

Planning and Building Department

455 County Center, 2nd Floor ▪ Redwood City CA 94063  
Mail Drop: PLN 122 ▪ TEL (650) 363-4161 ▪ FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

# Planning Permit Application Form

PLN: \_\_\_\_\_

BLD: \_\_\_\_\_

## Applicant/Owner Information

Applicant: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_ FAX: \_\_\_\_\_

Name of Owner (1): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Name of Owner (2): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

## Project Information

**Project Location** (address): \_\_\_\_\_

**Zoning:** \_\_\_\_\_

**Assessor's Parcel Numbers:** \_\_\_\_\_

Parcel/lot size: \_\_\_\_\_

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Describe Existing Structures and/or Development:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: *Kelly Peery*

Owner's signature: \_\_\_\_\_

Applicant's signature: *tim pond*

Permit Types	Ownership		Survey			Location Map	Site Plans (show all easements)	Elevation Plans	Floor Plans	Landscaping Plan	Grading Projects			Density Analysis/ Certification	Tentative Map	Geotechnical Report	Supporting Statements	C.3 and C.6 Development Review Checklist	NPPDES	Dept. Of Public Works		Access Plans (if >150-ft. from public road)	Other Fire Repts	Septic System	Well	See Regulations for Additional Application Requirements	Plan Reductions (8.5" X 11")	Other		
	Owner's Concurrence	Chain of Title	Title Report (within past 2 mo.)	Proof of Ownership (Deed or Tax Bill)	Boundary Survey						Topographic Survey	Existing Tree Plan	Grading Plans							Erosion/ Sediment Control	Haul Routes (if export exceeds 250 cy)								Driveway/ Access Rd. Profile**	SFDs: 20-ft. wide access rd
Agritourism Permit/ Exemption	✓					✓	✓	✓	✓									✓	✓							✓	✓			
Agricultural Preserve	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Architectural Review	✓					✓	✓	✓	✓	✓	✓	✓							✓	✓							✓	✓		
Architectural Review Exemption										✓	✓	✓							✓	✓							✓	✓		
Certificate of Compliance - Type A																			✓	✓							✓	✓		
Certificate of Compliance - Type B	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Coastal Development	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Coastal Development Exemption	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Coastal Development Exemption	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Major Development Review	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Confined Animal Permit or Exempt.	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Design Review	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Farm Labor Housing	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Fence Ht Ex.	✓					✓	✓	✓	✓										✓	✓							✓	✓		
General Plan Amendment	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Grading	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Grading Exemption	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Home Improvement Exception	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Kennel/Cattery	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Lot Line Adjustment	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Merger																														
Off-Street Parking Exception																														
Planned Agriculture	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Resource Management																														
Rezoning	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Street Name/Change	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Subdivision	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Surface Mining	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Timberland Preserve	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Use Permit	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Use Permit - Telecomm.	✓					✓	✓	✓	✓										✓	✓							✓	✓		
Variance	✓					✓	✓	✓	✓										✓	✓							✓	✓		

\*Required where applicable, as determined by County Staff.

\*\*Turn around may be required by Fire Department

\*\*\*Water tanks may be required by Fire Department

**Submittal Requirements:** 1) 5 sets of plans are required for any application, with the exception of Subdivision applications where 7 sets are required, plus an electronic vector-based map on disc (preferred).

**Disclaimers:** In addition to those items checked, other items may be required on a case-by-case basis during the Planning permit review process. Plans approved under a Planning Permit are preliminary to construction. Additional information may be requested at the building permit stage.

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063  
 Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

# Application for Design Review by the County Coastside Design Review Committee

Permit #: PLN \_\_\_\_\_

Other Permit #: \_\_\_\_\_

## 1. Basic Information

**Applicant:**

Name: Timothy Pond  
 Address: 651 Potter Ave  
Half Moon Bay Zip: 94018  
 Phone,W: 650. 5767177 H: \_\_\_\_\_  
 Email: \_\_\_\_\_

**Owner** (if different from Applicant):

Name: Kelly Peery  
 Address: 183 East Hilton Drive #21  
Boulder Creek Ca Zip: 95006  
 Phone,W: 415.653.9768 H: \_\_\_\_\_  
 Email: kelly\_peery@yahoo.com

**Architect or Designer** (if different from Applicant):

Name: \_\_\_\_\_  
 Address: \_\_\_\_\_ Zip: \_\_\_\_\_  
 Phone,W: \_\_\_\_\_ H: \_\_\_\_\_ Email: \_\_\_\_\_

## 2. Project Site Information

**Project location:**

APN: 037118110  
 Address: None assigned  
 \_\_\_\_\_ Zip: \_\_\_\_\_  
 Zoning: R1 -S17  
 Parcel/lot size: 5201 sq. ft.

**Site Description:**

- Vacant Parcel
- Existing Development (Please describe):

Garage to be demolished

## 3. Project Description

**Project:**

- New Single Family Residence: 2446 sq. ft
- Addition to Residence: \_\_\_\_\_ sq. ft
- Other: \_\_\_\_\_

**Describe Project:**

SFD

**Additional Permits Required:**

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

## 4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish	Check if matches existing
		(If different from existing, attach sample)	
a. Exterior walls	<u>Hardie panel Bat and Board</u>	<u>Sweet Innocence BM 2125-50</u>	<input type="checkbox"/>
b. Trim	<u>painted wood</u>	<u>BM 1604 Silvery Moon</u>	<input type="checkbox"/>
c. Windows	<u>Anderson series 400 clad</u>	<u>white</u>	<input type="checkbox"/>
d. Doors	<u>Anderson series 400 clad</u>	<u>white</u>	<input type="checkbox"/>
e. Roof	<u>Metal standing seam</u>	<u>slate grey</u>	<input type="checkbox"/>
f. Chimneys	<u>NA</u>		<input type="checkbox"/>
g. Decks & railings	<u>Glass</u>	<u>clear</u>	<input type="checkbox"/>
h. Stairs	<u>NA</u>		<input type="checkbox"/>
i. Retaining walls	<u>Gabion</u>	<u>loose rock</u>	<input type="checkbox"/>
j. Fences	<u>stained cedar</u>		<input type="checkbox"/>
k. Accessory buildings	<u>NA</u>		<input type="checkbox"/>
l. Garage/Carport	<u>Same as house (attached)</u>		<input type="checkbox"/>

## 5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

- (optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

## 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Kelly Peery

Owner:

*Kelly Peery*

Applicant:

Timothy Pond

Date:

*tim pond*

Date:

# Environmental Information Disclosure Form

## Planning and Building Department

PLN \_\_\_\_\_

BLD \_\_\_\_\_

Project Address: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Assessor's Parcel No.:      —      —  
 \_\_\_\_\_  
    —      —

Zoning District: \_\_\_\_\_

Name of Owner: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

Name of Applicant: \_\_\_\_\_

Address: \_\_\_\_\_

Phone: \_\_\_\_\_

### Existing Site Conditions

Parcel size: \_\_\_\_\_

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

### Environmental Review Checklist

#### 1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
		b. Construction of a new multi-family residential structure having 5 or more units?
		c. Construction of a commercial structure > 2,500 sq.ft?
		d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y.      Fill: _____ c.y.
		f. Subdivision of land into 5 or more parcels?
		g. Construction within a State or County scenic corridor?
		h. Construction within a sensitive habitat?
		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

**Please explain all "Yes" answers:**

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

**Signature required on reverse →**

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
		a. Construction outside of the footprint of an existing, legal structure?
		b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
		e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
<b>Please explain any "Yes" answers:</b>		
<hr/>		
<hr/>		
<hr/>		
<hr/>		
<hr/>		

## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
		<p>a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u></p> <p>If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.</p>
		<p>b. <u>Land disturbance of 1 acre or more of area?</u></p> <p>If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <b>prior</b> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.</p>

## Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: *tim pond*

Date: 5.16.21

(Applicant may sign)

**MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELo)**  
**SHORT FORM PRESCRIPTIVE COMPLIANCE**

**Applicant Information:**

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

**Project**

Site Address: \_\_\_\_\_

Project Type (*new dwelling, commercial, or rehab*): \_\_\_\_\_

~~XXX~~ This project does incorporate landscaping equal to or less than 2500 sq ft and will be using this form to identify prescriptive requirements which will be included as part of the landscape project. (*Please provide the information below specific to the landscape area and identify the location on the plans each design measure can be found using the LANDSCAPE WATER-EFFICIENCY (MWELo) APPENDIX – D CHECKLIST on page two*):

Total Landscape Area (sq. ft.): \_\_\_\_\_ Turf Area (sq. ft.): \_\_\_\_\_

Non-Turf Plan Area (sq. ft.): \_\_\_\_\_ Special Landscape Area (sq. ft.): \_\_\_\_\_

Water Type (*potable, recycled, well*): \_\_\_\_\_

Name of water purveyor (*If not served by private well*): \_\_\_\_\_

**Signature**

I certify the above information is correct and agree to comply with the requirements of the MWELo.

*tim pond*

\_\_\_\_\_  
Signature of property owner or authorized representative

\_\_\_\_ **5.15.21** \_\_\_\_

\_\_\_\_\_  
Date

**LANDSCAPE WATER-EFFICIENCY (MWELO) APPENDIX – D CHECKLIST**  
 (Can only be used when aggregate landscape areas are 2,500 square feet or less)

<b>Landscape Parameter</b>	<b>Design Measures</b>	<b>Location on Plans</b>
<b>Compost</b>	Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).	A1.1
<b>Plant Water Use</b>	<u>Residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water. <u>Non-residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water.	A1.1
<b>Mulch</b>	A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.	A1.1
<b>Turf</b>	Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.	A1.1
	Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.	A1.1
	Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.	
<b>Irrigation System</b>	Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.	NA
	Irrigation controller programming data will not be lost due to an interruption in the primary power source.	
	Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.	
	A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.	

**Signature**

I agree to comply with the requirements of the prescriptive compliance option of the MWELO per Appendix D.

*tim pond*

\_\_\_\_\_  
 Signature of property owner or authorized representative

**5.15.20** \_\_\_\_\_  
 \_\_\_\_\_ Date

**Note**

For the purposes of this for landscape area includes all the planting areas, turf areas, and water features in a landscape design plan subject to the Maximum Applied Water Allowance calculation. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).



## Key Features

Ships To US and Canada

The Maxim Lighting Civic Dark Sky LED Outdoor Wall Sconce is a stripped down version of the traditional outdoor lantern shape. The broad shade seemingly stands alone, yet there is a discreet frosted diffuser over the hidden LED module underneath. This simple piece also features a stainless steel cable, adding a little texture and contrast to this minimal piece.

Maxim Lighting, headquartered in California, offers high-quality lighting fixtures in a variety of designs, finishes, and glass styles that complement contemporary and transitional interiors.

**The Civic Dark Sky LED Outdoor Wall Sconce is available with the following:**

### Details:

- Stainless steel cable
- Frosted dome diffuser
- Designed in 2016
- Finish: Architectural Bronze
- Material: Metal
- Dimmable when used with Electronic low voltage (ELV) dimmer dimmers(not included)
- Dark Sky compliant
- UL Listed Wet
- Made In China

### Options:

- Size: Small, Medium, Large

### Lighting:

- Small Option: 6 Watt (726 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K
- Medium Option: 11 Watt (900 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K
- Large Option: 11 Watt (900 Lumens) 120 Volt Integrated LED: CRI: 85 Color Temp: 3000K

### Compare Brightness:



### Dimensions:

- Small Option Backplate: Width 4.25", Height 7.25"
- Small Option Fixture: Width 7.75", Height 8.25", Depth 9.5", Weight 2.7Lbs.
- Medium Option Backplate: Width 4.5", Height 9.25"
- Medium Option Fixture: Width 9.75", Height 10.25", Depth 11.75", Weight 4.24Lbs.
- Large Option Backplate: Width 5.75", Height 12.25"
- Large Option Fixture: Width 13.5", Height 13.75", Depth 15.75", Weight 6Lbs.

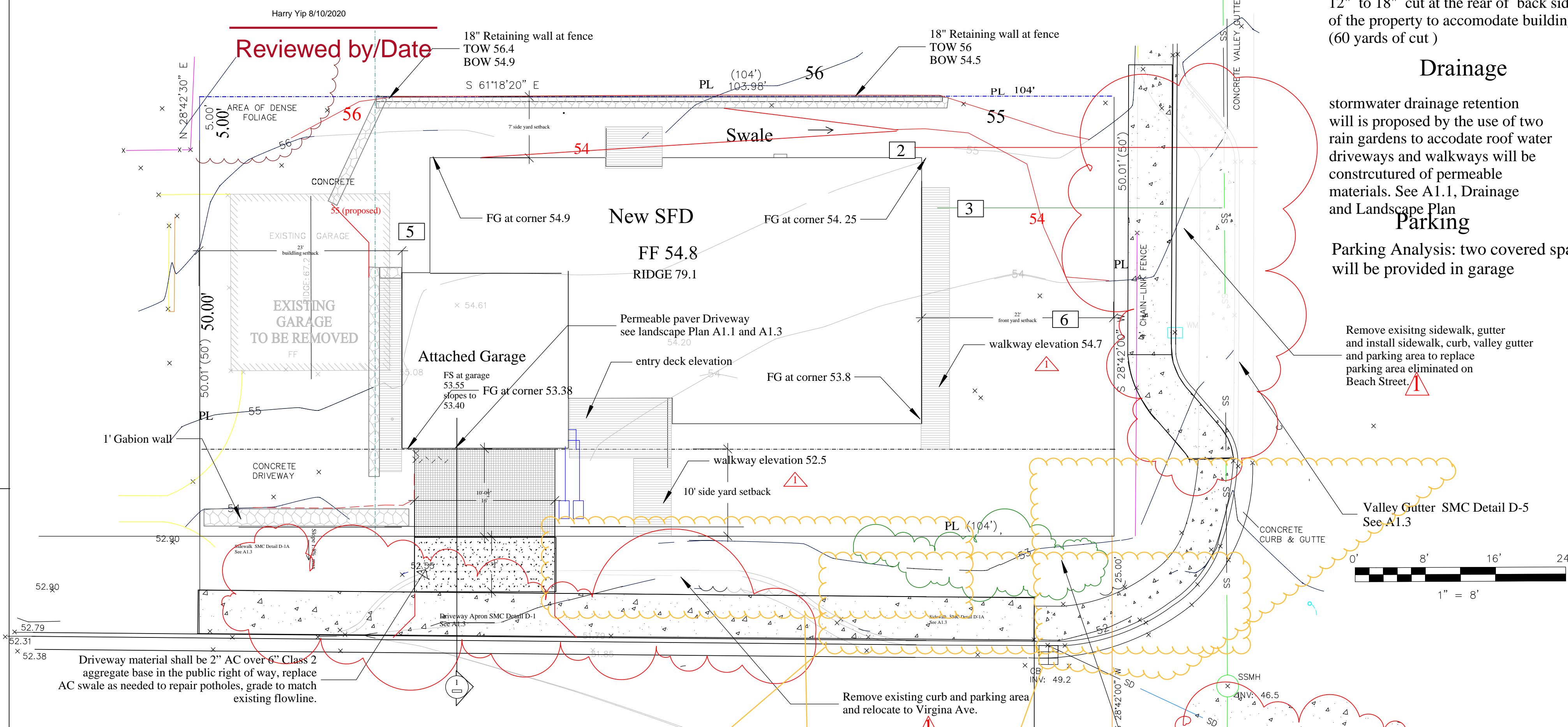
**Manufacturer IDs:** [view](#)

**California Residents:** [Prop 65 regulations](#)



Note: All work outside of the property lines must have approved utility and encroachment permits

Reviewed by/Date



- 1 3/4" water main with approved, certified reduced pressure backflow device per district standards. Wilkins Model 375 RP as required for radiant heating system. Provide gate valve at ADU. (hand dig under any drip line) F
- 2 200 Amp meter panel with UG feed per SMC REGS
- 3 SDR 26 sewer main
- 4 Solar PV Panels
- 5 Condensing Unit for heat pump, heat pump water, heater location
- 6 Fire and domestic water meters

6 The property shall be in a compliance with the vegetation management requirements prescribed in California Fire Code section 4906, including California Public Resources Code 4291 or California Government Code Section 51182 per CR337.1.5. Remove and clear away all flammable vegetation or combustible growth for 30' from each side of building. Remove any tree limbs within 10 feet of chimney outlet. Eliminate any dead wood from trees overhanging building. Maintain the roof to be free of leaves, needles or dead vegetation. Create a fuel break of defensible space is required around the perimeter of all structures (to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line). This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood. The Coastside Fire District Ordinance 2019-01, the 2019 California Fire Code 304.1.2

7. The applicant must have an asphalt surface road for ingress and egress of fire apparatus. The City of Half Moon Bay Department of Public Works, San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2019-01, and the California Fire Code shall set road standards. As per the 2019 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Coastside Fire District specifications. As per the 2016 CFC, Section Appendix D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

8. As per 2019 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details. residence

Fire Protection Notes

1. Interconnected hard-wired smoke detectors required with battery back-up which shall be installed per manufacturers instructions and NFPA 72, California Building Code and Coastside Fire District Ordinance 2019-01 in all conditioned or new sleeping rooms and at a point centrally located in the co corridor or area giving access to each separate sleeping area.
2. Escape or rescue windows shall have a minimum clear openable area of 5.7 square feet or 5.0 square feet allowed at grade level windows. The minimum net clear opening height shall be 24" minimum and the net width no less than 20". Finished sill height shall be no more than 44" above the finished floor.
3. As per CFD ordinance 01-2019, building identification shall be conspicuously posted and visible from the street. The numbers for permanent address signs shall be 4 inches in height and minimum 3/4" stroke. Such letters or numbers shall be internally illuminated and facing the direction of access.
4. As per Coastside Fire District Ordinance 2019-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
5. Hydrant shown near corner of property. Letter containing flow confirmation of 1000 gpm at 20 PSI will be submitted to the district prior to permit issuance.

Grading

Building site with surrounding drainage features is relatively flat, sloping 10 % +/- . Existing grades will be maintained with new structure with the exception of 12" to 18" cut at the rear of back side of the property to accommodate building pad. (60 yards of cut)

Drainage

stormwater drainage retention will be proposed by the use of two rain gardens to accodate roof water driveways and walkways will be constructed of permeable materials. See A1.1, Drainage and Landscape Plan

Parking

Parking Analysis: two covered spaces will be provided in garage

Project Description

Project consists of a 2065 sq ft Single Family Dwelling with attached 381 garage Occupancy R-3 and U Zoning Residential S-17 Construction Type: V-B, wood frame on slab two stories Automatic Fire Sprinklers required WUI designation: Low risk Square footage : total 2446 Zoning S-17 R-1 Required Setbacks: street side: 10', (actual 10') front 20 (Actual 22') rear 20' (Actual 23') side: 5' (Actual 7') Combined side setback 15' (actual 17') DR method of compliance: facade articulation

Energy Requirements: PV system 2.49 KWdc HERS verifications Building-level Verifications: • Indoor air quality ventilation • Kitchen range hood Heating System Verifications: • Verified heat pump rated heating capacity HVAC Distribution System Verifications:

Governing Codes

- Technical Building Codes
- 2019 California Building Code (Volumes 1 and 2)
- 2019 California Residential Code
- 2019 California Green Building Standards Code (CALGreen)
- 2019 California Electrical Code
- 2019 California Mechanical Code
- 2019 California Plumbing Code
- 2019 California Fire Code
- 2019 California Administrative Code
- 2019 California Energy Code

Sheet Index

- A1.0 Plot Plan, Title, Planning Data Survey
- A1.1 Drainage and Landscaping Plans
- A1.2 Erosion Control Plan
- A1.3 Site Details and Exterior Materials BMP Sheet
- A2.1 Main Level Floor Plans
- A2.2 Second Level and Roof Plan
- A3.1 West and South Elevations
- A3.2 North and East Elevations
- A3.3 Details
- A4.1 Sections
- M1 Mechanical Plan Lower Level
- M2 Mechanical Plan Upper Level
- M3 Radiant Heating Plan
- Title 24 CF1-R (1)
- Title 24 CF1-R (2)
- Title 24 Mandatory Measures
- S1 Structural Notes and TTitle
- S2 Foundation Plan
- S3 Framing Plans
- S4 Details
- S5 Details
- Calgreen Checklist 1
- Calgreen Checklist 2

Deferred Submittal  
Solar PV system  
Automatic Fire Sprinklers

OWNER: KELLY PEERY  
183 East Hilton Dr, #21  
BOULDER CREEK,  
95006 CA  
kelly\_peery@yahoo.com  
415.653.9768  
Site Location  
AP # 037118110  
239 Beach Street  
Moss Beach CA 94038

Designer: Tim Pond  
Tim Pond Design and Construction  
Phone 650.576.7177 timpond@gmail.com

Structural Engineer:  
Mohammad Saaber  
Saabco Consulting  
1263 EL Camino Real Suite 1  
Menlo Park Ca  
650 234-9219  
saabco@saabco.com  
License 46461

Revisions	Date
Planning Submittal	5.15.21
Planning Reubmittal	7.29.21

Drawn By TP	Scale 1/8" = 1'
-------------	-----------------

Site Plan A1.0  
Drawn By Tim Pond  
CA Contractor's License # 931840

Planning Data

Lot Coverage			
First Floor			
Existing garage			336 sq.ft.
Total			336 sq.ft.
Lot Size	104 ft	50.01 ft	5201.04 sq.ft.
Existing Lot Coverage	336 / 5201.04	or 6.460246412 %	

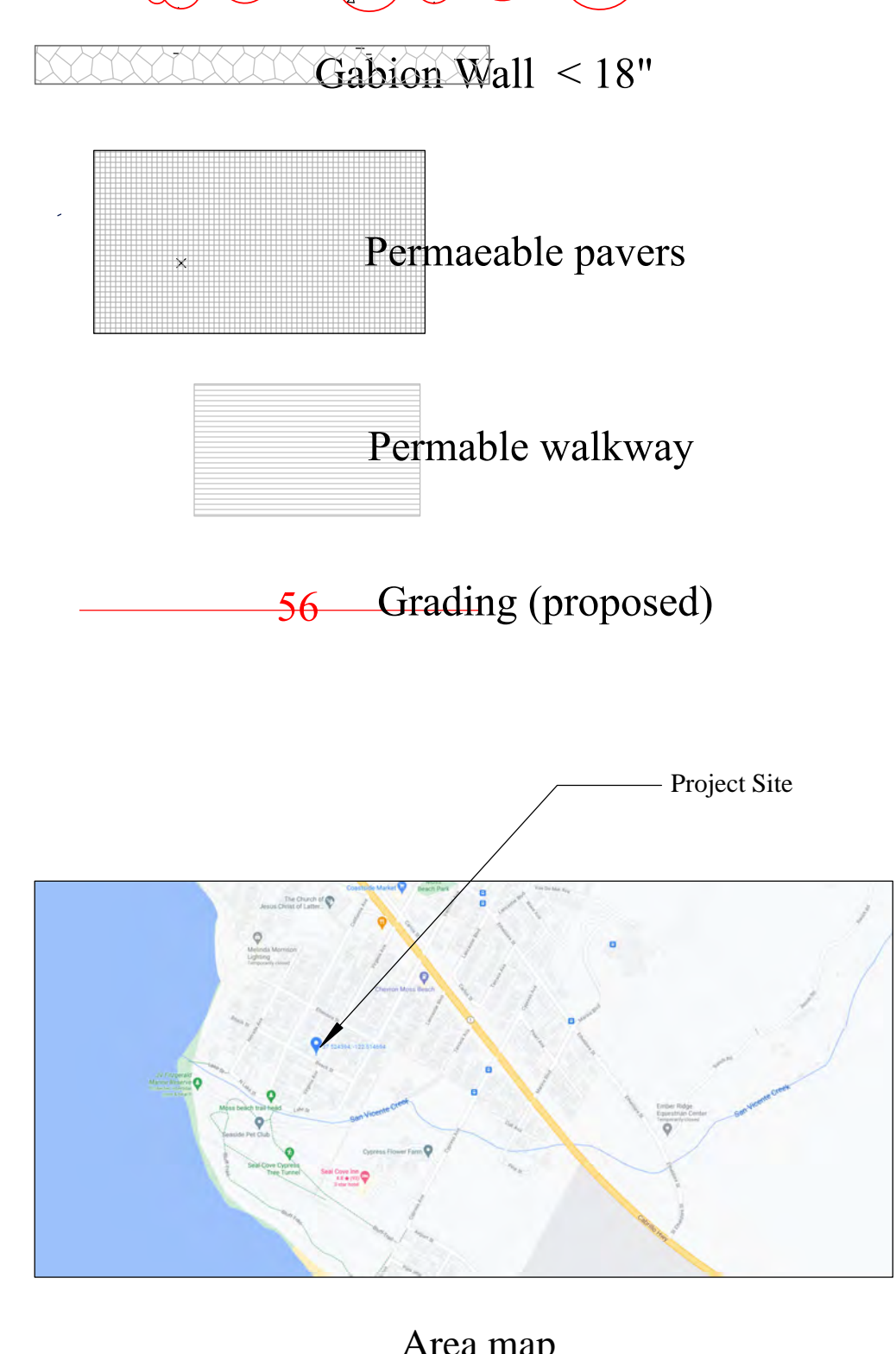
Proposed New Lot Coverage			
Existing Lot Coverage			0 sq ft
New Residence Coverage			1769 sq ft
covered porch			50
Decks > 18"			0 sq.ft.
Total			1819 sq ft
Proposed Lot Coverage	1819 / 5201.04	or 34.97377448 %	

Floor Area Ratio (FAR)

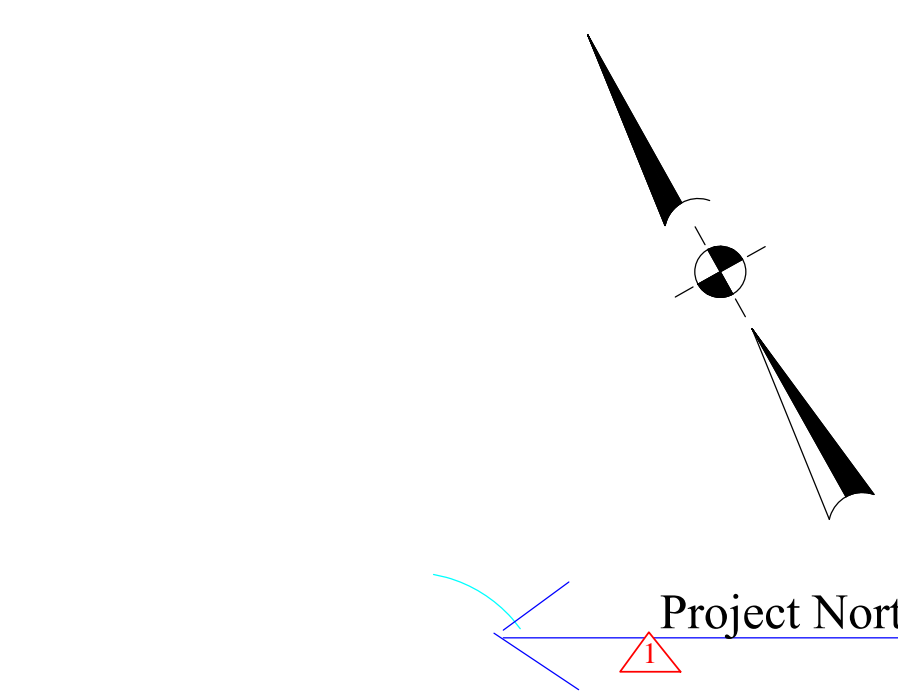
Existing Floor Area Ratio			
Garage (to be demolished)			336 sq.ft.
Lot Size	104 ft	50.01 ft	5201.04 sq.ft.
Existing FAR	336 / 5201.04	or 6.460246412 %	

Proposed Floor Area Ratio

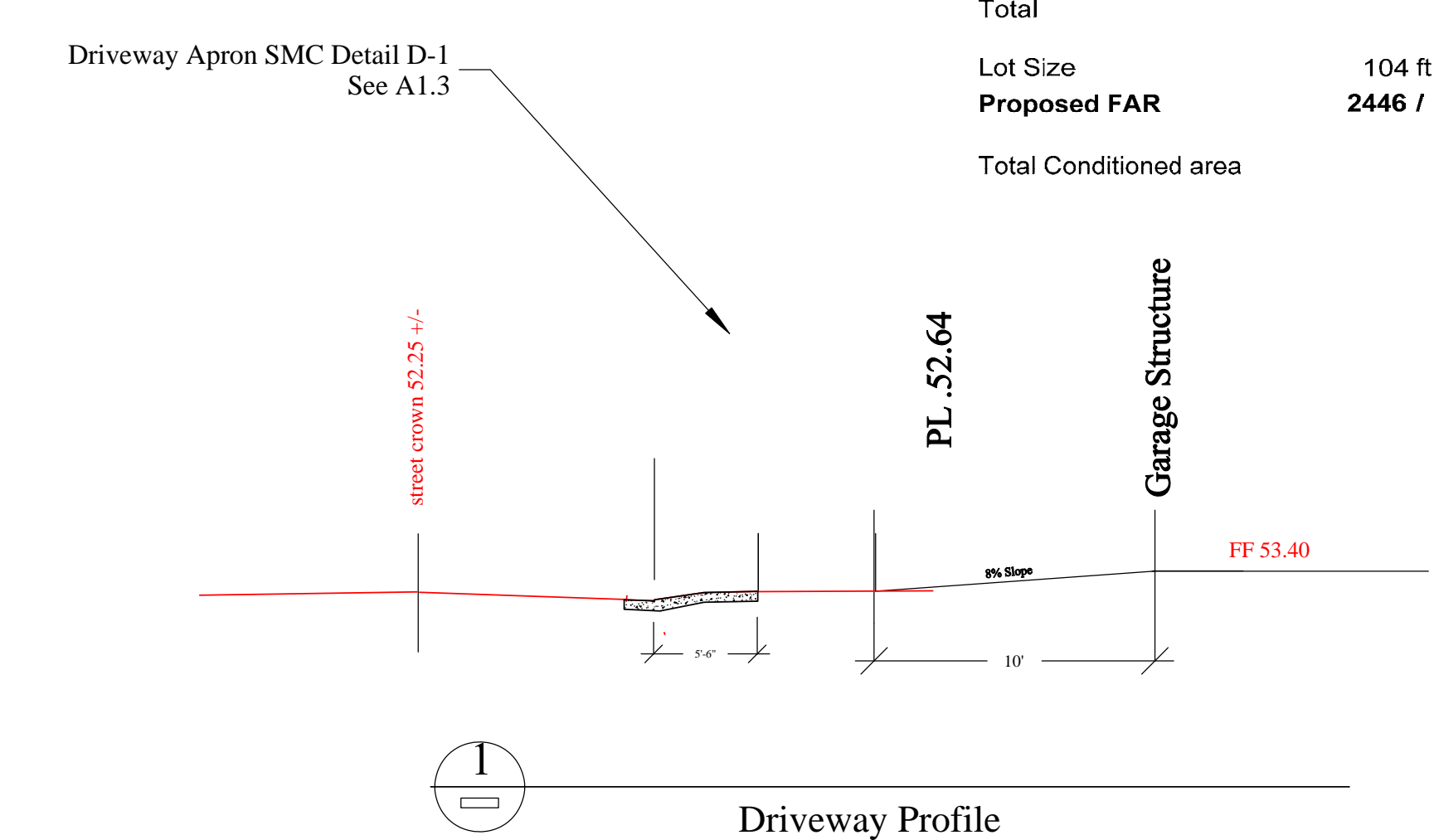
1st Floor living			1388 sq.ft.
garage			381
2nd floor living area			677 sq.ft.
Total			2446 sq.ft.
Lot Size	104 ft	50.01 ft	5201.04 sq.ft.
Proposed FAR	2446 / 5201.04	or 47.0 %	
Total Conditioned area			2065 sq.ft.



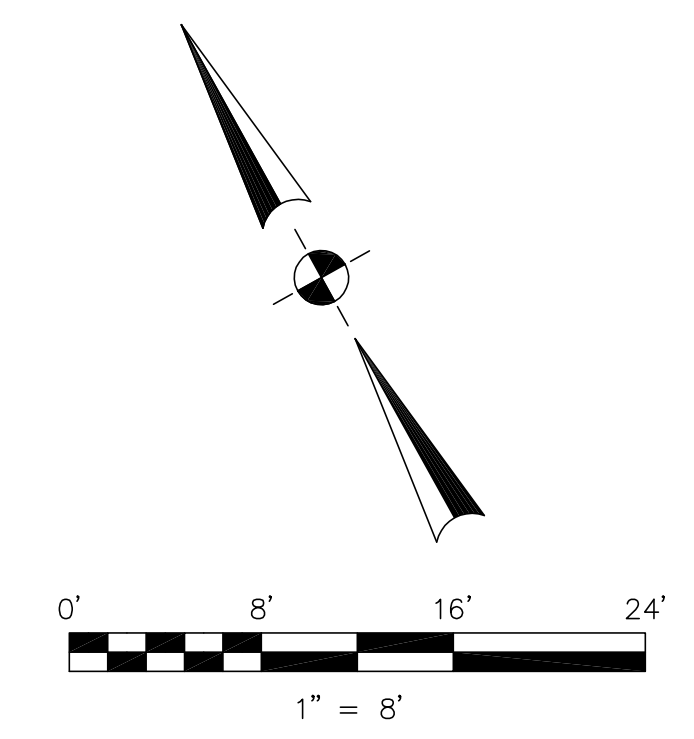
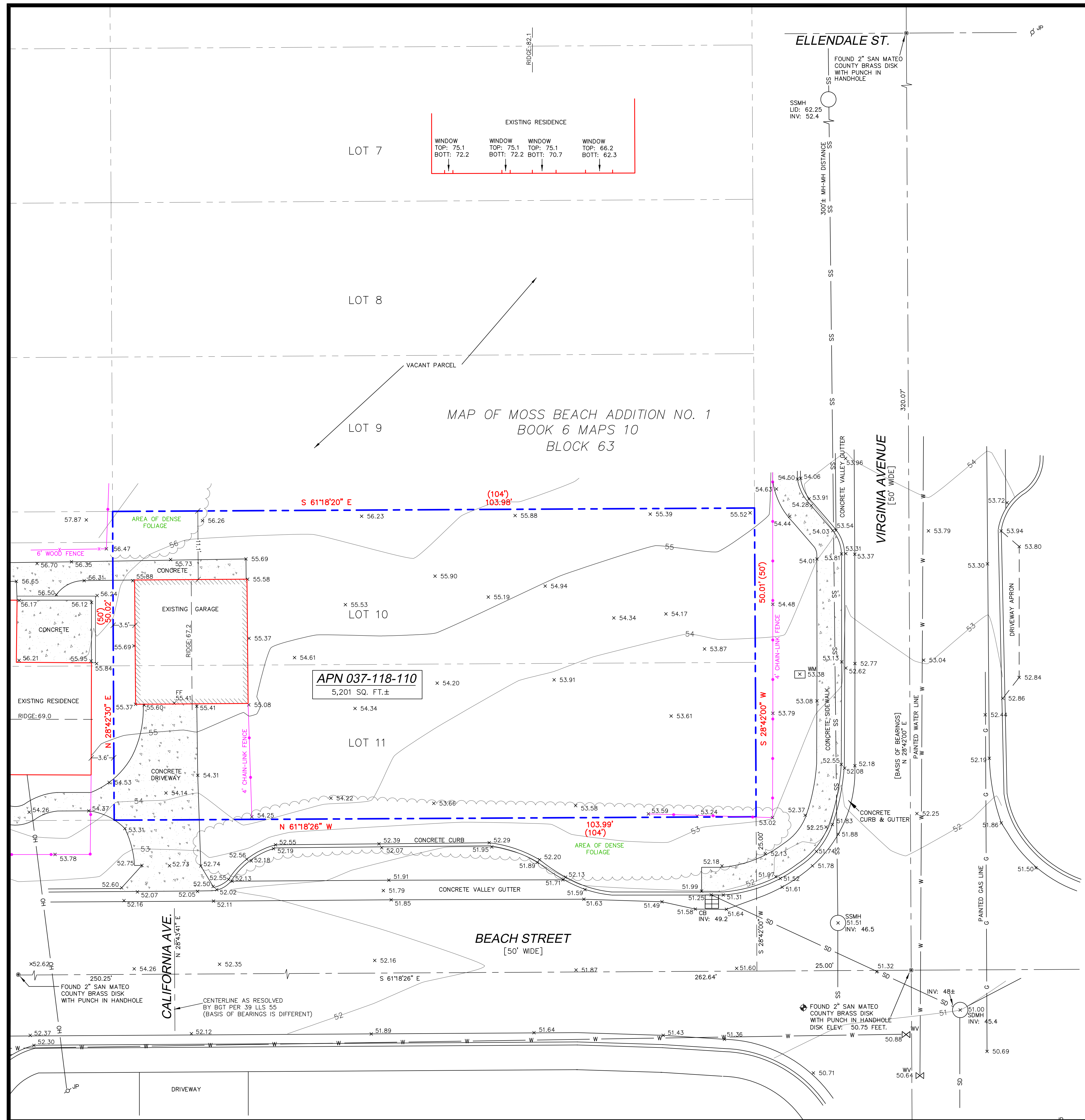
Area map



Project North



Driveway Profile



**BASIS OF BEARINGS**

THE BEARING, NORTH 28°42'00" EAST, OF THE MONUMENTED CENTERLINE OF VIRGINIA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY BY THE COUNTY OF SAN MATEO WHICH WAS FILED FOR RECORD IN VOLUME 14 OF LLS MAPS AT PAGE 18 ON APRIL 23, 1992, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID HT1812), A BRONZE DISK IN THE TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE NORTHEAST CONCRETE HEADWALL AT THE NORTHEASTERLY JUNCTION OF STATE HIGHWAY 1 AND ETHELDORRE STREET. ELEVATION: 60.91 FEET. LOCAL BENCHMARK IS THE SAN MATEO COUNTY BRASS DISK IN HANDHOLE AT THE INTERSECTION OF VIRGINIA AVENUE AND BEACH STREET WITH AN ELEVATION OF 50.75 FEET.

**NOTES:**

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1440749, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

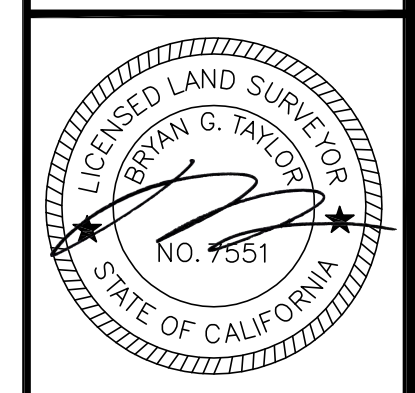
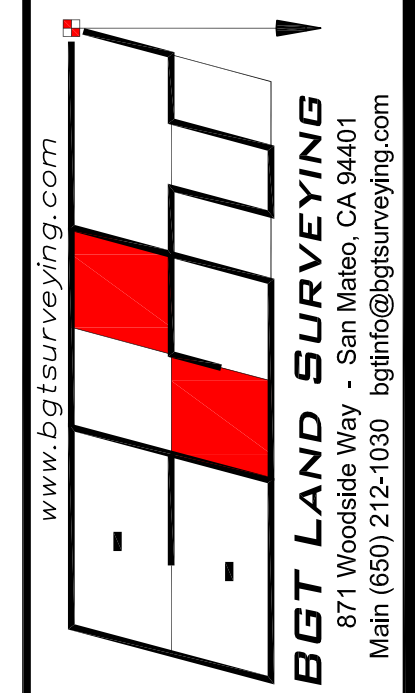
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: DECEMBER, 2016  
JOB NUMBER: 16-135

**LEGEND**

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CO CLEAN OUT
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GUY GUY ANCHOR
- GV GAS VALVE
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- PBV PACBELL/SBC VAULT
- PG&E PG&E VAULT
- PP POWER POLE
- SSMH SANITARY SEWER MANHOLE
- TBC TOP BACK OF CURB
- WM WATER METER BOX
- WV WATER VALVE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 VACANT LOT, VIRGINIA AVENUE  
 MAP OF MOSS BEACH ADDITION NO. 1 (BOOK 6 MAPS 10)  
 LOTS 10-11, BLOCK 63, MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
037-118-110

Prepared For:  
JOVI JOHNSTON DEWETT  
2280 BOKWOOD DRIVE  
SAN JOSE, CA 95128

Date: MAY, 2021  
Scale: 1" = 8'  
Contour Interval: 1'  
Drawn by: LHL

Revisions:

**SU-1**  
Job No. 16-135

OWNER: KELLY PEERY  
 183 East Hixon Dr, #21  
 BOULDER CREEK, CA  
 95006  
 AP# 037118110

RESIDENCE FOR  
 KELLY PEERY  
 VIRGINIA AVENUE, MOSS BEACH,  
 CA  
 kelly\_peery@yahoo.com

Designer: Tim Pond  
 Tim Pond Design and Construction  
 Phone 650.576.7177 timepond@gmail.com

Drawn By Tim Pond  
 CA Contractor's License # 931840

Drawn By TP Scale 1/8" = 1'

Revisions	Date
Planning Submittal	5.15.21
Planning Reubmittal	7.29.21

**Landscape Plan** A1.1

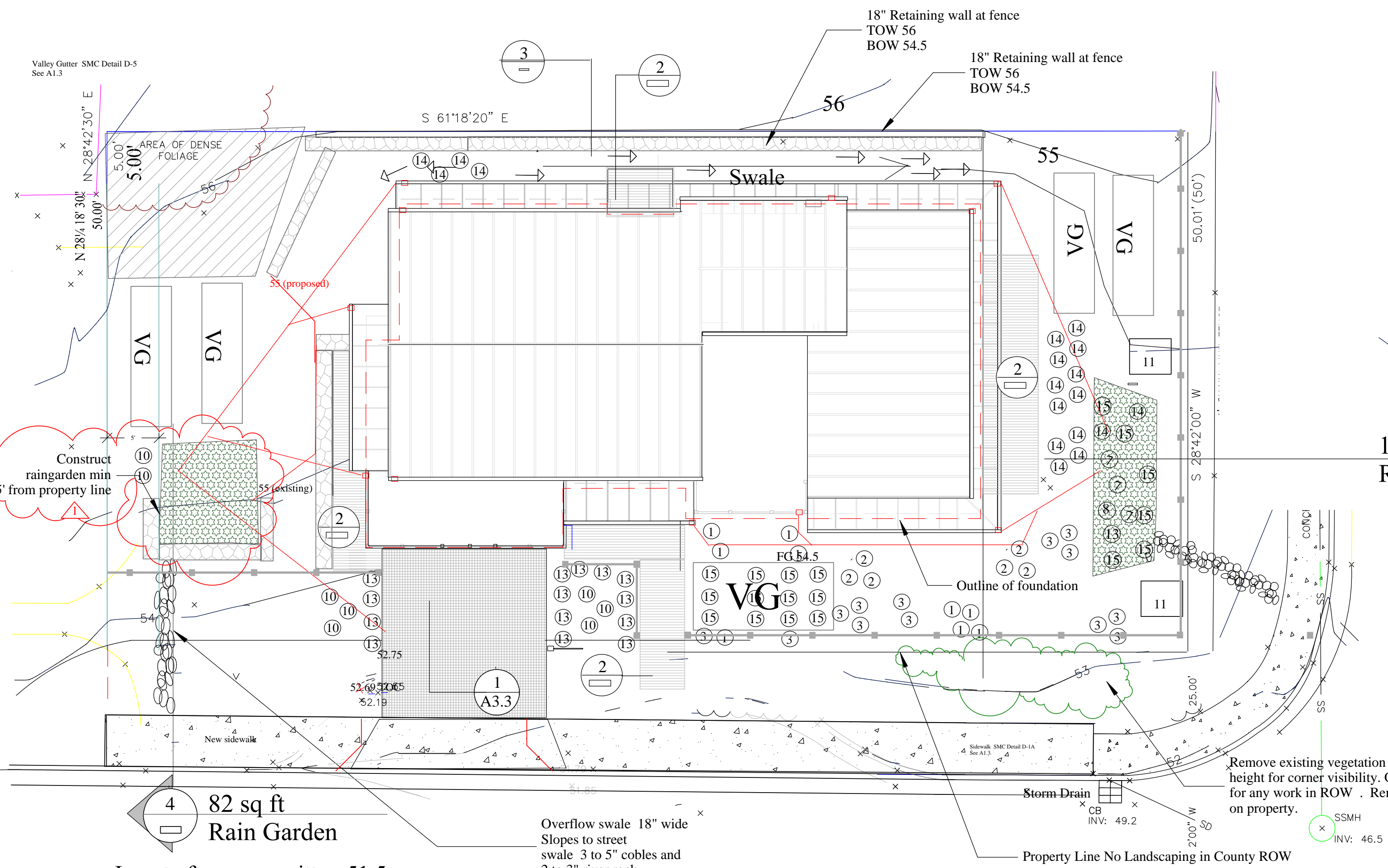
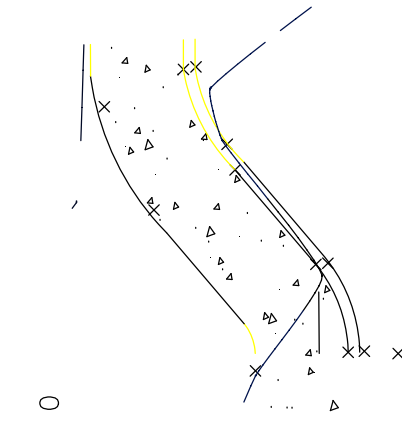
**Model Water Efficient Landscape Ordinance Prescriptive Compliance Option**  
 (Required Information and Signature, and prescriptive measures)

Project APN: 037118110  
 2242 sq ft of landscaping, no turf on the project  
 (This excludes area of walkways, driveways, undisturbed area, patios and garden walls)  
 Private residence  
 No irrigation, hand water only. Water purveyor Montara Water and Sanitary District  
 Owner responsible for Maintenance  
 Kelly Peery, owner residing on property

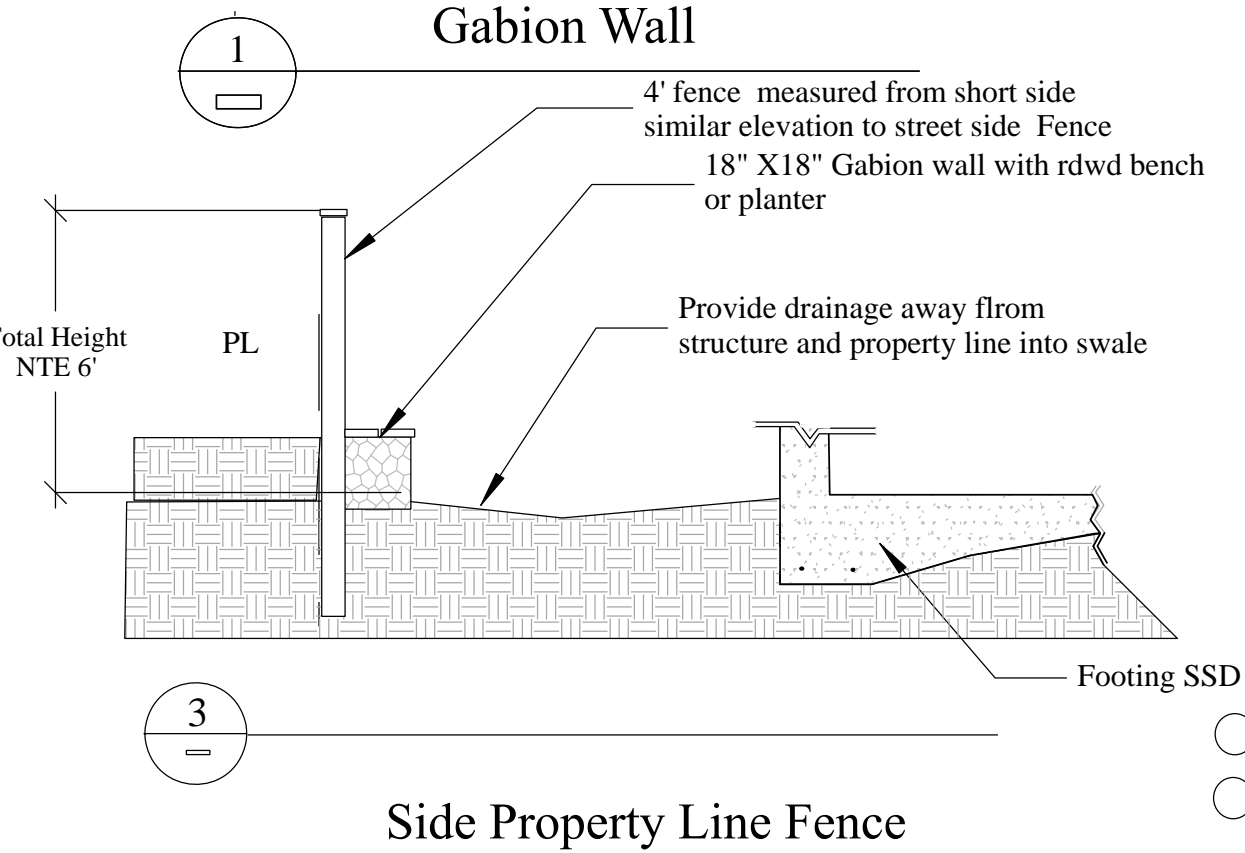
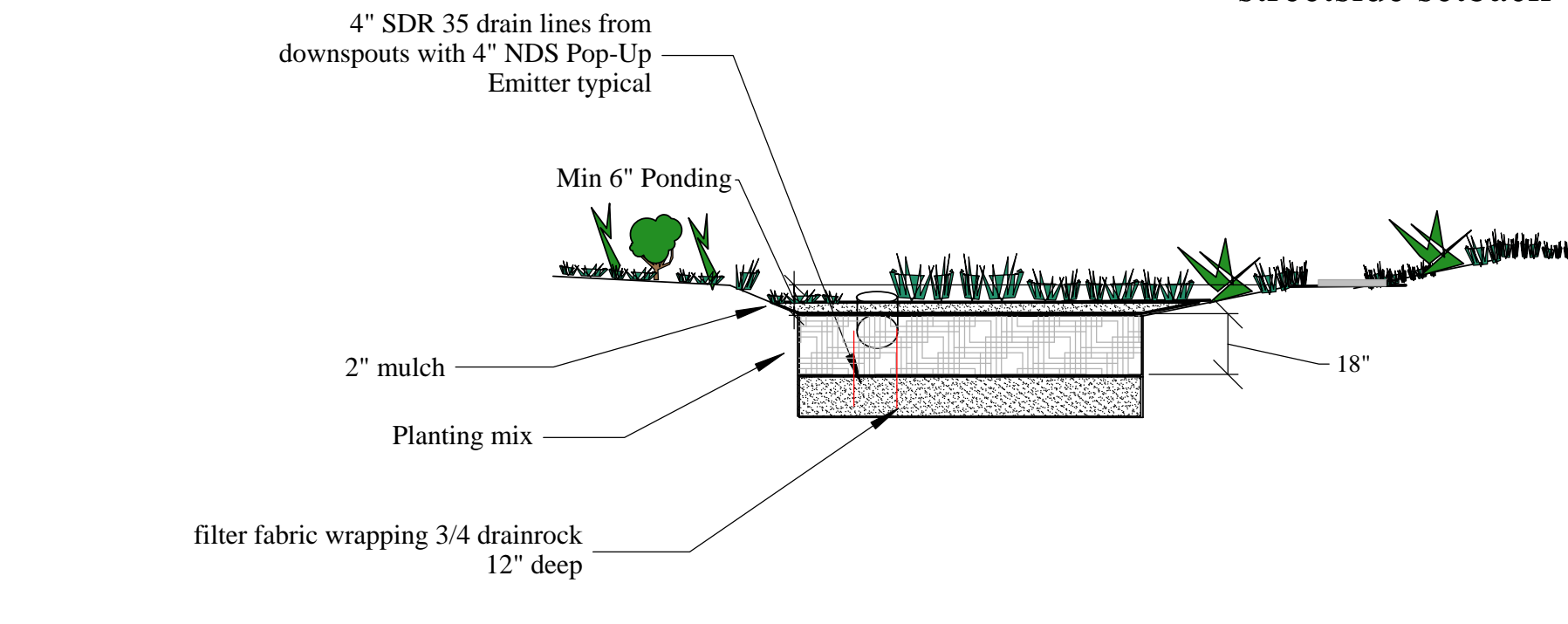
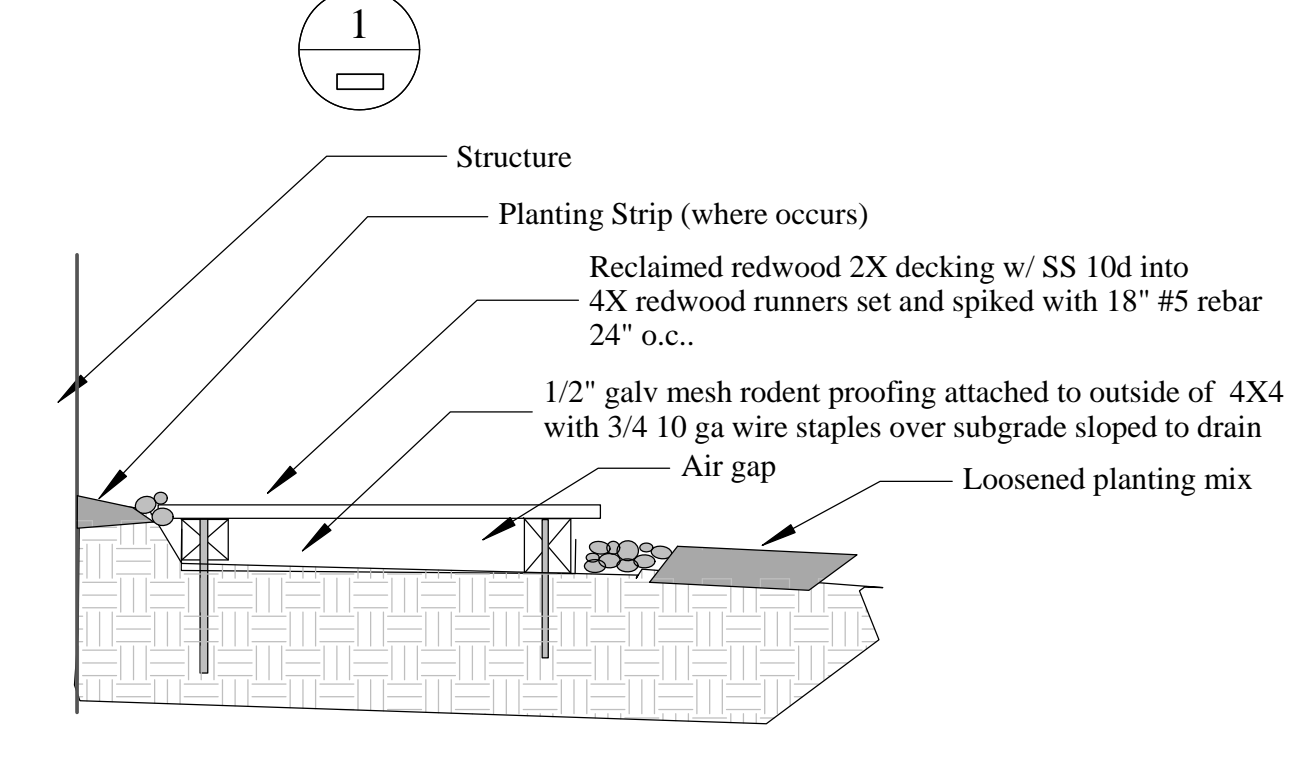
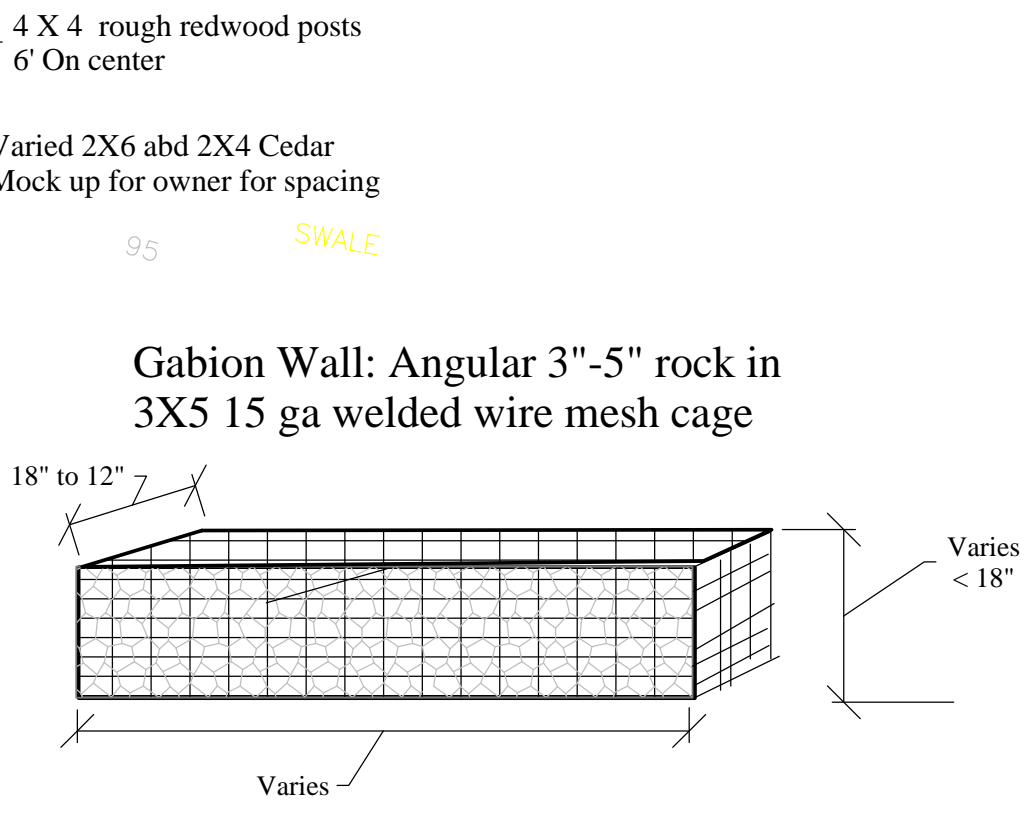
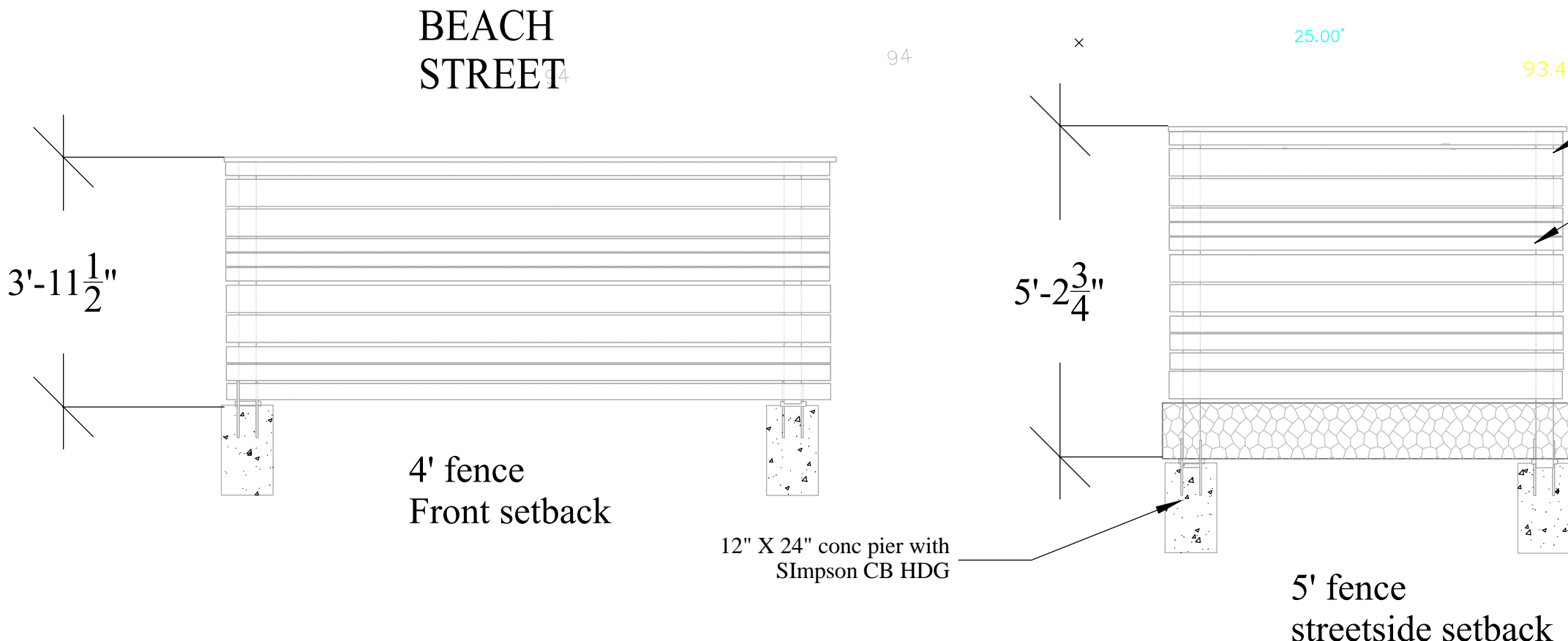
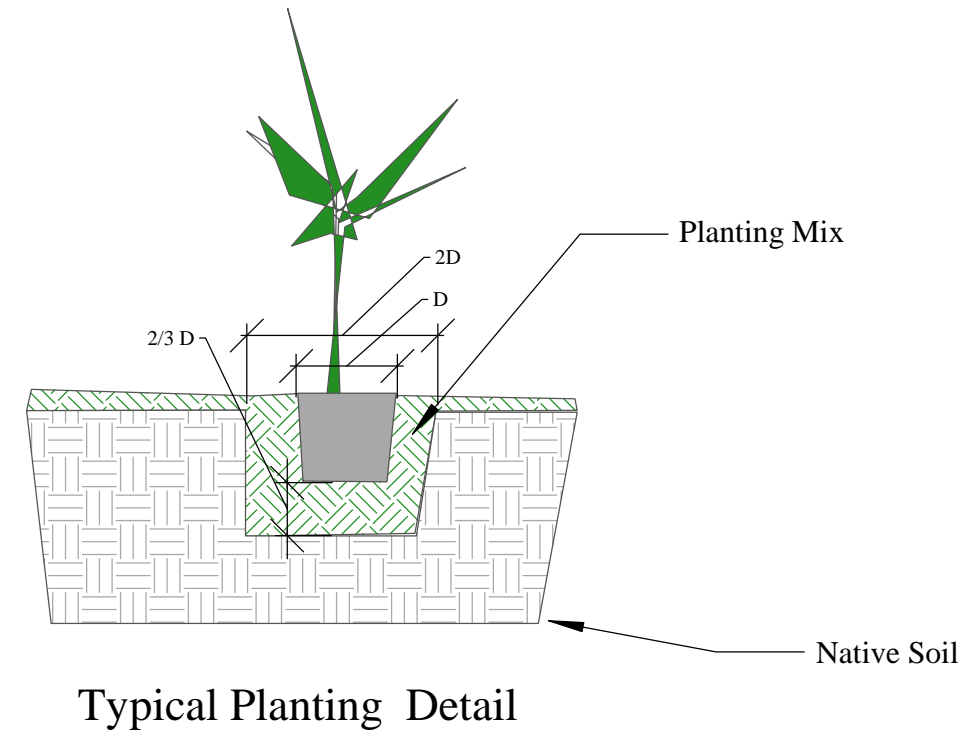
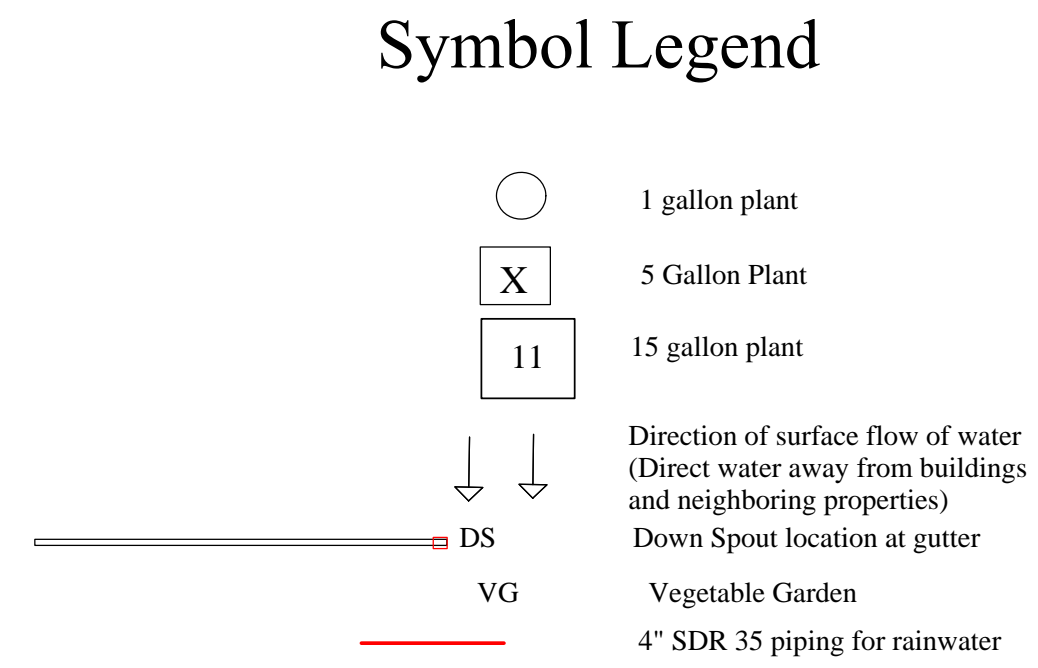
**Mandatory Measures:**  
 Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contra-indicated by a soil test);  
 Plant material shall comply with all of the following:  
 For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water; For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;  
 (8) A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.

In addition to mandatory measures: In front and street side yards: Add 3 inches of compost and till it in to a depth 12 inches for increased drainage.

"I agree to comply with the requirements of the prescriptive compliance option to the MWELO".  
 Signature



**Belgard Aqualine Victorian Driveway Paver**



**Plant Legend**

Mark	Botanical Name	Common Name	Water Use	Type	Quantity
①	Achillea 'Terra Cotta'	yarrow	Low .03	Ground Cover	18 total
②	Achillea borealis	island pink yarrow	Low .03	Ground Cover	
③	Achillea millefolium	yarrow	Low .03	Ground Cover	
④	Cneorum tricoccon	Olive	Moderate	Tree	3
⑤	Arctostaphylos uva-ursi	Wood's Compact'	Low .03	Shrub	13
⑥	Baccharis pilularis	coyote bush	Low .03	Shrub	2
⑦	Bouteloua curtipendula	sideoats gramma	Very Low .01	Ornamental grass	10
⑧	Calandrinia spectabilis	rock purslane	Low .03	Schrub	10
⑨	Aster chilensis	dwarf California aster	Moderate .05	Small tree	
⑩	Artichoke	Artichoke	Edible NA	Flowering	6
⑪	Pear Tree	Pear Tree	Moderate .05	Tree	
⑫	Prunus ilicifolia ssp. lyonii	Catalina cherry	Low .03	Tree	
⑬	Erigeron karwinskianus	Santa Barbara Daisy	Low .03	Ground cover	85
⑭	Festuca californica	California fescue	Low .03	Ornamental grass	30
⑮	Fragaria spp.	Strawberries	Edible	Ground cover	30

Source: WUCOLS IV UC California Agriculture and Natural Resources

OWNER: KELLY PEERY 183 East Milton Dr, #21 BOULDER CREEK, CA 95006 AP# 037118110	
RESIDENCE FOR KELLY PEERY VIRGINIA AVENUE, MOSS BEACH, CA kelly_peery@yahoo.com	
Designer: Tim Pond Tim Pond Design and Construction Phone 650.576.7177 timpond@gmail.com	
Drawn By Tim Pond CA Contractor's License # 931840	
Planning Submittal	5.15.21
Erosion Control Plan	A1.2

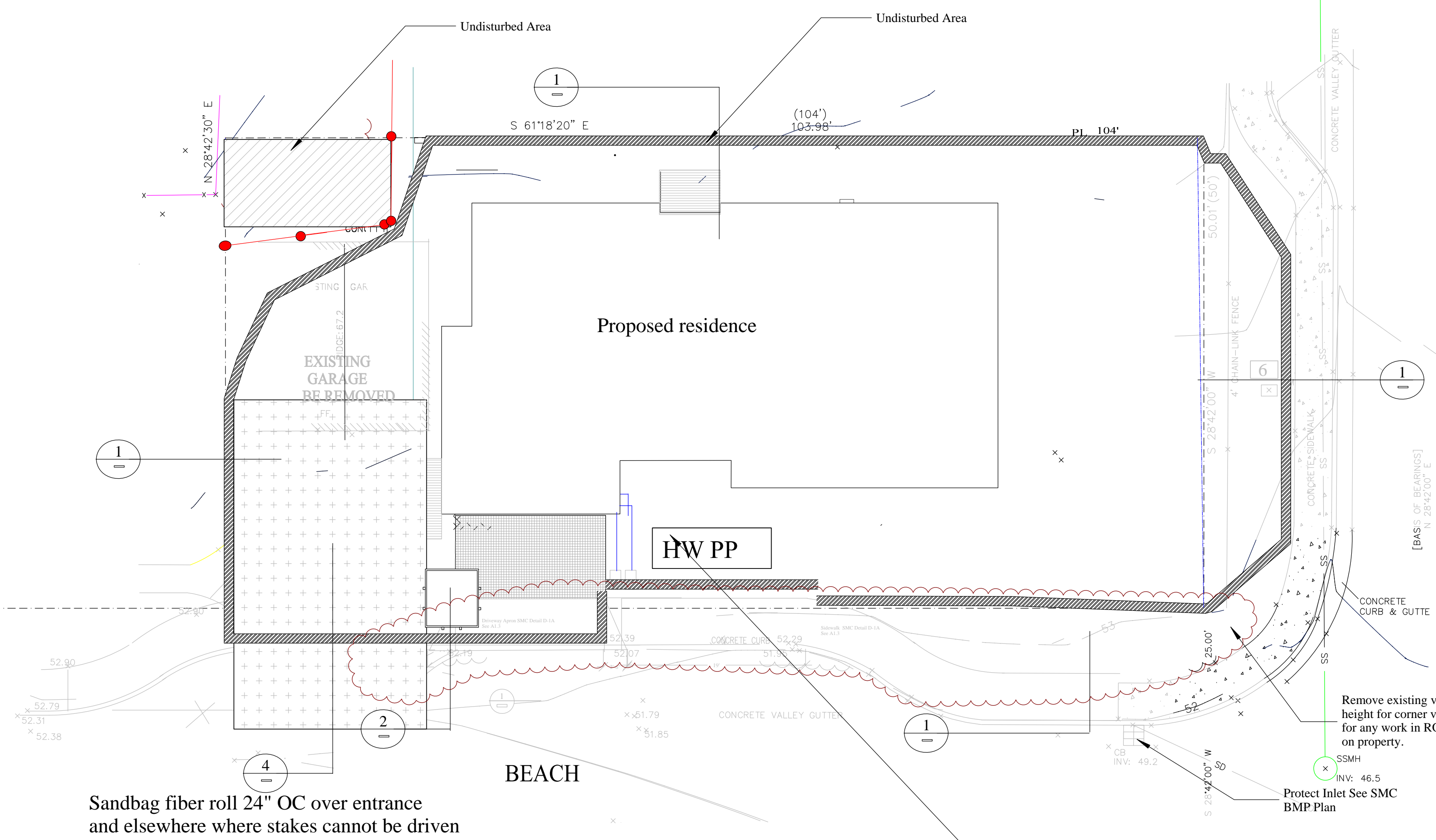
### Erosion Control Narrative and Responsible Person Contact Info

Access to the site will be stabilized construction entrance  
 Mulch should be spread on exposed soils if work is proceeding during wet weather. Refer to BMP sheet and additona EC notes this page for more details on stockpiles, storage of materials etc.  
 Erosion control should be check weekly and before and after storms, and particular attention should be given to the front property line, where runoff natually flows into the swale at the pavement edge.

Responsible person:  
  
 Tim Pond  
 650 576-1777

### Erosion Control Notes

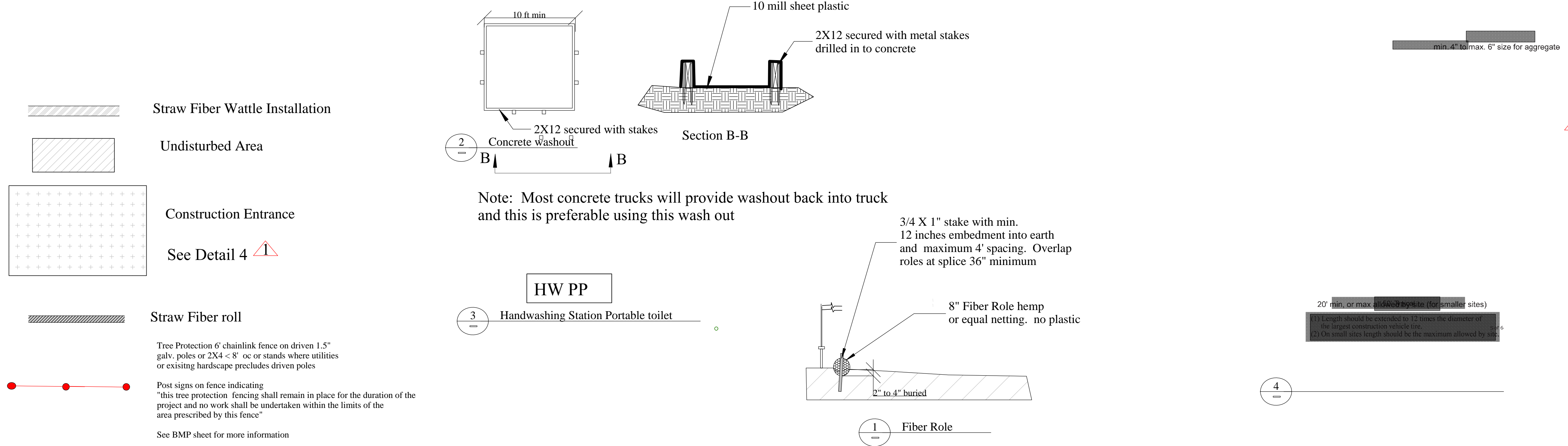
1. Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
2. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
3. Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
4. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
5. Limit construction access routes to stabilized, designated access points.
6. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
7. Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
8. Store erosion materials on site as required required on weekends and during rain events at the front of the property for easy access.
9. The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over." Construction sites are required to have erosion control materials on-site during the "off-season."
10. Dust control is required year-round.
11. Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile. Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.



Sandbag fiber roll 24" OC over entrance and elsewhere where stakes cannot be driven

portable wash station and toilet  
 Provide covid signage per SMC health requirements

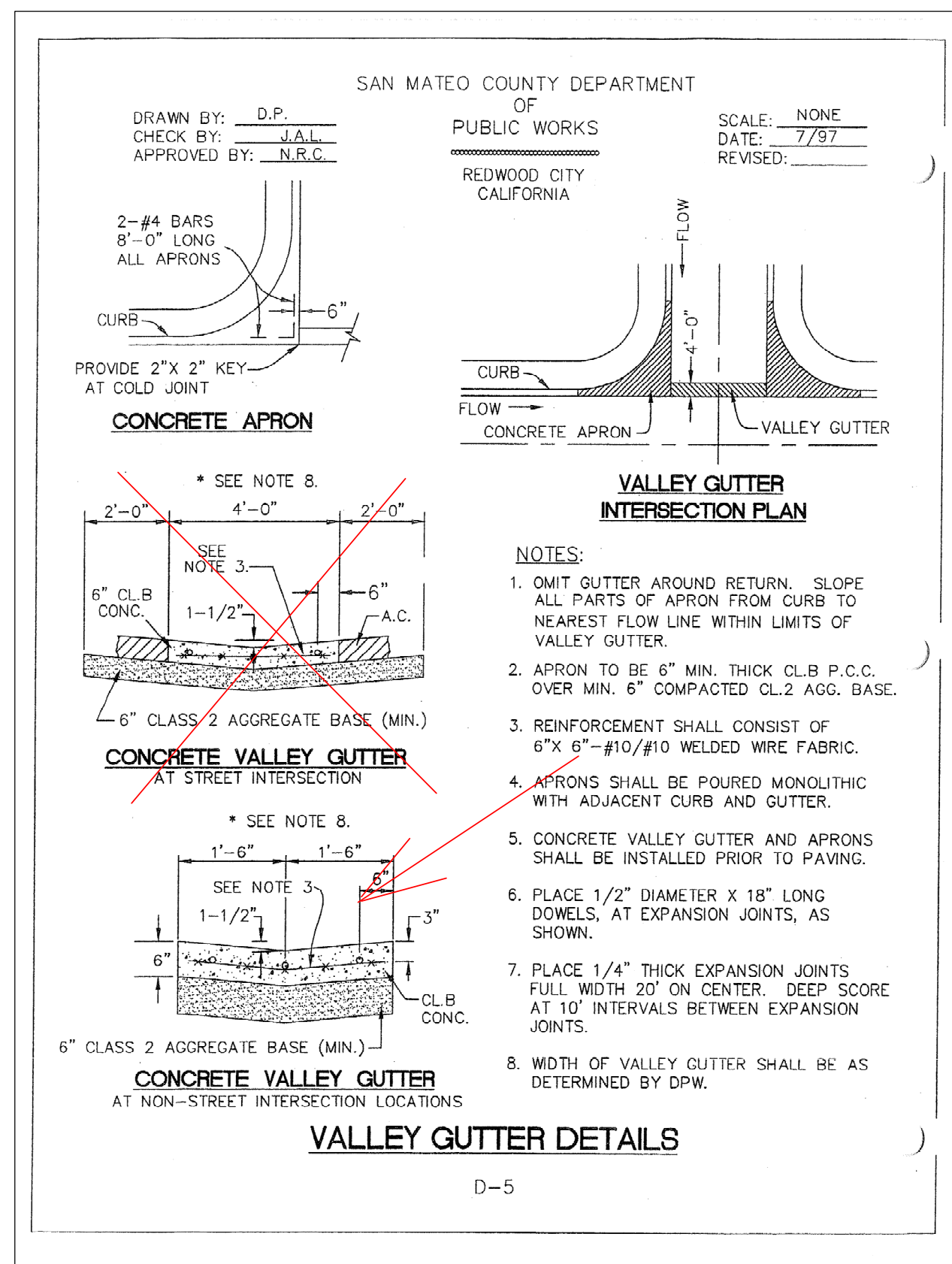
### Stabilized Construction Entrance/Exit TC-1



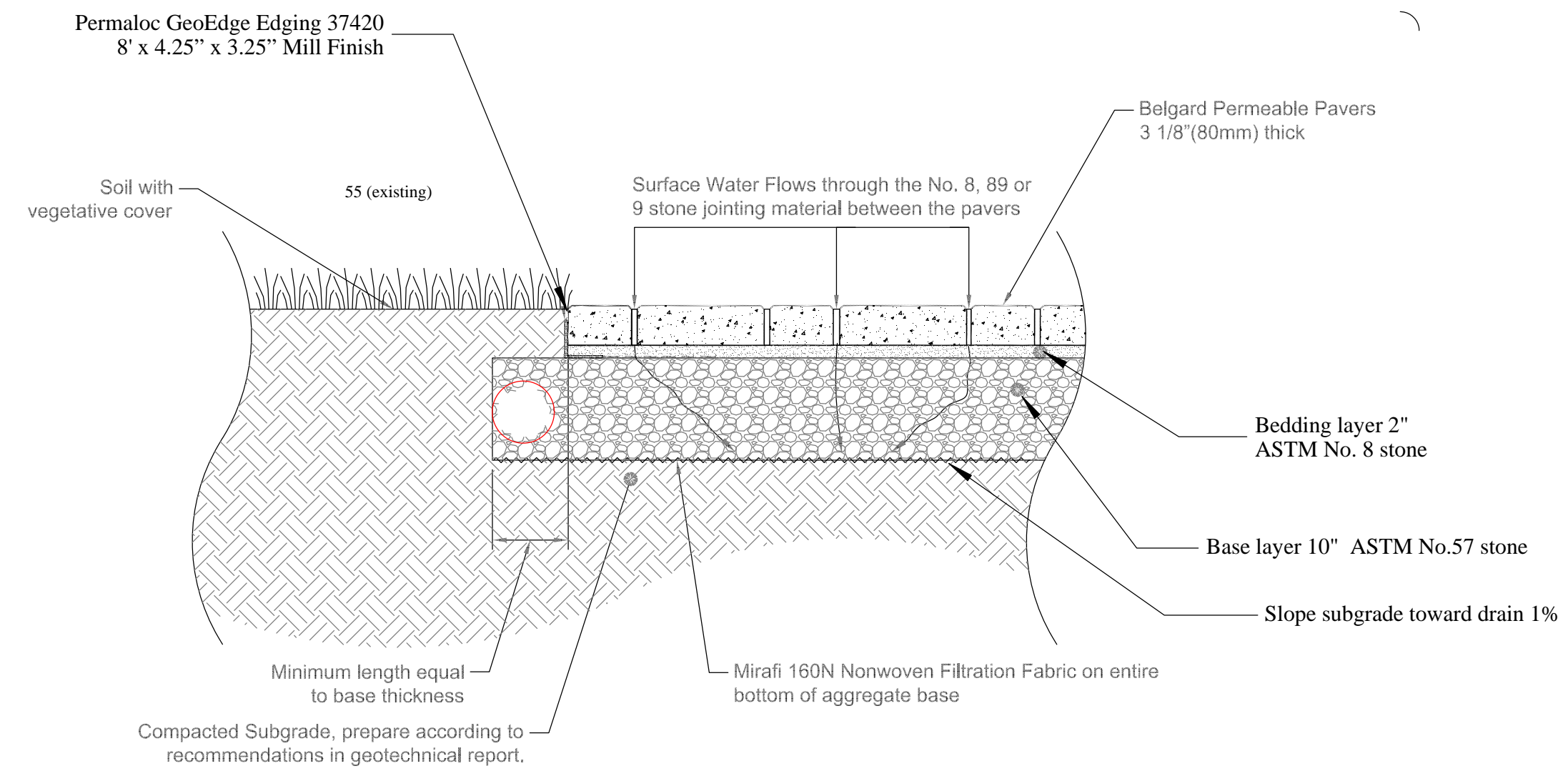
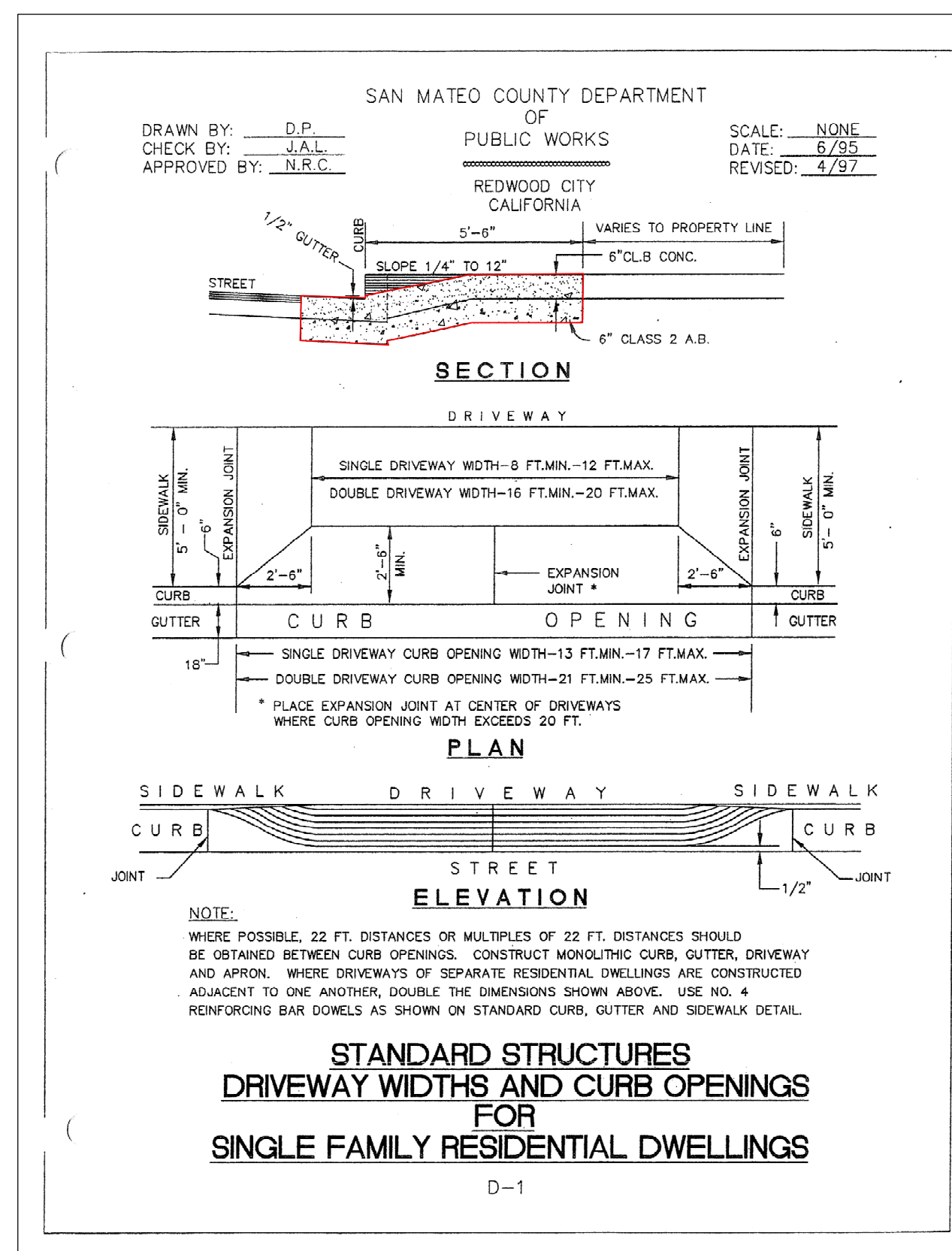
Note: Most concrete trucks will provide washout back into truck and this is preferable using this wash out

- Straw Fiber Wattle Installation
- Undisturbed Area
- Construction Entrance  
See Detail 4
- Straw Fiber roll  
Tree Protection 6' chainlink fence on driven 1.5" galv. poles or 2X4 < 8' oc or stands where utilities or existing hardscape precludes driven poles  
Post signs on fence indicating "this tree protection fencing shall remain in place for the duration of the project and no work shall be undertaken within the limits of the area prescribed by this fence"  
See BMP sheet for more information

(1) Length should be extended to 12 times the diameter of the largest construction vehicle tire.  
 (2) On small sites length should be the maximum allowed by site.



Detail Added



**Cool SLATE GRAY**  
SRI: 33 • LRV: 12 • GA: 24 & 22

**Metal Roof Color**

Belgard Aqualine Victorian

OWNER: KELLY PEERY  
183 East Hilton Dr, #21  
BOULDER CREEK, CA  
95006  
AP # 037118110  
239 Beach Street  
Moss Beach CA 94038  
kelly\_peery@yahoo.com

Designer: Tim Pond  
Tim Pond Design and Construction  
Phone 650.576.7177 timepond@gmail.com

Drawn By Tim Pond  
CA Contractor's License # 931840

Revisions	Date
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Drawn By TP Scale 1/8" = 1'

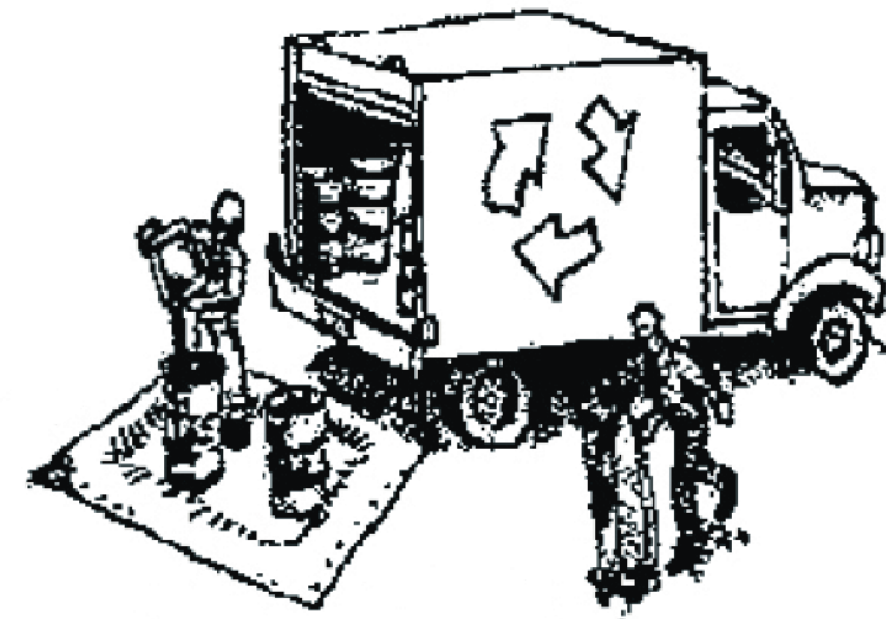
Landscape and Site Details A1.3



# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

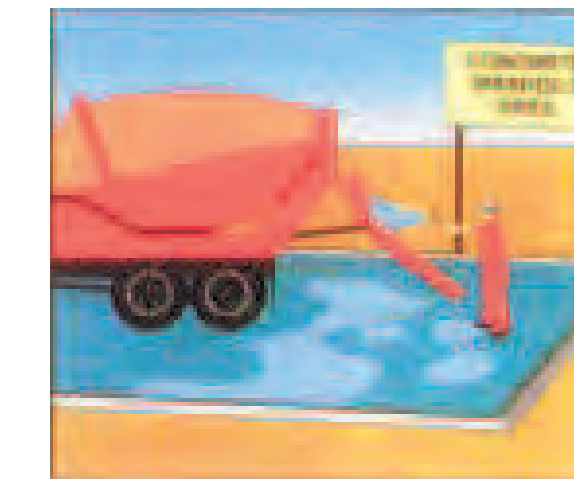


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



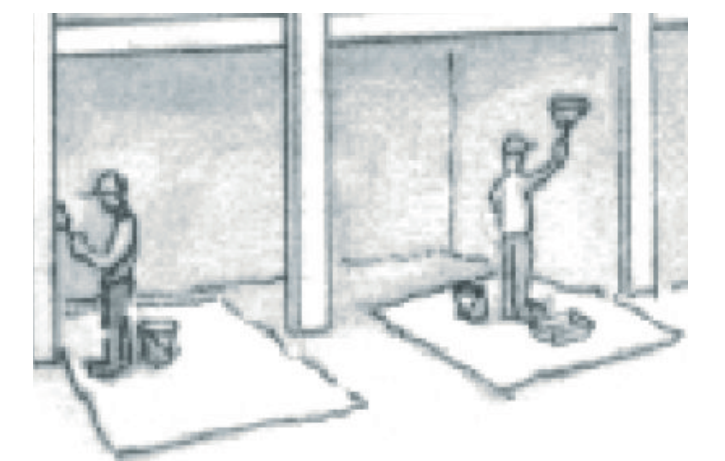
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

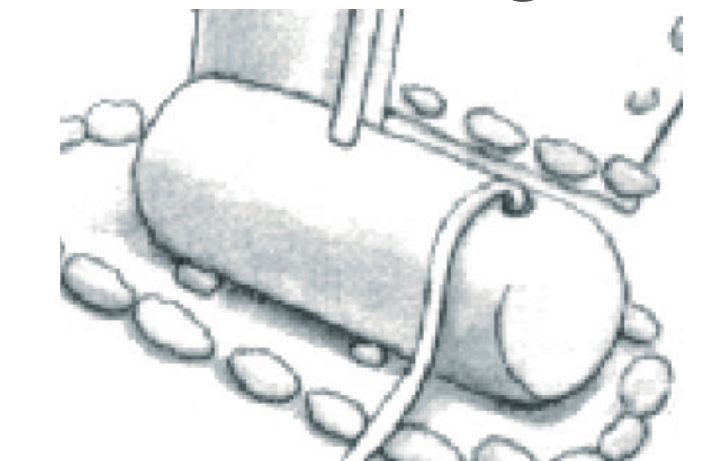
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

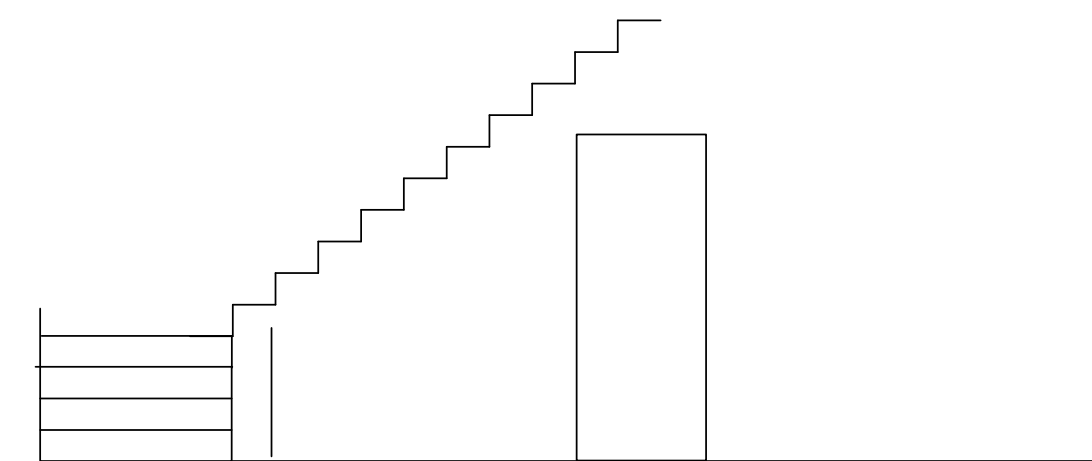
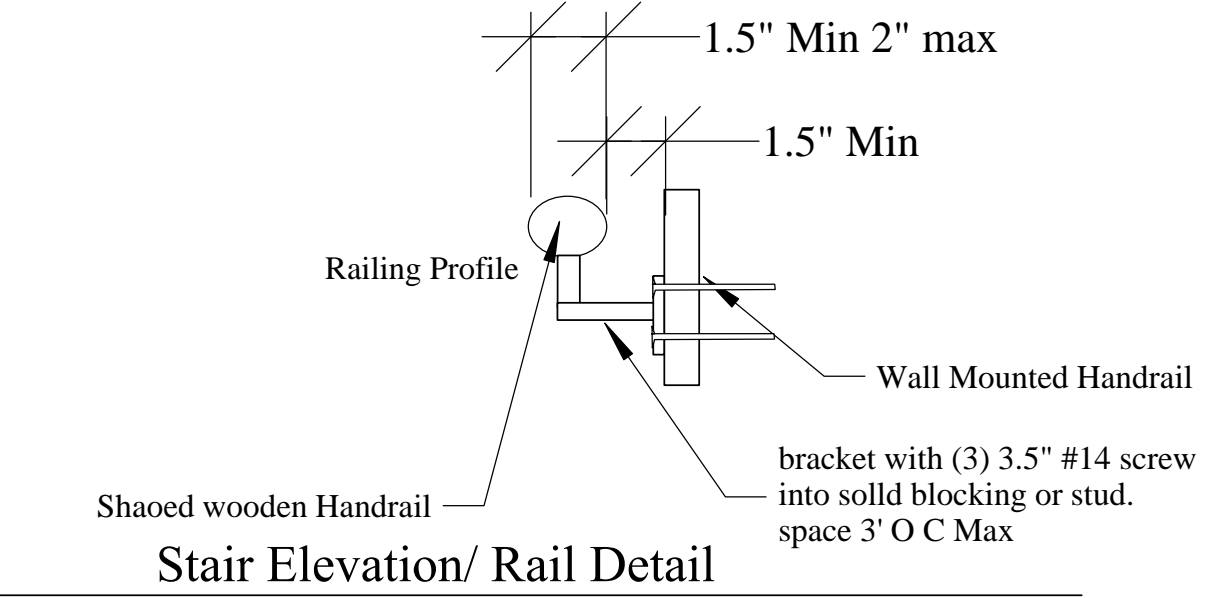
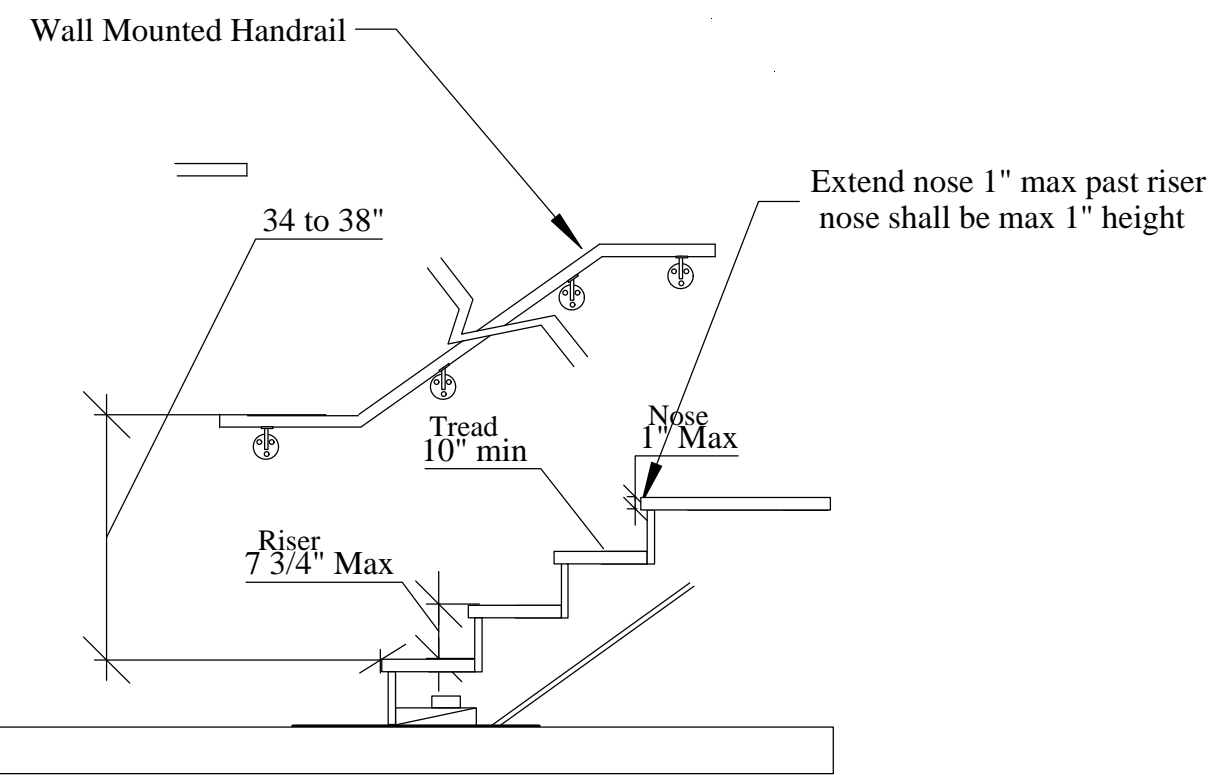
## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm Drain Polluter May be fined up to \$10,000 per day**





### General Notes

Building shall incorporate Blueskin® VP100 Self-Adhered Water Resistive Air Barrier Membrane and compatible Henry Brand liquid applied and window flashing applied in accordance with manufacturers recommendations for waterproofing of exterior surfaces. Inspection required before cover by designer.

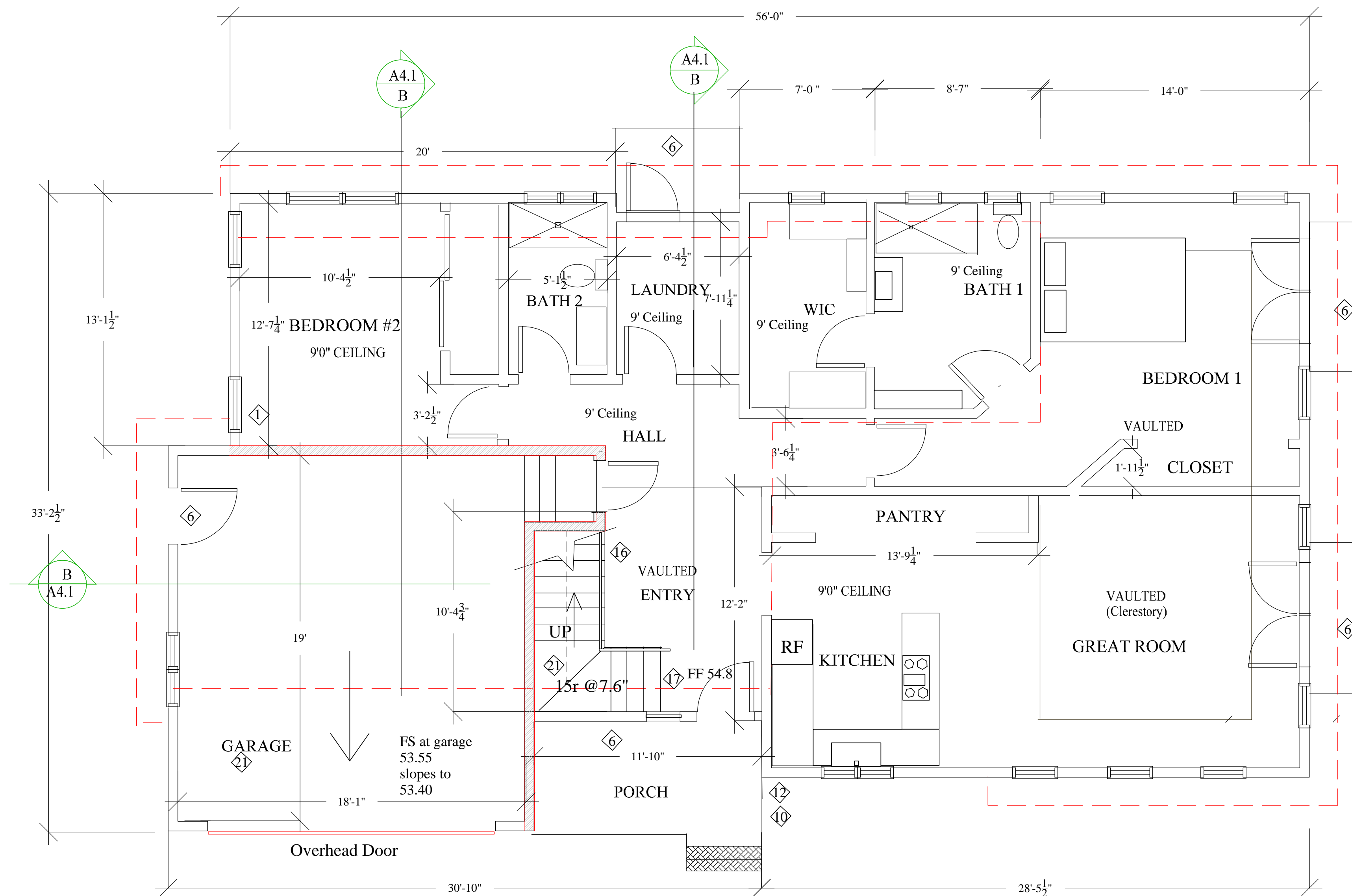
Dimensions are from face of foundation on exterior wall and face of frame on interior walls. Bring any discrepancy in dimension to the attention of the designer before construction.

Provide fire-blocking at the following locations:

- a) Vertically at the ceiling and floor levels.
- b) Horizontally at intervals not exceeding 10 feet.
- c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
- d) Fire-blocking of cornices of a two-family dwelling is required at the line of dwelling unit separation. [R302.11]

This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.

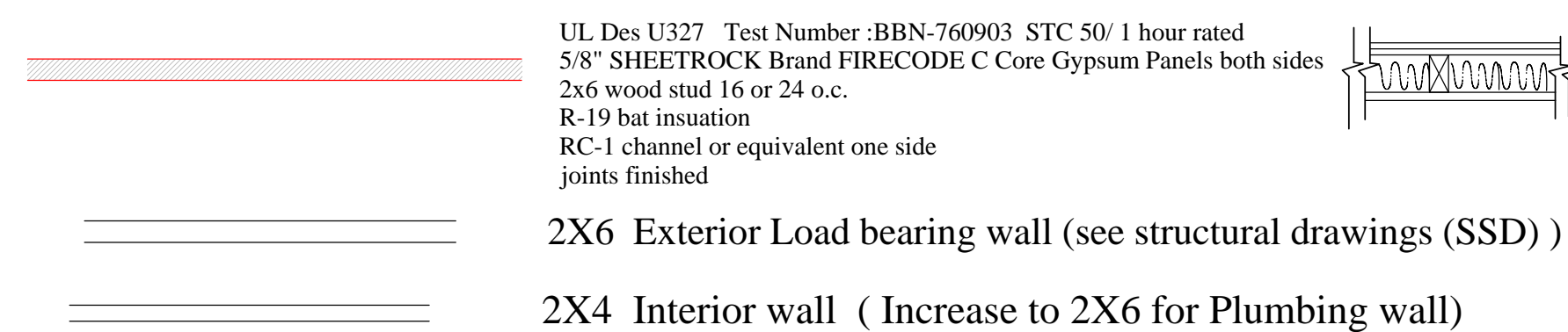
Maintain 8-inch minimum earth-to-wood separation at framing sill and install concrete curb where necessary to accomplish said separation. CRC R317.1 (2)



## Main Level Floor Plan

1388 sq.ft. Living  
381 sq.ft. Garage

### Wall Types



### Key Notes

- ① Egress Window: confirm before ordering window egress specifications:  
a) The escape opening has a minimum net clear opening of 5.7 square feet (grade-floor openings shall be minimum 5 square feet);  
b) minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches.  
c) The bottom of the clear opening is not more than 44 inches above the floor and opens directly to street, public alley, yard, or court that opens to a public way. CRC R310.1.1
- ② doors and panels of shower enclosure shall be fully tempered, laminated safety glass, or approved plastic. CRC R308.4.
- ③ Tile shower enclosure to 72" AFF min over waterproof substrate. Tile selection by owner. Shower pan dimension 32" X 60". Place valve so that it can be operated without reaching through spray. Materials used as backers for wall tile in tub and shower areas and wall panels in shower areas shall be glass mat gypsum panel, fiber-reinforced gypsum panels, or cementitious backer units installed in accordance with manufacturers' recommendations.
- ④ Provide 30" clear for toilet between shower enclosure and vanity, 36" clear if toilet is between vanity and wall, and min 30" clear in front of toilet for access.
- ⑤ Provide landing at door min 42" deep. X width of door + 6". landing not to exceed 2% slope in any direction.
- ⑥ Minimum 1-3/8" solid or honeycomb core steel door or 20 minute fire-rated door, tight fitting, self closing and self latching per CRC R302.5.
- ⑦ Address numbers for the ADU and primary residence: Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Numbers shall not be spelled out. These numbers shall contrast with their background. [R319.1] New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway
- ⑧ Maxim Lighting Civic Dark Sky LED Outdoor Wall Sconce Medium size Typical at all doors. Mount at 84" AFG max to light source
- ⑨ Foam insulation at roof deck typical R-30 per title 24. Certification by installer required after installation.  
Manufacturer: Carlisle  
Product Name: Sealrite Pro One Zero  
Description: Closed Cell spray applied polyurethane foam plastic insulation . Typical at building envelope roof and wading decks above conditioned space
- ⑩ Max Riser 7.75" max net tread width 10.5, min tread width 3"
- ⑪ Provide clear landing at top and bottom stair equal to width of tread (min 3' Clear)
- ⑫ Stair and rail details see A2.2 detail 8
- ⑬ 42" guard rail constructed so that 4" sphere cannot pass through  
SSD and Elevations for more information
- ⑭ R-21 Insulation bats
- ⑮ Provide 5/8" fire-X (GP) sheetrock at all load bearing garage walls
- ⑯ R311.7.5.2.1 Winder Treads. Winder treads shall have a tread depth of not less than 10 inches (254 mm) measured between the vertical planes of the foremost projection of adjacent treads at the intersections with the walkline. Winder treads shall have a tread depth of not less than 6 inches (152 mm) at any point within the clear width of the stair.

OWNER:  
KELLY PEERY  
183 East Hilton Dr, #21  
BOULDER CREEK,  
95006 CA  
kelly\_peery@yahoo.com  
415.653.9768  
Site Location  
AP # 037118110  
VIRGINIA AVENUE, MOSS BEACH,  
Cross Street Ocean

Designer: Tim Pond  
Tim Pond Design and Construction  
Phone 650.576.7177 timepond@gmail.com

Drawn By TP Scale 1/4" = 1'

Revisions	Date
Building/Planning Submittal	4.21.21
Main Level Plan	A2.1

OWNER:  
 KELLY PEERY  
 183 East Hilton Dr, #21  
 BOULDER CREEK,  
 95006 CA  
 kelly\_peery@yahoo.com  
 415.653.9768  
 Site Location  
 AP # 037118110  
 VIRGINIA AVENUE, MOSS BEACH,  
 Cross Street Ocean

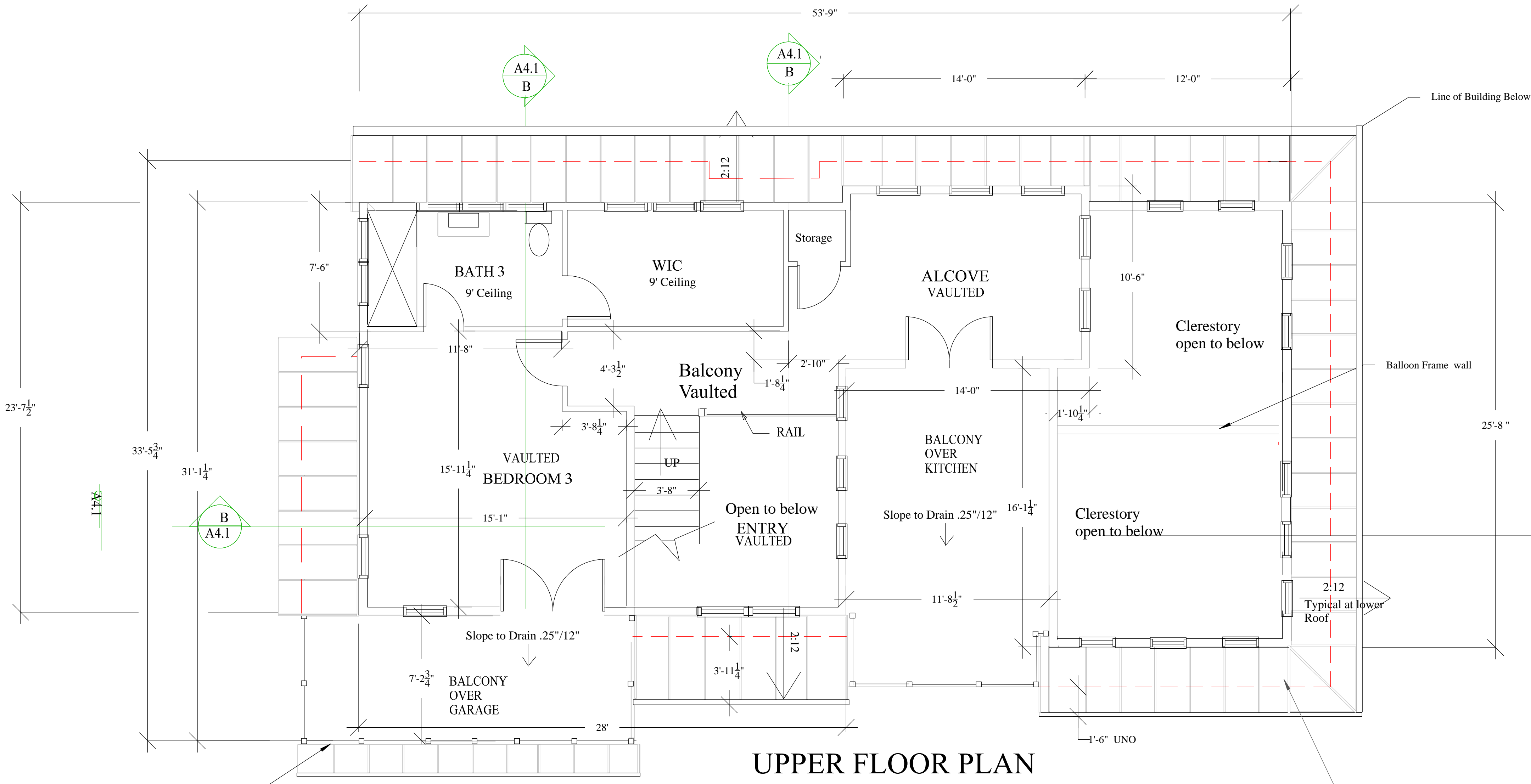
Designer: Tim Pond  
 Tim Pond Design and Construction  
 Phone 650.576.7177 timpond@gmail.com

Drawn By TP Scale 1/4" = 1'  
 Revisions Date

Building submittal	4.21.21
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Upper Floor and Roof Plan	A2.2
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**Cool SLATE GRAY**  
 SRI: 33 • LRV: 12 • GA: 24 & 22  
 AEP SPAN Standing Seam Metal Roof  
 22 Ga 24 Inch OC

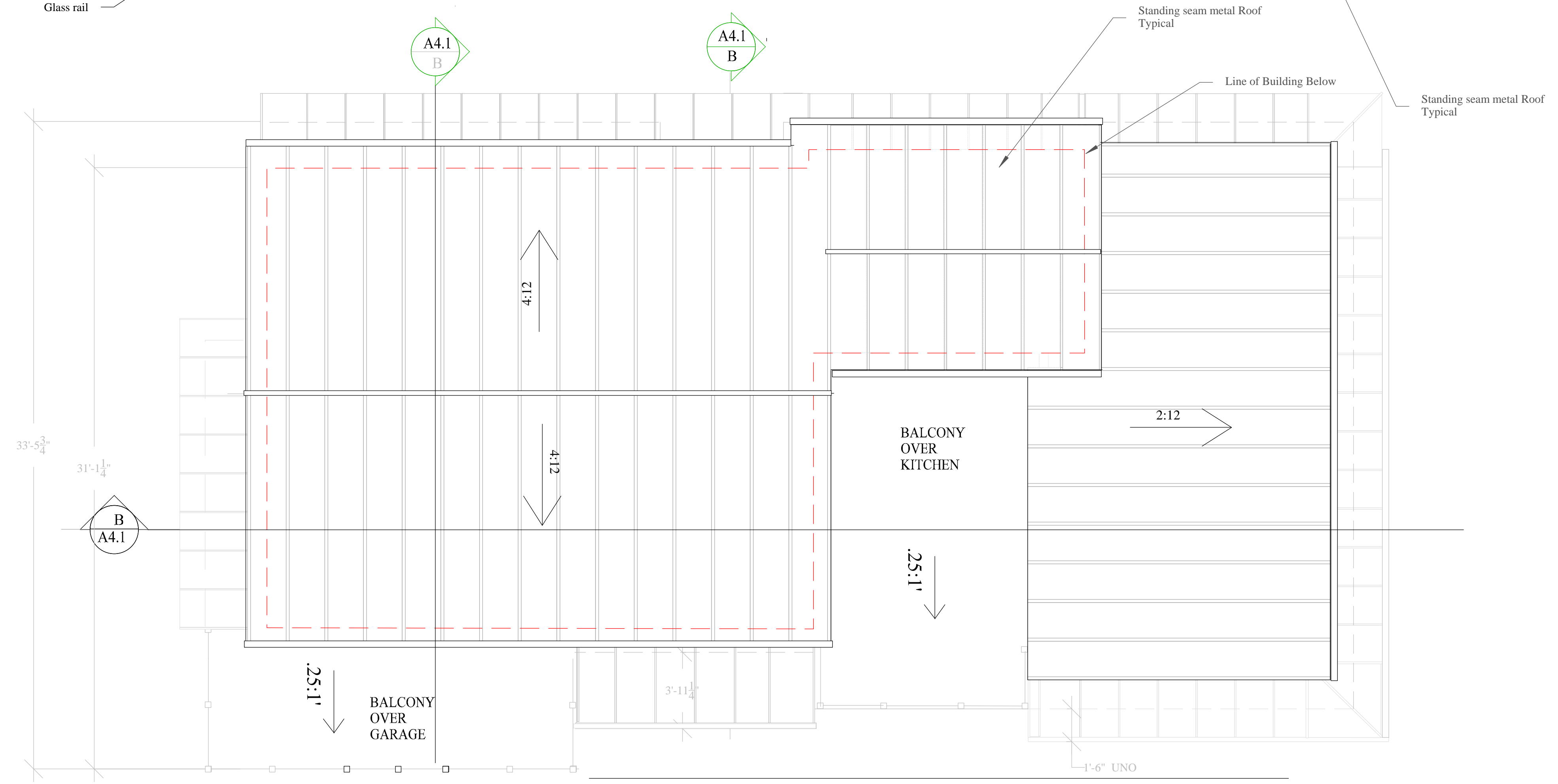


**General Notes**

Blueskin® VP100 Self-Adhered Water Resistive Air Barrier Membrane and compatible Henry Brand liquid applied and window flashing applied in accordance with manufacturers recommendations.

Dimensions are from face of foundation on exterior wall and face of frame on interior walls  
 Provide fire-blocking at the following locations:  
 a) Vertically at the ceiling and floor levels.  
 b) Horizontally at intervals not exceeding 10 feet.  
 c) At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.  
 d) Fire-blocking of cornices of a two-family dwelling is required at the line of dwelling unit separation. [R302.11

This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.  
 Maintain 8-inch minimum earth-to-wood separation. CRC R317.1 (2)



SCALE: 1/4" = 1'-0"

# General Notes

- Blueskin® VP100 Self-Adhered Water Resistive Air Barrier Membrane and compatible Henry Brand liquid applied and window flashing applied in accordance with manufacturers recommendations.
- Dimensions are from face of foundation on exterior wall and face of frame on interior walls
- Provide fire-blocking at the following locations:
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  - Horizontally at intervals not exceeding 10 feet.
  - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
  - Fire-blocking of cornices of a two-family dwelling is required at the line of dwelling unit separation. [R301.1]
- This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.
- Maintain 8-inch minimum earth-to-wood separation. CRC R317.1 (2)

**Cool SLATE GRAY**  
SRI: 33 • LRV: 12 • GA: 24 & 22  
AEP SPAN Standing Seam Metal Roof

**Sweet Innocence**  
BM 2125-50  
Body (siding) Color

**Silvery Moon**  
Benjamin Moore 1604  
Trim and Fascia Color

**Stained Cedar (natural)**

⬡ Provide landing at door min of door width X 6'-0" .75" below finish floor not to exceed 2% slope in any direction.

⬡ Provide landing at door min of door width X 6'-0" .75" below finish floor not to exceed 2% slope in any direction.

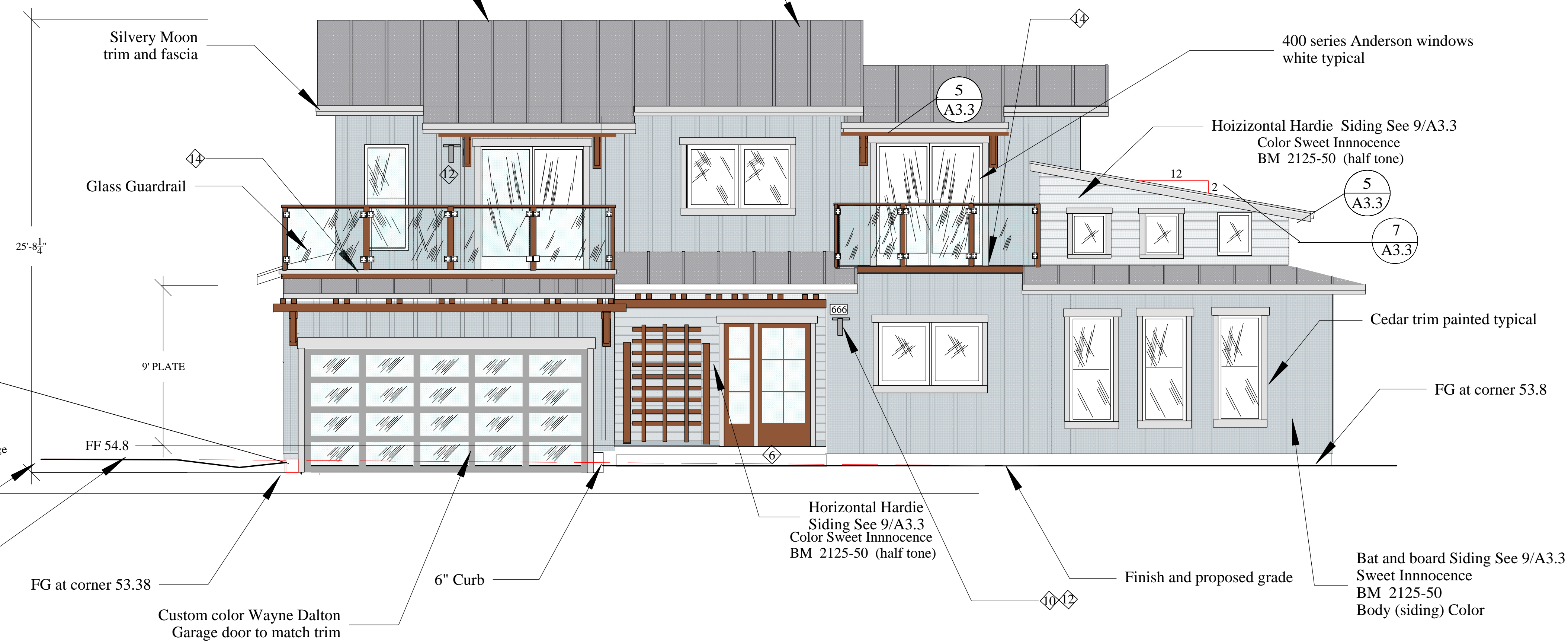
Ⓜ Address Numbers: shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Numbers shall not be spelled out. These numbers shall contrast with their background. [R319.1] New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway

Ⓜ Maxim Lighting Civic Dark Sky LED Outdoor Wall Sconce  
Medium size Typical at all doors

Ⓜ Metacrylics deck surface Class A roof Assembly at low slope roof. Storm grey color  
UL File No.R11260 Class A fire rating .METACRYLICS R11260  
365 OBATA CT GILROY, CA 95020-7087 USA  
Apply material over 1/4-in. thick Georgia-Pacific Gypsum over 3/4 inch plywood deck. Slope joists to drain

## PROPOSED SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



## PROPOSED WEST ELEVATION

SCALE: 1/4" = 1'-0"

OWNER:  
KELLY PEERY  
183 East Hilton Dr, #21  
BOULDER CREEK,  
95006 CA  
kelly\_peery@yahoo.com  
415.653.9768

Site Location  
AP #037118110  
VIRGINIA AVENUE, MOSS BEACH,  
Cross Street Ocean

Designer: Tim Pond  
Tim Pond Design and Construction  
Phone 650.576.7177 timcpond@gmail.com

Drawn By TP	Scale 1/4" = 1'
Revisions	Date
Building/Planning Submittal	5.17.21
South and West Elevations	A3.1

OWNER:  
 KELLY PEERY  
 183 East Hilton Dr #21  
 BOULDER CREEK, CA  
 95006  
 kelly\_peery@yahoo.com  
 415.653.9768  
 Site Location  
 AP # 037118110  
 VIRGINIA AVENUE, MOSS BEACH  
 Cross Street Ocean

Designer: Tim Pond  
 Tim Pond Design and Construction  
 Phone 650.576.7177 timpond@gmail.com

Drawn By TP Scale 1/4" = 1'

Revisions	Date
Building/Planning Submittal	5.17.21

South and West Elevations	A3.1
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**Cool SLATE GRAY**  
 SRI: 33 • LRV: 12 • GA: 24 & 22  
 AEP SPAN Standing Seam Metal Roof

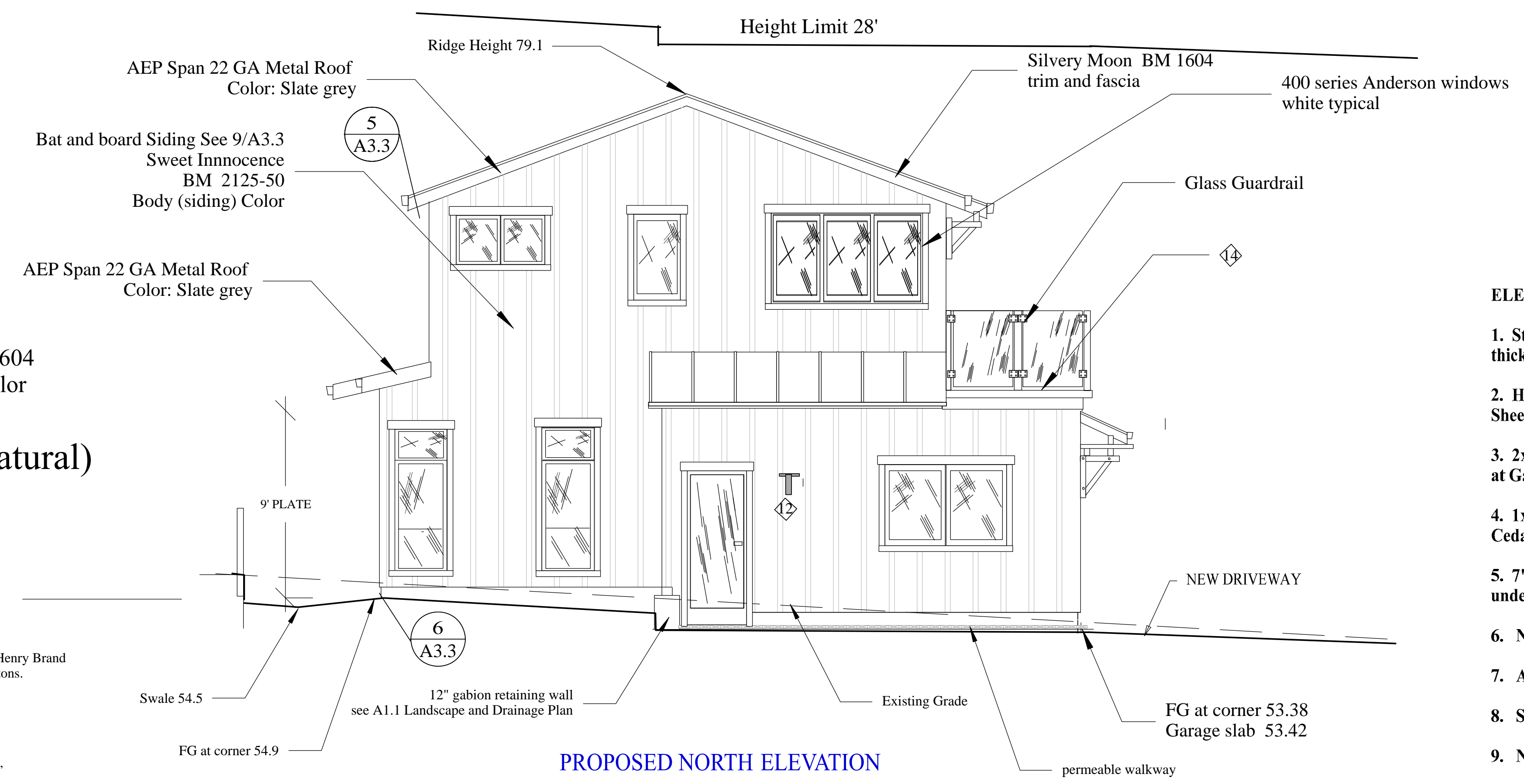
**Sweet Innocence**  
 BM 2125-50  
 Body (siding) Color

**Silvery Moon**  
 Benjamin Moore 1604  
 Trim and Fascia Color

**Stained Cedar (natural)**

**General Notes**

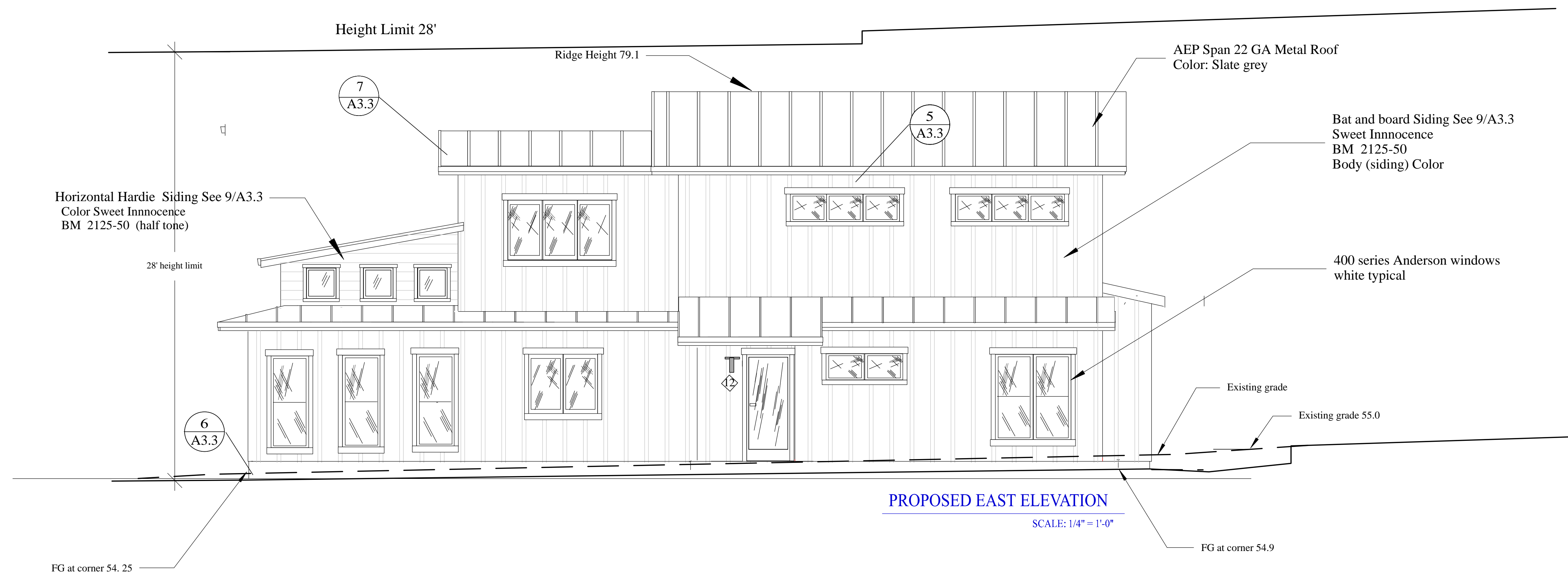
- Blueskin® VP100 Self-Adhered Water Resistant Air Barrier Membrane and compatible Henry Brand liquid applied and window flashing applied in accordance with manufacturers recommendations.
- Dimensions are from face of foundation on exterior wall and face of frame on interior walls
- Provide fire-blocking at the following locations:
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  - Horizontally at intervals not exceeding 10 feet.
  - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
  - Fire-blocking of cornices of a two-family dwelling is required at the line of dwelling unit separation. [R302.11]
- This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.
- Maintain 8-inch minimum earth-to-wood separation. CRC R317.1 (2)



**PROPOSED NORTH ELEVATION**  
 SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- Standing Seam Metal Roof: 16" panels, 1-3/4" ribs, 56mm thickness. Class A Z50 Non reflective coating.
- Head flashing of all windows and doors to be 26 GA. Galv. Sheet Metal hemmed edges.
- 2x8 Cedar Rake Fascia Board with 1x4 Clear Cedar Trim at Gables.
- 1x4 Head and Jamb Trim with 2x4 Cedar Sill, and 2x4 Cedar Apron
- 7" FASICA Gutters with GSM Downspouts to solid underground 4" pipes, K-Style Hinged Gutter Screens.
- Non-vented Eaves, 2X6 rafter tails.
- All windows and doors to be white sash.
- Siding: Board and Bat Hardie Panel Vertical siding.
- No roof element shall exceed 25'-0" above existing grade.



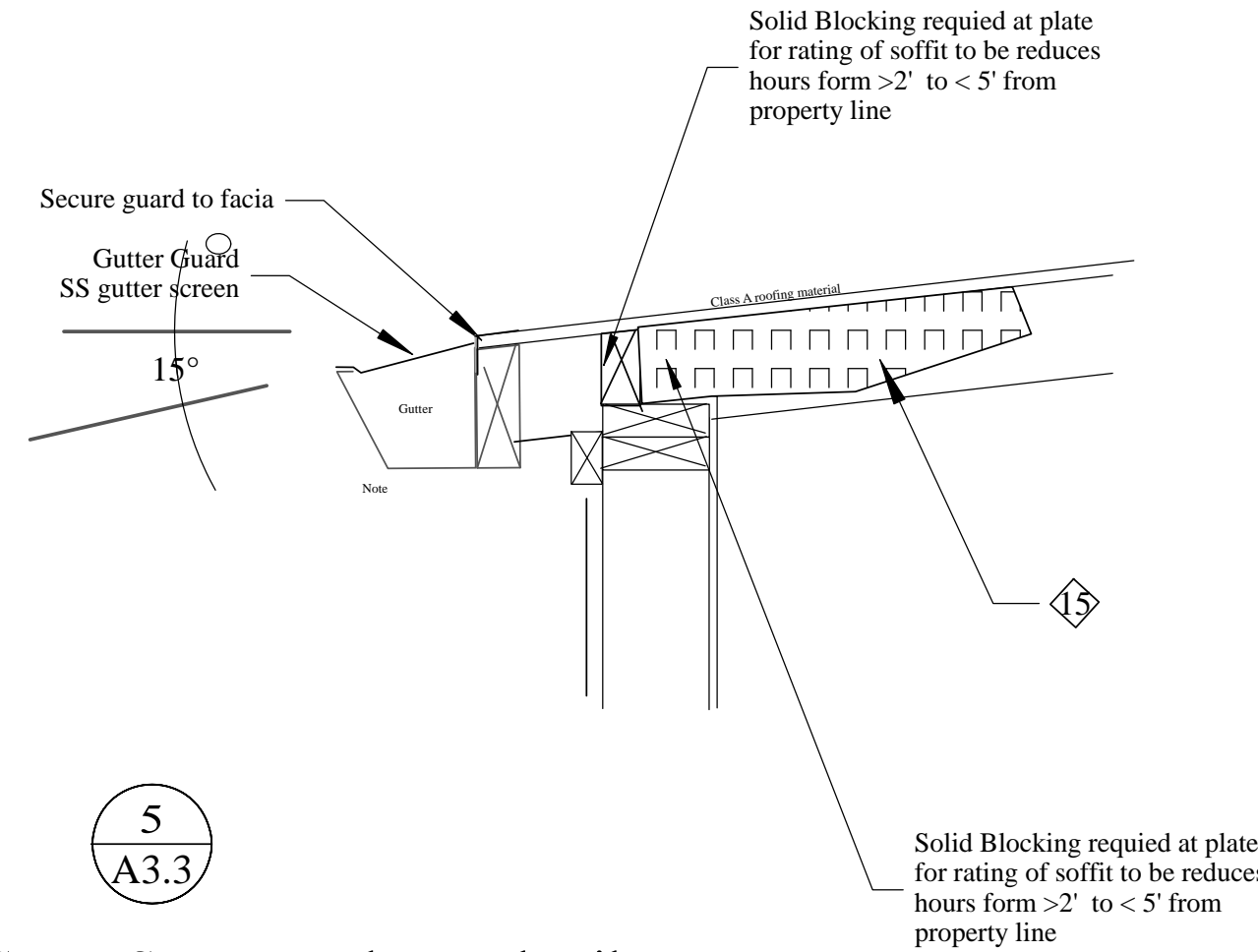
**PROPOSED EAST ELEVATION**  
 SCALE: 1/4" = 1'-0"

OWNER:  
 KELLY PEERY  
 183 East Hilton Dr, #21  
 BOULDER CREEK,  
 95006 CA  
 kelly\_peery@yahoo.com  
 415.653.9768  
 Site Location  
 AP # 037118110  
 VIRGINIA AVENUE, MOSS BEACH,  
 Cross Street Ocean

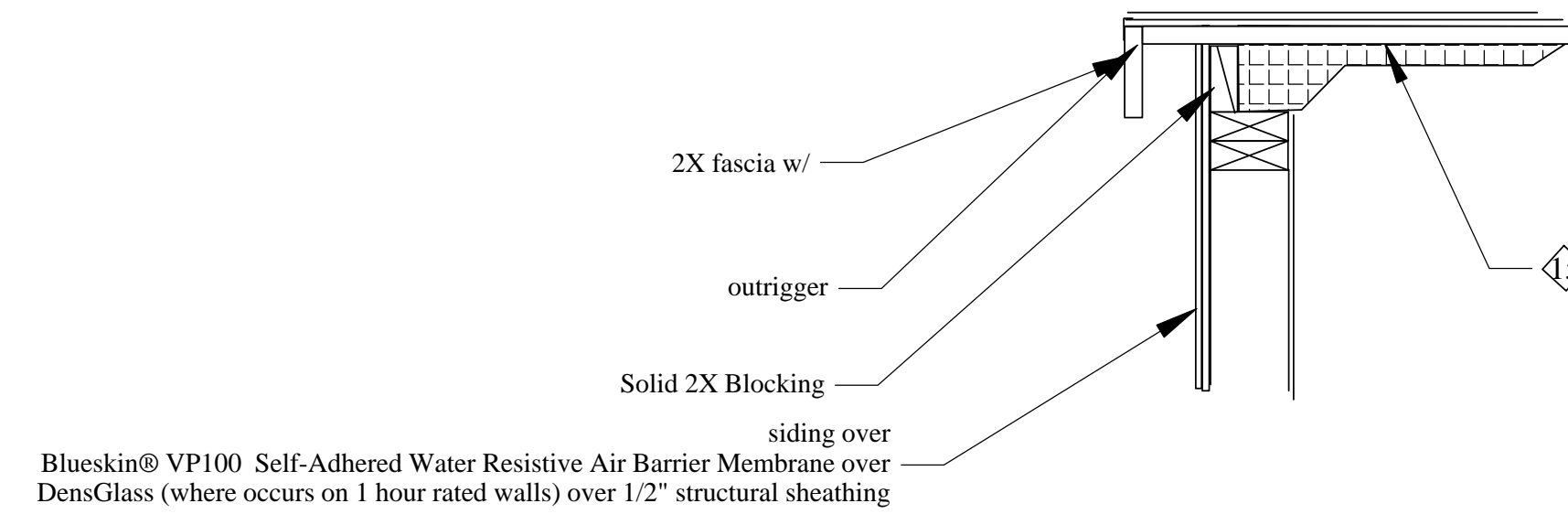
Designer: Tim Pond  
 Tim Pond Design and Construction  
 Phone 650.576.7177 timpond@gmail.com

Drawn By TP	Scale 1/4" = 1'
Revisions	Date
Building submittal	4.21.21
<b>Details</b>	<b>A3.3</b>

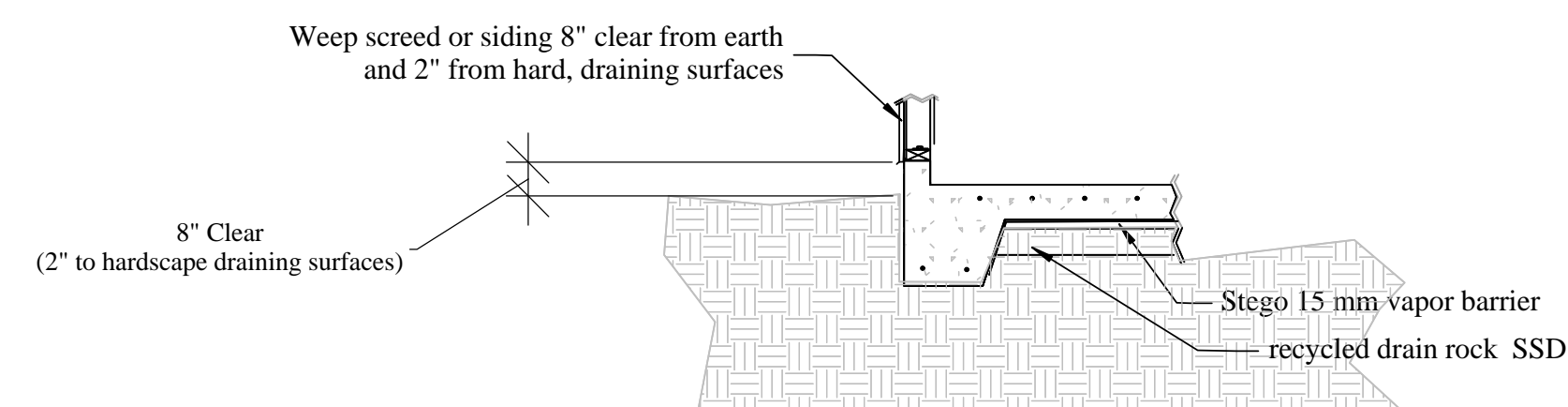
Drawn By Tim Pond  
 CA Contractor's License # 931840



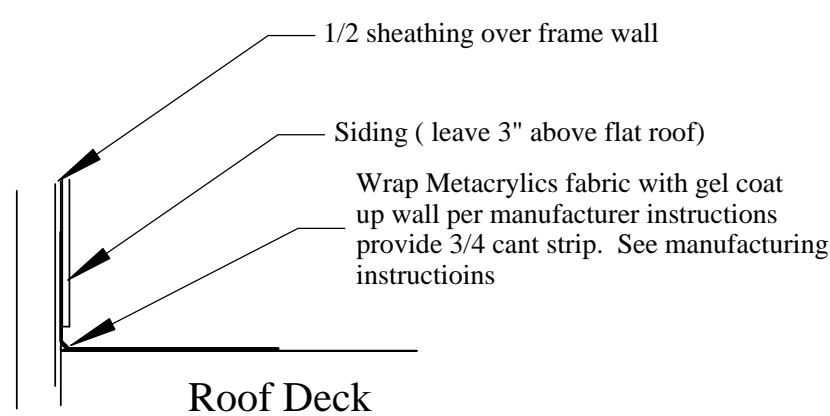
5  
A3.3  
Gutter Screen and eave detail



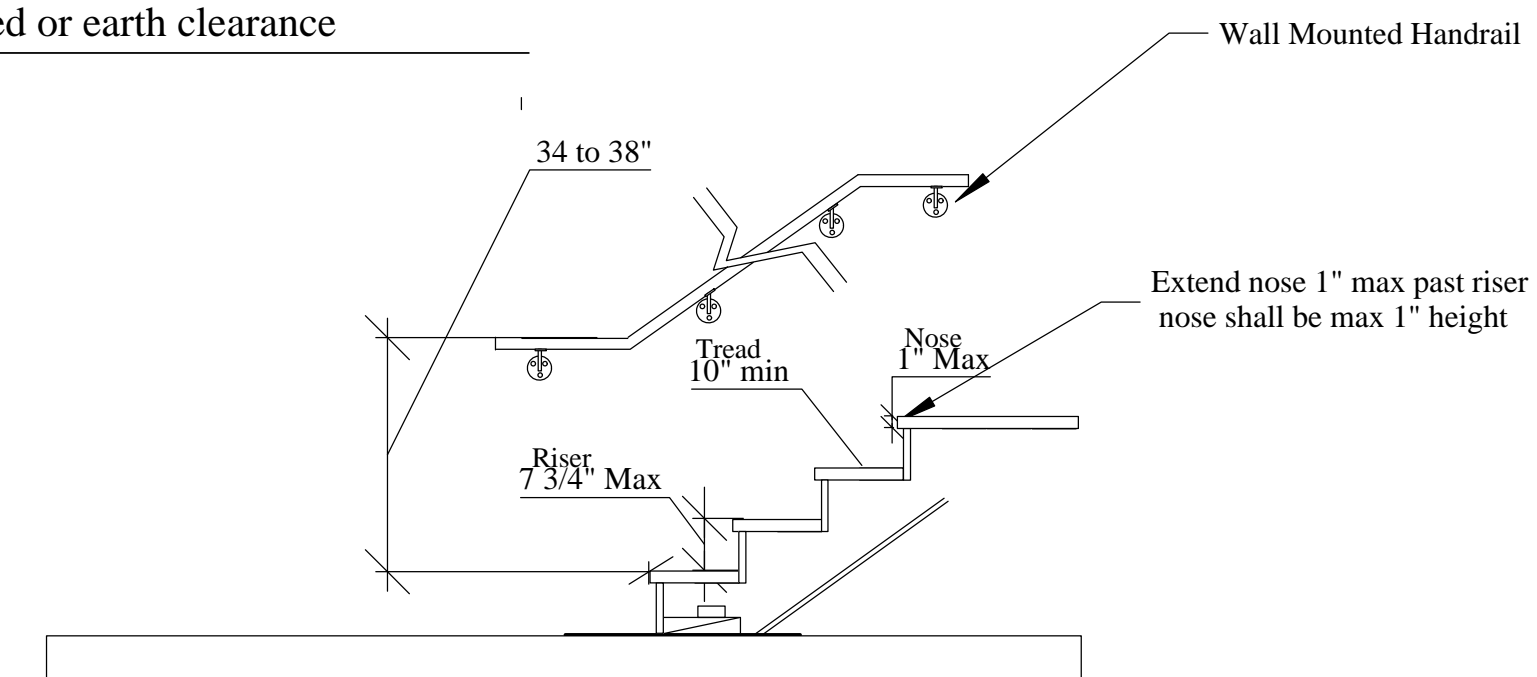
7  
A3.3  
Eave Detail



6  
A3.3  
Typical stemwall and weep-screed or earth clearance



1  
A3.3  
Roof Deck



8  
A2.3  
Stair Elevation/ Rail Detail

9  
A3.3  
Siding, head flashing and Exterior Finish Details

Underlayment for metal and bat and board siding:

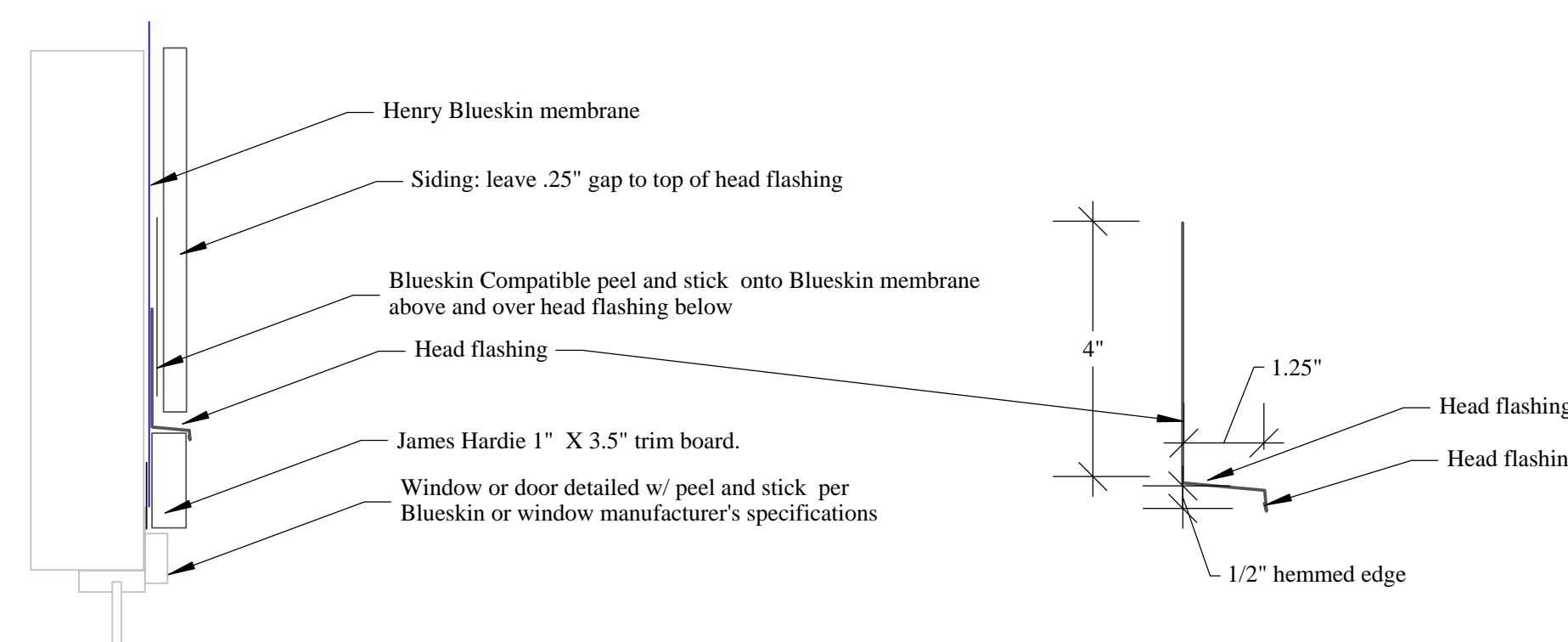
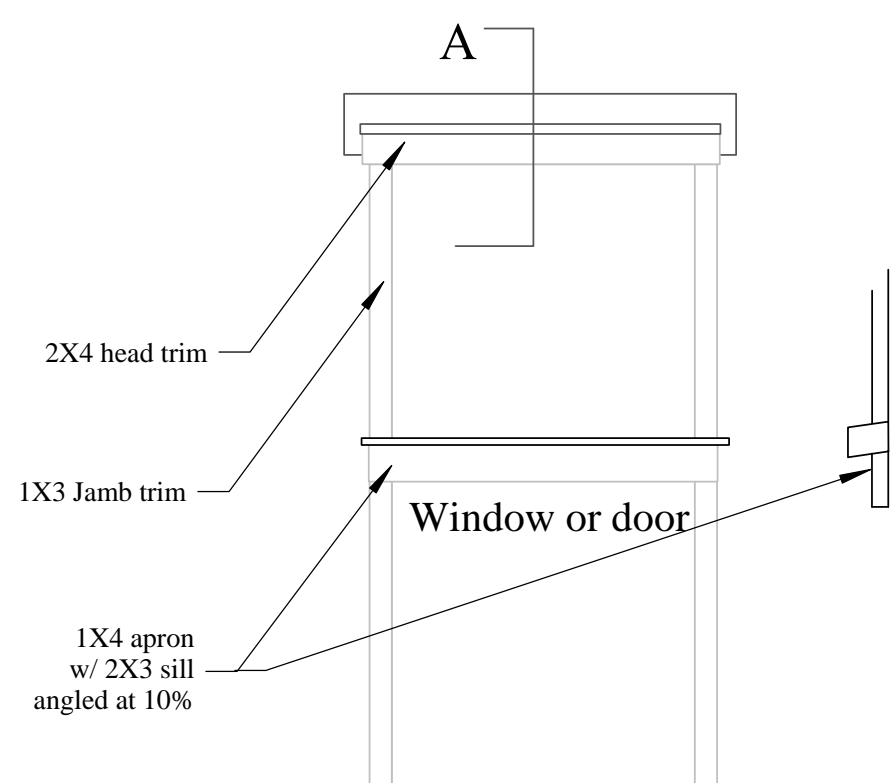
Henry Blueskin 100VP SELF-ADHERED WATER RESISTIVE AIR BARRIER MEMBRANE  
[https://henry.com/fileadmin/pdf/literature/BlueskinVP100\\_Installation\\_Guidelines.pdf](https://henry.com/fileadmin/pdf/literature/BlueskinVP100_Installation_Guidelines.pdf)

Batten and Board Siding

Battens: .7575 X 2.5" James Hardie smooth battens 16" OC  
 Board: 4" X 8" X .25" James Hardie vertical siding

Hardie sheet siding nailed with #8 SS nails 8" edge and 12" field into studs. Batten boards 10" OC w/ SS # 10. Gap sheeting min 1/8" per manu recommendations.  
<https://www.jameshardie.com/blog/guide-to-board-and-batten-siding>

Window and door flashing: follow Blueskin membrane and window manufacturer details for window and door detailing. Install head flashing as detailed below at each opening over James Hardie head trim



## General Notes

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- Provide fire-blocking at the following locations:
  - Vertically at the ceiling and floor levels.
  - Horizontally at intervals not exceeding 10 feet.
  - At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings and cove ceilings.
  - Fire-blocking of cornices of a two-family dwelling is required at the line of dwelling unit separation. [R302.11]
- This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.
- Maintain 8-inch minimum earth-to-wood separation. CRC R317.1 (2)

## Key Notes

- doors and panels of shower enclosure shall be fully tempered, laminated safety glass, or approved plastic. CRC R308.4.
- Egress Window: confirm before ordering window egress specifications:
  - The escape opening has a minimum net clear opening of 5.7 square feet (grade-floor openings shall be minimum 5 square feet);
  - minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches.
  - The bottom of the clear opening is not more than 44 inches above the floor and opens directly to street, public alley, yard, or court that opens to a public way. CRC R310.1.1
- Provide landing at door min of door width X 6'-0" .75" below finish floor not to exceed 2% slope in any direction.
- See M1 for additional notes. Shower be 3' X 3' and 1296 sq in min area with waterproof substrate to 78" AFF on walls. Place valve so that shower can be operated without reaching through spray.
- address numbers for the ADU. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches high with a minimum stroke width of 1/2 inch. Numbers shall not be spelled out. These numbers shall contrast with their background. [R319.1] New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface of the driveway
- Maxim Lighting Civic Dark Sky LED Outdoor Wall Sconce  
Medium size Typical at all doors
- Metacrylics deck surface Class A roof Assembly at low slope roof. Storm grey color  
UL File No.R11260 Class A fire rating .METACRYLICS R11260 365 OBATA CT GILROY, CA 95020-7087 USA  
Apply material over 1/4-in. thick Georgia-Pacific Gypsum over 3/4 inch plywood deck. Slope joists to drain
- Foam insulation at roof deck typical R-30 per title 24. Certification by installer required after installation.  
Manufacturer: Carlisle.  
Product Name: Sealtite Pro One Zero  
Description: Closed Cell spray applied polyurethane foam plastic insulation .  
Typical at building envelope roof and walking decks above conditioned space  
This structure has unvented roof and code compliance to R806.5 for Climate Zone 3.

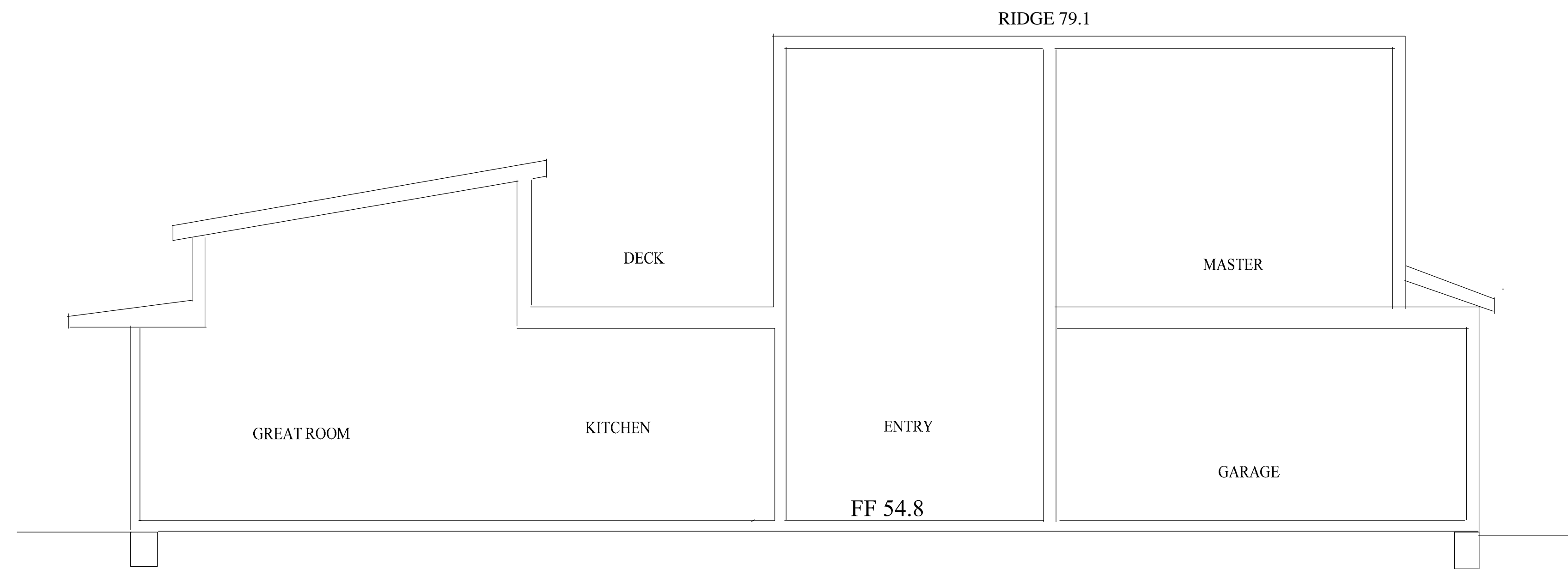
OWNER:  
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Site Location  
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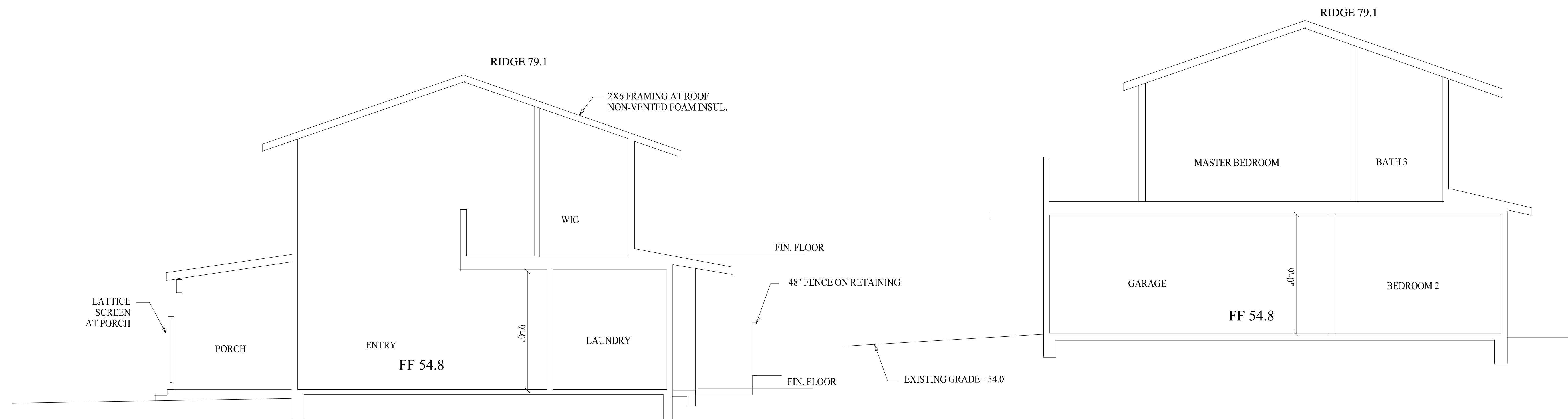
Designer: Tim Pond  
 Tim Pond Design and Construction  
 Phone 650.576.7177 timepond@gmail.com

Drawn By TP Scale 1/4" = 1'

Revisions	Date
Building/Planning Submittal	5.17.21
Sections	A4.1



**C**  
A4.1  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"



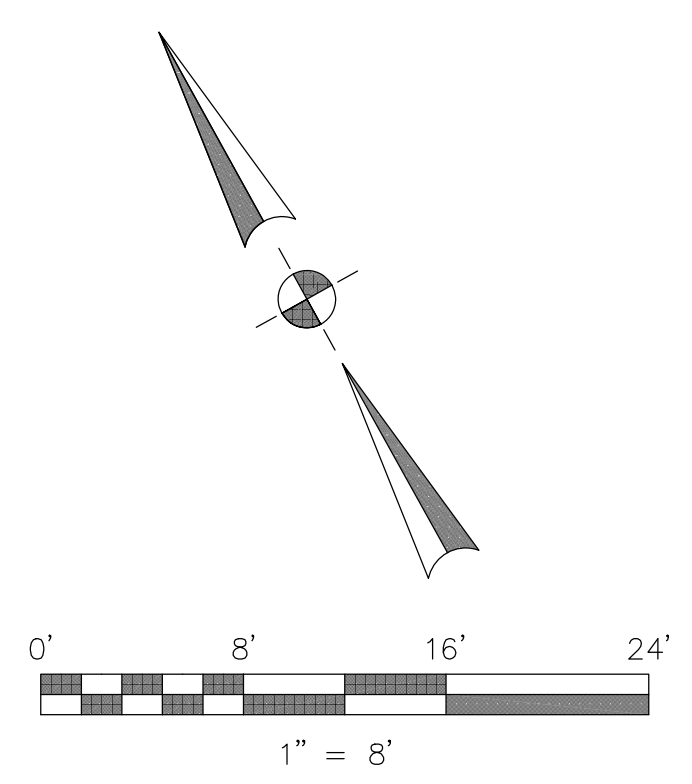
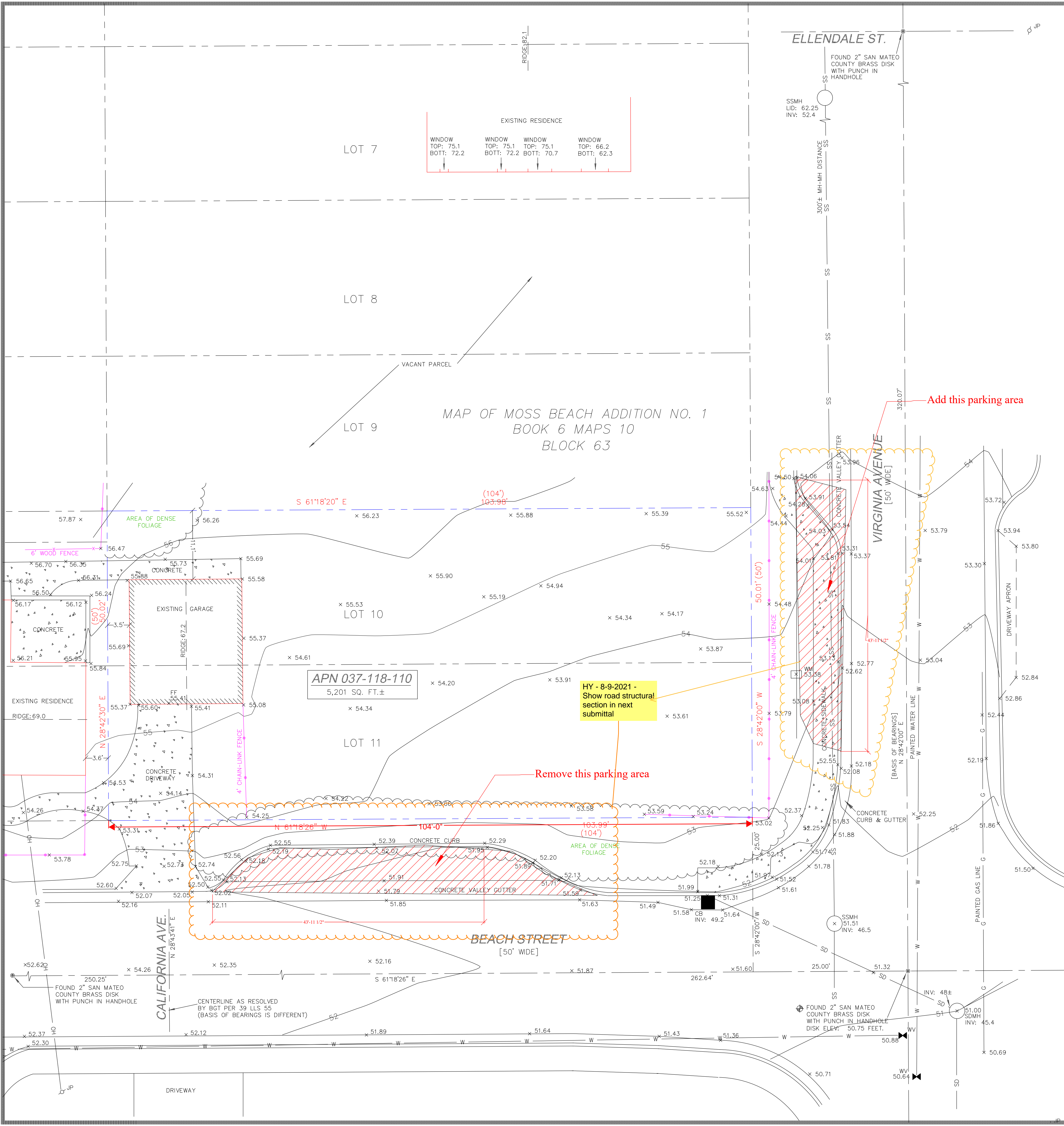
**B**  
A4.1  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"

**A**  
A4.1  
BUILDING SECTION  
SCALE: 1/4" = 1'-0"









**BASIS OF BEARINGS**  
 THE BEARING, NORTH 28°42'00" EAST, OF THE MONUMENTED CENTERLINE OF VIRGINIA AVENUE, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY BY THE COUNTY OF SAN MATEO WHICH WAS FILED FOR RECORD IN VOLUME 14 OF LLS MAPS AT PAGE 18 ON APRIL 23, 1992, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**  
 ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID HT1812), A BRONZE DISK IN THE TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE NORTHEAST CONCRETE HEADWALL AT THE NORTHEASTERLY JUNCTION OF STATE HIGHWAY 1 AND ETHELDORE STREET. ELEVATION: 60.91 FEET. LOCAL BENCHMARK IS THE SAN MATEO COUNTY BRASS DISK IN HANDHOLE AT THE INTERSECTION OF VIRGINIA AVENUE AND BEACH STREET WITH AN ELEVATION OF 50.75 FEET.

**NOTES:**  
 BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1440749, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
 www.bgtssurveying.com

DATE OF FIELD SURVEY: DECEMBER, 2016  
 JOB NUMBER: 16-135

**LEGEND**

AC	ASPHALT CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CO	CLEAN OUT
EM	ELECTRIC METER
EV	ELECTRIC VAULT
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GUY	GUY ANCHOR
INV.	GAS VALVE
IP	INVERT
JP	JOINT POLE
LG	LIP OF GUTTER
MH	MH (TYPE UNKNOWN)
PBV	PACBELL/SBC VAULT
PGE	PG&E VAULT
PP	POWER POLE
SSMH	SANITARY SEWER MANHOLE
TBC	TOP BACK OF CURB
WM	WATER METER BOX
WV	WATER VALVE
-G-	GAS LINE
-OH-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
-T-	TELEPHONE LINE
-W-	WATER LINE

www.bgtssurveying.com

**BGT LAND SURVEYING**  
 871 Woodshire Way - San Mateo, CA 94401  
 Main (650) 212-1030 bgtinfo@bgtssurveying.com

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOTS 10-11, BLOCK 63, MAP OF MOSS BEACH ADDITION NO. 1" (BOOK 6 MAPS 10)

**VACANT LOT, VIRGINIA AVENUE**  
 MOSS BEACH, SAN MATEO COUNTY, CALIFORNIA

Assessor Parcel Number:  
 037-118-110

Prepared For:  
 JOVI JOHNSTON DEWETT  
 2280 BOXWOOD DRIVE  
 SAN JOSE, CA 95128

Date: MAY, 2021  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revisions: