

### Planning Permit Application Form

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455 County Center, 2nd Floor • Redwood City CA 94063 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849 www.co.sanmateo.ca.us/planning

PLN: 2018 - 0004 BLD:

<u>श्रीभूषिकार्षण्यात्रमात्रात्रात्र</u>	
Applicant: STUART GRUNOV	rando en marca de la calenda de la companya de la calenda
	STE G
HALF MOON BAY	CA Zip: 94019
Phone, W: 4155950304	H:
E-mail Address: 52grunow@gm	ail. FAX
Name of Owner [1]: Emily Berk	Name of Owner (2): Joe Devlin
Mailing Address: 630 Vue De Mar	Mailing Address: 630 Vue De Mar
Moss Beach CA	Mess Beach CA
Zip: 94038	Zip: 94038
Phone,W: <b>(</b> 150 728 0376	Phone,W:
	H;
E-mail Address: emily earmabillosof	E-mail Address:
GOCALINOMENTORS	and the second to the second
Project Location (address):	Assessor's Parcel Numbers: $637 - 154 - 150$
630 Vue De Mar	,
Moss Beach CA 94038	
Zoning: 617	Parcel/lot size: 7526 SF (Square Feet)
garage addition, entre bedroom expansion	re that includes 1 porch and upstairs
front ward. trees in	rater bodies, vegetation: Slope of Site With to the street and rom the rear of the Ine, hedges in the the rear Shown on Surey have been noved Under Separate permit
deck on the first and sof the house	family lot with exterior Second floor at the rear
We because cottle that the information that I have	
We hereby certify that the information stated above and on for of the application is true and correct to the best of our knowle through our assigned project planner of any changes to inform	dge. It is our responsibility to inform the County of San Mateo
Owner's signature:	
Owner's signature:	7
Applicant's signature: 73 0m	

### Application for Design Review by the County Coastside Design Review Committee

to be a few of the search of t

Phone, W: 415 595 0306 H:

Name: Stuart Grunow

037 - 154 - 150

New Single Family Residence: \_\_\_\_

Addition to Residence:

addition to garage

the second floor

first floor and bedrooms

Vue de

Address: 413 Main St STEG

Half Moon Bay CAzip: 94019

Email: Sagrunon @ gmail. com

H:

mar

94038

sq. ft.

706 sq. ft

□ Variance

Zip:

Applicant:

Name: Address:

Phone.W:

APN:

Moss

Project:

Parcel/lot size:

Other:

Describe Project:

Zonina:

Project location:

630

Beach

### Mariate leader of the state of

County Government Center = 455 County Center = Redwood City CA 94063 Mail Drop PLN 122 = 650 • 363 • 4161 = FAX 650 • 363 • 4849 Permit #: PLN Other Permit #: Owner (if different from Applicant): Emily Berk 630 Vue de Mar Moss Beach CA Zip: 94038 Phone, W: 650 728 0376 H: Email: emily 0 armadillo soft. com Architect or Designer (if different from Applicant): Zip: Email: Site Description: □ Vacant Parcel Existing Development (Please describe): house on existing Single family Additional Permits Required: ☐ Certificate of Compliance Type A or Type B Coastal Development Permit Fence Height Exception (not permitted on coast) Grading Permit or Exemption Home Improvement Exception Non-Conforming Use Permit Off-Street Parking Exception

#### ENERGINE TO SECTION OF THE SECTION O

Fill in Blanks:	Material	Color/Finish	matches
		(If different from existing, attach sa	<b>existing</b> mple)
a. Exterior walls	board formed stucco	areu -	. 🖸
b. Trim	hardie	dark grey	
c. Windows	aluminum	black	
d. Doors	wood	Stain	
e. Roof	Membrane	grey	_ 
f. Chimneys	- JA	J	_
g. Decks & railings	NA		_
h. Stairs	NA		
f. Retaining wälls	N/A	and the dark dark at the control of	
j. Fences	NA		_
k. Accessory buildings	N/A		
I. Garage/Carport	Wood	Stain	
i. Garager Garport			-
	Cings		
Including the required fir	on, the County must determine that this produced ings that the project does conform to the of the project pursuant to Section 6565.1	e standards and guidelines for desig	egulations gn review
, ,	nt's Statement of project compliance with s		ittached).
	nformation stated above and on forms, plan	ns, and other materials submitted h	nerewith in
support of the application	n is true and correct to the best of my knov ssigned project planner of any changes to	vledge. It is my responsibility to info	orm the County of
	$\sim -2$	$\mathcal{M}$	
	_ ')		
Owner:	Applica	nt:	
	•		
10/20/2013		1/1/10	
	fr. Date:	1/4/18	
Date:	Date.		

## High the state of the state of

## Certificate of Exemption or Exclusion from a Coastal **Development Permit**

455 County Center, 2nd Floor • Redwood City, CA • 94063 Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Permanent Record

Permit #: PLN	Microfilming Required
Permit #: BLD	
English intercontraction	
Name: Emily Berk Address: 630 Vue de Mar	Applicant Name: Stuart Grunow Address: 413 Main St. Ste G
Moss Beach CA 94038	
Zip:	Halfmoon Bay CA
Phone, W: 650 728 0376H:	Zip: 94019 Phone, W: 415 5950306 H:
	remail Address: 82grunow@gmail.com
7	
2 (6) [20] (11(0) (11(1)) (6) [1	
Project Description: 706 St addition at front	Existing water source:  Utility connection
of existing house	□ Well
	Proposed water source:  Utility connection No additional Connections  Well
Assessor's Parcel Number(s):	Staking of well location and property lines are required.
037 - 154 - 150	<ul> <li>Provide site plan depicting location and all trees.</li> </ul>
	☐ Will this require any grading or vegetation/tree removal? Yes ☐ No ☑
	If Yes, additional permits may be required. Such as: Tree Remova! Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.
ERSIGNEUTICS CONTRACTOR OF THE	
We have reviewed this form as completed above and the basis for basis for exemption or exclusion are true and correct to the best of in accordance with the terms of the exemption/exclusion category exemption or exclusion issued for a water well and/or storage tank event the future house, the well, and/or storage tank requires a value of the future house. The well and/or storage tank requires a value of the future house of the well and/or storage tank requires a value of the future house.	our knowledge and we hereby agree to carry out this project selected on reverse. We also understand and agree that any on the single family exclusion area will be invalidated in the

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

- Staff Use Only

- curling to		第1942年1月1日
	hed review sheet to determine basis of exemption and v Yowner and initial appropriate category below:	whether project qualifies. Review basis of exemption with
	mprovements to Existing Single Family Residence. RC 30610(a), CCAG 13250, ZR 6328.5(a)]	Exclusion Area. [PRC 30610[e], CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5[e]]
B. II Sir	mprovements to Existing Structure Other Than ngle Family Residence or Public Works Facility. (PRC 0610(b), CCAG 13253, ZR 6328.5(b))	G. Utility Connections. [PRC 30610[f], ZR 6328.5[f]]H. Replacement of Structures Following Disasters. [PRC 30610[q], ZR 6328.5[q]]
	Existing Navigation Channel. [PRC 30610[c],	l. Emergency Activities. [PRC 30611, ZR 6328.5[h]]
	R 6328.5(c)]	J. Lot Line Adjustment. [ZR 6328.5(i)]
	Repair or Maintenance Activity. RC 30610(d), CCAG 13252, ZR 6328.5(d)]	K. Land Division for Public Recreation Purposes.
	ingle Family Residence Categorical Exclusion Area. RC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]	[ZR 6328.5[I]]
Control of the contro	HILLIAN SOURCE VIEW OF THE AND	
☐ Rec	quired D Not Required	Control of the second of the second
Inspection	n made by:	Date of Inspection:
I have revened a Exemption		Approval of Permit is subject to the following: (check if applicable)  Submittal and Approval of a Tree Removal Permit  Submittal and Approval of a Grading Permit  Submittal and Approval of an Erosion Control Plan  Submittal and Approval of a Coastal Dev. Permit  ned that it meets all criteria for the exemption/exclusion  Date
Orio	collected ginal Certificate of Exemption to Building Inspection pies of Certificate of Exemption to: applicant/Owner. lanning Department Exemption Binder.	3. Any relevant Planning or Building Inspection files. 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105Update Permit*Plan Case Screen and Activities

PUB\_IRI O\vpda:a\20\_apps\coastalx 6-09-09 rp 07-07-09 yc

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	47.61.61		1	# 1/1 ) / Y. Y

Environmental	Information
Disclosure For	'n

BLD. Emily Berk Name of Owner: 630 Vue de Mar 94038 Address: Name of Applicant: STUART GRUNOW

630 Vue de Mar Project Address: Moss Beach CA 94 038 Assessor's Parcel No.: 037 - 154 - 150Zoning District:

413 MAIN ST STEG HALF MOON BAY Phone: 415 595 0306 A 94019

EMETICESIC CONCINE

Parcel size: 第7526 SF Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain,

creeks, vegetation).

house on lot with sflat grade at Single

PLN

Address:

### Environmental Review Checklist California Environmental Quality Act (CEQA) Review Yes No Will this project involve: a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft? b. Construction of a new multi-family residential structure having 5 or more units? c. Construction of a commercial structure > 2,500 sq.ft? d. Removal of mature tree(s) ( $\geq$ 6" d.b.h. in Emerald Lake Hills area or $\geq$ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: \_\_\_ c.y. f. Subdivision of land into 5 or more parcels? g. Construction within a State or County scenic corridor? h. Construction within a sensitive habitat? Construction within a hazard area (i.e. seismic fault, landslide, flood)? Construction on a hazardous waste site (check with Co. Env. Health Division)? Please explain all "Yes" answers:

Signature required on reverse ->

2. Nat	ional I	larine Fisheries Rule 4(d) Review
Yes	No	Will the project Involve:
<b></b>		a. Construction outside of the footprint of an existing, legal structure?
	V	b. Exterior construction within 100-feet of a stream?
		c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
		d. Land-use within a riparian area?
	. /	e. ·Timber harvesting, mining, grazing or grading?
	V	f. Any work inside of a stream, riparian corridor, or shoreline?
		g. Release or capture of fish or commerce dealing with fish?
Please	explain	àny "Yes" answers:
7	06	SF addition to an existing 2 story house
· · · · · · · · · · · · · · · · · · ·		

Yes	No	ollutant Discharge Elimination System (NPDES) Review  Will the project involve:
		A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?
######################################	V	If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
		b. Land disturbance of 1 acre or more of area?
	V	If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of 'construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Signed:

Date:

1/4/18

(Applicant may sign)

## Building codes

ALL CONSTRUCTION SHALL CONFORM TO: 2016 CALIFORNIA BUILDING CODE CBC 2016 CALIFORNIA RESIDENTIAL CODE CRC 2016 CALIFORNIA PLUMBING CODE CPC 2016 CALIFORNIA MECHANICAL CODE CMC

2016 CALIFORNIA ELECTRICAL CODE CEC

2016 CALIFORNIA ENERGY CODE 2016 CGBC - CALIFORNIA GREEN BUILDINGS CODE STANDARDS CODES COUNTY OF SAN MATEO BUILDING REGULATIONS

2016 CALIFORNIA REFERENCED STANDARDS

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/ COUNTY. ALL THE CLEANOUTS SHALL BE MANTAINED WATERTIGHT.

## Contacts

### **Architect**

Stuart Grunow Architecture 413 Main Street Ste: G Half Moon Bay, California 94019 (415) 595-0306

## Vicinity Map



## Sheet Index

A0.0 Cover Notes

Survey

Construction Best Management Practices

Site Existing Condition & Demolition

Proposed Site Plan

Existing Ground Floor & Demolition

Existing First Floor & Demolition

**Ground Floor Plan** 

Second Floor Plan

**Existing Elevations** 

**Existing Elevations** 

Elevations

Elevations

Cross Section

## Description

465 s.f. addition to an existing twostory house on 7,157 s.f. parcel located 630 Vue de Mar Avenue in Moss Beach, California.



Stuart Grunow Architecture 413 Main Street Ste: G

Residenc

Emily Berk { 630 Vue de Moss Beach APN: 037-1





Perspective - Rear from Northwest

Perspective - Rear from Northeast

23 March 2018 Planning Submittal

Cover

AO.O

F.O.

F.R.P.

G.B.

G.L.B.

G.S.M.

H.B.

HCAP

H.R.C.

HTG.

INSUL

N.I.C.

O.B.

O.F.S.

P.A.

PLAS. LAM

ANCHOR BOLT

AIR CONDITIONING

ACCESS DOOR

ACCESS PANEL

BACKSPLASI

BUILDING

BASEBOAR

CATCH BASII

COVER GUARI

CEILING JOIST

COUNTERTOR

CONCRETE

CONTRACTOR

COOKTOP

CUSTODIAN

CENTERLINE

DOUGLAS FIR

DUALGLAZE

DIAMETER

DIMENSION

DEMOLISHED

EACH

**ELEVATION** 

EXTERIOR

FIRE ALARM

**FIBERGLASS** 

FLOOR DRAIN

FOUNDATION

FINISH FLOOR

FLAT HEAD

FINISH FLOOR

FIRE EXTINGUISHER

FIRE HOSE CABINE

FLAT BAR

EXPANSION JOINT

EXPANSION SHIELD

DETAIL

CONC. MASONRY UNIT

CAST IRON

CLEAR

ADJUSTABLE

ASPHALTIC CONCRETE

AUTOMATIC FIRE SPRINCLER

**ACOUSTIC** 

AGREGATE BASE MATERIAL

FLUORESCENT

FIBER GLASS

**GREEN BOARD** 

GALVANIZED IRON

**GLULAM BEAM** 

**GROUND** 

HOSE BIBB

HANDICAP

HARDBOARD

**KICKPLATE** 

HARDWOOD

**HOLLOW METAI** 

HOSE REEL CABINET

HANDICAP TOWEL DISP

HORIYONTAL

HIGH POINT

**HFIGHT** 

**HEATING** 

HOT WATER

INSIDE DIAMETAR

INSULATION

JUNCTION BOX

INTERIOR

LAVATORY

LIGHTWEIGH

MICRO-WAWI

MAXIMUM

**MECHANICAL** 

MANUFACTURE

MACHINE SCREW

NOT IN CONCRETE

NOT TO SCALE

NOMINAL

**OBSCURE** 

ON CENTER

**OVER HEAD** 

**OPENING** 

**OPPOSITE** 

PUBLIC ADDRESS

PAINT GRADE

PHILLIPS HEAD

PROPERTY LINE

PLASTIC LAMINATE

PLATE

PLASTER

POLISHED

POWER DRIVEN FASTENER

PUBLIC AND HOUSE PHONE

POST INDICATOR VALVE

OUTSIDE DIAMETER

OUTER FACE OF STUD

MANHOLE

MOUNTED

MEDICINE CABINET

MEDIUM DENSITY FIBER BD

**HOLLOW CORE** 

GUAGE

FINISH OPENING

FACE OF CONCRETE

FACE OF STUD/STEEL

REINFORCED PLASTIC

GENERAL CONTRACTOR

**GROUND FAULT INTERRUPTER** 

GALVANIZED SHEET METAL

PRCST.

P.S.I.

P.T.D.

R.A.

R.C.P.

REINF.

REQD.

R.H.

R.R.

R.W.L.

S.C.D.

SECT.

S.G.

S.M.

S.M.S.

S.N.D.

S.N.V.

S.O.V.

S.P.D.

**SPECS** 

STRUC

S.T.S.

ST. STL.

T.O.D.

T.O.C.

T.O.S.

T.P.D.

U.O.N.

V.G.D.F

V.T.R.

V.H.F.

WDO/WDOS

WNDR. BD

WSCT.

T.O.STL

R.D.

PRECAST

POUNDS PER SQUARE FOOT

POUNDS PER SQUARE INCH

PAPER TOWEL DISPENSER

REFLECTED CEILING PLAN

PARALAM BEAM

**PARTITION** 

**RETURN AIR** 

**ROF DRAIN** 

RECESSED

REQUIRED

RIGHT HEND

**ROUND HEAD** 

ROOF RAFTER

RAIN WATER LEADER

SOLID BLOCKING

SMOKE DETECTOR

SAFETY GLAZE

SEAT COVER DISPENSER

SOLID CORE

SECTION

SHEAR

SHEET

SINK

SHOWER

SIMILAR

SHEET METAL

SHUT OFF VALVE

SOAP DISPENSER

SPECIFICATIONS

SERVICE SINK

**SQUARE** 

STEEL

STORAGE

STRUCTURAL

SUSPENDED

SYMMETRICAL

TREAD

**TOWEL BAR** 

TOP & BOTTOM

TELEPHONE

THICK

TOP KICK

TOP OF CURB

TOP OF PLATE

TOP OF SLAB

**TYPICAL** 

URINAL

VERTICAL

TOP OF STEEL

TOILET PAPER DISPENSER

UNLESS OTHERWISE NOTED

VINYL COMPOSITION TILE

VERTICAL GRAIN DOUGLAS FIF

VENTILATION THROU ROOF

VINYL WALL FABRIC

WATER CLOSET

WONDERBOARD

WATER PROOF

WATER RESISTANT GYPSUM

WEATHER STRIPPING OR WOOD SCREW

WITHOUT

WINDOW/WINDOWS

WOOD

TOP OF PAVEMENT

TEMPERED GLASS

TONGUE&GROOVI

TRASH COMPACTOR

**TOWEL DISPENSER** 

TRUE-DIVIDED LIGHTS

TOWEL DISPENSER & DISP.

SELF TAPPING SCREW

STAINLESS STEEL

SHEET METAL SCREWS

SANITARY NAPKIN DISPOSAL

SANITARY NAPKIN VENDOR

ROOM

REFERENCE

REFRIGERATOR

REINFORCED/ING

RISE

RADIUS

PRESSURE TREATED

### MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN

UNDERGROUND SERVICE SHALL BE INSTALLED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE PACIFIC GAS & ELECTRIC
COMPANY REQUIREMENTS. SEE COMPLETE INFO ON SHEET E-1

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA.

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2.500 P.S.I. EPOXY HOLDOWNS, HIGH STRENGTH BOLTS. SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4 OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITYS RIGHT OF WAY.

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG, INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER FIRE PROTECTION NOTES.

INCLUDE HOUSE ADDRESS NUMERALS SHALL BE A MIN. 4 IN HEIGHT AND - STROKE OF CONSTRUCTING COLOR TOP THEIR BACKGROUND

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL & EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIME OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPETITION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE. DEBRIS TO BE OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PACKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPETITION OF THE USE AND/ OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THE NO CONSTRUCTION-RELATED VEHICLE SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON STREET. ALL CONSTRUCTION VEHICLE SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDE SAFE ACCESS ON STREET. THERE SHELL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.

NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL THE BUILDING PERMIT HAS BEEN ISSUED AND THAN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 80 DBAS LEVEL AT ANY MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 10:00 A.M. TO 6:00 P.M. MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND NATIONAL HOLYDAY.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS.

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE WATER DETENTION AREAS. SEE CIVIL PLANS.

IT IS THE INTENT OF THERE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPED AREAS. SEE GRADING. DRAINAGE & EROSION CONTROL PLAN ON SHEET C-1. CONTRACTOR TO PROVIDE INTENT.

SEE SEPARATE DRAINAGE PLAN BY CIVIL ENGINEER FOR OFFICIAL DESIGN OF EROSION CONTROL AND DRAINAGE PLAN.

RAINWATER LEADERS (DOWNSPOUTS) TO TIE INTO UNDERGROUND DRAIN. SEE DRAINAGE PLAN BY CIVIL ENGINEER ON SHEET C-1.

MAINTAIN 6 MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING (8 FROM SILL).

DRAIN WATER AWAY FROM BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

PRIOR TO THE ISSUANCE OF THE BLDG. PERMIT. THE APPLICANT/CONTRACTOR SHALL SUBMIT A DRIVEWAY PLAN & PROFILE TO THE DEPARTMENT OF PUBLIC WORKS. SHOWING THE DRIVEWAY ACCESS TO THE PARCEL (GARAGE SLAB) COMPLYING WITH THE COUNTRY STANDARDS FOR DRIVEWAY SLOPES (NOT TO EXCEEDED 20%) AND TO COUNTRY STANDARDS (AT THE PROPERTY LINE) BEING THE SAME ELEVATION AS THE CENTER OF THE ACCESS ROADWAY. WHEN APPROPRIATE, AS DETERMINED BY THE DEPT. OF PUBLIC WORKS, THE PLAN AND PROFILE SHALL BE PREPARED FROM ELEVATIONS AND ALIGNMENT SHOWN ON THE ROADWAY IMPROVEMENT PLANS. THE DRIVEWAY PLANS SHALL ALSO INCLUDE AND SHOW SPECIFIC PROVISIONS AND DETAILS FOR BOTH THE EXISTING AND THE PROPOSED DRAINAGE PATTERNS AND DRAINAGE FACILITIES.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT. INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE OF THE PROPOSED BUILDING PER ORDINANCE NO. 3211.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTURBANCE SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

### FIRE PROTECTION NOTES

A CRC 2013 SECTION R327, THIS PROJECT IS LOCATED IN A STATE RESPONSIBILITY AREA FOR WILDFIRE PROTECTION, ROOFING, ATTIC VENTILATION, EXTERIOR WALLS, WINDOWS EXTERIOR DOORS, DECKING, FLOORS AND UNDERFLOOR PROTECTION SHALL COMPLY WITH CRC 2013 SECTION R327 REQUIREMENTS.

AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFP A-13D MUST BE SUBMITTED. THE ENTIRE STRUCTURE TO HAVE FIRE SPRINKLERS. THEY MUST BE DRAWN BY A CONTRACTOR HAVING A C/16 LICENSE. THE SUBCONTRACTOR SHALL PRODUCE DRAWINGS FOR APPROVAL BY CITY, COUNTRY OR FIRE DEPARTMENT.

SMOKE DETECTORS ARE HARDWIRED AS PER THE CALIFORNIA BUILDING CODE (CBC), STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03. THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL.

2A. SMOKE/CARBON MONOXIDE DETECTORS: TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY POWER BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURERS INSTRUCTION AND NFPA 72.

ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5.0 SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL NE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.

4A. IDENTIFY RESCUE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS.

5. OCCUPANCY SEPARATION: ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R302.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6. ADDRESS NUMBERS: ASPER COASTSIDE FIRE DISTRICT NO. 2013-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #S SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM - INCH STROKE. SUCH LETTERS/ NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE. WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A. NEW RESIDENTIAL ADDRESS NUMBERS: BUILDINGS SHAL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDING ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 911 OR EQUIVALENT.

7. ROOF COVERING: AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2013-03, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS B OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA BUILDING CODE.

8. AUTOMATIC FIRE SPRINKLER SYSTEM: AS PER SAN MATEO COUNTRY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2013-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTRY PLANNING AND BUILDING DIVISION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMITTING OF PLANS, THE COUNTRY OF CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY COASTSIDE FIRE PROTECTION DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTING MUST BE PRESSURE TESTED WITH TRENCH OPEN. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE IN ACCORDANCE WITH HALF MOON BAY ORDINANCE 2006-01. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.

9. INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN.

10. EXTERIOR BELL AND INTERIOR HORN/STROBE: REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

11. OPTIONAL SOLAR PHOTOVOLTAIC SYSTEM: THESE SYSTEMS SHALL MEET THE REQUIREMENTS OF THE COASTSIDE FIRE DISTRICT AS OUTLINED IN STANDARD DETAIL DI-001 SOLAR PHOTOVOLTAIC SYSTEM.

12. FIRE ACCESS ROADS: THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SAN MATEO COUNTRY DEPARTMENT OF PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2013 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH HALF MOON BAY FIRE DISTRICT SPECIFICATIONS. AS PER THE 2001 CFC, SECTION APPENDIX D. ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FEET ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13. FIRE APPARATUS ROADS TO BE MINIMUM OF 20 FEET WIDE A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC503, DI03, T-14 1273

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. NO GRADES OVER 20%. (PLAN AND PROFILE REQUIRED CFC 503).

14. NO PARKING FIRE LINE SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE CFC DI03.6.

15. FIRE HYDRANT: AS ER 2013 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (FLOW 360) MUST BE LOCATED WITHIN 250 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2013 CFC, APPENDIX B, THE HYDRANTS/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 1,000 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FIRES FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16. THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTRY STANDARD WET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE MINIMUM OF ONE EACH 4 | OUTLET AND ONE EACH 2 | OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.

A. <u>VEGETATION MANAGEMENT</u>: THE COASTSIDE FIRE DISTRICT ORDINANCE 2013-03, THE 2013 CALIFORNIA FIRE CODE AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. IN SRA (STATE RESPONSIBLE AREA). THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PARTITIONS, AND LIMITED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

C. REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE.

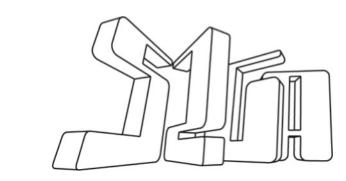
D. THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEY EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2". NOTE: NO FIREPLACE FOR THIS DESIGN.

E. A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A

DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES. F. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS AND LIMBED UP 6 FEET

ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

G. REMOVE THAT PORTION OF ANY EXISTING TREES, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5' OF ANY STRUCTURE. MANTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.

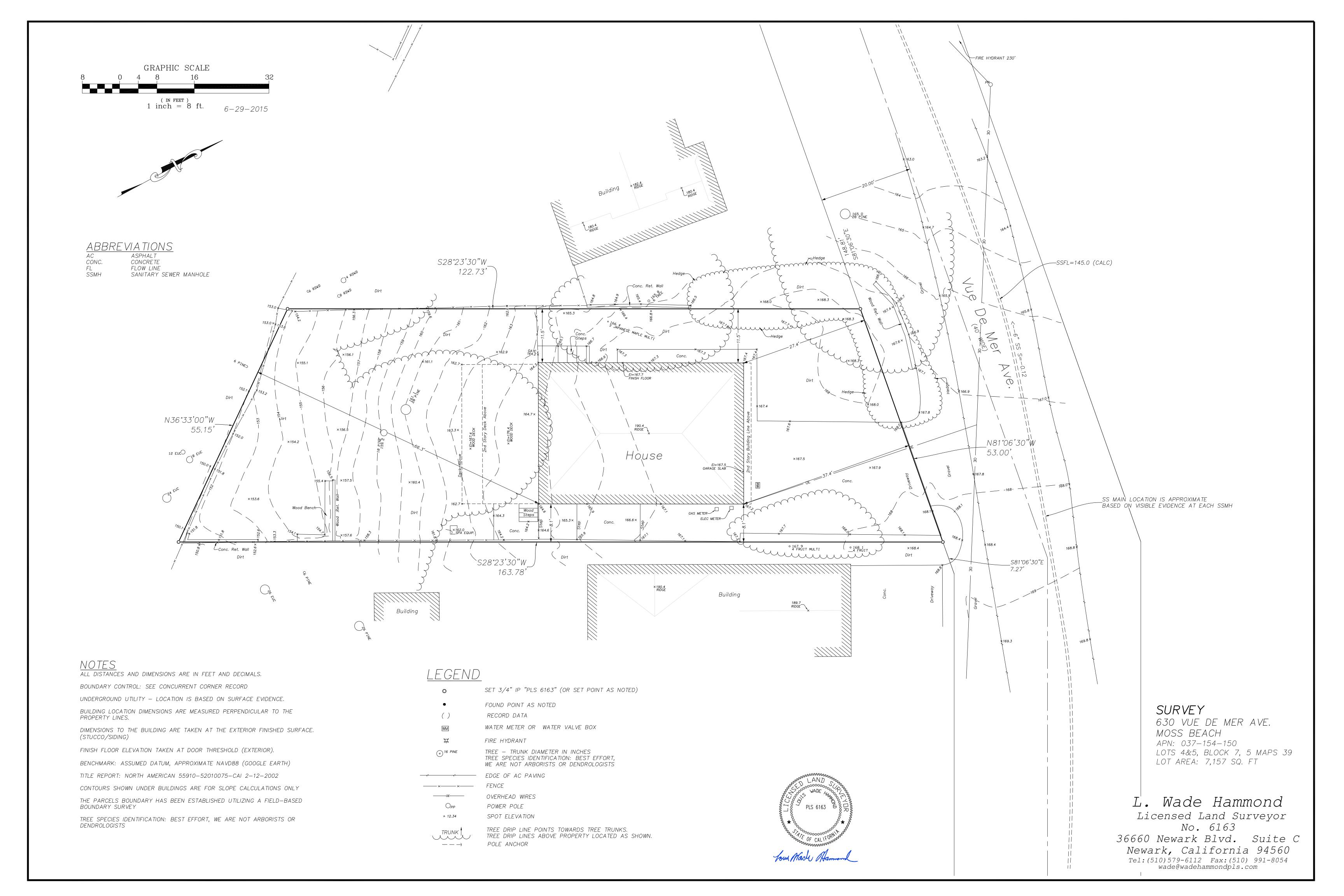


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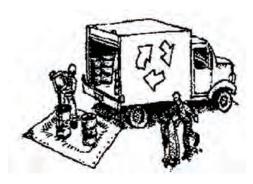


# **Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

### **Materials & Waste Management**



#### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

#### **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

#### Waste Managemen

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

#### **Construction Entrances and Perimeter**

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## **Equipment Management & Spill Control**



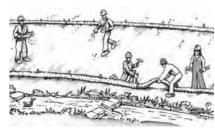
#### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

#### **Spill Prevention and Control**

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled.
   Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☐ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- □ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

### **Earthmoving**



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

#### **Contaminated Soils**

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

### Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand.
   Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

#### Sawcutting & Asphalt/Concrete Removal

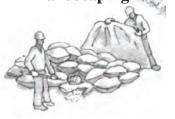
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



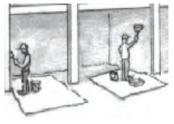
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

#### Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

### **Painting & Paint Removal**



#### **Painting Cleanup and Removal**

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer.

  Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste.

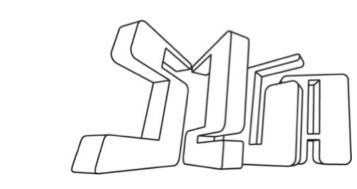
  Lead based paint removal requires a statecertified contractor.

### Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



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Residen

Berk

Emily Berk & 630 Vue de N Moss Beach, APN: 037-15

### Site Zoning and Planning Data

R1 (S-17) Zoning 037-154-150 7,157 s.f. **Existing Lot Area** 

Residential Occupancy CBC 2016 **Building Code Stories** 2 stories Construction Type VB

Lot Coverage >16', 35% allowed 53% allowed Floor Area Front Setback 20' min. Rear Setback 20' min. Side Setback 15' min. total

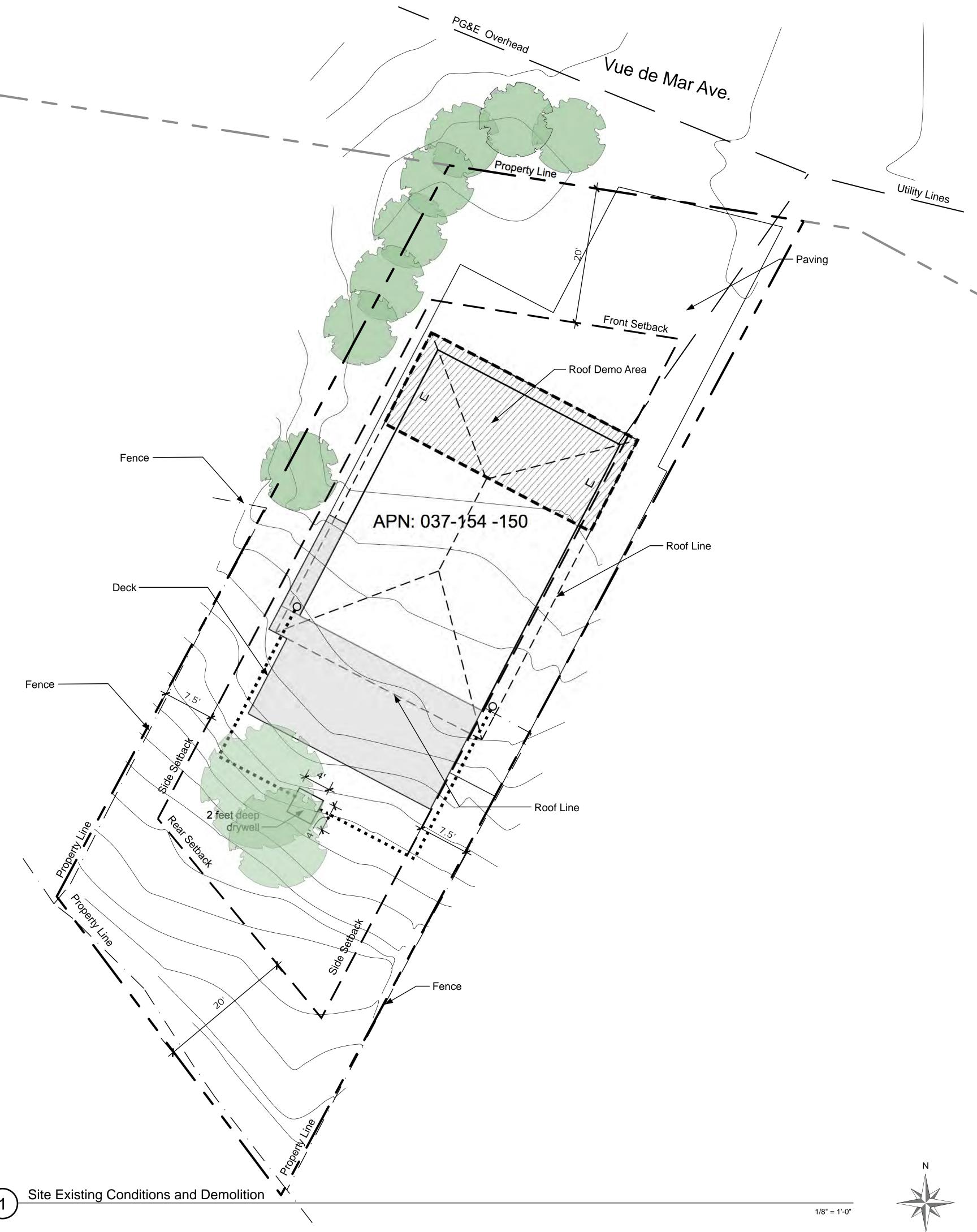
### **Site Notes**

The site is a rectangular area of 7,157 s.f.. The lot is oriented on a northeast-southwest axis, with significant terrain slope on its southern half. The grade change across the site is approximate 28 feet. The site highest elevation is approximately 168' at the northeast corner on Vue de Mar Avenue, and the lowest elevation is approximately 150' on the opposite side in the southern corner.

- 1. Topographic information used for design and contained in these Documents is derived from incidental measurements prepared by Architect and Civil Engineer. Contractor shall verify all grades during layout and coordinate discrepancies in conjunction with Architect.
- 2. Design contours and drainage shown are schematic only and shall not be taken to represent final grading and drainage plans.
- 3. Refer Building Floor Plans and Sections for all dimensional information.
- 4. Existing finish grades shall be restored upon completion of construction unless changes are specified in the drawings.
- 5. Roadways shall be maintained clear of construction equipment or materials at all times. Debris shall be removed from roadways and sidewalk immediately. Contractor shall sweep or wash road surfaces after operations that generate debris.
- 6. Dust control measures shall be implemented as necessary. Provide watering during excavation and backfill to prevent dust from crossing property

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Site Existing Conditions and Demolition





1/8" = 1'-0"

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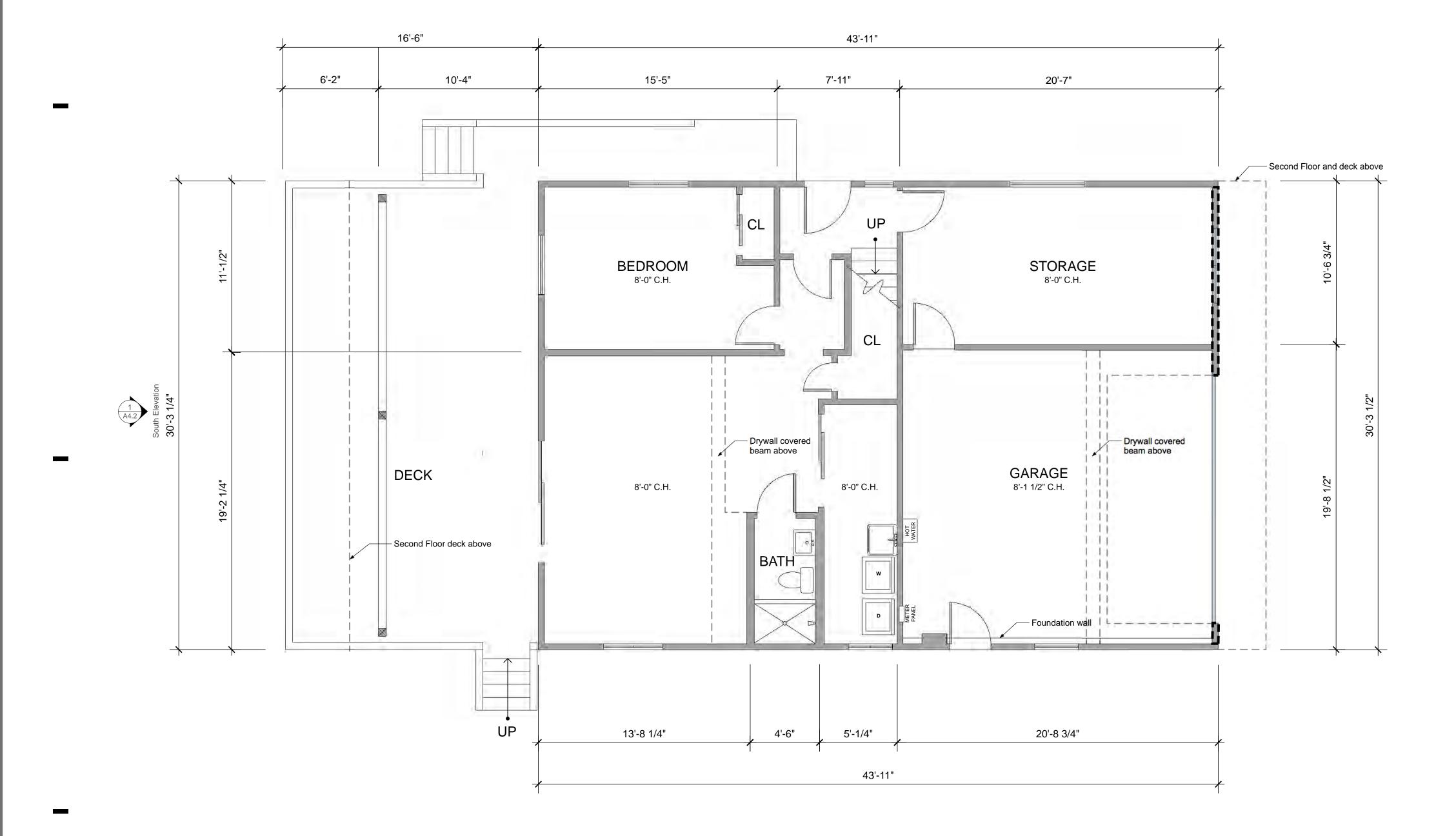
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Proposed Site Plan

41.2





East Elevation



All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies.

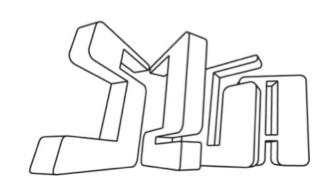
Dimensions given are to face of stud unless otherwise noted. Variations include:

FOC: Face of Concrete

FOM: Face of Masonry

L: Centerline

FOF: Face of Finish



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Keynotes

Demo Legend



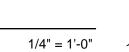
Wall to be demolished

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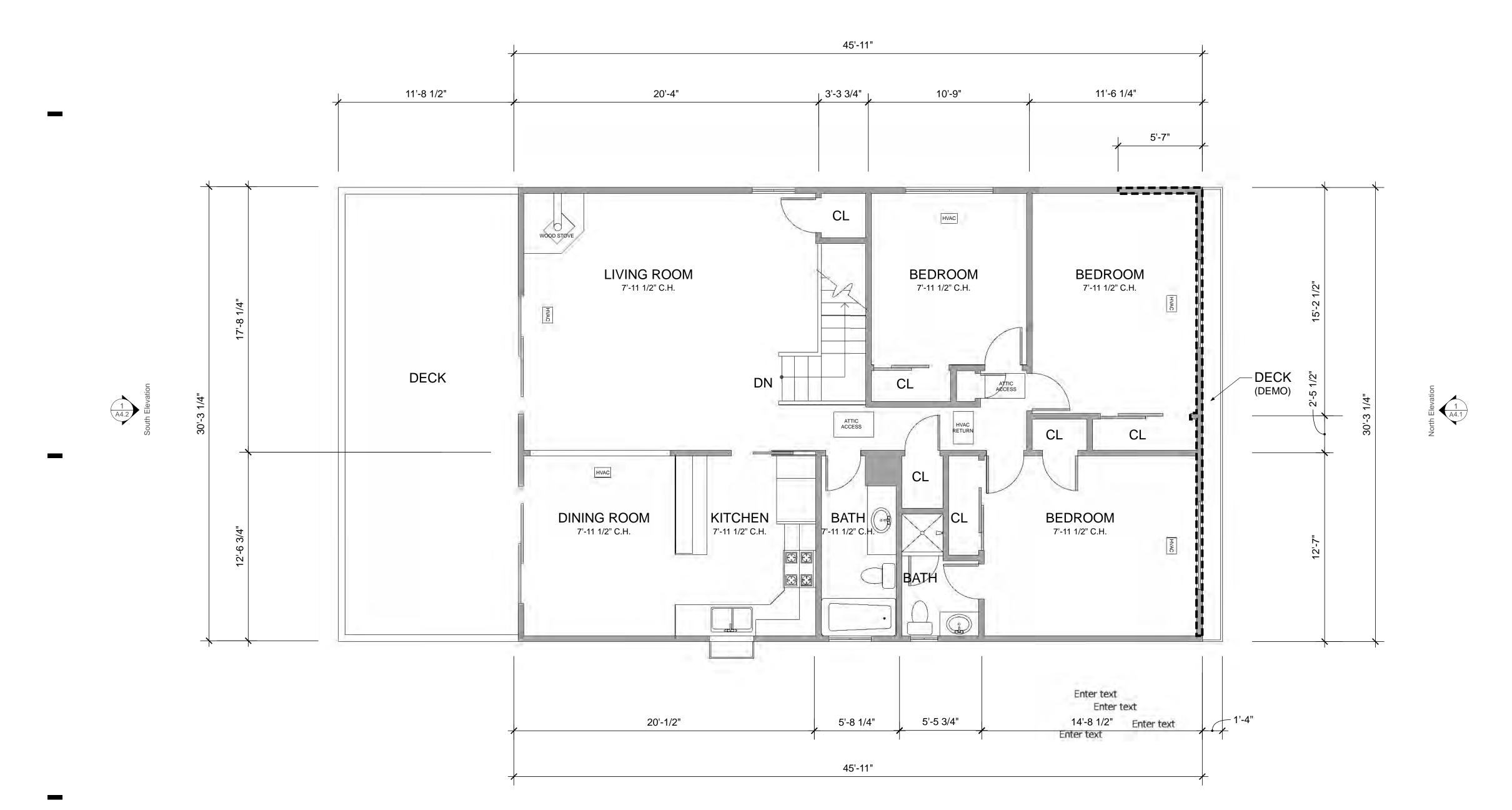
Existing Ground Floor & Demolition

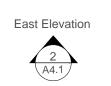
A2.1











## Existing Floor Plan Notes

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Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies.

Dimensions given are to face of stud unless otherwise noted. Variations include:

FOC: Face of Concrete

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Keynotes

Demo Legend



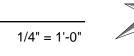
Wall to be demolished

Existing Second Floor & Demolition

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A2.2

1 Existing Second Floor & Demolition



## Floor Plan Notes

Keynote legend below contains information referenced throughout Documents. References are organized by standard CSI divisions and are flagged at various locations in the Documents by means of the following symbol: 1.0

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations

include:
FOC: Face of Concrete
FOM: Face of Masonry

L: Centerline

FOF: Face of Finish

areas (except ceiling).

The concrete slab shall receive exterior sheathing from walls framed above. Refer foundation plan for adjusted foundation dimensions.

Refer exterior elevations for critical alignment of openings.

Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all

other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub

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## Keynotes

Wall Legend

**Existing Wall** 



New Wall

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Ground Floor

A2.3

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Keynote legend below contains information referenced throughout Documents. References are organized by standard CSI divisions and are flagged at various locations in the Documents by means of the following symbol: 1.0

All dimensions given take precedence over scale. Contractor shall not scale drawings to determine dimensions without consulting with the Architect. Incorrect dimensions and resulting construction deficiencies due to scaling of Documents by the Contractor are the Contractor's responsibility and required corrections will be performed at the Contractor's expense.

Critical alignments may occur between items installed by different trades. Contractor to note all such items and notify affected trades. Sub-contractors shall review Documents and identify all such items that affect their work in any way.

Contractor shall review all dimensions shown herein for accuracy prior to construction. Contractor shall review any apparent discrepancies. Dimensions given are to face of stud unless otherwise noted. Variations

FOC: Face of Concrete
FOM: Face of Masonry

€: Centerline FOF: Face of Finish

The concrete slab shall receive exterior sheathing from walls framed above. Refer foundation plan for adjusted foundation dimensions.

Refer interior elevations for critical alignment of openings, fixtures, finishes, cabinet dimensions, vertical controls, millwork locations.

Refer electrical plans for location of light fixtures, switches, etc. Contractor to coordinate framing to accommodate recessed fixtures and other items with critical locations.

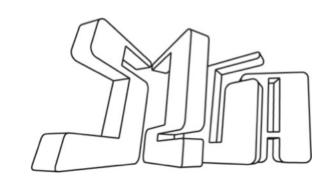
Refer exterior elevations for critical alignment of openings.

Repeating items or assemblies may not be noted or dimensioned at all locations where repetition is obvious.

Refer structural drawings for location of posts, double studs, special floor and wall framing, special connections, shear nailing.

Provide 2x backing for all handrails, toilet accessories, cabinets and all other items requiring backing.

Provide water resistant gypsum board (green bd.) at all toilet, shower, tub areas (except ceiling).



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Keynotes

Wall Legend



**Existing Wall** 



New Wall

Second Floor

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42.4

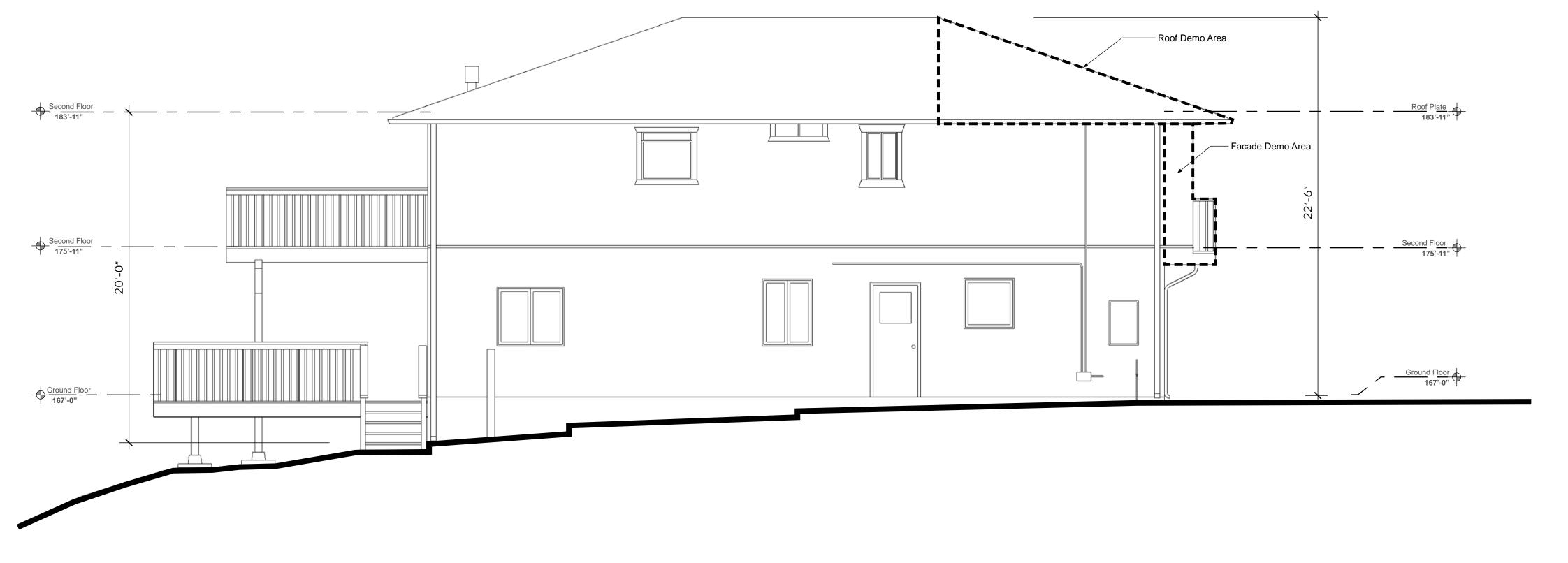
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Notes

(ROOF PARTIAL DEMO SEE EAST AND WEST ELEVATIONS) (DEMO) (DEMO)

**Existing North Elevation** 

1/4" = 1'-0"



Keynotes

Demo Legend

Areas to be demolished

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Residen

Existing Elevations

**Existing East Elevation** 

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1/4" = 1'-0"

Notes

Residenc

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**Existing South Elevation** 

1/4" = 1'-0"



Keynotes

Demo Legend

Areas to be demolished

1/4" = 1'-0"

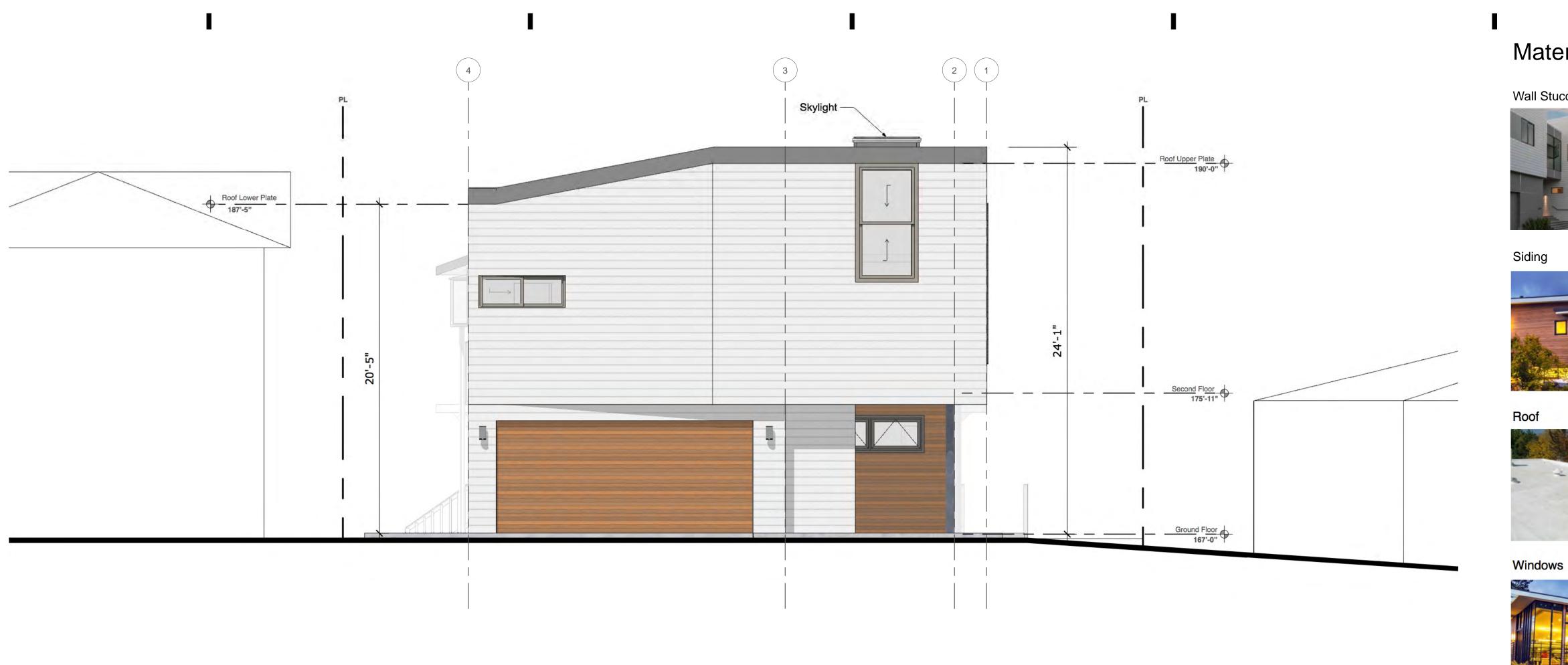
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Exisiting Elevations

A4.2

**Existing West Elevation** 

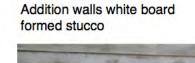
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### Wall Stucco







Siding

Entry Porch wood cladding



Residen

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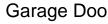


Addition white membrane roof



Dark Bronze frames, clear glass Ref: Marvin Integrity or Sierra Pacific

Reuse of salvaged wood frame round window (West Elevation)



1/4" = 1'-0"

1/4" = 1'-0"





Wall mounted LED light Brushed Aluminium finish Dark sky friendly Ref: Modern Forms Vessel LED

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Proposed Elevations

Scupper to (E) roof Downspout

East Elevation

North Elevation

NEW

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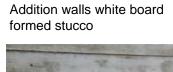
**EXISTING** 

## Materials

### Wall Stucco

Siding







Entry Porch wood cladding

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Addition white membrane roof



1/4" = 1'-0"

1/4" = 1'-0"



Dark Bronze frames, clear glass Ref: Marvin Integrity or Sierra Pacific



Reuse of salvaged wood frame round window (West Elevation)

Garage Door





Lights

Wall mounted LED light Brushed Aluminium finish Dark sky friendly Ref: Modern Forms Vessel LED

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Proposed Elevations

New window Downspout — **EXISTING** NEW

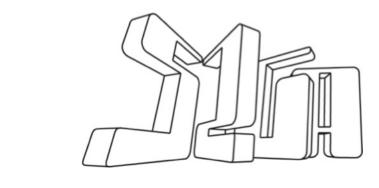
West Elevation

South Elevation

Roof Upper Plate
190'-0"

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Scupper to (E) roof



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Berk Residenc

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Cross Section

A5.1

