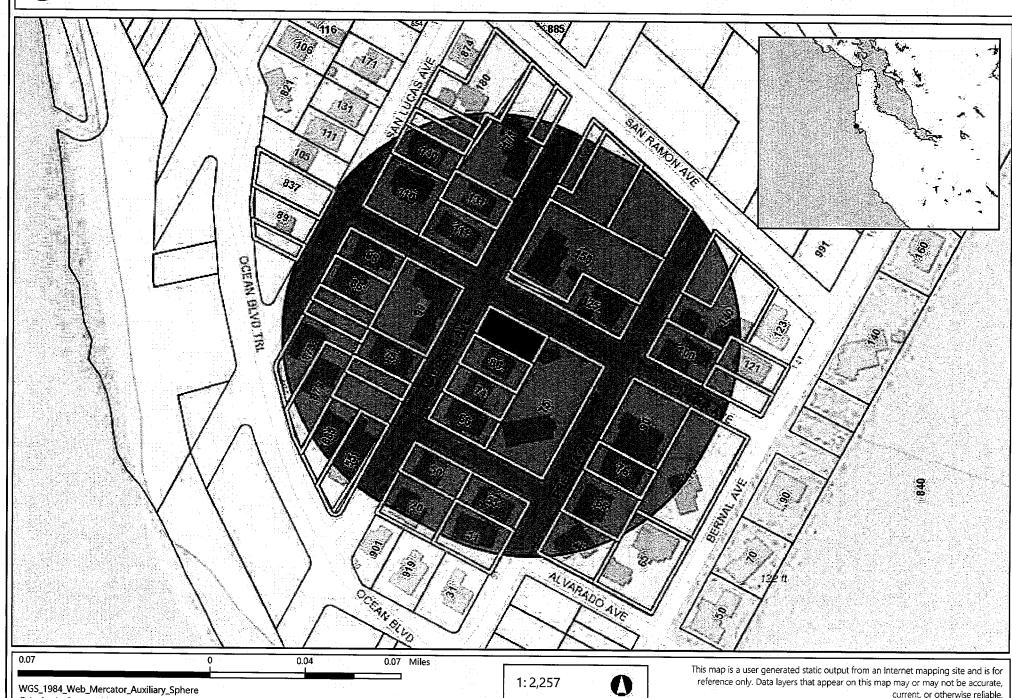
WGS_1984_Web_Mercator_Auxiliary_Sphere

© Latitude Geographics Group Ltd.



reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

San Mateo County

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center = 455 County Center = Redwood City CA 94063
Mail Drop PLN 122 = 650 · 363 · 4161 = FAX 650 · 363 · 4849

Permit #: PLN 20 9 - 06726

Other Permit #

1. Basic Information			
Applicant:	Owner (if different from Applicant):		
Name: Helen Sattelmayer	Name:		
Address:	Address:		
Redwood City Zip: 94062	Zip:		
Phone,W: 6502345517 H:	Phone,W: H:		
Email: Helen.J.Sattelmayer@morganstanleypwm.com	Email:		
Architect or Designer (if different from Applicant):			
Name:	7:		
Address: Phone,W: H:	Zip: Email:		
Phone,W: H:	cman.		
2. Project Site Information			
Project location:	Site Description:		
APN: 37277160	☐ Vacant Parcel		
Address: Madrone Ave./ Del Mar Ave.	Existing Development (Please describe):		
Moss Beach, CA Zip: 94,038			
Zoning: R-1, S-17			
Parcel/lot size: 5,000 sq. ft.			
3. Project Description			
Project:	Additional Permits Required:		
□ New Single Family Residence: sq. ft	☐ Certificate of Compliance Type A or Type B		
Addition to Residence: sq. ft	☐ Coastal Development Permit		
Other:	☐ Fence Height Exception (not permitted on coast)		
	☐ Grading Permit or Exemption		
Describe Project:	☐ Home Improvement Exception		
-	☐ Non-Conforming Use Permit		
	☐ Off-Street Parking Exception		
	□ Variance		
	}		

Fill in Blanks:	Material	Color/Finish	Check if matches
	matorial	(If different from existing, attach sample	existing e)
a. Exterior walls	Fiber cement horiz. siding		
b. Trim	Hardie window and door trims		
c. Windows	Vinyl	White	
d. Doors	Front (wood) Gararage (alum)	Medium wood stain	
e. Roof	Corning Supreme shingle	Onyx Black	
f. Chimneys	N/A	4	
g. Decks & railings	Composite	Medium wood look	
h. Stairs	Wood	Medium wood look	
i. Retaining walls	N/A		
j. Fences	Wood	Match adjacent proprties	
k. Accessory buildings	N/A		
I. Garage/Carport	Same as residence		
	ndings on, the County must determine that this pr ndings that the project does conform to the		
			review
applicable to the location	n of the project pursuant to Section 6565.1	0.	•
applicable to the location		0.	•
applicable to the location (optional) Applica 6. Signatures I hereby certify that the is support of the application	n of the project pursuant to Section 6565.1	0. standards and guidelines (check if atta- standards and guidelines (check if	ched). ewith in the County o
applicable to the location (optional) Applica 6. Signatures I hereby certify that the is support of the application	n of the project pursuant to Section 6565.1 ant's Statement of project compliance with sufficient and stated above and on forms, plain is true and correct to the best of my known assigned project planner of any changes to	o. standards and guidelines (check if attaces and guidelines (check if attaces and guidelines (check if attaces and other materials submitted here wledge. It is my responsibility to information represented in these submitted in the sub	ched). ewith in the County o

DRAWING INDEX		
PAGE #	DESCRIPTION	
A-1	TITLE PAGE	
A-2	ZONING CODES & NOTES	
A-3	SITE PLAN	
A-4	GROUND LEVEL PLAN	
A-5	UPPER LEVEL PLAN	
A-6	ELEVATIONS 1	
A-7	ELEVATIONS 2	
A-8	SECTION	
A-9	ROOF PLAN	
A-10	RENDERINGS	
A-11	AREA CALCULATIONS	

ATTACHMENTS BY OTHER PARTIES

AUTHORIZED OWNER'S AGENT: F. WELLS **CUTTING EDGE HOMES** 877-680-8175

NOTES:

All Applicable local and state codes. Latest Edition. Ordinances and Regulations.

2019 California Building Code (CBC)

2019 California Electrical Code (CBC)

2019 California Mechanical Code (CBC)

2019 California Plumbing Code (CBC)

2019 California Energy Code (CBC)

- 2. On-Site verification of all dimensions and conditions shall be the responsibility of the contractor. Noted dimensions take precedence over scale. Report any discrepancies to the Designer and/or Engineer before proceeding with the work.
- Any part of the drawings which are not clear or ambiguous must be referred to the Design and/or Engineer for interpretation and/or clarification before any construction is commenced.
- Prior to start of construction provide construction staking to establish location of property lines.
- Approved address numbers shall be visible and legible from the street frontage and shall contrast with their background.
- All local and state codes as well as ordinances are to be followed.
- Title 24 calculations are to accompany design sheets and are to be followed.
- All engineering is to be followed and adhered to.

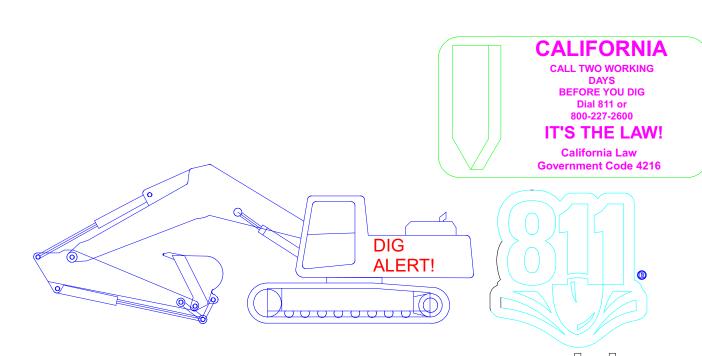
PRIOR TO CONSTRUCTION

STAKING TO ESTABLISH LOCATION OF PROPERTY LINES MUST BE PROVIDED.

Square Footage May Vary Depending Upon Method of Calculation.

To Be Used Only With Accompanying Engineering, Title-24, Appropriate HOA and City Approvals.

PRE-ENGINEERED SET. MAY REQUIRE ENGINEERING MODIFICATIONS.



Single Family Data Information Site Address:	Madrone X Del Mar Moss	s Reach CA 94038	
	Madrone X Del Mar, Moss Beach, CA 94038 APN: 037-277-160		
APN:			
Zoning Classification:	R-1/S-105/DR/CD/GH 5,000 - SOURCE: SURVEY		
Lot Size (Sq. Ft.): Permitted Floor Area Ratio:			
The state of the s	48%		
Maximum Permitted Floor Area (5q. Ft.).	ximum Permitted Floor Area (Sq. Ft.): 2,400 SF		
Floor Aron (So Et):	Existing:	Proposed:	
Floor Area (Sq. Ft.): Single Family Residence:1	N/A - VACANT LOT	1,662 SF	
Attached/Detached Garage:	N/A - VACANT LOT	388 SF	
Front Porch:	N/A - VACANT LOT	0 SF	
Covered Patios/Balconies:	N/A - VACANT LOT	0 SF	
Detached Accessory Structures:	N/A - VACANT LOT	N/A	
Front Porch Exemption (subtract up to 100 sq. ft.):	N/A - VACANT LOT	0 SF	
	1471 771071111 201	2050 SF (41%)	
Total Floor Area:		2030 3F (4176)	
Existing Interior Floor Area to be Remodeled:	N/A - VACANT LOT		
Percentage and Linear Feet of Existing Exterior Residence/ Garage Walls to be Demolished ² :	N/A - VACANT LOT		
Total Floor Area for Parking Requirements (see Zoning Code Section 27.18.110):1	388 SF		
Total Garage Parking Stalls (min. 10' by 18'):	2 GARAGE PARKING STALLS		
Total Uncovered Parking Stalls (Tandem not Permitted):	0 - N/A		
List of All Heritage Trees on Site including Species and Size:	0 - N/A		

TITLE PAGE

THESE CONSTRUCTION DOCUMENTS CREATED BY CUTTING EDGE HOMES ARE AN INSTRUMENT OF SERVICE PROVIDED TO THE OWNER BY THE DESIGNER. THESE DOCUMENTS ARE OWNED BY THE DESIGNER AND COPIES FOR APPROPRIATE PLANNING SUBMISSION & PERMITS SHALL BE PROVIDED TO THE OWNER, IF AGREED TO BY SEPARATE CONTRACT. THESE DOCUMENTS SHALL NOT BE USED FOR ANY PROJECT OTHER THAN THE SPECIFIC PROJECT CONTRACT FOR. NO EXCEPTIONS.

DATE:

2/25/2020

SCALE:

SHEET:

SECTION 6300.14.30. BUILDING SETBACKS. The minimum setbacks shall be:

Front Setback: 20' Rear Setback: 20' Side Setback: 10

SECTION 6300.14.40. PARCEL COVERAGE. The maximum parcel coverage shall be 0.25 (25%).

Parcel coverage shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches, bridges, and other similar uses which are eighteen (18) inches or more above the ground.

SECTION 6300.14.50. BUILDING FLOOR AREA.

a. The maximum building floor area shall be established according to the following table.

Parcel Size

2,500 - 11,698 sq. ft., or less than 17.5 feet parcel width

The maximum building floor area shall include the floor area of all stories of all buildings and accessory buildings on a building site. Maximum building floor area specifically includes: (1) the floor area of all stories excluding uninhabitable attics as measured from the outside face of all exterior perimeter walls, (2) the area of all decks, porches, balconies or other areas covered by a waterproof roof which extends four (4) or more feet from exterior walls, and (3) the area of all garages and carports.

SECTION 6300.14.70. BUILDING HEIGHT. The maximum building height shall be established, as follows:

a. Up to 30% Slope. Where the average slope of the parcel area covered by the main residence is less than 30%, maximum building height is 28 feet.

SECTION 6375. GENERAL PARKING REQUIREMENTS. The parking requirements in this Chapter shall replace Zoning Regulations Chapter 3 for all residential, commercial and institutional building types which require off-street parking. This section includes general parking standards while specific parking requirements are contained in land use designation sections.

SECTION 6117

1. Size of Spaces. Each required parking space shall be at least 9 feet wide and 19 feet deep.

Lighting

Discussion: The location and style of exterior and interior lighting chosen for a single-family home can have a significant impact on the home's design. It can also affect adjacent neighbors, or depending on topography, more distant views from scenic corridors. An appropriate lighting plan will complement the home's design and provide adequate light and security for the subject site. At the same time, the plan should prevent direct light and glare from extending in any direction, including upward, beyond the boundaries of the site. In general, lowlevel lighting directed toward the ground is preferred.

Maximum Building Floor Area

0.48 (parcel size)

SECTION 6300.14.90. DAYLIGHT PLANE OR FAÇADE ARTICULATION. New residential development shall conform to either the daylight plane or façade articulation options described in this section, as determined by the project applicant.

a. Daylight Plane Option

The daylight plane shall be established on two opposite house sides, i.e., either from the front and rear setback lines, or from the side setback lines, as determined by the project applicant and approved by the Design Review Committee.

The daylight plane shall be measured from the setback line at natural grade, upward a vertical distance of 20 feet, and then inward at an angle of 45° until the maximum building height is reached.

Cornices, canopies, eaves, roof overhangs, chimneys, fire escapes, stairways; landing places; uncovered porches, and similar architectural features may extend into the daylight plane at the front, side, or rear yard, to the extent allowed by Zoning Regulations Section 6406.

Chimneys, pipes, mechanical equipment, antennae, and similar equipment may extend into the daylight plane up to a maximum of 36 feet as required for safety or efficient operation.

Dormers, gables and other architectural features located in the center 60% of the house may extend into the angled portion of the daylight plane, subject to Design Review Committee approval, provided that:

- (a) The combined length on any building side does not exceed 40% of the length of that building side, and the height of such features does not exceed 24 feet.
- (b) The combined length on any building side does not exceed 30% of the length of

b. Facade Articulation Option

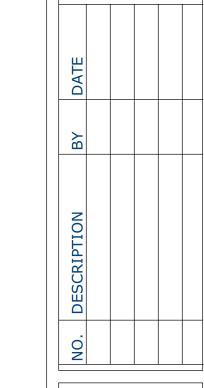
Facade articulation shall be provided on all building sides, and is subject to approval by the Design Review Committee. Facade articulation is intended to break up the appearance of shear walls through the placement of projecting or recessing architectural details, including decks, bays, windows, balconies, porches, overhangs, and cantilevered features.

In order to approve proposed facade articulation, the Design Review Committee must find that: (1) all building facades are well articulated and proportioned, and (2) each building wall is broken up so as not to appear shear, blank, looming or massive to neighboring properties.

SECTION 6375. GENERAL PARKING REQUIREMENTS. The parking requirements in this Chapter shall replace Zoning Regulations Chapter 3 for all residential, commercial and institutional building types which require off-street parking. This section includes general parking standards while specific parking requirements are contained in land use designation sections.

1. Size of Spaces. Each required parking space shall be at least 8.5 feet wide and 18 feet long, with adequate provisions for entry and exit by a standard passenger vehicle.

DESIGNER: F. WELLS



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ient Name: Helen Sattelmayer
y Address: Madrone X Del Mar
Moss Beach, CA 94038
APN: 037-277-160

ROVIDED BY:

ng Edge Homes
s Avenue

Cutting E

DATE:

2/25/2020

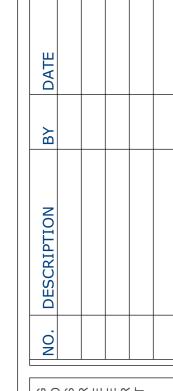
SCALE: 1/16" = 1'

SHEET:

....

ZONING CODES & NOTES





DRAWINGS PROVIDED BY:

Cutting Edge Homes

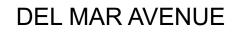
270 E Douglas Avenue
El Cajon,, CA 92020
310 867 3993 -

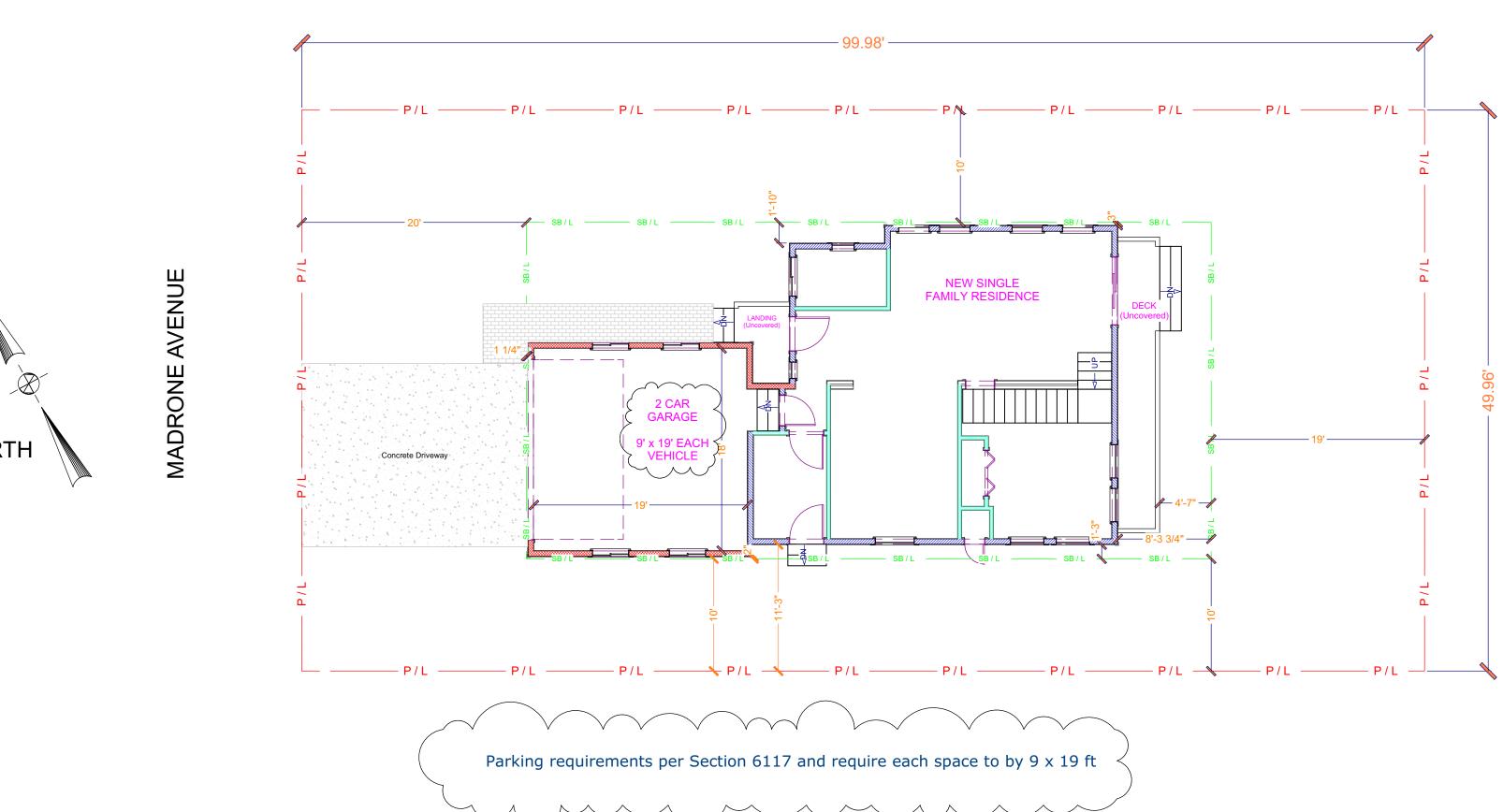
DATE:

2/25/2020

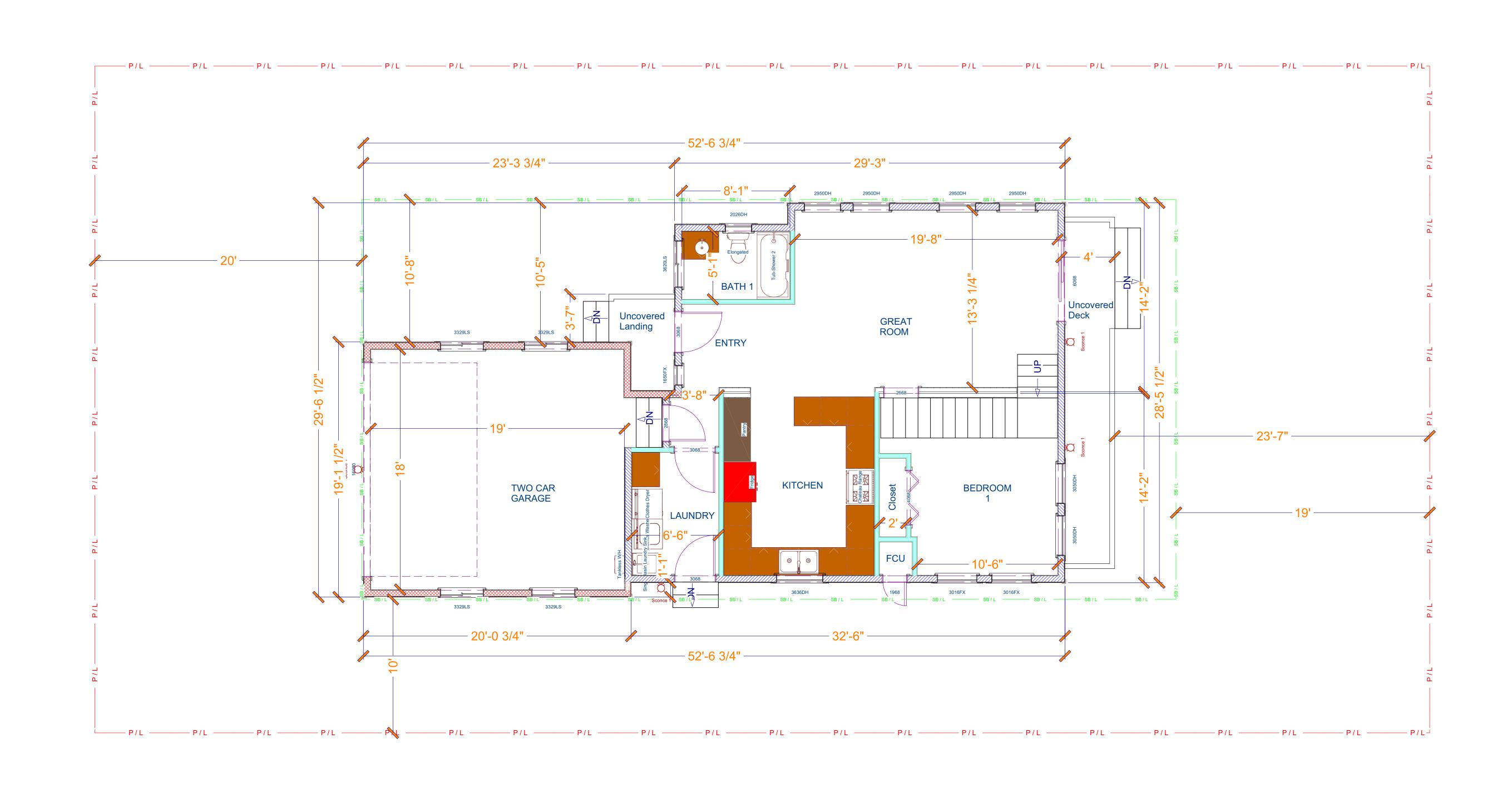
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SHEET:





SHEET:



DESIGNER: F. WELLS

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PROJECT:

Client Name: Helen Sattelmayer
Property Address: Madrone X Del Mar
Moss Beach, CA 94038
APN: 037-277-160

Cutting Edge Homes

O E Douglas Avenue

DATE:

2/25/2020

SCALE: 1/4" = 1'

SHEET:

A-5

OHEET:



Multiple Off-Sets Used on Front Elevation to Minimize Bulk and Increase Design Interest



Upper Balcony & Lower Decks Implemented in Design to Increase Design Interest DESIGNER: F. WELLS

NO. DESCRIPTION BY DATE

SE CONSTRUCTION DOCUMENTS CREATED BY CUTTING SE HOMES ARE AN INSTRUMENT OF SERVICE PROVIDED THE OWNER BY THE DESIGNER. THESE DOCUMENTS OWNED BY THE DESIGNER AND COPIES FOR ROPRIATE PLANNING SUBMISSION & PERMITS SHALL BE INTRACT. THESE DOCUMENTS SHALL NOT BE USED FOR PROJECT OTHER THAN THE SPECIFIC PROJECT NIRACT FOR. NO EXCEPTIONS.

Client Name: Helen Sattelmayer
Property Address: Madrone X Del Mar
Moss Beach, CA 94038
APN: 037-277-160

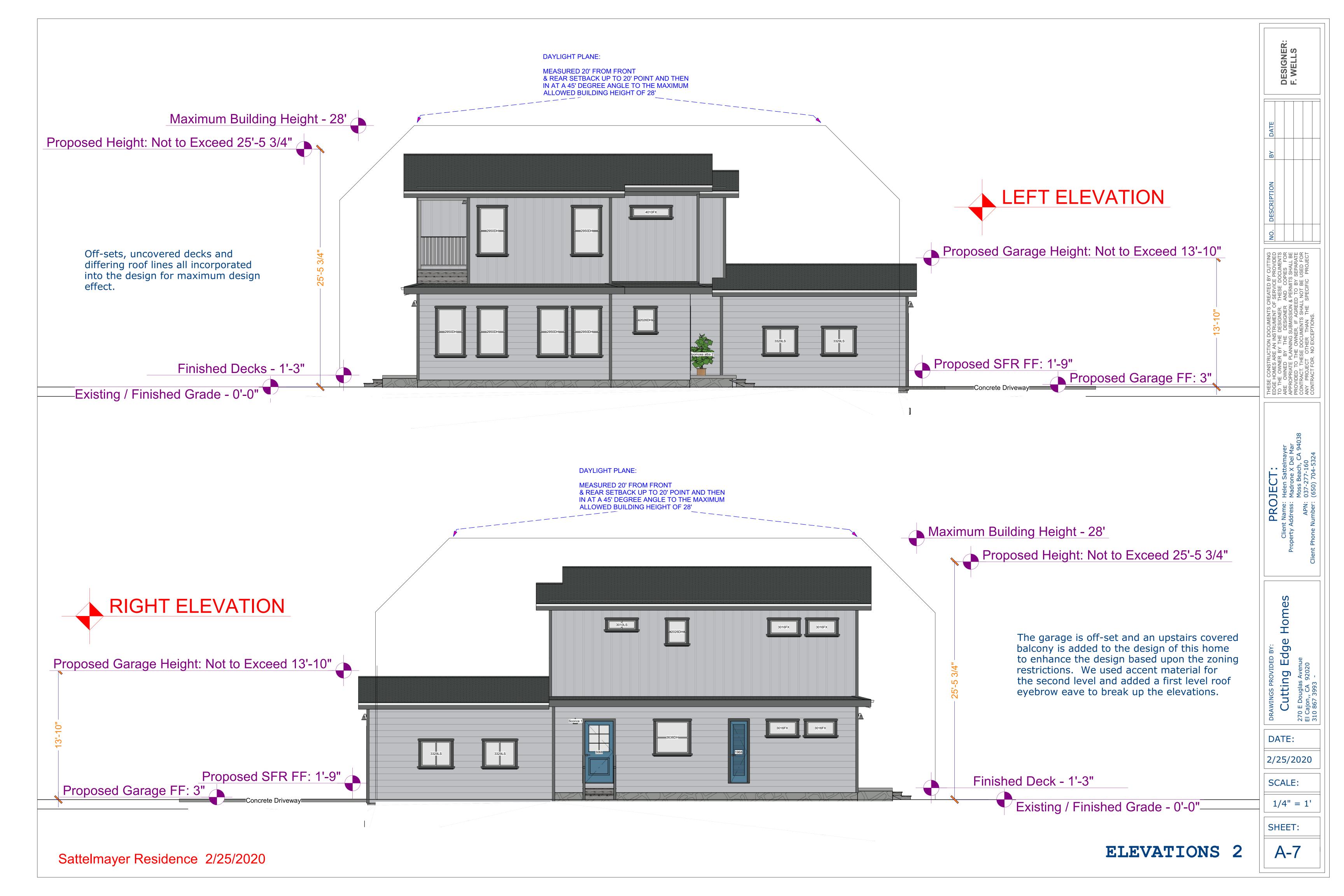
Cutting Edge Homes

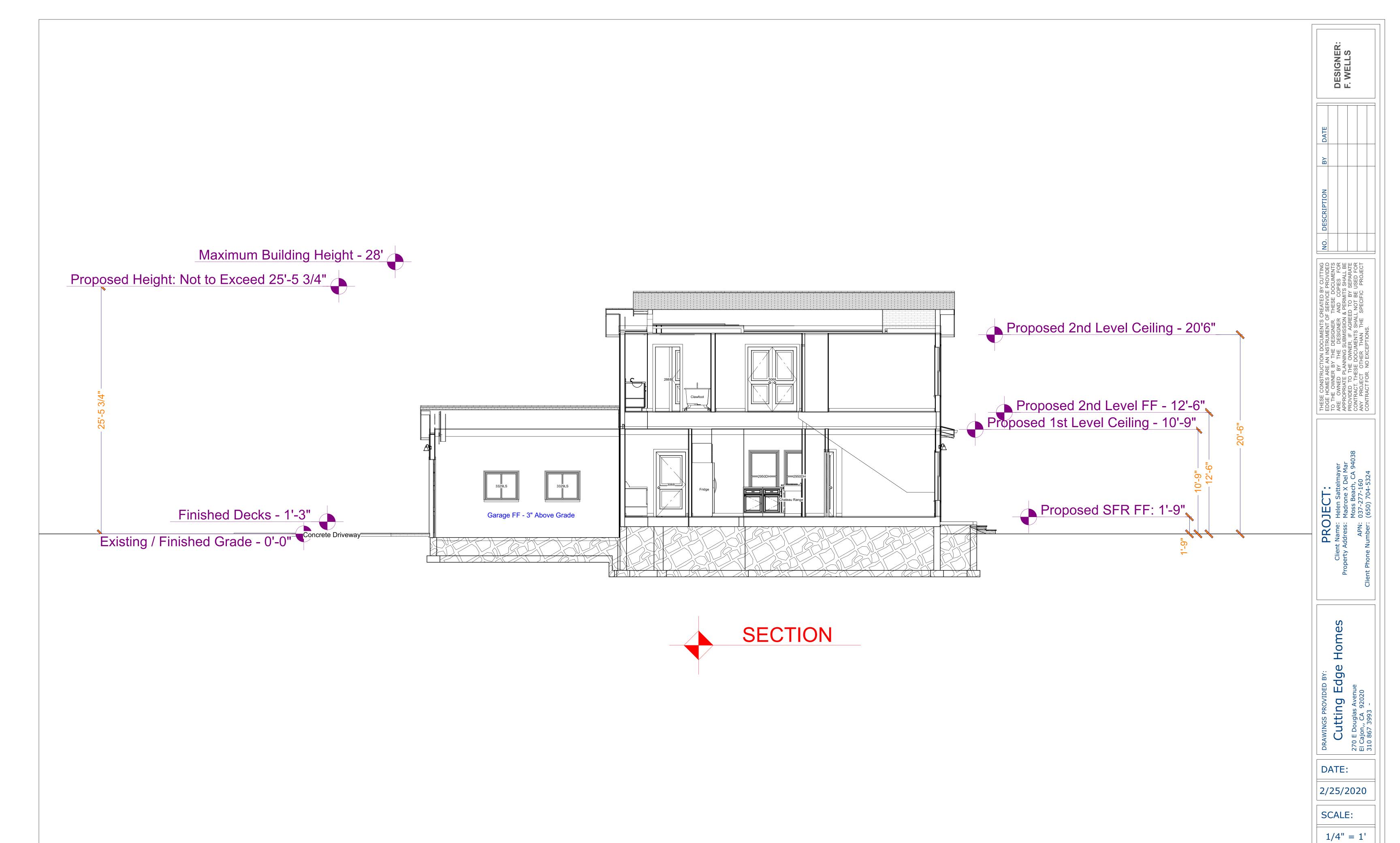
DATE:

2/25/2020

SCALE: 1/4" = 1'

SHEET:





Sattelmayer Residence 2/25/2020

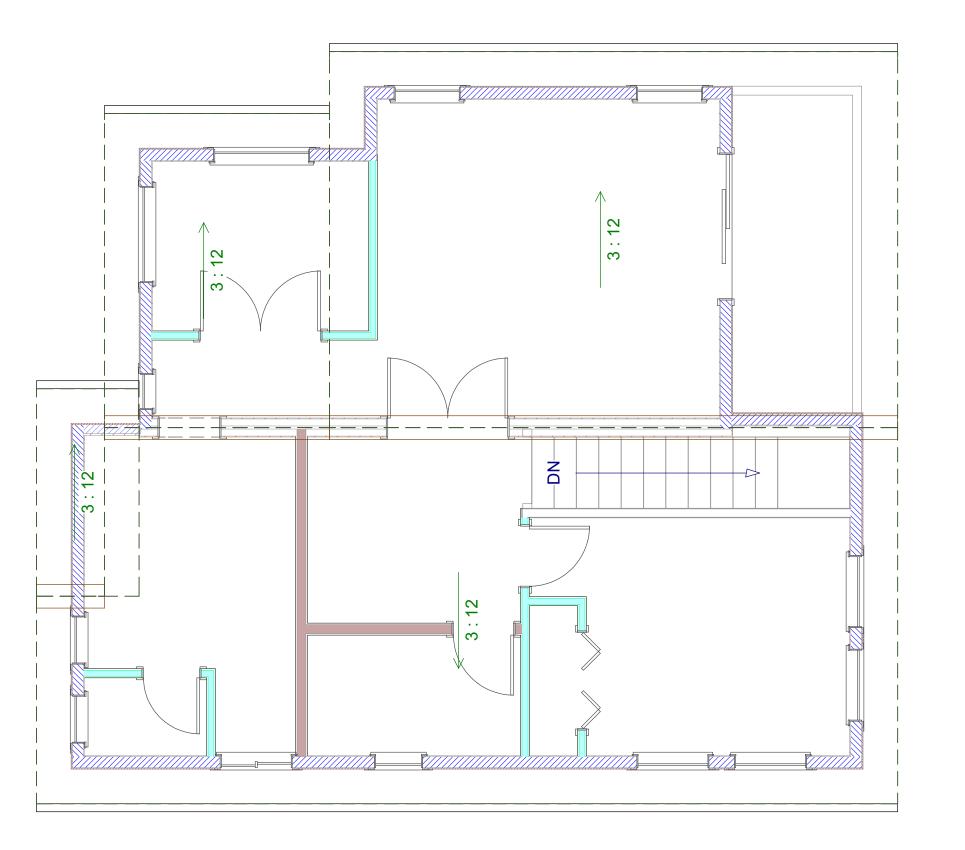
SECTION

SHEET:

21.12 21.12

1ST LEVEL ROOF

2ND LEVEL ROOF



ROOF PLAN

270 E Douglas A El Cajon,, CA 93 310 867 3993 -

DATE:

2/25/2020

SCALE: 1/4" = 1'

SHEET:







Side Perspective

DATE:

2/25/2020

SCALE: NTS

SHEET:

SQUARE FOOTAGE AREA 2 - LIVING AREA: 861 SF SQUARE FOOTAGE AREA 1 - GARAGE / UNCONDITIONED: 388 SF

SECTION 6300.14.40. PARCEL COVERAGE. The maximum parcel coverage shall be 0.25 (25%).

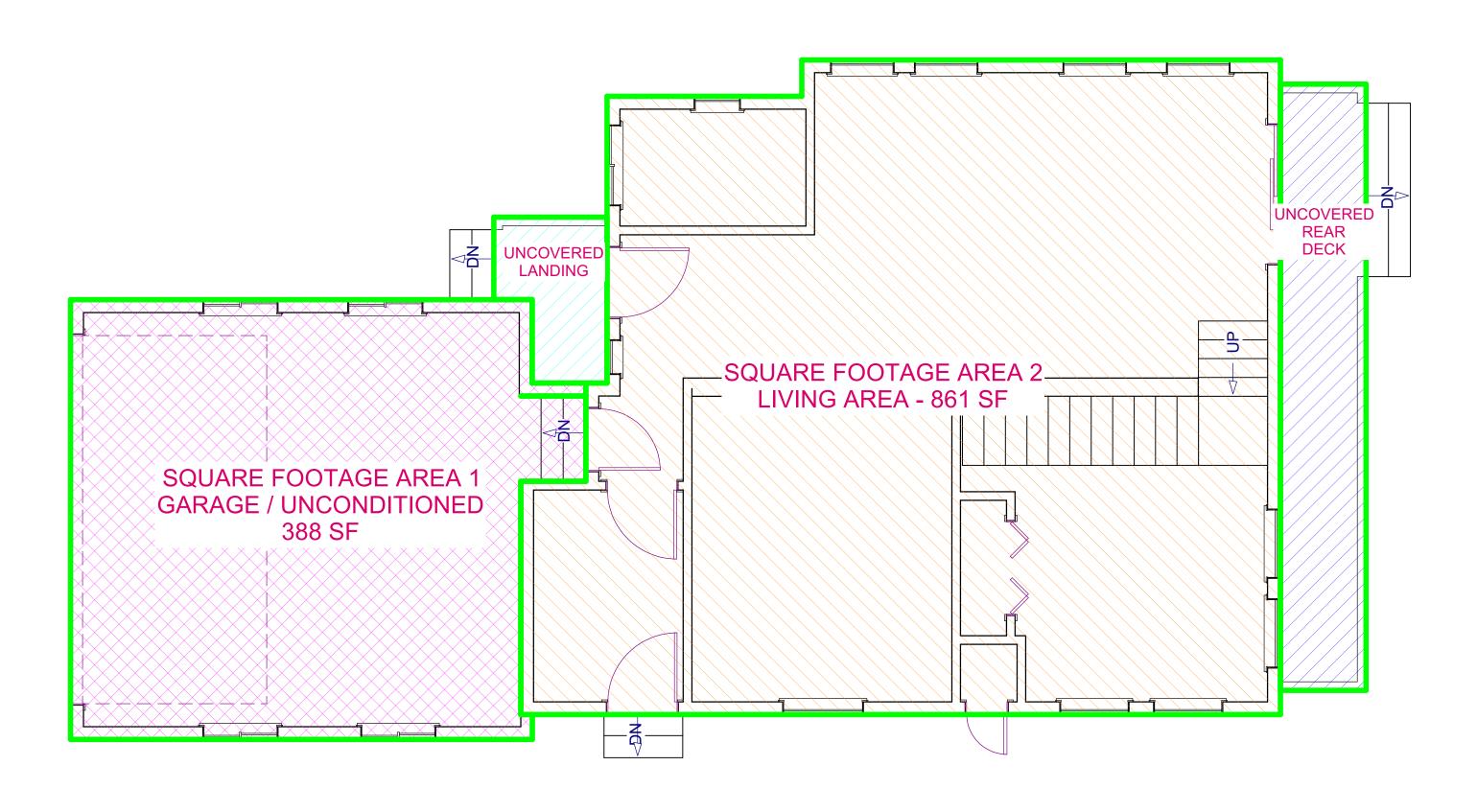
Parcel coverage shall include all: (1) buildings, (2) accessory buildings, or (3) structures such as patios, decks, balconies, porches, bridges, and other similar uses which are eighteen (18) inches or more above the ground.

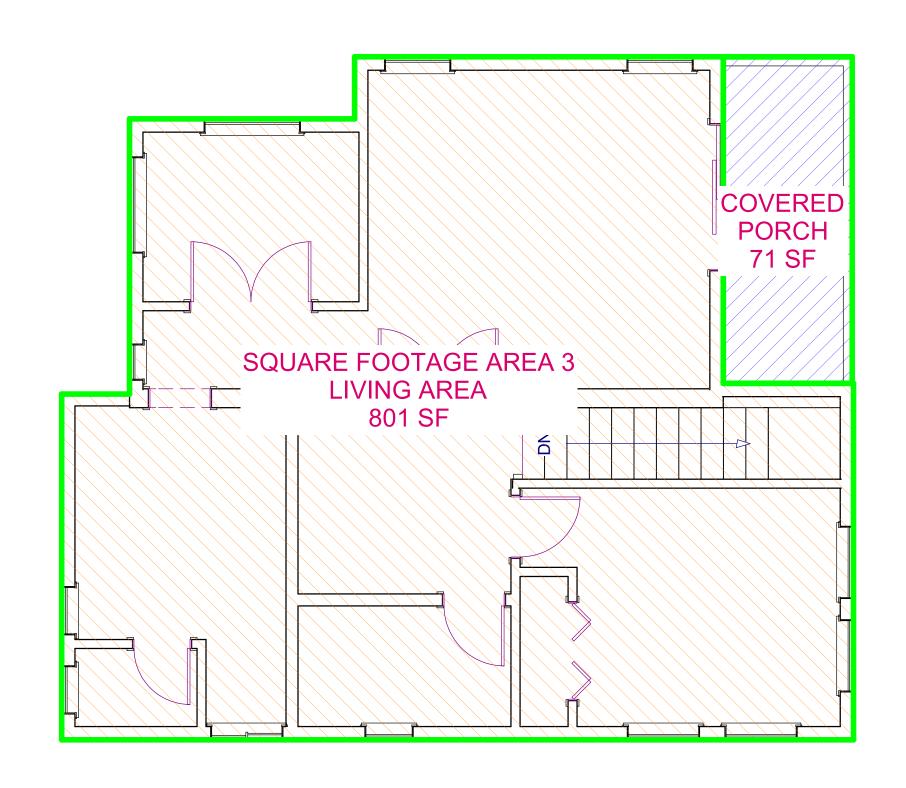


SQUARE FOOTAGE AREA 2 - LIVING AREA: REAR 2ND STORY PORCH:

807 SF 71 SF







DESIGNER: F. WELLS

DESCRIPTION BY DATE

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PROJECT:

Client Name: Helen Sattelmayer

Ity Address: Madrone X Del Mar

Moss Beach, CA 94038

APN: 037-277-160

g Edge Homes

Cutting Ed

DATE:

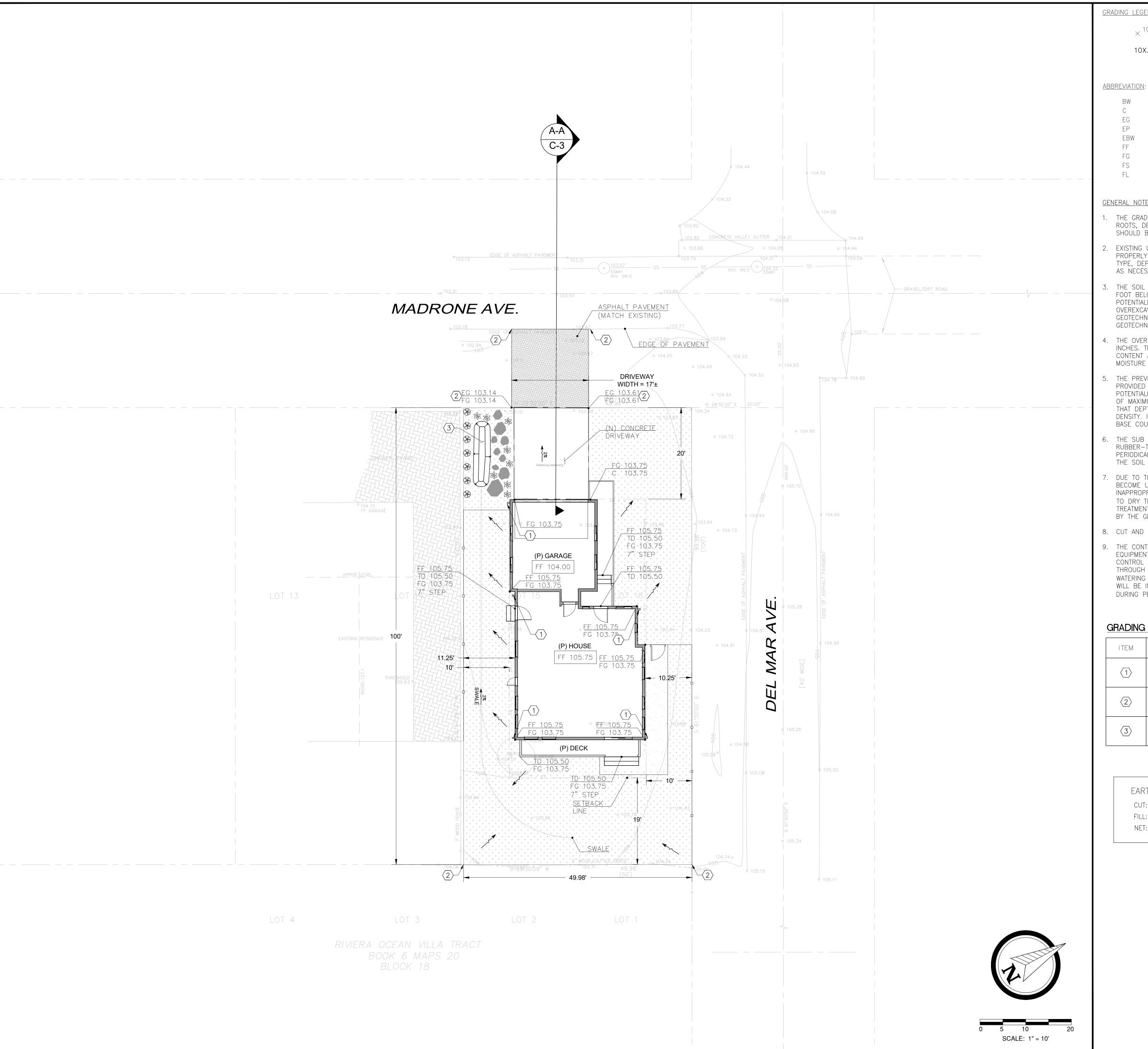
2/25/2020

CUEET

A-11

SCALE:

SHEET:



GRADING LEGEND:

EXISTING SPOT ELEVATION

PROPOSED ELEVATION 10X.XX

BACK OF WALK GB GRADE BREAK CONCRETE HIGH POINT LOW POINT EXISTING GROUND EDGE OF PAVEMENT SANITARY SEWER TOP OF CURB EXISTING BACK OF WALL FINISHED FLOOR ELEVATION TOP OF DECK FINISHED GRADE TOP OF GRATE FINISHED SURFACE TOP OF PAVEMENT TOP OF STAIRS FLOW LINE

GENERAL NOTES

1. THE GRADING AREAS SHOULD BE PREPARED FOR GRADING BY REMOVING EXISTING VEGETATION, LARGE ROOTS, DEBRIS, AND OTHER POTENTIALLY DELETERIOUS MATERIALS. THE SITE PREPARATION OPERATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER.

TYP

TYPICAL

- 2. EXISTING UTILITY LINES THAT WILL NOT REMAIN IN SERVICE SHOULD BE EITHER REMOVED OR PROPERLY ABANDONED. THE APPROPRIATE METHOD OF UTILITY ABANDONMENT WILL DEPEND UPON THE TYPE, DEPTH, AND LOCATION OF THE UTILITY. RECOMMENDATIONS FOR ABANDONMENT CAN BE MADE AS NECESSARY.
- 3. THE SOIL IN THE GRADING AREAS SHOULD BE REMOVED (OVEREXCAVATED) TO A MINIMUM DEPTH OF 1 FOOT BELOW EXISTING GRADE. IF SOFT SOILS, EXISTING FILL, BURIED OBJECTS, OR OTHER POTENTIALLY ADVERSE CONDITIONS ARE OBSERVED DURING OVEREXCAVATION, ADDITIONAL DEPTH OF OVEREXCAVATION OR OTHER REMEDIAL GRADING MEASURES MAY BE RECOMMENDED BY THE GEOTECHNICAL ENGINEER. THE OVEREXCAVATION OPERATIONS SHOULD BE OBSERVED BY THE GEOTECHNICAL ENGINEER PRIOR TO CONTINUING GRADING.
- 4. THE OVEREXCAVATED SURFACES SHOULD BE CROSS-SCARIFIED TO A DEPTH OF APPROXIMATELY 8 INCHES. THE SOIL SHOULD THEN BE MOISTURE CONDITIONED TO A LEVEL ABOVE OPTIMUM MOISTURE CONTENT AND RECOMPACTED. CUT SURFACES TO RECEIVE IMPROVEMENTS SHOULD BE SCARIFIED, MOISTURE CONDITIONED, AND RECOMPACTED IN A SIMILAR MANNER.
- 5. THE PREVIOUSLY OVEREXCAVATED MATERIAL AND OTHER ON-SITE SOILS MAY BE USED AS FILL PROVIDED THAT THE FILL DOES NOT CONTAIN EXCESSIVE QUANTITIES OF ORGANICS OR OTHER POTENTIALLY DELETERIOUS MATERIALS. THE FILL SHOULD BE COMPACTED TO A MINIMUM 90 PERCENT OF MAXIMUM DRY DENSITY WITHIN THE UPPER 10 FEET OF THE BUILDING PAD ELEVATION. BELOW THAT DEPTH, THE FILL SHOULD BE COMPACTED TO A MINIMUM 92 PERCENT OF MAXIMUM DRY DENSITY. IN PAVEMENT AREAS, THE UPPER 12 INCHES OF SUB GRADE SOIL AND THE AGGREGATE BASE COURSES SHOULD BE COMPACTED TO A MINIMUM 95 PERCENT OF MAXIMUM DRY DENSITY.
- 6. THE SUB GRADE AND BASE SHOULD BE FIRM AND UNYIELDING WHEN PROOFROLLED WITH HEAVY, RUBBER-TIRED EQUIPMENT PRIOR TO CONTINUING CONSTRUCTION. THE SUBGRADE SOIL SHOULD BE PERIODICALLY MOISTENED AS NECESSARY PRIOR TO PLACEMENT OF THE AGGREGATE BASE TO MAINTAIN THE SOIL MOISTURE CONTENT ABOVE OPTIMUM.
- 7. DUE TO THE FINE-GRAINED NATURE OF THE UPPER SOILS, THERE IS A POTENTIAL FOR THE SOILS TO BECOME UNSTABLE DURING GRADING. UNSTABLE SOILS HINDER COMPACTIVE EFFORT AND ARE INAPPROPRIATE FOR PLACEMENT OF FILL. ALTERNATIVES TO CORRECT INSTABILITY INCLUDE AERATION TO DRY THE SOILS AND THE USE OF GRAVEL OR GEOTEXTILES, AND CHEMICAL (QUICKLIME/CEMENT) TREATMENT AS STABILIZING MEASURES. RECOMMENDATIONS FOR STABILIZATION SHOULD BE PROVIDED BY THE GEOTECHNICAL ENGINEER AS NEEDED DURING CONSTRUCTION.
- 8. CUT AND FILL SLOPES SHOULD NOT BE STEEPER THAN 2:1, MEASURED HORIZONTALLY TO VERTICALLY.
- 9. THE CONTRACTOR SHALL REQUIRE WATER TRUCKS TO OPERATE IN CONJUNCTION WITH GRADING EQUIPMENT AND APPLICATION OF WATER SHALL BE MADE AS FREQUENTLY AS IS NECESSARY TO CONTROL DUST AT A MINIMUM OF THREE TIMES A DAY. IF THE DUST IS NOT ADEQUATELY CONTROLLED THROUGH THE APPLICATION OF WATER, GRADING ACTIVITIES WILL BE SUSPENDED AND AN HOURLY WATERING SCHEDULE AND/OR MAXIMUM LIMIT ON THE DAILY NUMBER OF CUBIC YARDS TO BE GRADED WILL BE IMPOSED PRIOR TO THE RESUMPTION OF GRADING. IN ADDITION, ALL GRADING ACTIVITIES DURING PERIODS OF HIGH WINDS (OVER 15 MPH) ARE PROHIBITED.

GRADING KEY NOTES:

ITEM	DESCRIPTION
(1)	DOWNSPOUT LOCATION PER ARCH PLANS (DETAIL 1 ON SHEET 5)
(2)	MATCH EXISTING GRADE
(3)	DEPRESSED LANDSCAPE AREA FOR IMPROVED STORMWATER RETENTION

EARTHWORK CUT: 15 C.Y. FILL: 15 C.Y. NET: O C.Y

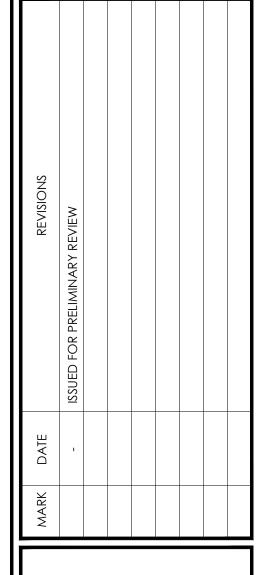
CONSULTING GROUP ARCHITECTURE ENGINEERING YANG CONSULTING GROUP 490 Post Street, Suite 406

YANG



CUTTING EDGE HOMES, INC 270 E. DOUGLAS AVÉNUE EL CAJON, CA 92020

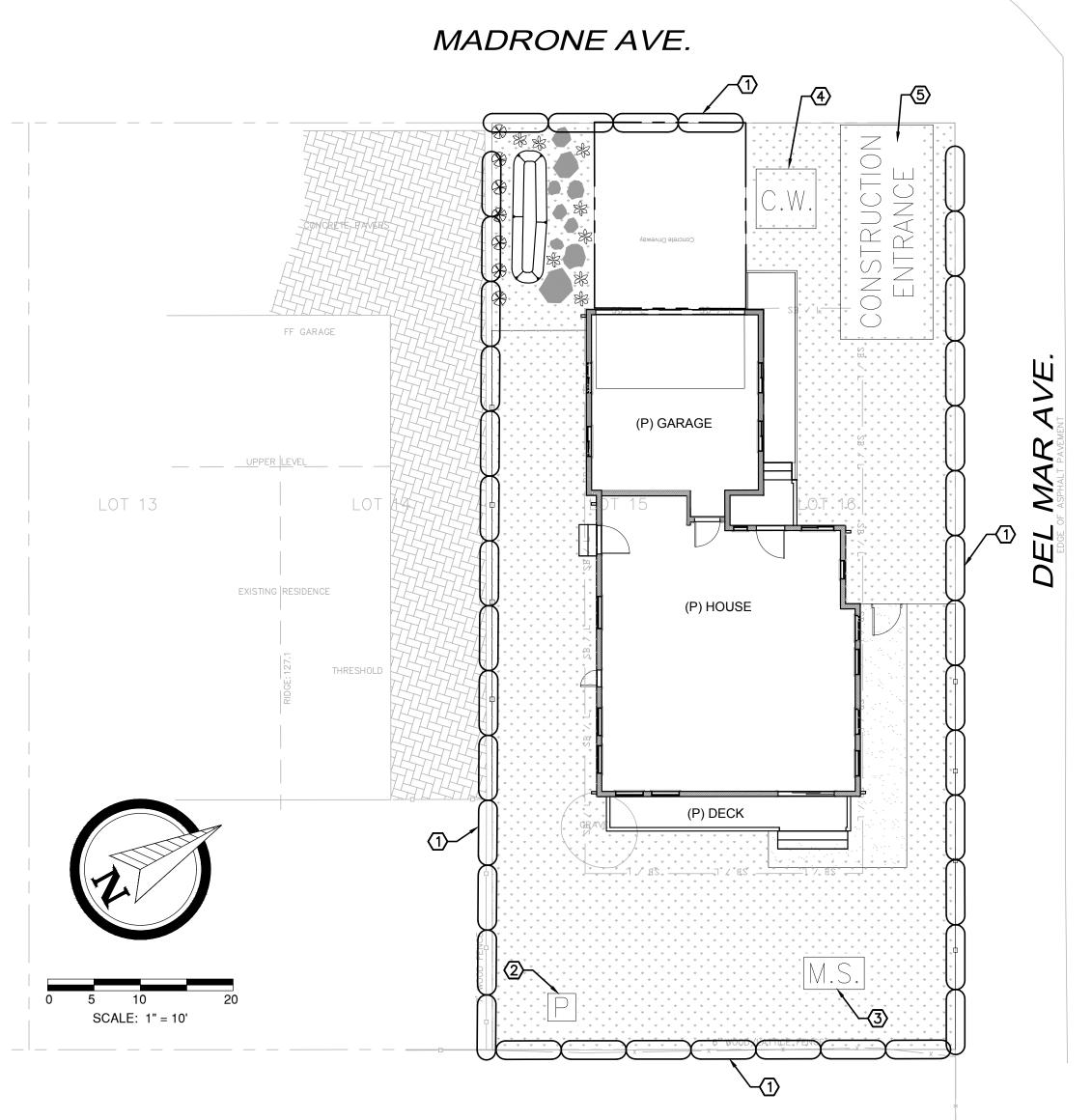
1/29/2020



NEW CONSTRUCTION FOR: Helen Sattelmayer Residence Madrone Ave./ Del Mar Ave.

Project Number

GRADING AND DRAINAGE PLAN



Stockpile Management (SP) STOCKPILE SILT FENCE (SEE SF DETAIL FOR INSTALLATION REQUIREMENTS) Fiber rolls may be used as alternative STOCKPILE PROTECTION PLAN MAXIMUM SILT FENCE (SEE SF DETAIL FOR INSTALLATION REQUIREMENTS) Anchored tarp Fiber rolls may be used as alternative or plastic sheet SP-1. STOCKPILE PROTECTION

STOCKPILE MANAGEMENT

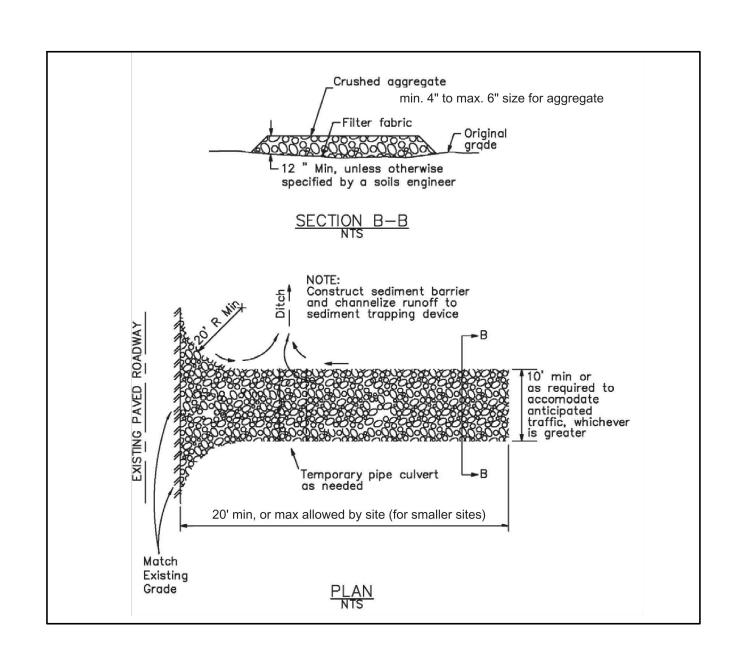
SCALE: N.T.S.

COUNTY OF SAN MATEO **EROSION CONTROL NOTE**

- EROSION CONTROL POINT OF CONTACT. (PLEASE PROVIDE AN EROSION CONTROL POINT OF CONTACT INCLUDING NAME, TITLE/QUALIFICATION, EMAIL, AND PHONE NUMBER. THE EC POINT OF CONTACT WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF EROSION CONTROL OR TREE PROTECTION CORRECTIONS ARE REQUIRED). PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND
- STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
- CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
- USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON—SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
- LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS. AVOID TRACKING DIRT OR OTHER MATERIALS OFF—SITE; CLEAN OFF—SITE PAVED AREAS AND SIDEWALKS USING
- DRY SWEEPING METHODS. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES. PLACEMENT OF EROSION MATERIALS AT THESE LOCATIONS ARE REQUIRED ON WEEKENDS AND DURING RAIN
- EVENTS: (LIST LOCATIONS) THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE
- "OFF-SEASON." DUST CONTROL IS REQUIRED YEAR-ROUND.
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE
- TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED

KEY NOTES:

ITEM	DESCRIPTION		QUANTITY	UNIT
<u>(1)</u>		FIBER ROLL TO BE INSTALLED AT SITE PERIMETER: REFER TO DETAIL 6 ON C3.	300	L.F.
2	P	RECOMMENDED LOCATION FOR PORTABLE TOILET.	1	EA
3	M.S.	RECOMMENDED LOCATION FOR MATERIALS STORAGE. REFER DETAIL 1 ON THIS SHEET.	1	EA
4	C.W.	RECOMMENDED LOCATION FOR CONCRETE WASTE MANAGEMENT, REFER DETAIL 5 ON C3.	1	EA
(5)	C.E.	RECOMMENDED LOCATION FOR CONSTRUCTION ENTRANCE. REFER DETAIL 2 ON THIS SHEET.	1	EA



CONSTRUCTION ENTRANCE

EROSION CONTROL PLAN GENERAL NOTES:

ALL EROSION CONTROL DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL STANDARDS. AN EPA EQUIVALENT NOTICE OF INTENT LETTER SHALL BE POSTED IN THE JOB TRAILER AT ALL TIMES. THIS SITE SHALL BE PROTECTED BY MEANS DESCRIBED IN THE ACCOMPANYING PLANS. IF THERE ARE ANY QUESTIONS REGARDING EROSION CONTROL MEASURES, THE CIVIL ENGINEER OF RECORD MUST BE

A COPY OF THIS SHEET AND THE EROSION CONTROL PLAN MUST BE KEPT ON-SITE THROUGH THE DURATION OF CONSTRUCTION ACTIVITY. ANY CHANGES MADE TO THIS PLAN MUST BE NOTED, DATED, AND INITIALED BY THE GENERAL CONTRACTOR.

THE INTENT OF THIS PLAN IS TO CONTROL EROSION AND RESULTING SILT TRANSPORTATION OFF SITE. THE ITEMS INDICATED ARE THE ENGINEER'S BEST ESTIMATE OF REQUIREMENTS; MORE CONTROL MAY BE NEEDED DEPENDING ON SITE CONDITIONS, SEASON, ETC. CONTRACTOR SHALL INSTALL ADDITIONAL MEASURES AS NECESSARY TO COMPLY WITH THIS INTENT. ALL CHANGES TO THE SWPPP MUST BE NOTED.

- A. BEST MANAGEMENT PRACTICES PLAN, WITH ALL SEDIMENT AND EROSION CONTROL
- PLANS, SHALL BE KEPT ON-SITE WITH COPIES OF ALL INSPECTION REPORTS. B. EXISTING TOPOGRAPHY AND PROPOSED TOPOGRAPHY ARE SHOWN ON THE GRADING
- C. SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CONSTRUCTED PRIOR TO ANY LAND DISTURBING ACTIVITY TAKING PLACE.
- D. OTHER FEDERAL, LOCAL, OR STATE STATUTES OR REQUIREMENTS THAT MAY AFFECT THE PERMIT REQUIREMENTS FOR THIS SITE:
- 1. NPDES CONSTRUCTION STORM WATER MANAGEMENT DISCHARGE CRITERION
- 2. UNITED STATES ARMY CORPS OF ENGINEERS 3. LOCAL SEDIMENT CONTROL ORDINANCES
- 4. HAZARDOUS WASTE CONCERNS 5. PROTECTED SPECIES, HISTORICAL PRESERVATION, ETC
- MATERIAL NEEDS AFFECTING ENVIRONMENTAL ASPECTS OF THE SITE:
- 1. HAUL-IN / HAUL-OFF 2. TOPSOIL SPOIL OR HAUL-IN
- F. PLANNED PHASES OF CONSTRUCTION.
 - 1. FLAG ALL WORK LIMITS.
 - 2. CALL THE STATE UTILITY PROTECTION SERVICE TO VERIFY LOCATION OF ANY EXISTING UTILITIES TWO (2) WORKING DAYS PRIOR TO START OF CONSTRUCTION.
 - 3. NOTIFY SEDIMENT CONTROL INSPECTOR TWENTY-FOUR (24) HOURS PRIOR TO START OF CONSTRUCTION.
 - 4. IDENTIFY AND PROTECT ALL EXISTING VEGETATION TO REMAIN.
 - 5. PERFORM CLEARING AND GRADING REQUIRED FOR INSTALLATION OF PERIMETER CONTROLS.
 - 6. INSTALL PERIMETER RUNOFF CONTROLS; NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL BEFORE PROCEEDING FURTHER.
 - 7. INSTALL STORM DRAINAGE PROTECTION. 8. CLEAR AND STABILIZE CONSTRUCTION ACCESS

 - 9. COMPLETE ALL REQUIRED STOCKPILING, SITE CLEARING, AND GRADING. 10. APPLY TEMPORARY OR PERMANENT STABILIZATION MEASURES IMMEDIATELY ON ALL DISTURBED AREAS WHERE WORK MAY BE DELAYED OR IS COMPLETE. DO NOT LEAVE LARGE AREAS UNPROTECTED FOR MORE THAN SEVEN (7)
 - 11. CONSTRUCT PARKING LOT BASE, BUILDING FOUNDATION, AND INSTALL SITE UTILITIES.
 - 12. WEATHER-IN BUILDING.
 - 13. COMPLETE PARKING LOT CONSTRUCTION. 14. COMPLETE FINAL GRADING, STABILIZATION, AND LANDSCAPING
 - 15. NOTIFY SEDIMENT CONTROL INSPECTOR AND OBTAIN APPROVAL TO REMOVE SEDIMENT AND EROSION CONTROL MEASURES.

PLANNED CONSTRUCTION PHASING AND SPECIFIC REQUIRED SEDIMENT AND EROSION MEASURES.

- DEBRIS REMOVAL. TOPSOIL WILL BE STRIPPED AND STOCKPILED ON THE SITE AS SHOWN ON THE PLANS. THE FOLLOWING REQUIREMENTS WILL APPLY DURING THIS PHASE OF CONSTRUCTION:
 - 1. CONSTRUCTION OF A "STONE" CONSTRUCTION ENTRANCE SHALL BE COMPLETED TO PREVENT SILT FROM BEING DEPOSITED ON ROADWAYS. 2. SILT FENCES AND/OR DIVERSIONS DIRECTING RUNOFF TO TEMPORARY SEDIMENT BASINS SHALL BE PLACED ON THE DOWNHILL SIDE OF WHEREVER DIRT HAS BEEN DISTURBED BY GRADING TO PREVENT SILT FROM LEAVING THE SITE. SPECIFIC ATTENTION SHOULD BE PAID TO CULVERTS AND
 - CONSTRUCTION ENTRANCES. 3. ALL DEBRIS SHALL BE KEPT AWAY FROM DITCHES AND STREAMS TO PREVENT
 - RUN-OFF ACCUMULATION WILL NOT CARRY DEBRIS DOWNSTREAM. 4. SILT FENCES OR DOUBLE SILT FENCES SHALL BE INSTALLED ALONG THE LOW SIDE OF THE SITE WHERE RUN-OFF FROM THE WORK AREA WILL LEAVE THE SITE OR ENTER A DITCH
 - 5. SILT TRAPS AND SEDIMENT BASINS SHALL BE INSTALLED WHERE SHOWN ON THE PLANS IN ACCORDANCE WITH DETAILS SHOWN TO CATCH AND FILTER RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
 - 6. ADDITIONAL SILT FENCING AROUND THE STOCKPILE AREA SHOULD BE INSTALLED TO PREVENT SILT WASH OFF FROM THE SITE.
- B. PHASE 2: GRADING OPERATIONS THIS PHASE IS THAT TIME WHEN EARTH IS BEING MOVED FROM ONE PORTION OF THE SITE TO ANOTHER OR IS BEING HAULED INTO OR HAULED OFF FROM THE SITE. THIS IS A CRITICAL TIME WHEN SEDIMENT AND EROSION CONTROL FACILITIES MUST BE CONTINUALLY CHECKED TO ENSURE EFFECTIVENESS. MEASURES SHOULD BE CHANGED OUT AS OFTEN AS REQUIRED TO MEET DEMANDS OF CURRENT SITE CONDITIONS. THE FOLLOWING WILL APPLY TO THIS STAGE OF CONSTRUCTION:
 - 1. ALL SEDIMENT CONTROL FACILITIES REQUIRED AND INSTALLED DURING PHASE 1 SHALL BE LEFT IN PLACE AND MAINTAINED AS APPROPRIATE. 2. WHENEVER A SILT CONTROL FACILITY IS REMOVED BECAUSE OF CHANGING SITE CONDITIONS IT SHALL BE IMMEDIATELY REPLACED WITH ANOTHER MEASURE OF EQUAL OR GREATER EFFECTIVENESS THAT WILL CONTRIBUTE TO THE PROGRAM OF SILT AND EROSION CONTROL.
 - 3. CUT SLOPES SHALL BE PROTECTED BY CONSTRUCTING SWALES AT THE TOP OF CUT SLOPES TO INTERCEPT RUN-OFF. SWALES WILL BE CONSTRUCTED WITH RIP-RAP CHECK DAMS OR SILT FENCES AS NECESSARY TO PREVENT EROSION AND SILTATION. 4. FILL SLOPES SHALL BE PROTECTED BY THE CONSTRUCTION OF BERMS AT THE
 - TOP OF ALL FILL SLOPES TO PREVENT UNCONTROLLED RUN-OFF DRAINING DOWN FACE OF SLOPES. 5. WHEN SHOWN ON PLAN, RUN-OFF DIRECTING BERMS FOR UPGRADE RUN-OFF SHALL BE CONSTRUCTED ALONG SLOPE TO DRAINS THAT WILL CARRY RUN-OFF DOWN THE SLOPE. SLOPE DRAINS SHALL HAVE INLET SILT
 - PROTECTION TYPICAL OF OTHER SITE STORM INLET PROTECTION. 6. SILT FENCES SHALL BE IN PLACE AT THE TOE OF ALL FILL SLOPES. 7. TERRACES, BERMS, AND SWALES SHALL BE CONSTRUCTED AT INTERMEDIATE LOCATIONS THROUGHOUT THE SITE AS NECESSARY TO CONTROL EROSION AND SEDIMENT TRANSPORT. THESE DIVERSION FACILITIES SHALL BE SUPPLEMENTED AS APPROPRIATE WITH SILT FENCES AND RIP-RAP FILTER BERMS TO FILTER ACCUMULATED SEDIMENT FROM RUN-OFF PRIOR TO DISCHARGE FROM THE SITE.
 - 8. SLOPES (CUT AND FILL) THAT ARE CONSTRUCTED IN THE FINAL CONFIGURATION SHALL BE COVERED WITH FOUR INCHES (4") OF TOPSOIL AND GRASSED AND MULCHED AS SOON AS GRADING IS COMPLETED. THIS GROWING VEGETATION WILL GIVE ADDED PROTECTION TO THE SLOPE.
 - 9. PORTIONS OF THE SITE THAT ARE GRADED TO FINAL GRADE AND ARE NOT TO RECEIVE PAVEMENT OR BUILDINGS SHOULD HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE SURFACE AND GRASSED AS SOON AS POSSIBLE IN CONSTRUCTION PROCESS. THIS PHASE OF CONSTRUCTION IS CRITICAL IN THE EROSION AND SEDIMENT CONTROL PROCESS.
- 10. STORM SEWERS SHOULD BE INSTALLED AS SOON AS POSSIBLE IN THE CONSTRUCTION PROCESS AND CONCURRENT TO GRADING OPERATIONS WHENEVER POSSIBLE TO ENSURE A SUCCESSFUL PROGRAM. CONSTRUCTION RUN-OFF SHALL BE DIRECTED TO STORM SEWER SYSTEM AS SOON AS
- C. PHASE 3: STORM DRAINAGE AND UTILITY INSTALLATION PLAN THIS PHASE WILL

BE COMPLETED AFTER OR CONCURRENT WITH THE GRADING PHASE, PHASE 2. STORM SEWERS SHALL BE INSTALLED AND PUT INTO SERVICE AS EARLY IN THE GRADING PROCESS AS POSSIBLE. THE FOLLOWING WILL APPLY TO THIS PHASE OF

- 1. ALL ASPECTS OF THE PREVIOUS PHASES SHALL BE MAINTAINED AS
- APPLICABLE 2. STORM SEWERS THAT ARE INSTALLED SHALL BE PUT INTO SERVICE IMMEDIATELY. THE INLETS OF ALL STORM SEWERS SHALL BE PROTECTED WITH SILT TRAPS THAT PREVENT SEDIMENT FROM ENTERING PIPE. THIS PROTECTION CAN BE SILT FENCE OR RIP-RAP FILTER BERMS AS APPLICABLE
- AND SHOWN ON THE PLANS. 3. RIP-RAP AS SHOWN ON THE PLANS AND AS REQUIRED ON THE SITE WILL BE INSTALLED AT EMERGENCY SPILLWAYS TO PREVENT EROSION DUE TO OUTFLOW WATER VELOCITY. RIP-RAP SHALL BE EXTENDED DOWNSTREAM AS NEEDED TO PREVENT EROSION.
- 4. ADDITIONAL SILT FENCING SHALL BE INSTALLED AS NECESSARY TO PREVENT EROSION AND SILTATION RESULTING FROM STOCKPILED EXCAVATION MATERIAL FROM UTILITY INSTALLATION OPERATIONS.

PHASE 4: FINISH GRADING, CURB AND PAVEMENT INSTALLATION, LANDSCAPING -THIS IS THE WRAP-UP STAGE WHEN ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES WILL BE PHASED OUT. THE FOLLOWING WILL APPLY TO THIS

NECESSARY, AND REMOVED WHEN APPROPRIATE.

- 1. ALL FACILITIES FROM PHASE 1 THROUGH PHASE 4 WILL BE MAINTAINED,
- MODIFIED, OR REMOVED WHEN APPROPRIATE. 2. SILT TRAPS AROUND DRAINAGE INLETS WILL BE MAINTAINED, MODIFIED AS
- 3. ALL AREAS NOT RECEIVING PAVEMENT OR BUILDINGS SHALL HAVE FOUR INCHES (4") OF TOPSOIL SPREAD OVER THE AREA AND GRASSED, OR HAVE LANDSCAPING, MULCHING AND/OR SOD INSTALLED PER THE PLANS. 4. CONTRACTOR MAY TEMPORARILY COVER SOME AREAS WITH 2岁 "THICK GRADED AGGREGATE IN LIEU OF GRASSING FOR TEMPORARY EROSION

E. LANDSCAPING / SEEDING

REFER TO LANDSCAPING PLAN FOR ACTUAL REQUIREMENTS FOR THE INSTALLATION OF LIME, FERTILIZER, SEED, AND MULCH. GRASSING OPERATIONS SHALL BE COMPLETED THROUGHOUT CONSTRUCTION PROCESS AT THOSE TIMES WHEN PORTIONS OF THE SITE ARE FINISHED AND READY FOR PERMANENT GROUND COVER. THIS WILL REQUIRE MULTIPLE EFFORTS BY THE GRASSING SUBCONTRACTOR TO STABILIZE ALL IMPACTED AREAS OF THE SITE IN AN ORDERLY FASHION. NO AREA OF THE SITE THAT RECEIVES FINAL GRADE SHALL BE LEFT FOR MORE THAN SEVEN (7) DAYS WITHOUT THE APPLICATION OF SEED AND MULCH.

F. INSPECTION AND MAINTENANCE INSTRUCTIONS: THE FOLLOWING WILL APPLY TO MAINTAINING EROSION AND SEDIMENT CONTROL FACILITIES

- 1. ALL EROSION AND SEDIMENT CONTROL FACILITIES SHALL BE INSPECTED REGULARLY TO ENSURE THEY ARE EFFECTIVE IN THE EVENT OF RAINFALL. MEASURES SHALL BE INSPECTED ONCE A WEEK (MINIMUM) AND WITHIN TWENTY-FOUR (24) HOURS AFTER EACH RAINFALL EVENT. ANY DAMAGED OR NONFUNCTIONAL FACILITY SHALL BE REPAIRED OR REPLACED IMMEDIATELY. WEEKLY INSPECTION REPORTS SHALL BE KEPT ON FILE IN THE CONSTRUCTION
- 2. SEDIMENT TRAPS SHALL BE CHECKED REGULARLY FOR SEDIMENT CLEANOUT. SEDIMENT SHALL BE REMOVED AND THE TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF (1/2) THE DESIGN VOLUME OF THE WET STORAGE. SEDIMENT REMOVED FROM THE TRAP SHALL BE DEPOSITED IN SUITABLE AREAS AND IN SUCH A MANNER THAT IT WILL NOT ERODE AND CAUSE CONTINUED SEDIMENTATION PROBLEMS.
- 3. GRAVEL OUTLETS AND CHECK DAMS SHALL BE INSPECTED REGULARLY FOR SEDIMENT BUILDUP WHICH WILL PREVENT DRAINAGE. IF THE GRAVEL IS OBSTRUCTED BY SEDIMENT, IT SHALL BE REMOVED AND CLEANED OR
- 4. SILT FENCE BARRIERS SHALL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES ONE-THIRD THE HEIGHT OF THE BARRIER. 5. SEEDED AREAS SHALL BE CHECKED REGULARLY TO ENSURE A GOOD STAND
- IS MAINTAINED. AREAS SHOULD BE FERTILIZED AND RE-SEEDED AS 6. IF ANY FACILITY IS DAMAGED DURING MAINTENANCE, OR OTHERWISE, THE
- DAMAGED PORTION SHALL BE REMOVED AND REPLACED ACCORDING TO THE 7. IF SILT HAS OBSTRUCTED THE SEDIMENT CONTROL FACILITY TO THE POINT OF ELIMINATING ALL FILTERING EFFECTIVENESS, THE STRUCTURE SHALL BE REMOVED AND REPLACED WITH A NEW STRUCTURE IN ACCORDANCE WITH THE
- ASSOCIATED DETAIL 8. CONSTRUCTION STAGING AREA SHALL HAVE ADDITIONAL STONE ADDED AS MUD COVERS STONE. UNDER WET SOIL CONDITIONS, TIRES SHALL BE WASHED PRIOR TO ENTERING A PAVED ROADWAY.

MAINTAINING EFFECTIVENESS:

MISCELLANEOUS ISSUES

APPROVED MANNER.

CONTRACTOR SHALL INSPECT OVERALL PERFORMANCE OF EROSION AND SEDIMENT CONTROL FACILITIES AND AREAS DOWNSTREAM. IF SILT IS APPARENT DOWNSTREAM FROM STRUCTURES, SOME FAILURE HAS OCCURRED. IF SEDIMENT IS OBSERVED DOWNSTREAM NOTIFY THE CIVIL ENGINEER THE CIVIL ENGINEER WILL INSPECT THE CONDITION AND AFTER INSPECTION, DIRECT THE REMOVAL OF ACCUMULATED SEDIMENT DOWNSTREAM AND ADD ADDITIONAL STRUCTURAL MEASURES AS NECESSARY. CONTRACTOR SHALL IMPLEMENT RECOMMENDED SOLUTIONS TO PROBLEM AREAS AS RECOMMENDED.

III. COMPLETION

THE FOLLOWING SHALL BE DONE AT THE END OF THE PROJECT

1. INSPECT SITE TO ENSURE THAT GROUND COVER IS COMPLETE AND ADEQUATE. ALL AREAS SHOULD BE EITHER PAVED OR HAVE SUFFICIENT GROUND COVER (MINIMUM 80% VEGETATIVE COVER) WITH NO APPARENT EROSION.

2. WHEN GROUND COVER INSPECTION IS MADE AND APPROVED, ALL

- STRUCTURAL EROSION CONTROL FACILITIES MAY BE REMOVED ALONG WITH ANY ACCUMULATED SILT AND DEBRIS. AREAS DISTURBED BY STRUCTURE REMOVAL SHALL BE FINE GRADED, GRASSED, AND MULCHED AS REQUIRED. 3. IF GROUND COVER INSPECTION IS MADE AND PROBLEMS DISCOVERED,
- PERFORM APPROPRIATE REPAIR MEASURES AND RE-INSPECT PRIOR TO STRUCTURE REMOVAL. 4. ALL CONSTRUCTED AND EXISTING STORM SEWERS SHALL BE INSPECTED UPON REMOVAL OF INLET PROTECTION. STRUCTURES CONTAINING SEDIMENT AND /
- OR CONSTRUCTION DEBRIS SHALL BE VACUUM CLEANED PRIOR TO FILING NOTICE OF TERMINATION WITH ENVIRONMENTAL PROTECTION AGENCY.
- 1. NO FUEL OR OIL SHALL BE STORED ON SITE WITHOUT PROPER CONTAINMENT. 2. NO OILS OR GAS SHALL BE DUMPED ON SITE. 3. LOCATION OF TRAILER AND PORTABLE RESTROOM FACILITY SHALL BE

FIELD-DETERMINED TO AVOID CONSTRUCTION ACTIVITIES. LOCATION SHALL

- CHANGE DURING CONSTRUCTION AS NECESSARY 4. DE-WATERING OPERATIONS ARE NOT REQUIRED ON THIS PROJECT. IF REQUIRED, PUMPED GROUND WATER SHALL BE ROUTED THROUGH SILT CONTROL FACILITY TO FILTER WATER PRIOR TO DISCHARGE.
- 5. PROJECT SITE SHALL BE KEPT CLEAR OF ALL TRASH AND CONSTRUCTION DEBRIS. CONTRACTOR SHALL HAVE TRASH COLLECTED WEEKLY AND PLACED IN DUMPSTER TO BE HAULED OFF-SITE.
- 6. ALL WATER SUPPLY WILL BE PROVIDED FROM PUBLIC WATER SUPPLY. 7. ALL HUMAN WASTE SHALL BE IN PORTABLE RESTROOM FACILITY OR IN TOILET CONNECTED TO PUBLIC SEWER SYSTEM. WASTES SHALL BE DISPOSED OF BY A LICENSED VENDOR OR IN A PUBLIC SANITARY SEWER SYSTEM. 8. ANY SPILLED OIL, GAS, ETC. RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE CONTAINED AND CLEANED IMMEDIATELY. CONTAMINATED SOILS
- SHALL BE DISPOSED OF IN AN APPROVED MANNER AT A LICENSED LANDFILL. 9. DUST SUPPRESSION OPERATIONS SHALL BE PERFORMED BY MEANS OF A WATER TRUCK DISTRIBUTING A FINE MIST OF WATER ON THE SITE SURFACE. CONCENTRATED STREAMS OF WATER SPRAY SHOULD BE AVOIDED. 10. A DESIGNATED CONCRETE SPOILS AREA SHALL BE IDENTIFIED ON THE SITE. ALL AFFECTED SOILS AND CONCRETE SPOILS IN THIS AREA SHALL BE REMOVED FROM THE SITE UPON COMPLETION OF CONCRETE PLACEMENT
- ACTIVITIES. 11. ANY NON-STORM DISCHARGES SUCH AS, BUT NOT LIMITED TO, FIRE HYDRANT FLUSHINGS, WASH WATERS, DUST CONTROL, IRRIGATION DRAINAGE, ETC., THAT DO NOT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ALLOWING SEDIMENT TRANSPORT INTO STORM SEWERS. FLUSHINGS THAT CONTAIN HAZARDOUS MATERIALS SHALL BE PREVENTED FROM ENTERING THE STORM SEWERS AND SHALL BE COLLECTED AND DISPOSED OF IN AN

YANG CONSULTING GROUP **ARCHITECTURE**

ENGINEERING

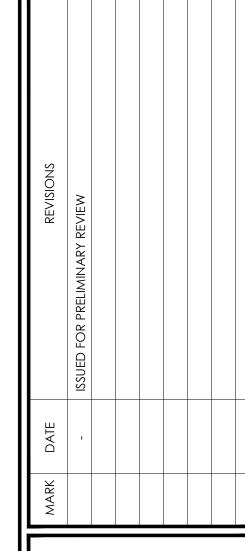
YANG CONSULTING GROUP 490 Post Street, Suite 406 San Francisco, CA. 94102 Ph. 510.730.2080 andrew@ycg-inc.com Andrew Yana, PE QSD

PRINCIPAL CIVIL ENGINEER



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1/31/2020



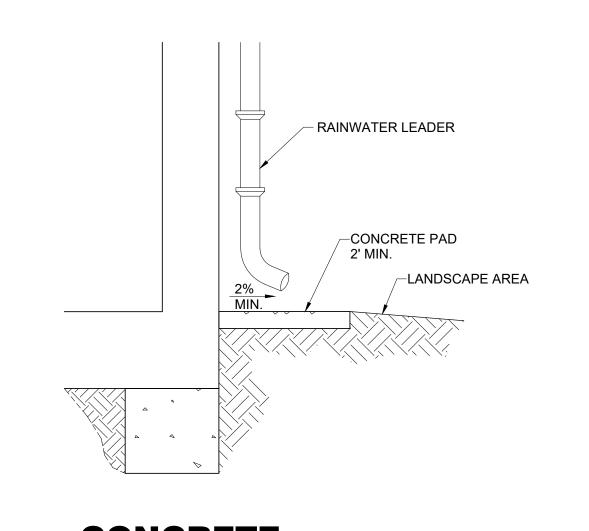
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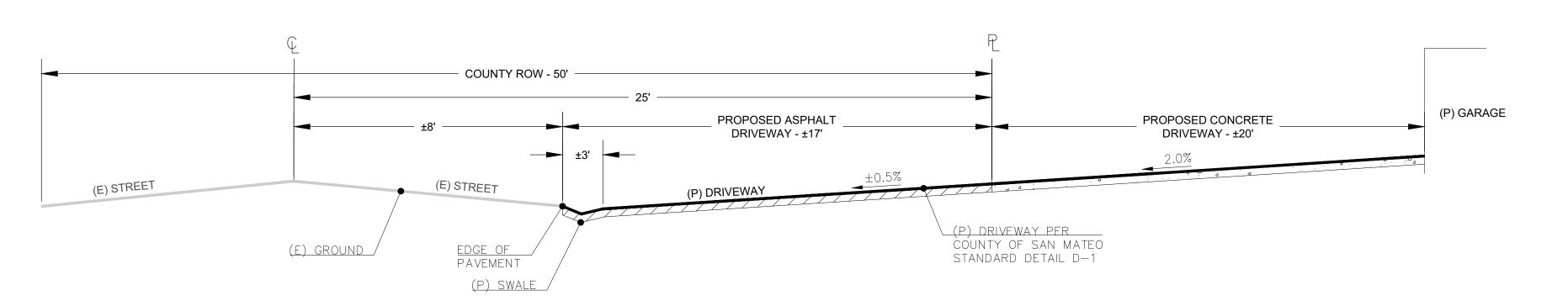
Project Number

Sheet Name

EROSION CONTROL PLAN

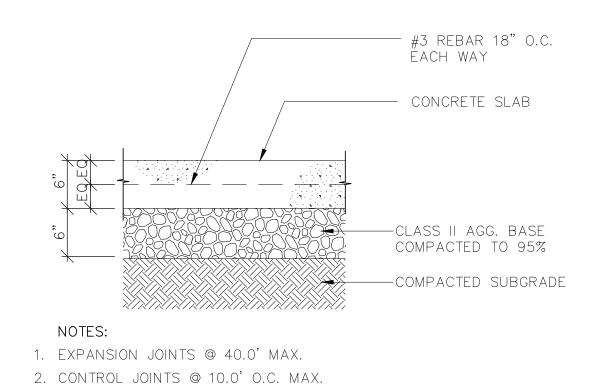
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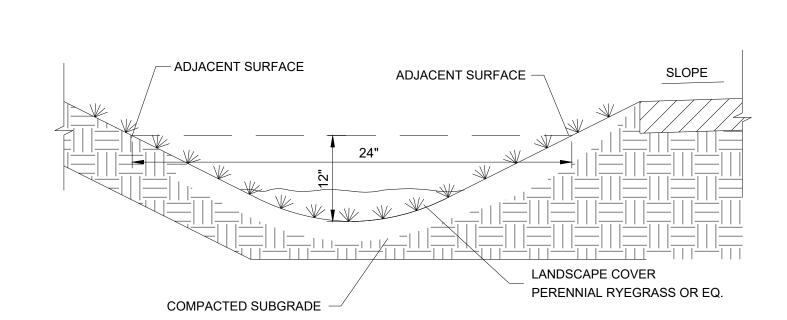




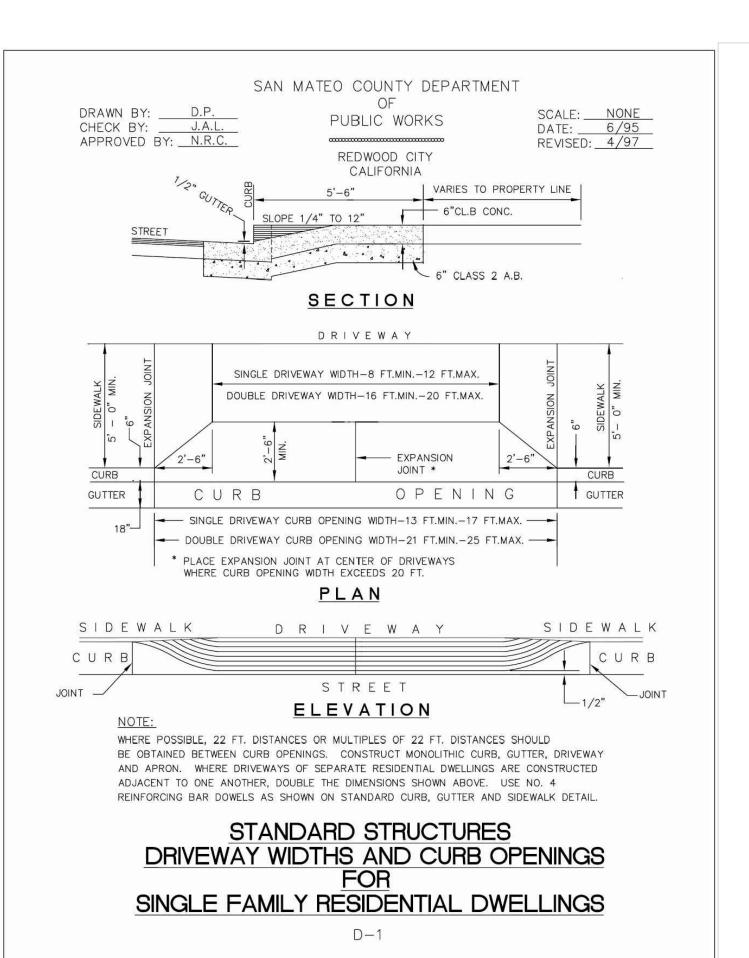


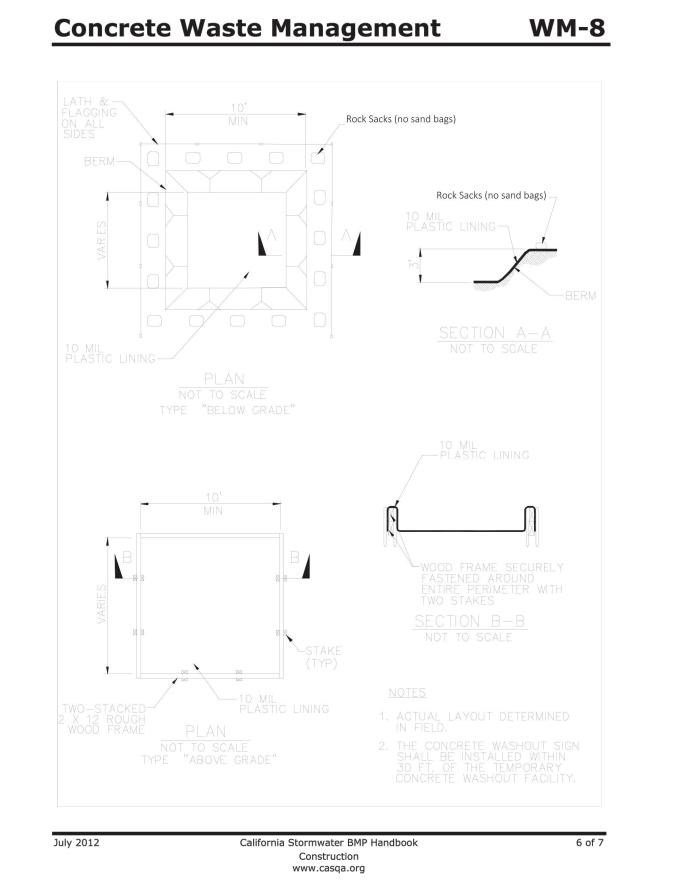


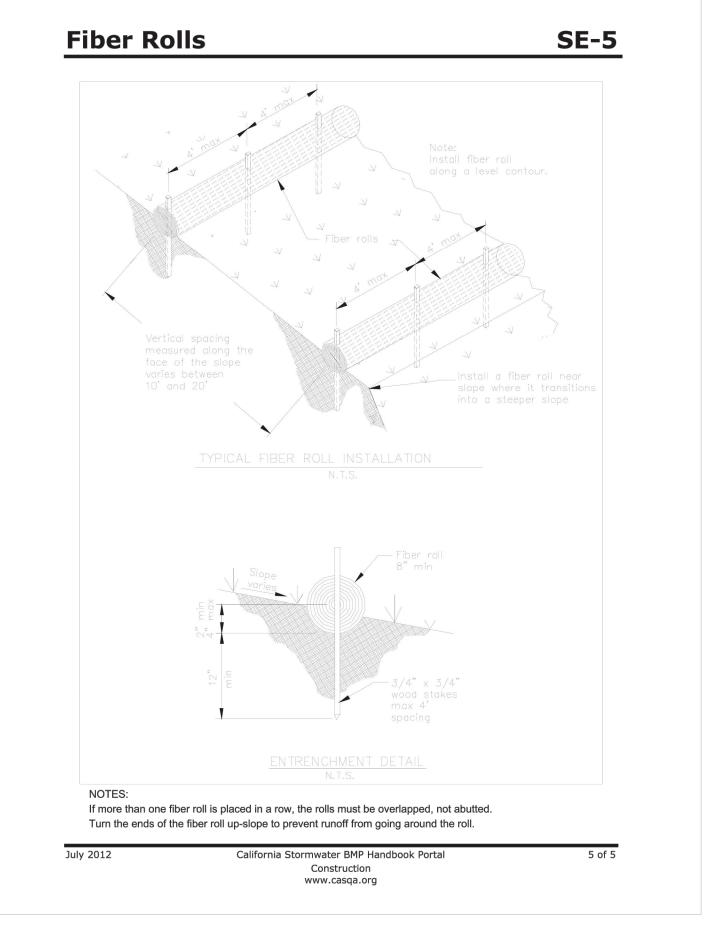
DRIVEWAY APPROACH PAVING SCALE: N.T.S.

















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1/29/2020

MARK DATE REVISIONS
- ISSUED FOR PRELIMINARY REVIEW

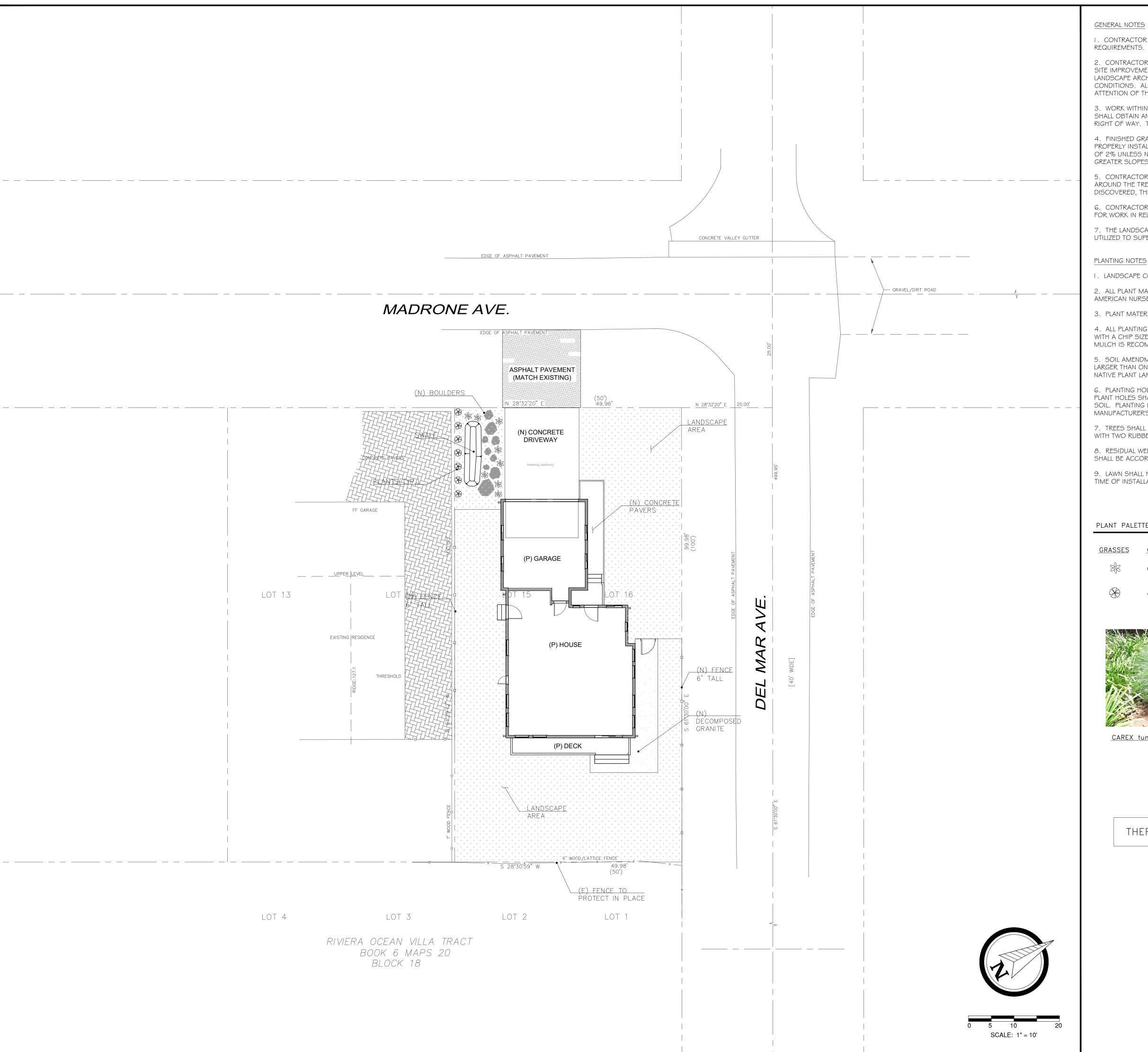
NEW CONSTRUCTION FOR:
Helen Sattelmayer Residence
Madrone Ave./ Del Mar Ave.
Moss Beach, CA 94038
APN: 037-277-160

Project Number

Sheet Name

DETAILS

Sheet Number



I. CONTRACTOR SHALL OBTAIN ALL PERMITS NECESSARY TO COMPLETE PROPOSED WORK PER CITY

2. CONTRACTOR SHALL VERIFY ON SITE ALL GRADES, PROPERTY LINES, EASEMENTS, SETBACKS, UTILITIES, SITE IMPROVEMENTS, WATERPROOFING AND UNDERGROUND PIPING BEFORE CONSTRUCTION BEGINS. THE LANDSCAPE ARCHITECT ASSUMES NO LIABILITY FOR DISCREPANCIES BETWEEN THE PLANS AND ACTUAL FIELD CONDITIONS. ALL DISCREPANCIES OR PROBLEMATIC SITE CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.

3. WORK WITHIN THE RIGHT OF WAY IS SUBJECT TO INSPECTION AND APPROVAL BY THE CITY. CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM PUBLIC WORKS DEPARTMENT PRIOR TO WORK WITHIN THE RIGHT OF WAY. THIS WORK MAY INCLUDE LANDSCAPING IN THE RIGHT OF WAY.

4. FINISHED GRADES SHALL PROVIDE POSITIVE DRAINAGE AWAY FROM STRUCTURES AND SHALL BE PROPERLY INSTALLED TO PREVENT ANY STANDING WATER. ALL HARDSCAPE SHALL HAVE A MINIMUM GRADE OF 2% UNLESS NOTED OTHERWISE. JUTE MESH EROSION CONTROL NETTING SHALL BE USED ON ALL 3:1 OR GREATER SLOPES & STAKED APPROPRIATELY.

5. CONTRACTOR SHALL PROVIDE PROTECTION FOR EXISTING TREES BY INSTALLING TEMPORARY FENCING AROUND THE TREES AS CLOSE AS POSSIBLE TO THE DRIPLINE. IN THE EVENT THAT TREE ROOTS OVER 6" ARE DISCOVERED, THE LANDSCAPE ARCHITECT SHOULD BE CONTACTED.

6. CONTRACTOR SHALL REFER TO ARCHITECTURAL, CIVIL, \$ OTHER ENGINEERING DRAWINGS / DOCUMENTS FOR WORK IN RELEVANT AREAS.

7. THE LANDSCAPE ARCHITECT MAY MAKE SITE OBSERVATIONS DURING CONSTRUCTION BUT SHALL NOT BE UTILIZED TO SUPERVISE CONSTRUCTION ONSITE.

I. LANDSCAPE CONTRACTOR SHALL VERIFY PLANT AND SOD QUANTITIES PRIOR TO SUBMITTING BID FOR WORK

2. ALL PLANT MATERIAL SHALL COMPLY WITH THE LATEST STANDARDS OF NURSERY STOCK, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.

3. PLANT MATERIAL CANNOT BE GUARANTEED AS DEER RESISTANT DUE TO CHANGING HABITS OF DEER.

4. ALL PLANTING AREAS SHALL BE COVERED WITH A LAYER OF BARK MULCH TO A MINIMUM DEPTH OF 2 INCHES WITH A CHIP SIZE OF NO LESS THAN ONE INCH. A 2 INCH LAYER OF GREENWASTE MULCH UNDER THE BARK MULCH IS RECOMMENDED.

5. SOIL AMENDMENTS SHALL BE USED AS NECESSARY. SOIL AMENDMENT SHALL BE FREE OF DEBRIS. ROCKS LARGER THAN ONE INCH DIAMETER WILL NOT BE PERMITTED. SOIL AMENDMENTS ARE NOT PERMITTED IN TYPICAL NATIVE PLANT LANDSCAPE AREAS.

6. PLANTING HOLES SHALL GENERALLY BE 2x - 3x THE SIZE OF THE ROOT BALL. THE WALLS AND BASES OF PLANT HOLES SHALL BE SCARIFIED. HOLES SHALL BE BACKFILLED WITH 5% ORGANIC COMPOST # 95% EXISTIN SOIL. PLANTING HOLES OF NATIVE PLANT MATERIAL SHOULD BE INOCULATED WITH MYCORRHIZAL FUNGI, PER MANUFACTURER'S SPECS.

7. TREES SHALL BE STAKED WITH TWO PRESSURE TREATED 2" DIA. POLES. TREE TRUNK SHALL BE SECURED WITH TWO RUBBER TIES OR STRAPS FORMING A FIGURE-EIGHT BETWEEN TRUNK AND STAKE.

8. RESIDUAL WEED PRE-EMERGENT SHALL BE APPLIED BY THE CONTRACTOR AS NECESSARY. APPLICATION SHALL BE ACCORDING TO MANUFACTURER'S INSTRUCTIONS.

9. LAWN SHALL NOT BE INSTALLED ON SLOPES GREATER THAN 25%. ALL TURF AREAS SHALL BE FERTILIZED AT TIME OF INSTALLATION.

PLANT PALETTE

BOTANICAL NAME / COMMON NAME <u>QTY</u> CAR tum CAREX tumulicola / BERKELEY SEDGE 1 GAL ±8 ARC rey ARCTOSTAPHYLOS uva-ursi 'POINT 1 GAL ± 7 REYES' / KINNIKINNICK



CAREX tumulicola / BERKELEY SEDGE



ARCTOSTAPHYLOS uva-ursi 'POINT REYES' / KINNIKINNICK

THERE WILL BE NO IRRIGATION

Consulting ARCHITECTURE

ENGINEERING YANG CONSULTING GROUP 490 Post Street, Suite 406 San Francisco, CA. 94102 Ph. 510.730.2080 andrew@ycg-inc.com Andrew Yang, PE QSD PRINCIPAL CIVIL ENGINEER



270 E. DOUGLAS AVENUE EL CAJON, CA 92020

1/29/2020

NEW CONSTRUCTION FOR: Helen Sattelmayer Residence

Project Number

Sheet Name

LANDSCAPE PLAN