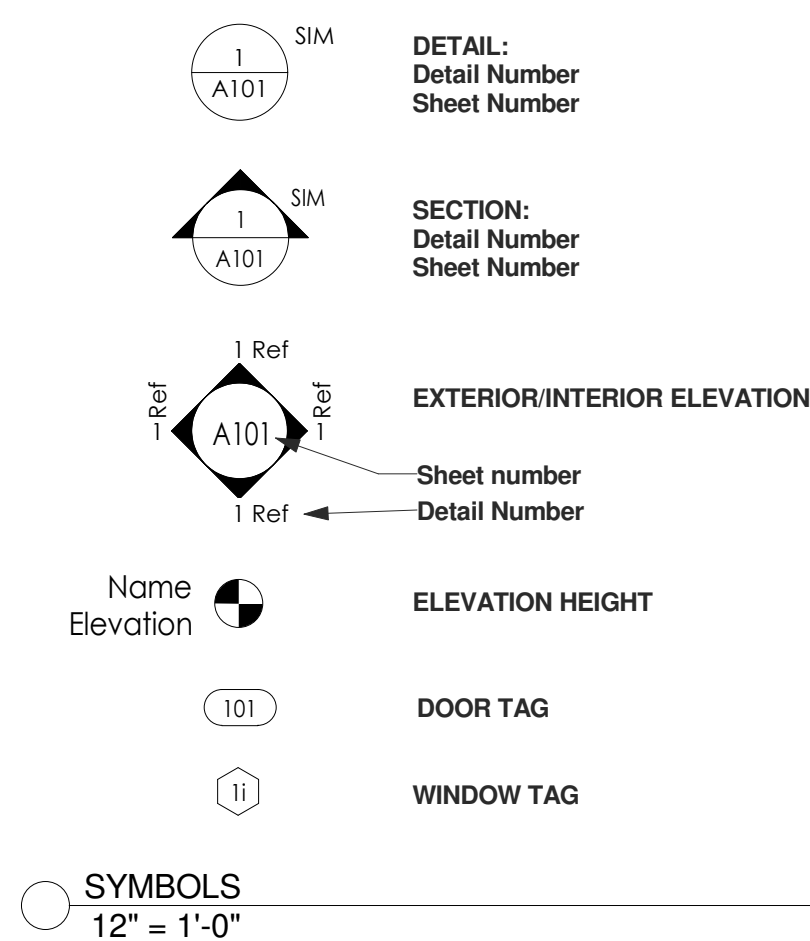


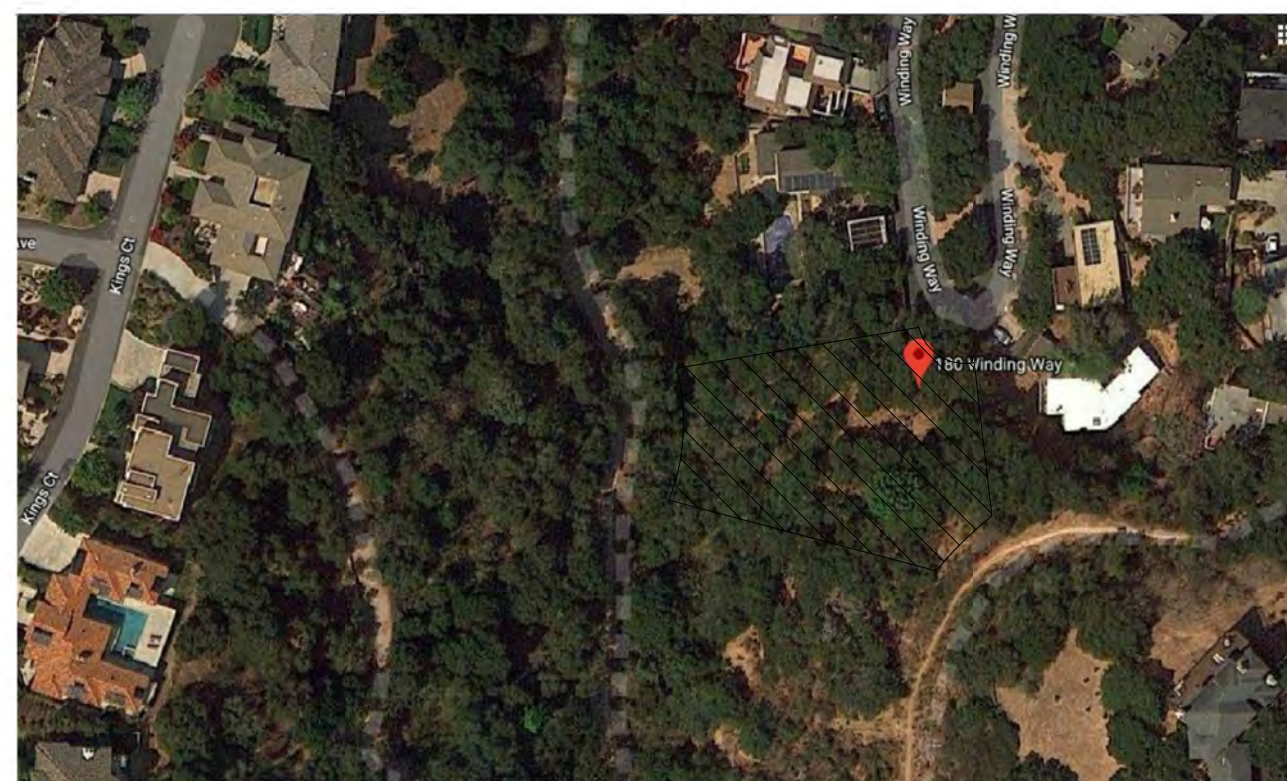
**ABBREVIATIONS:**

&	AND	HR	HOOR
<	ANGLE	LD.	INSIDE DIAMETER
@	AT	INSUL	INSULATION
AB	ANCHOR BOLT	INT	INTERIOR
ABV	ABOVE	JAN	JANITOR
ACOUS	ACOUSTICAL	KIT	KITCHEN
AD	AREA DRAIN	LAM	LAMINATE
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISH FLOOR	LBS	POUNDS
AGGR	AGGREGATE	LTG	LIGHTING
ALT	ALTERNATE	M.D.F.	MEDIUM DENSITY FIBERBOARD
ALUM	ALUMINUM	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECT	MECH	MECHANICAL
ASPH	ASPHALT	MFR	MANUFACTURER
B	BATHROOM	MH	MANHOLE
B.O.	BOTTOM OF	MIN	MINIMUM
B.U.	BUILT UP	MISC	MISCELLANEOUS
BD	BOARD	MTD	MOUNTED
BITUM	BITUMINOUS	MTL	METAL
BLDG	BUILDING	MUL	MULLION
BLK	BLOCKING	N	NEW
BM	BEAM	N	NORTH
BR	BEDROOM	N.L.C.	NOT IN CONTRACT
BTM	BOTTOM	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN	NO	NUMBER
C.G.	CORNER GUARD	NOM	NOMINAL
C.H.	CEILING HEIGHT	O.C.	ON CENTER
C.I.	CAST IRON	O.D.	OUTSIDE DIAMETER
C.J.	CONTROL JOINT	OFF	OFFICE
C.M.U.	CONCRETE MASONRY UNIT	OPER	OPERABLE
C.O.	CLEAN OUT	OPNG	OPENING
C.T.	CERAMIC TILE	OPP	OPPOSITE
C.W.	COLD WATER	P.LAM.	PLASTIC LAMINATE
CAB	CABINET	P.T.	PRESSURE TREATED
CARP	CARPET	PAV	PAVING
CHAN	CHANNEL	PERF	PERFORATED
CL	CENTER LINE	PERP	PERPENDICULAR
CLG	CEILING	PL	PLATE
CLKG	CAULKING	PL	PROPERTY LINE
CLO	CLOSET	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
COL	COLUMN	PROP	PROPERTY
CONC	CONCRETE	PT	PAINT
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CTR	CENTER	QTY	QUANTITY
D.F.	DRINKING FOUNTAIN	R	RISER
DET	DETAIL	R.C.	RESILIENT CHANNEL
DH	DOUBLE HUNG	R.C.P	REFLECTED CEILING PLAN
DIA	DIAMETER	R.D.	ROOF DRAIN
DIM	DIMENSION	R.O.	ROUGH OPENING
DISP	DISPENSER	R.W.L	RAIN WATER LEADER
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	REF	REFERENCE
DWG(S)	DRAWING(S)	REFR	REFRIGERATOR
E	EXISTING	REINF	REINFORCED
E.F.	EXHAUST FAN	REQD	REQUIRED
E.J.	EXPANSION JOINT	REV	REVISION
EL	ELEVATION	RGTR	REGISTER
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATOR	RWD	REDWOOD
EMER	EMERGENCY	S	SOUTH
ENG	ENGINEER	S.C.	SOLID CORE
EO	EQUAL	S.E.D	SEE ELECTRICAL DWGS
EQPT	EQUIPMENT	S.J	SEISMIC JOINT
EXT	EXTERIOR	S.S.	STAINLESS STEEL
F.A.	FIRE ALARM	S.S.D	SEE STRUCTURAL DWGS
F.C.O.	FLOOR CLEAN OUT	SCHED	SCHEDULE
F.D.	FLOOR DRAIN	SECT	SECTION
F.E.	FIRE EXTINGUISHER	SHGT	SHEATHING
F.E.C.	FIRE EXTINGUISHER CABINET	SHT	SHEET
F.&E	FURNITURE, FIXTURES AND EQUIPMENT	SIM	SIMILAR
F.F.	FINISH FLOOR	SL	SKY LIGHT
F.O.	FACE OF	SPEC	SPECIFICATION
F.S.	FIRE SPRINKLER	SQ	SQUARE
FIN	FINISH	STD	STANDARD
FIXT	FIXTURE	STL	STEEL
FLR	FLOOR	STOR	STORAGE
FND	FOUNDATION	STRUC	STRUCTURAL
FPRF	FIREPROOF	SUSP	SUSPENDED
FR	FRAME	T	TREAD
FT	FOOT OR FEET	T.O.	TOP OF
FTG	FOOTING	T.O.P.	TOP OF PLATE
G.B.	GRAB BAR	T.O.S.	TOP OF SLAB
GA	Gauge	T.O.W.	TOP OF WALL
GALV	GALVANIZED	TEL	TELEPHONE
GFI	GROUND FAULT INTERRUPTER	TEMP	TEMPERED
GL	GLASS	THK	THICK
GND	GROUND	TYP	TYPICAL
GYP. BD.	GYPSPUM BOARD	U.O.N.	UNLESS OTHERWISE NOTED
H.B.	HOSE BIB	UNF	UNFINISHED
H.C.	HOLLOW CORE	UR	URINAL
H.M.	HOLLOW METAL	V.C.T	VINYL COMPOSITION TILE
H.R.	HAND RAIL	VAR	VARIES
H.W.	HOT WATER	W	WEST
HDR	HEADER	W.C.	WATER CLOSET
HGT	HEIGHT	W.G.	WATER GLASS
		W.M.	WALL MOUNT
		W.O.	WHERE OCCURS
		W.R.	WATER RESISTANT
		W.W.F	WIRE WELDED FABRIC
		W.W.M	WOVEN WIRE MESH
		WD	WASHER / DRYER
		WO	WITHOUT
		WD	WOOD
		WDW	WINDOW
		WP	WATERPROOFING
		WT	WEIGHT

**SYMBOLS:**



**AERIAL MAP**



**VICINITY MAP**



# 180 WINDING WAY



**PROJECT TEAM:**

**CLIENT:**  
NATE TEISMANN, VENITA CHANDRA  
4505 DAVEY GLEN ROAD  
BELMONT, CA 94002

**ARCHITECT:**  
EDIT  
120 MANOR DRIVE  
SAN FRANCISCO, CA 94127  
TEL: 415 359 7504  
EMAIL: JAMES@EDITARCH.COM

**CIVIL ENGINEER:**  
KOC ENGINEERING  
KEVIN O'CONNOR  
3401 LAWTON ST  
SAN FRANCISCO, CA 94122  
TEL: 415 286 3422  
EMAIL: KEVINO@KOCENGINEERING.COM

**PROJECT INFORMATION**

**TYPE:** SINGLE FAMILY RESIDENCE + SECONDARY DWELLING UNIT  
**DESCRIPTION:** 3 STORY, PLUS BASEMENT, HOME WITH SECONDARY DWELLING UNIT AND ATTACHED GARAGE. INCLUDES 6 BEDROOM ROOMS, 6 BATHROOMS AND 2 WATER CLOSETS.  
**APN:** 049-141-580  
**LOCAL JURISDICTION:** SAN MATEO COUNTY  
**SUBDIVISION:** DEVONSHIRE  
**OCCUPANCY CLASS:** R-3 SINGLE FAMILY CONSTRUCTION  
**BASE ZONING:** R-1 / S-71 / DR  
**CLIMATE ZONE:** 3A  
**WUI ZONE:** YES, CLASS A

**MATERIALS NOTES:**

BUILDING IS LOCATED IN AN LRA HIGH FIRE HASARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS, CBC 7A

**APPLICABLE CODES:**

2016 California Building Code  
2016 California Energy Code  
2016 California Plumbing Code  
2016 California Mechanical Code  
2016 California Electrical Code

With San Mateo County Amendments

**SAN MATEO COUNTY ZONING REGULATIONS ANALYSIS**

SECTION	REQUIRED	PROPOSED
6300.3.10 BUILDING SITE WIDTH	50 FEET	28,924 SQ. FT.
6300.3.20 BUILDING SITE AREA	5,000 SQ. FT. MIN.	1 UNIT/ACRE +
6300.3.30 DEVELOPMENT DENSITY	8.7 UNITS/ACRE	SECONDARY DWELLING UNIT
6300.3.40 BUILDING SETBACKS		
FRONT	20 FEET	20 FEET
SIDE	5 FEET	NORTH 35'-4", SOUTH 16'-5", EAST 54'-11"
REAR	20 FEET	76'-4"
6300.3.50 BUILDING SITE COVERAGE AREA RATIO	50% (14,462 SQ. FT.)	4,833 SQ FT, 16.7%
6300.3.60 BUILDING FLOOR AREA	4,100 SQ FT MAX	4,098 SQ FT
6300.3.90 BUILDING HEIGHT	30 FEET MAX	28 FEET

**SHEET LIST**

Sheet No.	Sheet Name
G010	Project Data
SV-1	Survey
C1	General
C2	Grading
C3	Sections
C4	Erosion Control
C5	Details
C6	Foundation Drainage
C6-1	Utility
C7	Utility
C8	BMP
L1	Landscape Plan
T1	Tree Protection Plan
A100	Site Plan
A101	Basement Floor Plan
A102	1st Floor Plan
A103	2nd Floor Plan
A104	3rd Floor Plan
A105	Roof Plan
A106	Building Area Calculations
A200	Elevations North
A201	Elevations West
A202	Elevations South
A203	Elevations East
A300	Longitudinal Section
A301	Lateral Sections

**BUILDING AREA CALCULATIONS**

AREA	(SQ FT)
BASEMENT	(706) SQ FT
1ST FLOOR	
...GARAGE	447 SQ FT
...SECONDARY DWELLING UNIT	1200 SQ FT
2ND FLOOR	2065 SQ FT
3RD FLOOR	786 SQ FT
TOTAL	4498 SQ FT
TOTAL BUILDING FLOOR AREA	4,098 SQ FT
BUILDING SITE COVERAGE	
PARKING PAD	585 SQ FT
1ST FLOOR DECK	730 SQ FT
2ND FLOOR ROOF DECK	955 SQ FT
2ND FLOOR AT ENTRY PATIO	1141 SQ FT
3RD FLOOR ROOF DECK	361 SQ FT
3RD FLOOR BUILDING AND ROOF AREA	1061 SQ FT
TOTAL	4,833 SQ FT

TEISMANN CHANDRA

180 WINDING WAY  
SAN CARLOS, CA 94070

BLOCK/LOT:Project Number

Rev	Description	Date
1	Revision 1	8/2/18
	Comments	

180 WINDING WAY

Date: 8/23/2018  
4:10:55 PM

Scale: As indicated

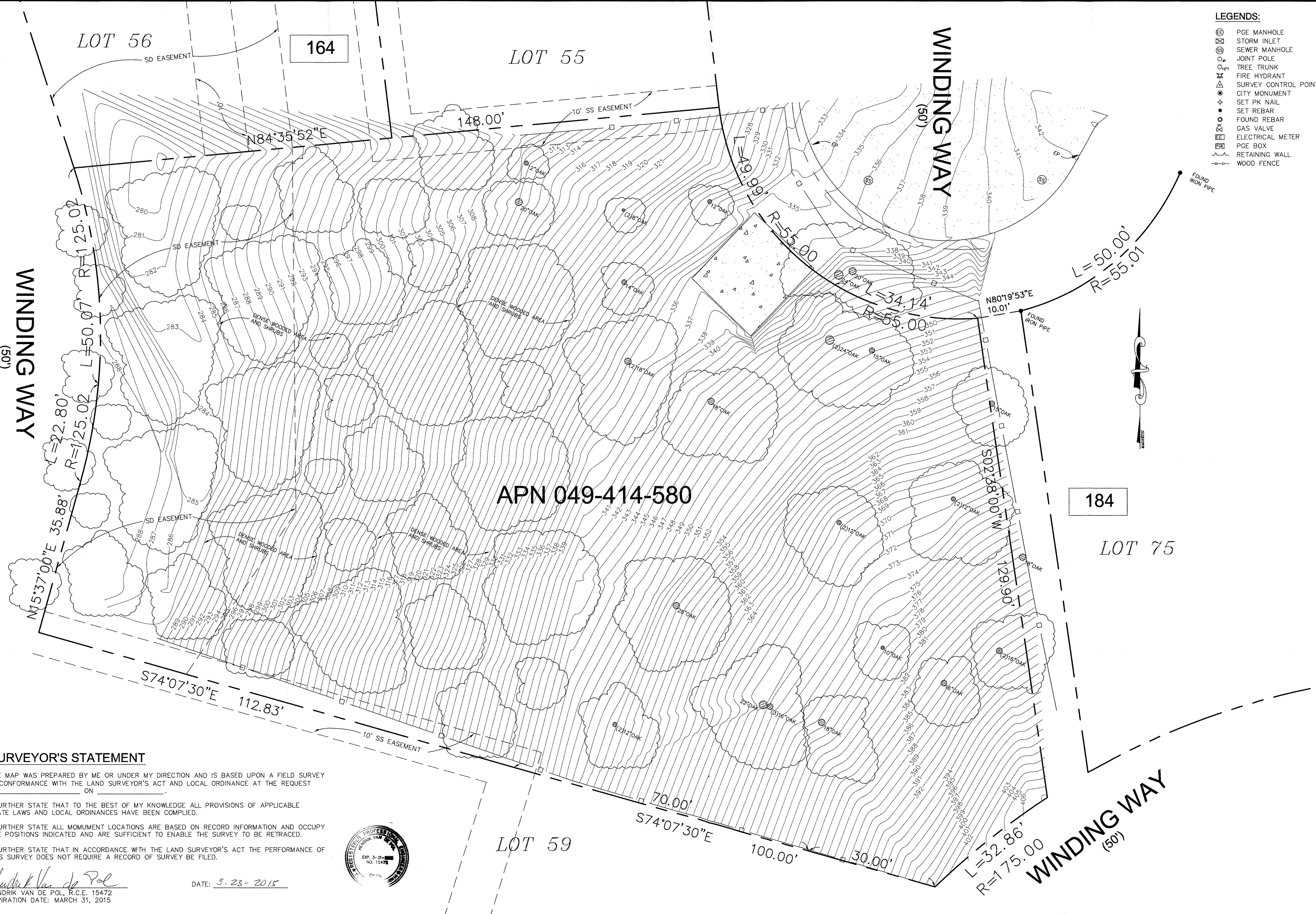
Sheet Title

Project Data

# G010



- LEGENDS:**
- ⊕ PGE MANHOLE
  - ⊗ STORM INLET
  - ⊙ SEWER MANHOLE
  - ⊕ JOINT POLE
  - ⊕ TREE TRUNK
  - ⊕ FIRE HYDRANT
  - ⊕ SURVEY CONTROL POINT
  - ⊕ CITY MONUMENT
  - ⊕ SET PK NAIL
  - ⊕ SET REBAR
  - ⊕ FOUND REBAR
  - ⊕ GAS VALVE
  - ⊕ ELECTRICAL METER
  - ⊕ PGE BOX
  - ⊕ RETAINING WALL
  - ⊕ WOOD FENCE



**SURVEYOR'S STATEMENT**

THE MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE LAND SURVEYOR'S ACT AND LOCAL ORDINANCE AT THE REQUEST OF \_\_\_\_\_ ON \_\_\_\_\_.

I FURTHER STATE THAT TO THE BEST OF MY KNOWLEDGE ALL PROVISIONS OF APPLICABLE STATE LAWS AND LOCAL ORDINANCES HAVE BEEN COMPLIED.

I FURTHER STATE ALL MONUMENT LOCATIONS ARE BASED ON RECORD INFORMATION AND OCCUPY THE POSITIONS INDICATED AND ARE SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

I FURTHER STATE THAT IN ACCORDANCE WITH THE LAND SURVEYOR'S ACT THE PERFORMANCE OF THIS SURVEY DOES NOT REQUIRE A RECORD OF SURVEY TO BE FILED.

*Hendrik Van de Pol*  
 HENDRIK VAN DE POL, R.C.E. 15472  
 EXPIRATION DATE: MARCH 31, 2015

DATE: 5-23-2015



NO.	REVISIONS / REMARKS	DATE	BY

RWF CONSULTING  
 205 LEE STREET  
 OAKLAND, CA 94610

JAMES HOM  
 180 WINDING WAY  
 SAN CARLOS, 94070

TOPOGRAPHIC  
 BOUNDARY SURVEY

Drawn by: SSF  
 DATE: 3-19-2015  
 SCALE: 1" = 10'

SV-1  
 SHEET: 1 OF 1





**EXCAVATION QUANTITIES:**  
 CUT = 759 CY  
 FILL = 156 CY  
 OFF-HAUL = 603 CY

**TOTAL AREA OF LAND DISTURBED DURING CONSTRUCTION = 0.18 ACRE**

**NOTES:**  
 1. FINAL LANDSCAPING SHALL HAVE NO CONFLICTS WITH STORMWATER MANAGEMENT FEATURES.  
 2. LANDSCAPING WITH DEEP ROOT SYSTEMS SHALL NOT BE PLACED ON STORMWATER IMPROVEMENTS UNLESS THEY ARE AN INTEGRAL PART OF THE STORMWATER POLLUTION PREVENTION MEASURES.

**GRADING PLAN**  
 1/8" = 1'-0"



DESIGNED K.O.C.	DATE 4/24/18	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122	TEL: 415-288-3442
DRAWN K.P.	4/24/18		FAX: 415-665-5252
CHECKED K.O.C.	4/24/18	TITLE NEW TERRACE HOUSE 180 WINDING WAY SAN CARLOS, CA 94070	
PROJECT NO. 2017-28	DRAWING NO. C2		REV.





EROSION POINT OF CONTACT  
 KEVIN O'CONNOR, PROJECT ENGINEER  
 KEVINO@KOCENGINEERING.COM  
 415-665-5223

NOTES:  
 1. ENCROACHMENT PERMIT REQUIRED FOR CONSTRUCTION ENTRANCE  
 2. CONTRACTOR TO PROVIDE TRAFFIC CONTROL PLAN

STRAW WATTLE, TYP. (2 C5) (2A C5)

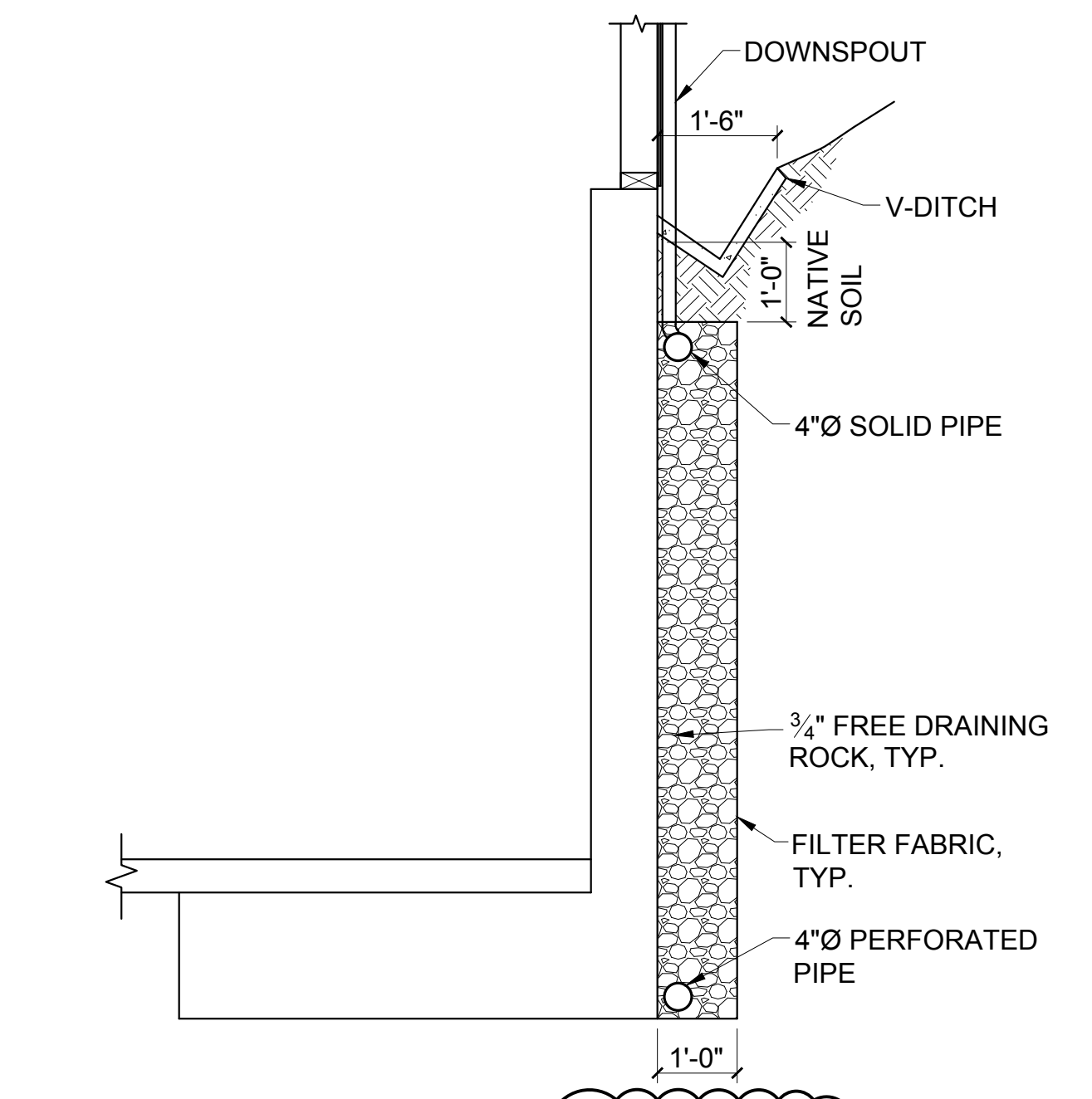
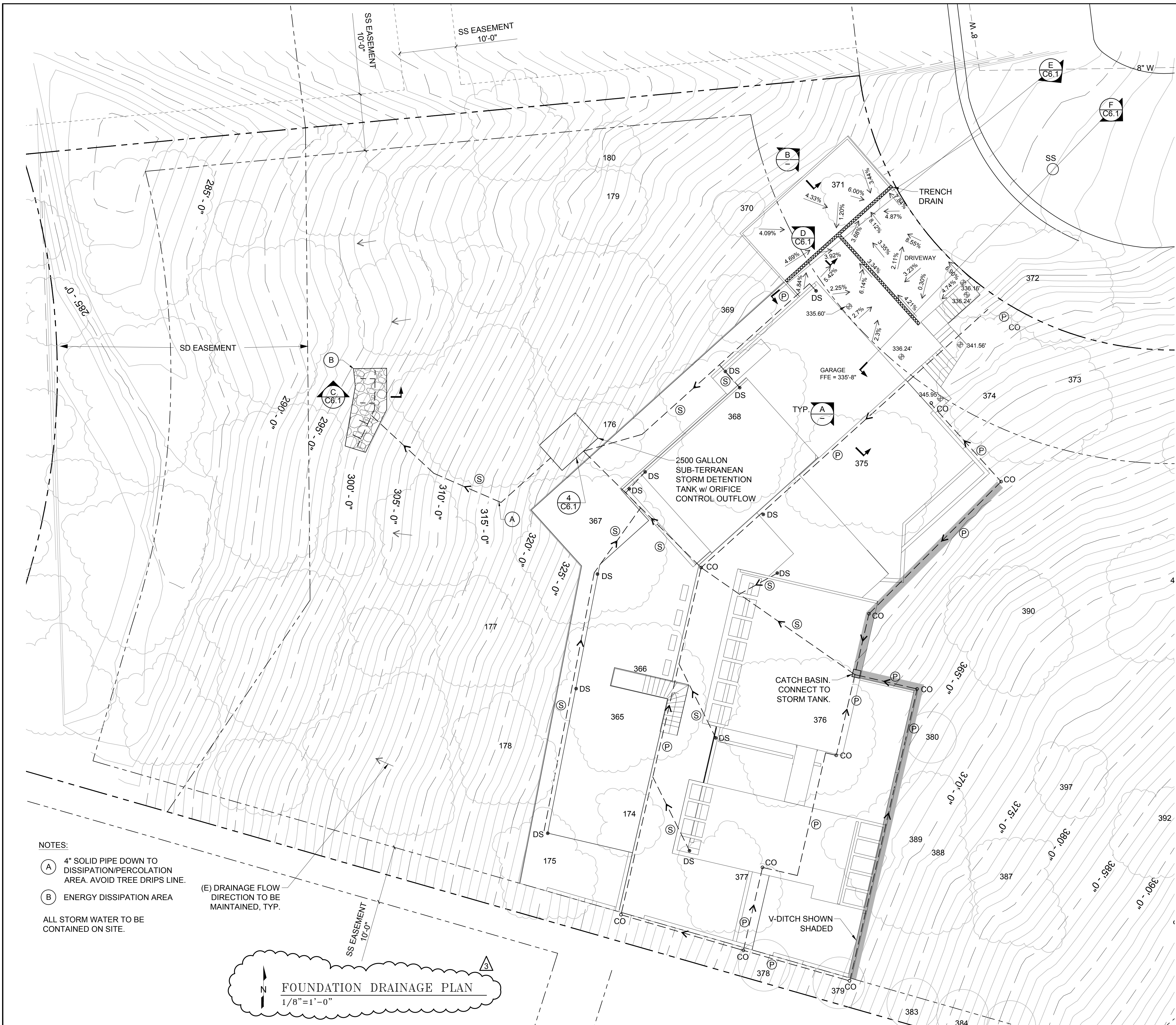
EROSION CONTROL PLAN  
 1/8"=1'-0"

PLAN CHECK RESPONSE 8/28/18

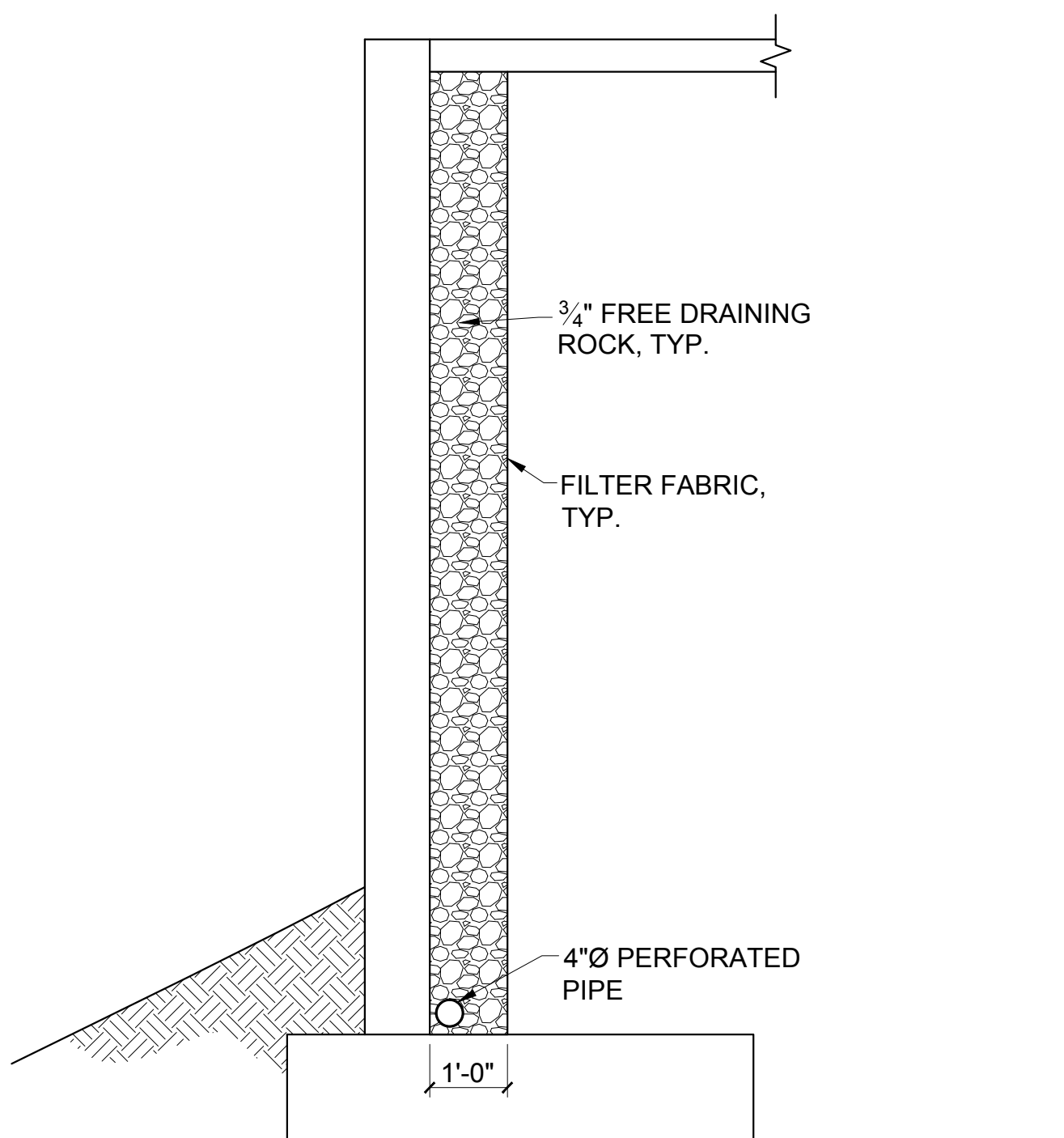


DESIGNED K.O.C.	DATE 4/24/18	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122	TEL: 415-288-3442 FAX: 415-665-5252 WWW.KOCENGINEERING.COM
DRAWN K.P.	DATE 4/24/18		
CHECKED K.O.C.	DATE 4/24/18	TITLE NEW TERRACE HOUSE 180 WINDING WAY SAN CARLOS, CA 94070	
PROJECT NO. 2017-28	DRAWING NO. C4	REV.	





SECTION A  
1/2" = 1'-0"



SECTION B  
1/2" = 1'-0"

- NOTES:
- (A) 4" SOLID PIPE DOWN TO DISSIPATION/PERCOLATION AREA. AVOID TREE DRIPS LINE.
  - (B) ENERGY DISSIPATION AREA
  - (E) DRAINAGE FLOW DIRECTION TO BE MAINTAINED, TYP.
- ALL STORM WATER TO BE CONTAINED ON SITE.

FOUNDATION DRAINAGE PLAN  
1/8" = 1'-0"



PLAN CHECK RESPONSE 8/28/18

DESIGNED K.O.C.	DATE 4/24/18	KEVIN O'CONNOR, INC. 3401 LAWTON STREET SAN CARLOS, CA 94122	TEL: 415-288-3442
DRAWN K.P.	DATE 4/24/18		FAX: 415-665-5252
CHECKED K.O.C.	DATE 4/24/18	TITLE NEW TERRACE HOUSE 180 WINDING WAY SAN CARLOS, CA 94070	WWW.KOCENGINEERING.COM
PROJECT NO. 2017-28	DRAWING NO. C6	REV.	

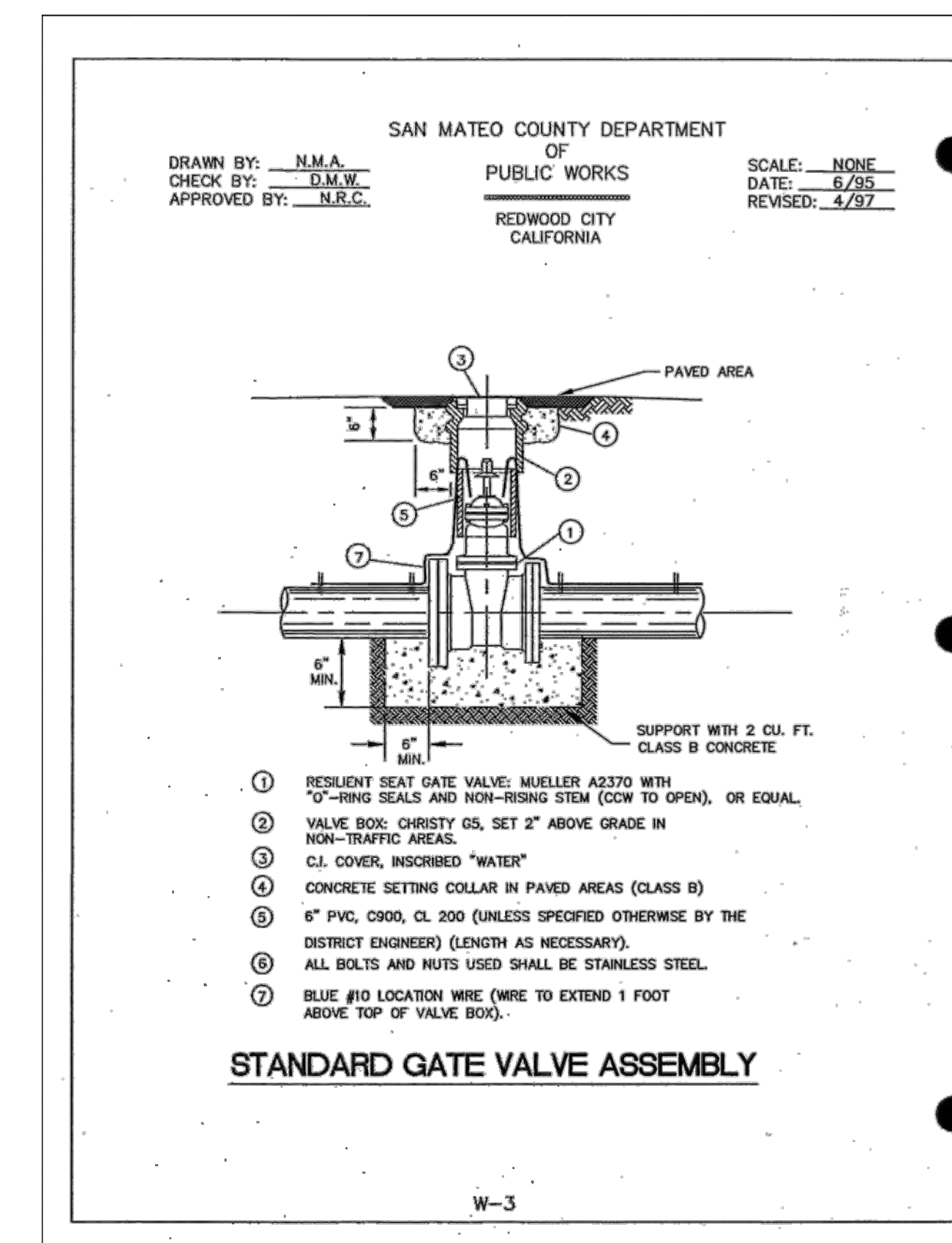
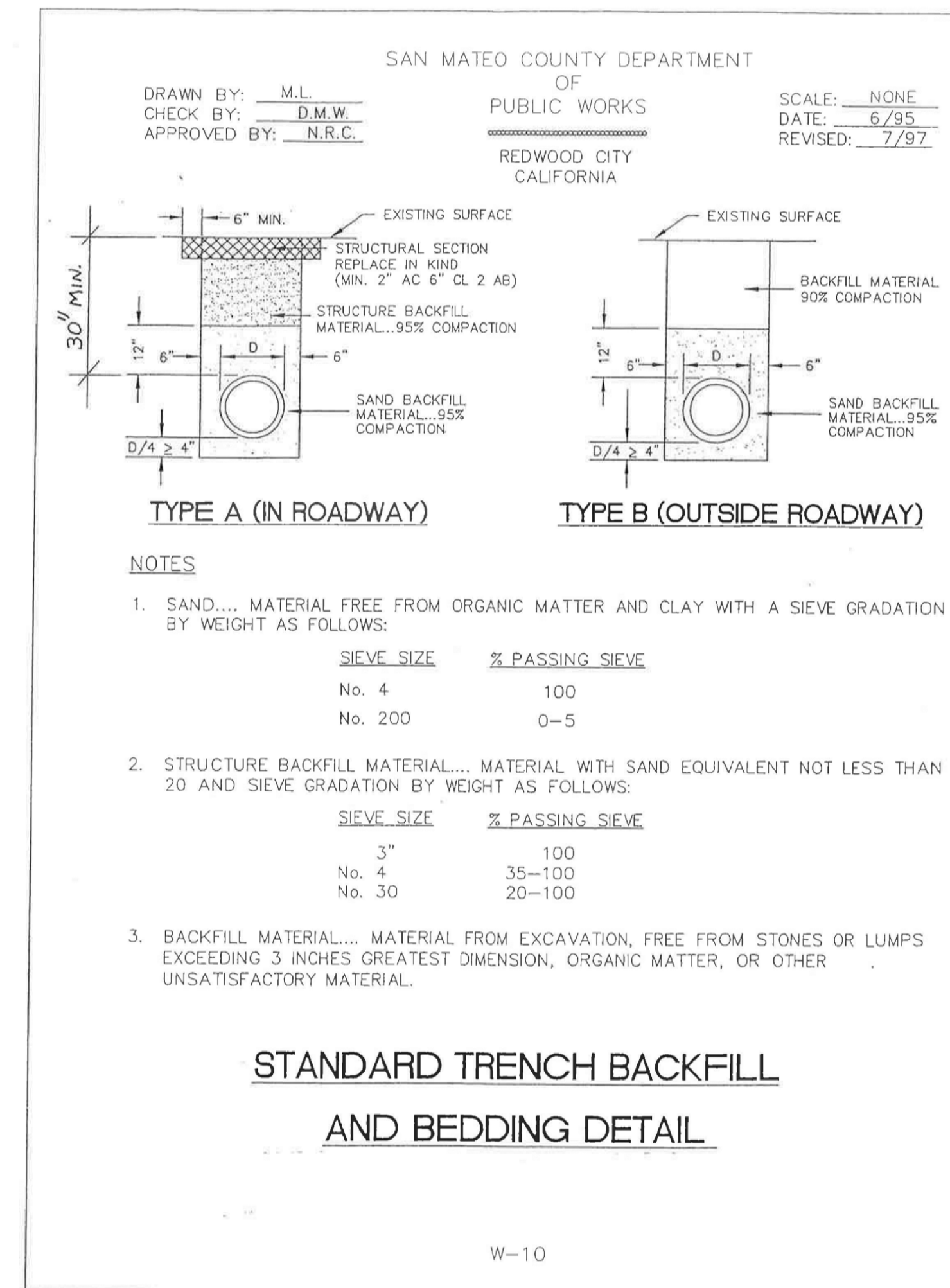




UTILITY PLAN  
1/8" = 1'-0"

NOTES:

- (A) NEW 4" POINT OF CONNECTION WITH BACKFLOW PREVENTOR, GATE VALVE, AND WATER METER PER SAN MATEO COUNTY WATER CONNECTION DETAIL 1/C6.1
- (B) NEW FIRE HYDRANT ASSEMBLY PER DETAIL 2/C6.1
- (C) INSTALL SANITARY SEWER CLEANOUT PER DETAIL 3/C6.1
- (D) INSTALL 4"Ø SANITARY SEWER PER DETAIL 4/C6.1
- (E) INSTALL GATE VALVE PER DETAIL 1/C7



DETAIL 1  
NTS



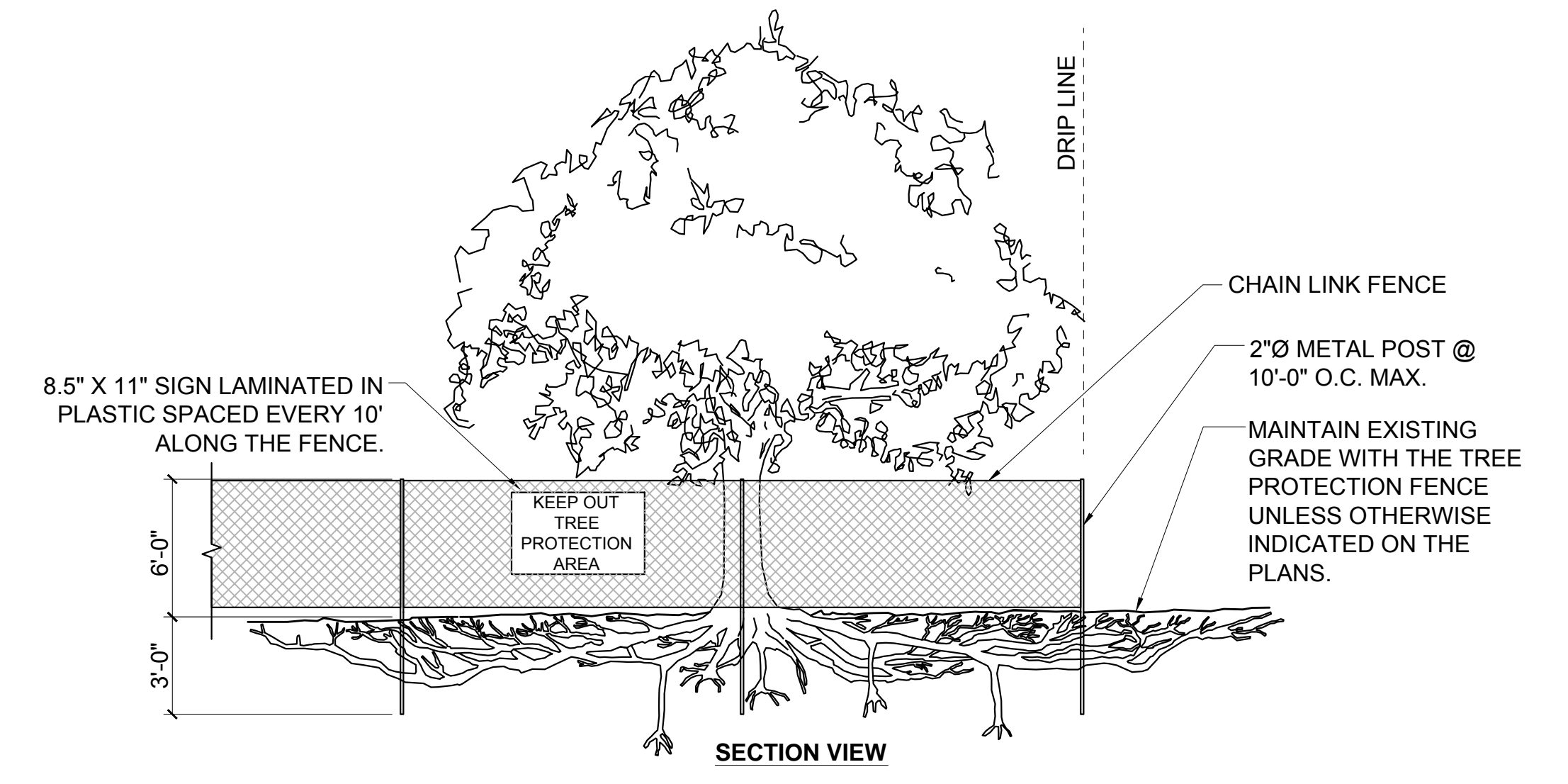
DESIGNED	DATE	KEVIN O'CONNOR, INC. TEL: 415-286-3442 3401 LAWTON STREET FAX: 415-665-5252 San Francisco CA 94122 WWW.KOCENGINEERING.COM
K.O.C.	4/24/18	
DRAWN	DATE	TITLE NEW TERRACE HOUSE 180 WINDING WAY SAN CARLOS, CA 94070
K.P.	4/24/18	
CHECKED	DATE	PROJECT NO.
K.O.C.	4/24/18	2017-28
		DRAWING NO.
		C7
		REV.





LEGEND:  
 REMOVE TREE  
 TREE PROTECTION CHAIN LINK FENCE

N  
**TREE PROTECTION PLAN**  
 3/32" = 1'-0"



- NOTES:
1. NO PRUNING SHALL BE PERFORMED EXCEPT BY APPROVED ARBORIST.
  2. NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
  3. FENCING SHALL REMAIN INTACT UNTIL CONSTRUCTION IS COMPLETED AND MAY NOT BE REMOVED WITHOUT THE WRITTEN APPROVAL OF THE COMMUNITY DEVELOPMENT DIRECTOR.

**TREE PROTECTION DETAIL**  
 NTS



DESIGNED K.O.C.	DATE 4/24/18	KEVIN O'CONNOR, INC. 3401 LAWTON STREET San Francisco CA 94122	TEL: 415-288-3442
DRAWN K.P.	DATE 4/24/18		FAX: 415-665-5252 WWW.KOCENGINEERING.COM
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PROJECT NO. 2017-28	DRAWING NO. C8		REV.



WINDING WAY RESIDENCE

NOT FOR CONSTRUCTION

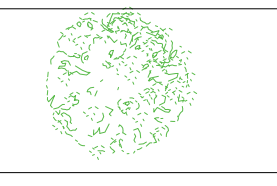
REVISIONS

5.1.2018 SUBMITTAL DH  
8.20.2018 SUBMITTAL DH

- Notes:
- compost rate at 4 cubic yards per 1000 sq. ft. to a depth of 6" into landscape area
  - minimum 3" of mulch to be added to all planted areas
  - all planting to be native/ climate adopted with little or no summer water
  - irrigation controllers to use evapotranspiration or soil moisture data and utilize rain sensors

LANDSCAPE PLAN

TREE REPLACEMENT/SCREENING LEGEND

	Quercus agrifolia	California Live Oak	36" Box. Count: 4
	Quercus agrifolia	California Live Oak	24" Box. Count: 6

OUTLINE OF THE LOWER DECK AREA

BUILT IN BENCHES

BUILT IN PLANTERS

PARKING

STAIR ACCESS TO LOWER LEVEL

BBQ (PROPANE), SEPARATE PERMIT

OUTDOOR SEATING WITH FIRE PIT  
CSA CERTIFIED, SEPARATE PERMIT

VEHICULAR ENTRY, PAVING

ENTRY COURTYARD

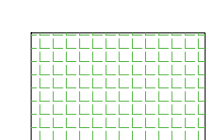

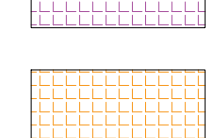
ACCESS STAIRS

HOT TUB

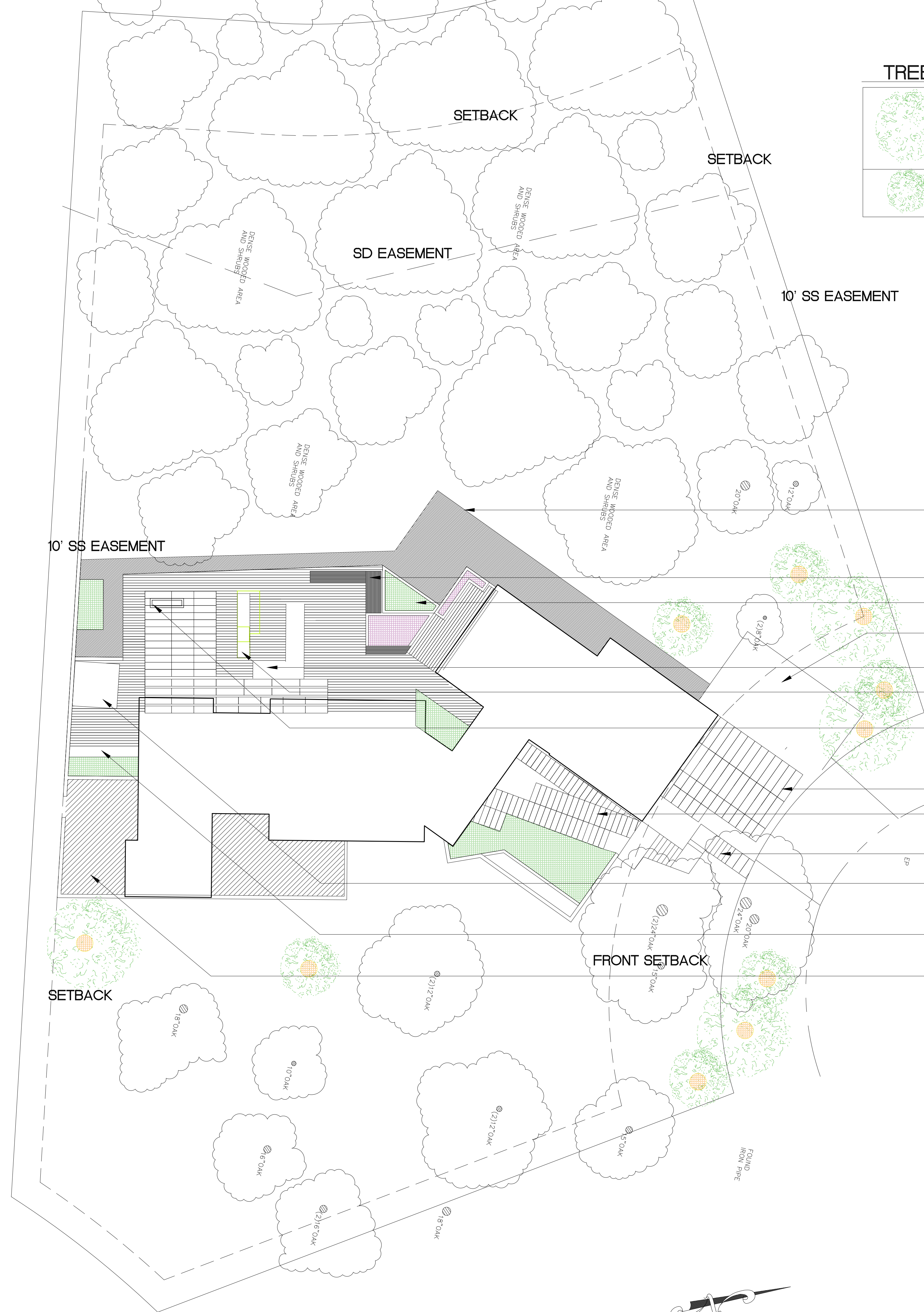
BUILT IN BENCH

THIRD FLOOR PATIO

LANDSCAPE LEGEND

	IRRIGATED LANDSCAPE 353 SQ. FT.
	VEGETABLE GROWING 60 SQ. FT.
	NATIVE TREES 70 SQ. FT. NO IRRIGATION/TEMPORARY IF REQUIRED

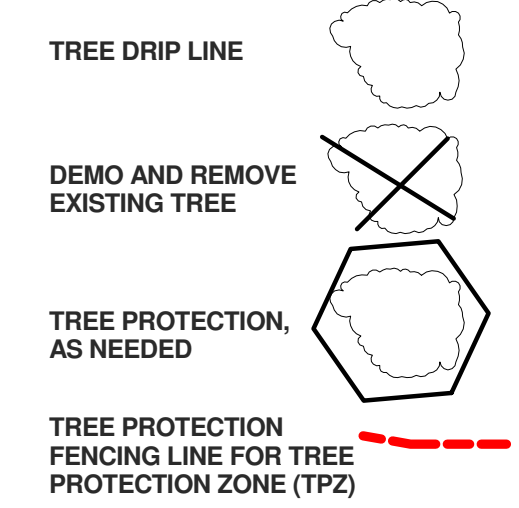
LANDSCAPE AREA 483 SQ. FT.







TREE #	TYPE	TRUNK DIAMETER (in)	REMOVE	MIN TPZ RADIUS (ft)	CONDITION
174	Coast live oak	18	YES	N/A	POOR
175	Coast live oak	18	YES	N/A	FAIR
176	Buckeye	6	YES	N/A	FAIR
177	Coast live oak	24	NO	12	GOOD
178	Bay Laurel	12	NO	6	GOOD
179	Coast live oak	24	NO	12	FAIR
180	Coast live oak	24	NO	12	FAIR
365	Coast live oak	15	YES	N/A	FAIR
366	Coast live oak	12	YES	N/A	POOR
367	Coast live oak	8	YES	N/A	FAIR
368	Coast live oak	17 And 17	YES	N/A	FAIR
369	Coast live oak	14	YES	N/A	FAIR
370	Coast live oak	6 And 8	YES	N/A	POOR
371	Coast live oak	18	YES	N/A	FAIR
372	Coast live oak	18, 18, 18	NO	15	FAIR
373	Coast live oak	17	NO	8.5	FAIR
374	Coast live oak	45	NO	22.5	FAIR
375	Coast live oak	18	YES	N/A	FAIR
376	Coast live oak	24, 16 and 12	YES	N/A	FAIR
377	Coast live oak	15 and 13	YES	N/A	POOR
378	Coast live oak	12	YES	N/A	POOR
379	Coast live oak	12	YES	N/A	POOR
380	Coast live oak	6 And 4	NO	5	FAIR
381	Coast live oak	12	YES	N/A	DEAD
382	Coast live oak	12 And 9	NO	6	FAIR
383	Coast live oak	6	NO	3	GOOD
384	Coast live oak	4	NO	2	FAIR
385	Coast live oak	4	NO	2	FAIR
386	Buckeye	5	NO	2.5	FAIR
387	Coast live oak	20	NO	10	FAIR
388	Coast live oak	8	YES	N/A	DEAD
389	Bay Laurel	30	YES	N/A	GOOD
390	Coast live oak	13	NO	6.5	FAIR
391	Coast live oak	5	YES	N/A	DEAD
392	Coast live oak	12 and 12	YES	N/A	POOR
393	Buckeye	11	NO	5.5	FAIR
394	Coast live oak	9	NO	4.5	FAIR
395	Coast live oak	13	YES	N/A	POOR
396	Coast live oak	17 And 15	NO	9	FAIR
397	Coast live oak	10	NO	5	FAIR
398	Coast live oak	18	NO	9	FAIR
399	Coast live oak	8	NO	4	FAIR
400	Coast live oak	13	NO	6.5	GOOD



NOTE: LIMITS OF DEMOLITION ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LIMITS PRIOR TO BEGINNING OF CONSTRUCTION

3 TREE DEMO & PROTECTION LEGEND  
1/2" = 1'-0"

REFER TO CIVIL DRAWINGS FOR TREE PROTECTION DETAILS, SITE GRADING, UTILITIES AND EROSION CONTROL

2 TREE REMOVAL LIST  
1/2" = 1'-0"

- PROJECT ARBORIST**  
1. A REGISTERED CONSULTING ARBORIST OR CERTIFIED ARBORIST IS TO BE RETAINED TO ACT AS THE PROJECT ARBORIST TO MONITOR ANY CONSTRUCTION ACTIVITIES THAT MAY IMPACT THE HEALTH OF PROTECTED TREES.
- PRECONSTRUCTION MEETING WITH PROJECT ARBORIST**  
2. PRIOR TO BEGINNING WORK, ALL CONTRACTORS INVOLVED WITH THE PROJECT SHOULD ATTEND A PRE-CONSTRUCTION MEETING WITH THE PROJECT ARBORIST TO REVIEW THE TREE PROTECTION GUIDELINES, ACCESS ROUTES, STORAGE AREAS, AND WORK PROCEDURES WILL BE DISCUSSED.
- MONITORING**  
3. SCHEDULE FOR PROJECT ARBORIST MONITORING ON A MONTHLY BASIS, AND WHEN TRENCHING NEAR PROTECTED TREES OR WORKING INSIDE THE TREE PROTECTION ZONE.
- TREE PROTECTION ZONE (TPZ)**  
4. A SIX INCH LAYER OF CLEAN WOOD CHIPS IS TO BE INSTALLED WITHIN THE DRIPLENE OF ALL PROTECTED TREES. KEEP WOOD CHIPS 3 FEET FROM THE TRUNK.  
5. TREE PROTECTION LOCATIONS SHOULD BE MARKED BEFORE ANY FENCING CONTRACTOR ARRIVES.  
6. PRIOR TO THE ARRIVAL OF CONSTRUCTION EQUIPMENT OR MATERIALS ON SITE, SIX-FOOT HIGH CHAIN LINK FENCE MOUNTED ON 8-FOOT TALL, 2-INCH DIAMETER METAL POSTS, DRIVEN 2 FEET INTO THE GROUND AND SPACED NO MORE THAN 10 FEET APART SHALL BE ERRECT AT THE LIMITS OF EACH TREE PROTECTION ZONE (TPZ).  
7. ONCE ESTABLISHED, THE FENCE MUST REMAIN UNDISTURBED AND BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS UNTIL FINAL INSPECTION. THE FENCE SHOULD BE MAINTAINED THROUGHOUT THE SITE DURING THE CONSTRUCTION PERIOD AND SHOULD BE INSPECTED PERIODICALLY FOR DAMAGE AND PROPER FUNCTION.  
8. LAMINATED WARNING SIGNS, MINIMUM SIZE 8' X 11', STATING THAT ALL AREAS WITHIN THE FENCING ARE TREE PROTECTION ZONES AND THAT DISTURBANCE IS PROHIBITED ARE TO BE ATTACHED. SIGNS SHOULD BE SPACED NO MORE THAN 10 FEET APART. TEXT ON THE SIGNS SHOULD BE IN BOTH ENGLISH AND SPANISH (APPENDIX D).  
9. THE AREA WITHIN THE FENCING IS THE TREE PROTECTION ZONE (TPZ).  
10. TPZ FENCING MAY ONLY BE MOVED, CROSSED, OR ALTERED WITH PERMISSION OF THE PROJECT ARBORIST.
- RESTRICTIONS A. NO OPERATION, STORAGE, OR PARKING OF VEHICLES OR HEAVY EQUIPMENT.**  
B. NO STORAGE OR DISPOSAL OF BUILDING MATERIALS, REFUSE, SOIL, EXCAVATED SPOILS, OR CHEMICALS OF ANY KIND.  
C. NO CUTTING OF TREE ROOTS BY UTILITY TRENCHING, FOUNDATION DIGGING, OR ANY MISCELLANEOUS EXCAVATION WITHOUT PRIOR APPROVAL OF THE PROJECT ARBORIST.  
D. NO USE OF TPZ AS A REST/LUNCH/BREAK AREA BY PROJECT STAFF.  
E. NO GRADE CHANGES OF ANY KIND, EXCEPT AS EXPRESSLY DESIGNED OR APPROVED BY THE PROJECT ARBORIST.  
F. NO ALTERATION OR DISTURBANCE, FOR ANY DURATION, OF THE GROUND INSIDE THE TPZ.  
12. ALL WORK WITHIN THE TPZ IS TO BE APPROVED BY THE PROJECT ARBORIST PRIOR TO COMMENCEMENT OF THE TASK.

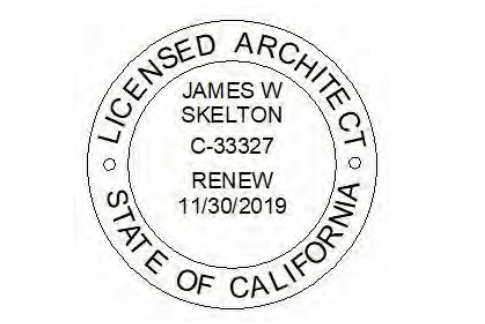
- GRADING LIMITATIONS**  
13. GRADE CHANGES OUTSIDE OF THE TPZ SHALL NOT SIGNIFICANTLY ALTER DRAINAGE TO ANY TREE.  
14. GRADE CHANGES UNDER SPECIFICALLY APPROVED CIRCUMSTANCES SHALL NOT ALLOW MORE THAN 6- INCHES OF FILL SOIL ADDED OR ALLOW MORE THAN 4-INCHES OF EXISTING SOIL TO BE REMOVED FROM NATURAL GRADE UNLESS MITIGATED.  
15. GRADE CUTS EXCEEDING 4-INCHES SHALL INCORPORATE RETAINING WALLS OR AN APPROPRIATE TRANSITION EQUIVALENT.
- ROOT PRUNING AND TRENCHING**  
16. ROOTS OVER 1 INCH IN DIAMETER SHOULD BE PRUNED, RATHER THAN CRUSHED OR TORN. PRUNE ROOTS CLEAN AND SQUARE AT UNDAUNAGED TISSUE USING HAND PRUNERS OR A SAW.  
17. ROOTS 2 INCHES AND GREATER MUST REMAIN INJURY FREE.  
18. IF PRUNING OF ROOTS 2 INCHES OR GREATER IS UNAVOIDABLE, THIS PRUNING MUST BE MONITORED AND DOCUMENTED BY THE PROJECT ARBORIST OR A QUALIFIED ISA CERTIFIED ARBORIST.  
19. ROOTS SHOULD BE CUT BEYOND SINKER ROOTS OR OUTSIDE ROOT BRANCH JUNCTIONS. ONCE SEVERED, EXPOSED ROOTS AND UPPER 3 FEET OF TRENCH WALLS SHOULD BE KEPT MOIST WITH SEVERAL LAYERS OF BURLAP, OR BACKFILLED WITHIN ONE HOUR.  
20. ANY TRENCHING, CONSTRUCTION OR DEMOLITION THAT IS EXPECTED TO DAMAGE OR ENCOUNTER TREE ROOTS 2 INCHES OR GREATER, OR INSIDE THE TPZ, SHOULD BE MONITORED AND DOCUMENTED BY THE PROJECT ARBORIST OR A QUALIFIED ISA CERTIFIED ARBORIST.

- EXCAVATION**  
21. EXCAVATION, DEMOLITION OR EXTRACTION OF MATERIAL SHALL BE PERFORMED BY EQUIPMENT SITTING OUTSIDE THE TPZ. OTHER METHODS PERMITTED ARE HAND DIGGING, HYDRAULIC OR PNEUMATIC AIR EXCAVATION TECHNOLOGY.  
22. AVOID EXCAVATION WITHIN THE TPZ DURING HOT, DRY WEATHER.  
23. IF EXCAVATION OR TRENCHING FOR DRAINAGE, UTILITIES, IRRIGATION LINES, ETC., IT IS THE DUTY OF THE CONTRACTOR TO TUNNEL UNDER ANY ROOTS 2 INCHES OR GREATER IN DIAMETER.

- BORING OR TUNNELING**  
24. BORING MACHINES SHOULD BE SET UP OUTSIDE THE DRIP LINE OR ESTABLISHED TREE PROTECTION ZONE. BORING MAY ALSO BE PERFORMED BY DIGGING A TRENCH ON BOTH SIDES OF THE TREE UNTIL ROOTS ONE INCH IN DIAMETER ARE ENCOUNTERED AND THEN HAND DUG OR EXCAVATED WITH AN AIR SPADE OR SIMILAR AIR OR WATER EXCAVATION TOOL. BORE HOLES SHOULD BE ADJACENT TO THE TRUNK AND NEVER GO DIRECTLY UNDER THE MAIN STEM TO AVOID OBLIQUE (HEART) ROOTS. BORE HOLES SHOULD BE A MINIMUM OF THREE FEET DEEP.
- TIMING**  
25. IF THE CONSTRUCTION IS TO OCCUR DURING THE SUMMER MONTHS SUPPLEMENTAL WATERING AND BARK BEETLE TREATMENTS SHOULD BE APPLIED TO HELP ENSURE SURVIVAL DURING AND AFTER CONSTRUCTION.

- TREE PRUNING AND REMOVAL OPERATIONS**  
26. ALL TREE PRUNING OR REMOVALS SHOULD BE PERFORMED BY A QUALIFIED ARBORIST WITH A C-61/D-49 CALIFORNIA CONTRACTORS LICENSE.  
27. TREE PRUNING SHOULD BE SPECIFIED ACCORDING TO ANSI A-300A PRUNING STANDARDS AND ADHERE TO ANSI Z133.1 SAFETY STANDARDS.  
28. TREES THAT NEED TO BE REMOVED OR PRUNED SHOULD BE IDENTIFIED IN THE PRE-CONSTRUCTION WALK THROUGH.

- POST-CONSTRUCTION PHASE**  
29. MONITOR THE HEALTH AND STRUCTURE OF ALL TREES FOR ANY CHANGES IN CONDITION.  
30. MANAGE SOIL MOISTURE AND MAINTAIN MULCH WHERE APPLICABLE.  
31. PERFORM ANY OTHER MITIGATION MEASURES TO HELP ENSURE LONG TERM SURVIVAL.
- 4 TREE PROTECTION GUIDELINES  
1/2" = 1'-0"



TEISMANN CHANDRA  
180 WINDING WAY  
SAN CARLOS, CA 94070  
BLOCK/LOT:Project Number

Rev	Description	Date
180	WINDING WAY	
Date:		9/19/2018
Scale:		8:04:23 AM
Sheet Title		As indicated
Tree Protection Plan		

T1

1 TREE REMOVAL & PROTECTION  
1" = 10'-0"



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180 WINDING WAY  
SAN CARLOS, CA 94070

BLOCK/LOT:Project Number

**PROJECT NOTES:**

BUILDING IS LOCATED IN AN LRA HIGH FIRE HAZARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS.



**APN 049-141-580**

164

184

LOT 59

LOT 75

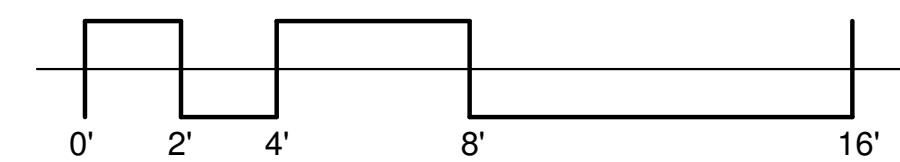
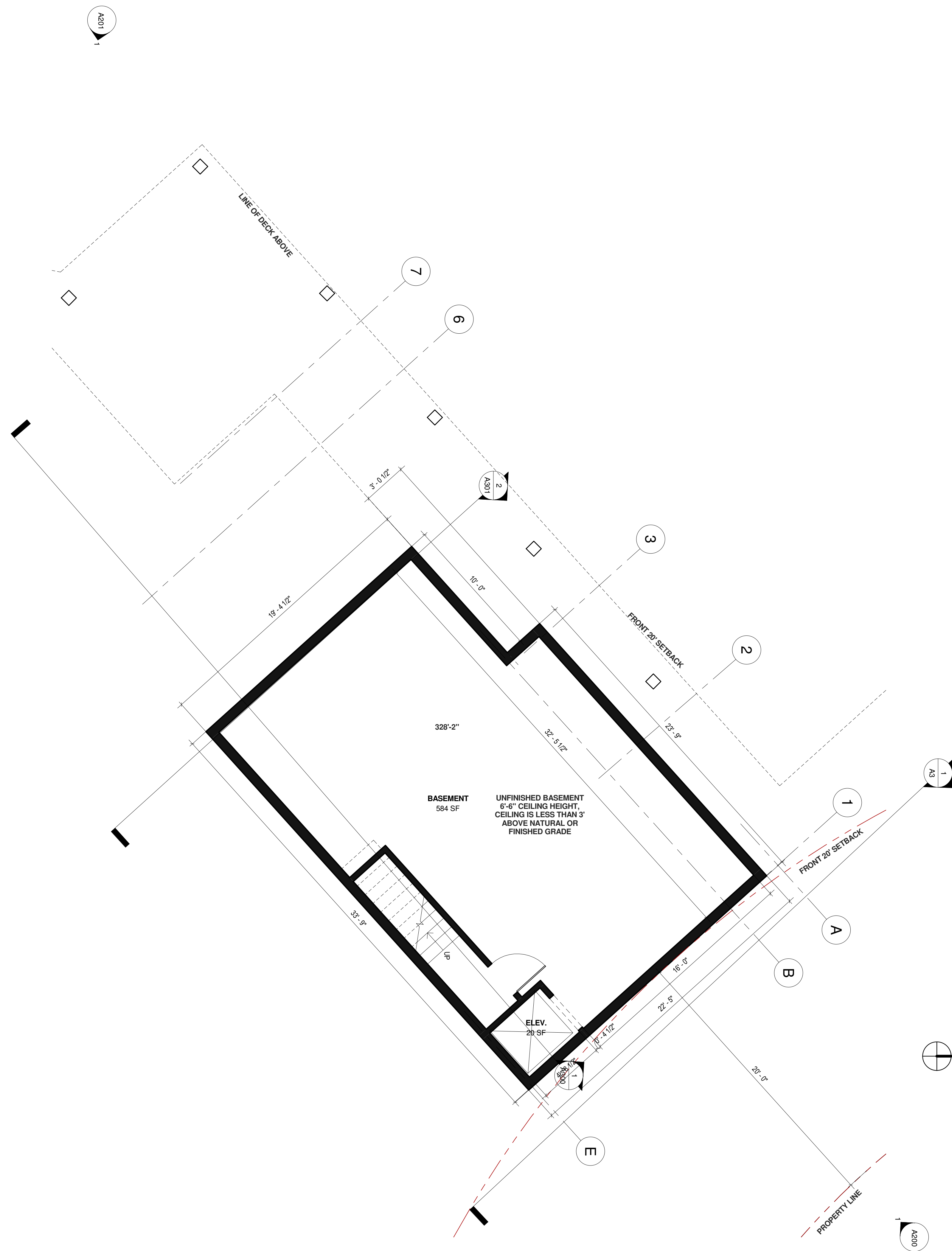
Rev	Description	Date
1	Revision 1	8/2/18
	Comments	
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Sheet Title		1" = 10'-0"
Site Plan		



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180 WINDING WAY  
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BLOCK/LOT:Project Number



Rev Description Date

180 WINDING WAY

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Sheet Title

Basement Floor Plan

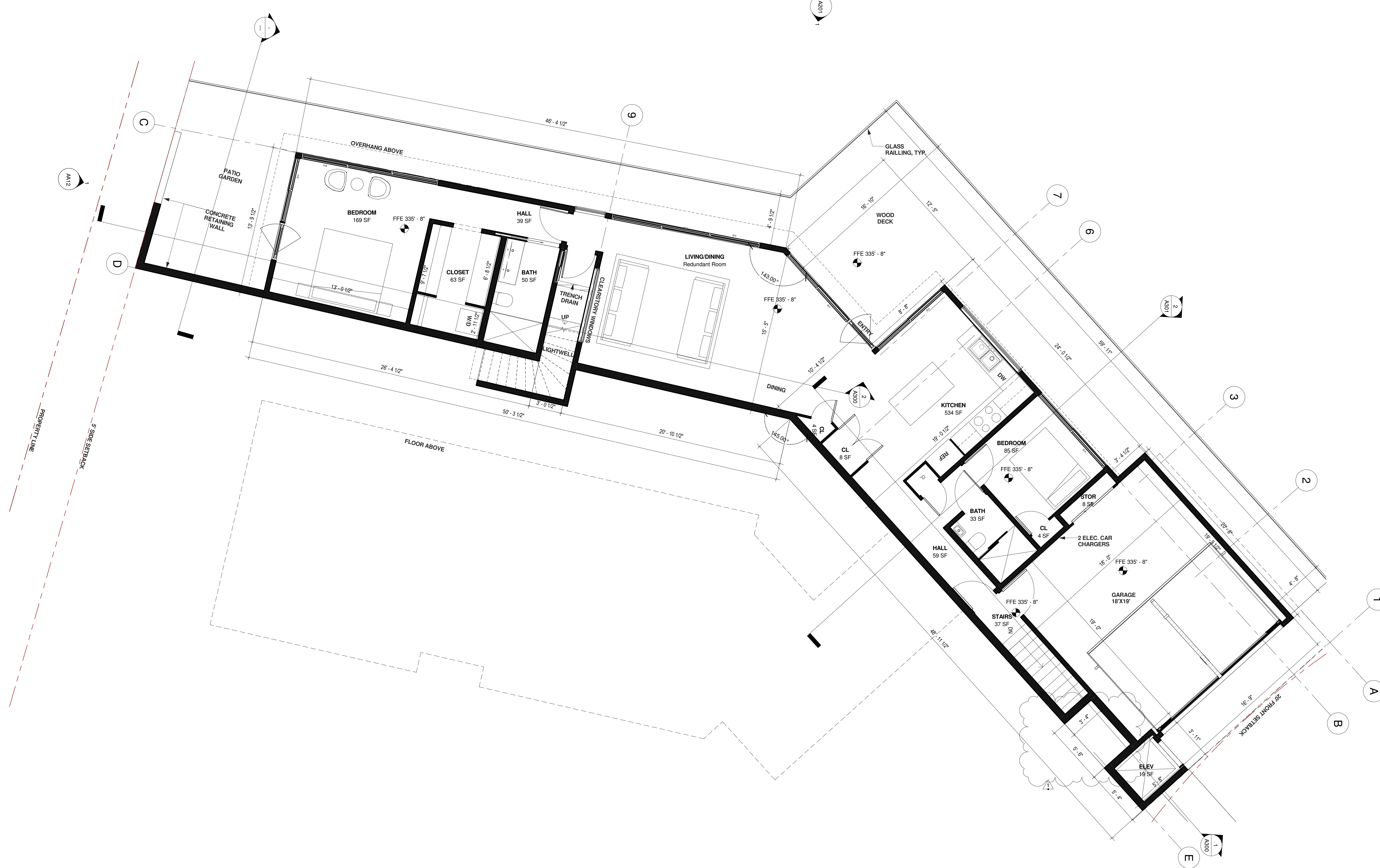
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SAN CARLOS, CA 94070

BLOCK/LOT:Project Number



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	Comments	

180 WINDING WAY

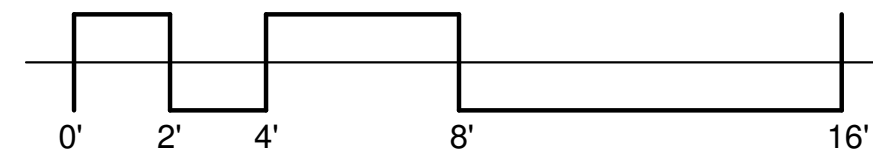
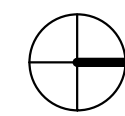
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Sheet Title

1st Floor Plan

A102

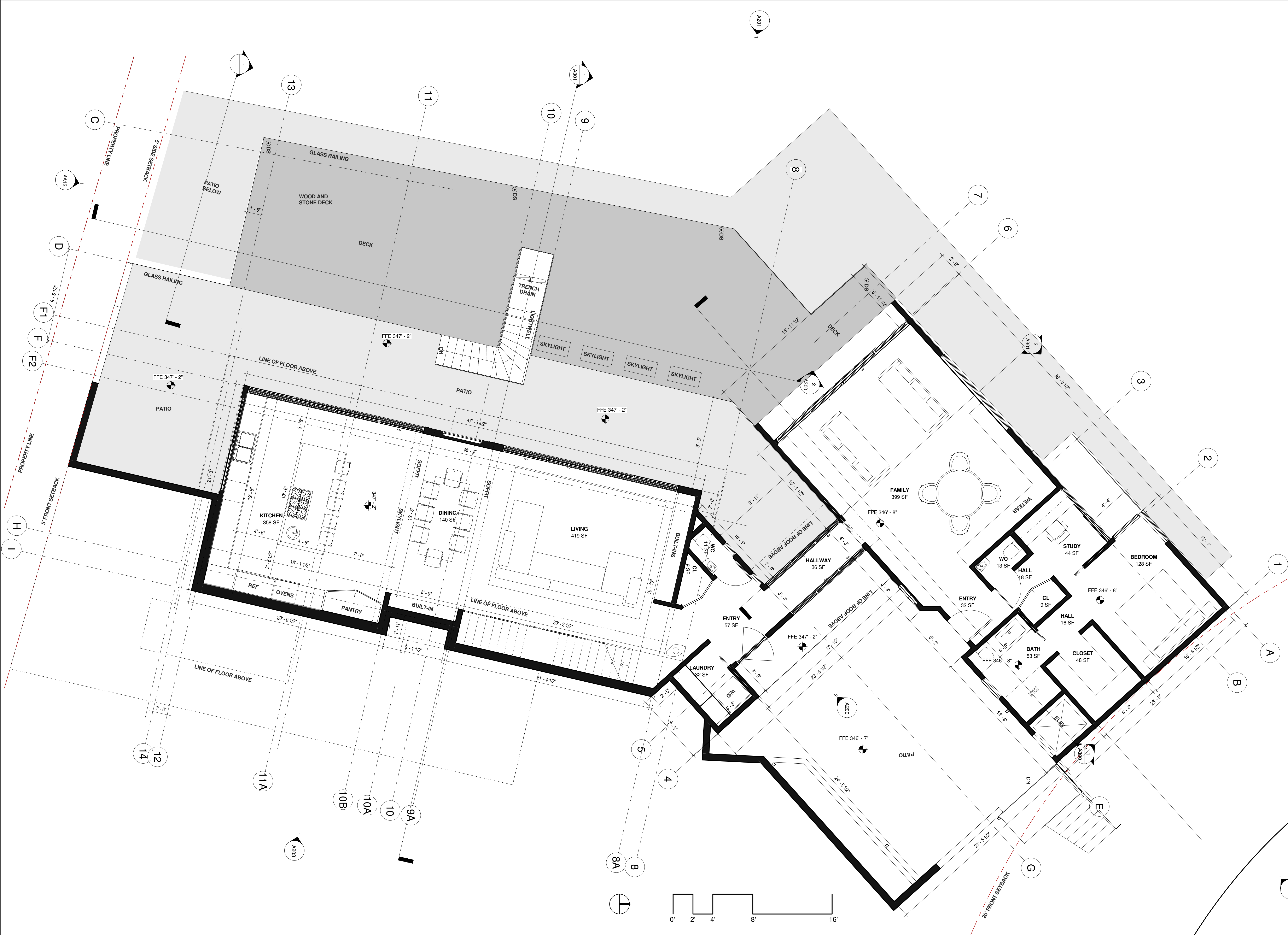




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BLOCK/LOT: Project Number



Rev Description Date

180 WINDING WAY

Date: 8/24/2018  
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Scale: 1/4" = 1'-0"

Sheet Title

**2nd Floor Plan**

**A103**



**TEISMANN CHANDRA**

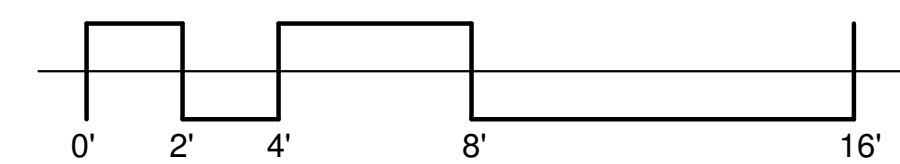
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BLOCK/LOT:Project Number



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Sheet Title		

**3rd Floor Plan**



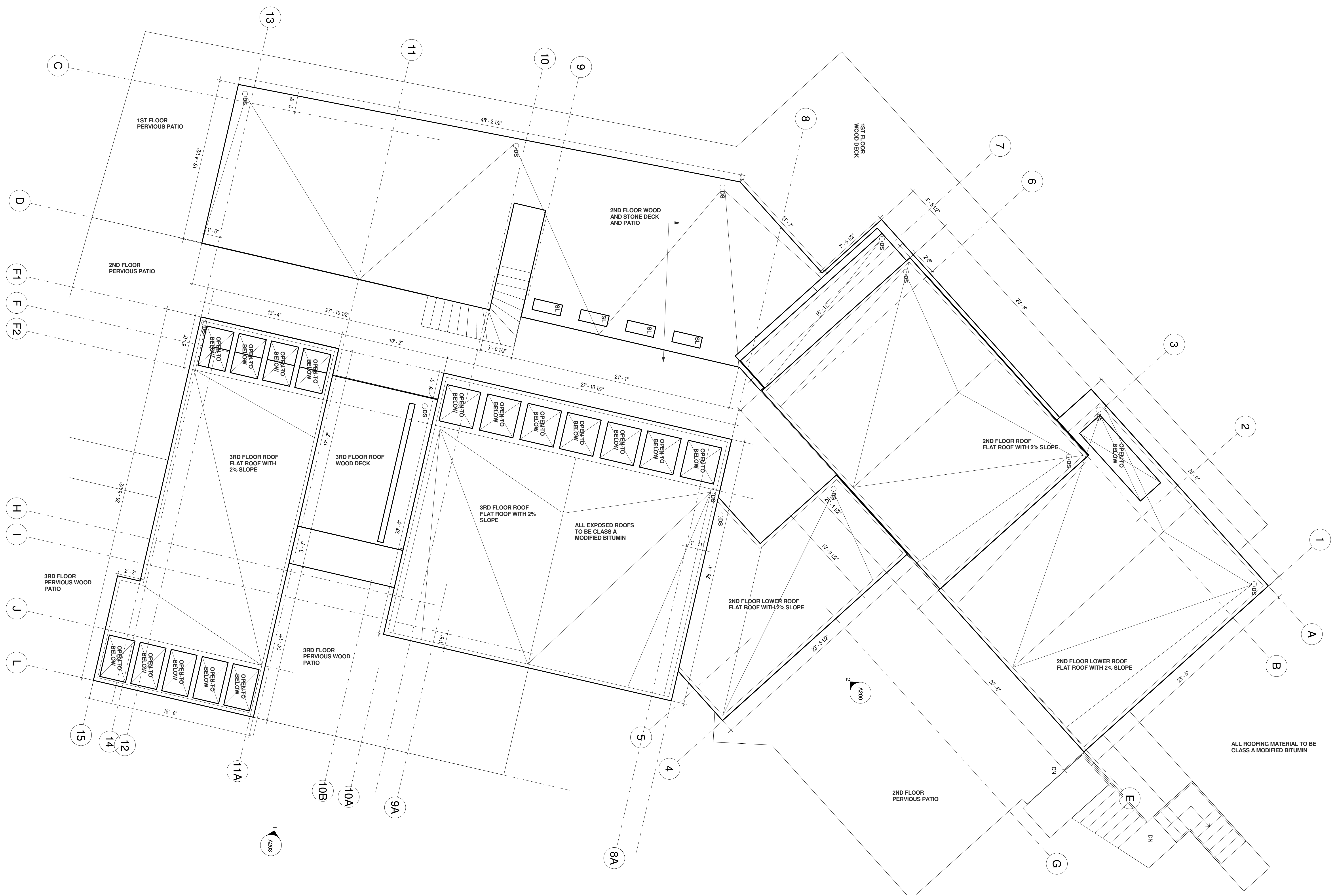
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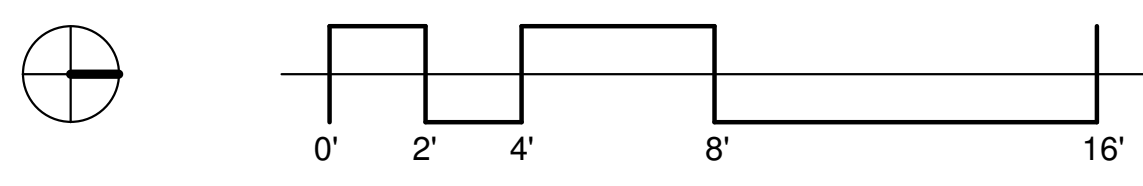
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	Comments	

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Sheet Title

**Roof Plan**

**A105**





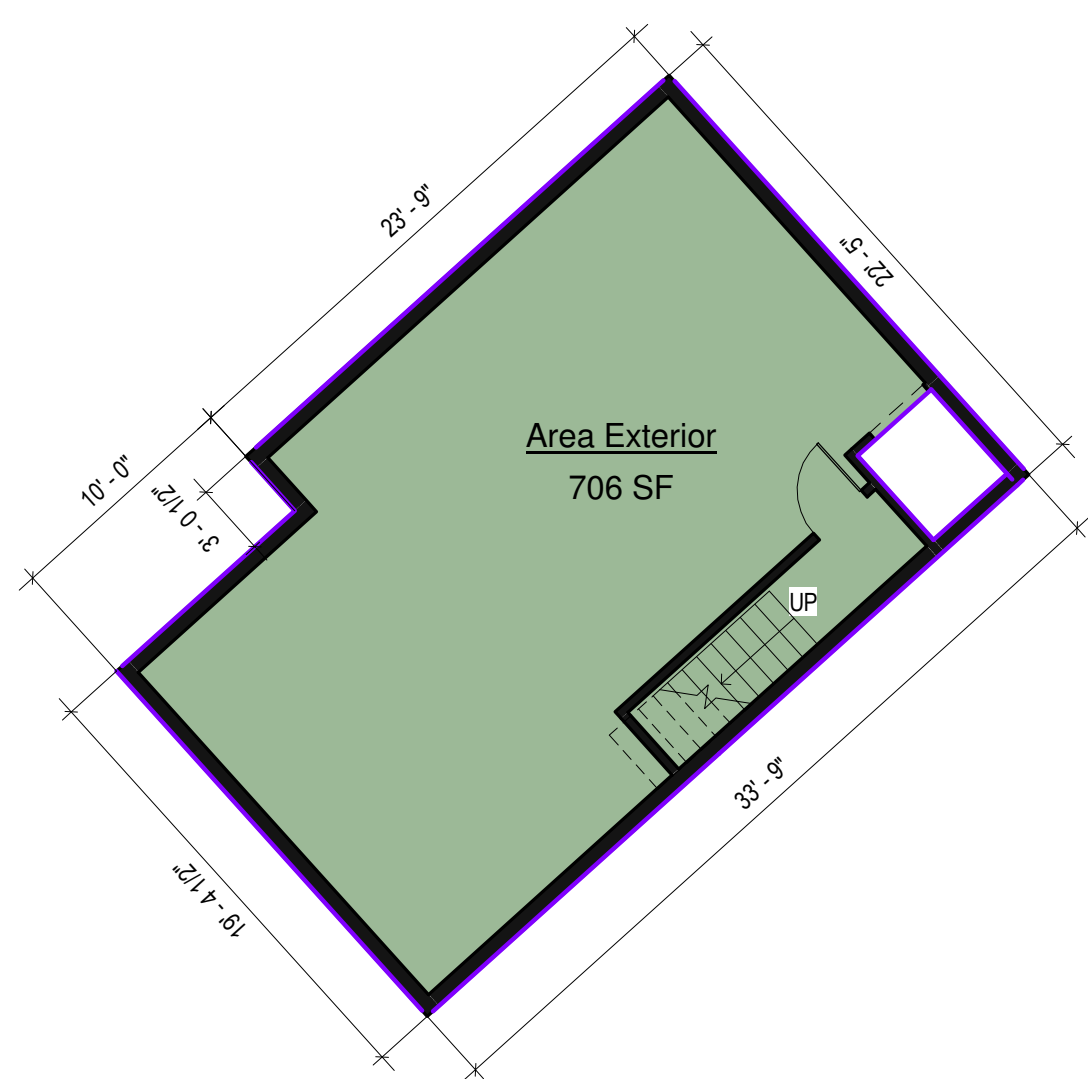
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SAN CARLOS, CA 94070

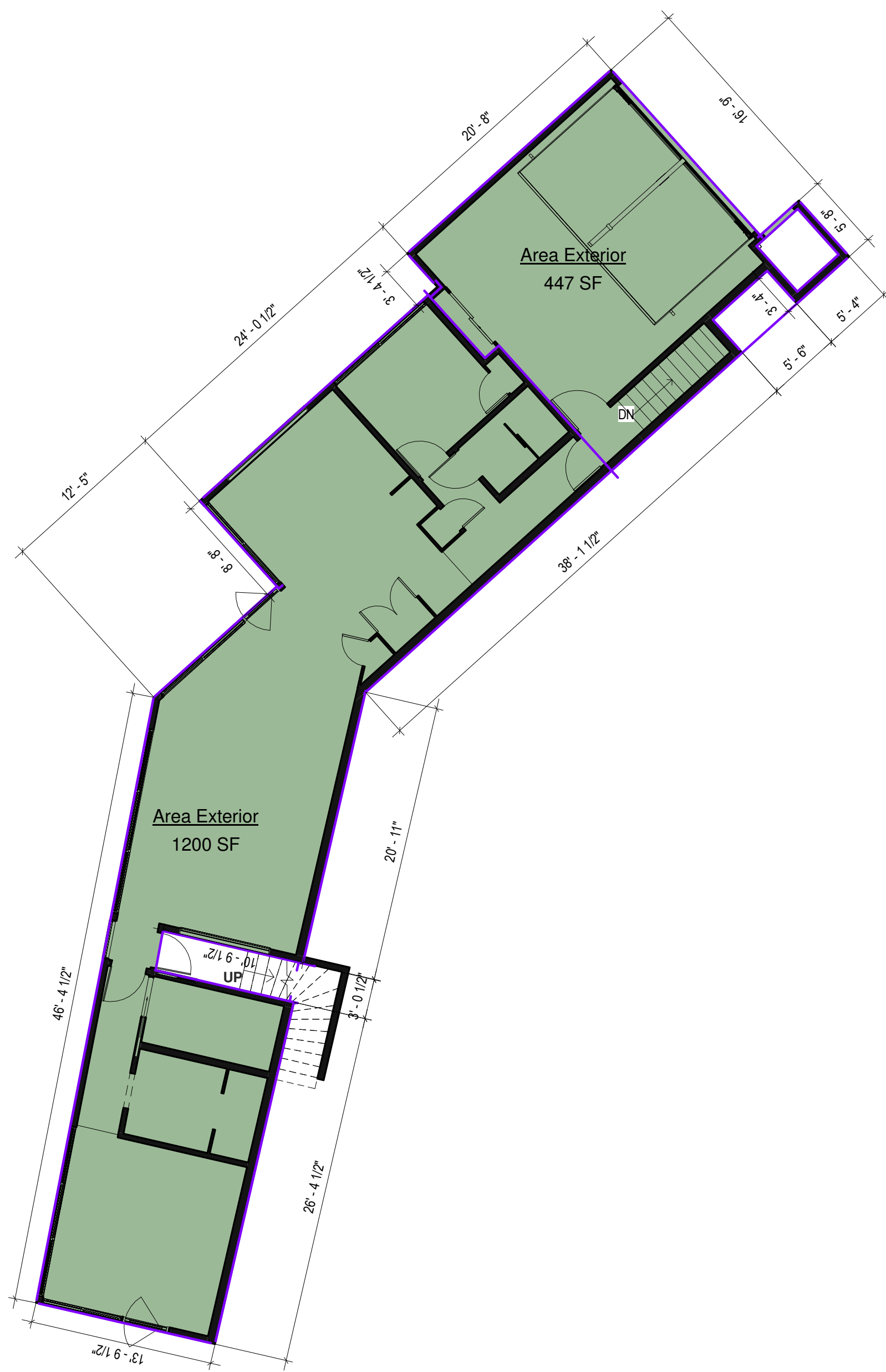
BLOCK/LOT:Project Number

**Area Schedule (Gross Building)**

Level	Comments	Area
0 BASEMENT	BASEMENT	706 SF
1st FLOOR	GARAGE	447 SF
1st FLOOR	SECONDARY DWELLING	1200 SF
2nd FLOOR	MAIN LIVING AREA	2065 SF
3rd FLOOR	MAIN LIVING AREA	786 SF
TOTAL: 5		5204 SF
BUILDING AREATOTAL	5203 - BASEMENT (706) - GARAGE (400)	4098 SF



1 0 BASEMENT  
1/8" = 1'-0"



2 1st FLOOR  
1/8" = 1'-0"



3 2nd FLOOR  
1/8" = 1'-0"



4 3rd FLOOR  
1/8" = 1'-0"

1	Revision 1	8/2/18
	Comments	
Rev	Description	Date

180 WINDING WAY

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Sheet Title

Building Area Calculations

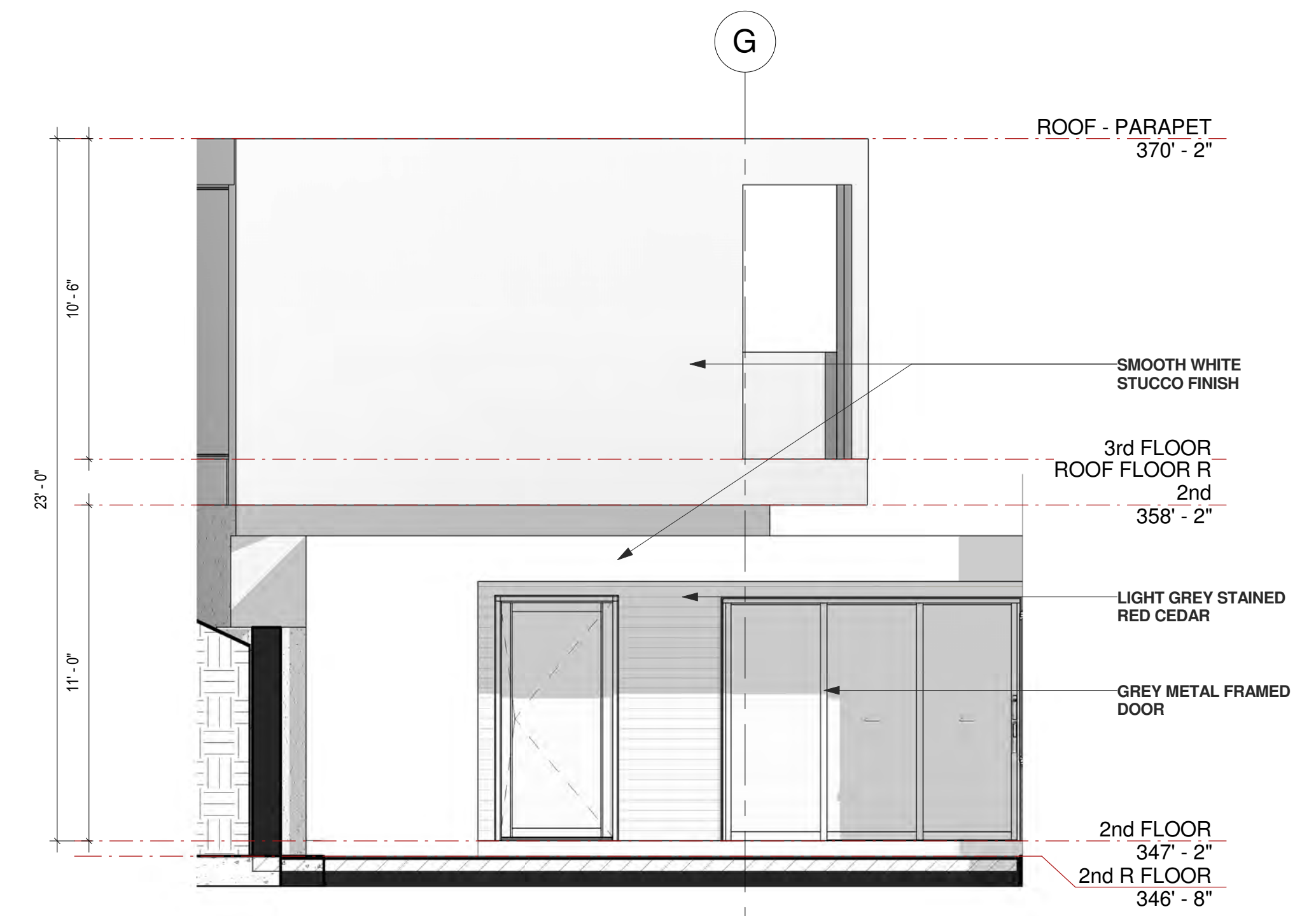
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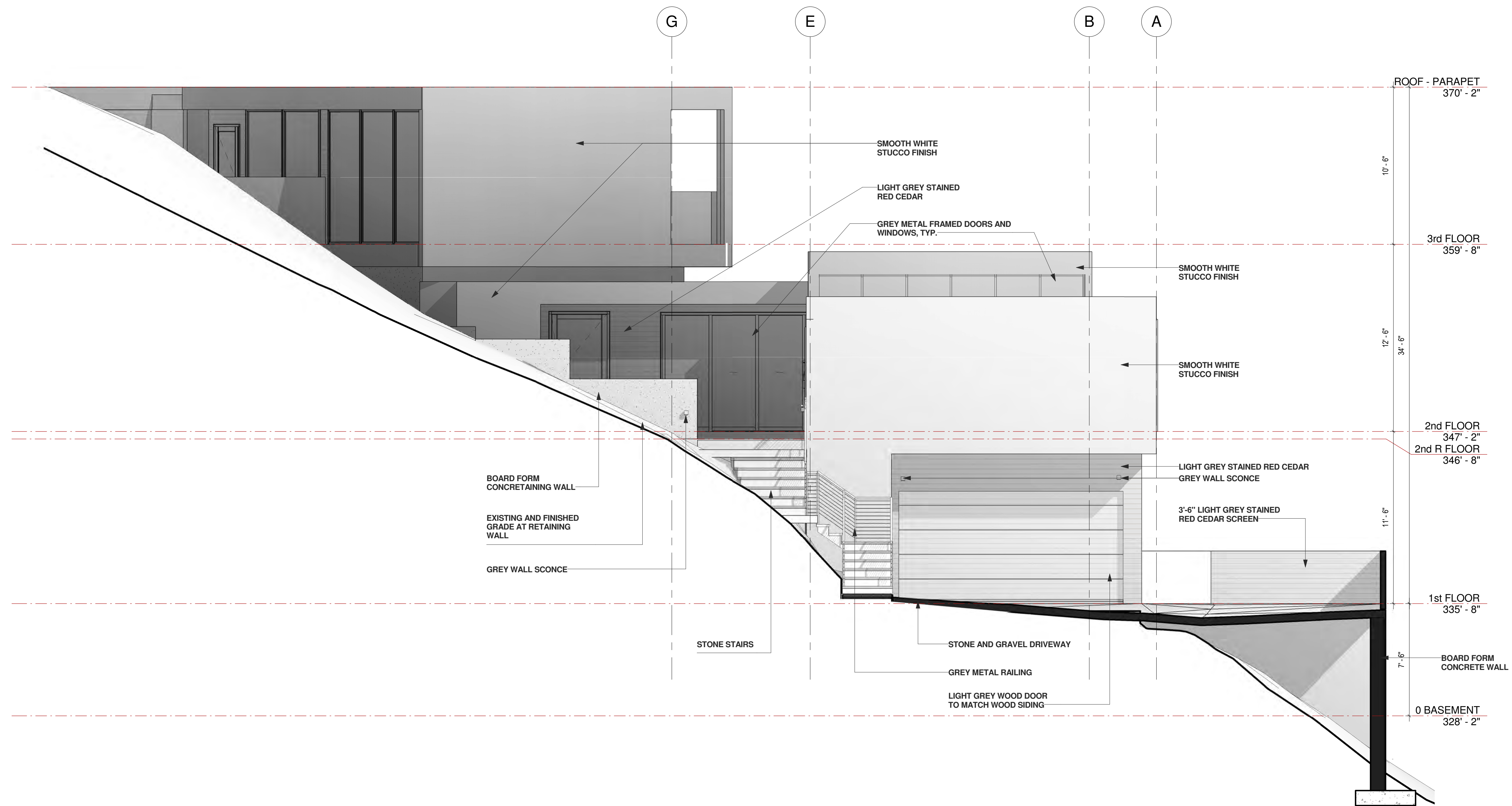
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SAN CARLOS, CA 94070

BLOCK/LOT:Project Number



2 NORTH MAIN ENTRY ELEVATION  
1/4" = 1'-0"



1 NORTH GARAGE ELEVATION  
1/4" = 1'-0"

Rev Description Date

180 WINDING WAY

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Sheet Title

Elevations North

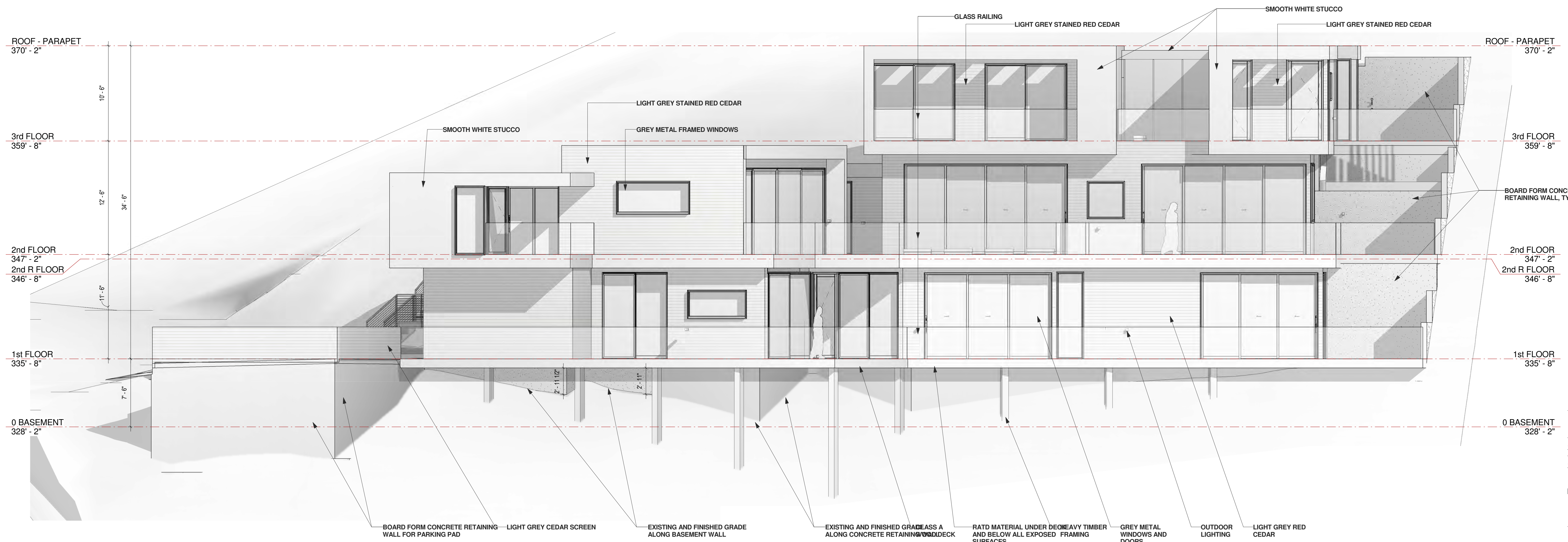
A200



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180 WINDING WAY  
SAN CARLOS, CA 94070

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	Sheet Title	

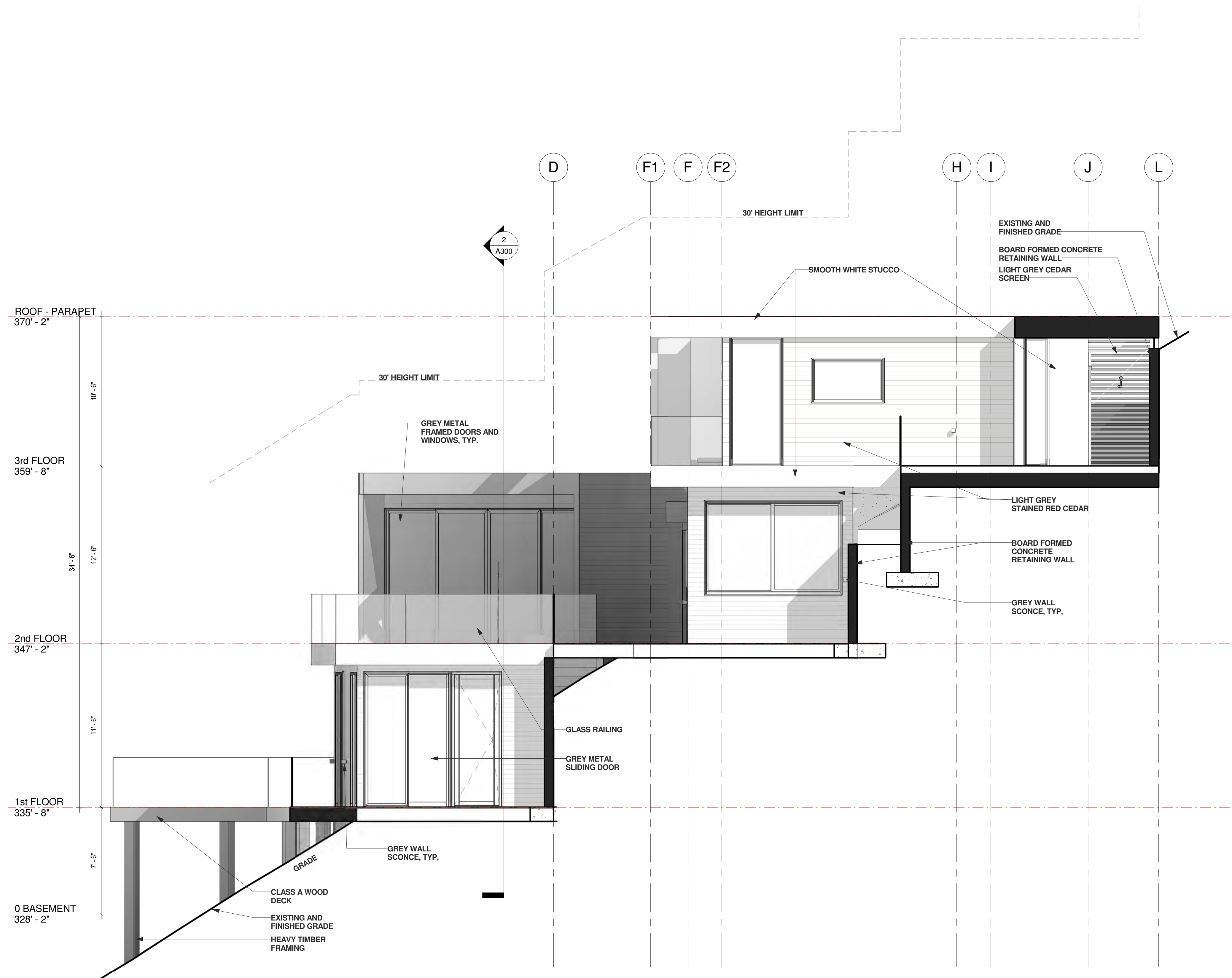
Elevations West



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SAN CARLOS, CA 94070

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1 SOUTH ELEVATION  
1/4" = 1'-0"

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Sheet Title

Elevations South

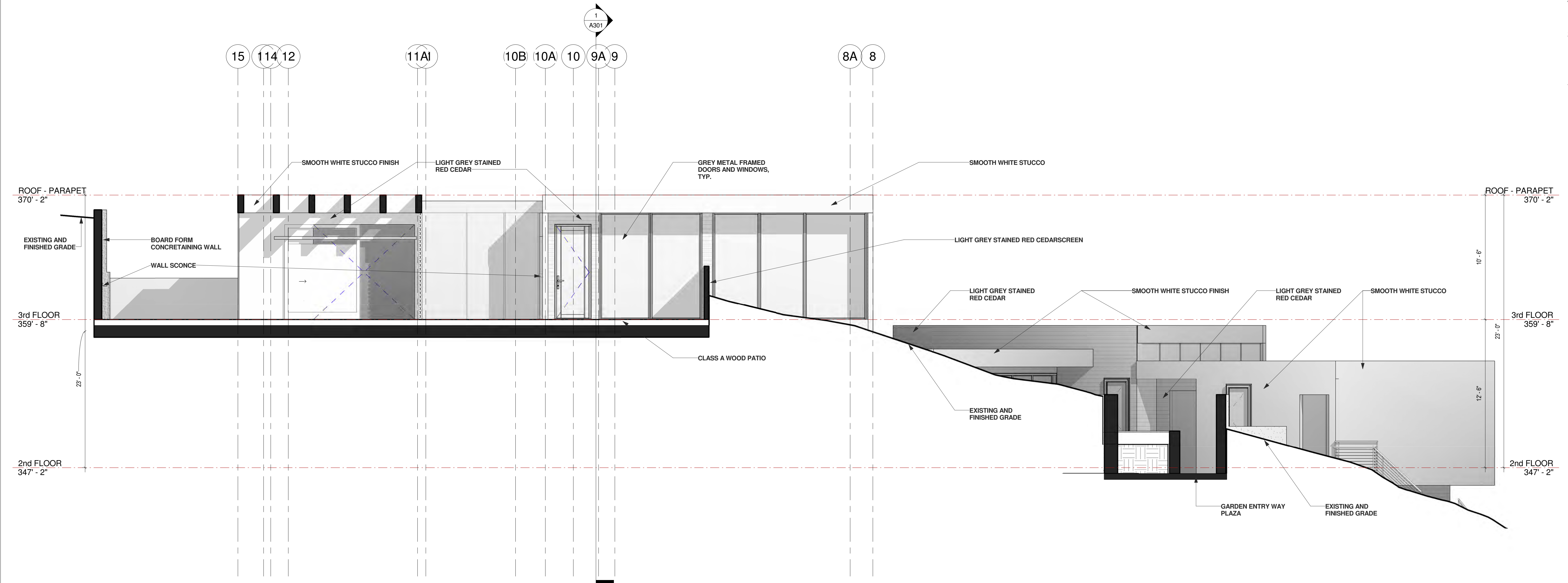
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Scale: 1/4" = 1'-0"

Sheet Title

Elevations East

1 EAST ELEVATION  
1/4" = 1'-0"

**A203**

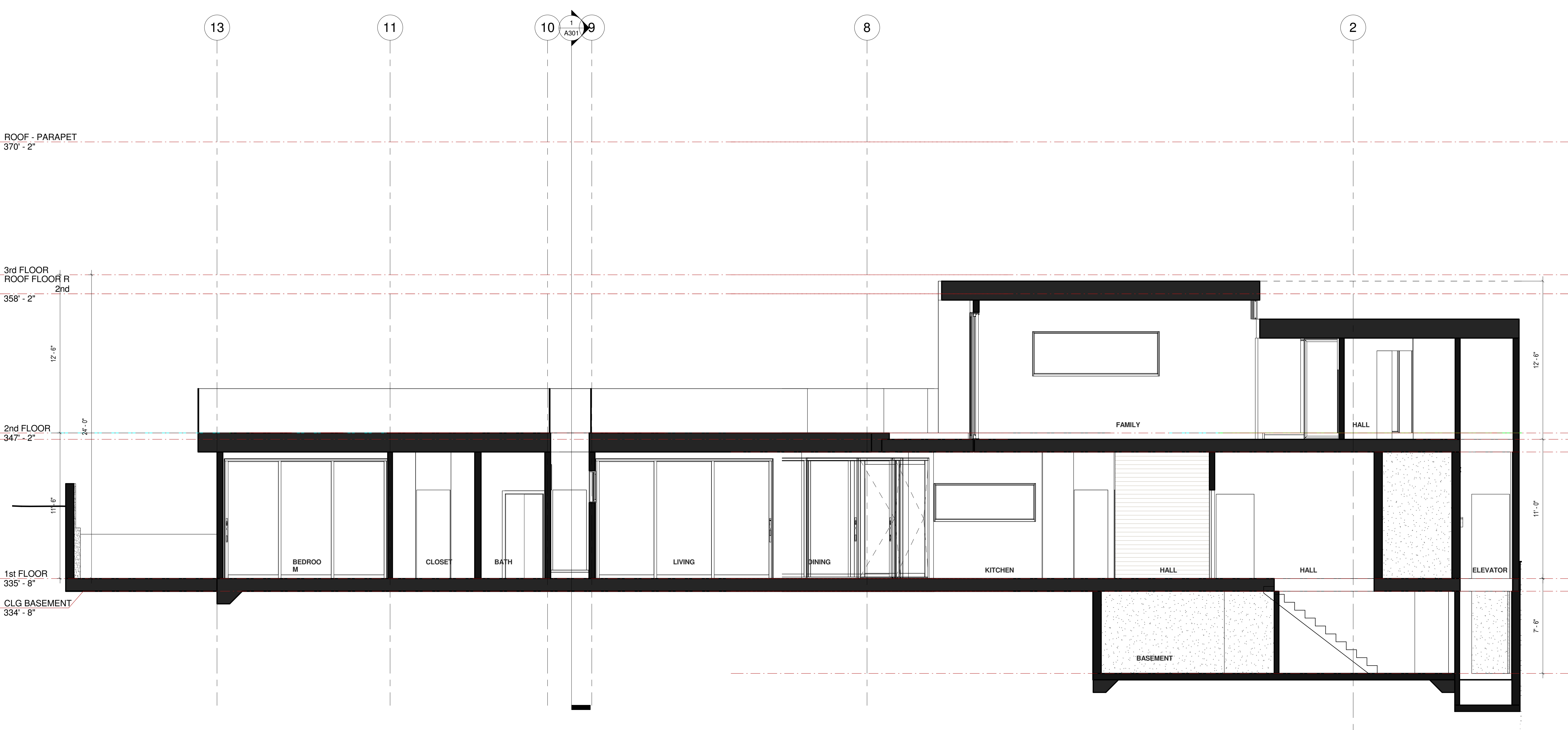




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② LONGITUDINAL SECTION  
1/4" = 1'-0"

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180 WINDING WAY

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Sheet Title

**Longitudinal Section**

**A300**

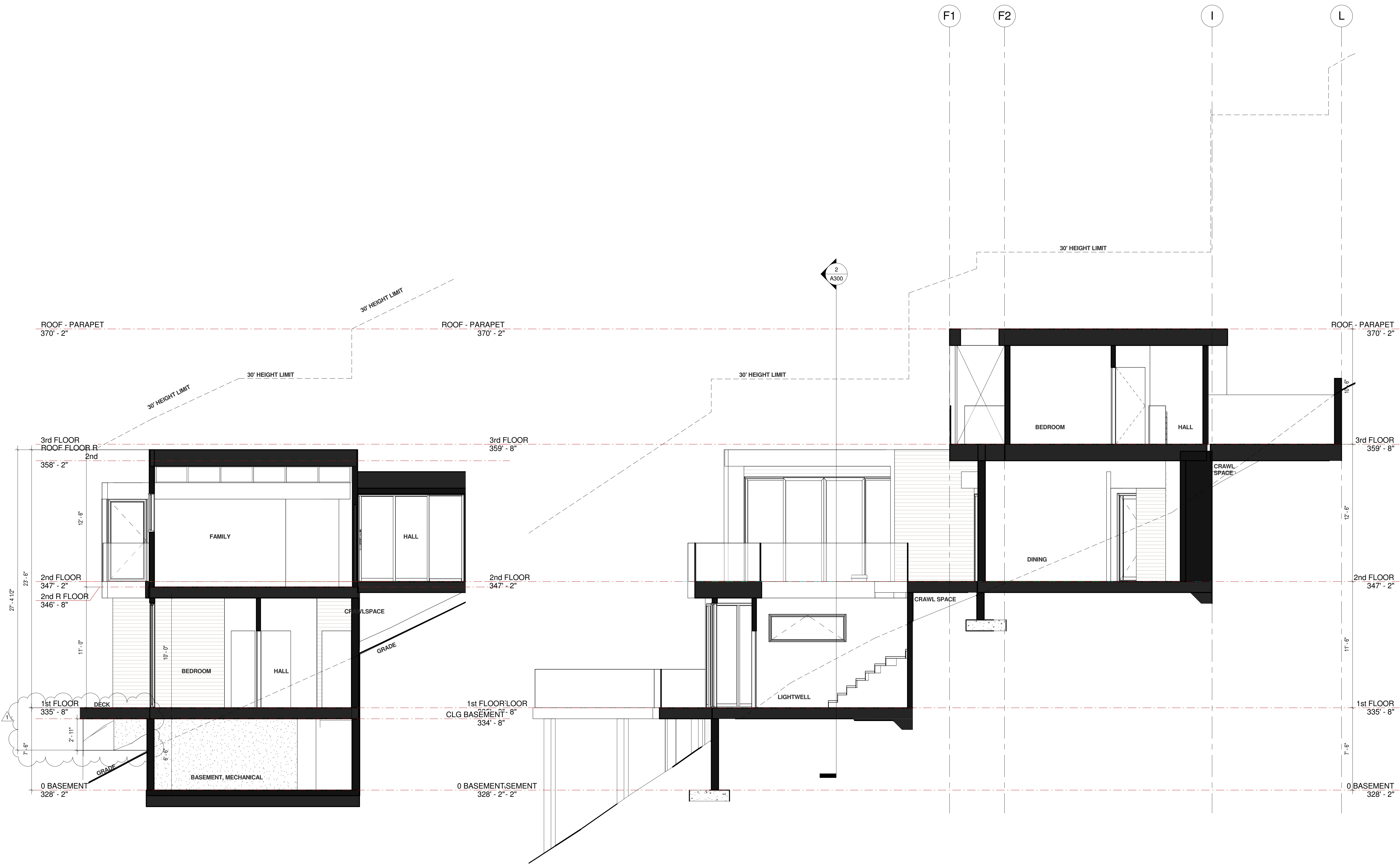




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BLOCK/LOT: Project Number



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1	Revision 1	8/2/18

180 WINDING WAY

Date: 8/30/2018  
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Scale: 1/4" = 1'-0"

Sheet Title

**Lateral Sections**

② Lateral Section at Basement  
1/4" = 1'-0"

① Lateral Section at 1st 2nd and 3rd Floors  
1/4" = 1'-0"

**A301**