GA GAUGE

GYPSUM

HOSE BIBB

LAV LAVATORY

LIGHT

MANUFACTURER

MAXIMUM

NORTH

OWNER FURNISHED

PUSH BUTTON

POC POINT OF CONNECTION

PRESSURE TREATED

PHONE

PLATE

REF REFRIGERATOR

CONTRACTOR INSTALLE

OC ON CENTER

LB POUND

LIN LINEN

HIGH OR HEIGHT

ANCHOR BOLT

BOTTOM OF WALL GYP

CENTER TO CENTER JTS JOIST

ADJACENT ALUMINUM

BLOCKING

CERAMIC

CLEANOUT

CONCRETE

DOUGLAS FIR

DRAIN INLET

DIAMETER

ELEVATION

FINISH FLOOR

LUOR FLUORESCENT

CONTIN | CONTINUOUS

CONTROL JOINT

BLKG

SHEET ABBREVIATIONS

GFCI GROUND FAULT INTERRUPTERM

REINF REINFORCED

REDWOOD SOUTH

SET BACK

SQUARE FOOT

SHEATHING

'SIMPSON'

SLIDING

TREAD

STRUCT STRUCTURAL

TEMP TEMPERED

TOS

WC

WD

SHELF & POLE

TOP OF CONCRETE

TOP OF GRADE

TOP OF FLOOR TOP OF PAVEMENT

TOP OF SLAB

TELEVISION **TYPICAL**

WATER CLOSET

WATER HEATER

WELDED WIRE MESH

WOOD

UNDER COUNTER REFRI

TOW TOP OF WALL

SHWR SHOWER

NEW SINGLE FAMILY RESIDENCE:

FREITAS FAMILY



PROJECT DIRECTORY

ARCHITECT	SEAN FREITAS, ARCHITECT
	100 GATEWAY DRIVE, SUITE 120,
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DRAFTING	NICHOLAS OUSHAKOFF
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STRUCTURAL ENGINEER

MEP ENGINEER

FIRE SPRINKLER

CIVIL ENGINEER

TRUSS DESIGNER

ADDITIONAL NOTES

PROJECT VICINITY MAP

AERIAL VIEW

PROJECT LOCATION: 047-208-120 AVENUE PORTOLA, EL GRANADA, CA

APPLICABLE BUILDING CODE: 2019 CALIFORNIA BUILDING CODE (CBC) 2019 CALIFORNIA MECHANICAL CODE (CMC) 2019 CALIFORNIA PLUMBING CODE (CPC) 2019 CALIFORNIA ENERGY CODE (CEC) 2019 CALIFORNIA GREEN BUILDING CODE (CGBS) 2019 CALIFORNIA ENERGY CODE (2019 CALIFORNIA ENERGY STANDARDS AS AMENDED BY THE STATE OF CALIFORNIA AND THE LOCAL JURISDICTION. GENERAL PROJECT DATA: 047-208-120 R-3/S-3/DR/CD

PROJECT INFORMATION

BUILDING JURISDICTION: SAN MATEO COUNTY ALLOWED: ACTUAL: **CODE COMPLIANCE:** OCCUPANCY GROUP (CBC CH 3): R-3/U R-3/U CONSTRUCTION TYPE (CBC, TABLE 601): V-B **ALLOWABLE HEIGHT: ALLOWABLE STORIES: ALLOWABLE AREA:** FLOOR AREA RATIO:

PROJECT SCOPE

APN:047-208-120

SINGLE-FAMILY RESIDENCE CONSISTING OF TWO BEDROOMS, ONE BATHROOM. PRE-MANUFACTURED TRUSSES TO BE UTILIZED WITH ASPHALT SHINGLE ROOFING. EXTERIOR 2X6 WALLS WITH BATTEN AND BOARD & LAP SIDING FINISH. EXISTING UTILITIES AT THE SITE TO BE REROUTED.

AREA CALCULATIONS				
NAME	(E) AREA	(N) AREA	NET CHANGE	
CONDITIONED				
LEVEL-1	0 SF	847 SF	847 SF	
CONDITIONED	0 SF	847 SF	847 SF	
UNCONDITIONED				
GARAGE	0 SF	224 SF	224 SF	
DECK	0 SF	86 SF	86 SF	
UNCONDITIONED	0 SF	310 SF	310 SF	
TOTAL:	0 SF	1157 SF	1157 SF	

LOT COVERAGE (E) SF (N) SF CHANGE (E) SF (E) % (N) SF (N) % 2763 SF | 2763 SF | 0 SF | 0 SF | 0.00% | 1157 SF | 41.87% | 1157 SF | 41.87%

LINCOLN, CA 95648 GRAPHIA.com

100 GATEWAY DRIVE, SUITE 120

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PROJECT: 20190110

RESIDENCE

SHEET INDEX

TITLE

COVER SHEET

NOTES & CALGREEN

COC LETTER

SITE SURVEY

SITE PLAN

FLOOR PLANS

ROOF PLAN

PERSPECTIVE VIEWS

ELEVATIONS

ELEVATIONS

BUILDING SECTIONS

LIGHTING SHEETS

GRADING AND DRAINAGE PLAN

EROSION AND SEDIMENT CONTROL PLAN

SHEET

A0.11

A0.12

A0.13

A1.10

A1.11

A2.11

A3.11

A5.00

A5.11

A5.12

A6.11

AT.0

C-1

C-2

Sheet Issue Date:



ARCHITECTURAL SYMBOLS

#	GRIDLINE	1 A101	SECTION	LAP SIDING		CARPET
W# R# WIDTH x HEIGHT TYPE -	WINDOW TAG	1 A101 SIM	DETAIL	ASPHALT SHINGLE ROOFING		EARTH
COMMENTS D101 R# WIDTH x HEIGHT	DOOR TAG	<u> </u>	REVISION	STONE	A A A A A A A A A A A A A A A A A A A	CONCRETE
FAMILY - COMMENTS ROOM NAME		Name Elevation	SPOT ELEVATION	EXTERIOR CEMENT PLASTER		TILE
R# A: AREA CLG:CLG HT	ROOM TAG	Ref		FIBER-CEMENT SHINGLES		SS METAL
# B	PROPOSED KEYNOTE EXISTING KEYNOTE	SHEET 1 TO Ref	ELEVATION	PROJECT NORTH (GRAY) TRUE NORTH (BLACK)		BATTEN ON BOARD

SECTION	2016 CALGREEN CODE REQUIREMENTS	SECTION	2016 CALGREEN CODE REQUIREMENTS	SECTION	2016 CALGREEN CODE REQUIREMENTS
	MINISTRATION Scope	200400 20000000000000000000000000000000	- WATER EFFICIENCY AND CONSERVATION (INDOOR WATER USE) Water conserving plumbing fixtures and fittings		Aerosol paints and coatings Aerosol paints and coatings shall meet the Product-Weighted MIR Limits for ROC in
101.3.1	Applies to ALL newly constructed residential buildings: low-rise, high-rise, and hotels/motels.		Plumbing fixtures and fittings shall comply with the following: 4.303.1.1 Water Closets: ≤ 1.28 gal/flush	4.504.2.3	Section 94522(a)(2) and other requirements, including prohibitions on use of certain toxic compounds and ozone depleting substances, in Section 94522(e)(1) and (f)(1) of the CCR, Title 17, commencing with Section 94520; and in areas under the jurisdiction
Chapter 3 - GF	Additions and alterations		4.303.1.2 Wall Mounted Urinals: ≤ 0.125 gal/flush; all other urinals ≤ 0.5 gal/flush 4.303.1.3.1 Single Showerheads: ≤ 2.0 gpm @ 80 psi		of the Bay Area Air Quality Management District shall additionally comply with the percent VOC by weight of product limits of Regulation 8, Rule 49.
301.1.1	 Applies to additions or alterations of residential buildings where the addition or alteration increases the building's conditioned area, volume, or size. Requirements only apply within the specific area of the addition or alteration. 	4.303.1	4.303.1.3.2 Multiple Showerheads: combined flow rate of all showerheads controlled by a single valve shall not exceed 2.0 gpm @ 80 psi, or only one shower outlet is to be in operation at a time		Carpet systems Carpet installed in the building interior shall meet the testing and product requirements
301.1.1	 Note directs code users to Civil Code Section 1101.1 et seq., regarding replacement of non-compliant plumbing fixtures. 		4.303.1.4.1 Residential Lavatory Faucets: Maximum Flow Rate ≤ 1.2 gpm @ 60 psi; Minimum Flow Rate ≥ 0.8 gpm @ 20 psi		of 1 of the following: 1. Carpet and Rug Institute's Green Label Plus Program 2. California Department of Public Health, "Standard Method for the Testing and
301.2	Low-rise and high-rise buildings Banners identify provisions applying to low-rise only [LR] or high-rise only [HR].		4.303.1.4.2 Lavatory Faucets in Common and Public Use Areas of Residential Buildings: ≤ 0.5 gpm @ 60 psi	4.504.3	Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as
180805000 00000000	PLANNING AND DESIGN (SITE DEVELOPMENT) Storm water drainage and retention during construction		4.303.1.4.3 Metering Faucets: ≤ 0.25 gallons per cycle 4.303.1.4.4 Kitchen Faucets: ≤ 1.8 gpm @ 60 psi; temporary increase to 2.2 gpm		Specification 01350) 3. NSF/ANSI 140 at the Gold level
4.106.2	Projects which disturb less than 1 acre of soil and are not part of a larger common plan of development shall manage storm water drainage during construction.		allowed but shall default to 1.8 gpm Standards for plumbing fixtures and fittings		4. Scientific Certifications Systems Indoor Advantage™ Gold Carpet cushion
	Grading and paving Construction plans shall indicate how the site grading or drainage system will manage	4.303.2	Plumbing fixtures and fittings shall be installed in accordance with the California Plumbing Code, and shall meet applicable standards referenced in Table 1701.1 of the California Plumbing Code.	4.504.3.1	Carpet cushion installed in the building interior shall meet the requirements of the Carpet and Rug Institute's Green Label Plus Program.
4.106.3	all surface water flows to keep water from entering buildings. Exception for additions and alterations which do not alter the existing drainage path.	Division 4.3 -	- WATER EFFICIENCY AND CONSERVATION (OUTDOOR WATER USE) Outdoor potable water use in landscape areas	4.504.3.2	Carpet adhesive Carpet adhesives shall meet the requirements of Table 4.504.1.
	Electric vehicle (EV) charging for new construction Comply with Section 4.106.4.1 and 4.106.4.2 for future installation and use of EV		After December 1, 2015, new residential developments with an aggregate landscape area equal to or greater than 500 square feet shall comply with one of the following:		Resilient flooring systems Where resilient flooring is installed, at least 80% of floor area receiving resilient
	 chargers. Electric vehicle supply equipment (EVSE) shall be installed in accordance with the California Electrical Code, Article 625. 	4.304.1	A local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO),		flooring shall comply with one or more of the following: 1. Products compliant with the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from
4.106.4	 Exceptions on a case-by-case basis as determined by the Local Enforcing Agency: Where there is no commercial power supply. 		whichever is more stringent, or 2. Projects with aggregate landscape areas less than 2500 square feet may comply		Indoor Sources Using Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350), certified as a CHPS Low-Emitting Material in the
	Verification that meeting requirements will alter the local utility infrastructure design requirements on the utility side of the meter increasing costs to the		with the MWELO's Appendix D Prescriptive Compliance Option. - MATERIAL CONSERVATION & RESOURCE EFFICIENCY DUBARULTY & REPUICED MAINTENANCE.	4.504.4	Collaborative for High Performance Schools (CHPS) High Performance Products Database 2. Products certified under UL GREENGUARD Gold (formerly the Greenguard
	homeowner/developer by more than \$400.00 per dwelling unit. EV charging: 1- & 2-family dwellings/townhouses with attached private garages	(ENHANCED	DURABILITY & REDUCED MAINTENANCE) Rodent proofing Annular spaces around pipes, electric cables, conduits or other openings in		Children & Schools Program) 3. Certification under the Resilient Floor Covering Institute (RFCI) FloorScore program
	 Install a listed raceway to accommodate a dedicated 208/240-volt branch circuit for each dwelling unit. 	4.406.1	sole/bottom plates at exterior walls shall be closed with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency to prevent passage of		4. Meet the California Department of Public Health, "Standard Method for the Testing and Evaluation of Volatile Organic Chemical Emissions from Indoor Sources Using
4.106.4.1 &	 Raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). Raceway shall originate at the main service or subpanel and terminate into a listed 	Division 4.4 -	rodents MATERIAL CONSERVATION & RESOURCE EFFICIENCY		Environmental Chambers," Version 1.1, February 2010 (also known as Specification 01350)
4.106.4.1.1	cabinet, box or other enclosure in close proximity to the proposed location of an EV charger.	(CONSTRUCT	TION WASTE REDUCTION, DISPOSAL & RECYCLING) Construction waste reduction of at least 65%	4.504.5	Composite wood products Hardwood plywood, particleboard and medium density fiberboard composite wood products used on the interior or exterior of the building shall meet the requirements
	 Raceways are required to be continuous at enclosed, inaccessible or concealed areas and spaces. Service panel and/or subpanel shall provide capacity to install a 40-ampere 	4.408.1	Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with either Section 4.408.2, 4.408.3 or 4.408.4; OR most a more stringent level construction and demolitical construction and demolitical construction.		2016 CALGREEN CODE
	minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. Service panel or subpanel circuit		4.408.3 or 4.408.4; OR meet a more stringent local construction and demolition waste management ordinance.	SECTION	REQUIREMENTS for formaldehyde as specified in the Air Resources Board's Air Toxics Control
	2016 CALGREEN CODE	SECTION	2016 CALGREEN CODE REQUIREMENTS	4.504.5 continued	Measure for Composite Wood (17 CCR 93120 et. seq.), as shown in Table 4.504.5. Documentation is required per Section 4.504.5.1. • Definition of Composite Wood Products: Composite wood products include
SECTION 4.106.4.1 &	REQUIREMENTS directory shall identify the overcurrent protective device space(s) reserved for future	SECTION	Documentation is required per Section 4.408.5. Exceptions:	continued	hardwood plywood, particleboard, and medium density fiberboard. "Composite wood products" do not include hardboard, structural plywood, structural panels,
4.106.4.1.1 continued	EV charging as "EV CAPABLE". The raceway termination location shall be permanently and visibly marked as "EV CAPABLE". EV charging for multifamily dwellings	4.408.1	Excavated soil and land-clearing debris. Alternative waste reduction methods developed by working with local enforcing		structural composite lumber, oriented strand board, glued laminated timber, prefabricated wood I-joists, or finger-joined lumber, all as specified in CCR, Title 17
	Applies to building sites with 17 or more multifamily dwelling units constructed on the site.	continued	agencies if diversion or recycle facilities capable of compliance with this item do not exist or are not located reasonably close to the jobsite.		Section 93120.1(a). Documentation
4 400 4 0	3% of the total number of parking spaces provided for all types of parking facilities, but in no case less than one, shall be electric vehicle charging spaces (EV)		 The enforcing agency may make exceptions to the requirements of this section when isolated jobsites are located in areas beyond the haul boundaries of the 	4.504.5.1	Verification of compliance shall be provided as requested by the enforcing agency, and as required in Section 4.504.5.1.
4.106.4.2	spaces) capable of supporting future EVSE. Calculations for the number of EV spaces shall be rounded up to the nearest whole number.		Construction waste management plan	Division 4.5 –	ENVIRONMENTAL QUALITY (INTERIOR MOISTURE CONTROL) Concrete slab foundations
	Note: Construction documents are intended to demonstrate the project's capability and capacity for facilitating future EV charging. There is no requirement for EV spaces	4.408.2	Submit a construction waste management plan meeting Items 1 through 5 in Section 4.408.2. Plans shall be updated as necessary and shall be available for	4.505.2	Concrete slab foundations or concrete slab-on-ground floors required to have a vapor retarder by the California Building Code, Chapter 19, or the California Residential Code, Chapter 5, respectively, shall also comply with this section.
	to be constructed or available until EV chargers are installed for use. EV charging space (EV space) locations		examination during construction. Waste management company		Capillary break A capillary break shall be installed in compliance with at least 1 of the following:
	Construction documents shall indicate the location of proposed EV spaces. At least 1 EV space shall be located in common use areas and available for use by all residents.	4.408.3	Utilize a waste management company, approved by the enforcing agency, which can provide verifiable documentation that diverted construction and demolition waste materials meet the requirements in Section 4.408.1.	4.505.2.1	1. A 4-inch thick base of 1/2-inch or larger clean aggregate shall be provided with a vapor retarder in direct contact with concreate and a concrete mix design which will
4.106.4.2.1	When EV chargers are installed, EV spaces required by Section 4.106.4.2.2, ltem 3, shall comply with at least 1 of the following options:		Waste stream reduction alternative	4.303.2.1	address bleeding, shrinkage and curling shall be used. For additional information, see American Concrete Institute, ACI 302.2R-06. 2. Other equivalent methods approved by the enforcing agency.
	1. The EV space shall be located adjacent to an accessible parking space meeting the requirements of the California Building Code, Chapter 11A, to allow use of	4 400 4	 (LR) Projects that generate a total combined weight of construction and demolition waste disposed in landfills, which do not exceed 3.4 pounds per square foot of the building area shall meet the minimum 65% construction waste reduction 		Stab design specified by a licensed design professional. Moisture content of building materials
	the EV charger from the accessible parking space. 2. The EV space shall be located on an accessible route to the building, as defined	4.408.4 4.408.4.1	requirement in Section 4.408.1. • Projects that generate a total combined weight of construction and demolition		Building materials with visible signs of water damage shall not be installed. Wall and floor framing shall not be enclosed when the framing members exceed 19% moisture
	in the California Building Code, Chapter 2. EV charging space (EV space) dimensions	4.400.4.1	waste disposed in landfills, which do not exceed 2 pounds per square foot of the building area, shall meet the minimum 65% construction waste reduction		content. Moisture content shall be verified in compliance with the following: 1. Moisture content shall be determined with either a probe-type or a contact-type moisture meter. Equivalent moisture verification methods may be approved by the
	EV spaces shall be designed to comply with the following: 1. The minimum length of each EV space shall be 18 feet. 2. The minimum width of each EV space shall be 9 feet.	Division 4.4 –	requirement in Section 4.408.1. - MATERIAL CONSERVATION & RESOURCE EFFICIENCY	4.505.3	enforcing agency and shall satisfy requirements in Section 101.8. 2. Moisture readings shall be taken at a point 2 feet to 4 feet from the grade-stamped
4.106.4.2.2	3. One in every 25 EV spaces, but not less than 1, shall also have an 8-foot wide minimum aisle. A 5-foot wide minimum aisle shall be permitted provided the	(BUILDING M	AINTENANCE & OPERATION) Operation and maintenance manual	4.000.0	end of each piece to be verified. 3. At least 3 random moisture readings shall be performed on wall and floor framing
	minimum width of the EV space is 12 feet. a) Surface slope for this EV space and aisle shall not exceed 1 unit vertical in	4.410.1	At the time of final inspection, a manual, compact disc, web-based reference or other media acceptable to the enforcing agency which covers 10 specific subject areas shall		with documentation acceptable to the enforcing agency provided at the time of approval to enclose the wall and floor framing. Insulation products which are visibly wet or have a high moisture content shall be
	48 units horizontal (2.083% slope) in any direction. Single EV space required		be placed in the building. Recycling by occupants		replaced or allowed to dry prior to enclosure in wall or floor cavities. Manufacturers' drying recommendations shall be followed for wet-applied insulation products prior to
4.400.4.0.2	Install listed raceway capable of accommodating a 208/240-volt dedicated branch circuit. The recovery shall not be less than trade size 4 (newsign) 4 inch incide.		Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible area(s) that serves all buildings on the site and is identified for the		2016 CALGREEN CODE
4.106.4.2.3	 The raceway shall not be less than trade size 1 (nominal 1-inch inside diameter). The raceway shall originate at the main service or subpanel and shall terminate 	4.410.2	depositing, storage and collection of non-hazardous materials for recycling, including (at minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive.	SECTION Division 4.5 –	REQUIREMENTS ENVIRONMENTAL QUALITY (INDOOR AIR QUALITY & EXHAUST)
	into a listed cabinet, box or enclosure in close proximity to the proposed location of the EV space.		Exception: Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82 (a)(2)(A) et. seq. are not required to comply		Bathroom exhaust fans Each bathroom shall be mechanically ventilated and shall comply with the following:
CECTION	2016 CALGREEN CODE		with the organic waste portion of this section.		 Fans shall be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventilation system, fans must
4.106.4.2.3	 REQUIREMENTS Construction documents shall identify the raceway termination point. The service panel and/or subpanel shall provide capacity to install a 40-ampere 	SECTION Division 4.5	2016 CALGREEN CODE REQUIREMENTS ENVIRONMENTAL CHALITY (FIREDI ACES)	4.506.1	be controlled by a humidity control. a) Humidity controls shall be capable of manual or automatic adjustment between
continued	minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device.	Division 4.5 –	- ENVIRONMENTAL QUALITY (FIREPLACES) General Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any		 a relative humidity range of less than 50% to a maximum of 80%. b) A humidity control may be a separate component to the exhaust fan and is not required to be integral or built-in.
	Multiple EV spaces required Construction documents shall indicate raceway termination point and proposed	4.503.1	installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a		Note: For CALGreen a "bathroom" is a room which contains a bathtub, shower, or tub/shower combination. Fans or mechanical ventilation is required in each bathroom.
	location of future EV spaces and EV chargers. Construction documents shall also provide information on amperage of future EVSE, raceway method(s), wiring		permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with all applicable local ordinances.	Division 4.5 –	ENVIRONMENTAL QUALITY (ENVIRONMENTAL COMFORT) Heating and air conditioning system design
	schematics and electrical load calculations to verify electrical panel service capacity and electrical system, including any on-site distribution transformer(s), have	Division 4.5 –	- ENVIRONMENTAL QUALITY (POLLUTANT CONTROL) Protection during construction		Heating and air conditioning systems shall be sized, designed, and equipment selected using the following methods:
4.106.4.2.4	sufficient capacity to simultaneously charge all EVs at all required EV spaces at full rated amperage of the EVSE.		At the time of rough installation, during storage on the construction site and until final startup of the heating, cooling and ventilating equipment, all duct and other related air		The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J – 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods.
	 Plan design shall be based upon a 40-ampere minimum branch circuit. Raceways and related components planned to be installed underground, enclosed, inaccessible or in concealed areas and spaces shall be installed at the time of 	4.504.1	intake and distribution component openings shall be covered. Tape, plastic, sheetmetal or other methods acceptable to the enforcing agency to reduce the amount	4.507.2	 design soπware or methods. Duct systems are sized according to ANSI/ACCA 1 Manual D – 2014 (Residential Duct Systems), ASHRAE handbooks or other equivalent design software or
	inaccessible or in concealed areas and spaces shall be installed at the time of original construction.		of water, dust and debris entering the system may be used. Adhesives, sealants and caulks		methods. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S – 2014
	Identification The service panel or subpanel circuit directory shall identify the overcurrent protective		Adhesives, sealants and caulks used on the project shall meet the requirements of the following standards unless more stringent local or regional air pollution or air quality		(Residential Equipment Selection) or other equivalent design software or methods. Exception: Use of alternate design temperatures necessary to ensure the systems functions are acceptable.
	device space(s) reserved for future EV charging purposes as "EV CAPABLE" in accordance with the California Electrical Code.		management district rules apply: 1. Adhesives, adhesive bonding primers, adhesive primers, sealants, sealant primers,		INSTALLER & SPECIAL INSPECTOR QUALIFICATION
4.106.4.2.5	Notes: 1. The California Department of Transportation adopts and publishes the "California Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform		and caulks shall comply with local or regional air pollution control or air quality management district rules where applicable, or SCAQMD Rule 1168 VOC limits, as shown in Tables 4 504.1 or 4 504.2, as applicable. Such products shall also	(QUALIFICAT	Installer training HVAC system installers shall be trained and certified in the proper installation of HVAC
	Manual on Uniform Traffic Control Devices (California MUTCD)" to provide uniform standards and specifications for all official traffic control devices in California. Zero Emission Vehicle Signs and Pavement Markings can be found in the New Policies	4.504.2.1	shown in Tables 4.504.1 or 4.504.2, as applicable. Such products shall also comply with Rule 1168 prohibition on the use of certain toxic compounds (chloroform, ethylene dichloride, methylene chloride, perchloroethylene and		HVAC system installers shall be trained and certified in the proper installation of HVAC systems and equipment by a recognized training or certification program. Examples of acceptable HVAC training and certification programs include but are not
	& Directives Number 12-01. Website: http://www.dot.ca.gov/hg/traffops/policy/13-01.pdf		trichloroentylene), except for aerosol products as specified in Subsection 2 below. 2. Aerosol adhesives, and smaller unit sizes of adhesives, and sealant or caulking	702.1	limited to the following: 1. State certified apprenticeship programs.
	2. See Vehicle Code Section 22511 for EV charging space signage in off-parking facilities and for use of EV charging spaces.		compounds (in units of product, less packaging, which do not weigh more than 1 pound and do not consist of more than 16 fluid ounces) shall comply with		Public utility training programs. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
	3. The Governor's Office of Planning and Research (OPR) published a "Zero- Emission Vehicle Community Readiness Guidebook" which provides helpful		statewide VOC standards and other requirements, including prohibitions on use of certain toxic compounds, of the California Code of Regulations (CCR), Title 17,		Programs sponsored by manufacturing organizations. Other programs acceptable to the enforcing agency.
	information for local governments, residents and businesses. Website: http://opr.ca.gov/docs/ZEV_Guidebook.pdf		commencing with Section 94507. Paints and coatings		2016 CALGREEN CODE
Division 4.2-	ENERGY EFFICIENCY Scope		Architectural paints and coatings shall comply with VOC limits in Table 1 of the Air Resources Board Architectural Suggested Control Measure, as shown in Table	SECTION	REQUIREMENTS Special inspection
4.201.1	Energy efficiency requirements for low-rise residential (Section 4.201.1) and high- rise residential/hotels/motels (Section 5.201.1) are now in both residential and	4.504.2.2	4.504.3, unless more stringent local limits apply. The VOC content limit for coatings that do not meet the definitions for the specialty coatings catergories listed in Table 4.504.3 shall be determined by classifying the	702.2	Special inspectors must be qualified and able to demonstrate competence to the enforcing agency in the discipline in which they are inspecting. Documentation
4.201.1 & 5.201.1	nonresidential chapters of CALGreen. • Standards for residential buildings do not require compliance with levels of		coatings catergories listed in Table 4.504.3 shall be determined by classifying the coating as Flat, Nonflat, or Nonflat-High Gloss coating, based on its gloss, as defined in subsections 4.21, 4.36, and 4.37, of the 2007 California Air Resources Board,	703.1	Documentation of compliance shall include, but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or
	minimum energy efficiency beyond those required by the 2016 California Energy Code.		Suggested Control Measure, and the corresponding Flat, Nonflat, or Nonflat-High Gloss VOC limit in Table 4.504.3 shall apply.	103.1	other methods acceptable to the local enforcing agency. Other specific documentation or special inspections necessary to verify compliance are specified in appropriate sections of CALGreen.
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GENERAL NOTES

- THE CONSTRUCTION CONTRACT RELATED TO THE WORK OF THIS PROJECT IS HEREBY MADE A PART OF THESE DRAWINGS AS THOUGH FULLY CONTAINED THEREIN.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL COMPLETE ALL WORK REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THIS PROJECT. THE SCOPE OF PERMIT COMPLIANCE WORK IS INCLUDED IN THE GENERAL CONTRACT FOR CONSTRUCTION OF THIS PROJECT. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR AND GOVERNED BY ALL OF THE REQUIREMENTS THEREUNDER.
- PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VISIT THE PROJECT SITE, AND BY THEIR OWN INVESTIGATION, DETERMINE EXISTING SITE CONDITIONS AS TO THE QUANTITIES OF MATERIALS, LABOR HOURS, AND ANY OTHER COST ASSOCIATED WITH WORK THAT IS TO BE DONE UNDER THEIR CONTRACT AND AS REQUIRED TO PASS ALL BUILDING PERMIT INSPECTIONS. ALL MODIFICATIONS REQUIRED BY THE INSPECTION AUTHORITY SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.
- PRIOR TO CONTRACT APPROVAL, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL VERIFY AND CONFIRM THE DESIGN REQUIREMENTS OF ALL NEW AND EXISTING ARCHITECTURAL, STRUCTURAL, PLUMBING, MECHANICAL, AND ELECTRICAL SYSTEMS AND REPORT ANY AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO COMPLETE THE CONTRACT RESULTING FROM AMBIGUITIES OR DISCREPANCIES NOT REPORTED PRIOR TO CONTRACT APPROVAL SHALL BE MADE BY EACH SUBCONTRACTOR AT THEIR EXPENSE.

APPLICABLE LAWS, ORDINANCES, REGULATIONS AND STANDARDS:

- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL CONFORM TO THE LATEST APPLICABLE, ADOPTED EDITION OF THE CALIFORNIA CODE OF REGULATIONS, TITLE-24, CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA MECHANICAL CODE, CALIFORNIA ELECTRICAL CODE, AND ALL LOCAL CODES AND ORDINANCES REQUIRED TO RECEIVE A CERTIFICATE OF OCCUPANCY FROM THE BUILDING OFFICIAL HAVING JURISDICTION OVER THE PROJECT.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL PERFORM ALL WORK REQUIRED BY APPLICABLE BUILDING CODES AND REGULATIONS TO PASS ALL REQUIRED BUILDING INSPECTIONS.
- EACH SUBCONTRACTOR MUST BE A SPECIALIST IN THEIR FIELD. EACH SUBCONTRACTOR SHALL, PRIOR TO THE SUBMISSION OF HIS BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OF ANY WORK CALLED OUT IN THE DRAWINGS OR PROJECT MANUAL IN HIS TRADE THAT CANNOT BE FULLY GUARANTEED OR CONSTRUCTED ACCORDING TO THE DESIGN INTENT.

PERMITS, LICENSES, INSPECTIONS, AND FEES:

. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PLAN REVIEW, PERMIT, LICENSE, AND INSPECTION APPROVALS. ALL FEES REQUIRED FOR APPROVAL SHALL BE PAID BY THE OWNER.

THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL GUARANTEE THAT ALL WORK REQUIRED TO CONSTRUCT THE PROJECT BE A COMPLETE WORKING SYSTEM AND SHALL OPERATE FREE FROM DEFECTS IN WORKMANSHIP AND MATERIALS. THE CONTRACTOR AGREES TO REPLACE, WITHOUT EXPENSE TO THE OWNER, ANY PROJECT COMPONENTS WHICH THE OWNER DETERMINES TO BE DEFECTIVE WITHIN ONE (1) CALENDAR YEAR FROM THE DATE OF FINAL CONTRACT ACCEPTANCE.

DATA AND MEASUREMENTS:

- DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL ENDEAVOR TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS. REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- ALL WALL DIMENSIONS ARE ACTUAL, FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

NOTES ARE AN AID TO THE CONTRACTOR IN UNDERSTANDING THE WORK AND SHOULD NOT BE CONSTRUED AS BEING COMPLETE IN EVERY DETAIL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO BECOME THOROUGHLY FAMILIAR WITH THE WORK, AND REPORT ALL DISCREPANCIES BETWEEN THE DRAWINGS AND THE ACTUAL CONDITIONS TO THE ARCHITECT.

- DIMENSIONS MARKED AS "V.I.F." SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR.
- DIMENSIONS ARE NOT ADJUSTABLE WITHOUT APPROVAL OF THE ARCHITECT, UNLESS NOTED AS

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.
- SUBSTITUTIONS SHALL NOT BE ALLOWED WITHOUT PRIOR APPROVAL FROM BOTH THE ARCHITECT AND THE OWNER. CONSIDERATION WILL BE GIVEN TO LIFE SAFETY, FIRE RATING, ACOUSTICS, WATERPROOFING, STRUCTURAL INTEGRITY, HANDICAPPED ACCESSIBILITY AND AESTHETICS WHEN ASSESSING PROPOSED SUBSTITUTIONS.

CLEAN UP AND START UP RESPONSIBILITIES:

- AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY CLEAN ALL EXPOSED SURFACES OF THEIR RESPECTIVE WORK COMPLETED.
- AFTER COMPLETION OF THE WORK DESCRIBED IN THEIR RESPECTIVE CONTRACTS AND PRIOR TO PROJECT ACCEPTANCE, THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL THOROUGHLY TEST AND PROPERLY START UP ALL PROJECT EQUIPMENT AS REQUIRED TO SECURE AND MAINTAIN SPECIFIED EQUIPMENT WARRANTIES. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL REVIEW ALL MANUFACTURER'S RECOMMENDED OPERATIONS PROCEDURE WITH THE OWNER PRIOR TO PROJECT ACCEPTANCE.
- THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL TAKE REASONABLE MEASURES TO ENSURE THAT SITE IS PREPPED AND MAINTAINED SO THAT NO EROSION TO STREET, NEIGHBORS, AND REAR LOT DRAIN OCCURS.
- COORDINATE ALL WORK AS REQUIRED BY THE CONTRACT DOCUMENTS WITH THE OWNER, INCLUDING TEMPORARY STORAGE, LOADING, KEYING SYSTEMS, ETC., AND PROVIDE NECESSARY BARRICADES, SIGNS, BARRIERS, AND PROTECTION.

AREA OF WORK:

- THE GENERAL ENGINEERING CONTRACTOR SHALL REMOVE ALL EXISTING LANDSCAPE MATERIAL NOT PROTECTED, CONCRETE PATIOS/WALKWAYS, YARD FENCING AND POST FOOTINGS, GARAGE STRUCTURE AND FOUNDATION, AND ALL ABANDONED UTILITIES. THE CONTRACTOR SHALL REMOVE EXISTING SITE LIGHTING AND IRRIGATION SYSTEM WITHIN THE AREA OF WORK, TERMINATE/CAP-OFF DISCONNECTION POINTS, AND TURN OVER ALL EXISTING SYSTEM COMPONENTS TO THE OWNER FOR FUTURE USE. ALL TOP SOIL SHALL BE REMOVED AND STORED FOR USE IN FINISH GRADING.
- HAZARDOUS MATERIALS: IN THE EVENT THAT HAZARDOUS MATERIALS ARE ENCOUNTERED IN THE PREMISES DURING THE EXECUTION OF THE WORK, NOTIFY THE OWNER IMMEDIATELY AND DO NOT PROCEED UNTIL DIRECTED. FOLLOW ALL CAL OSHA REQUIREMENTS.

HOURS OF CONSTRUCTION:

NORMAL AND CUSTOMARY CONSTRUCTION ACTIVITY SHALL INCLUDE ANY CONSTRUCTION ACTIVITY CONDUCTED MONDAY THROUGH FRIDAY, 6:00 A.M. TO 8:00 P.M., AND SATURDAYS 8:00 A.M. TO 6:00 P.M., EXCLUDING FEDERAL HOLIDAYS PER CCR 6.14B.

& ENGINEERING

100 GATEWAY DRIVE. SUITE 120 LINCOLN, CA 95648 (916) 580-9981 Sean@GRAPHIA.com GRAPHIA.com

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PROJECT: 20190110

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TITLE: NOTES & CALGREEN ISSUES: Project Issue Date: Project Status: Sheet Issue Date: Revision Number:

Revision Date:

ARCHITECT'S APPROVAL



THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

12/04/2019

Recorded at the Request of, and When Recorded Return to: Pete Bentley, Project Planner Planning and Bullding Department 455 County Center, 2nd Floor Mail Drop PLN122 Redwood City, CA 94063

For Clerk Use Only 2019-102490 CONF 11:32 am 12/04/19 CC Fee: 26.00 Count of pages 4 Recorded in Official Records County of San Mateo Mark Church Assessor-County Clerk-Recorder

County of San Mateo Planning and Building Department

CERTIFICATE OF COMPLIANCE

Pursuant to Government Code Section 66499.35(a)

Planning File No. PLN 2019-00380

The County of San Mateo has received a request from Sean Freitas, 2515 Anvil Court, Rocklin, CA 95765, to determine if real property owned by Sean Freitas, identified as Lot 5, Block 27, as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

Property Description

APN 047-208-120

All that certain real property located in the unincorporated area of San Mateo County, State of California, and being more particularly described as follows:

Lot 5 in Block 27 as shown on that certain Map entitled "Plat of Resubdivision of Subdivisions Nos. 2 and 3 of Granada, San Mateo County, California," filed in the Office of the County Recorder of San Mateo County, State of California on August 4, 1908 in Book 6 of Maps at Page 29.

A plat showing the above-described parcel is attached hereto and made a part of this Certificate of Compliance.

This parcel (047-208-120) was first conveyed separately from surrounding parcels in July 1917, prior to July 1945, the effective date of the County's first Subdivision Ordinance. This parcel (047-208-120) was conveyed again, by grant deed, in May 1980. Thus, the parcel

POPFOLA AVENUE

Certificate of Compliance APN 047-208-120

Page 2

meets the requirements established to confirm legalization as a "Certificate of Compliance (Type A)."

This is to certify that the real property described above complies with the State of California Subdivision Map Act and the San Mateo County Subdivision Ordinance.

NOTICE: This document certifies compliance with the State of California Subdivision Map Act and the San Mateo County Subdivision Regulations only. Any development on, or use of, the property described herein is subject to the San Mateo County General Plan, Zoning Regulations, building regulations, and other County regulations affecting use and development of the property. Further, this Certificate of Compliance shall in no way affect the requirements of any other federal, State or local agency that regulates development or use of real property.

Steve Monowitz Community Development Director

SM:PB:PSBDD0586 WPN.DOCX

County of San Mateo

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

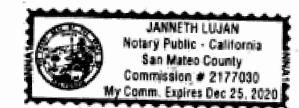
State of California County of San Mateo

on November 18, 2019, before me, Tannam Lijam.

a Notary Public, personally appeared STEVE MONOWITZ, who proved to me on the basis of satisfactory evidence to be the person whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his authorized capacity, and that by his signature on the instrument the person, or the entity upon behalf of which the person acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Sietosi an

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PROJECT: 20190110

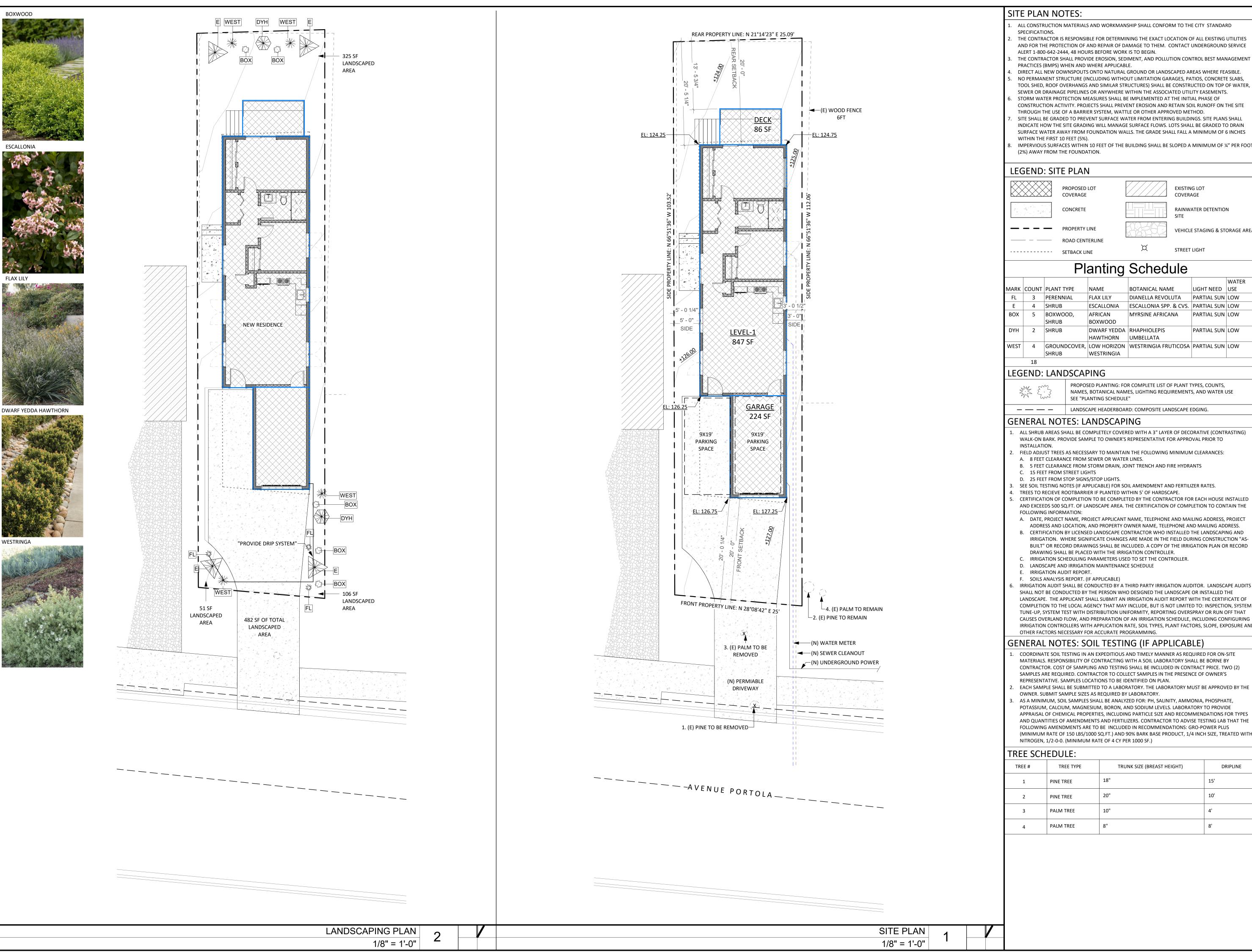
Project Issue Date: Sheet Issue Date:

Revision Number:

ARCHITECT'S APPROVAL



THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.



SITE PLAN NOTES:

- ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CITY STANDARD SPECIFICATIONS.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES AND FOR THE PROTECTION OF AND REPAIR OF DAMAGE TO THEM. CONTACT UNDERGROUND SERVICE ALERT 1-800-642-2444, 48 HOURS BEFORE WORK IS TO BEGIN.
- THE CONTRACTOR SHALL PROVIDE EROSION, SEDIMENT, AND POLLUTION CONTROL BEST MANAGEMENT PRACTICES (BMPS) WHEN AND WHERE APPLICABLE.
- DIRECT ALL NEW DOWNSPOUTS ONTO NATURAL GROUND OR LANDSCAPED AREAS WHERE FEASIBLE. NO PERMANENT STRUCTURE (INCLUDING WITHOUT LIMITATION GARAGES, PATIOS, CONCRETE SLABS,
- SEWER OR DRAINAGE PIPELINES OR ANYWHERE WITHIN THE ASSOCIATED UTILITY EASEMENTS. STORM WATER PROTECTION MEASURES SHALL BE IMPLEMENTED AT THE INITIAL PHASE OF CONSTRUCTION ACTIVITY. PROJECTS SHALL PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE THROUGH THE USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD.
 - SITE SHALL BE GRADED TO PREVENT SURFACE WATER FROM ENTERING BUILDINGS. SITE PLANS SHALL INDICATE HOW THE SITE GRADING WILL MANAGE SURFACE FLOWS. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES
 - WITHIN THE FIRST 10 FEET (5%). IMPERVIOUS SURFACES WITHIN 10 FEET OF THE BUILDING SHALL BE SLOPED A MINIMUM OF 1/2" PER FOOT (2%) AWAY FROM THE FOUNDATION.

LEGEND: SITE PLAN PROPOSED LOT EXISTING LOT COVERAGE COVERAGE CONCRETE RAINWATER DETENTION — — — PROPERTY LINE VEHICLE STAGING & STORAGE AREA

STREET LIGHT

Planting Schedule MARK COUNT PLANT TYPE BOTANICAL NAME LIGHT NEED USE FL 3 PERENNIAL FLAX LILY DIANELLA REVOLUTA PARTIAL SUN LOW E 4 SHRUB ESCALLONIA | ESCALLONIA SPP. & CVS. | PARTIAL SUN | LOW BOX 5 BOXWOOD, AFRICAN MYRSINE AFRICANA PARTIAL SUN LOW BOXWOOD SHRUB DYH 2 SHRUB DWARF YEDDA | RHAPHIOLEPIS PARTIAL SUN LOW HAWTHORN UMBELLATA WEST | 4 | GROUNDCOVER, LOW HORIZON | WESTRINGIA FRUTICOSA | PARTIAL SUN LOW SHRUB WESTRINGIA 18

LEGEND: LANDSCAPING

PROPOSED PLANTING: FOR COMPLETE LIST OF PLANT TYPES, COUNTS, NAMES, BOTANICAL NAMES, LIGHTING REQUIREMENTS, AND WATER USE SEE "PLANTING SCHEDULE" LANDSCAPE HEADERBOARD: COMPOSITE LANDSCAPE EDGING.

GENERAL NOTES: LANDSCAPING

ROAD CENTERLINE

- ALL SHRUB AREAS SHALL BE COMPLETELY COVERED WITH A 3" LAYER OF DECORATIVE (CONTRASTING) WALK-ON BARK. PROVIDE SAMPLE TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO
- FIELD ADJUST TREES AS NECESSARY TO MAINTAIN THE FOLLOWING MINIMUM CLEARANCES:
- A. 8 FEET CLEARANCE FROM SEWER OR WATER LINES. B. 5 FEET CLEARANCE FROM STORM DRAIN, JOINT TRENCH AND FIRE HYDRANTS
- C. 15 FEET FROM STREET LIGHTS D. 25 FEET FROM STOP SIGNS/STOP LIGHTS.
- SEE SOIL TESTING NOTES (IF APPLICABLE) FOR SOIL AMENDMENT AND FERTILIZER RATES. . TREES TO RECIEVE ROOTBARRIER IF PLANTED WITHIN 5' OF HARDSCAPE
- CERTIFICATION OF COMPLETION TO BE COMPLETED BY THE CONTRACTOR FOR EACH HOUSE INSTALLED AND EXCEEDS 500 SQ.FT. OF LANDSCAPE AREA. THE CERTIFICATION OF COMPLETION TO CONTAIN THE FOLLOWING INFORMATION:
- A. DATE, PROJECT NAME, PROJECT APPLICANT NAME, TELEPHONE AND MAILING ADDRESS, PROJECT ADDRESS AND LOCATION, AND PROPERTY OWNER NAME, TELEPHONE AND MAILING ADDRESS. B. CERTIFICATION BY LICENSED LANDSCAPE CONTRACTOR WHO INSTALLED THE LANDSCAPING AND IRRIGATION. WHERE SIGNIFICATE CHANGES ARE MADE IN THE FIELD DURING CONSTRUCTION "AS-
- BUILT" OR RECORD DRAWINGS SHALL BE INCLUDED. A COPY OF THE IRRIGATION PLAN OR RECORD DRAWING SHALL BE PLACED WITH THE IRRIGATION CONTROLLER.
- C. IRRIGATION SCHEDULING PARAMETERS USED TO SET THE CONTROLLER. D. LANDSCAPE AND IRRIGATION MAINTENANCE SCHEDULE
- E. IRRIGATION AUDIT REPORT.
- F. SOILS ANALYSIS REPORT. (IF APPLICABLE)
- IRRIGATION AUDIT SHALL BE CONDUCTED BY A THIRD PARTY IRRIGATION AUDITOR. LANDSCAPE AUDITS SHALL NOT BE CONDUCTED BY THE PERSON WHO DESIGNED THE LANDSCAPE OR INSTALLED THE LANDSCAPE. THE APPLICANT SHALL SUBMIT AN IRRIGATION AUDIT REPORT WITH THE CERTIFICATE OF COMPLETION TO THE LOCAL AGENCY THAT MAY INCLUDE, BUT IS NOT LIMITED TO: INSPECTION, SYSTEM TUNE-UP, SYSTEM TEST WITH DISTRIBUTION UNIFORMITY, REPORTING OVERSPRAY OR RUN OFF THAT CAUSES OVERLAND FLOW, AND PREPARATION OF AN IRRIGATION SCHEDULE, INCLUDING CONFIGURING IRRIGATION CONTROLLERS WITH APPLICATION RATE, SOIL TYPES, PLANT FACTORS, SLOPE, EXPOSURE AND

GENERAL NOTES: SOIL TESTING (IF APPLICABLE)

- COORDINATE SOIL TESTING IN AN EXPEDITIOUS AND TIMELY MANNER AS REQUIRED FOR ON-SITE MATERIALS. RESPONSIBILITY OF CONTRACTING WITH A SOIL LABORATORY SHALL BE BORNE BY CONTRACTOR. COST OF SAMPLING AND TESTING SHALL BE INCLUDED IN CONTRACT PRICE. TWO (2) SAMPLES ARE REQUIRED. CONTRACTOR TO COLLECT SAMPLES IN THE PRESENCE OF OWNER'S REPRESENTATIVE. SAMPLES LOCATIONS TO BE IDENTIFIED ON PLAN.
- EACH SAMPLE SHALL BE SUBMITTED TO A LABORATORY. THE LABORATORY MUST BE APPROVED BY THE OWNER. SUBMIT SAMPLE SIZES AS REQUIRED BY LABORATORY.
- AS A MINIMUM, SOIL SAMPLES SHALL BE ANALYZED FOR: PH, SALINITY, AMMONIA, PHOSPHATE, POTASSIUM, CALCIUM, MAGNESIUM, BORON, AND SODIUM LEVELS. LABORATORY TO PROVIDE APPRAISAL OF CHEMICAL PROPERTIES, INCLUDING PARTICLE SIZE AND RECOMMENDATIONS FOR TYPES AND QUANTITIES OF AMENDMENTS AND FERTILIZERS. CONTRACTOR TO ADVISE TESTING LAB THAT THE FOLLOWING AMENDMENTS ARE TO BE INCLUDED IN RECOMMENDATIONS: GRO-POWER PLUS (MINIMUM RATE OF 150 LBS/1000 SQ.FT.) AND 90% BARK BASE PRODUCT, 1/4 INCH SIZE, TREATED WITH

TREE SCHEDULE:

TREE #	TREE TYPE	TRUNK SIZE (BREAST HEIGHT)	DRIPLINE
1	PINE TREE	18"	15'
2	PINE TREE	20"	10'
3	PALM TREE	10"	4'
4	PALM TREE	8"	8'

& E N G I N E E R I N G

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PROJECT: 20190110

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TITLE:

SITE PLAN

ISSUES:

Project Issue Date:

Project Status:

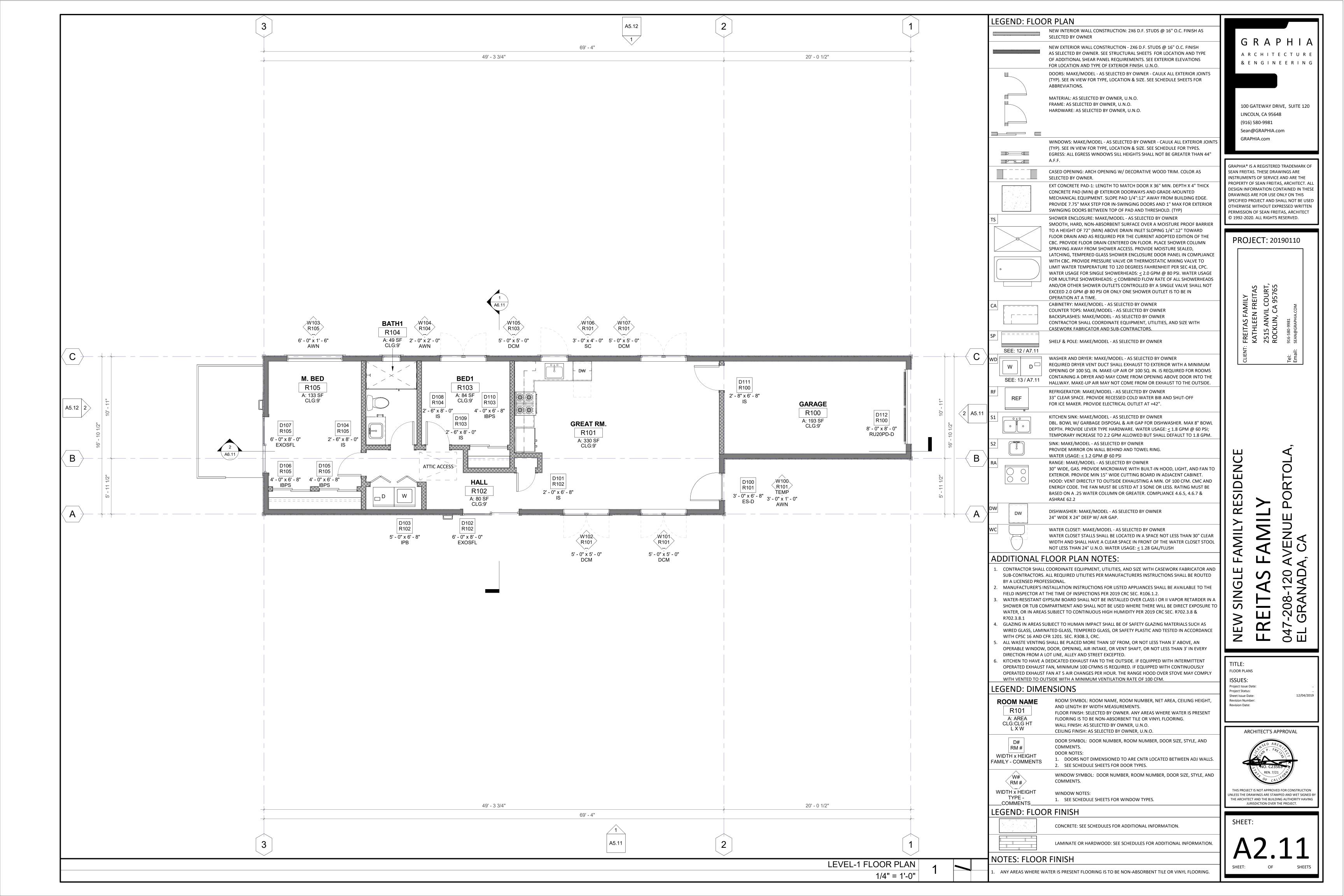
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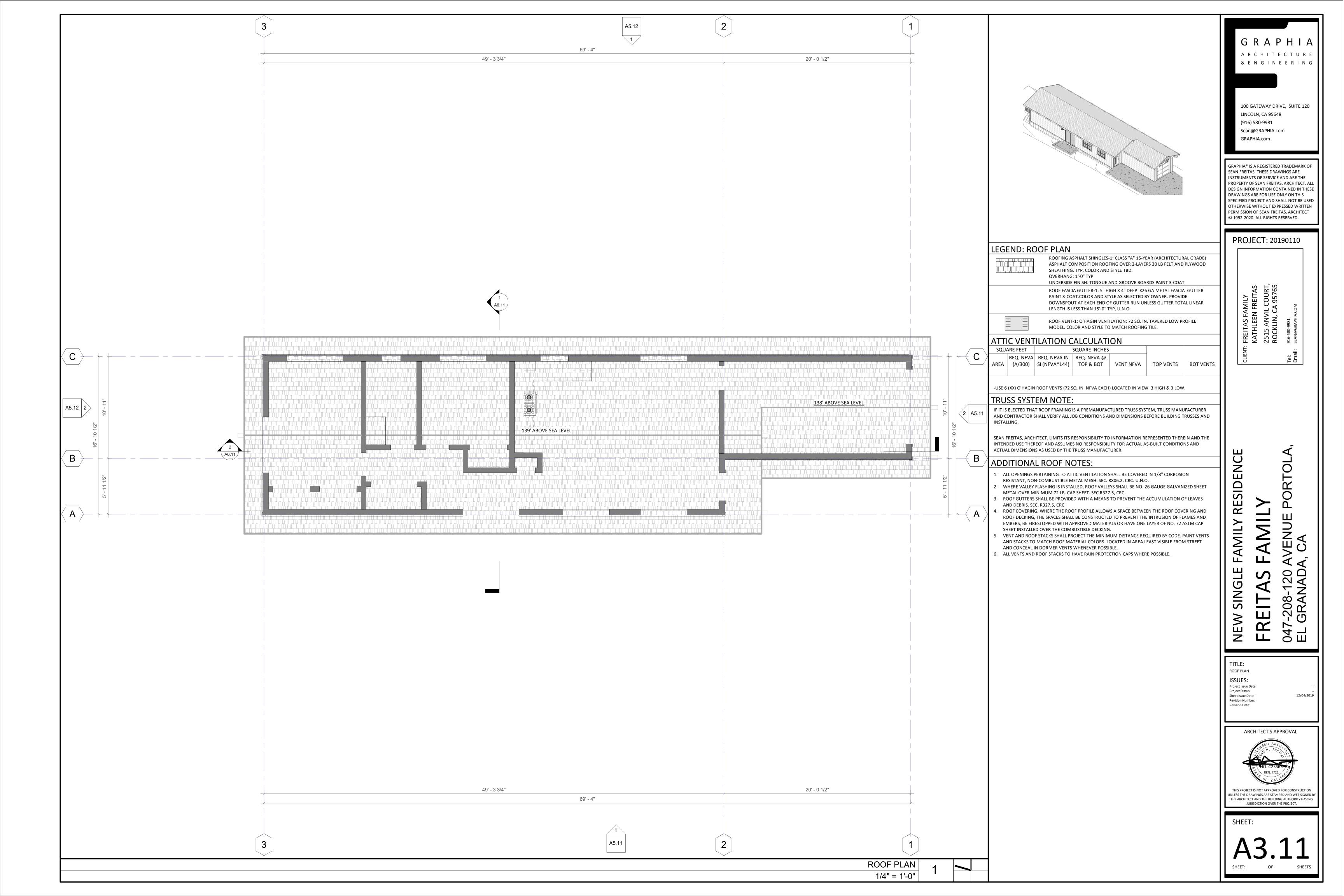
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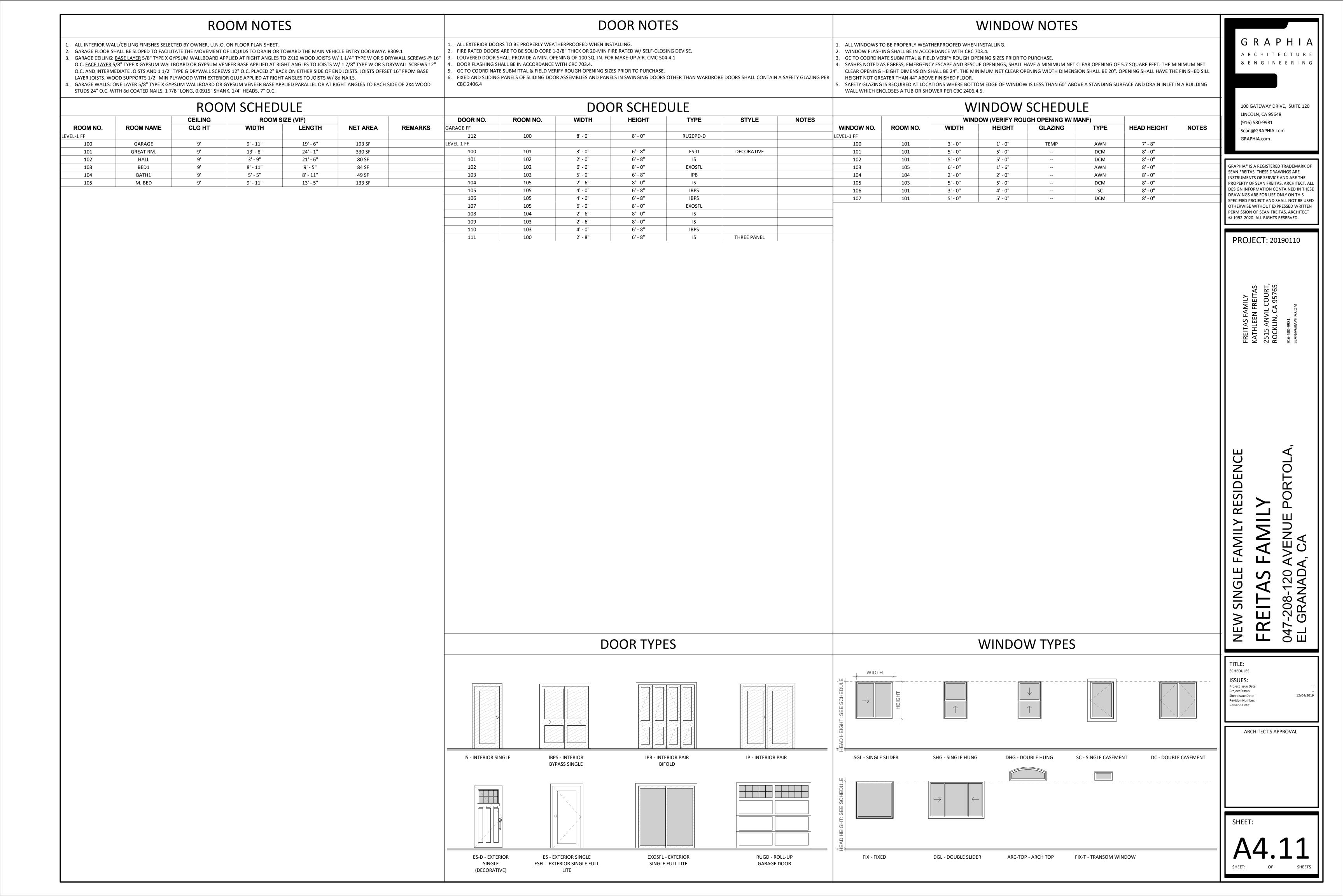
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THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.









VIEW 3

& E N G I N E E R I N G

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PROJECT: 20190110

DOORS-1: MAKE/MODEL - (SBO) SLIDING GLASS DOOR. CAULK & FLASH ALL

ADDRESS NUMBERS WITH CONTRASTING BACKGROUND SHALL BE CLEARLY VISIBLE FROM THE STREET OR ROAD FRONTING PROPERTY. ADDRESS SHALL BE ARABIC NUMBERS OR ALPHABETICAL LETTERS. NUMBERS

RECOMMENDATIONS AND SPECIFICATIONS. INSTALLATION REQUIREMENTS TO BE PROVIDED BY BUILDER.

ONE LAYER OF 5/8" TYPE X EXTERIOR RATED GYPSUM SHEATHING APPLIED BEHIND AN EXTERIOR

VIEW 1

PERSPECTIVE VIEWS

RE

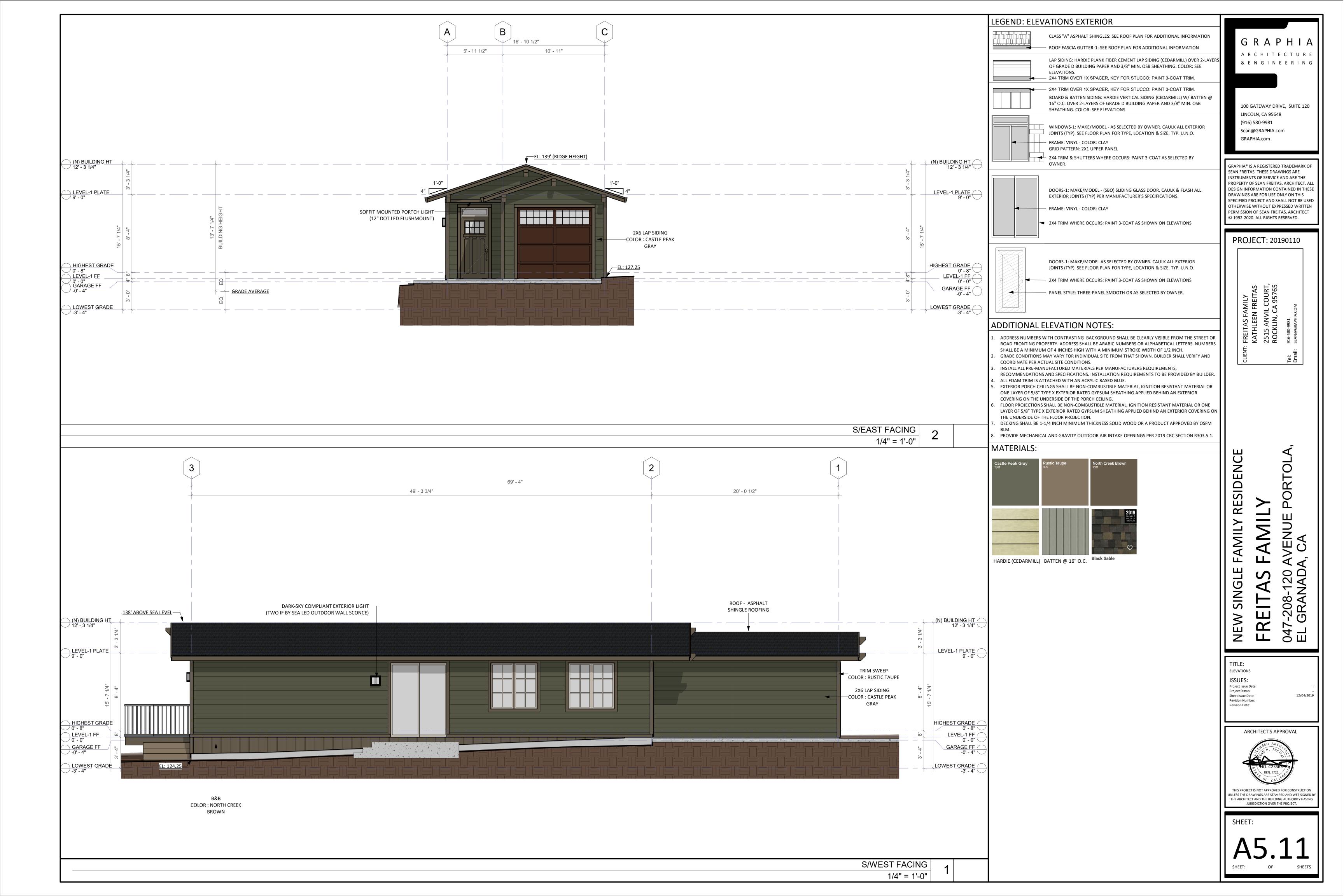
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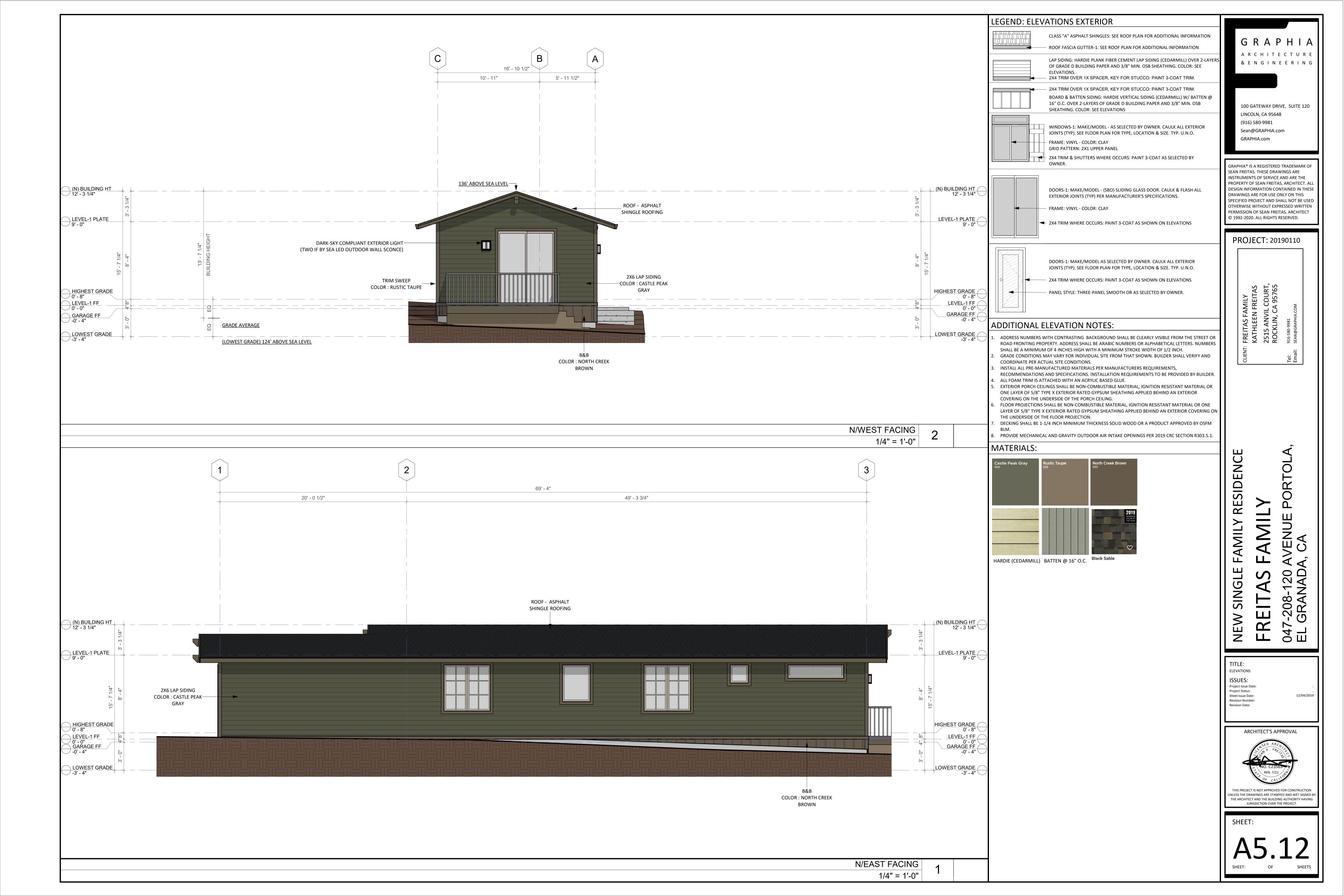
ARCHITECT'S APPROVAL

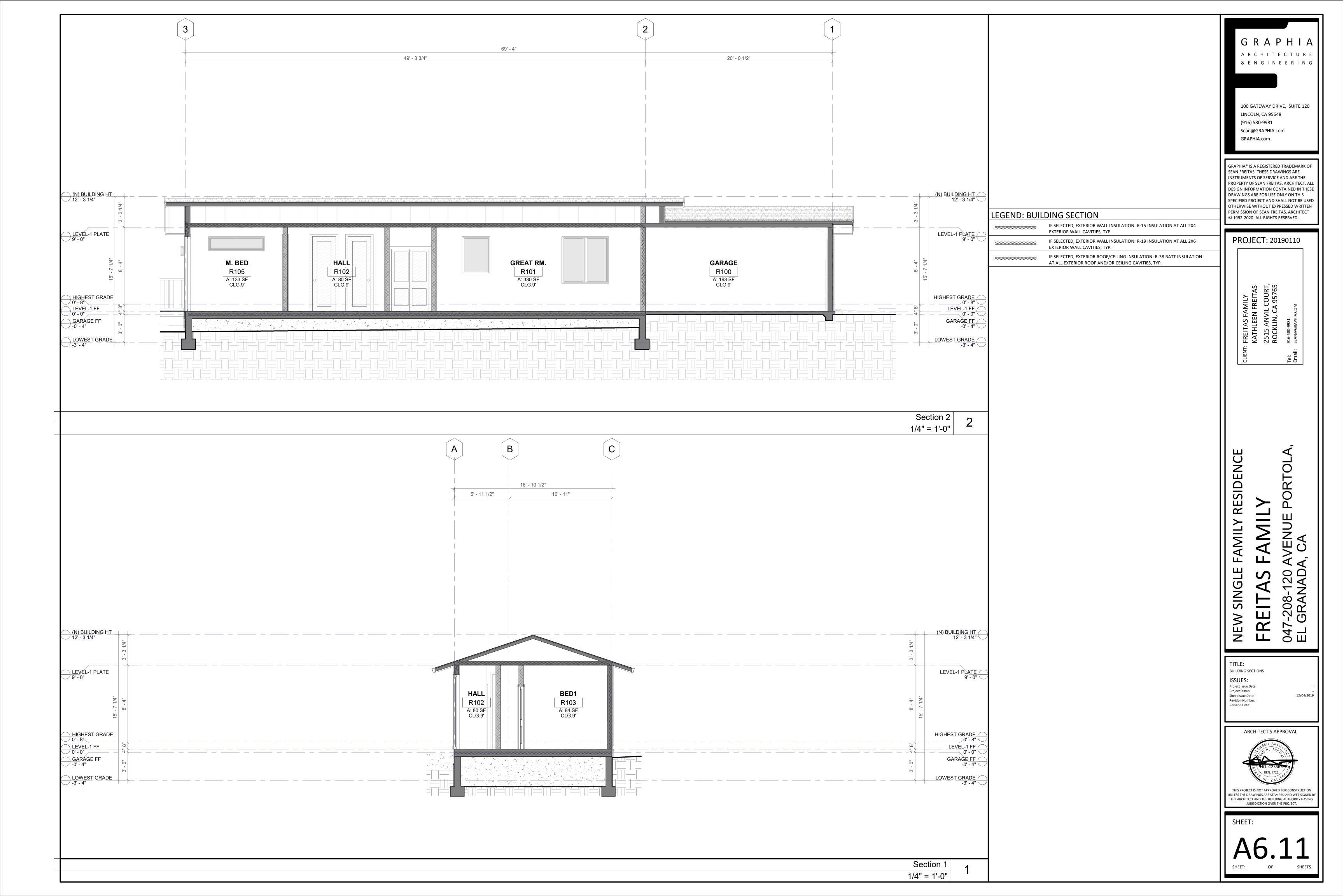
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UNLESS THE DRAWINGS ARE STAMPED AND WET SIGNED BY THE ARCHITECT AND THE BUILDING AUTHORITY HAVING JURISDICTION OVER THE PROJECT.

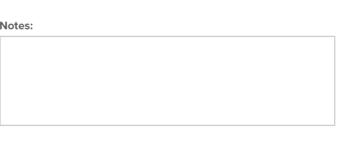


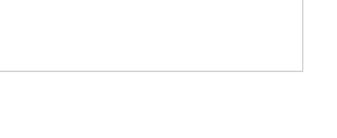




Dot LED Flushmount By dweLED		
Product Options		
Finish: Stainless Steel, Black Size: 6 inches, 9 inches, 12 inches, 15 inches Color Temperature: 3000, 3500		
Details		
 May be mounted on ceiling or wall No transformer or driver needed Dimmable with an ELV dimmer (not included) Designed in 2018 Material: Stainless Steel Shade Material: Clear Acrylic Dimmable When Used With a Electronic low voltaincluded) Dimmer Range: 100-10 ADA compliant, Dark Sky compliant, Title 24 com ETL Listed Wet Warranty: 5 Years Functional, 2 Years Finish Made In China 	- , ,	r (Not
Dimensions		
6 inches Option Fixture: Height 2.5", Diameter 6" 9 inches Option Fixture: Height 2.5", Diameter 9" 12 inches Option Fixture: Height 2.5", Diameter 12" 15 inches Option Fixture: Height 2.5", Diameter 15"		
Lighting		
 6 inches Option: 15.6 Watt (1300 Lumens) 120 Vol Color Temp: 3000K Lifespan: 54000 hours 6 inches Option: 15.6 Watt (1300 Lumens) 120 Vol Color Temp: 3500K Lifespan: 54000 hours 9 inches Option: 18.5 Watt (1700 Lumens) 120 Vol Color Temp: 3000K Lifespan: 54000 hours 9 inches Option: 18.5 Watt (1700 Lumens) 120 Vol Color Temp: 3500K Lifespan: 54000 hours 12 inches Option: 30.9 Watt (2650 Lumens) 120 Vol Color Temp: 3000K Lifespan: 54000 hours 12 inches Option: 30.9 Watt (2650 Lumens) 120 Vol Color Temp: 3500K Lifespan: 54000 hours 15 inches Option: 26.6 Watt (2728 Lumens) 120 Vol Color Temp: 3000K Lifespan: 54000 hours 15 inches Option: 26.6 Watt (2728 Lumens) 120 Vol Color Temp: 3500K Lifespan: 54000 hours 	It Integrated LED: It Integrated LED: It Integrated LED: /olt Integrated LE /olt Integrated LE /olt Integrated LE	: CRI: 90 : CRI: 90 : CRI: 90 D: CRI: 9 D: CRI: 9
Additional Details		
Product URL: https://www.lumens.com/dot-led-flush WACP201432.html Rating: ETL Listed Wet	mount-by-dweled	d-
Product ID: WACP201432		
Prepared by: GADSF ASDF	Prepared for: Project: Room:	ASDF ASDF
	Placement: Approval:	ASDF
Created June 12th. 2020		ASDF
Created June 12th, 2020		ASDF

With a Electronic low voltage (ELV) Dimmer (Not





LIGHT AND LIVING

Call Us 877.445.4486

Created June 12th, 2020



Shade Material: Glass
Dimmable When Used With a Electronic low voltage (ELV) Dimmer (Not

Product Options

Designed in 2019Finish: Black

Dimensions

Lighting

Additional Details

Product ID: MFMP281811

Prepared by: GADSF ASDF

Material: Aluminum

Included)

Dimmer Range: 100 to 5%

Dark Sky compliant, Title 24 compliant

Installation Type: Hardwired

ETL Listed Wet

Warranty: 5 Years Functional, 2 Years Finish
 Made In USA

Small Option Fixture: Width 4.5", Height 11.87", Extension 5.81" Large Option Fixture: Width 6", Height 18", Extension 7.56"

Small Option: 15 Watt (916 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours
Large Option: 15 Watt (932 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 3000K Lifespan: 50000 hours

Product URL: https://www.lumens.com/two-if-by-sea-led-outdoor-wall-sconce-by-modern-forms-MFMP281811.html Rating: ETL Listed Wet

Prepared for: ASDF Project: ASDF Room: ASDF Placement: ASDF

Approval:

Size: Small, Large

Details

LIGHT AND LIVING Call Us 877.445.4486

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100 GATEWAY DRIVE, SUITE 120 LINCOLN, CA 95648 (916) 580-9981 Sean@GRAPHIA.com GRAPHIA.com GRAPHIA® IS A REGISTERED TRADEMARK OF SEAN FREITAS. THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF SEAN FREITAS, ARCHITECT. ALL DESIGN INFORMATION CONTAINED IN THESE DRAWINGS ARE FOR USE ONLY ON THIS

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SPECIFIED PROJECT AND SHALL NOT BE USED

OTHERWISE WITHOUT EXPRESSED WRITTEN PERMISSION OF SEAN FREITAS, ARCHITECT

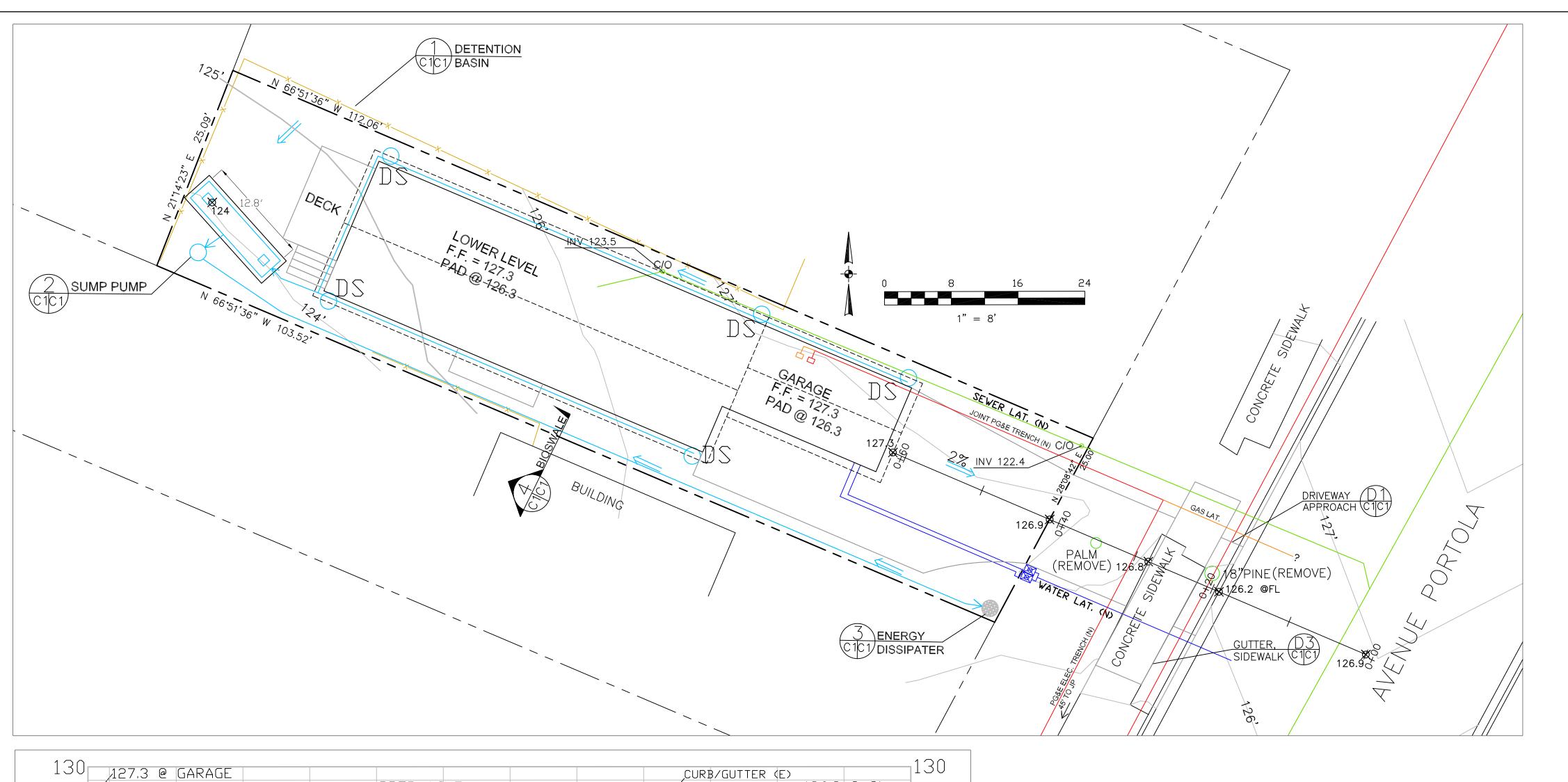
ARCHITECTURE & E N G I N E E R I N G

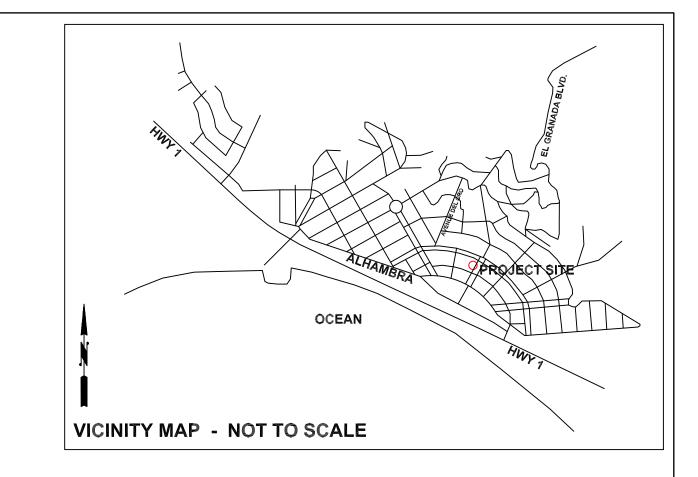
TITLE: LIGHTING SHEETS ISSUES: Project Issue Date: Project Status: Sheet Issue Date: Revision Number: Revision Date:



06/12/20







GENERAL NOTES

LEGEND

// EXISTING CONTOURS

PROPOSED SPOT ELEVATION

ENERGY DISSIPATER - PER DETAIL 3

1. PLANS PREPARED AT THE REQUEST OF: SEAN FREITAS, OWNER

4" MIN SOLID DRAIN PIPE

- 2. TOPOGRAPHY BY CONTI AND ASSOC.; SEPTEMBER, 2019.
- 3. THIS IS NOT A BOUNDARY SURVEY.
- 4. ELEVATION DATUM ASSUMED.
- 5. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT,
- AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS
- ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

SECTION AND DETAIL CONVENTION

REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN REFERENCE SHEET No. ON - WHICH SECTION OR DETAIL IS SHOWN

PROP. LINE 126.9 @ CL\ GRADE (N) SIDEWALK (E) GRADE (E) 125 0+61,61 0+200+40DRIVEWAY PROFILE 1"=5"

GRADING NOTES

CUT VOLUME: 15 CY FILL VOLUME: 15 CY TOTAL: 30 CY

VOLUMES ABOVE ARE APPROXIMATE.

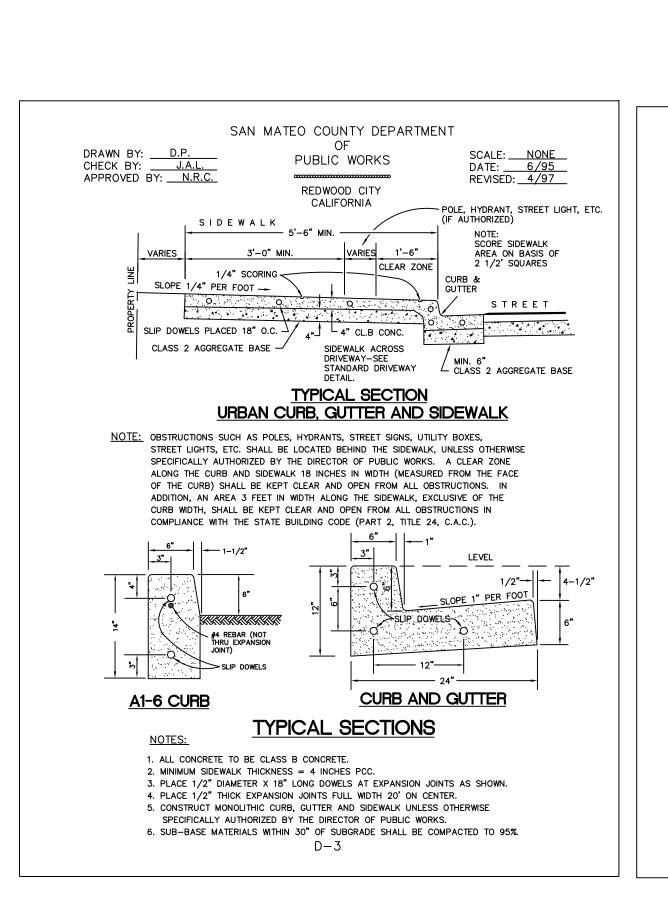
THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

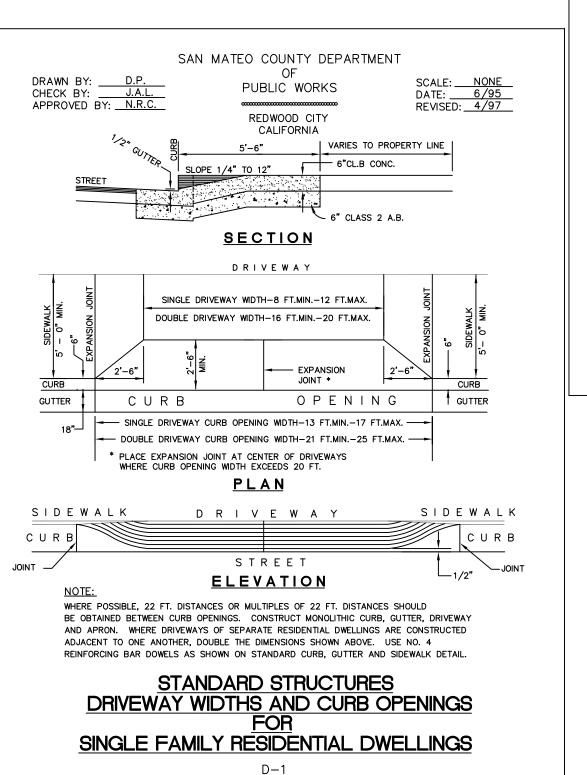
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

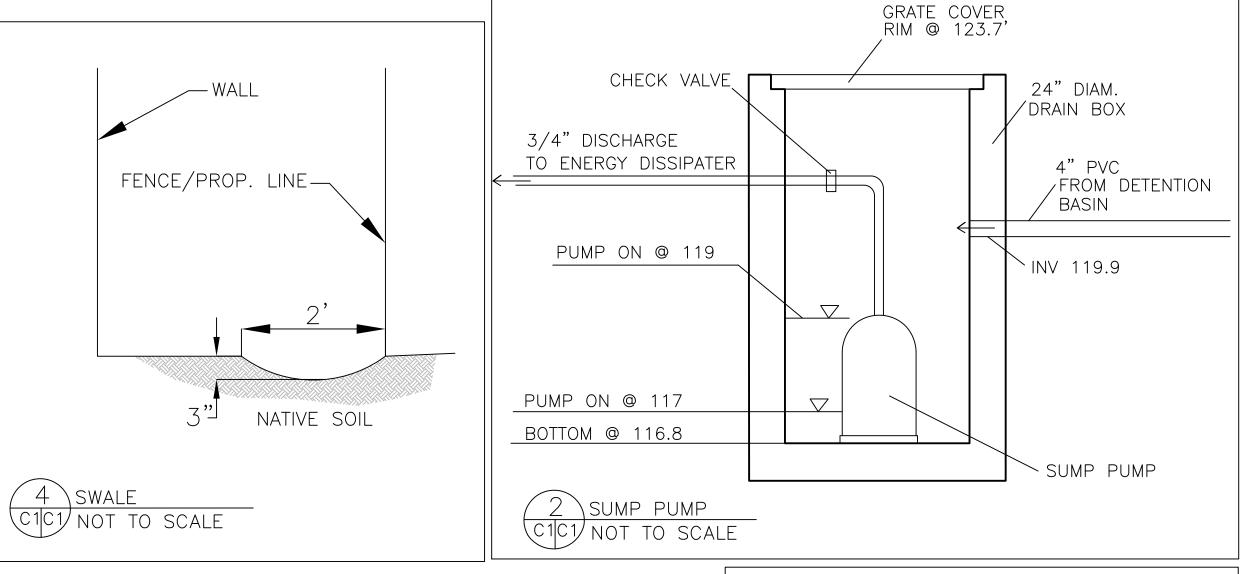
ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

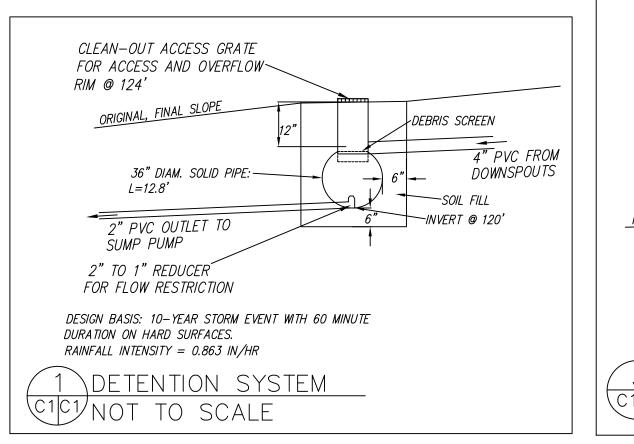
DRAINAGE NOTES

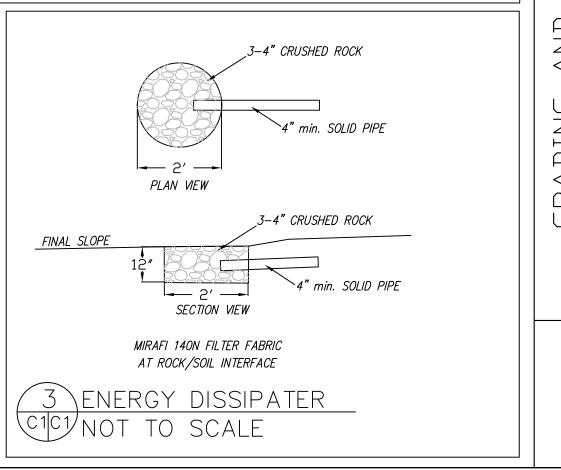
- 1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- 2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN. THE DETENTION BASIN SHALL DRAIN TO A SUMP PUMP AND ENERGY DISSIPATER, AS SHOWN.
- 3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- 4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.





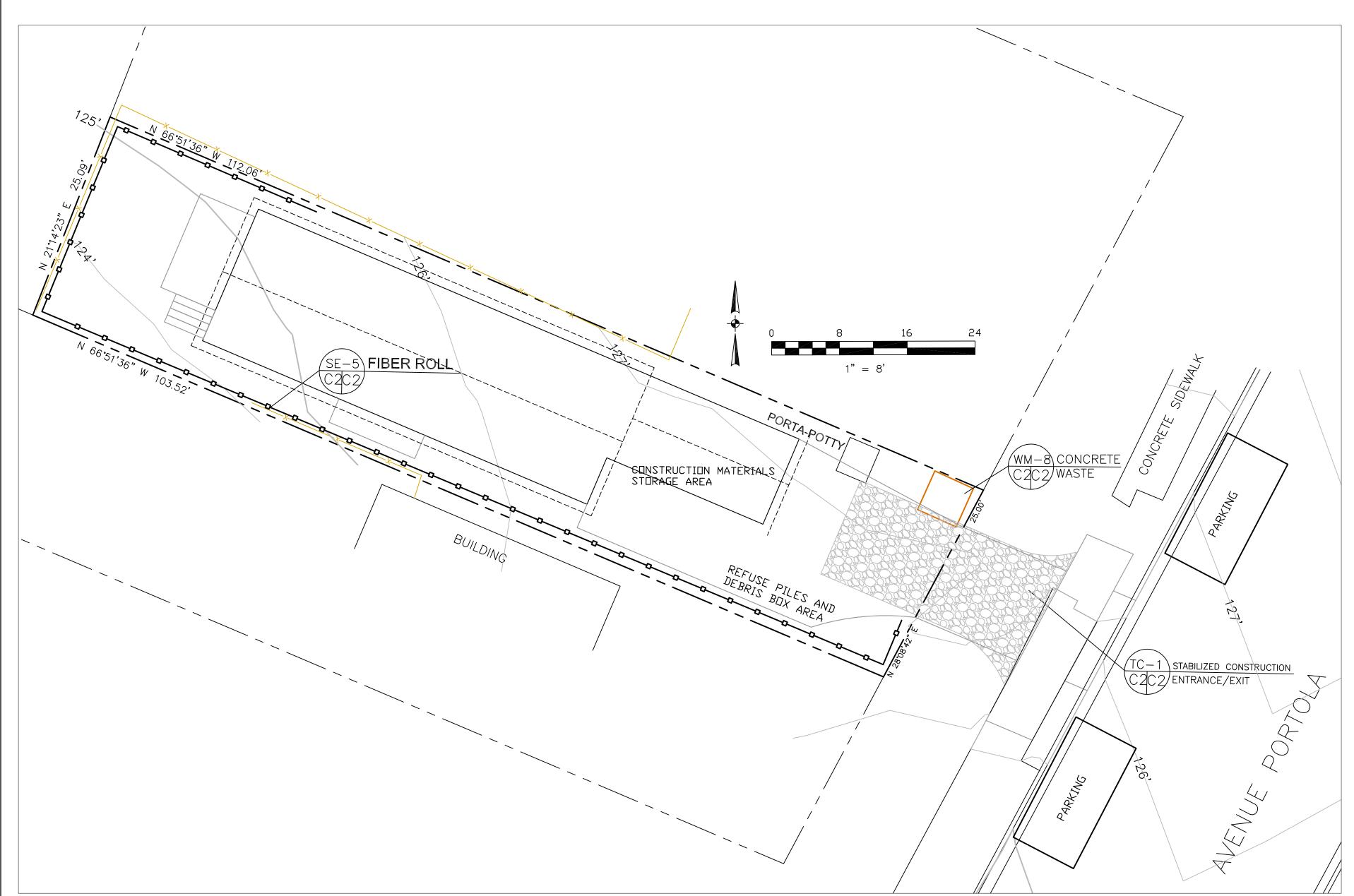


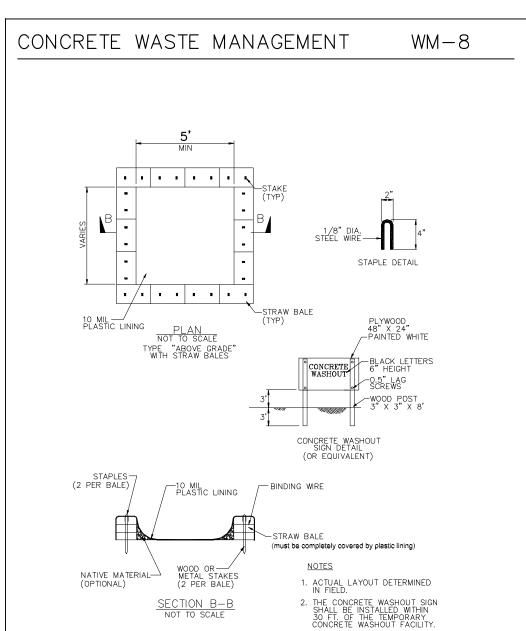


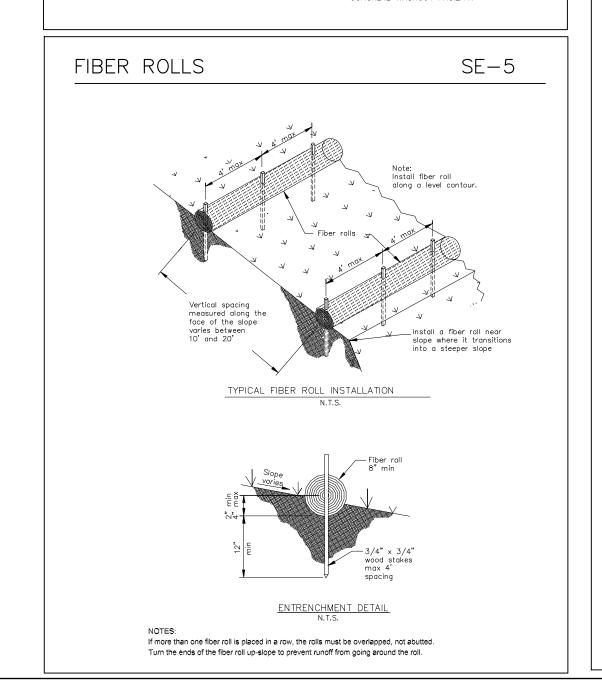




SIGMA PRIME GEOSCIENC 332 PRINCETON AVENUE HALF MOON BAY, CA 9401((650) 728-3590 FAX 728-3593







GENERAL EROSION AND SEDIMENT CONTROL NOTES



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round.
 Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- · Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- · Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- · Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- · Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There will be no trees or driplines on the site.

EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: SEAN FREITAS

TITLE/QUALIFICATION: OWNER

PHONE: 916-580-9981

E-MAIL: SEAN@GRAPHIA.COM_

Existing

Grade



Sigma Prime Geosciences, Inc.

Sigma Prime Geosciences, Inc.

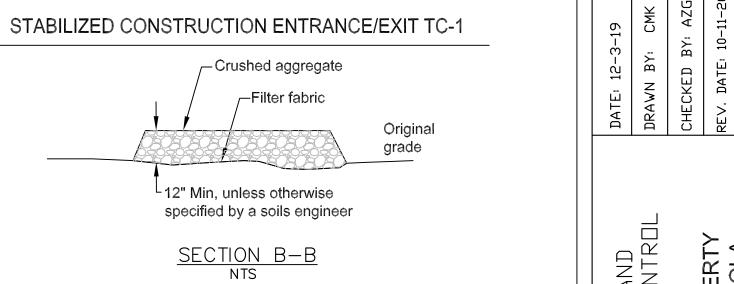
SIGMA PRIME GEOSCIENCES, INC.

332 PRINCETON AVENUE

HALF MOON BAY, CA 94019

(650) 728-3590

FAX 728-3593



NOTE:

Construct sediment barrier and channelize runoff to sediment trapping device

B

10' min, or as required to accomodate anticipated traffic, whichever is greater

Temporary pipe culvert as needed

20' min, or max allowed by site (for smaller sites)

PLAN NTS ERDSION AND
SEDIMENT CONTROL
PLAN
FREITAS PROPERTY
AVENUE PORTOLA
APN 047-208-120

SHEET

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