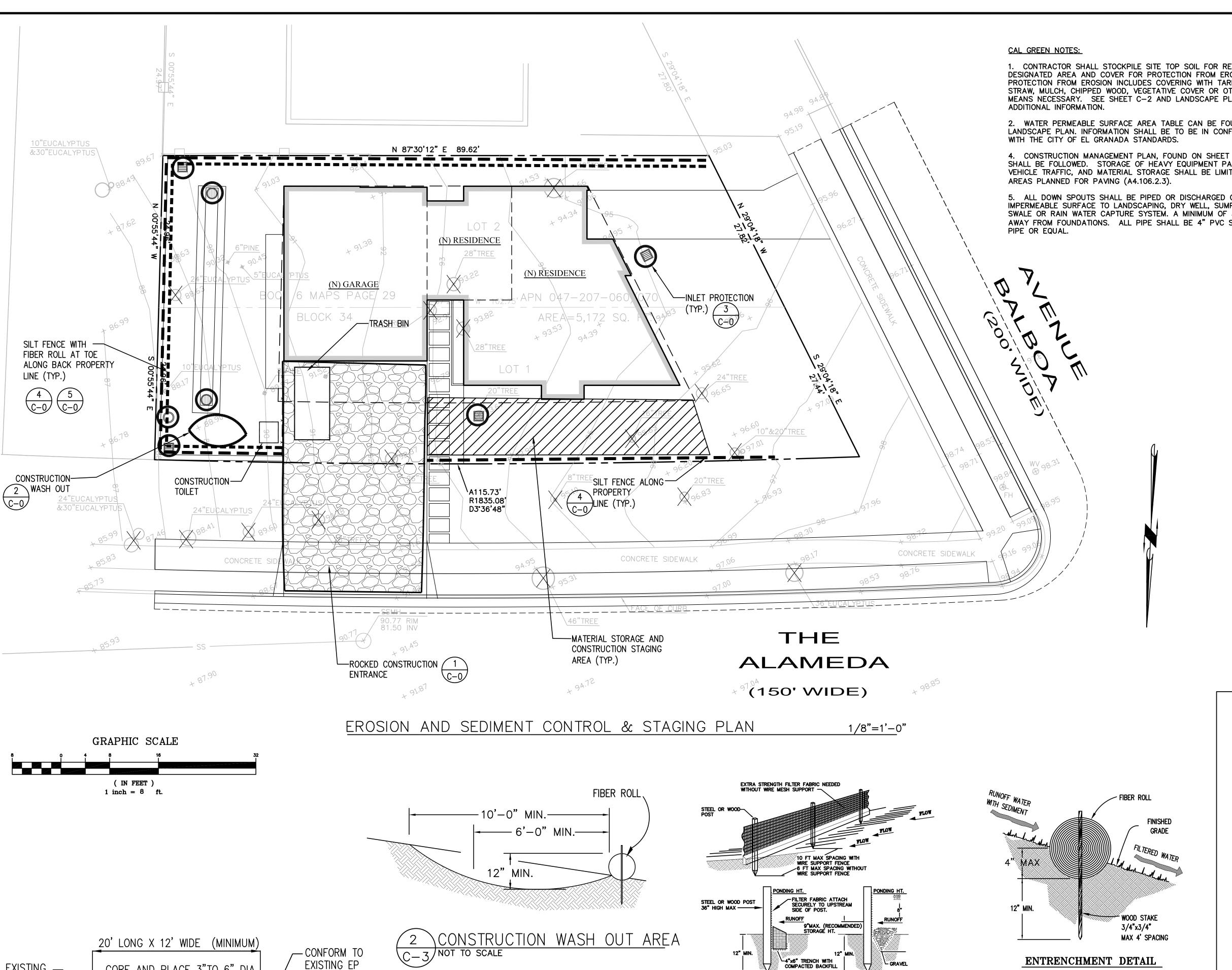
PLAN

10/14/21

SCALE AS NOTEI

PRAWN J.G. CHECKED C.B. OB No. 202176:

SHEET NO.



-FILTER FABRIC

OVER GRATE

GRAVEL BAGS BEFORE INLET

QUANTITY AS NEEDED

STANDARD DETAIL

C-3/NOT TO SCALE

1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.

2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING

EXISTING -

GROUND

CORE AND PLACE 3"TO 6" DIA.

└─ 6" MINIMUM

CONSTRUCTION ENTRANCE

CRUSHED GRAVEL

NOT TO SCALE

CONTRACTOR SHALL STOCKPILE SITE TOP SOIL FOR REUSE IN A DESIGNATED AREA AND COVER FOR PROTECTION FROM EROSION. PROTECTION FROM EROSION INCLUDES COVERING WITH TARPS, STRAW, MULCH, CHIPPED WOOD, VEGETATIVE COVER OR OTHER MEANS NECESSARY. SEE SHEET C-2 AND LANDSCAPE PLANS FOR

2. WATER PERMEABLE SURFACE AREA TABLE CAN BE FOUND WITH LANDSCAPE PLAN. INFORMATION SHALL BE TO BE IN CONFORMANCE

4. CONSTRUCTION MANAGEMENT PLAN, FOUND ON SHEET C-2 SHALL BE FOLLOWED. STORAGE OF HEAVY EQUIPMENT PARKING, VEHICLE TRAFFIC, AND MATERIAL STORAGE SHALL BE LIMITED TO

5. ALL DOWN SPOUTS SHALL BE PIPED OR DISCHARGED ON AN IMPERMEABLE SURFACE TO LANDSCAPING, DRY WELL, SUMP, BIO SWALE OR RAIN WATER CAPTURE SYSTEM. A MINIMUM OF 5-FEET AWAY FROM FOUNDATIONS. ALL PIPE SHALL BE 4" PVC SDR 35 **EROSION AND SEDIMENT CONTROL NOTES:**

1. STORM DRAIN POLLUTION PREVENTION: PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, FIBER ROLLS, SILT FENCES, BERMS OR STORM DRAIN INLET

2. THE EXISTING CONCRETE DRIVEWAY SHALL SERVE AS THE STABILIZED CONSTRUCTION ENTRANCE.

3. FIBER ROLL(S) SHALL BE INSTALLED, IF REQUIRED BY CITY, PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.

4. DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND / OR SOIL TRACKED ON BALBOA AVE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.

5. THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE CITY'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS, GENERAL CONSTRUCTION AND SITE SUPERVISION, PAINTING, APPLICATIONS AND USE OF SOLVENTS AND ADHESIVES, LANDSCAPING AND GARDENING.

6. STOCKPILED MATERIAL SHALL BE COVERED WITH VISQUEEN OR A TARPAULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.

7. ONCE THE PROPOSED ON-SITE DRAINAGE INLETS HAVE BEEN INSTALLED, THE CONTRACTOR SHALL PROTECT ANY BARE SOIL FROM ENTERING THE INLETS BY INSTALLING FILTER FABRIC UNDER THE INLET GRATES. THE FILTER FABRIC SHALL REMAIN UNTIL NATURAL GROUND COVER IS ESTABLISHED.

8. CONTRACTOR SHALL CONTROL DUST AS OFTEN AS REQUIRED BY THE CITY ENGINEER.

9. IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REOCCURRENCE AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL

10. CONTRACTOR MAY BE REQUIRED TO SUBMIT A LOGISTICS PLAN TO THE PUBLIC WORKS DEPARTMENT PRIOR TO COMMENCING WORK THAT ADDRESSES ALL IMPACTS TO THE CITY'S RIGHT-OF-WAY, INCLUDING, BUT NOT LIMITED TO: PEDESTRIAN CONTROL, TRAFFIC CONTROL, TRUCK ROUTES, MATERIAL DELIVERIES, CONTRACTOR'S PARKING, CONCRETE POURS, CRANE LIFTS, WORK HOURS, NOISE CONTROL, DUST CONTROL, STORM WATER POLLUTION PREVENTION, CONTRACTOR'S CONTACT, NOTICING OF AFFECTED SURROUNDING PROPERTIES, AND SCHEDULE OF WORK. THE REQUIREMENT TO SUBMIT A LOGISTICS PLAN WILL BE DEPENDENT ON THE NUMBER OF APPLICATIONS PUBLIC WORKS ENGINEERING RECEIVES WITH CLOSE PROXIMITY TO HELP MITIGATE AND CONTROL THE IMPACT TO THE PUBLIC RIGHT-OF-WAY. IF NECESSARY, PUBLIC WORKS MAY REQUIRE A LOGISTICS PLAN DURING CONSTRUCTION.

COUNTY NOTES

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit construction access routes to stabilized, designated access points.
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and
- sidewalks using dry sweeping methods. Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best
- Management Practices. Construction sites are required to have erosion control materials on-site
- during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

C. For Your Reference Only - Erosion Control Policies for Construction Sites:

necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

NOT TO SCALE

AROUND FIBER ROLL.

SECURE STAKING OF THE ROLL IN

2. ADJACENT ROLLS SHALL TIGHTLY ABUT.

<u>NOTES:</u>

ALTERNATE DETAIL

IN SLOPE AREA

1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND

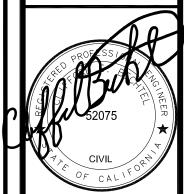
A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.

3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR

Project erosion and sediment control measures shall be maintained as

- 2 -

AND ASSOCIATES, INC. 1321 254th Place, SE SAMMAMISH, WA 98075 650-333-0103 cliffbechtel1@comcast.net



SIDEN ALBOA MVENUE SSO

CONTENTS:

EROSION & SEDIMENT

CONTROL & STAGING

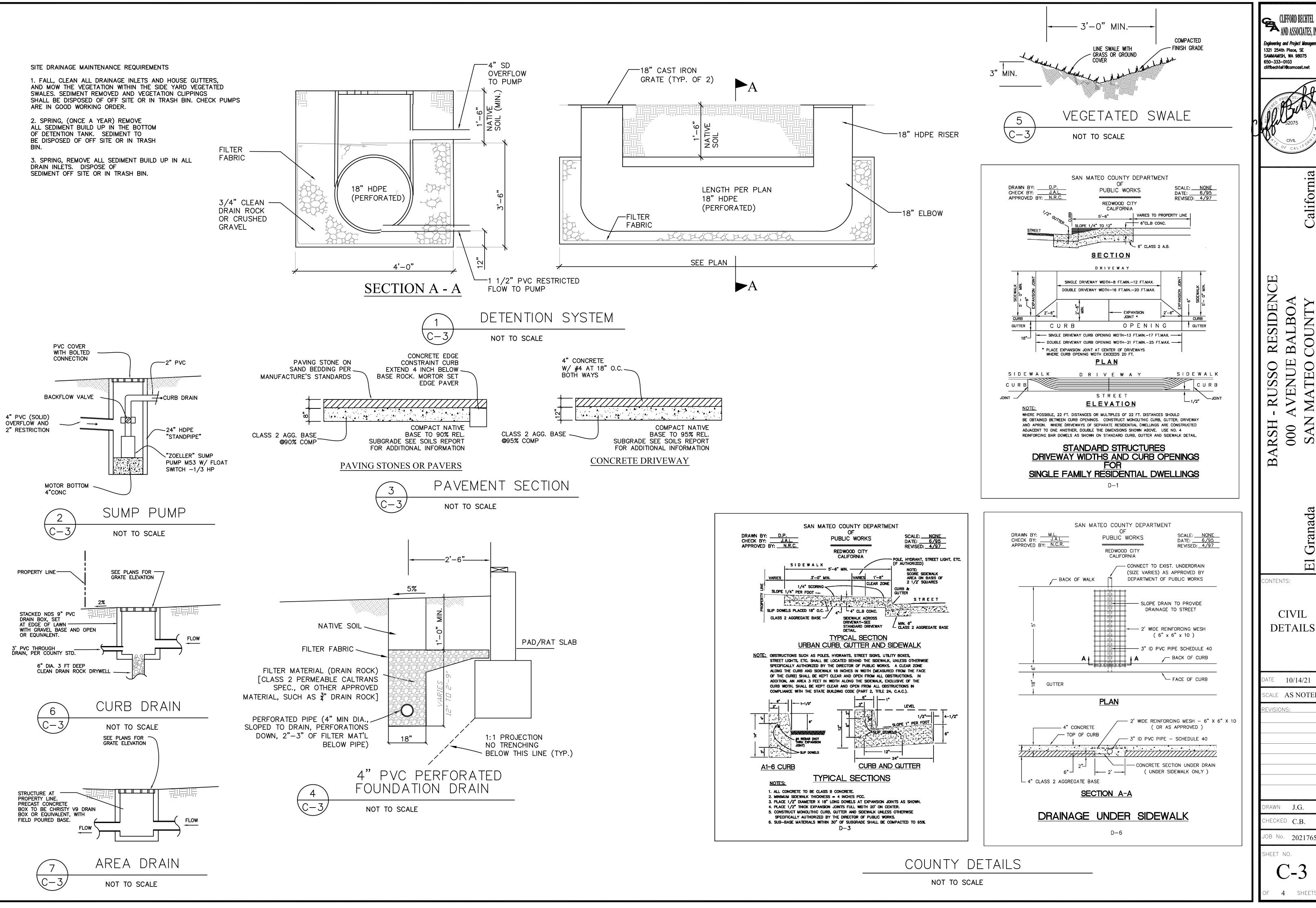
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PLAN

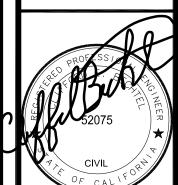
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RAWN J.G. CHECKED C.B.

OB No. 2021765 SHEET NO.



CLIFFORD BECHTEL AND ASSOCIATES, I Engineering and Project Manager 1321 254th Place, SE SAMMAMISH, WA 98075 650-333-0103 cliffbechtel1@comcast.net



BALBOA VENUE

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CIVIL

DATE 10/14/21

SCALE AS NOTE

DRAWN **J.G.** CHECKED C.B.

JOB No. 2021765 SHEET NO.

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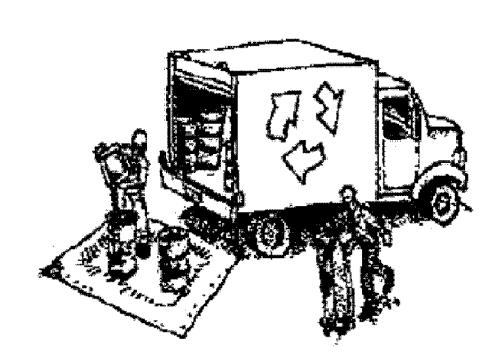


Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

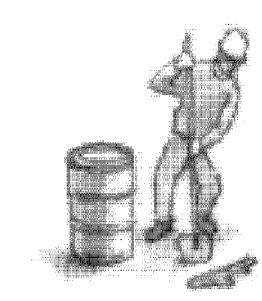
Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



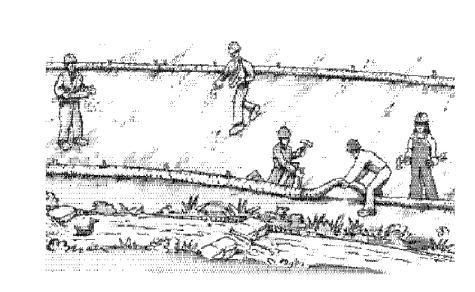
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

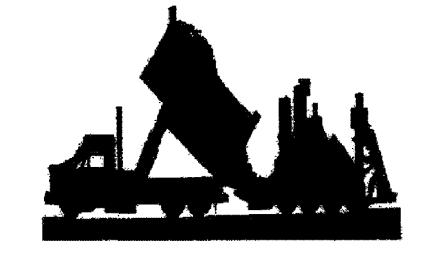


- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration. or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

Paving/Asphalt Work

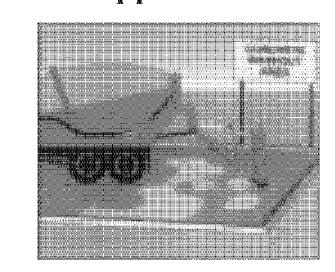


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

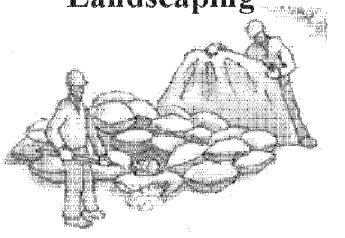
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



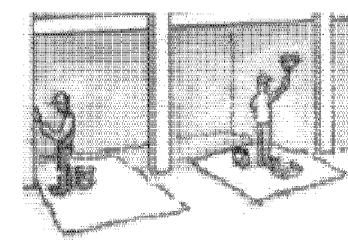
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

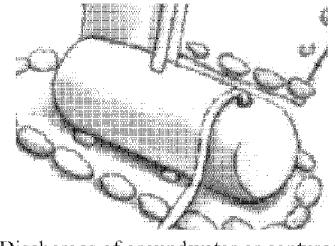
Painting & Paint Removal



Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.

Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

CLIFFORD BECHTEL

AND ASSOCIATES, IN

Engineering and Project Managem 1321 254th Place, SE SAMMAMISH, WA 98075 650—333—0103

RESIDENCE BALBOA VENUE RUSSO BARSH 000

CONTENTS:

CONSTRUCTION BMPCHECKLIST

DATE 10/14/21

SCALE AS NOTED

DRAWN **J.G.** CHECKED C.B.

JOB No. 2021765 SHEET NO.

C-4

Storm drain polluters may be liable for fines of up to \$10,000 per day!







Call

2

What are you shopping for?

Q

Shipping to: San Mateo, CA ▼

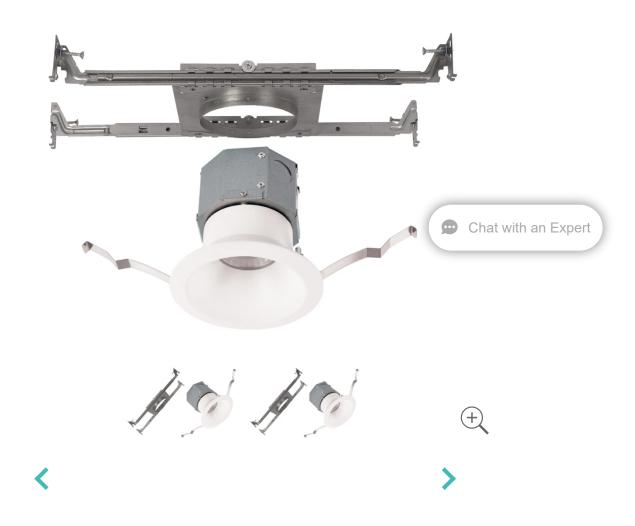
COVID-19 Update: Service & Delivery Info

Item # bci3921005

WAC Lighting Pack of 2 Pop-in 4" LED Recessed Trim and New Construction Housing Downlight - IC Rated and Airtight

Model:R4DRDN-F930-WT-2

Write a Review



\$76.95

Free Shipping!

Leaves the Warehouse in 3 to 5 business days - Shipping to 94401

Finish: White - 500 In Stock

Package Quantity: 2 Pack

2 Pack			>
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Save to Project	pare		

Buy Now, Special Financing Available!

On purchases of \$500 for 6 months, or \$1,000 for 12 months made with your Build.com Credit Card¹

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Overview

Product Overview

Pop-in is a powerful 1,000 Lumen minimum profile recessed downlight with driver and electrical connection junction box attached to the fixture for an easy installation.

Features

- Pack of 2 Fixtures
- R4DRDN includes a new construction frame-in kit, may be configured in field for remodel
- For remodel version (no frame-in kit) see WAC Lighting R4DRDR-F9
- Installs into ceiling thickness between 0.5" and 1.5"
- Hanger bars extend from 14.5" to 24.5"
- Electrical wiring box directly on the back of fixture
- Insulated ceiling rated and airtight
- Solid aluminum construction for maximum durability and minimum product weight
- Dimmable 100% 10% with an electronic low voltage (ELV) or 100% 5% with a TRIAC dimmer
- ETL rated for wet locations
- Energy Star certified
- California Title 24 energy compliant
- 2 Year finish and 5 year mechanical manufacturer warranty

Dimensions

• Trim Size: 4"

• Trim Width/Diameter: 5"

• Total Height: 4-5/8"

Beam Spread: 45°

• Product Weight: 2.01 lbs

• Cutout Size: 4-1/4"

Chat with an Expert

Electrical Specifications

Luminary Type: Integrated LED

• Wattage: 12 watts

• Lumens: 1035

Color Temperature: 3000KColor Rendering Index: 90CRI

• Voltage: 120

Average Hours: 50000

Additional WAC Lighting Links

- View the Manufacturer Warranty
- Browse all WAC Lighting Products
- WAC Lighting Pop-in Collection

This product is listed under the following manufacturer number(s):

WAC Lighting R4DRDN-F930-WT-2

White

Manufacturer Resources



Installation Sheet



Specification Sheet

Dimensions and Measurements

Aperture Size 3 4 in.

Cutout Size 4.25 in.

Depth 3 8.58 in.

Height 4.63 in.

Package Size 2

Product Weight 3 0.9 lbs.

Quantity 2

Trim Size 2 4 in.

Width 14.5 in.

Included Components

Bulb Included Yes

Characteristics and Features

Airtight ? Yes

Bulb Base Integrated LED

Bulb Type 2 LED

Bulk Pack Yes

Color Temperature 3000K

Dimmable Yes

Chat with an Expert

Housing Type

Pown Light Direction

Aluminum

Number of Bulbs

Retrofit

No

Sloped Ceiling Compatible

Trim Style

New Construction Housing

New Construction Housing

No

Nown Lighting

No

No

No

Open Trims, Shower Trims, Reflector Trims

Electrical and Operational Information

Average Hours 50000 Hours

Color Rendering Index (CRI) 90

Lumens 1035

Power Source Pardwired

Voltage 277, 120, 240

Wattage 2 12

Chat with an Expert

Warranty and Product Information

Country Of Origin

China

Energy Star Yes

ETL Listed ? Yes

Fire Rated ? No

IC Rating

Manufacturer Warranty 2 Year Finish, 5 Year

Series WAC Limited

Title 24 Yes









2

What are you shopping for?

Q

Shipping to: San Mateo, CA ▼

COVID-19 Update: Service & Delivery Info

Item # bci3628951

Tech Lighting Peak 13" Tall Warm Color Dimming LED Outdoor Wall Sconce

Model:700WSPEAKI-LEDWD

Write a Review





\$152.00

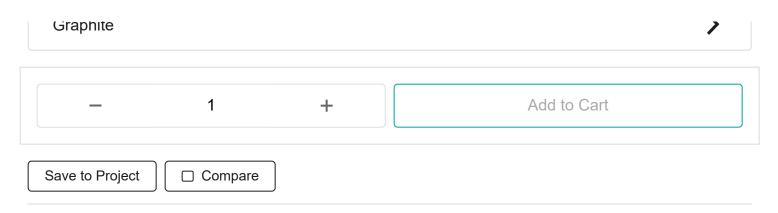
Free Shipping!

Leaves the Warehouse Tomorrow, August 26th - Shipping to 94401

Finish: Graphite - 145 In Stock



Chat with an Expert

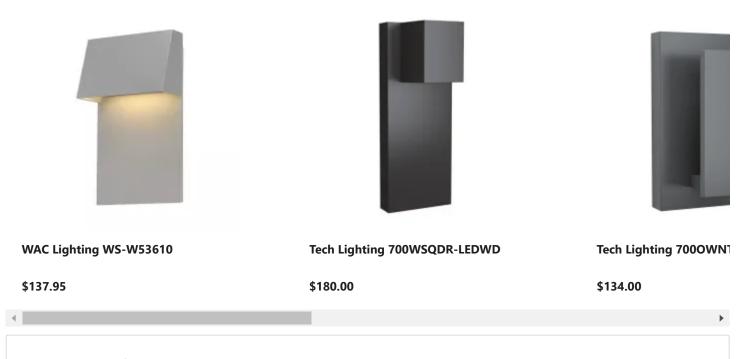


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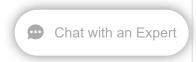


Overview

Product Overview

Features

- Integrated 13.2 watt LED lighting
- 3000K 2200K Warm color dimming LEDs
- Color temperature gradually warms as light dims



- Designed for outdoor use
- Dark sky compliant
- Dimmable with compatible ELV dimmer switches
- ETL rated for wet locations
- Compliant with California Title 24 energy standards
- Covered under Tech Lighting's 5 year warranty

Dimensions

• Height: 13"

• Width: 5"

• Extension: 4-5/16"

• Depth: 4-5/16"

Product Weight: 3 lbsBackplate Height: 13"Backplate Width: 5"

• Backplate Depth: 1-1/2"

Electrical Specifications

• Wattage: 13.2 watts

• Lumens: 295

• Color Temperature: 2200K or 3000K

Color Rendering Index: 90CRI

• Average Hours: 35000

Additional Tech Lighting Links

- View the Manufacturer Warranty
- Browse all Tech Lighting Products
- Tech Lighting Quick Ship Collection

This product is listed under the following manufacturer number(s):

Tech Lighting 700WSPEAKZ-LEDWD

Tech Lighting 700WSPEAKI-LEDWD

Bronze

Graphite

Manufacturer Resources



Installation Sheet



Chat with an Expert

Chacification Chart

Dimensions and Measurements

Backplate Depth **3** 1.5 in.

Backplate Height 3 in.

Backplate Width § 5 in.

Depth 3 4.3 in.

Extension 2 4.3 in.

Height 3 in.

Product Weight 3 lbs.

Width 3 in.

Included Components

Bulb Included Yes

Characteristics and Features

Bulb Base Integrated LED

Bulb Type 2 LED

Color Temperature 2200K, 3000K

Dimmable Yes

Full Backplate Yes

Genre ? Modern

Material

Aluminum

Number of Bulbs 2 1

Reversible Mounting Yes

RGB Yes

Sconce Type

Wall Washer

 Chat with an Expert

Shade Shape

Specialty

Theme

Modern

Electrical and Operational Information

Average Hours 35000 Hours

Color Rendering Index (CRI) 90

Lumens 2 295

Power Source Pardwired

Voltage 2 120

Wattage 3 13.2

Watts Per Bulb 3.2

Warranty and Product Information

ADA Yes

Country Of Origin

China

Dark Sky Yes

Manufacturer Warranty 5 Year

Title 24 Yes

Related Tech Lighting Categories

Browse by Brand

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Quick Ship by Tech Lighting

Pendants

Chandeliers







Q

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HOME / RESIDENTIAL GARAGE DOORS / CANYON RIDGE MODERN

FAUX WOOD MODERN GARAGE DOORS



CANYON RIDGE® MODERN



insulated modern style garage doors with faux wood-look composite overlays.







Canyon Ridge® Modern garage doors combine the beautiful look of wood with contemporary design. Streamline the look of a traditional home or add a sophisticated touch to a modern or mid-century style exterior with these durable faux wood modern doors.

Save WHERE TO BUY **SEE ON MY HOUSE**

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DESIGN OPTIONS

CONSTRUCTION

BROCHURE

INSTALLATION & CARE

VIDEOS

Customize your Clopay® Canyon Ridge® Modern garage door with your preferred design, color, hardware and glazing options. Choose from horizontal plank designs, aluminum inlays, and full-view glass options. If you are in search of more color options, our ColorBlast® program allows you to select from hundreds of Sherwin-Williams®

DOOR DESIGNS

PLANK DESIGN 6"

Shown below in 6" Plank. Also available in 3" Plank



PLANK

PLANK - SHORT WINDOWS DOWN SIDE

PLANK - SHORT WINDOWS DOWN BOTH SIDES

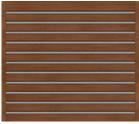
PLANK - ALL WINDOWS



PLANK - LONG WINDOWS DOWN SIDE

PLANK - LONG WINDOWS DOWN BOTH SIDES

METAL (ALUMINUM) INLAY DESIGNS



METAL INLAY

FULL VIEW DESIGNS



FULL VIEW

SPECIALTY GLASS OPTIONS



*Available on Plank and Full-View Design Options only. Note: Impact rated windows available only in clear.

MATERIAL OPTIONS

PLANK CLADDING





CLEAR CYPRESS

METAL (ALUMINUM) INLAY CLADDING





CLEAR CYPRESS

MAHOGANY

FULL VIEW OVERLAY





CLEAR CYPRESS

MAHOGANY

COLORS



FINISH













REQUEST COLOR SAMPLES

Black and White Finish available only on Mahogany cladding and overlays.



Optima® – 880™ Series

4.4 (254) Write a review

Customize This Spa

1. Color

2. Cabinet Color

3. Packages (Optional, Additional Cost)

4. Professional Delivery & Installation Required

(Additional Cost)

Please consult with your local dealer about professional delivery and installation services.

Your delivery zip code: 94019 Change

Your Retailer

Paradise Valley Spas 1737 South El Camino Real SAN MATEO, CA 94402

See How This Works

Select Color / Cabinet Color

\$\$\$\$ \(\text{\tint{\text{\tint{\text{\tin}\text{\ti}\text{\text{\text{\text{\text{\text{\text{\text{\text{\text{\tin}\tint{\text{\text{\text{\text{\text{\text{\text{\text{\text{\tin}\text{\ti}\xitile}}\\ \tittt{\text{\text{\text{\text{\text{\text{\text{\text{\tin}\tint{\text{\text{\text{\text{\texi}\tint{\text{\text{\ti}\xiii}\\ \tint{\text{\tin}\tilex{\text{\text{\til\tii}}\\ \tittitt{\text{\text{\text{\text{\text{\text{\text{\tin}\}\tiin}\tin}

See in Showroom

☐ Need Help? Contact Us

Product Details

Description

The Optima® has the best of everything, with room for up to seven adults and a variety of seat heights formed to fit diverse body types comfortably.

Details

The Optima® has the best of everything, with room for up to seven adults and a variety of seat heights formed to fit diverse body types comfortably. And with unique Fluidix® jet configurations and more massage therapy jets for the neck and shoulders than any other model, the Optima® is our most popular non-lounge Sundance® spa model. Experience Fluidix® jets, from soft, skin-soothing bubbles that deliver aromatherapy to deep tissue release. While the customer-favorite Accu-Ssage™ Seat is included in this spa, two unique jet configurations, with hip massage, make these seats exclusive to the Optima® model. A jetted foot dome also targets fatigued feet from any seat.

Specs

Dimensions: 89" x 89" x 37.5"

Volume: 410 gal / 1552.01 liters

Dry Weight: 924 lbs / 419.11 lbs

Jets: 47

Primary Pump: North America (60 Hz): 1-Speed/2.5 HP Continuous,

11.3A Max., 56 Frame

Secondary Pump: North America (60 Hz): 1-Speed/2.5 HP Continuous,

11.3A Max., 56 Frame

View All

Dimensions

Height (in): 37.5

Length (in): 89.0

Width (in): 89.0

Features







CLEARRAY® UV-C Technology + Filtration

Treats water with the power of nature-inspired UV-C technology to neutralize waterborne pathogens, resulting in clean, fresh water. 880™ MicroClean® Ultra Filtration System with horizontal MicroClean® Ultra Filter, SlipStream™ weir, Dynamic Flow™ Circulation Pump and CLEARRAY® system.

Lighting and Waterfalls

Multicolor SunGlow™ LED lighting brightens up the spa interior, AquaTerrace™ waterfall, footwell and backlit grab bars.

Controls

Advanced i-Touch Contr of use with a glowing, co and icon-driven menus, s spa is easy day or night. optional SmartTubTM Sys

Seating & Jets

Great Tub and Dealer!

"Just purchased my 3rd Sundance spa and am extremely happy with the tub as well as the exceptional service from the dealer"

- Bradzac1 from Edmonton

Nice Spa

"We bought this spa about a month ago and so far am pleased with it. This is our 2nd sundance spa. We bought our 1st on in 1998 and used it till 2017. Never had any major

problems. Original pumps were still working fine after 19 years. We decided it was time for a new spa and after the years of service we got from our 1st one, we were only interested in the sundance brand."

- Whitney19 from Indiana

Happy Happy

"We are so happy we bot been one of the best inv had."

- Rose from Mi









Help	& c	Su	p	ро	rt
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