## San Mateo County

# Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center = 455 County Center = Redwood City CA 94063 Mail Drop PLN 122 = 650 • 363 • 4161 = FAX 650 • 363 • 4849

Permit #: PLN \_\_\_\_\_

Other Permit #: \_

# **1. Basic Information**

# Applicant: Owner (if different from Applicant): Name: Name: Address: Address: Zip: Zip: Phone,W: H: Email: Email:

# Architect or Designer (if different from Applicant):

Name:				
Address:		Zip:	Zip:	
Phone,W:	H:	Email:		

# 2. Project Site Information Project location: APN: Address: Zip: Zoning: Parcel/lot size: Sq. ft. Dension & Demoderation: Site Description: Vacant Parcel Vacant Parcel Existing Development (Please describe): EXISTING ONE-STORY, SINGLE FAMILY HOME WITH ATTACHED GARAGE AND DETACHED GARAGE

# **3. Project Description**

# **Project:**

# **Describe Project:**

ADDITION TO THE REAR OF THE EXISTING ONE-STORY HOME AND SMALL WINDOW SEAT AND PORCH ADDITION ON RIGHT SIDE OF HOME. NEW DECK OFF THE GREAT ROOM ADDITION AT REAR OF THE EXISTING HOME.

# **Additional Permits Required:**

- □ Certificate of Compliance Type A or Type B
- Coastal Development Permit
- □ Fence Height Exception (not permitted on coast)
- □ Grading Permit or Exemption
- □ Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- □ Variance

4. Materials as	nd Finish of Proposed Build	lings or Structures	
Fill in Blanks:	Material	Color/Finish (If different from existing, attach sample)	Check if matches existing
a. Exterior walls	HORIZONTAL SIDING, BOARD & BATTEN	PAINTED, KENDALL CHARCOAL	Q
b. Trim	PAINTED WOOD	PAINTED, ASHWOOD MOSS	
c. Windows	<b>COMPOSITE FIRBREX BY ANDERS</b>	SON PAINTED, BLACK	
d. Doors	WOOD, PAINTED	BLACK FRONT DOOR	
e. Roof	ASPHALT SHINGLE	MOIRE BLACK	
f. Chimneys	N/A		
g. Decks & railings	METAL W/WOOD TOP RAIL	BLACK METAL, STAINED WOOD	
h. Stairs	TREX	COASTAL BLUFF	
i. Retaining walls	N/A		
j. Fences	N/A		
k. Accessory buildings	N/A		
I. Garage/Carport	HORIZONTAL SIDING, BOARD & BATTEN	PAINTED, KENDALL CHARCOAL	0

# 5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review

# applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached). 

# 6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

**Owner: Applicant:** 

<u> 4/15/2021</u> Date: 4/14/2021 Date:

PUBINFO/VPDATA/20\_apps\drcomm(coastside).vp 06-04-12 ah

# San Mateo County

# **Certificate of Exemption or Exclusion from a Coastal Development Permit**

Permit #: PLN \_\_\_\_\_ Permit #: BLD \_\_\_\_

Owner

1. Basic Information

455 County Center, 2nd Floor • Redwood City, CA • 94063 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Planning and Building Department

Permanent Record Microfilming Required

Applicant

Name: MATT & TARA BENSON	Name: MATT & TARA BENSON	
Address: 738 FRANCISCO STREET	Address: 738 FRANCISCO	D STREET
EL GRANADA, CA Zip: 94018	EL GRANADA, CA	Zip:94018
Phone,W: 6505768849	Phone,W:	H: 6505768849
Email Address: taralbenson@gmail.com	Email Address: taralbenson@gmail.com	
Project Description: 866 SF ADDITION TO SINGLE FAMILY HOME AND DECK OFF ADDITION.	Existing water source: Utility connection _	
NO SIGNIFICANTTREES ARE PROPOSED FOR REMOVAL. MINIMAL	Droposed water source	

# GRADING FOR FOOTPRINT OF ADDITION ON RELATIVELY FLAT LOT.

Assessor's Parcel Number(s):

# Proposed water source:

Utility connection \_\_\_\_\_

🗆 Well

Staking of well location and property lines are required.

Provide site plan depicting location and all trees.

Will this require any grading or vegetation/tree removal? Yes No

If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

# 3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project

in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance. 4/15/2021 4/15/2021 Owner Date Applicant

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

County of San Mateo

# **Environmental Information Disclosure Form**

\_\_\_\_\_

# Planning and Building Department

PLN\_\_\_\_\_BLD\_\_\_\_\_

Name of Owner:

Address:

Address:

Phone:

Phone:

Name of Applicant:

Zoning District:

Assessor's Parcel No.:

Project Address:

# **Existing Site Conditions**

Parcel size:

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

Yes	No	Will this project involve:		
		a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?		
		b. Construction of a new multi-family residential structure having 5 or more units?		
		c. Construction of a commercial structure > 2,500 sq.ft?		
		<ul> <li>d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)?</li> <li>If yes, how many trees to be removed?</li> </ul>		
		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : c.y. Fill: c.y.		
		f. Subdivision of land into 5 or more parcels?		
		g. Construction within a State or County scenic corridor?		
		h. Construction within a sensitive habitat?		
		i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?		
		j. Construction on a hazardous waste site (check with Co. Env. Health Division)?		
Please	e explai	n all "Yes" answers:		

Signature <u>required</u> on reverse →

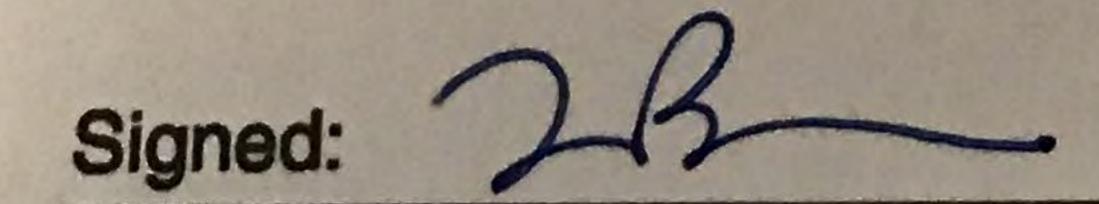
Yes	tional N No		Will the project involve:	
			a. Construction outside of the footprint of an existing, legal structure?	
			b. Exterior construction within 100-feet of a stream?	
			c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?	
			d. Land-use within a riparian area?	
			e. Timber harvesting, mining, grazing or grading?	
			f. Any work inside of a stream, riparian corridor, or shoreline?	
			g. Release or capture of fish or commerce dealing with fish?	

3. Na	3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes No Will the project involve:		Will the project involve:	
		a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of	
		measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.	
		b. Land disturbance of 1 acre or more of area?	
		If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General	

Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

# Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.



Date: 4/15/2021

# (Applicant may sign)

L:\GRAPHICS\Publications\Forms\Web Forms\22010-2.pdf 2/4/19 JBK





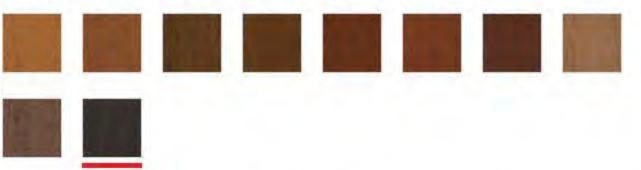
# Classic Craft<sup>®</sup> Visionary Collection<sup>™</sup> in Fir Grain

Full Lite Shaker Flush-Glazed | Style No. CCA2300XE-SDLF4

1 Available Size >

VIEW ON HOME

# THERMA-TRU PRISMAGUARD STAIN OPTIONS



Looking for more information on finishing options? Check out our <u>finishing page</u> and learn how you can use finish to make your house a home with Therma-Tru.

# GLASS OPTIONS 0



Satin Etch Colonial 3 Lite 1Wx3H Simulated Divided Lites - Flat 5-1/2"

12" H	
Ļ	

## PRODUCT DETAILS:

- Suitable for use in wet (interior direct splash and outdoor direct rain or sprinkler) locations as defined by NEC and CEC. Meets United States UL Underwriters Laboratories & CSA Canadian Standards Association Product Safety Standards
- Fixture is Dark Sky compliant and engineered to minimize light glare upward into the night sky.
- LED lamp included is JA8 2016 certified.
- 2 year finish warranty
- LED Lamps carry a 3-year limited warranty
- Bold lines and a clean, minimalist style complement contemporary architecture
- · Striking black finish enhances design
- Please refer to Hinkley's Warranty for complete product warranty details; some warranty limitations may apply.

# ROOK

## 1784SK-LL

MEDIUM WALL MOUNT LANTERN

With a strong and imperial presence, Rook features clean, modern lines with a down light softly grazing the clear seedy glass. The bold Bronze, Satin Black and Titanium finish options accentuate its sturdy frame and aluminum construction.

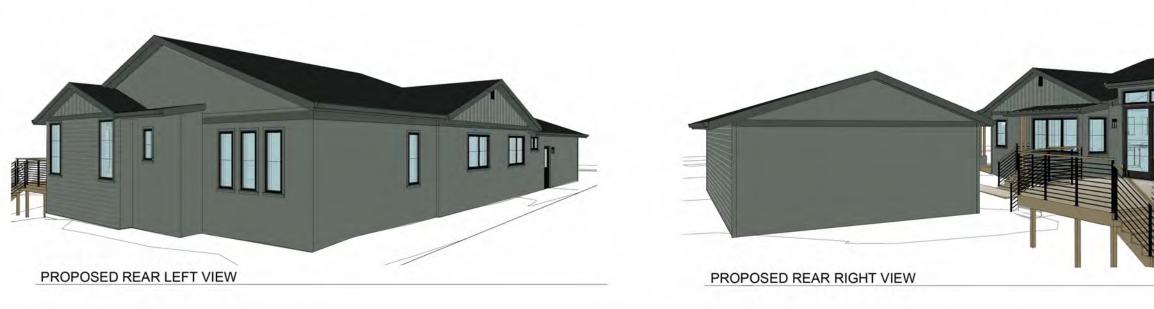
DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Clear Seedy

DIMENSIONS	
WIDTH:	4.8"
HEIGHT:	12"
WEIGHT:	3.5 lbs.
BACK PLATE:	4.75" Sq.
EXTENSION:	5.5"
TOP TO OUTLET:	2.5"

LIGHT SOURCE	
LIGHT SOURCE:	LED Lamp
LED NAME:	GU10LED-6.5
WATTAGE:	1-6.50w GU10 LED *Included
VOLTAGE:	120v
COLOR TEMP:	2700
LUMENS:	500
CRI:	80
INCANDESCENT EQUIVALENCY:	1 x 50w
DIMMABLE:	Yes - CL Type Dimmer (SSL7A)

SHIPPING	]
CARTON LENGTH:	11"
CARTON WIDTH:	8"
CARTON HEIGHT:	15.5"
CARTON WEIGHT:	4.5 lbs.







PROPOSED FRONT RIGHT VIEW

# **BENSON RESIDENCE**

**DEMONSTRATION OF SCALE** 

738 FRANCISCO STREET, EL GRANADA CA 94018



# **BENSON RESIDENCE**

# **GENERAL NOTES**

- ALL WORK SHALL BE IN ACCORDANCE WITH THE 2019 BUILDING CODE, CALIFORNIA ELECTRICAL, MECHANICAL, PLUMBING AND FIRE CODE, AS AMENDED AND ADOPTED BY SAN MATEO COUNTY. CONTRACTOR SHALL VERIFY ALL DIMENSIONS, CONDITIONS OF THE SITE, AND EXISTING UTILITIES PRIOR TO COMMENCING
- WORK. NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO THE START OF WORK. CONTRACTOR SHALL GIVE NOTICES AND COMPLY WITH THE LAWS, ORDINANCES, RULES, REGULATIONS AND ORDERS OF ANY PERTINENT PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK. NOTIFY ARCHITECT IF THE DRAWINGS
- ARE AT VARIANCE THEREWITH. CONTRACTOR SHALL KEEP A RECORD SET OF ALL AS-BUILT CONDITIONS AND PROVIDE THE ARCHITECT WITH A SET OF REPRODUCIBLE AS-BUILT DRAWINGS UPON COMPLETION OF THE PROJECT.
- DO NOT SCALE DRAWINGS TO OBTAIN DIMENSIONS, SIZES, ETC. REFER TO DIMENSIONS GIVEN ON DRAWINGS OR CONSULT WITH ARCHITECT. ALL INTERIOR DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED. ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, UNLESS OTHERWISE NOTEI
- REFER TO STRUCTURAL DRAWINGS AND CALCULATIONS FOR ALL REQUIREMENTS OF THIS DISCIPLINE. ALL STRUCTURAL INFORMATION SHOWN ON ARCHITECTURAL DRAWINGS IS FOR COORDINATION PURPOSES ONLY. CONTRACTOR SHALL PROMPTLY NOTIFY ARCHITECT UPON DISCOVERY OF POSSIBLE CONFLICTS.
- PROVIDE FIRE BLOCKING AT CEILINGS, FLOORS, FURRED DOWN CEILINGS, SHOWERS, SOFFITS, AND AT CONCEALED DRAFT OPENINGS NOT TO EXCEED 10' MAXIMUM. THE MINIMUM TREAD DIMENSION SHALL BE 10 INCHES. THE MAXIMUM RISER SHALL BE 7.75 INCHES WITH A MAXIMUM
- VARIATION OF 3/8 INCH INSULATION SHALL BE OWENS-CORNING LOW EMITTING FIBERGLASS FOIL-FACED BUILDING INSULATION (OR EQ.). INSTALL PER MFR'S INSTRUCTIONS. EXTERIOR WALLS SHALL BE R-15, FLOORS SHALL BE R-19 (NOT APPLICABLE ON SLAB), ROOF SHALL BE R-30 (TYP)
- ALL SHEET METAL WORK SHALL BE FABRICATED AND INSTALLED IN ACCORDANCE WITH THE APPLICABLE SECTIONS OF 10. THE "SMACNA ARCHITECTURAL SHEET METAL MANUAL," LATEST ADDITION.
- ALL DOORS NOT LOCATED BY DIMENSIONS ON PLANS SHALL BE 4" FROM FACE OF STUD TO EDGE OF OPENING. INTERIOR WOOD DOORS SHALL BE 1 3/4" THICK AND SHALL MATCH (E) IN TYPE & FINISH. FURNISH ALL LABOR, MATERIAL, EQUIPMENT AND SERVICES REQUIRED FOR COMPLETE INSTALLATION OF WOOD DOORS.
- FURNISH AND INSTALL PERIMETER WEATHER STRIPPING AND THRESHOLDS AT EXTERIOR DOORS AS MANUFACTURED BY 13. PEMKO OR FOUIVAI ENT NEW WINDOWS AND FRENCH DOORS SHALL BE VINYL DOUBLE PANE WINDOWS WITH U-FACTOR MEETING NFRC AND SHGC
- OF 0.35. OR EQUAL. DIMENSIONS ARE NOMINAL VERIFY WTH MFR FOR SPECIFIC R.O. AND MODEL NUMBER. ALL GLASS AND GLAZING SHALL CONFORM WITH HUMAN IMPACT AND SAFETY REQUIREMENTS AND SHALL BE IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF THE CALIFORNIA BUILDING CODE, LATEST EDITION. ALL GLASS SHALL
- BE SET ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. EACH UNIT OF TEMPERED GLASS SHALL BE PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION 16. SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE WHEN THE UNIT IS GLAZED.
- FURNISH, TAG AND DELIVER TO THE JOB SITE ALL FINISHED HARDWARE AS REQUIRED TOGETHER WITH ALL NECESSARY SCREWS, FITTINGS, TRIM, ETC. FOR A COMPLETE AND READY INSTALLATION. REVIEW FINISH HARDWARE WITH OWNER PRIOR TO ORDERING. 18. GYPSUM DRYWALL MATERIAL & APPLICATION SHALL BE IN ACCORDANCE WITH THE "GYPSUM CONSTRUCTION HANDBOOK,"
- LATEST EDITION AS PUBLISHED BY UNITED STATES GYPSUM & WITH THE UNIFORM BUILDING CODE, LATEST ADOPTED EDITION. GYPSUM WALLBOARD SHALL BE 1/2" THICK UNLESS OTHERWISE NOTED. TAPE AND FINISH ALL JOINTS AND NAIL HEADS. ALL GYPSUM DRYWALL SHALL BE FINISHED TO MATCH EXISTING. PROVIDE CEMENT, FIBER-CEMENT OR GLASS MAT GYPSUM BACKERS AS A BASE FOR ALL WALL TILE IN TUB AND SHOWER 19.
- AREAS AND WALL AND CEILING PANELS IN SHOWER AREAS. ALL MILLWORK SHALL BE MANUFACTURED IN ACCORDANCE WITH THE STANDARDS IN THE LATEST EDITION OF THE 20. "MANUAL OF MILLWORK" OF THE WOODWORK INSTITUTE OF CALIFORNIA (WIC). EXTERIOR TRIM SHALL MATCH EXISTING, AND RECEIVE A WATER REPELLANT PRESERVATIVE TREATMENT APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. INSTALLATION OF MILLWORK SHALL CONFORM TO WIC CUSTOM GRADE STANDARDS.
- ALL INTERIOR PAINT SHALL BE LOW-V.O.C., BY BENJAMIN MOORE OR EQ. PAINT AND STAIN COLORS, MOULDINGS & FLOORING AS WELL AS ELECTRICAL, LIGHTING & PLUMBING FIXTURES TRIM 22. SHALL BE SELECTED BY OWNER.
- 23 PAINT WORK SHALL BE IN ACCORDANCE WITH THE BENJAMIN MOORE PAINTS "SPECIFICATIONS FOR ARCHITECT ENGINEERS AND PAINTING CONTRACTORS," LATEST EDITION. ALL PRODUCTS SHALL BE THOSE OF BENJAMIN MOORE PAINTS, OR EQUIVALENT PRODUCTS. ALL COLORS SHALL BE AS SELECTED BY THE OWNER. PREPARE LARGE SAMPLES OF EACH COLOR FOR REVIEW BY THE OWNER BEFORE PROCEDING WITH THE WORK. ALL EXTERIOR & INTERIOR SURFACES SHALL RECEIVE (1) COAT PRIMER AND (2) COATS FINISH S DIRECTED BY THE OWNER. INTERIOR PAINT TO BE ROLLED-ON, NOT SPRAYED 24
- USE LOW-V.O.C. CAULK AND CONSTRUCTION ADHESIVES FOR ALL ADHESIVES KITCHEN COUNTERTOPS, BACKSPLASH AND SLABS AS WELL AS EDGE PROFILES AND COLOR SHALL BE SELECTED BY THE 25. OWNER. FINISH SHALL BE POLISHED. SUBMIT SAMPLES TO THE OWNER FOR APPROVAL. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. CONTRACTOR SHALL INSTALL "ENERGY STAR" RESIDENTIAL APPLIANCES AS SELECTED BY OWNER. INSTALL PER 27
- MANUFACTURER'S RECOMMENDATIONS. PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES 28.
- REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2-2. PROVIDE SMOKE DETECTORS IN THE FOLLOWING AREAS (AS APPLICABLE): AT EACH STORY AND BASEMENT; WITHIN EACH 29 BEDROOM AND CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SLEEPING AREA; IN EACH ROOM WHERE NON-BEDROOM CEILING HEIGHTS EXCEED THE HALL CEILING HEIGHT BY MORE THAN 2'-0". SMOKE DETECTOR ALARMS SHALL BE INSTALLED A MINIMUM OF 20 FEET HORIZONTAL DISTANCE FROM A PERMANENTLY INSTALLED COOKING APPLIANCE. SMOKE DETECTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP
- 30. CARBON MONOXIDE (CO) ALARMS SHALL BE INSTALLED ON THE CEILING OR WALL IN EACH AREA/HALLWAY ADJACENT TO SLEEPING ROOMS. CARBON MONOXIDE DETERCTORS SHALL BE REQUIRED TO BE LISTED BY THE CALIFORNIA STATE FIRE MARSHALL AND SHALL BE POWERED BY 110V BUILDING WIRING WITH BATTERY BACKUP. REFER TO ELECTRICAL PLAN, E.1 INSTALLATION OF WIRING, ELECTRICAL DEVICES & LIGHTING FIXTURES SHALL BE IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS & SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION.
- 32 CONFIRM LOCATION OF ALL HEATING OUTLETS, ELECTRICAL RECEPTACLES & SWITCHES WITH OWNER PRIOR TO INSTALLATION FURNISH AND INSTALL FLOORING AS SELECTED BY THE OWNER INCLUDING FINISH. INSTALLATION OF FLOORING AND 33.
- APPLICATION OF FINISH SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS PLUMBING FIXTURES SHALL BE AS SELECTED BY THE OWNER AND SHALL INCLUDE ALL FITTINGS, TRIM & ACCESSORIES REQUIRED FOR A COMPLETE & FINISHED INSTALLATION. SEE ADDITIONAL BATHROOM NOTES ON A2.2.
- PROVIDE DUCTING TO THE EXTERIOR FROM ALL BATHROOM EXHAUST. SEE ADDITIONAL NOTES ON A2.2 35 A MINIMUM OF 65% OF THE NON-HAZARDOUS CONSTRUCTION & DEMOLITION WASTE GENERATED AT THE SITE SHALL BE 36. DIVERTED TO AN OFFSITE RECYCLE, DIVERSION, OR SALVAGE FACILITY PER CGC 4.408. CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT AGREEMENT" FORM PRIOR TO PULLING THE PERMIT. CONTACT GREEN HALO RECYCLING SPECIALIST WITH ANY QUESTIONS. WRB: WATER RESISTIVE BARRIER = 2 LAYERS SUPER JUMBO TEX, 60 MINUTE BUILDING PAPER, OR EQUAL. USE UNDER ALL
- EXTERIOR WALL CLADDINGS, PROVIDE 4 IN. HORIZONTAL LAPS, 12 IN. END LAPS MINIMUM. SEAL PENETRATIONS WATERTIGHT. REPAIR DAMAGES, TEARS, AND WATER PATHS TO PREVENT WATER INTRUSION BEFORE CONCEALMENT SAF = SELF-ADHERED FLASHING. COVER SAF MATERIALS INSTALLED UNDER CEMENT PLASTER WITH 1 LAYER WRB MATERIAL TO PREVENT DIRECT CONTACT WITH CEMENT PLASTER.
- SAF1 = 40-MIL WCOR V-40 (SBS RUBBER) OR EQUAL. USE UNDER TRIM, STANDARD DETAILING. SAF2 = 25-MIL ALUMINUM FLASHING (SBS RUBBER) OR EQUAL. USE AT WINDOWS/DOORS TO SEAL AGAINST. SAF3 = 30-MIL GRACE ULTRA (BUTYL RUBBER) OR EQUAL. USE AT HIGH-HEAT LOCATIONS, UNDER SHEET METAL 41 EXPOSED TO SUN, UNDER RED ROSIN PAPER ISOLATION SHEET.
- WINDOW/DOOR SILL PANS AND HEAD FLASHINGS: PROVIDE WINDOWS/DOORS WITH WATERTIGHT SOLDERED SHEET 42. METAL SILL PANS WITH REAR VERTICAL LEG, END DAMS, 4 IN. HIGH FLANGES, AND HEAD FLASHINGS WITH SOLDERED END CAPS AND 4 IN. HIGH FLANGES OUT ONTO WALL SURFACE FOR INTEGRATING WITH WRB AND WATERPROOFING SYSTEMS. PROVIDE SAF WRAPPING INTO FULL PERIMETER OF ROUGH OPENING UNDER WINDOW/DOOR SILL PANS AND ATTACHMENT 43. FINS, LAPPING JAMB SAF OVER END DAMS OF SILL PANS.
- PROVIDE SAF OVER WRB, AT ALL INSIDE/OUTSIDE EXTERIOR WALL CORNERS, SOFFIT EDGES, UNDER STUCCO CONTROL 44 JOINTS, OVER WEEP SCREEDS, AND UNDER SHEET METAL FLASHINGS. 45. PER CRC SECTION 313.3.7, AN OWNER'S MANUAL FOR THE FIRE SPRINKLER SYSTEM SHALL BE PROVIDED TO THE OWNER.
- A SIGN OF VALUVE TAG SHALL BE INSTALLED AT THE MAIN SHUTOFF VALVE TO THE WATER DISTRIBUTION SYSTEM STATING THE FOLLOWING" WARNING, THE WATER SYSTEM FOR THIS HOME SUPPLIES FIRE SPRINKLERS THAT REQUIRE CERTAIN FLOWS AND PRESSURES TO FIGHT A FIRE. DEVICES THAT RESTRICT THE FLOW OR DECREASE THE PRESSURE OR AUTOMATICALLY SHUT OFF THE WATER TO THE FIRE SPRINKLER SYSTEM, SUCH AS WATER SOFTENERS, FILTRATION SYSTEMS AND AUTOMATIC SHUTOFF VALVES, SHALL NOT BE ADDED TO THIS SYSTEM WITHOUT A REVIEW OF THE FIRE SPRINKLER SYSTEM BY A FIRE PROTECTION SPECIALIST. DO NOT REMOVE THIS SIGN."
- 46. UPON REQUEST, VERIFICATION OF COMPLIANCE WITH 2016 CALIFORNIA GREEN BUILDING CODE MAY INCLUDE CONSTRCUTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE BUILDING DEPARTMENT WHICH WILL SHOW SUBSTANTIAL CONFORMANCE. AN OPERATION AND MAINTENANCE MANUAL WILL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER PER CGC 4.410.1. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT. MOISTURE CONTENT SHALL
- BE CHECKED PRIOR TO FINISH MATERIAL BEING APPLIED PER CGC 4.504.3. RODENT PROOFING: ANNULAR SPACES AROUND PIPES, ELECTRICAL CABLES, CONDUITS OR OTHER OPENINGS IN 48. SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE RODENT PROOFED BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY, OR SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY PER CGC 4.406.1.
- A CAPILLARY BREAK SHALL BE INSTALLED IF A SLAB ON GRADE FOUNDATION SYSTEM IS USED. THE USE OF A 4" THICK BASE OF 1/2" OR LARGER CLEAN AGGREGATE UNDER A 6 MIL VAPOR RETARDER WITH JOINT LAPPED NOT LESS THAN 6" WILL BE PROVIDED PER CGC 4.505.2 AND CRC R506.2.3.

# **SYMBOLS & LEGEND**

	NEW CONSTRUCTION		DUPLEX WALL OUTLET, 15" A.F.F. (U.O.N.)	-\$-	CEILING MOUNTED FIXTURE - DECORATIVE	
$\equiv$ $\equiv$ $\equiv$	DEMOLITION	⊕ GFI	OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER	- - Lv	DECORATIVE LOW VOLTAGE PENDANT - TBD	
	EXISTING TO REMAIN	GFI-WP	OUTLET EQUIPPED WITH GROUND FAULT INTERRUPTER & WEATHER PROOF FOR	$\bigcirc$	RECESSED WALL WASHER FIXTURE	
(101)	DOOR TAG	Ş	OUTDOOR LOCATIONS	F	RECESSED FLUORESCENT FIXTURE	
	DOORTAG		SINGLE WALL SWITCH, 48" A.F.F. (U.O.N.)	$\oslash$	RECESSED LED CAN FIXTURE	
(1t)	WINDOW TAG	ŞD				
, 		CAT 5	WALL SWITCH W/DIMMER, 48" A.F.F. (U.O.N.)	⊘ wt	RECESSED LED CAN FIXTURE, WET LOCATION	
	50 CFM MIN. EXHAUST FAN		CAT 5		UNDERCABINET LED LIGHT	
J	HARD WIRED, INTERCONNECTED SMOKE DETECTOR / CARBON MONOXIDE DETECTOR WITH		COAX CABLE		WALL MOUNTED LIGHT FIXTURE	
	BATTERY BACKUP SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND UL 2034, TYP CONFIRM (E)		FLOOR RECEPTACLE		EXTERIOR WALL MOUNTED LIGHT FIXTURE	

# ANNOTATIONS

ANINC	MAHON5		
2			
@ 4	AT	HORIZ	HORIZONTAL
ዊ #		HVAC	
	POUND OR NUMBER		
A.B.	ANCHOR BOLT	INSUL	INSULATION
A.D.		MAX	MAXIMUM
A.F.F. AFCI	ABOVE FINISH FLOOR ARC FAULT CIRCUIT INTERRUPT	MECH	MECHANICAL
-			MEMBRANE METAL
ALUM ANOD	ALUMINUM ANODIZED	MET/MTL MFR	MANUFACTURER
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	(N)	NEW
BD	BOARD	(N) N.T.S.	NOT TO SCALE
CLR	CLEAR	0/	OVER
CONC	CONCRETE	0, 0.C.	OVER ON CENTER
CONSTR	CONSTRUCTION	PLYWD	PLYWOOD
CTR	CENTER	PT	PAINT
DBL	DOUBLE	REINF	REINFORCED
	DEMOLISH	REF	REFRIGERATOR
DIM	DIMENSION	REQD	REQUIRED
DN	DOWN	R.O.	ROUGH OPENING
D.S.	DOWNSPOUT	SIM	SIMILAR
DWG	DRAWING	SPEC	SPECIFICATION
(E)/EXIST	EXISTING	STD	STANDARD
ELEC	ELECTRICAL	STL	STEEL
ELEV	ELEVATOR OR ELEVATION	STRUCT	STRUCTURAL
EQ	EQUAL	S.S.	SANITARY SEWER
EXT	EXTERIOR	S.S.D.	SEE STRUCTURAL DRAWINGS
F.A.R.	FLOOR AREA RATIO	SYM	SYMMETRICAL
F.B.O.	FURNISHED BY OWNER/OTHER	Т	TREAD
FL	FLOOR	TEMP	TEMPERED
F.O.C.	FACE OF CONCRETE	T.O.S.	TOP OF SLAB
F.O.F.	FACE OF FINISH	T.W.	TOP OF WALL
F.O.S.	FACE OF STUD	TYP	TYPICAL
FT	FOOT OR FEET	U.O.N.	UNLESS OTHERWISE NOTED
GA	GAUGE	V.I.F.	VERIFY IN FIELD
GALV	GALVANIZED	W/	WITH/WASHER
GFI	GROUND FAULT INTERRUPTOR	WD	WOOD
GSM	GALVANIZED SHEET METAL	W/O	WITHOUT
GYP	GYPSUM	WP	WATERPROOF
H.C.	HOLLOW CORE	WRB	WEATHER-RESISTANT BARRIER
HDWD	HARDWOOD	W.S.	WEATHERSTRIP

# **PERSPECTIVE VIEW**

ARCHITE	ECTURE
A0.0	PROJECT DATA, VICINITY MAP, GENERAL NOTES, SHEET INDEX
A0.1	AREA PLANS & AREA SCHEDULES, DOOR & WINDOW SCHEDULES
A1.0	EXISTING & PROPOSED SITE PLAN
A2.0	EXISTING / DEMO FLOOR PLANS
A2.1	PROPOSED FLOOR PLAN AND ROOF PLAN
A3.0	EXISTING EXTERIOR ELEVATIONS
A3.1	PROPOSED EXTERIOR ELEVATIONS, MATERIAL SPECIFICATIONS
A3.2	3D PERSPECTIVE VIEWS - OPTION 2
A4.0	BUILDING SECTIONS
SURVEY	'OR
SU-1	BOUNDARY & TOPOGRAPHIC SURVEY
CIVIL	
C1	DRAINAGE PLAN
C2	EROSION CONTROL PLAN
BMP	CONSTRUCTION BEST MANAGEMENT PRACTICES

SHEET INDEX

# **PROJECT DATA**

<u>APN:</u> ZONING: APPLICABLE CODES:

CONSTRUCTION TYPE: OCCUPANCY: LOT AREA:

MAX FAR (53% OF LOT SIZE): PROPOSED FAR:

FAR SUMMARY EXISTING HABITABLE AREA: EXISTING ATTACHED GARAGE AREA: 478 SF EXISTING DETACHED GARAGE AREA: 722 SF PROPOSED ADDITION AREA: COVERED PORCHES (E + N): TOTAL PROPOSED FAR:

# MAX LOT COVERAGE (35% OF LOT SIZE FOR STRUCTURES <u>GREATER THAN 16' TALL):</u>

PROPOSED LOT COVERAGE

FRONT SETBACK **REAR SETBACK:** SIDE SETBACK: MAX. HEIGHT:

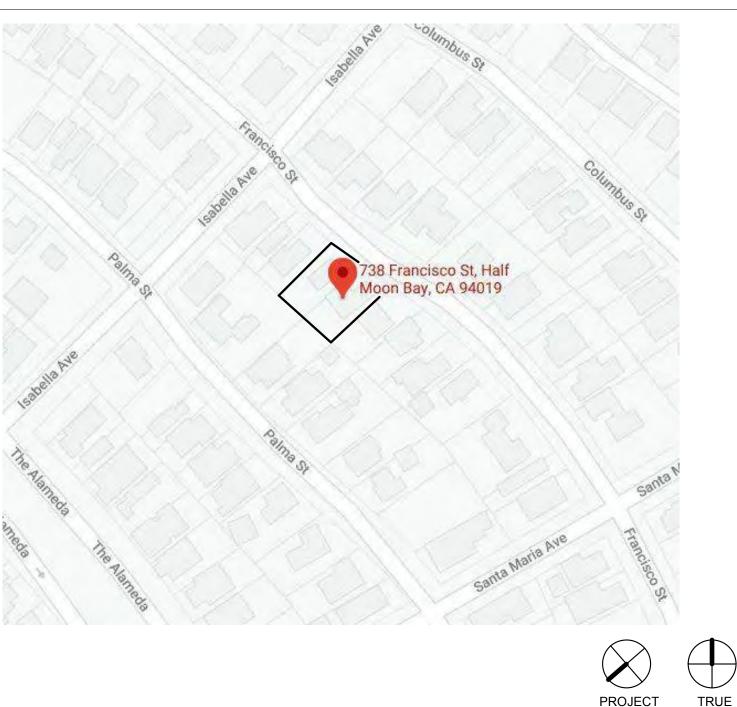
PROJECT SCOPE

FIRE SPRINKLERS:

# **CONSTRUCTION HOURS**

NOISE SOURCES ASSOCIATED WITH DEMOLITION, CONSTRUCTION, REPAIR, REMODELING, OR GRADING OF ANY REAL PROPERTY, PROVIDED SAID ACTIVITIES DO NOT TAKE PLACE BETWEEN THE HOURS OF 6:00 P.M. AND 7:00 A.M. WEEKDAYS, 5:00 P.M. AND 9:00 A.M. ON SATURDAYS OR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.

# VICINITY MAP



NORTH

NORTH



047-274-040, 047-274-050 R1/S-17/DR/CD 2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA RESIDENTIAL CODE 2019 CALIFORNIA ELECTRICAL CODE 2019 CALIFORNIA MECHANICAL CODE 2019 CALIFORNIA PLUMBING CODE 2019 CALIFORNIA ENERGY CODE 2019 CALIFORNIA FIRE CODE ALL OTHER STATE AND LOCAL ORDINANCES AND REGULATIONS ADOPTED BY SAN MATEO COUNTY. R-1 (MAIN RESIDENCE) / U-1 (GARAGE) 10,329 SF

5.474.4 SF 3,302 SF (SEE AREA CALCULATIONS, A0.1)

1,135 SF 866 SF 100 SF 3.302 SF

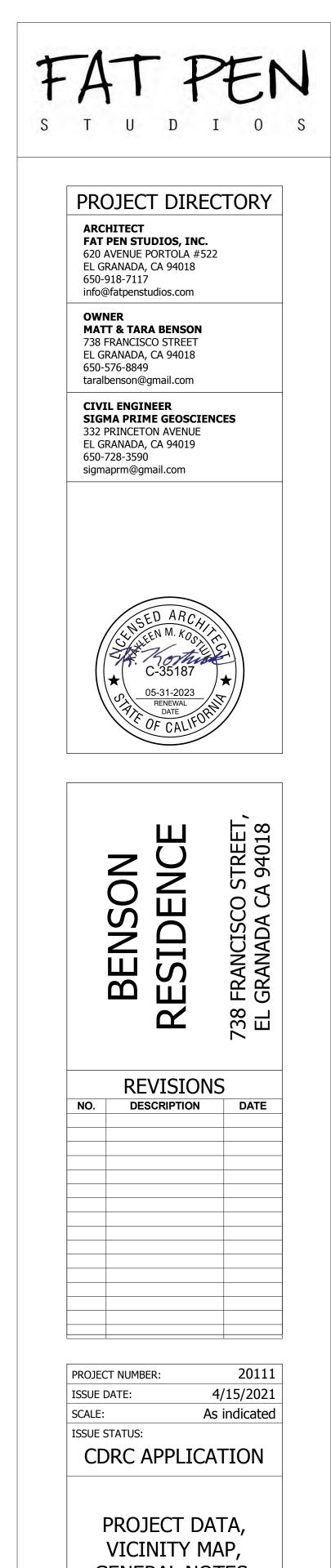
3,615 SF

3,614 SF (SEE AREA CALCULATIONS, A0.1) 20' (NO CHANGE)

20' (20' PROVIDED) 5' (5' PROVIDED) 28'-0" (17' - 7 3/8" PROVIDED)

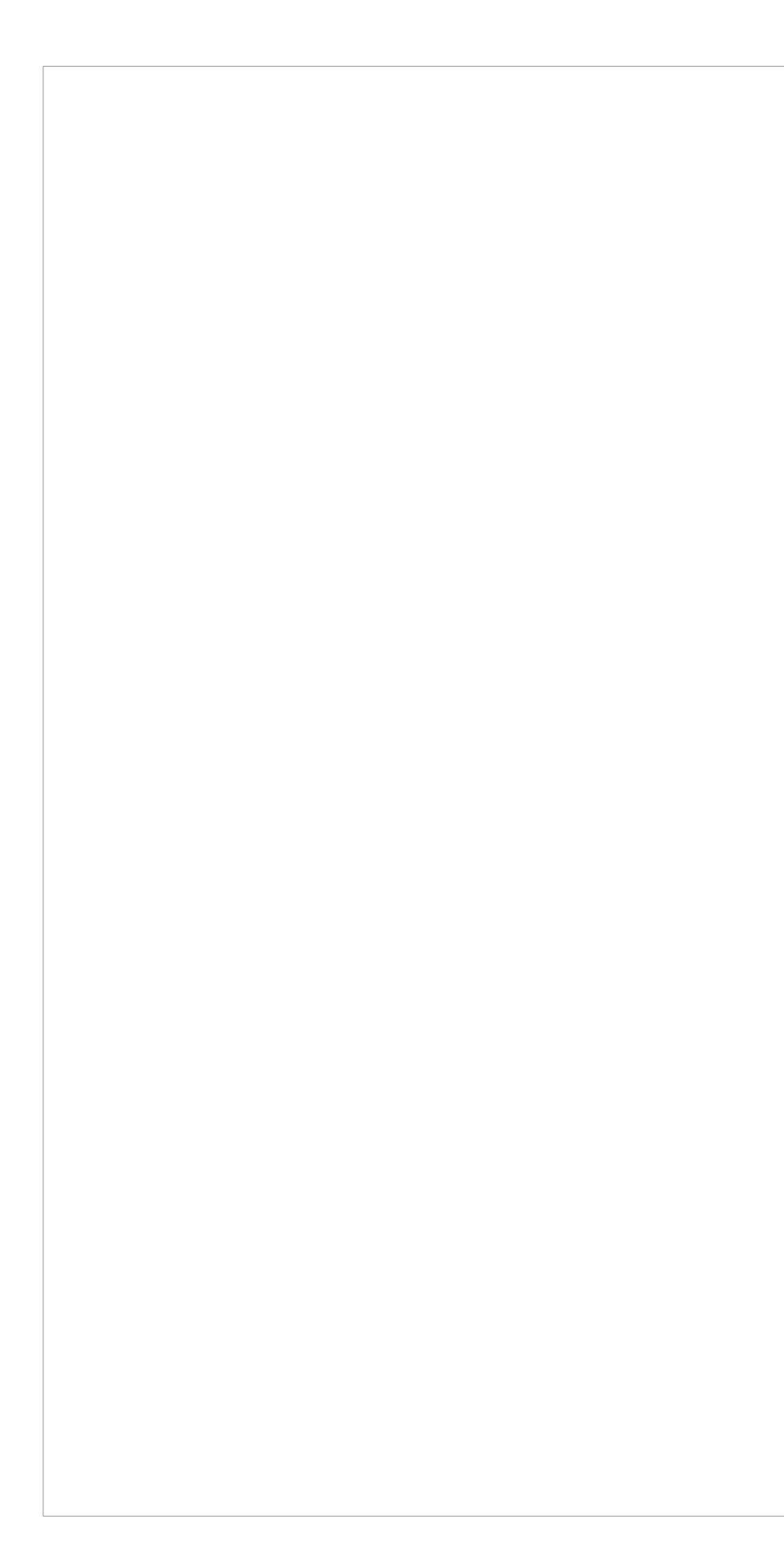
823 SF ADDITION TO ONE-STORY, SINGLE FAMILY RESIDENCE AT REAR AND 43 SF WINDOW SEAT ADDITION AT SIDE OF HOUSE BETWEEN EXISTING HOUSE AND EXISTING DETACHED GARAGE. ADDITIONS AND RENOVATIONS INCLUDE NEW MASTER SUITE, ISLAND IN KITCHEN, GREAT ROOM, MUD ROOM/LAUNDRY ROOM, OFFICE AND NEW DECK OFF GREAT ROOM. NEW CLASS A ASPHALT SHINGLE ROOF OVER EXISTING ROOF STRUCTURE AND NEW ROOF STRUCTURE.

A RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL BE PROVIDED AND SHALL MEET ALL THE APPLICABLE SECTIONS OF NFPA 13, 2019 EDITION AND NFPA 13D, 2019 EDITION. FIRE SPRINKLER PERMIT SHALL BE A DEFERRED SUBMITTAL BY OTHERS.



GENERAL NOTES SHEET INDEX

A0.0

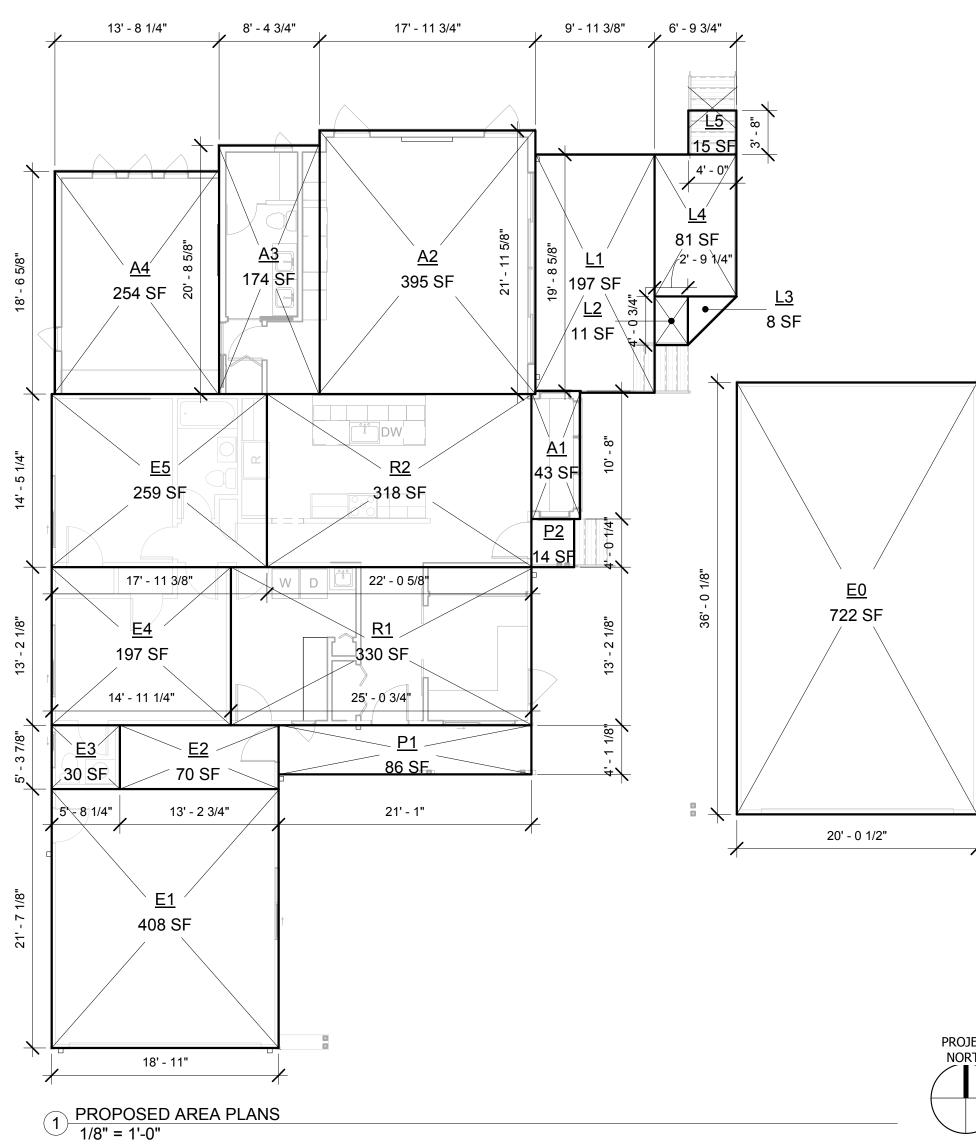


# **DOOR & WINDOW SCHEDULES**

WINDOW SCHEDULE							
NO.	TYPE	WIDTH	HEIGHT	SILL HT	HEAD HT	COMMENTS	
N1		6' - 0"	4' - 0"	2' - 8"	6' - 8"		
N2		2' - 0"	4' - 0"	2' - 8"	6' - 8"		
N3		6' - 0"	4' - 0"	2' - 8"	6' - 8"	EGRESS	
N4		3' - 0"	4' - 0"	2' - 8"	6' - 8"	EGRESS	
N5		2' - 6"	4' - 0"	2' - 8"	6' - 8"		
N6		9' - 0"	4' - 0"	2' - 8"	6' - 8"		
N7		2' - 6"	4' - 0"	2' - 8"	6' - 8"		
V8		3' - 10"	1' - 6"	0' - 0"	1' - 6"	TRANSOM OVER DOOR 11'	
N9		3' - 10"	1' - 6"	0' - 0"	1' - 6"	TRANSOM OVER DOOR 117	
N10		3' - 10"	1' - 6"	0' - 0"	1' - 6"	TRANSOM OVER DOOR 11'	
N11		3' - 10"	1' - 6"	0' - 0"	1' - 6"	TRANSOM OVER DOOR 117	
N12		3' - 0"	6' - 0"	2' - 0"	8' - 0"		
N13		3' - 0"	6' - 0"	2' - 0"	8' - 0"		
N14		1' - 6"	3' - 0"	4' - 0"	7' - 0"	TEMPERED GLASS	
N15		2' - 0"	5' - 0"	1' - 8"	6' - 8"	EGRESS	
N16		2' - 0"	5' - 0"	1' - 8"	6' - 8"	EGRESS	
N17		2' - 0"	5' - 0"	1' - 8"	6' - 8"	EGRESS	
W18		2' - 0"	5' - 0"	1' - 8"	6' - 8"	EGRESS	
W19		6' - 0"	4' - 0"	2' - 8"	6' - 8"	EGRESS	
N20		6' - 0"	4' - 0"	2' - 8"	6' - 8"	EGRESS	
N21		3' - 0"	2' - 0"	4' - 8"	6' - 8"		

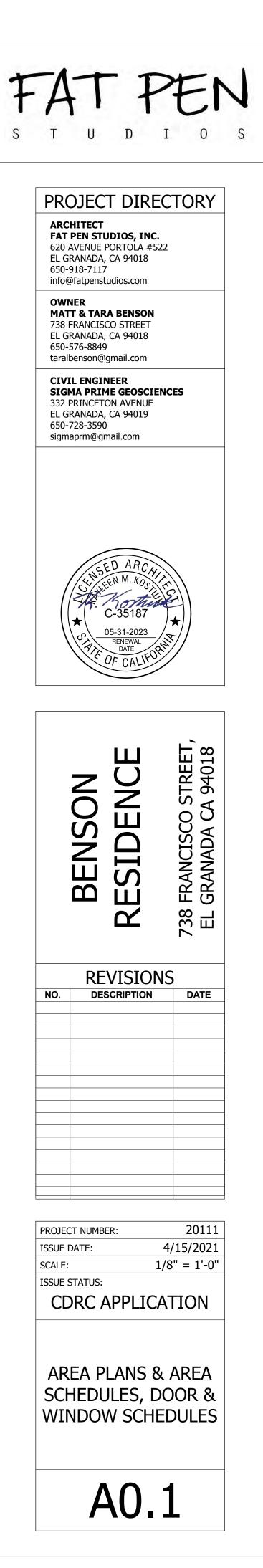
**AREA PLAN & SCHEDULE** 

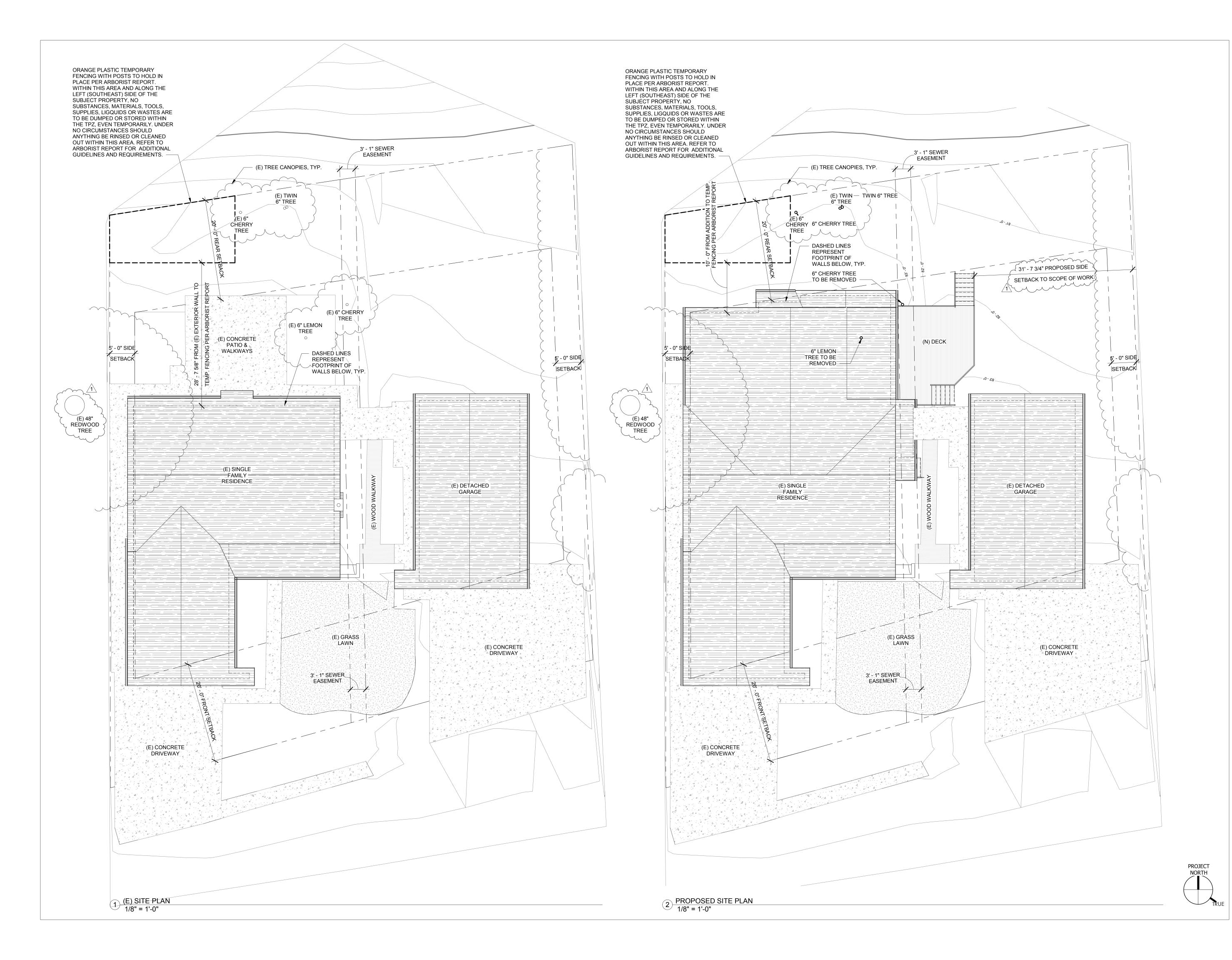
	PROPOS	SED AREA SCHED	ULE
NAME	AREA	DIMENSIONS	COMMENTS
ADDITION			
A1	43 SF		
42	395 SF		
43	174 SF		
44	254 SF		
2	14 SF		COVERED PORCH
	880 SF		
DECK - LOT C		1	
_1	197 SF		
_2	11 SF		
_3	8 SF		
_4	81 SF		
_5	15 SF		
	312 SF		
	700.05		
E0	722 SF		DETACHED GARAGE
E1	408 SF		ATTACHED GARAGE
E2	70 SF		ATTACHED GARAGE
E3	30 SF		
E4	197 SF		
E5	259 SF		
P1	86 SF		COVERED PORCH
	1773 SF		
RENOVATION			
R1	330 SF		
R2	318 SF		
	649 SF		
TOTAL AREA	3614 SF		



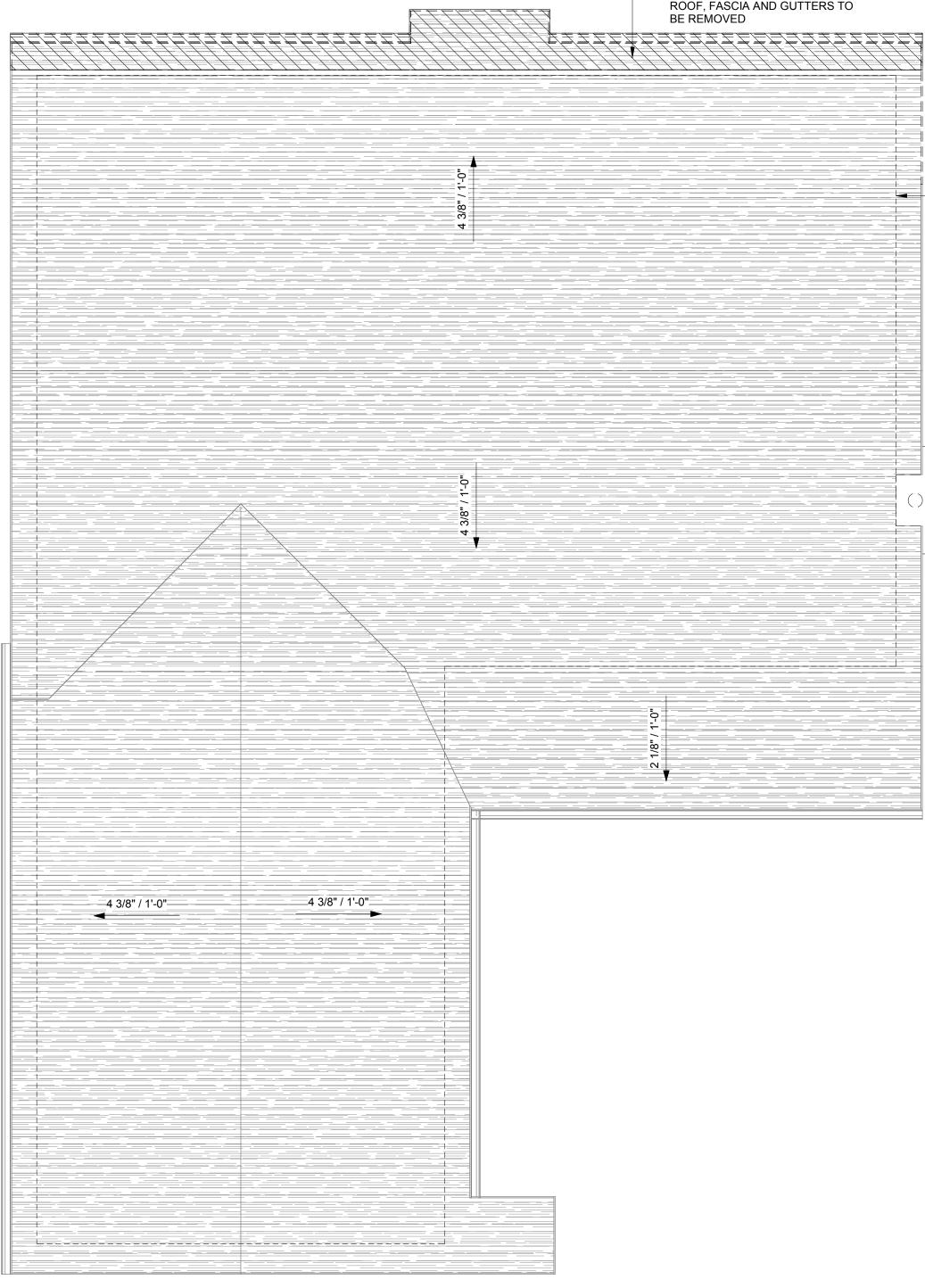
	DOOR SCHEDULE						
NO.	TYPE	WIDTH	HEIGHT	COMMENTS			
			•	·			
(E) DE1 101	ACHED GARAGE F.F.E.	16' - 0"	7' - 0"	NOT SHOWN OF FLOOR			
101				PLAN. EXISTING, TO BE PAINTED			
(E) ATT	ACHED GARAGE F.F.E.						
102	OVERHEAD GARAGE DOOR	16' - 0"	7' - 0"	EXISTING, TO BE PAINTED			
104	HALF GLASS SINGLE DOOR	2' - 10"	6' - 8"	EXISTING, TO BE PAINTED			
(F) HOI	JSE F.F.E.						
103	HALF GLASS SINGLE DOOR	2' - 10"	6' - 8"	EXISTING, REVERSE DOOF			
				SWING AND TO BE PAINTED			
105	SINGLE PANEL DOOR	3' - 0"	6' - 8"	20 MINUTE FIRE RATING			
106	SINGLE ENTRY DOOR	3' - 0"	6' - 8"	20 MINUTE FIRE RATING. 3 LITE SHAKER, CCA2300XE-SDLF4			
107	4 PANEL BIFOLD DOOR	4' - 3"	6' - 8"				
108	DOUBLE BARN DOOR	6' - 0"	6' - 8"				
109	SLIDING CLOSET DOOR	8' - 0"	6' - 8"				
110	SINGLE GLASS DOOR	3' - 0"	6' - 8"	20 MINUTE FIRE RATING. TEMPERED GLASS.			
111	4 PANEL SLIDING GLASS DOOR	16' - 0"	8' - 0"	20 MINUTE FIRE RATING. TEMPERED GLASS.			
112	SINGLE PANEL DOOR	2' - 10"	6' - 8"				
113	2 PANEL BIFOLD DOOR	3' - 0"	6' - 8"				
114	SINGLE PANEL POCKET DOOR	2' - 8"	6' - 8"				
115	SINGLE PANEL POCKET DOOR	2' - 8"	6' - 8"				
116	SINGLE PANEL DOOR	1' - 6"	6' - 8"	EXISTING			
117	SINGLE PANEL DOOR	2' - 6"	6' - 8"	EXISTING			
118	SINGLE PANEL DOOR	2' - 8"	6' - 8"	EXISTING			
119	SINGLE PANEL DOOR	3' - 0"	6' - 8"	EXISTING			
120	SINGLE PANEL DOOR	2' - 8"	6' - 8"	EXISTING			
121	SINGLE PANEL DOOR	2' - 8"	6' - 8"	EXISTING			
122	SINGLE PANEL DOOR	2' - 6"	6' - 8"	EXISTING			
123	SINGLE PANEL DOOR	2' - 8"	6' - 8"	EXISTING			
124	2 PANEL BIFOLD DOOR	1' - 6"	6' - 8"				

PROJECT NORTH



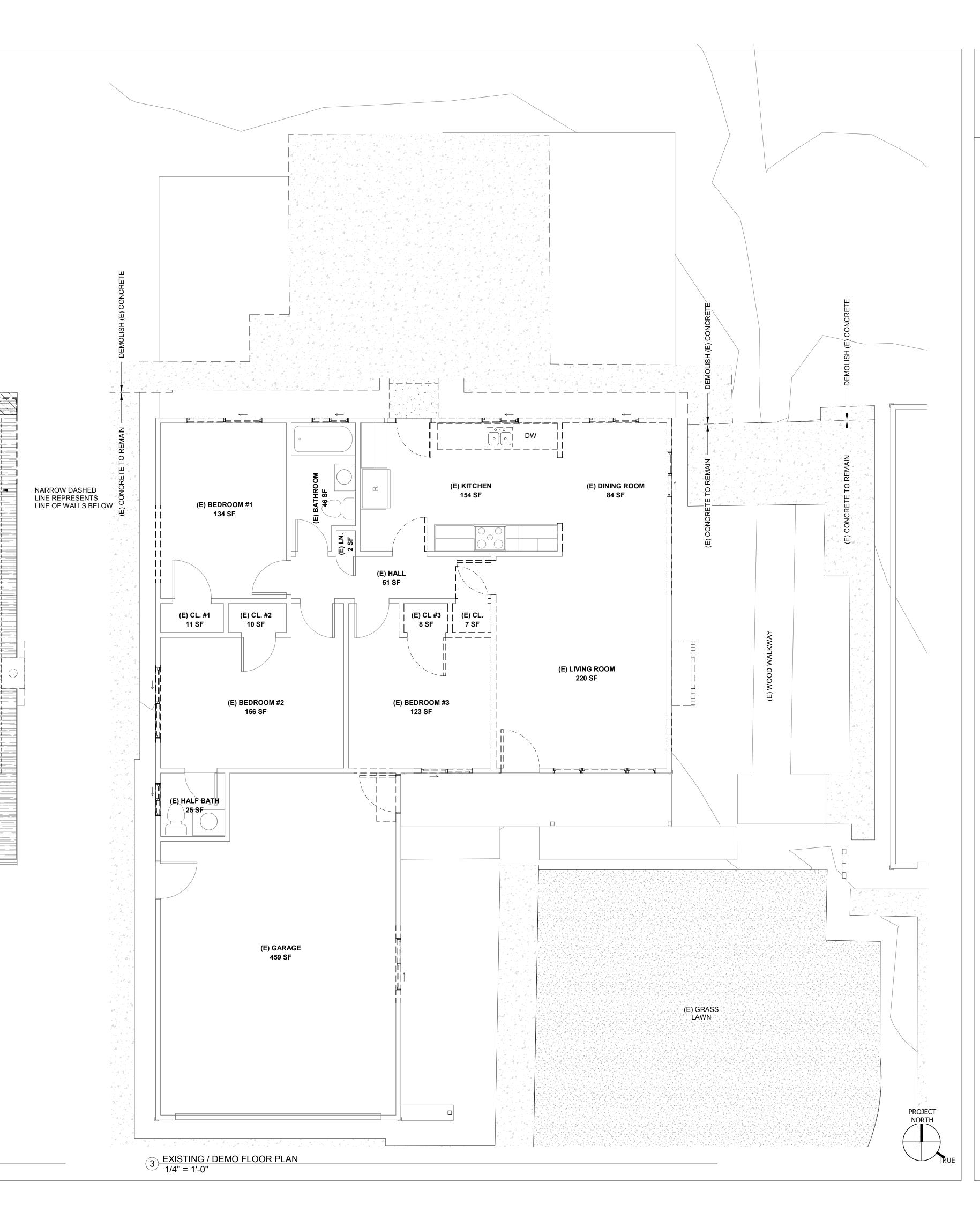




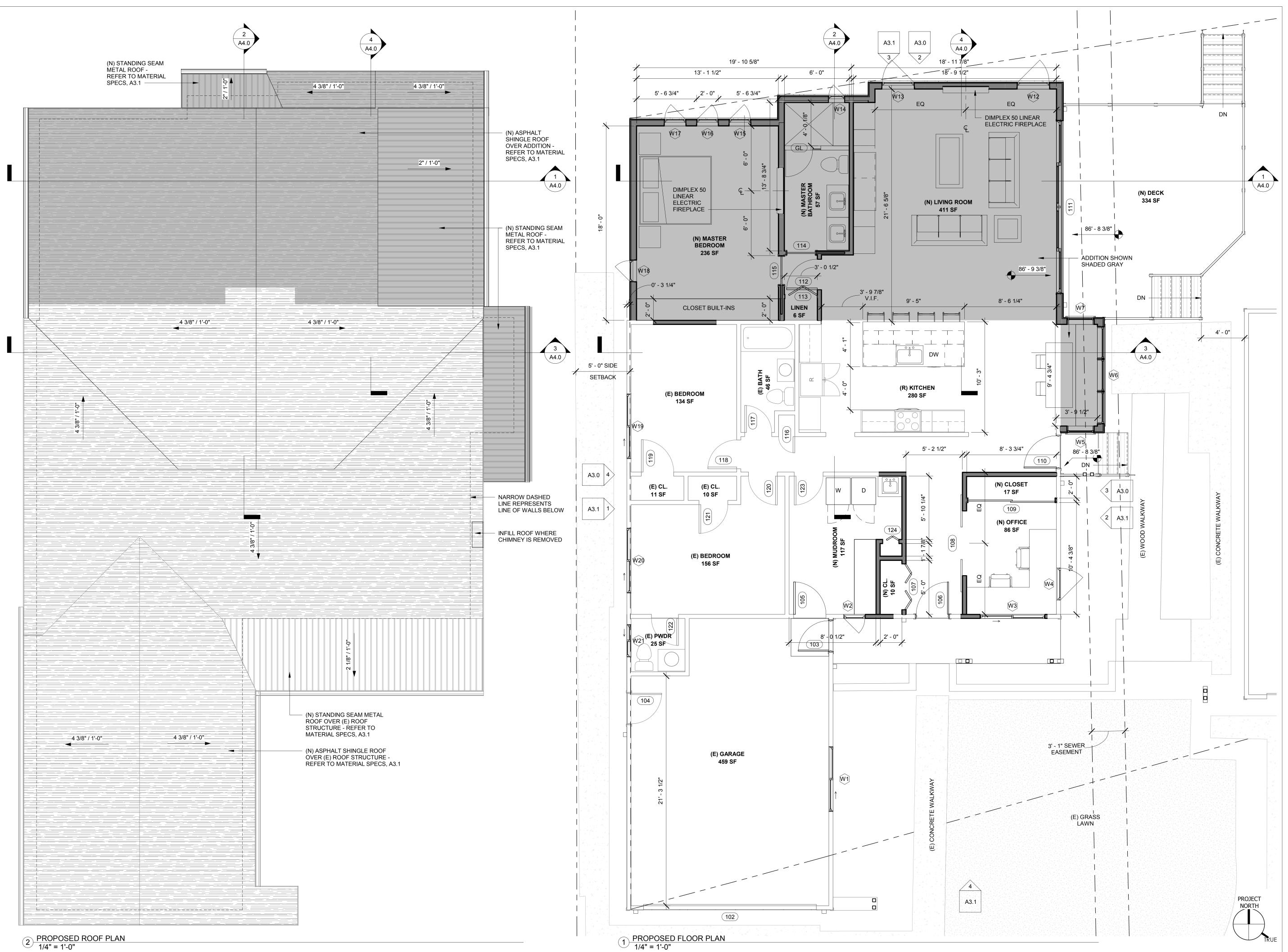


- HATCHED REGION REPRESENTS ROOF, FASCIA AND GUTTERS TO

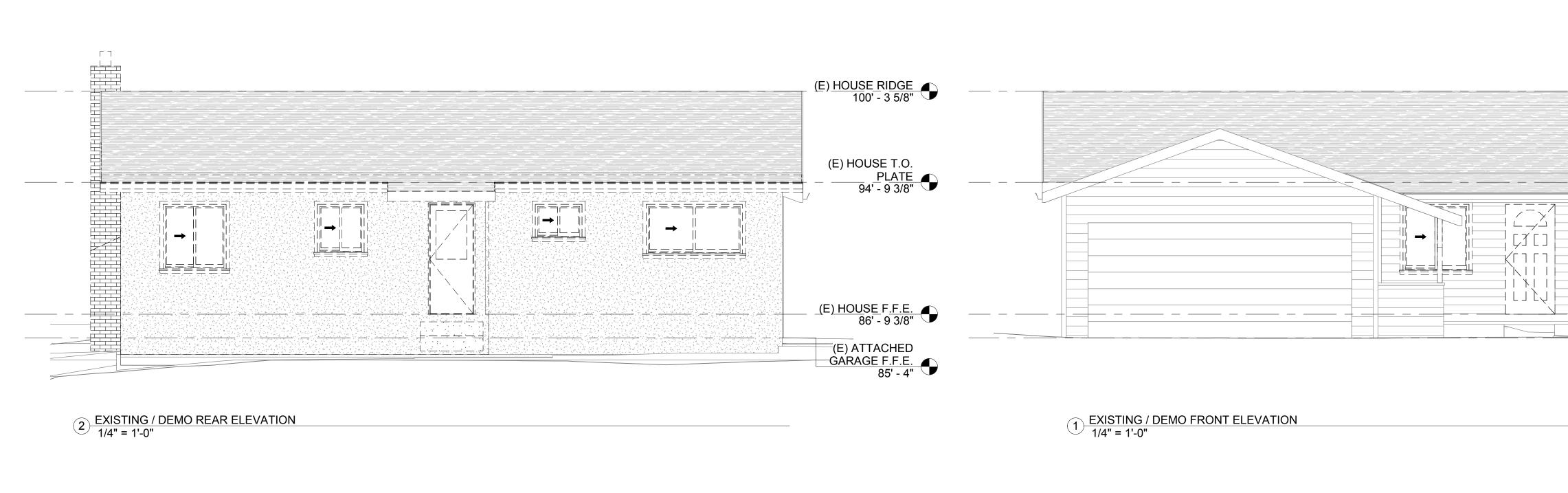
2 EXISTING / DEMO ROOF PLAN 1/4" = 1'-0"



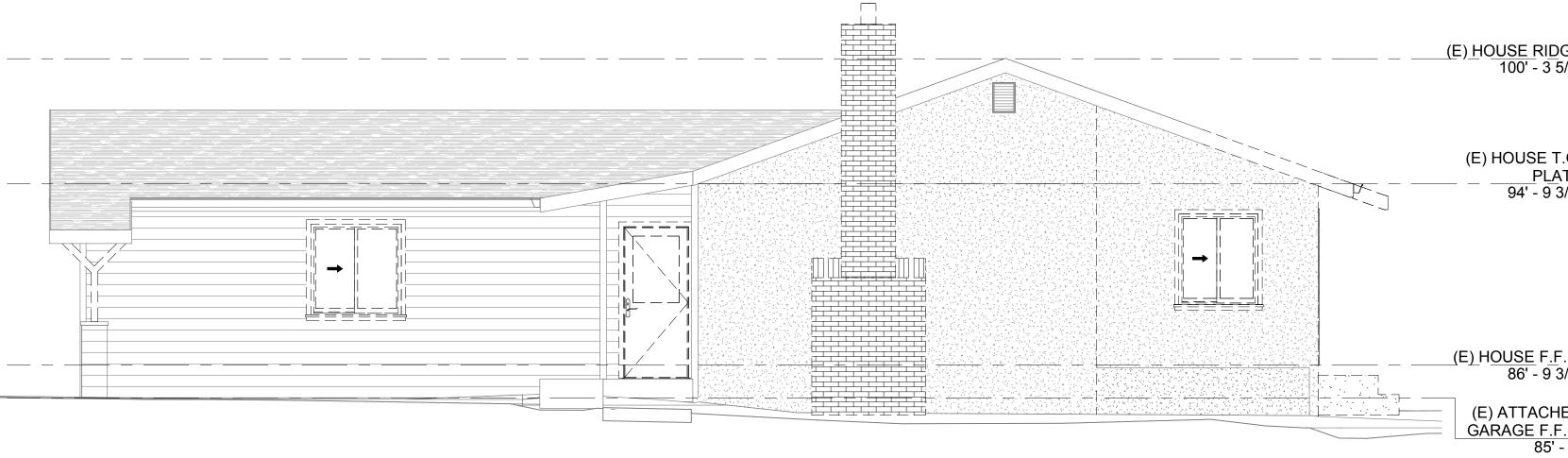




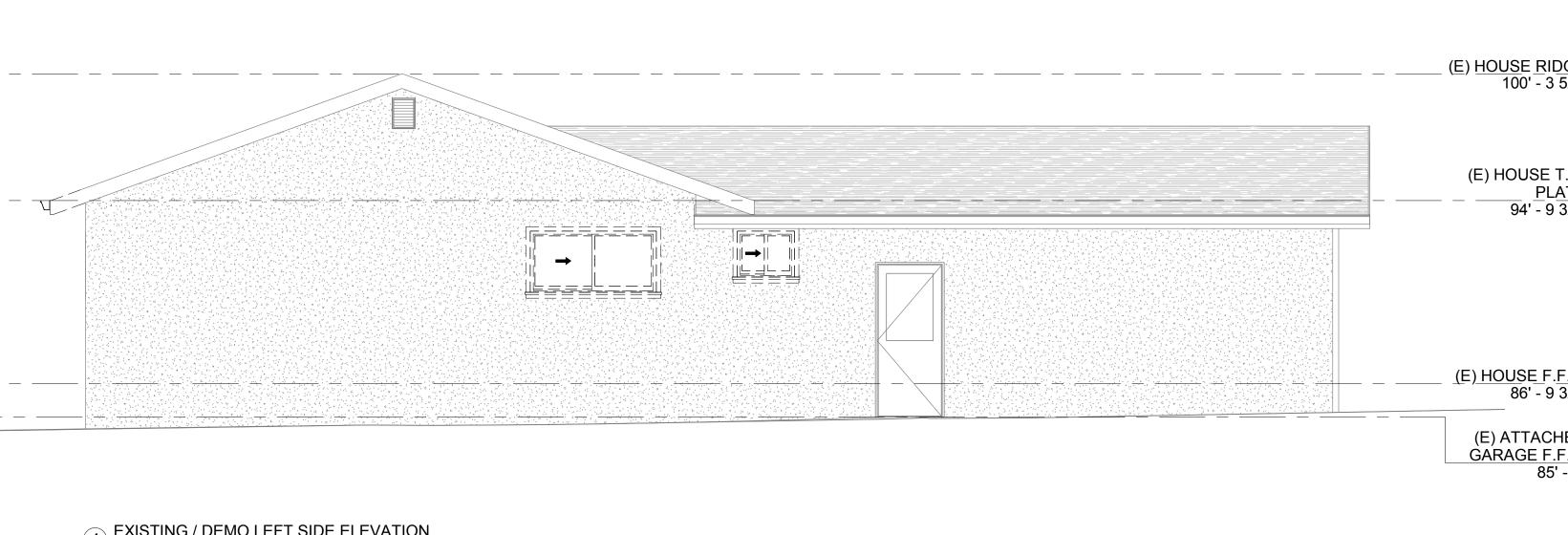








4 EXISTING / DEMO LEFT SIDE ELEVATION 1/4" = 1'-0"

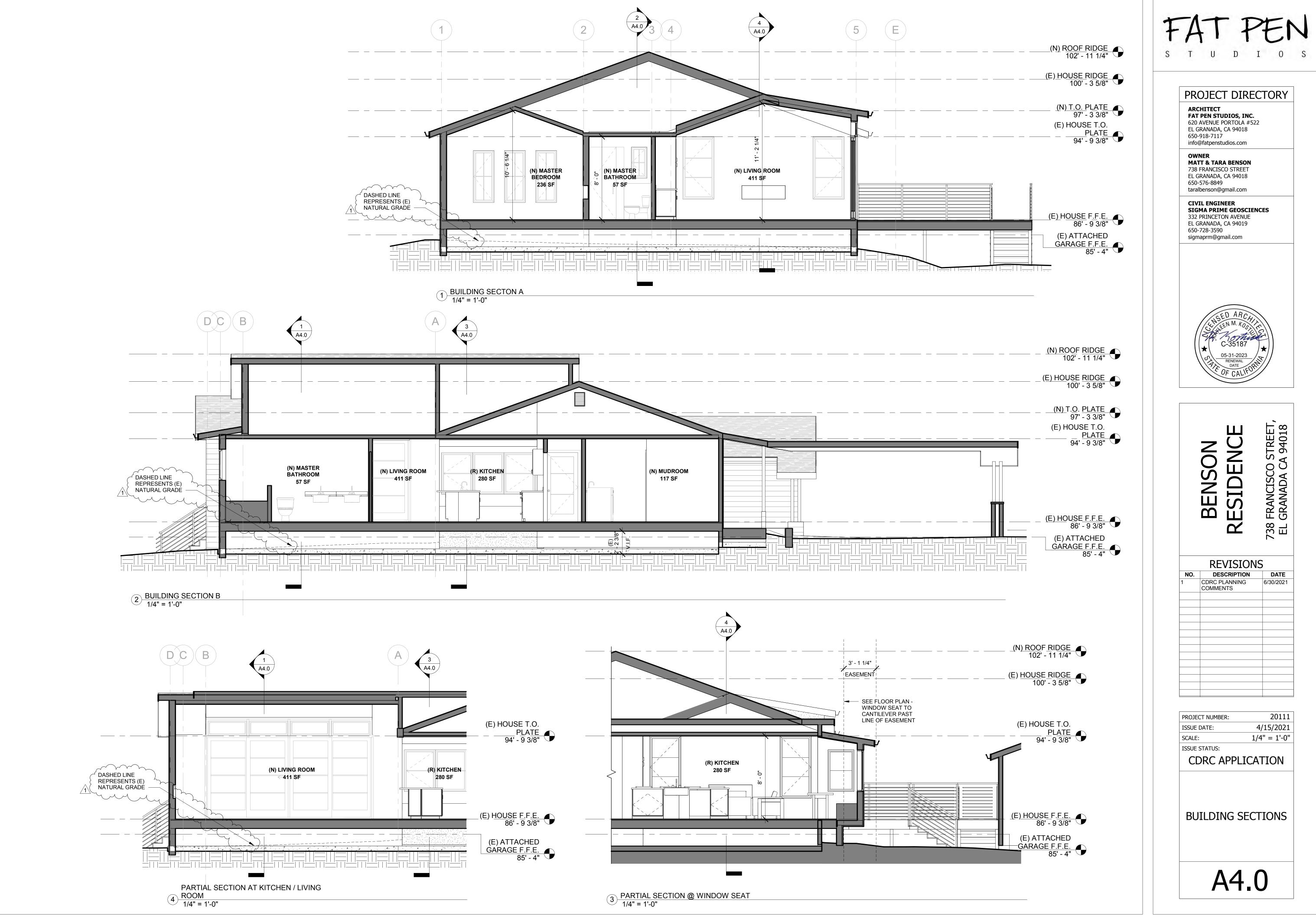


IDGE 3 5/8"		FAT PEN S T U D I O S
E T.O. L <u>ATE</u> 9 3/8"		<b>PROJECT DIRECTORY</b> <b>ARCHITECT</b> <b>FAT PEN STUDIOS, INC.</b> 620 AVENUE PORTOLA #522 EL GRANADA, CA 94018 650-918-7117 info@fatpenstudios.com
=. <u>F.E.</u>		OWNER MATT & TARA BENSON 738 FRANCISCO STREET EL GRANADA, CA 94018 650-576-8849 taralbenson@gmail.com CIVIL ENGINEER SIGMA PRIME GEOSCIENCES
9 3/8" CHED 5' - 4"		332 PRINCETON AVENUE EL GRANADA, CA 94019 650-728-3590 sigmaprm@gmail.com
		C-35187
DG <u>E</u> 3 5/8"		05-31-2023 RENEWAL DATE OF CALLFORM
T.O. _ATE 9 3/8"		ON STREET, A 94018
F.E. 9 3/8"		BENSON BENSON RESIDENCE 38 FRANCISCO STREET 38 FRANCISCO STREET 51 GRANADA CA 94018
CHED C.F.E. 5' - 4"		Image: Revisions     NO.   Description     Date
	(E) H <u>OUSE</u> RIDGE 100' - 3 5/8"	Image:
	(E) HOUSE T.O. <u>PLATE</u> 94' - 9 3/8"	PROJECT NUMBER:         20111           ISSUE DATE:         4/15/2021
	(E) HOUSE F.F.E. 86' - 9 3/8"	SCALE: 1/4" = 1'-0" ISSUE STATUS: CDRC APPLICATION
	(E) ATTACHED GARAGE F.F.E. 85' - 4"	EXISTING EXTERIOR ELEVATIONS
		A3.0

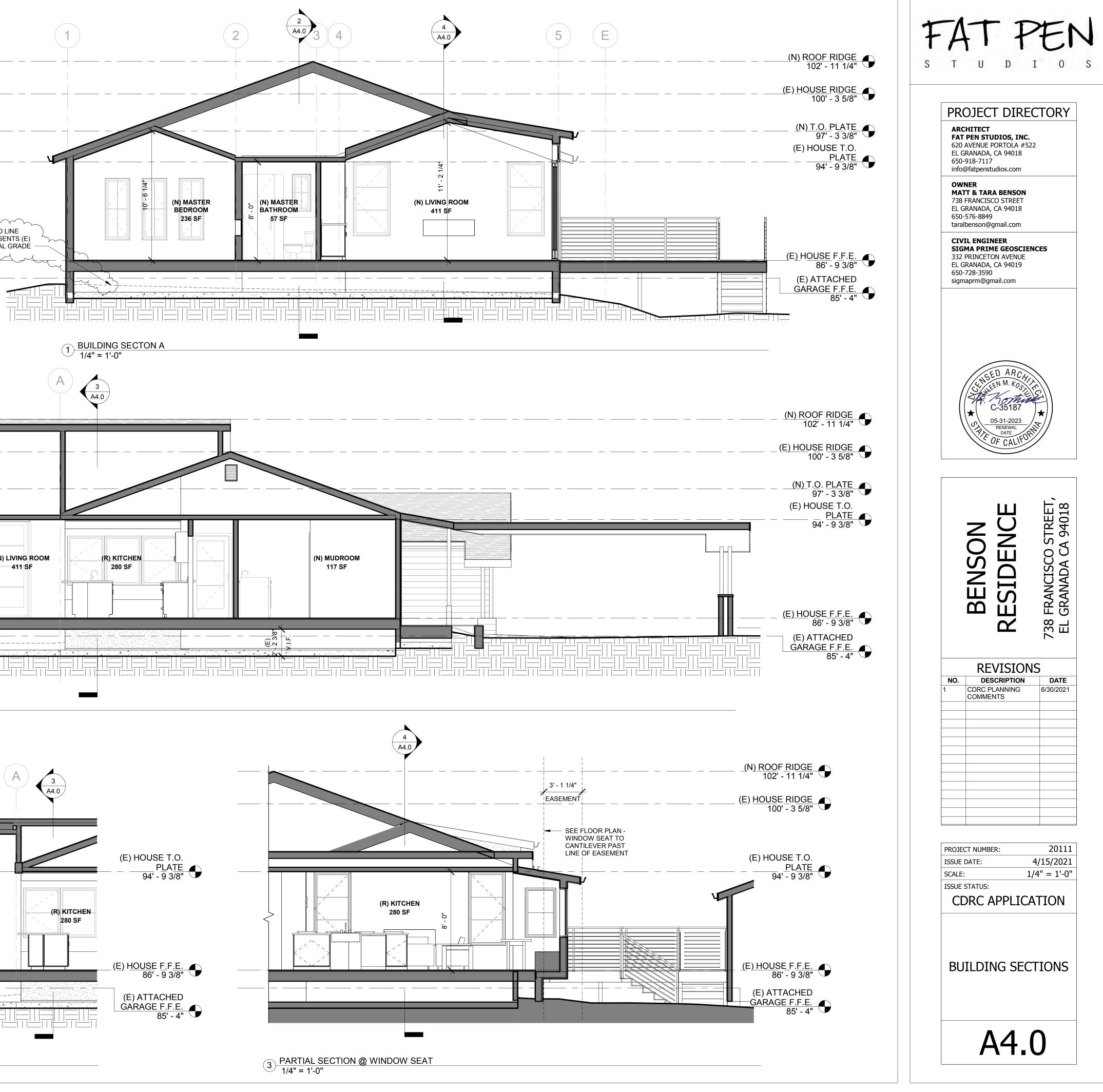


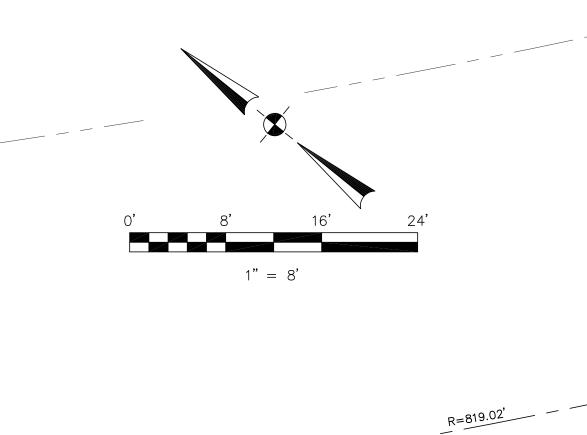


FAT P	ΈN
T U D	I O S
<b>PROJECT DIRE</b> <b>ARCHITECT</b> <b>FAT PEN STUDIOS, INC.</b> 620 AVENUE PORTOLA #52 EL GRANADA, CA 94018 650-918-7117 info@fatpenstudios.com	
OWNER MATT & TARA BENSON 738 FRANCISCO STREET EL GRANADA, CA 94018 650-576-8849 taralbenson@gmail.com	
CIVIL ENGINEER SIGMA PRIME GEOSCIEN 332 PRINCETON AVENUE EL GRANADA, CA 94019 650-728-3590 sigmaprm@gmail.com	ICES
SED ARCH	
C-35187 OF CALIFOR	/★//
ENSON	Francisco street Granada ca 94018
BEN RESII	738 FRAN EL GRAN
REVISION NO. DESCRIPTION	DATE
PROJECT NUMBER: ISSUE DATE:	20111 4/15/2021
SCALE: ISSUE STATUS: CDRC APPLICA	
3D PERSPEC VIEWS - OPTI	
A3.	2









# **BASIS OF BEARINGS**

THE BEARING, NORTH 43°47'41" EAST (BEING NORTH 43°47'30" EAST OF RECORD), OF THE MONUMENTED CENTERLINE OF ISABELLA AVENUE, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

# BENCHMARK

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ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N 1240" WITH A PUBLISHED ELEVATION OF 19.96 FEET. SITE BENCHMARK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 86.37 FEET.

# NOTES.

BGT RELIED UPON A FIRST AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 4104-4521853, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT. IT IS NOT CLEAR IF REPORT IS THOROUGH IN ITS EXCEPTIONS WITH REGARDS TO EASEMENTS OF RECORD, CONSIDERING THE STORM DRAINAGE AND SANITARY SEWER LINES RUNNING THROUGH THE APPROXIMATE CENTER OF THE PARCEL.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

THE LOCATION OF THE SEWER CLEANOUT WAS NOT FOUND BY THE FIELD CREW. THEREFORE, THE CLEANOUT(S), AND THE PROBABLE LOCATION OF THE SEWER LATERAL COULD NOT BE VERIFIED. VERIFICATION TO BE DONE BY OTHERS.

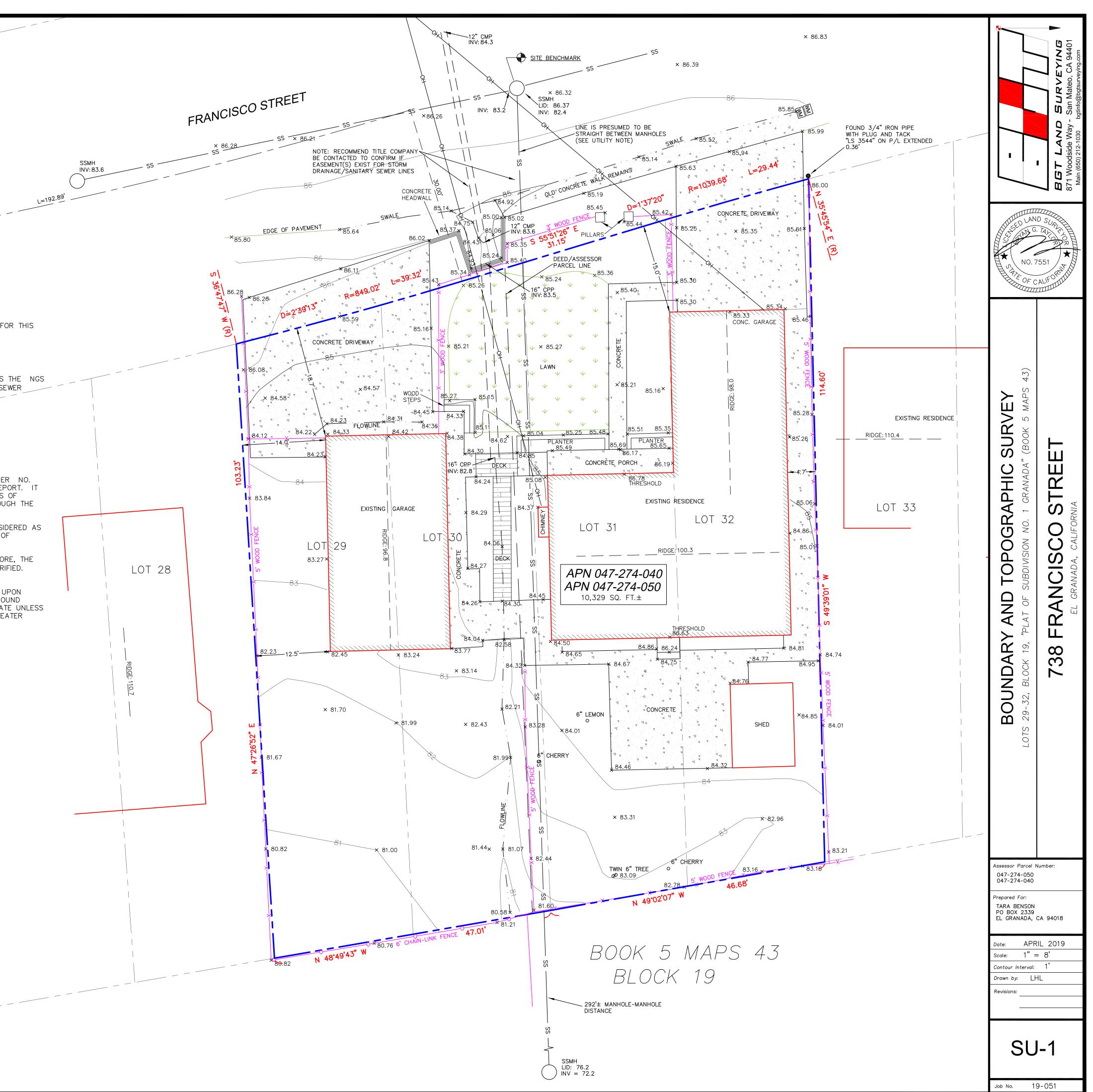
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING www.bgtsurveying.com

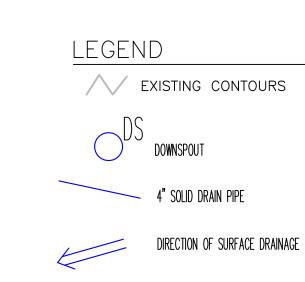
DATE OF FIELD SURVEY: APRIL 11, 2019 JOB NUMBER: 19-051

# <u>LEGEND</u>

۲	FOUND SAN MATEO COUNTY BRASS
	DISK WITH PUNCH IN HANDHOLE
AC	ASPHALT CONCRETE
3W	BACK OF WALK
CB	CATCH BASIN
C/L	CENTERLINE
CMP	CORRUGATED METAL PIPE
20	CLEAN OUT BOX
CP	SURVEY CONTROL POINT
CPP	CORRUGATED PLASTIC PIPE
DI	DROP INLET
EM	ELECTRIC METER
FF	FINISHED FLOOR
FL	FLOWLINE
FH	FIRE HYDRANT
GM	GAS METER
GUY	GUY ANCHOR
GV	GAS VALVE
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
MH MON-MON	MONUMENT TO MONÚMENT DISTANCE
PBV	PACBELL/SBC VAULT
PGE	PG&E VÁULT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
SSV	SANITARY SEWER VAULT
TBC	TOP BACK OF CURB
ТВМ	TEMPORARY BENCHMARK
UNK	UNKNOWN TYPE
VCP	VITRIFIED CLAY PIPE
WBF	WATER BACK FLOW VALVE
WM	WATER METER BOX
WV	WATER VALVE
-G-	GAS LINE
-0H-	OVERHEAD LINE
-SD-	STORM DRAIN LINE
-SS-	SANITARY SEWER LINE
– W–	WATER LINE







# GENERAL NOTES

- 1. PLANS PREPARED AT THE REQUEST OF:
- TARA BENSON, OWNER 2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED APRIL 11, 2019.
- 3. THIS IS NOT A BOUNDARY SURVEY. 4. ELEVATION DATUM NAVD88.



# DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.

2. ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELL, AS SHOWN.

3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.

4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DRY WELL TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

# GRADING NOTES

CUT VOLUME : 10 CY (FOR FOUNDATION) FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

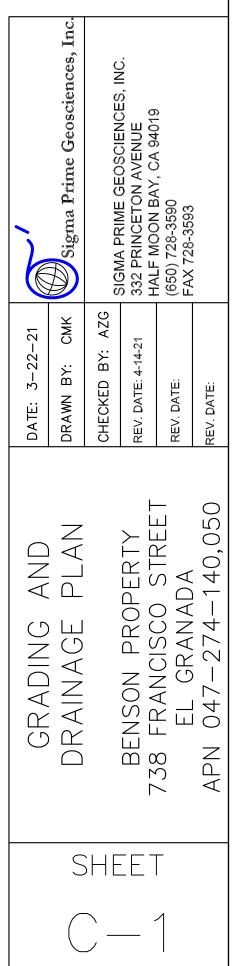
ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

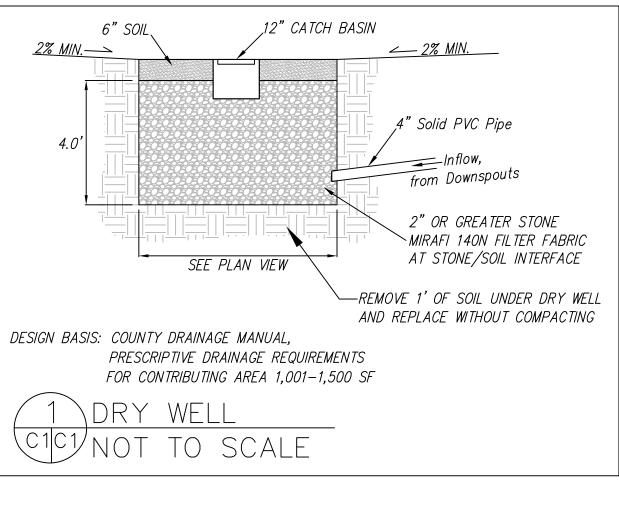
# SECTION AND DETAIL CONVENTION

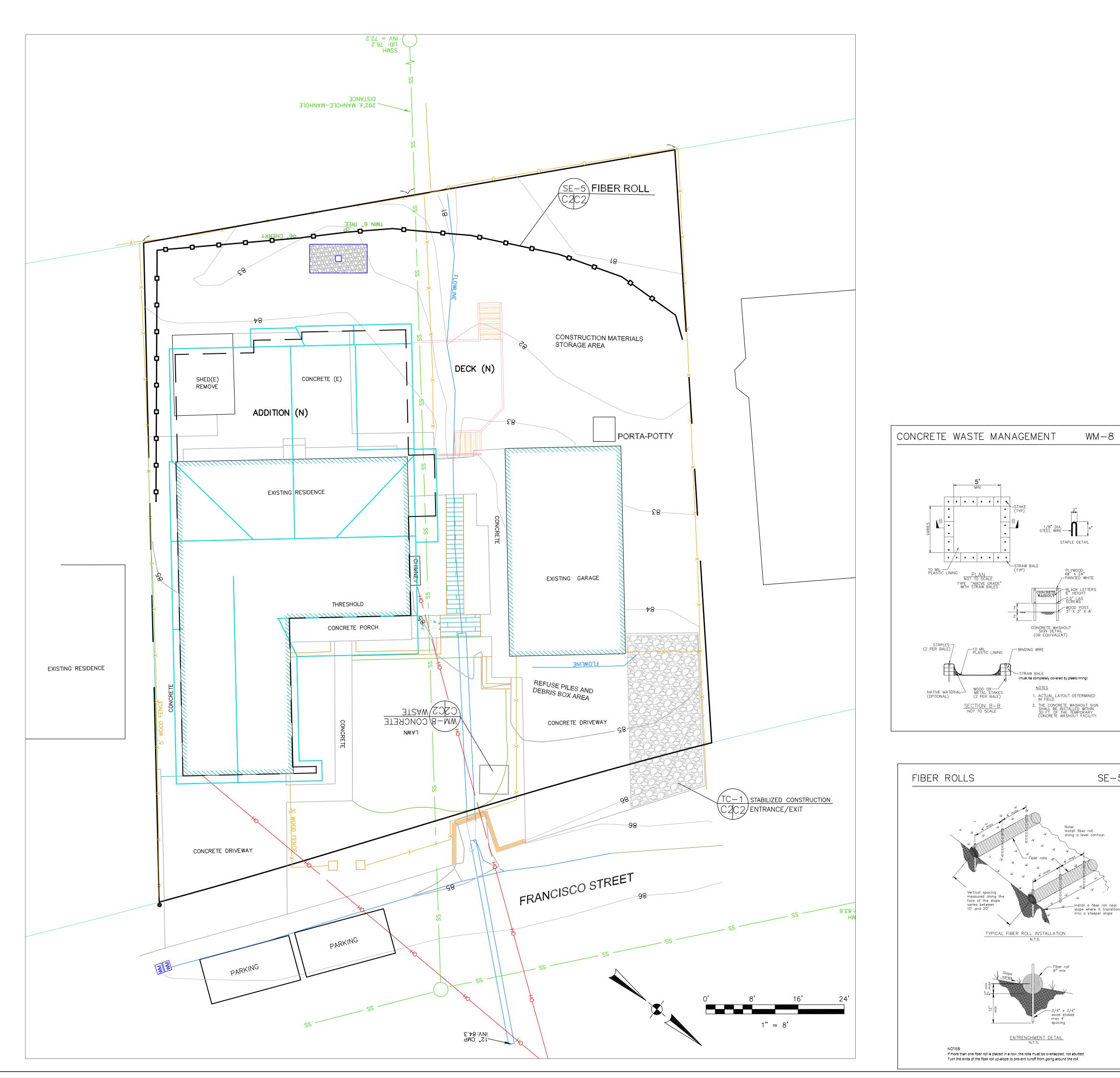
SECTION OR DETAIL IDENTIFICATION REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN

REFERENCE SHEET No. ON ← WHICH SECTION OR DETAIL IS SHOWN









# GENERAL EROSION AND SEDIMENT CONTROL NOTES



FIBER ROLE INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5

 There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.

- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round.
   Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.

No 62264

- Placement of erosion materials is required on weekends and during rain events.
   The grade delineated on the plane for parking, grubbing, storage etc., shall not be
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- · Dust control is required year-round.
- · Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

	EROSION CONTROL POINT OF CONTACT	*	9-30-21 EXPIRES ★ ATE OF CALIFORNIA
	THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED. NAME:	Sigma Prime Geosciences, Inc.	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3593 FAX 728-3593
	STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1	-21 CMK	AZG 14-21
	Crushed aggregate Filter fabric Original grade	DATE: 3–22 DRAWN BY:	CHECKED BY: REV. DATE: 4– REV. DATE: REV. DATE: REV. DATE:
	L 12" Min, unless otherwise specified by a soils engineer $\frac{\text{SECTION}  B-B}{\text{NTS}}$	SEDIMENT PLAN	ERTY STREET A 40,050
near istions ie	NOTE: Construct sediment barrier and channelize runoff to sediment trapping device	EROSION AND SEC CONTROL PLA	BENSON PROPERT 738 FRANCISCO STF EL GRANADA APN 047-274-140
	Match Existing	S	HEET
	Grade <u>PLAN</u> NTS		) - 2



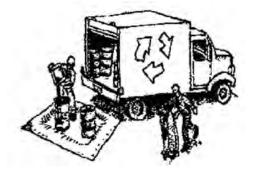
# SAN MATEO COUNTYWIDE Water Pollution **Prevention Program**

# **Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

# **Materials & Waste Management**



## Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

## Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- □ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- General Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

## Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

# **Construction Entrances and Perimeter**

- **X** Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

**Equipment Management & Spill Control** 

**Earthmoving** 

**Paving/Asphalt Work** 



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

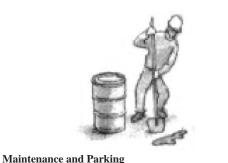
## Sawcutting & Asphalt/Concrete Removal

- □ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- □ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- □ If sawcut slurry enters a catch basin, clean it up immediately.
- tarps all year-round.

garbage.

under cover.

# Storm drain polluters may be liable for fines of up to \$10,000 per day!



Designate an area, fitted with appropriate BMPs, for

□ Perform major maintenance, repair jobs, and vehicle

□ If refueling or vehicle maintenance must be done

onsite, work in a bermed area away from storm drains

and over a drip pan or drop cloths big enough to collect

fluids. Recycle or dispose of fluids as hazardous waste.

□ If vehicle or equipment cleaning must be done onsite,

clean with water only in a bermed area that will not

allow rinse water to run into gutters, streets, storm

Do not clean vehicle or equipment onsite using soaps,

solvents, degreasers, or steam cleaning equipment.

Keep spill cleanup materials (e.g., rags, absorbents and

repair leaks promptly. Use drip pans to catch leaks

□ Inspect vehicles and equipment frequently for and

X Clean up spills or leaks immediately and dispose of

Do not hose down surfaces where fluids have spilled.

Sweep up spilled dry materials immediately. Do not

try to wash them away with water, or bury them.

□ Report significant spills immediately. You are required

by law to report all significant releases of hazardous

materials, including oil. To report a spill: 1) Dial 911

or your local emergency response number, 2) Call the

Governor's Office of Emergency Services Warning

Clean up spills on dirt areas by digging up and

properly disposing of contaminated soil.

Center, (800) 852-7550 (24 hours).

Use dry cleanup methods (absorbent materials, cat

cat litter) available at the construction site at all times.

vehicle and equipment parking and storage.

and equipment washing off site.

drains, or surface waters.

**Spill Prevention and Control** 

until repairs are made.

litter, and/or rags).

cleanup materials properly.



Schedule grading and excavation work during dry weather.

- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- X Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- □ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

## **Contaminated Soils**

- □ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash

- Prevent sediment from migrating offsite

# **Concrete, Grout & Mortar** Application



□ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.

Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as

□ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.



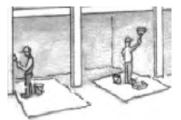
□ Protect stockpiled landscaping materials from wind and rain by storing them under

□ Stack bagged material on pallets and

X Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.



# **Painting & Paint Removal**



## Painting Cleanup and Removal

- X Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- □ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- □ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.

# Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- U When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- □ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.