

0.12 0 0.06 0.12 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:3,852



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

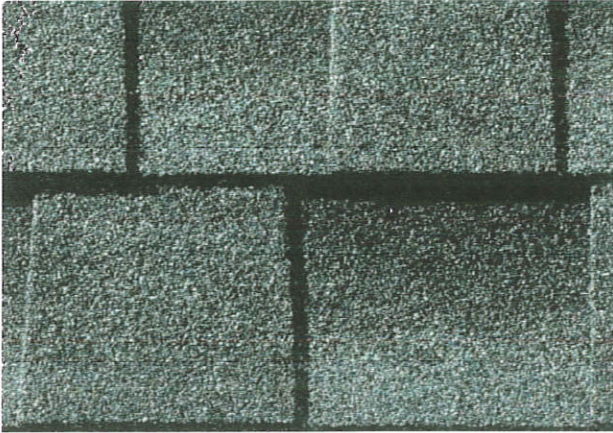
**THIS MAP IS NOT TO BE USED FOR NAVIGATION**

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

GARAGE DOOR & WOOD TRIMS  
GALVESTON GRAY AC-27



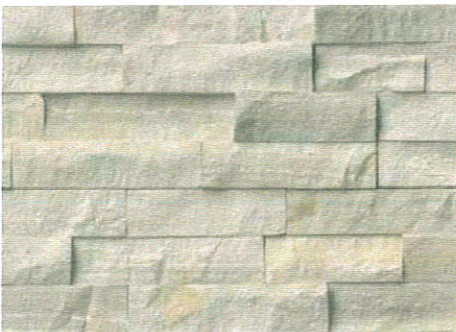
ROOFING - GAF COMP. SHINGLES TIMBERLINE HD IN PEWTER GRAY



SIDING - PAINTED CEMENT PLASTER BM PIGEON GRAY



NATURAL STACKED STONE VENEER  
PANELS IN WHITE OAK SPLITFACE



WINDOW & DOOR /TRIM -  
BM CHANTILLY LACE OC-65



WINDOWS & DOORS KOLBE & KOLBE  
SATIN BLACK



## COLOR AND MATERIALS



406 LA JOLLA STREET  
SAN MATEO, CA 94403  
(650) 218-8161  
CHRISRUFFAT@YAHOO.COM  
LIC. # 48803

DATE

12/15/17

RECEIVED

DEC 19 2017

Project Number San Mateo County  
Planning Division

AB03

2017-00296

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

GARAGE DOOR & WOOD TRIMS  
GALVESTON GRAY AC-27



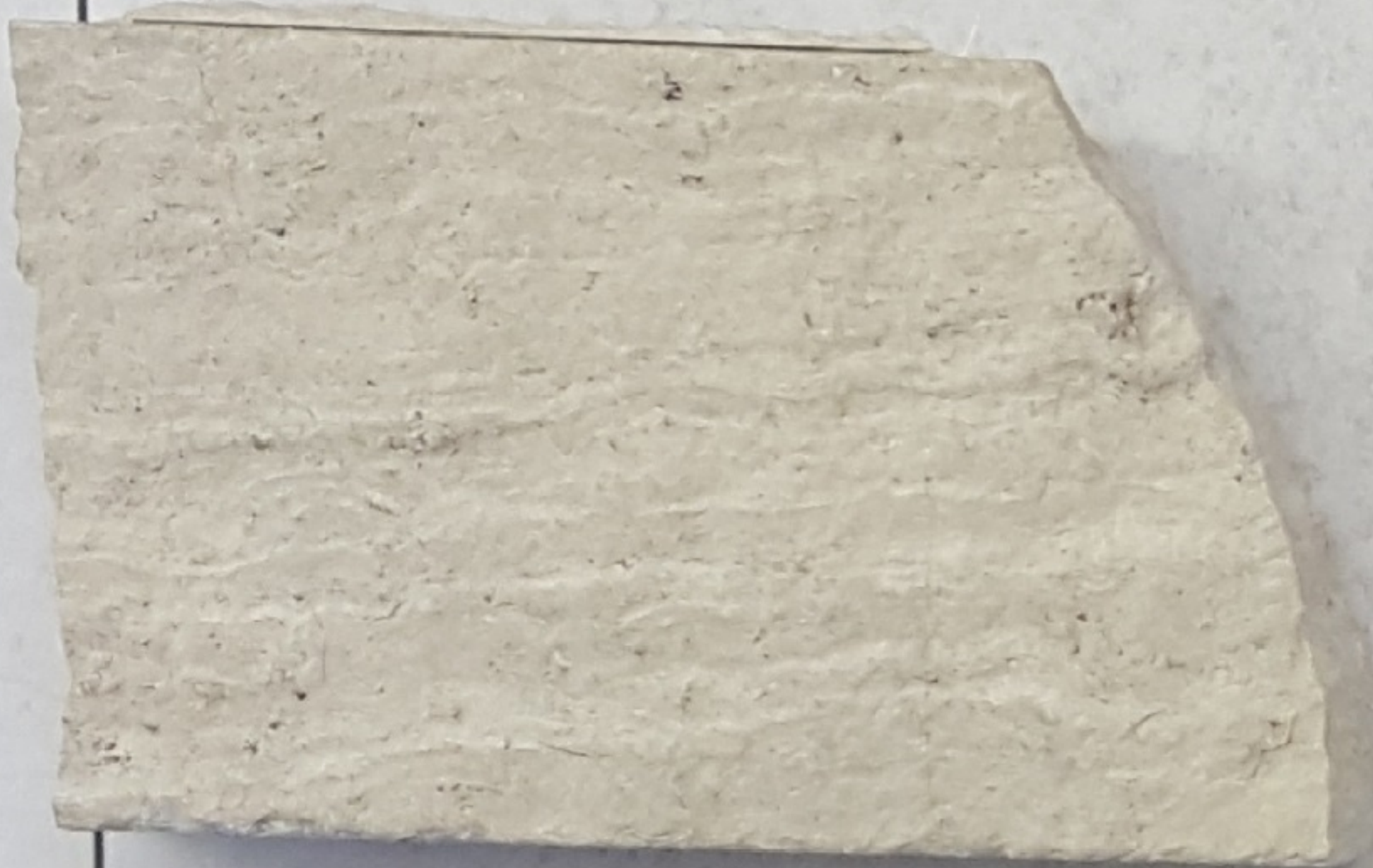
ROOFING - GAF COMP. SHINGLES TIMBERLINE HD IN PEWTER GRAY



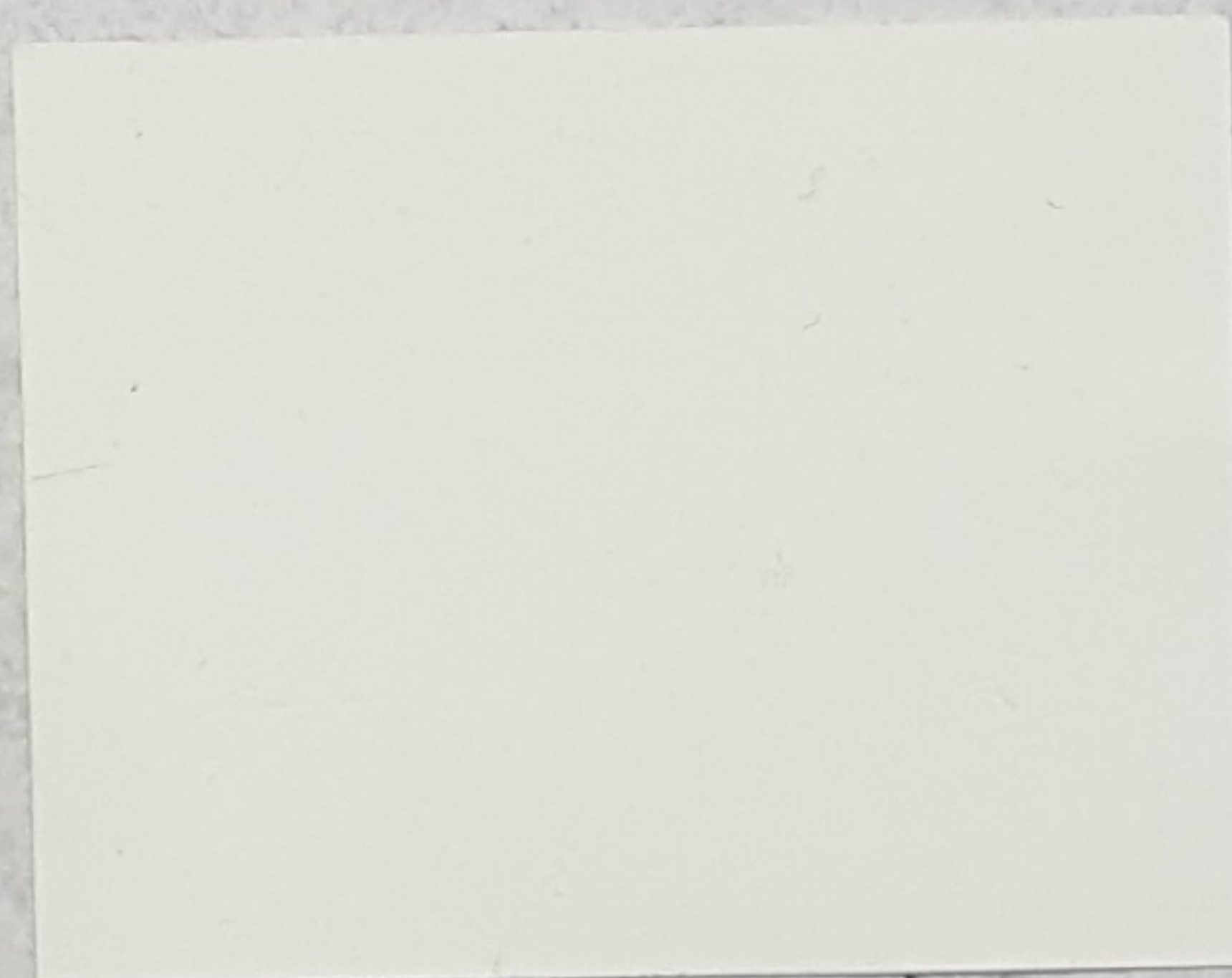
SIDING - PAINTED CEMENT PLASTER BM PIGEON GRAY



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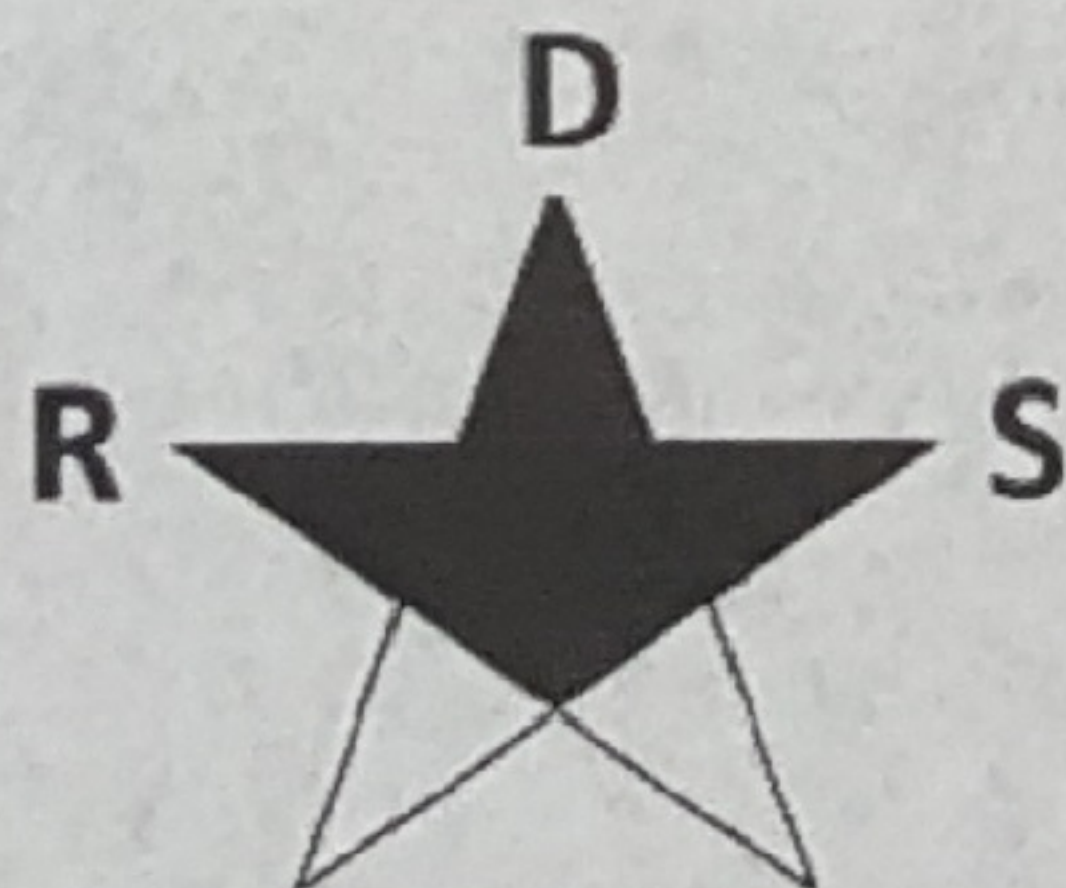
WINDOW & DOOR /TRIM -  
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WINDOWS & DOORS KOLBE & KOLBE  
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## COLOR AND MATERIALS



**RESIDENTIAL  
DESIGN SOLUTIONS**

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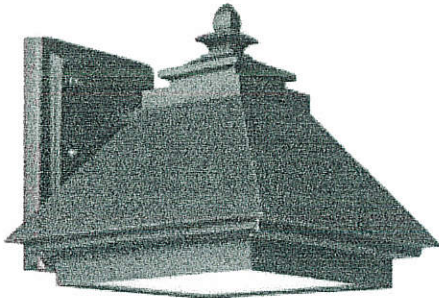
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Capital Lighting Fixture Company  
5359 Rafe Banks Drive, Flowery Branch, GA, 30542-2768  
TF: 800.323.3257 | P: 770.965.7238 | F: 770.965.7254  
www.capitalightingfixture.com

JUL 20 2017

San Mateo County  
Planning and Building Department



Collection: *Dark Sky*

## 1 Light Wall Lantern

9092BB

10"W x 8.25"H x 11"D

Burnished Bronze

### Specs

#### Description

1 Light Wall Lantern

#### Collection

Dark Sky

#### Finish Description

Burnished Bronze

#### Fixture Material

Cast Aluminum

#### Glass

Acid-Washed Glass Lens

#### Lamping

1-100 Watt Medium

#### Voltage

120V

#### Certification

UL Listed. Rated for Wet Environments.

#### Back Plate Junction Top

3.26"

#### Back Plate Length

7.66"

#### Back Plate Width

5.72"

#### Center/Top

3"

#### Center/Bottom

5.25"

---

**About**

Designed in Atlanta. Manufactured in China.

**Category**

Outdoor

**Style**

Classic

**Light Source**

Incandescent

**Room List**

Exterior



# Application Form

PLN: 2017-00296

BLD:

## Applicant/Owner Information

Applicant: Jennifer Jacinto/ TAG RE Partners

Mailing Address: 680 Walnut Street

San Carlos, CA

Zip: 94070

Phone,W: 6508048850

H:

E-mail Address: jen@tagpartners.com

FAX:

Name of Owner (1): Bahram & Zohreh Abolmoluki

Name of Owner (2):

Mailing Address: 680 Walnut Street

Mailing Address:

San Carlos, CA

Zip: 94070

Zip:

Phone,W: 4154201661

Phone,W:

H:

H:

E-mail Address: babolmoluki@yahoo.com

E-mail Address:

## Project Information

Project Location (address):

0 Columbus St.

Assessor's Parcel Numbers: 47 — 275 — 50

Zoning: R1 | S-17 | DR/CD

Parcel/lot size: 6,026

SF (Square Feet)

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

Construction of a new 3,026 square foot 2 story home on a vacant lot in El Granda. Property is located on the SE corner of Isabella Ave and Coumbus St. Southerly facing sloped lot. Due to slope garage will be placed in the front of the house. 285 cubic yards of cut is expected for the construction of the foundation and driveway. Several trees will be reomved because they are in the footprint of development.

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

Vacant lot with several trees and scrub. Property is located on the SE corner of Isabella Ave and Columbus St.

Describe Existing Structures and/or Development

New construction of a 3,056 square foot 2-story home with 3 bedrooms, 3.5 bathrooms and a 2-car garage on a 6,026 vacant lot. 285 cubic yards of cut is expected for the foundation and to strip the topsoil for construction.

## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: *Bahram Abolmoluki*

Owner's signature: *Zohreh Abolmoluki*

Applicant's signature: *Jennifer Jacinto*

RECEIVED

San Mateo County

# Application for Design Review by the County Coastside Design Review Committee

JUL 20 2017

Planning and Building Department  
County Government Center • 455 County Center • Redwood City CA 94063  
Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Permit #: PLN 2017-00296

Other Permit #: \_\_\_\_\_

## Basic Information

### Applicant:

Name: Jennifer Jacinto/ TAG RE Partners  
Address: 680 Walnut St.  
San Carlos, CA Zip: 94070  
Phone, W: 6508048850 H: \_\_\_\_\_  
Email: jen@tagrepartners.com

### Owner (if different from Applicant):

Name: Bahram & Zohreh Abolmoluki  
Address: 680 Walnut St.  
San Carlos, CA Zip: \_\_\_\_\_  
Phone, W: \_\_\_\_\_ H: 4154201661  
Email: babolmoluki@yahoo.com

### Architect or Designer (if different from Applicant):

Name: Christian Ruffat  
Address: 406 LA JOLLA AVE., SAN MATEO, CA Zip: 94403  
Phone, W: 6502188161 H: \_\_\_\_\_ Email: chrisruffat@yahoo.com

## Project Site Information

### Project location:

APN: 47275050  
Address: 0 Columbus St.  
El Granada Zip: 94018  
Zoning: R1  
Parcel/lot size: 6,026 sq. ft.

### Site Description:

- Vacant Parcel
- Existing Development (Please describe):

PROPERTY IS LOCATED ON SE CORNER OF ISABELLA AVE. + COLUMBUS ST. GROUND SLOPE ARE SOUTHWESTERLY FACING SLOPE LOT.

### Project:

- New Single Family Residence: 3,056 sq. ft.
- Addition to Residence: \_\_\_\_\_ sq. ft.
- Other: \_\_\_\_\_

### Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

### Describe Project:

NEW CONSTRUCTION OF A 2-STORY HOME WITH 3 BEDROOMS, 3.5 BATH AND 2-CAR GARAGE.

**Materials and Finish of Proposed Buildings or Structures:**

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	Stucco	pigeon grey	<input type="checkbox"/>
b. Trim	wood	white (chantilly lace)	<input type="checkbox"/>
c. Windows	wood	black	<input type="checkbox"/>
d. Doors	wood		<input type="checkbox"/>
e. Roof	composite shingle	pepper grey	<input type="checkbox"/>
f. Chimneys	none	none	<input type="checkbox"/>
g. Decks & railings	stainless steel metal railings	silver/grey (powder coated)	<input type="checkbox"/>
h. Stairs	wood (cedar)	pigeon grey	<input type="checkbox"/>
i. Retaining walls	—		<input type="checkbox"/>
j. Fences	<del>wood</del> na		<input type="checkbox"/>
k. Accessory buildings	none		<input type="checkbox"/>
l. Garage/Carport			<input type="checkbox"/>

**Required Findings**

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

**Statements**

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

B.A. Alshulki  
Owner:

[Signature]  
Applicant:

Zahra Alshulki

07/14/17  
Date:

07/20/17  
Date:

**Environmental Information Disclosure Form**

Planning and Building Department

JUL 20 2017

PLN PLN2017-00296  
BLD \_\_\_\_\_

Project Address: 0 Columbus St., El Granada

Name of Owner: Bahram & Zohreh Abolmoluki  
Address: 3312 Melendy Drive, San Carlos,  
CA 94070 Phone: 4154201661

Assessor's Parcel No.: 47 - 275 - 50

Name of Applicant: Jennifer Jacinto/ TAG Re Partne  
Address: 680 Walnut St., San Carlos  
CA 94070 Phone: 6508048850

Zoning District: R1/S-17/DR

**Existing Site Conditions**

Parcel size: 6,026

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). Construction of new single family residence

Construction of new single family residence

**Environmental Review Checklist**

**1. California Environmental Quality Act (CEQA) Review**

Yes	No	Will this project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>	<input type="checkbox"/>	d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>1</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation: <u>285</u> c.y. Fill: <u>∅</u> c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:  
1 TREE WITH POOR CONDITION HAS BEEN REMOVED. (SEE ATTACHED PERMIT)  
GRADING - CUTTING A FEW CUBIC YARDS TO PREPARE FOR FOUNDATION; WE NEED TO REMOVE 12 INCHES MINIMUM OF TOPSOILS  
STRIP ALL EXISTING GRASS COVER, ORGANICALLY CONTAMINATED SOIL, ROOTS & LOOSE OR SOFT SOIL IN THE AREAS OF PLANNED DEVELOPMENT, INCLUDING ALL CONCRETE SLAB & DRIVEWAYS.

Signature required on reverse →

## 2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?

Please explain any "Yes" answers:

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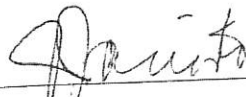
## 3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <b>10,000 sq. ft.</b> or more of impervious surface? If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Land disturbance of <b>1 acre</b> or more of area? If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

### Certification

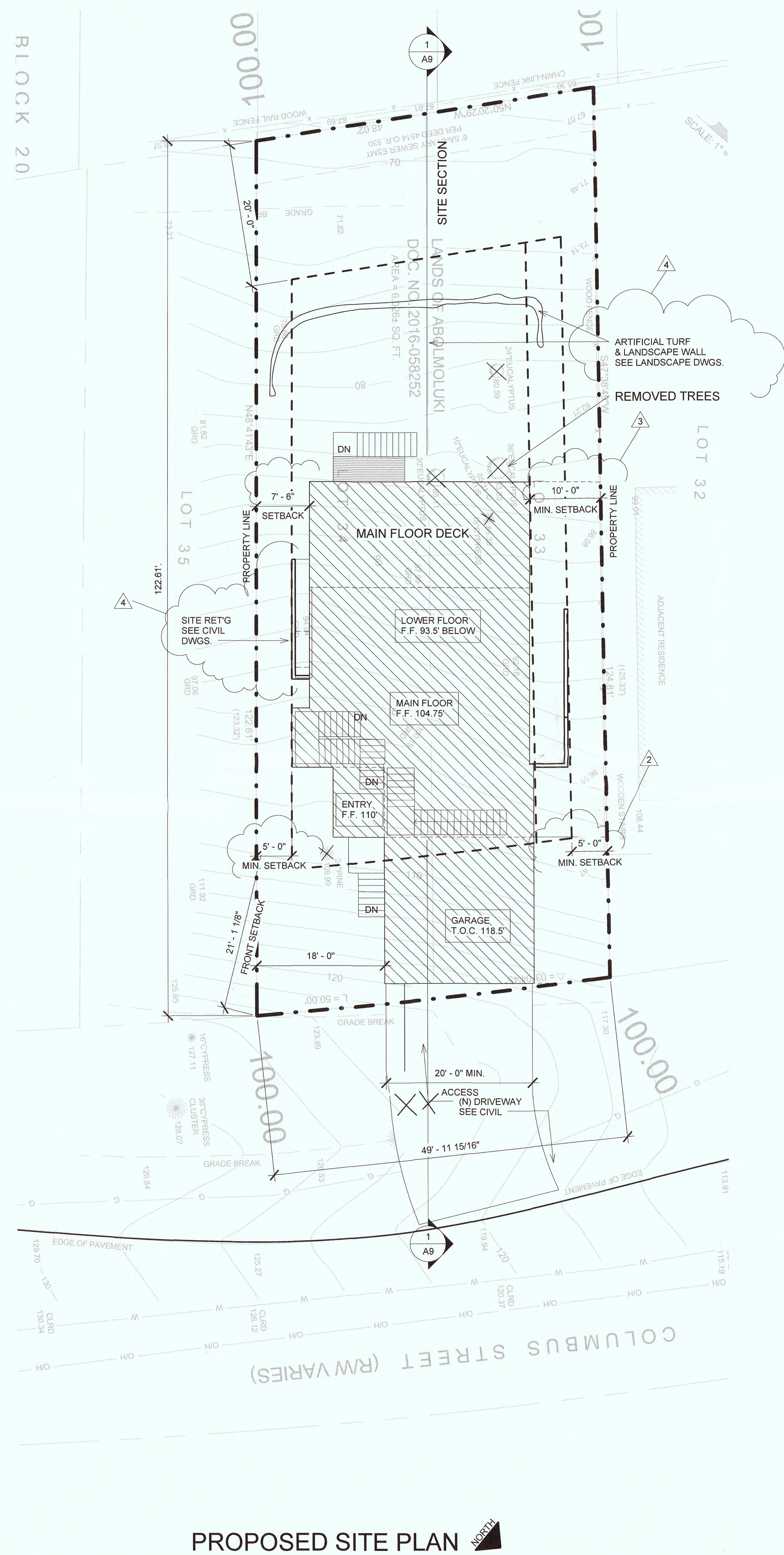
I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed: \_\_\_\_\_

  
(Applicant may sign)

Date: \_\_\_\_\_

07/20/17

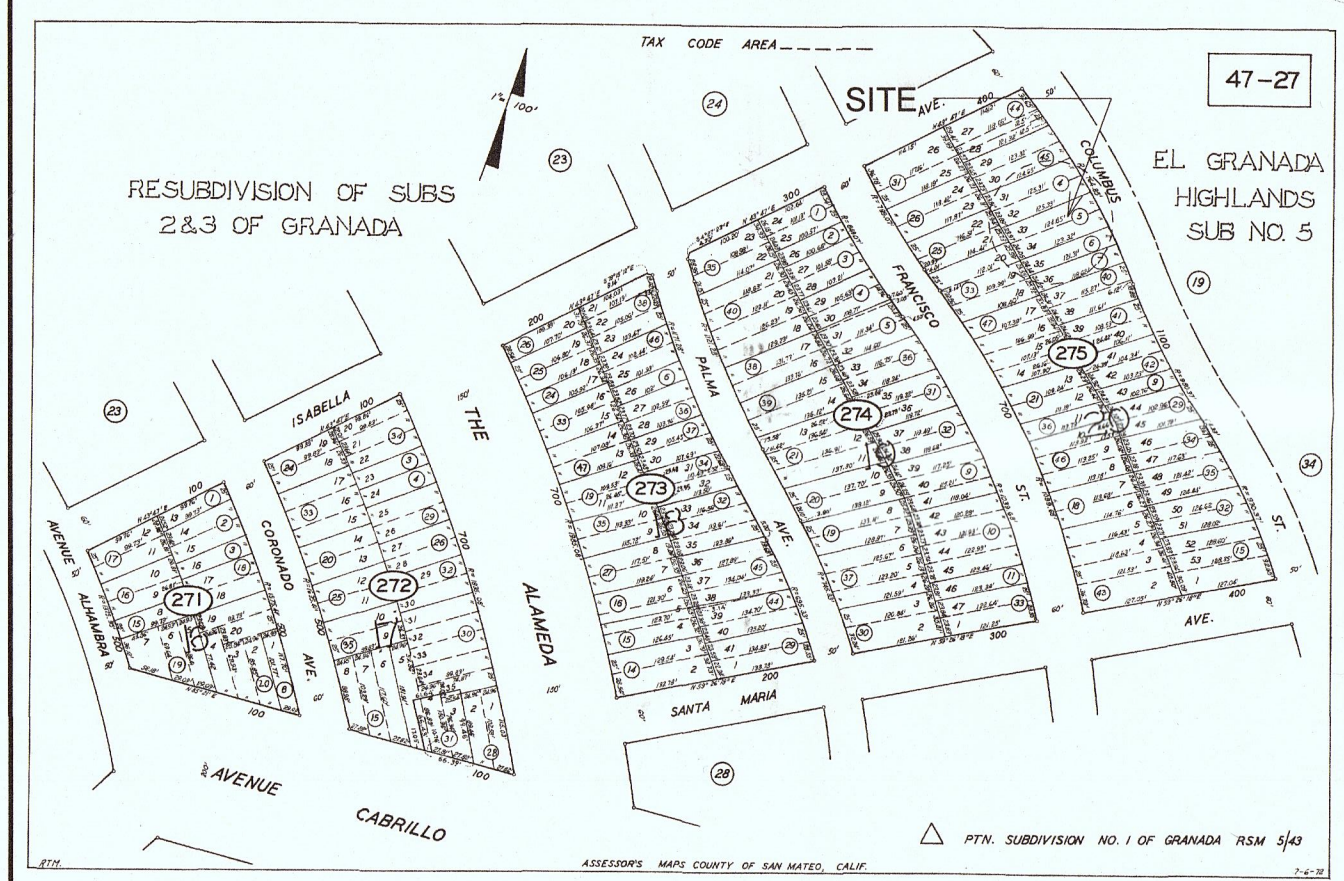


PROPOSED SITE PLAN

PLANNING DATA

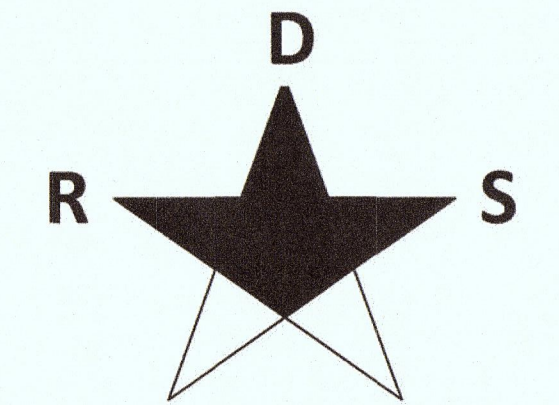
GROSS LOT AREA	=	6026 SF	
ZONING-S-17 COMBING DISTRICT(MID COAST)			
ALLOWABLE FLOOR AREA	=	3193.78 SF	
<b>PROPOSED FLOOR AREAS</b>			
MAIN LEVEL		1081 SF	}
LOWER LEVEL	+	1281 SF	
LIVING SUBTOTAL	=	2362 SF	
FRONT PORCH	+	25 SF	
GARAGE	+	437 SF	
TOTAL	=	2824 SF	
FLOOR AREA RATIO	=	46.86%	
<b>SETBACKS</b>			
FRONT	=	20'	}
SIDES COMBINED TOTAL OF 15'	=	5' MIN.	
REAR	=	20'	
PARCEL COVERAGE 35% MAX.	=	2109.1 SF	} 34.4%
PROPOSED COVERAGE	=	2074 SF	
HEIGHT LIMIT	=	28'	

LOCATION MAP



SITE PLAN NOTES

1. SEE CIVIL DRAWINGS FOR ALL SITE GRADING ETC. TYPICAL.



**RESIDENTIAL  
DESIGN SOLUTIONS**

406 LA JOLLA STREET  
SAN MATEO, CA 94403  
(650) 218-8161  
CHRISRUFFAT@YAHOO.COM  
BUSINESS LIC. # 48803

**ABOLMOLUKI  
RESIDENCE**

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3	PLANNING 3	12-15-17	CR
4	PLANNING 4	1-2-18	CR
5			

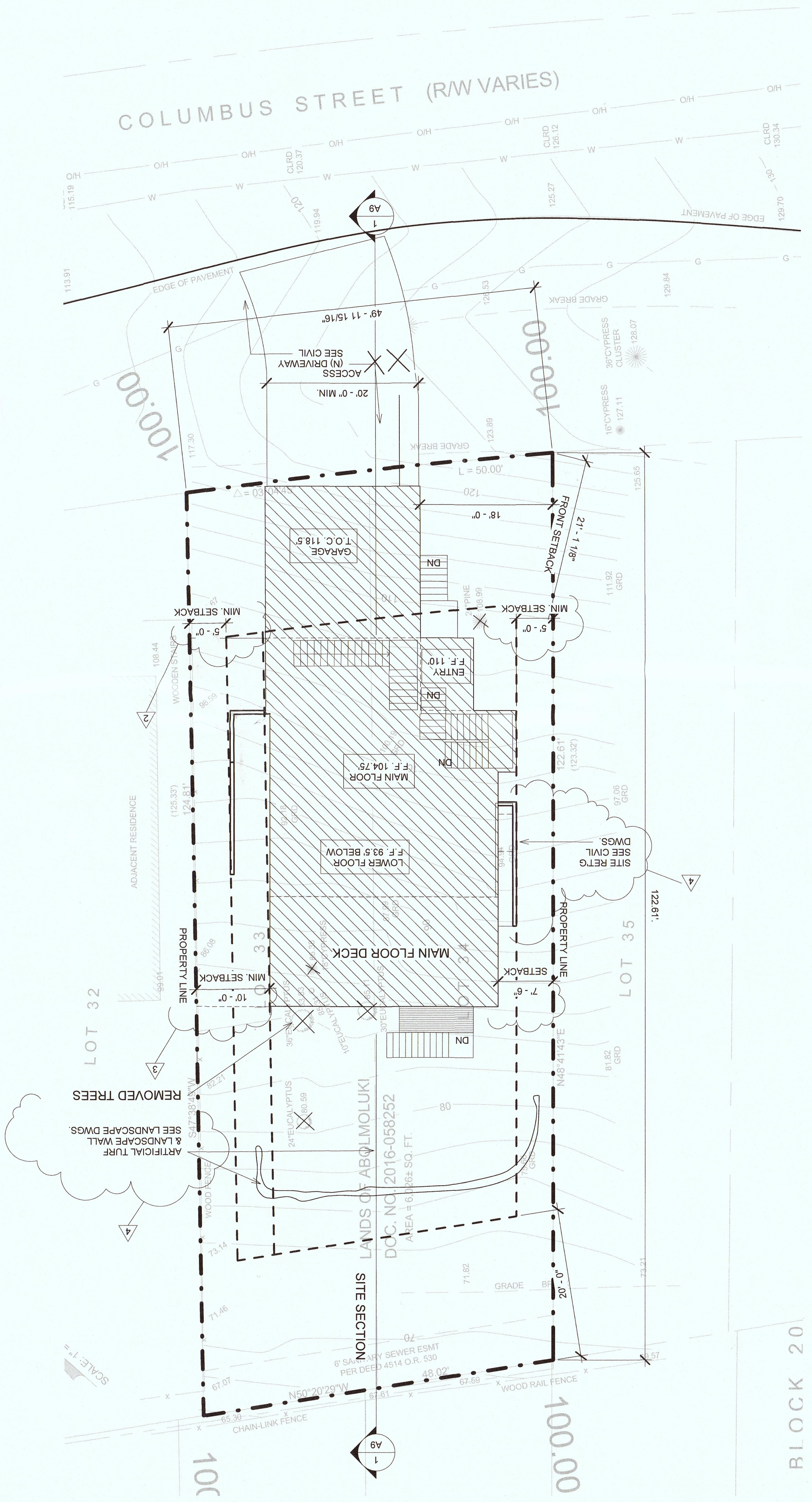
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JAN - 5 2018  
San Mateo County  
Planning Division

DATE	Drawing Number
12/15/17	
Scale	<b>A1</b>
1" = 10'-0"	
Project Number	
AB03	

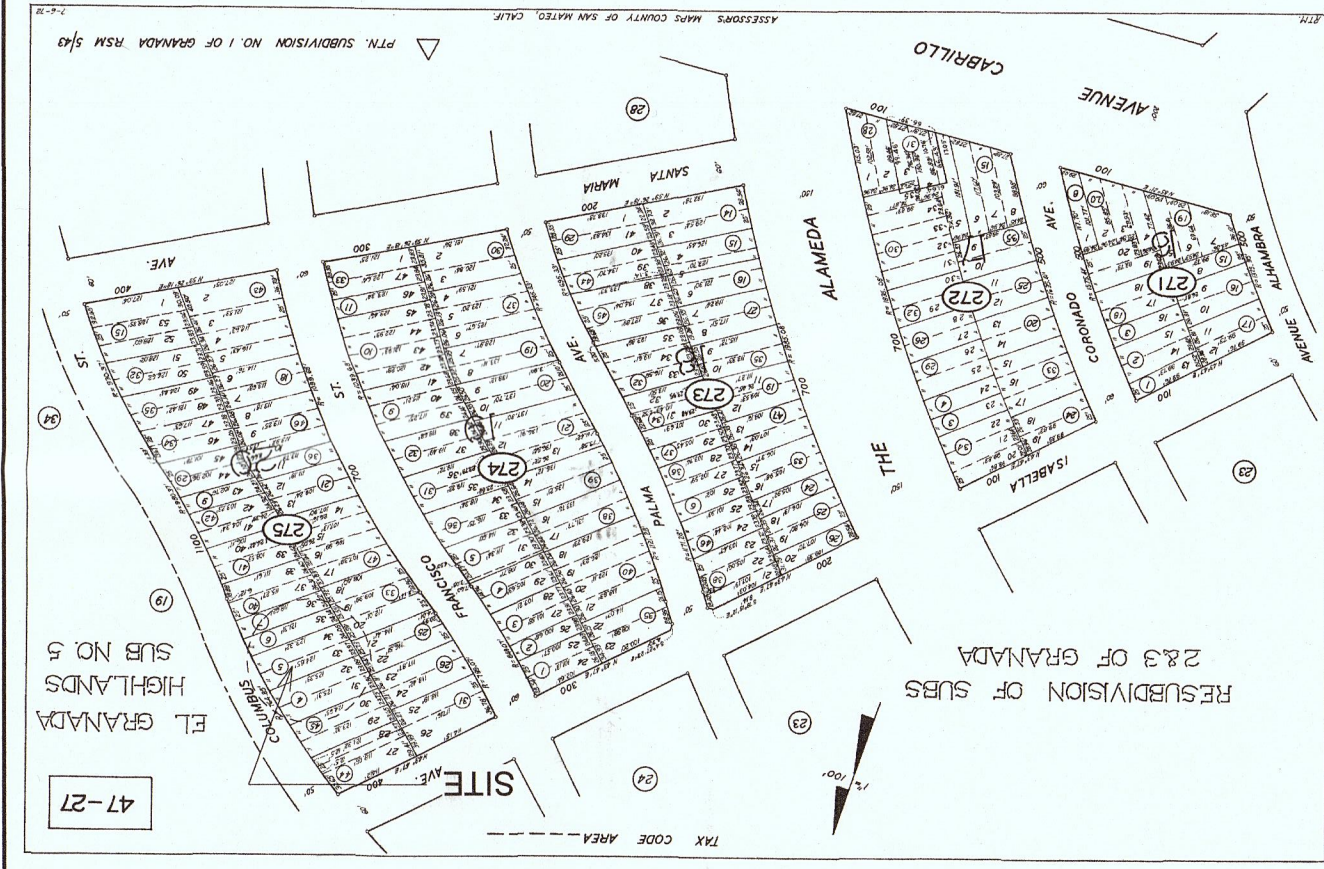
PLN 2017-00296

**PROPOSED SITE PLAN**



1. SEE CIVIL DRAWINGS FOR ALL SITE GRADING ETC. TYPICAL.

**SITE PLAN NOTES**



**LOCATION MAP**

PLANNING DATA	
GROSS LOT AREA	6026 SF
ZONING-5-17 COMBING DISTRICT (MID COAST)	=
ALLOWABLE FLOOR AREA	3193.78 SF
PROPOSED FLOOR AREAS	+
MAIN LEVEL	1081 SF
LOWER LEVEL	1281 SF
LIVING SUBTOTAL	2362 SF
FRONT PORCH	25 SF
GARAGE	437 SF
TOTAL	2824 SF
FLOOR AREA RATIO	=
	46.86%
SETBACKS	=
FRONT	20'
SIDES COMBINED TOTAL OF 15'	=
REAR	5' MIN.
PARCEL COVERAGE 35% MAX.	=
PROPOSED COVERAGE	2074 SF
HEIGHT LIMIT	=
	28'
	=
	2109.1 SF
	=
	34.4%

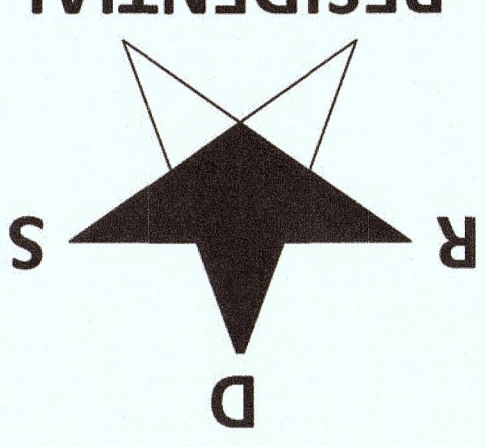
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ABOLMOLUKI  
RESIDENCE  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

406 LA JOLLA STREET  
SAN MATEO, CA 94403  
(650) 218-8161  
CHRISRU@YAHOO.COM  
BUSINESS LIC. # 48803

**DESIGN SOLUTIONS**



DATE 12/15/17  
Drawing Number

Scale 1" = 10'-0"

Project Number  
A1

AB03

PLAN 2017-002916



August 15, 2017

Jen Jacinto  
680 Walnut Street  
San Carlos, CA 94070

Dear Applicant,

After reviewing the planning application for a new Single Family Residence with an attached garage at 0 Columbus Street, Assessor's Parcel Number 047-275-050 in El Granada (San Mateo County Permit No. PLN2017-00296) I offer the following comments/conditions, which will be applied to this project:

Your building plans have been **conditionally approved** subject to the following conditions completed prior to a final inspection by the fire department. It is your responsibility to make contact with the fire department if you do not understand any of the following project conditions.

- **Smoke Detectors which are hard wired:** As per the California Building Code, State Fire Marshal regulations, and Coastside Fire District Ordinance 2016-01, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are **hard wired, interconnected, and have battery backup.** These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final.
- Add note to plans smoke alarm/detector are to be hardwired, interconnected, or with battery back-up. Smoke alarms to be installed per manufactures instruction and NFPA 72
- Add note: Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor.

0 Columbus St EG pln.docx

1

- Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
- **Occupancy Separation:** As per the 2016 CBC, Section 406.1.4, a one-hour occupancy separation wall shall be installed with a solid core, 20-minute fire rated, self-closing door assembly w/ smoke gasket between the garage and the residence. All electrical boxes installed in rated walls shall be metal or protected.
- **Address Numbers:** As per Coastside Fire District Ordinance 2016-01, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be **4 inches** in height with a minimum 3/4-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Finished height of bottom of address light unit shall be greater than or equal to 6 feet from finished grade. When the building is served by a long driveway or is otherwise obscured, a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway. See Fire Ordinance for standard sign.
- **Roof Covering:** As per Coastside Fire District Ordinance 2016-01, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
- **Vegetation Management:** The Coastside Fire District Ordinance 2016-01, the 2016 California Fire Code and Public Resources Code 4291.
  - A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. In SRA (State Responsible Area) the fuel break is 100 feet or to the property line.
  - Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 to 10 feet above the ground. New trees planted in the defensible space shall be located no closer than 10 feet to adjacent trees when fully grown or at maturity.
  - Remove that portion of any existing tree, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5 feet of any structure.
- **Fire Access Roads:** The applicant must have a maintained asphalt surface road for ingress and egress of fire apparatus. The San Mateo County Department of Public Works, the Coastside Fire District Ordinance 2016-01, and the California Fire Code shall set road standards. As per the 2016 CFC, dead-end roads exceeding 150 feet shall be provided with a turnaround in accordance with Half Moon Bay Fire District specifications. As per the 2007 CFC, Section Appendix

0 Columbus St EG pln.docx

2

D, road width shall not be less than 20 feet. Fire access roads shall be installed and made serviceable prior to combustibles being placed on the project site and maintained during construction. Approved signs and painted curbs or lines shall be provided and maintained to identify fire access roads and state the prohibition of their obstruction. If the road width does not allow parking on the street (20 foot road) and on-street parking is desired, an additional improved area shall be developed for that use.

- Fire apparatus access roads to be an approved all weather surface. Grades 15% or greater to be surfaced w/ asphalt, or brushed concrete. Grades 15 % or greater shall be limited to 150 ft. in length with a minimum of 500 ft. between the next section. For roads approved less than 20 ft., 20 ft. wide turnouts shall be on each side of 15% or greater section. No grades over 20%. (Plan and profile required) CFC 503
- **Fire Hydrant:** As per 2016 CFC, Appendix B and C, a fire district approved fire hydrant (Clow 960) must be located within 500 feet of the proposed single-family dwelling unit measured by way of drivable access. As per 2016 CFC, Appendix B the hydrant must produce a minimum fire flow of 1,000 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
- **Automatic Fire Sprinkler System:** As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2016-01, the applicant is required to install an automatic fire sprinkler system **throughout** the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. All areas that are accessible for storage purposes shall be equipped with fire sprinklers including closets and bathrooms. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit **will not** be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review. The fee schedule for automatic fire sprinkler systems shall be in accordance with Half Moon Bay Ordinance No. 2006-01. Fees shall be paid prior to plan review.
- Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open.
- **Exterior bell and interior horn/strobe:** are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.

0 Columbus St EG pln.docx

3

- Add note to the title page that the building will be protected by an automatic fire sprinkler system.
- All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

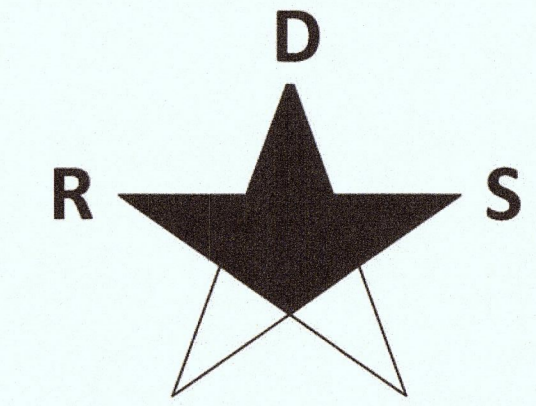
If you have any questions regarding the above conditions, please call the administration office during normal working hours.

Respectfully,  
Randy Amores  
Deputy Fire Marshal  
CAL FIRE/Coastside Fire Protection District

cc: San Mateo County Planning & Building  
File

0 Columbus St EG pln.docx

4



## RESIDENTIAL DESIGN SOLUTIONS

406 LA JOLLA STREET  
SAN MATEO, CA 94403

(650) 218-8161  
CHRISRUFFAT@YAHOO.COM  
BUSINESS LIC. # 48803

### ABOLMOLUKI RESIDENCE

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		

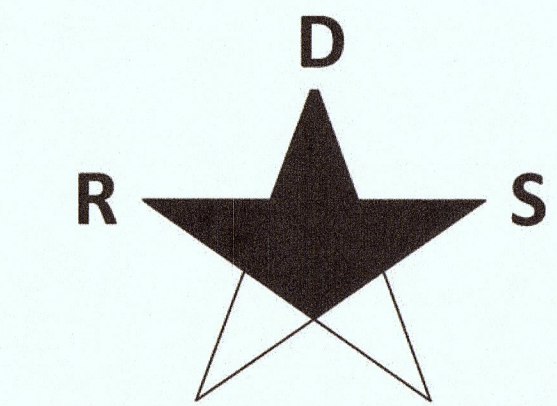
DATE  
12/15/17

Scale

Project Number  
AB03

Drawing Number

# A1.2



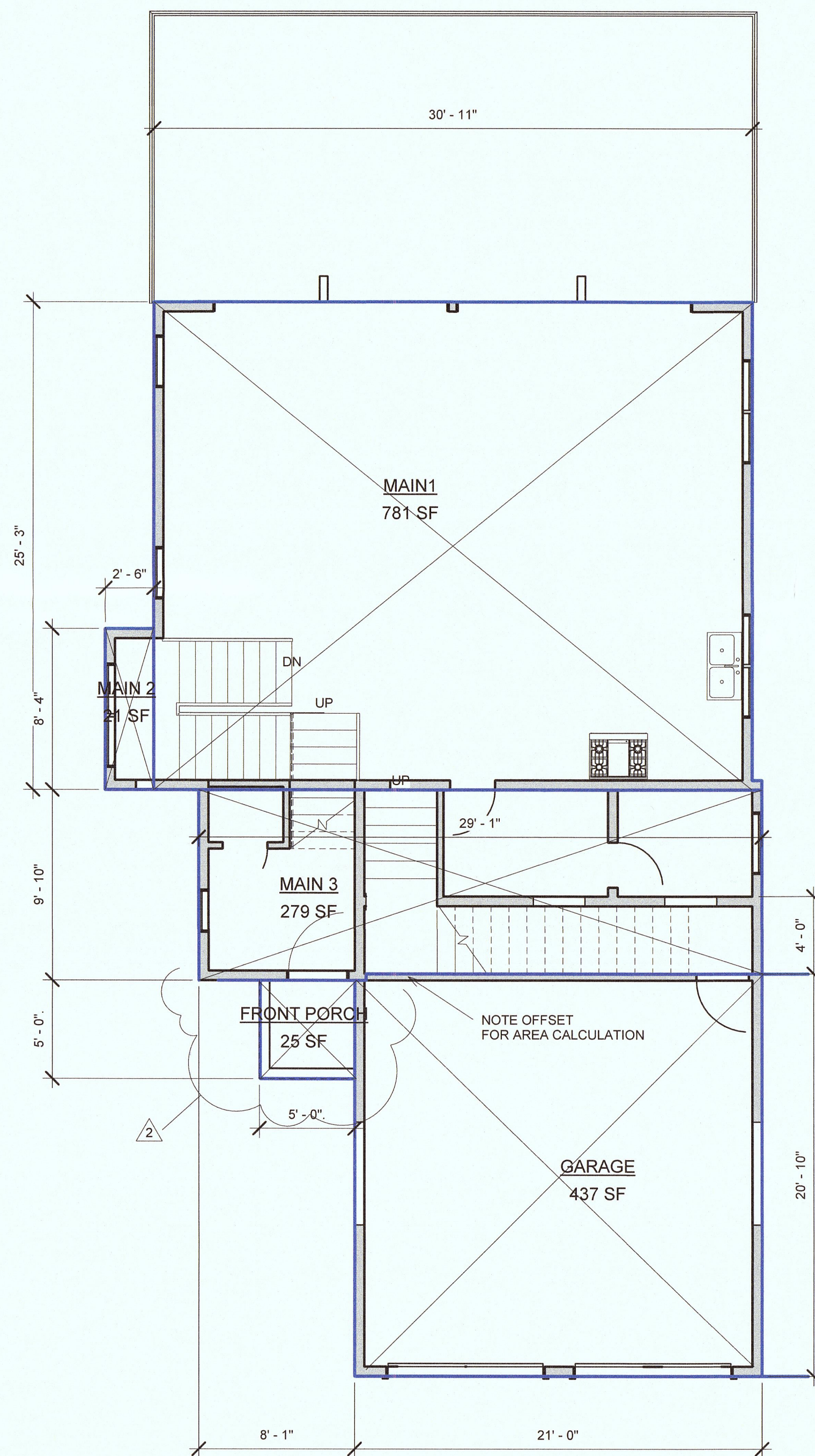
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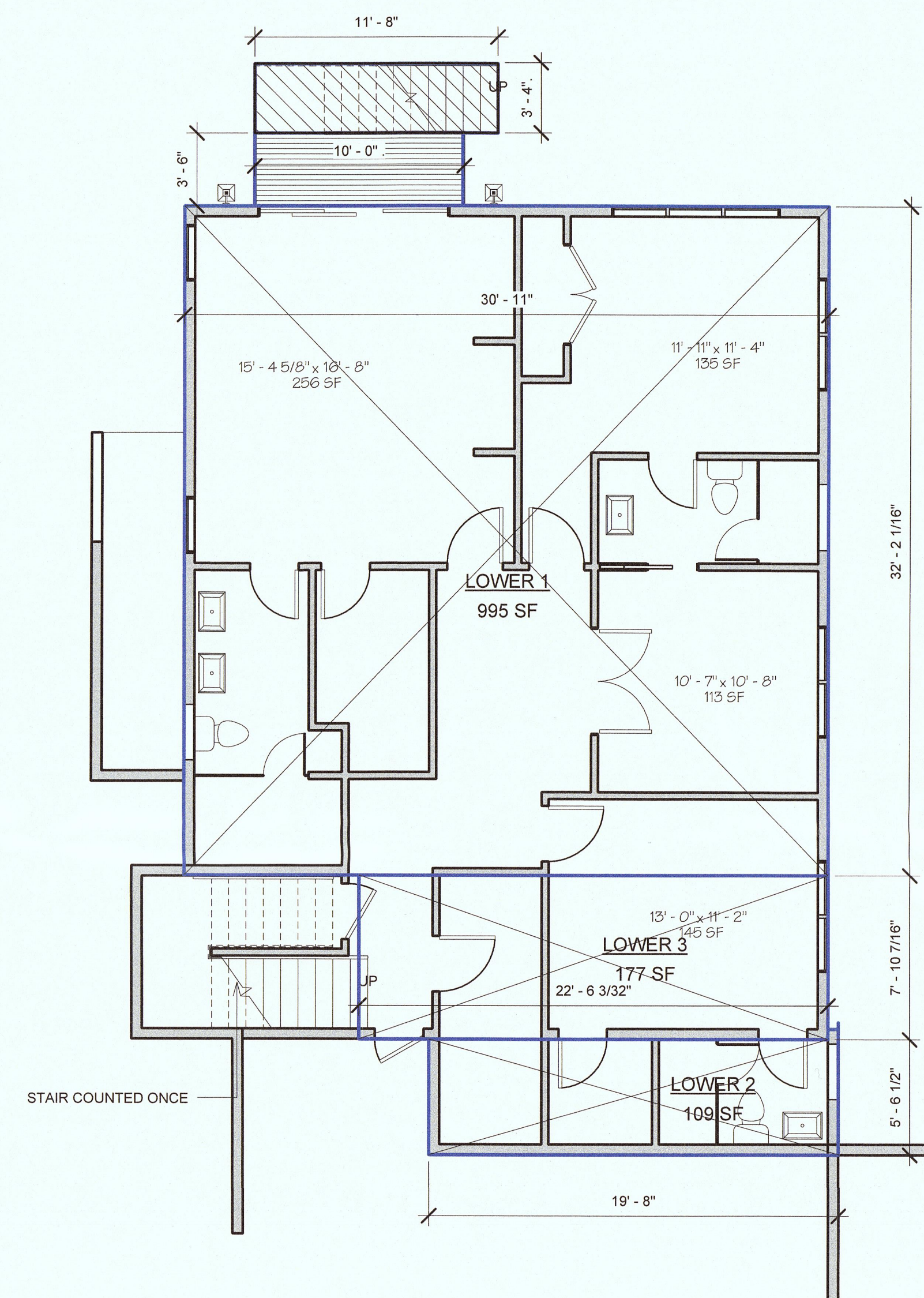
**ABOLMOLUKI  
RESIDENCE**  
  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

REVISIONS	DESCRIPTION	DATE	BY
1			
2			
3	PLANNING 3	12-15-17	CR
4			
5			

PLANNING	8-24-17	CR
PLANNING 2	9-25-17	CR

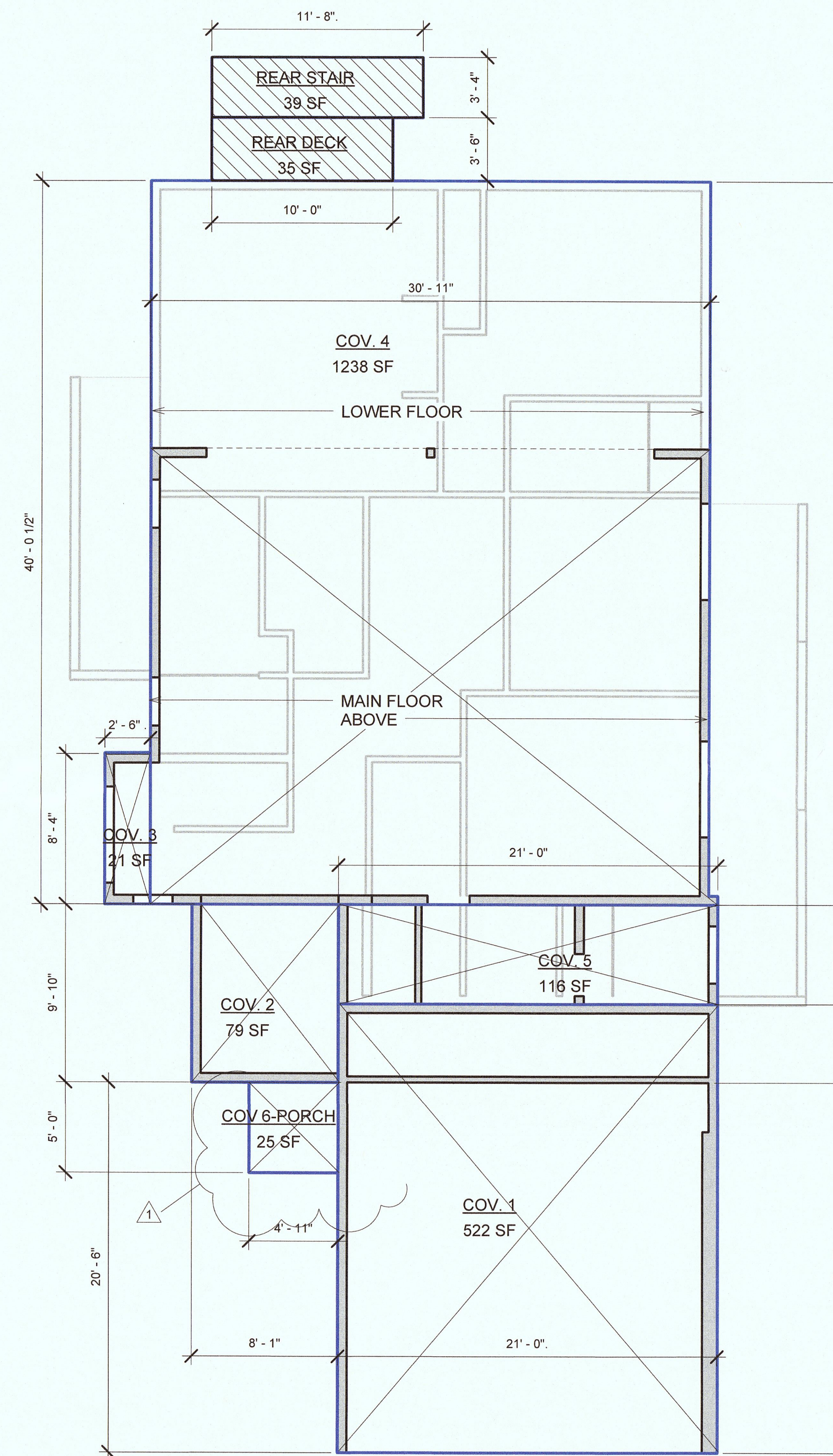


MAIN FLOOR AREAS



GROSS BUILDING AREA		
Area	Size	Name
25 SF	5'X5'	FRONT PORCH
437 SF	21'X20'10"	GARAGE
995 SF	30'11"x32'2"+	LOWER 1
109 SF	19'8"x5'6.5"	LOWER 2
177 SF	22'6"x7'10"+	LOWER 3
781 SF	30'11"x25'3"	MAIN 1
21 SF	2.5'X8'4.75"	MAIN 2
279 SF	29'1"x9'8"	MAIN 3
2824 SF		

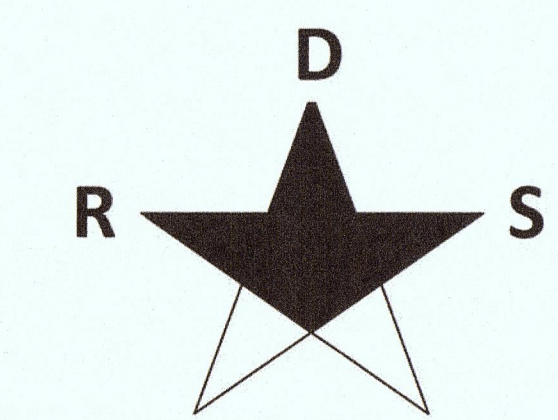
LOWER FLOOR AREAS



LOT COVERAGE

LOT COVERAGE		
Area	Size	Name
25 SF	5'X5'	COV 6-PORCH
522 SF	21'X24'10"	COV. 1
79 SF	8'2"X9'10"	COV. 2
21 SF	2'6"X8'4"+	COV. 3
1238 SF	30'11"X40'+	COV. 4
116 SF	21'X5'6"	COV. 5
35 SF	10'X3'6"	REAR DECK
39 SF	11'8"X3'4"	REAR STAIR
2074 SF		

DATE 12/15/17 Drawing Number  
**A1.5**  
Scale 3/16" = 1'-0"  
Project Number  
AB03



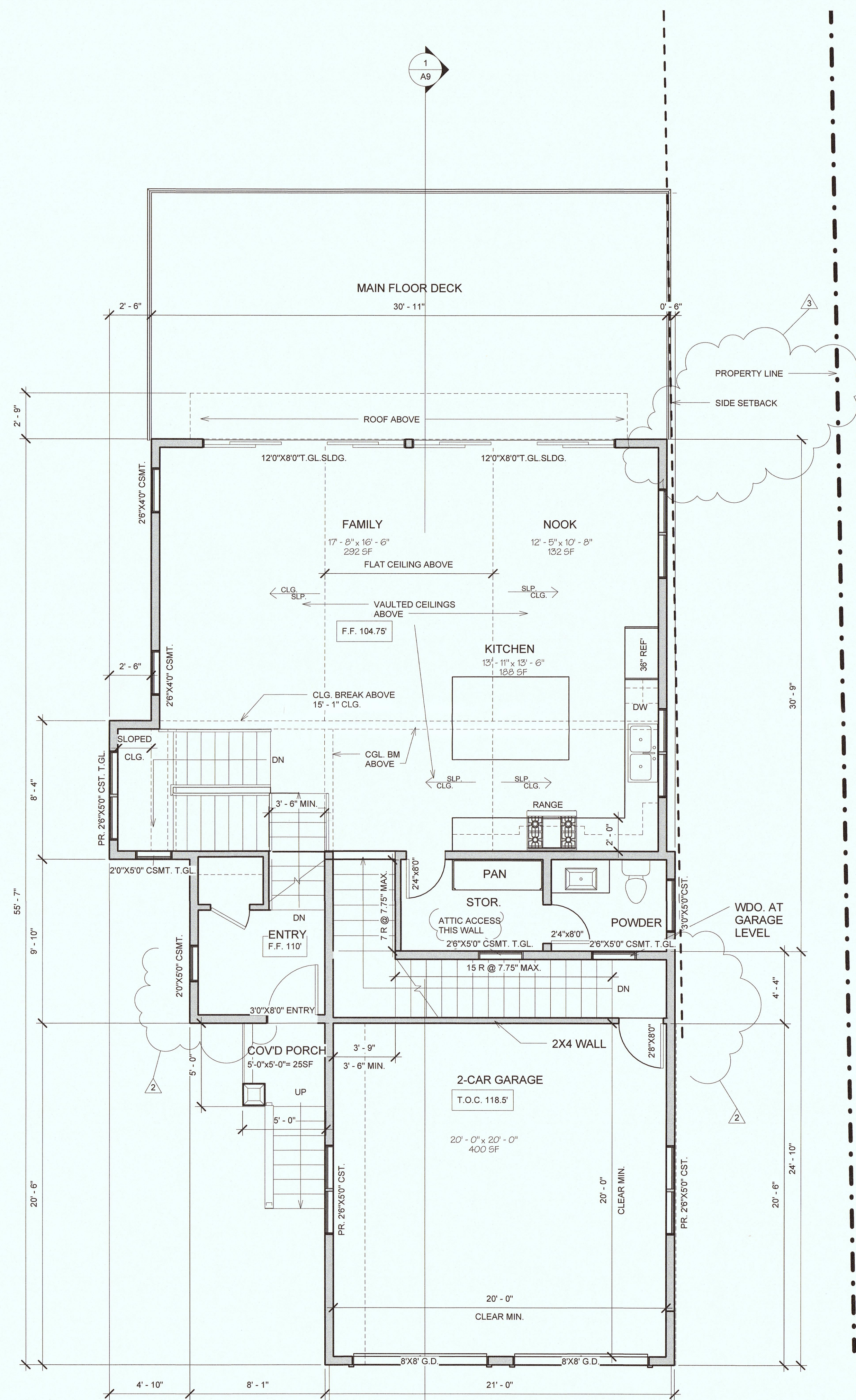
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(650) 218-8161  
CHRISRUFFAT@YAHOO.COM  
BUSINESS LIC. # 48803

**ABOLMOLUKI  
RESIDENCE**

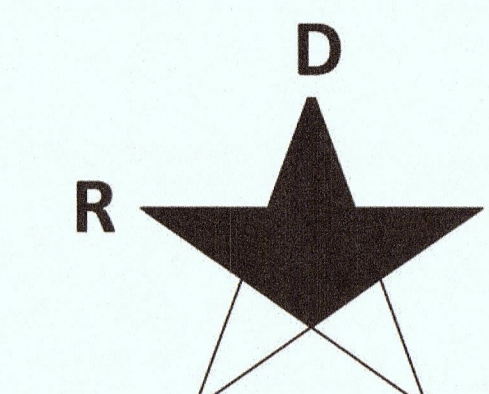
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
1	PLANNING	8-24-17	CR
2	PLANNING 2	9-25-17	CR
3	PLANNING 3	12-15-17	CR
4			
5			



MAIN FLOOR PLAN

DATE 12/15/17 Drawing Number **A2**  
Scale 1/4" = 1'-0"  
Project Number AB03



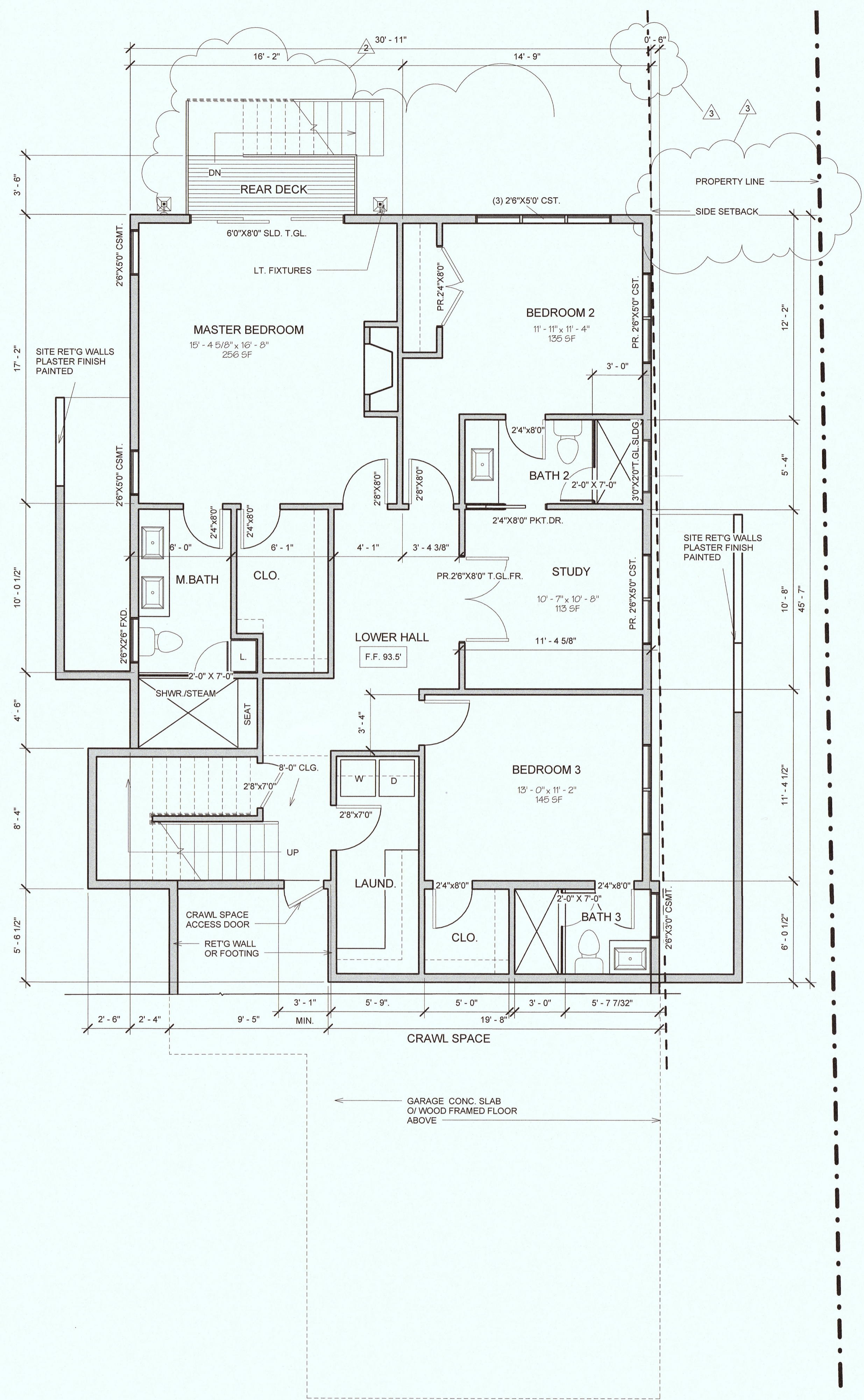
**RESIDENTIAL  
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(650) 218-8161  
CHRISRUFFAT@YAHOO.COM  
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**ABOLMOLUKI  
RESIDENCE**

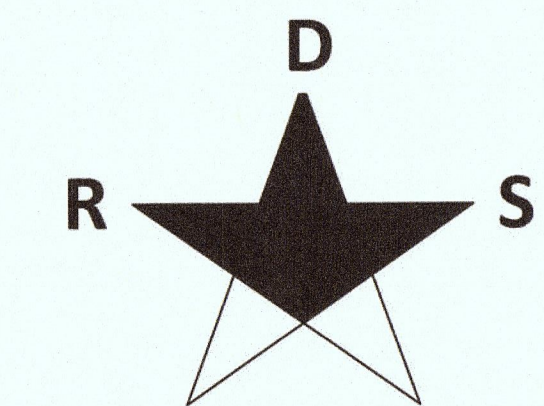
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1 PLANNING	8-24-17	CR
	2 OWNER REVISIONS	10-25-17	CR
	3 PLANNING 3	12-15-17	CR
	4		
	5		



LOWER FLOOR PLAN

DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" **A3**  
Project Number AB03



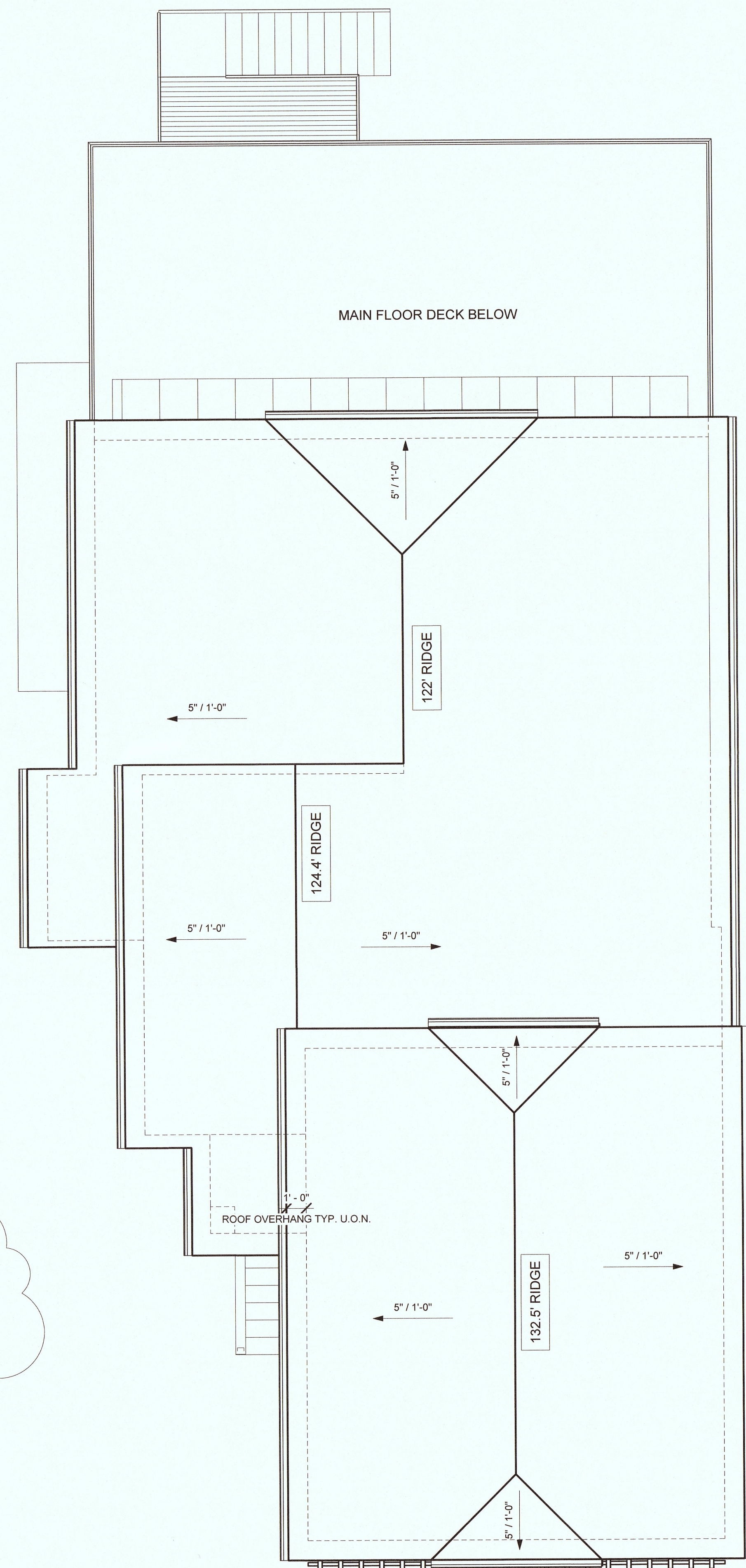
**RESIDENTIAL  
DESIGN SOLUTIONS**

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(650) 218-8161  
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BUSINESS LIC. # 48803

ABOLMOLUKI  
RESIDENCE

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2	PLANNING 2	9-25-17 CR
	3		
	4		
	5		



BENCHMARK ELEVATION  
GARAGE T.O.C. 118.5'

ROOF PLAN

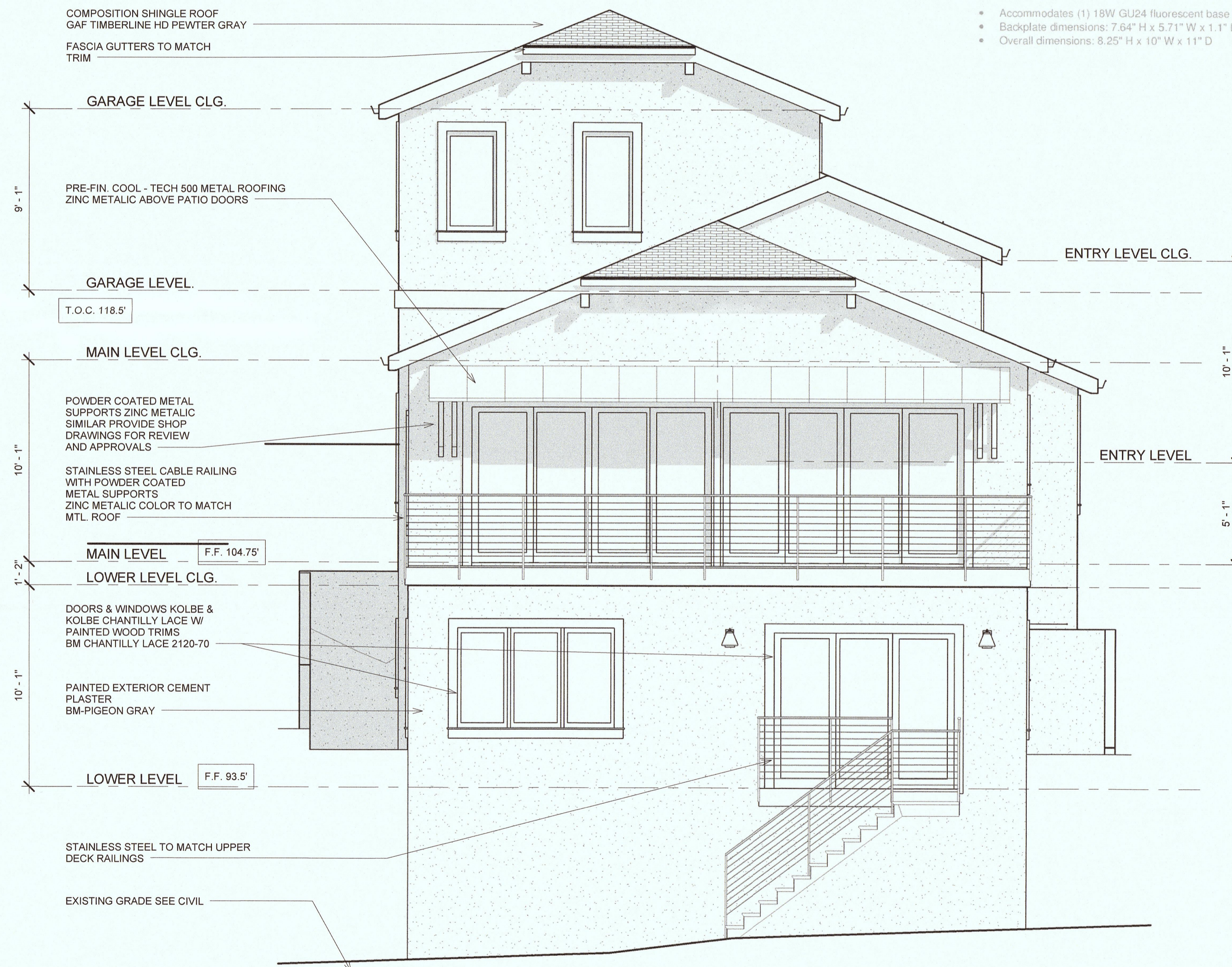
DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" **A4**  
Project Number AB03

COLOR & MATERIALS  
CLARIFIED AND REVISED  
PER COLOR & MATERIALS  
BOARD



PROPOSED FRONT ELEVATION

BENCHMARK ELEVATION  
GARAGE T.O.C. 118.5'



PROPOSED REAR ELEVATION

Capital Lighting - 9092RI-GD - Outdoor  
Dark Sky-Energy Saver One Light Wall  
Lantern in Mediterranean Bronze

SKU#: 9092RI-GD  
Availability: In Stock

Capital Lighting - 9092RI-GD - Outdoor Dark Sky-Energy Saver  
One Light Wall Lantern in Mediterranean Bronze

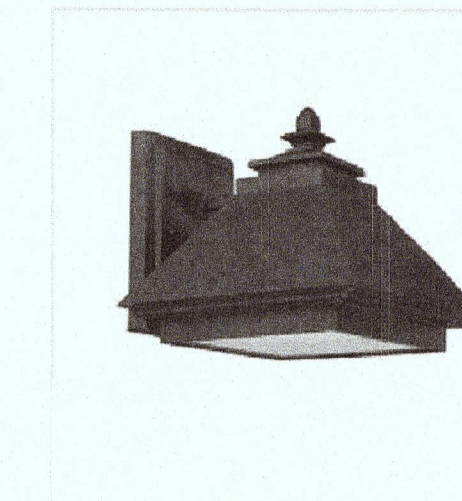
Retail Price: \$145.00

Your Savings: \$29.00

Your Price:

\$116.00

Quantity 1



+ Add to Gift Registry ✓ Wish List Tell a Friend

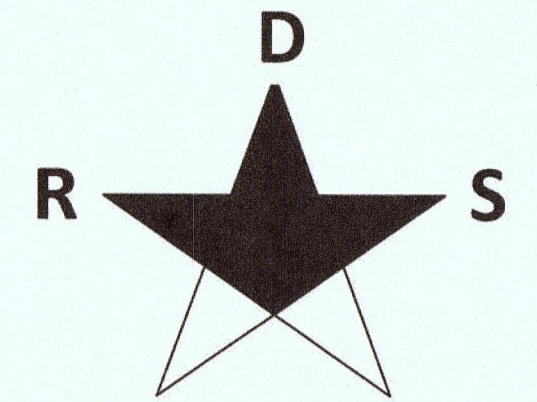
DESCRIPTION

Features:

- Wall lantern
- Outdoor collection
- Mediterranean Bronze finish
- Acid washed glass lens shade
- Traditional style
- UL listed for wet locations
- Dark sky
- Energy saver
- Eco friendly

Specifications:

- Accommodates (1) 18W GU24 fluorescent base bulb (included)
- Backplate dimensions: 7.64" H x 5.71" W x 1.1" D
- Overall dimensions: 8.25" H x 10" W x 11" D



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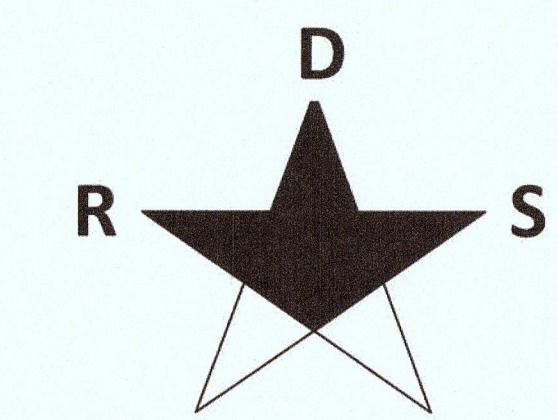
ABOLMOLUKI  
RESIDENCE

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		

PLANNING 8-24-17 CR  
PLANNING 2 9-25-17 CR

DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" A5  
Project Number AB03



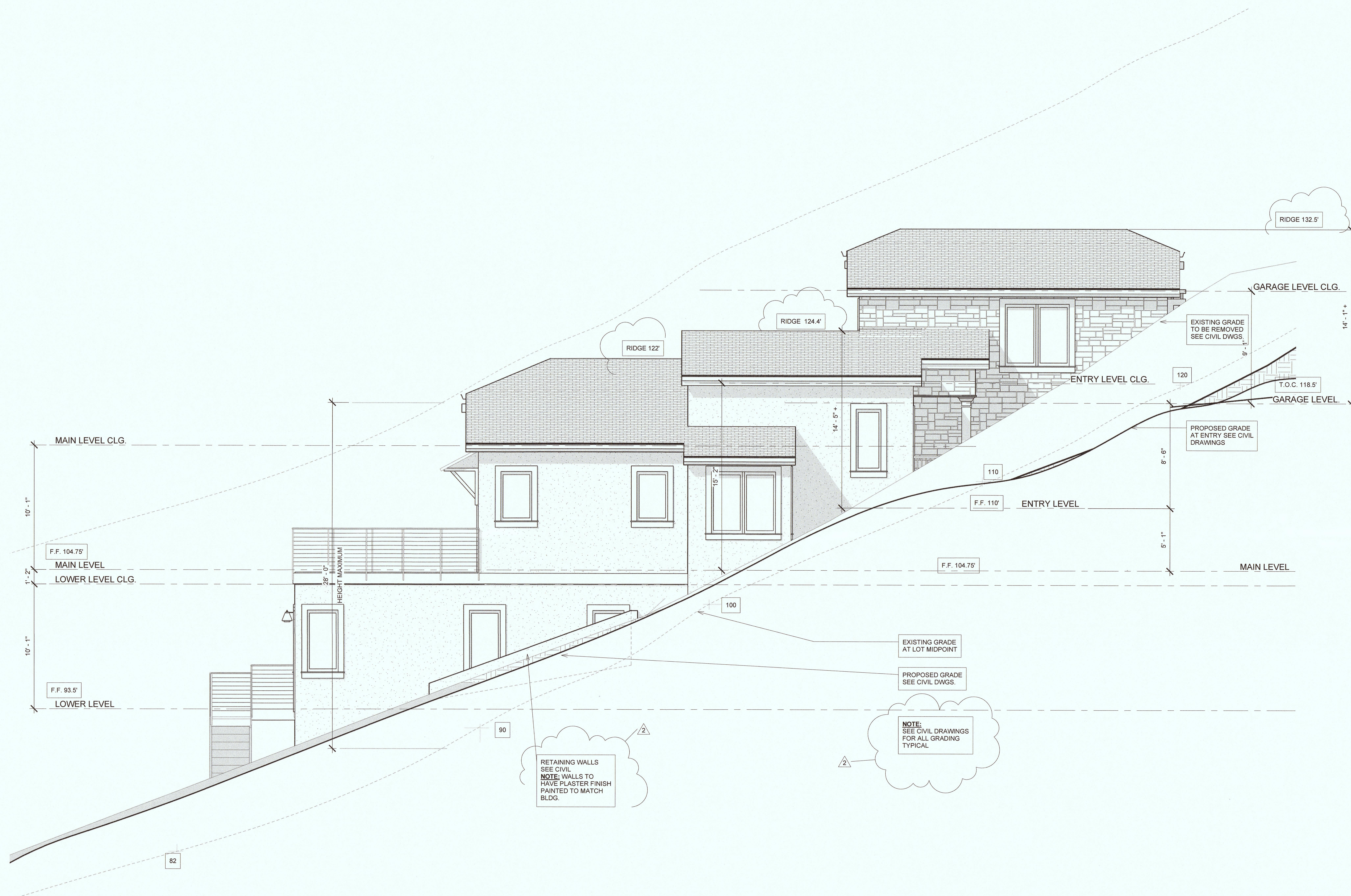
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APN 047-275-050  
COLUMBUS ST.  
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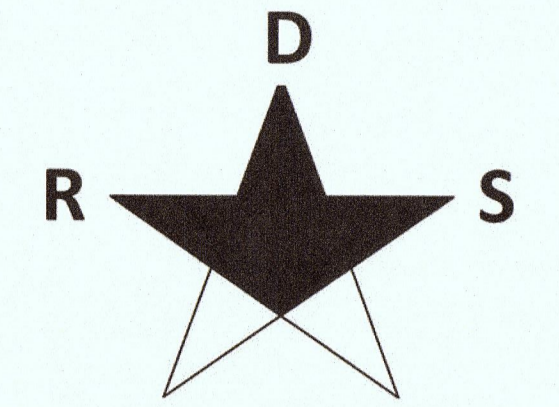
	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		



PROPOSED LEFT ELEVATION

PLANNING 8-24-17 CR

DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" **A6**  
Project Number AB03



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RESIDENCE**

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

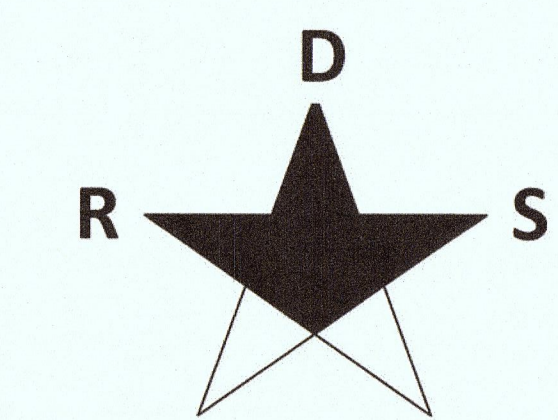
	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		

PLANNING 8-24-17 CR



PROPOSED RIGHT ELEVATION

DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" **A7**  
Project Number AB03



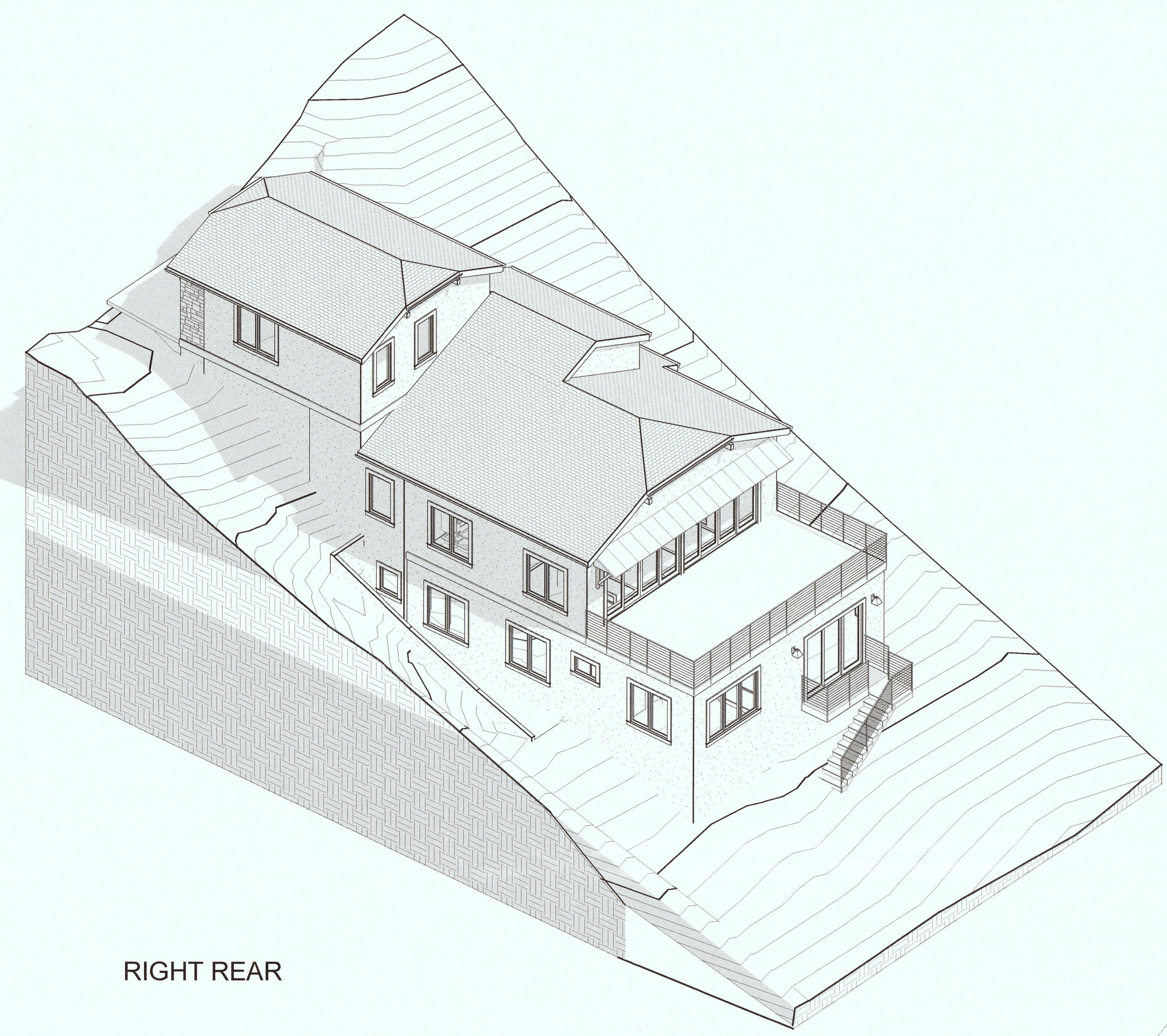
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(650) 218-8161  
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BUSINESS LIC. # 48803

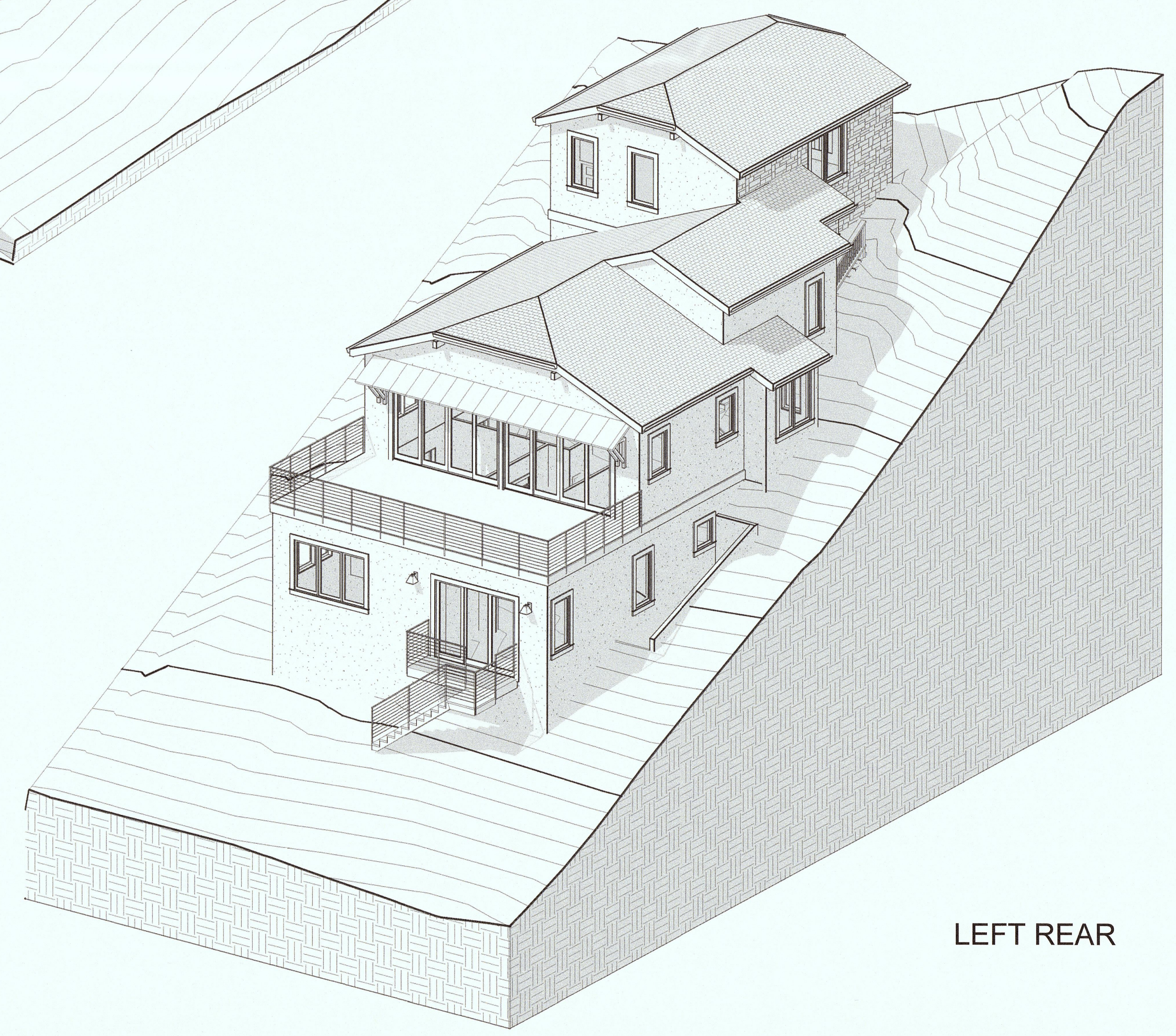
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RESIDENCE**

APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

	DESCRIPTION	DATE	BY
REVISIONS	1		
	2		
	3		
	4		
	5		



RIGHT REAR



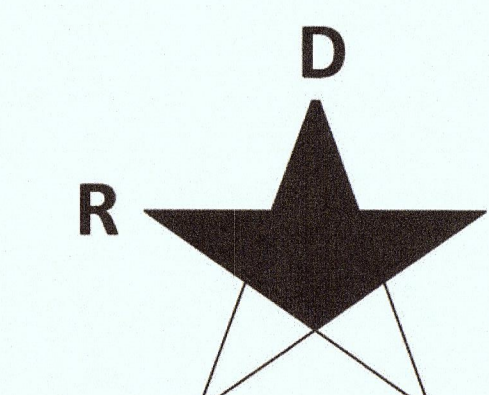
LEFT REAR

DATE  
12/15/17

Drawing Number  
**A8**

Scale

Project Number  
AB03

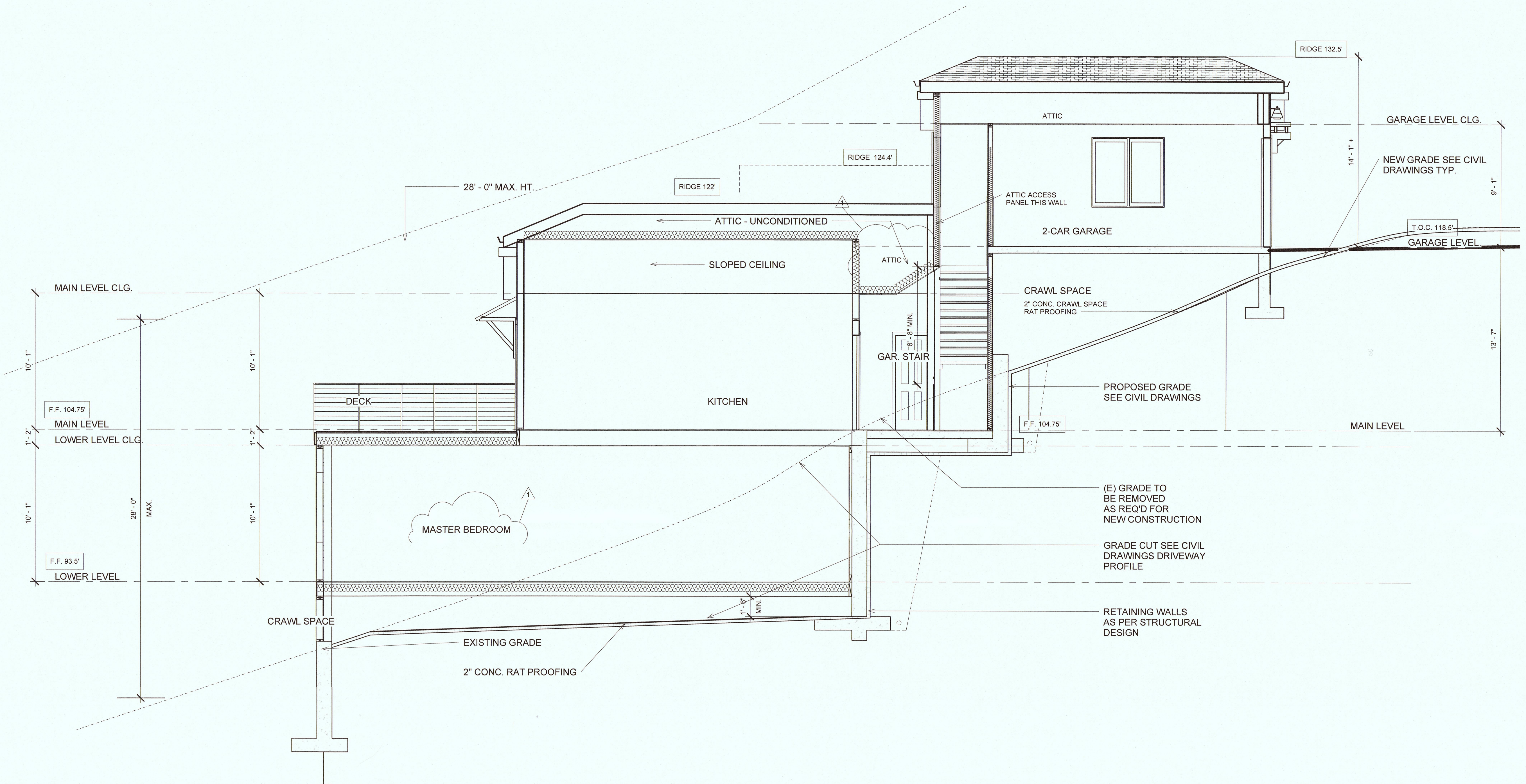


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RESIDENCE**  
APN 047-275-050  
COLUMBUS ST.  
EL GRANADA, CA.

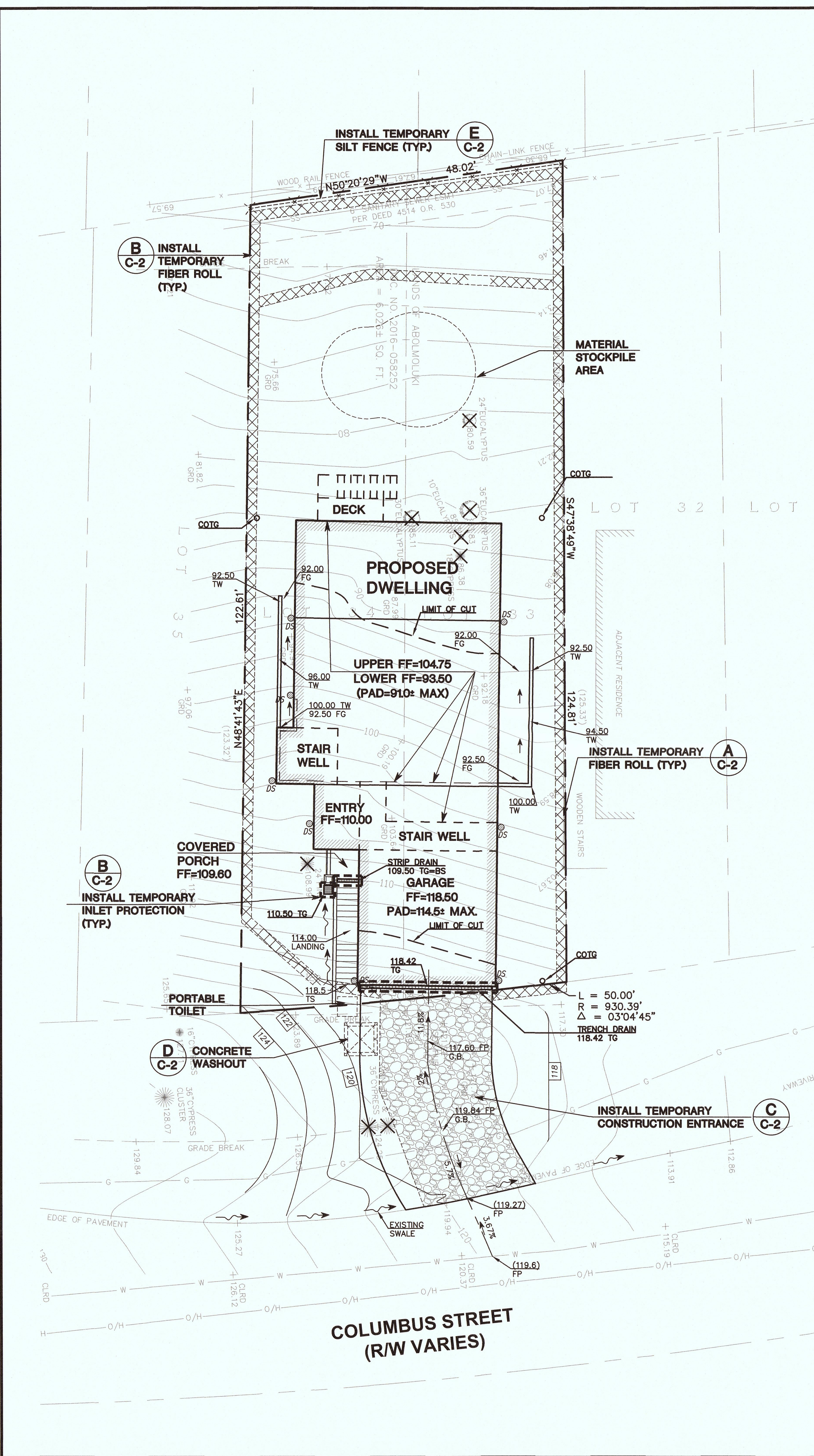
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REVISIONS	1		
	2	PLANNING	8-24-17 CR
	3		
	4		
	5		



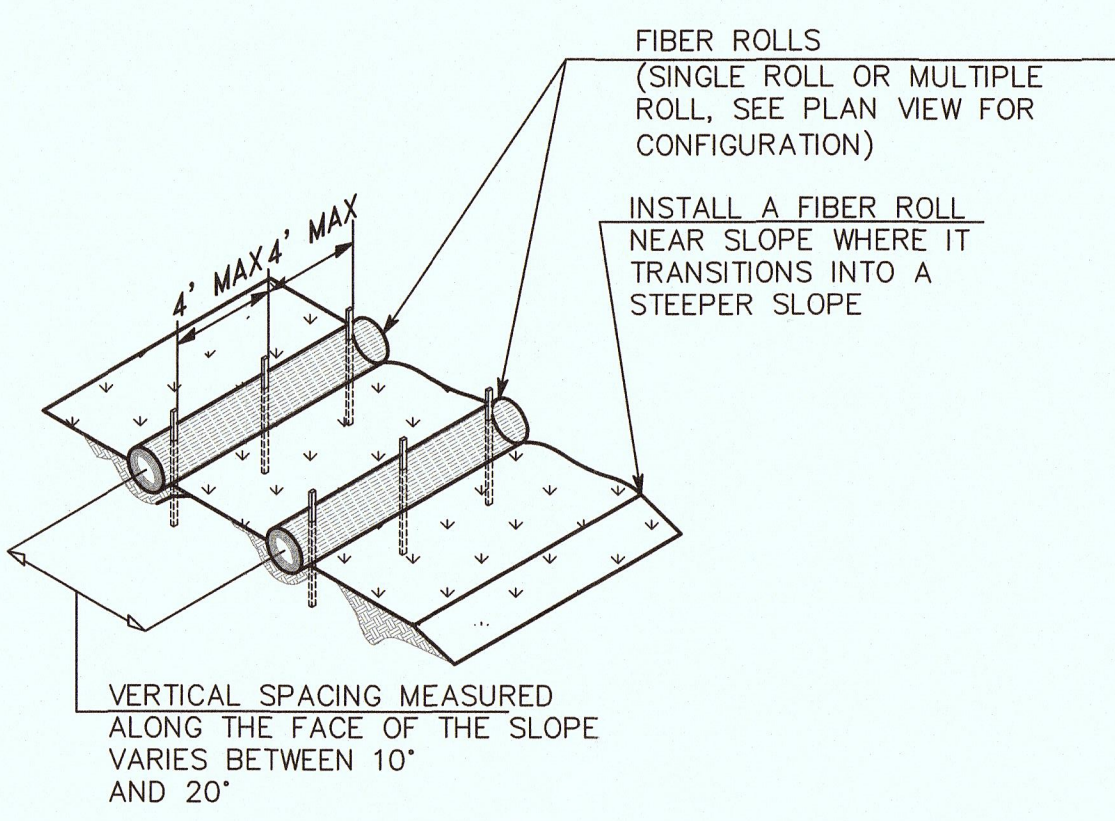
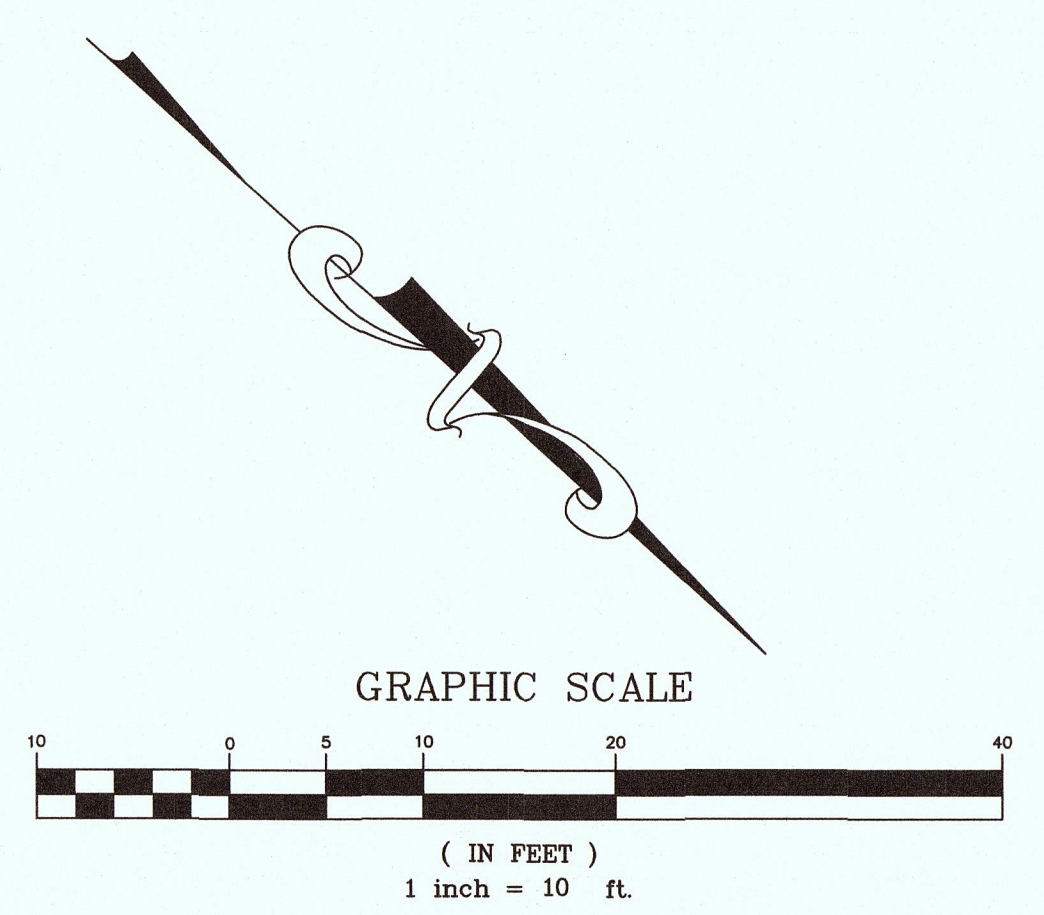
SITE SECTION 1 - 1

DATE 12/15/17 Drawing Number  
Scale 1/4" = 1'-0" **A9**  
Project Number AB03

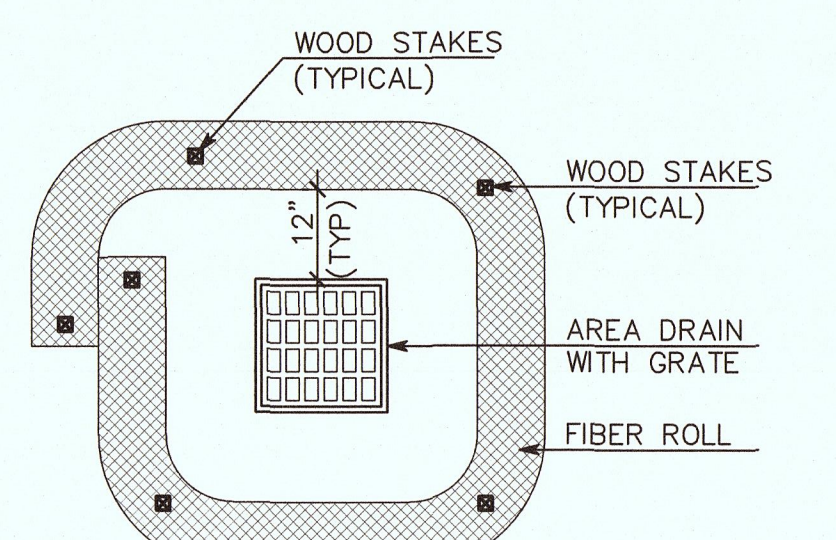




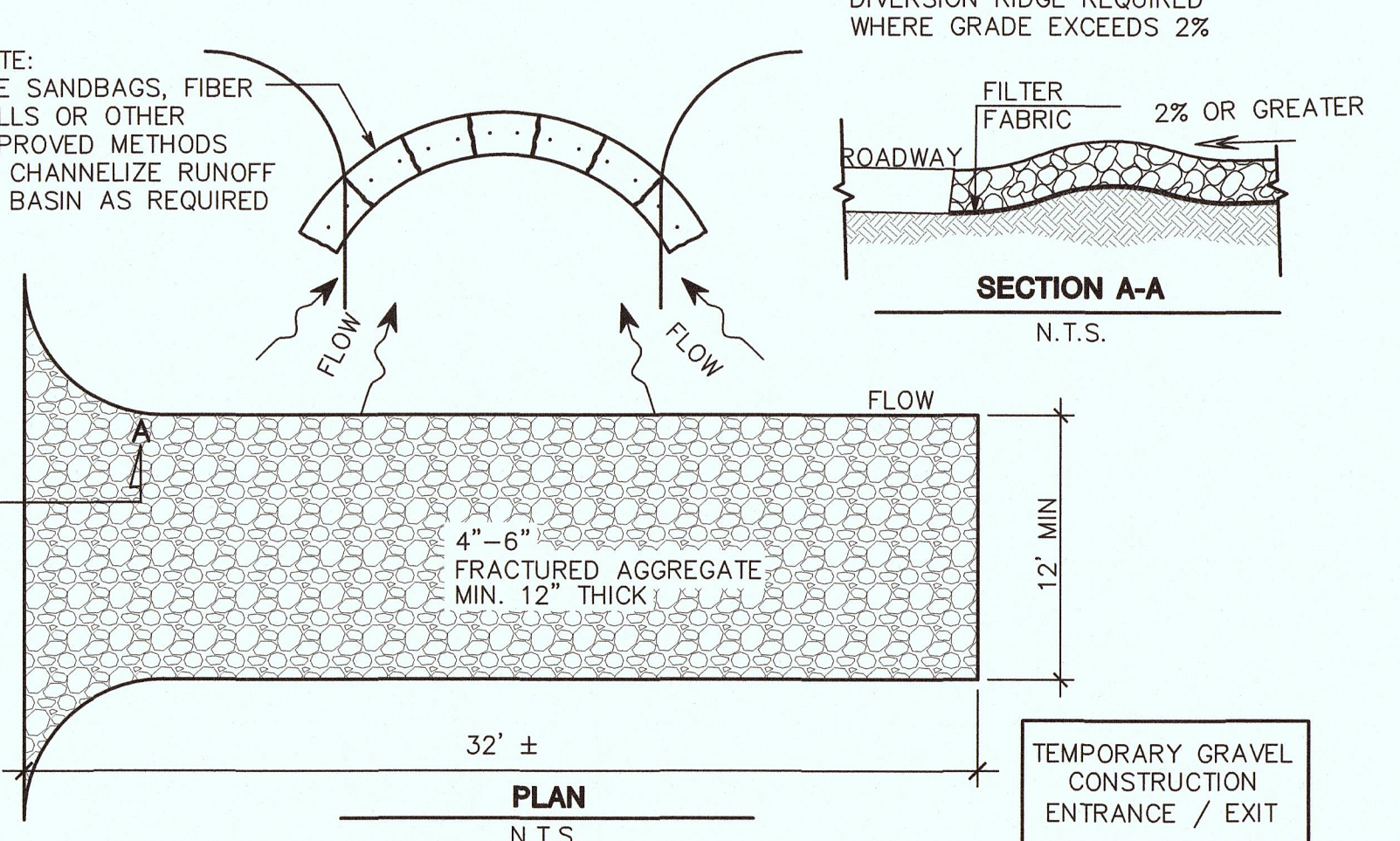
**LEGEND:**  
 ✕ 36" TREE EXISTING TREES TO BE REMOVED



**A FIBER ROLL DETAIL**  
 SCALE: NOT TO SCALE



**B DRAIN INLET PROTECTION DETAIL**  
 SCALE: NOT TO SCALE

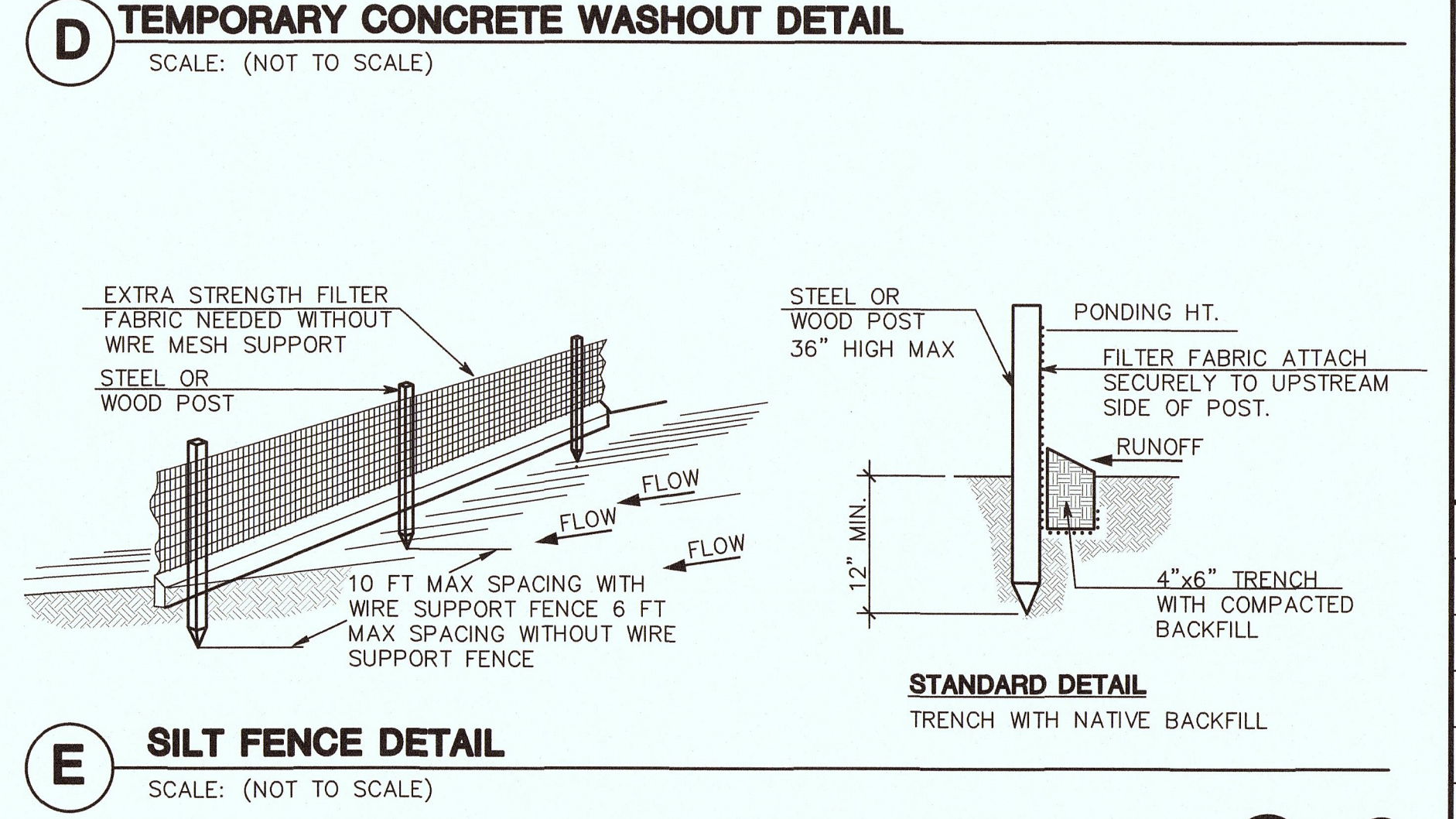
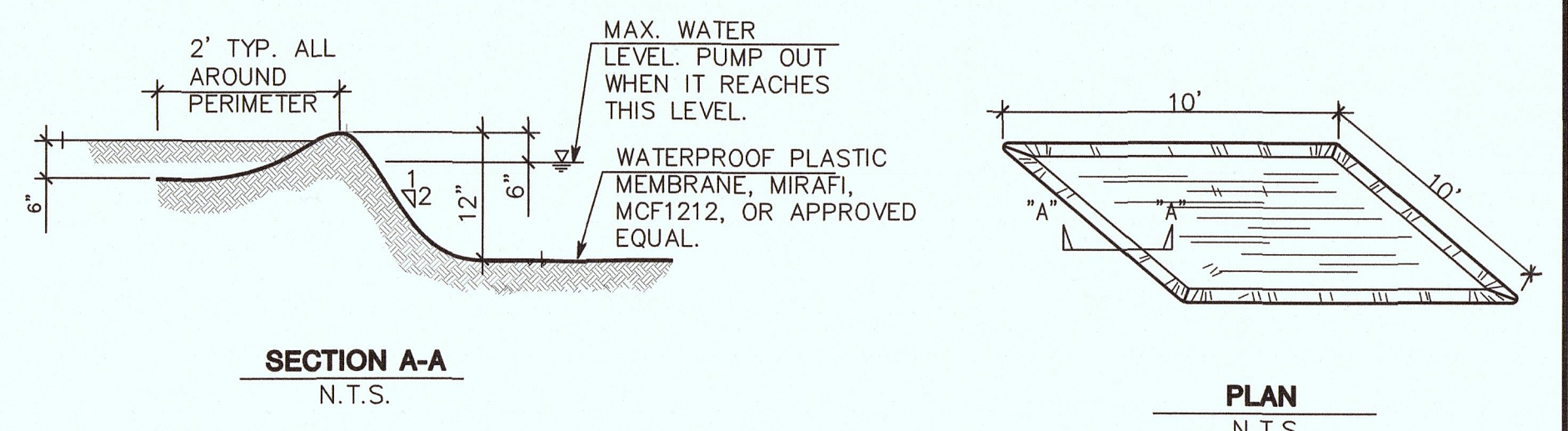
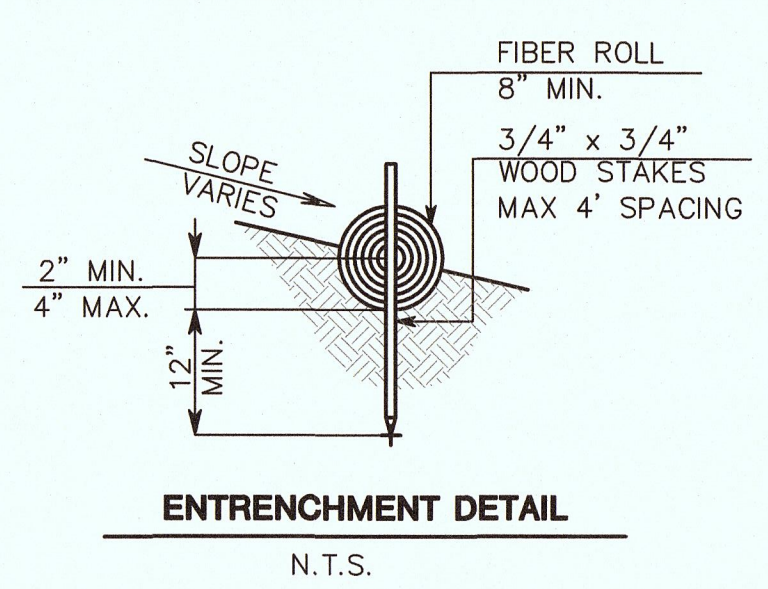


**C CONSTRUCTION ENTRANCE DETAIL**  
 SCALE: NOT TO SCALE

**EROSION CONTROL NOTES:**

1. THE INTENT OF THE EROSION CONTROL PLAN IS TO MINIMIZE ANY WATER QUALITY IMPACTS IN THE FORM OF SEDIMENT POLLUTION TO MAIN CREEK & TRIBUTARIES.
2. A CONSTRUCTION ENTRANCE WILL BE INSTALLED PRIOR TO OF GRADING. LOCATION OF THE ENTRANCE MAY BE ADJUSTED BY THE CONTRACTOR TO FACILITATE GRADING OPERATIONS. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE CONSTRUCTION ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITION DEMAND, AND REPAIR OF ANY MEASURES USED TO TRAP SEDIMENTS.
3. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH, OR WATERCOURSE THROUGH THE USE OF SAND BAGS, GRAVEL, BOARDS OR OTHER APPROVED METHODS.
4. THE EROSION AND SEDIMENT CONTROL MEASURES WILL BE OPERABLE DURING THE RAINY SEASON, OCTOBER 1 TO APRIL 15. BY OCTOBER 1, GRADING AND INSTALLATION OF STORM DRAINAGE AND EROSION AND SEDIMENT CONTROL FACILITIES WILL BE COMPLETED. NO GRADING WILL OCCUR BETWEEN OCTOBER 1 AND APRIL 15 UNLESS AUTHORIZED BY THE CITY REPRESENTATIVE.
5. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE WILL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAINAGE SYSTEM.
6. ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL FIELD MANUAL OF THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, 4TH EDITION, DATED AUGUST 2002 OR LATER EDITION.

NOTE: INSTALL FIBER ROLL ALONG A LEVEL CONTOUR



**SAN MATEO COUNTY STANDARD NOTES:**

1. EROSION CONTROL POINT OF CONTACT: CONTRACTOR: THE ARMANINI GROUP EMAIL: jen@tagrepartners.com OFFICE: (888) 850-1856
2. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION
3. STABILIZE ALL DENUDEED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
4. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
5. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICAL, WASH WATER OR SEDIMENTS AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE ETC., SHALL NOT BE ENLARGED OR "RUN OVER".
12. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
13. DUST CONTROL IS REQUIRED YEAR-ROUND.
14. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
15. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st. AND APRIL 30th IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
16. THE TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.

REV.	DESCRIPTION	DATE
1	PER PLANNING COMMENTS	VPG 11/27/17
2	PER COUNTY COMMENTS	VPG 08/25/17

**MACLEOD AND ASSOCIATES**  
 CIVIL ENGINEERING • LAND SURVEYING  
 965 CENTER STREET • SAN CARLOS, CA 94070 • (650) 593-8580

PREPARED FOR:  
 THE ARMANINI GROUP

**EROSION AND SEDIMENTATION CONTROL PLAN**  
 COLUMBUS STREET  
 A.P.N. 047-275-050  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

DRAWN BY: DJK  
 DESIGNED BY: VPG  
 CHECKED BY: DGM  
 SCALE: 1"=10'  
 DATE: 07/13/17  
 DRAWING NO. 4452-GRAD  
 SHEET

**PLANT LEGEND:**

Tall Screen Plants:  
 R - Rhododendron Red, Pink, Purple, 15gal (2)  
 PO - Podocarpus henkelii, 15gal (2)  
 TB - Thibouchina urvilleana, 15gal (1)  
 AR - Athanasia Marina standard, 15gal (9)  
 T - Toyon, 15gal (3)  
 D - Dodonaea purpurea, 5gal (10)  
 D - Dodonaea purpurea, 15gal (17)

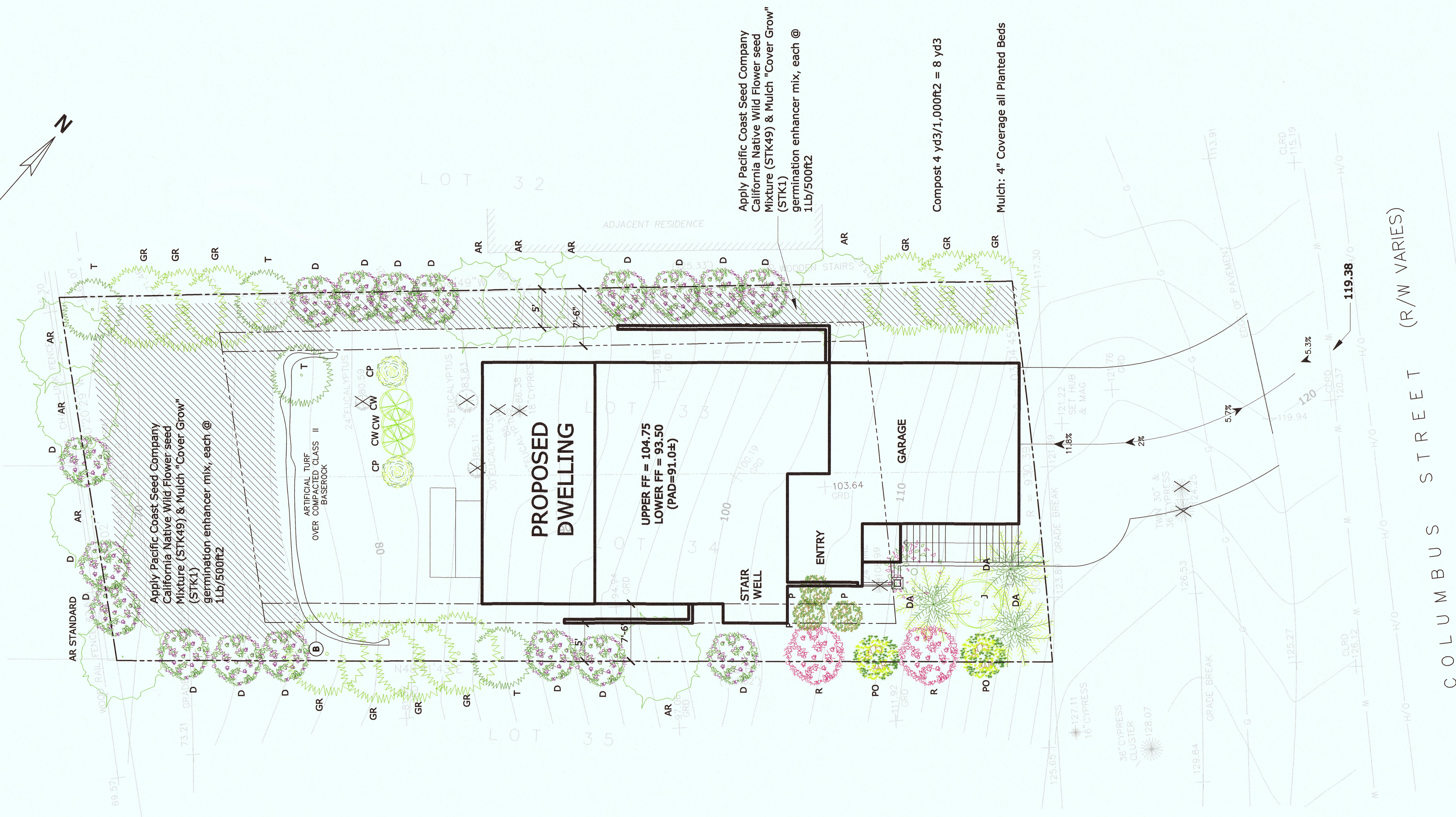
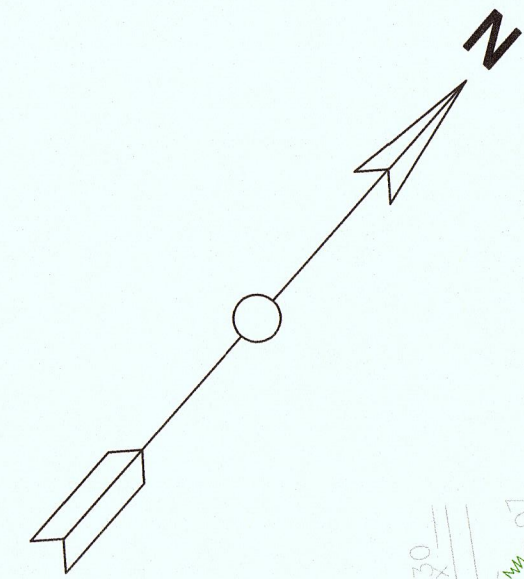
Foundation Plants:  
 W - Woodwardia fimbriata, 5gal  
 R - Rhododendron Red, 15gal (3)  
 SC - Salvia Caroliniana, 10gal  
 CW - Correa Wynn's Wonder 5gal (3)  
 LO - Lonicera Hines Purple 5gal  
 CP - Coleima Monterey Rose, 5gal  
 CG - Coleonema Golden 5gal  
 GS - grevillea superba, 5 gal

Border Plants:  
 CA - Campanula Perskiana, Flat  
 WS - Wild Strawberry (Chilensis) Flat  
 MZ - Arctostaphylos Emerald Carpet, 1gal (37)

Focal Plants:  
 DA - Dicentra ematrica 15gal (2)  
 J - Acer Japonica, "Emperor 1", 24" Box (1)

**This is a WELO Compliant Landscape:**

- Compost: (4) yd3/1,000R2 to a depth of 6" to all planted areas.
- Plant Water: Use: Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plants used.
- Mulch: 3" layer of mulch on all exposed soil surfaces of planting areas.
- Turf: (50d Rolls): Total turf area does not exceed 25% of the landscape area.
- Landscape Water Meter: A Landscape privately owned dedicated water meter shall be installed and maintained by the owner.
- A weather based irrigation computer shall be used to control the irrigation system.



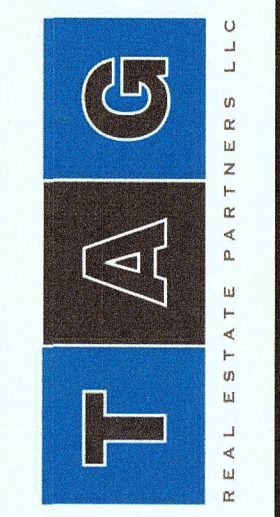
REVISION TABLE	
NUMBER	DESCRIPTION

DATE:  
 01/05/2018  
 SCALE:  
 1/8" = 1'0"

PLANTING PLAN  
**P-1**

Scott Soden  
 Artscapes Landscape Design  
 Phone: 650-839-1704  
 Cell 650-823-5824

APN 047-275-050  
 COLUMBUS ST.  
 EL GRANADA, CA.





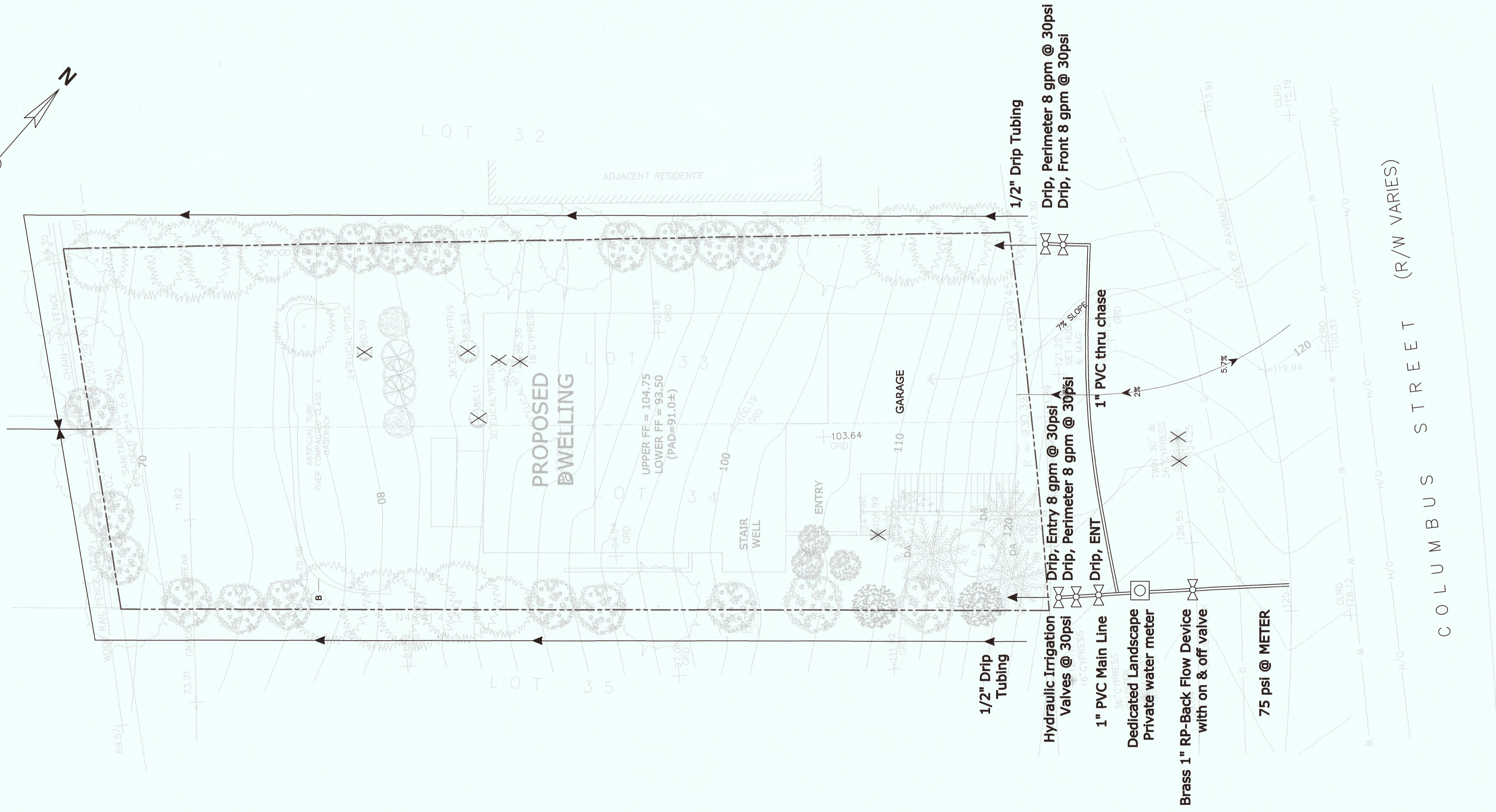
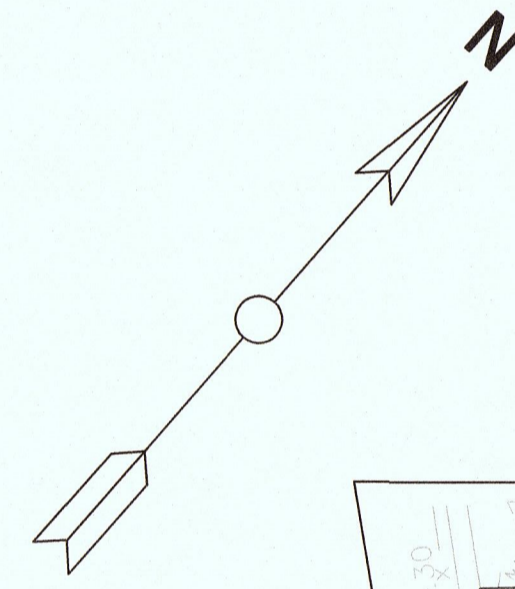
**DRIP IRRIGATION SYSTEM:**

Consists of Pressure Reducer, Y-Filter, Hydraulic Anti-Siphon Valve, 1/2" Tubing to all Plants, 1/2 Gallon, & 1 Gallon Emitters only.  
**NO MICRO-SPRAYS SHALL BE USED ON THIS SYSTEM.**

Drip Emitters shall be placed up-slope of the plants to be watered.  
 Watering Schedule shall be 1 hour, three times per week, divided into (4) Intervals of 15 minute duration to prevent water run-off.

**This is a WELO Compliant Landscape:**

- **Compost:** (4) Yd3 / 1,000 Ft2 to a depth of 6 "to All Planted Areas.
- **Plant Water Uses:** Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plants used.
- **Mulch:** 3"layer of mulch on all exposed soil surfaces of planting areas.
- **Turf, (Sod Rolls):** Total turf area does not exceed 25% of the landscape area.
- **Landscape Water Meter:** A Landscape privately owned dedicated water meter shall be installed and maintained by the owner.
- **A weather based Irrigation** computer shall be used to control the irrigation system.



REVISION TABLE	
NUMBER	DESCRIPTION

DATE:

01/05/2018

SCALE:

1/8" = 1'0"

IRRIGATION PLAN

**I-1**

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