

Planning and Building Department

Application for Design Review by the County Coastside Design Review Committee

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2015-00412

Other Permit #: _____

1. Basic Information

Applicant:

Name: Chris and Jacquie Cuvelier

Address: 76 Guerro Avenue

Half Moon Bay, CA Zip: 94019

Phone,W: (415)425-3278 H: (415) 699-5528

Email: chrisucuv@gmail.com/jacquie_cuvelier@hotmail.com

Owner (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone,W: _____ H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: Clever Homes by Toby Long Design C-28651

Address: 6114 LaSalle Avenue #552 Oakland, CA Zip: 94611

Phone,W: 415-905-9030 H: _____ Email: toby@chxtld.com

2. Project Site Information

Project location:

APN: 047-175-250

Address: San Pedro Road

El Granada, CA Zip: 94019

Zoning: R-1/S-17/DR/CD

Parcel/lot size: 9,732 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3. Project Description

Project:

- New Single Family Residence: 3,256.9 sq. ft
- Addition to Residence: _____ sq. ft
- Other: _____

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

Describe Project:

THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY HOME, ACCESSORY DWELLING UNIT AND ATTACHED GARAGE

(REVISIONS to previous DR: PLN 2015-00412)

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	FIBER CEMENT SIDING	STAINED (WOOD) + PAINT	<input type="checkbox"/>
b. Trim	ALUMINIUM BECKET	ANNOXIDIZED	<input type="checkbox"/>
c. Windows	FIBER GLASS (COMPOSITE)	BLACK @ EXTERIOR	<input type="checkbox"/>
d. Doors	WOOD - PAINTED	COLOR T.B.D.	<input type="checkbox"/>
e. Roof	COMPOSITION TILE	GRAY	<input type="checkbox"/>
f. Chimneys	BRICK - METAL PANEL	TO MATCH WINDOWS	<input type="checkbox"/>
g. Decks & railings	CARBONAL + GLASS	N/A	<input type="checkbox"/>
h. Stairs	NONE @ EXT.		<input type="checkbox"/>
i. Retaining walls	NONE (SMALL STONE WALLS)		<input type="checkbox"/>
j. Fences	RED WOOD		<input type="checkbox"/>
k. Accessory buildings	NONE		<input type="checkbox"/>
l. Garage/Carport	ATTACHED		<input type="checkbox"/>

5. Required Findings

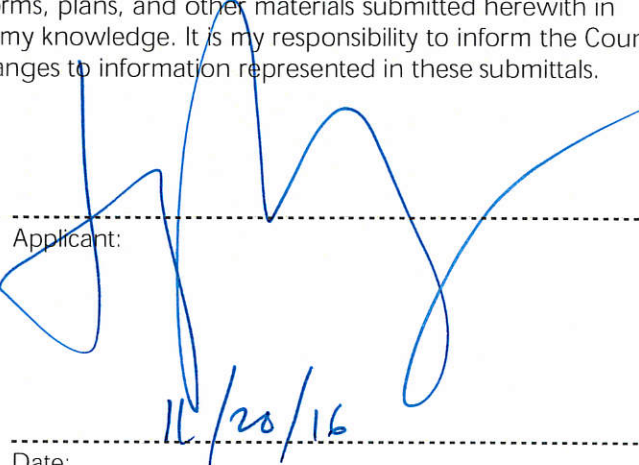
To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: (SEE ABOVE LETTER)

Applicant: 

Date:

Date: 11/20/16

RECEIVED

NOV 21 2016

San Mateo County
Planning and Building Department

Environmental Information Disclosure Form

Planning and Building Department

PLN 2015-00412

BLD _____

Project Address: San Pedro Road

El Granada, CA 94019

Assessor's Parcel No.: 047 — 175 — 250

Zoning District: R-1/S-17/DR/CD

Name of Owner: Chris and Jacquie Cuvelier

Address: 76 Guerro Avenue

Half Moon Bay, CA Phone: 94019

Name of Applicant: _____

Address: _____

Phone: _____

Existing Site Conditions

Parcel size: 9,732

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation).

VACANT LAND

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
	<input checked="" type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input checked="" type="checkbox"/>		d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? <u>8</u>
<input checked="" type="checkbox"/>		e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : <u>90</u> c.y. Fill: <u>20</u> c.y.
	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
	<input checked="" type="checkbox"/>	h. Construction within a sensitive habitat?
	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

SITE GRADING

RECEIVED

NOV 21 2016

San Mateo County
Planning and Building Department

Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. Construction outside of the footprint of an existing, legal structure?
	<input checked="" type="checkbox"/>	b. Exterior construction within 100-feet of a stream?
	<input checked="" type="checkbox"/>	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	<input checked="" type="checkbox"/>	d. Land-use within a riparian area?
	<input checked="" type="checkbox"/>	e. Timber harvesting, mining, grazing or grading?
	<input checked="" type="checkbox"/>	f. Any work inside of a stream, riparian corridor, or shoreline?
	<input checked="" type="checkbox"/>	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		

3. National Pollutant Discharge Elimination System (NPDES) Review

Yes	No	Will the project involve:
	<input checked="" type="checkbox"/>	a. <u>A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	<input checked="" type="checkbox"/>	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:

(Applicant may sign)

Date:

11/18/16

The Cuvelier Residence
0 San Pedro Avenue
El Granada, CA
94019

New Single Family Home Project

Owner: Chris and Jacquie Cuvelier
76 Guerro Avenue
Half Moon Bay, CA
94019
Chris 415.425.3278
Jacquie 415.699.5528

chriscuv@gmail.com
jacquie_cuvelier@hotmail.com

Architect: Toby Long, AIA
tobylongdesign
6114 La Salle Avenue #552
Oakland, CA
94611
T: (415) 905.9030
E: toby@tobylongdesign.com

APPLICANT STATEMENT

The proposed project consists of minor modifications to the Design Review Approval of PLN2015-00412, a new single family home and attached garage on an empty lot in El Granada. This original proposal was for a home including 2,743 sf of living area including the 2 car garage, in a 3 bedroom and 3 ½ bathroom program.

The revised proposal is for a home of 3,256.9 sqft, including a separate (attached) accessory dwelling unit and the two car garage. In order to incorporate the unit and the desires of the new owners of the property, some minor modifications are also proposed to the design including a slight rotation of the house on the site, and expanded roof deck, and some minor window and door adjustments. The house has a more prominent front façade and massing on the San Pedro façade has been improved.

This beautiful new home will continue be a welcome addition to the eclectic mix of two story homes on this block in El Granada. Composed of structures built from middle of last century to new modern homes, San Pedro Avenue is home to single family residences of a multitude of styles, colors, and materials.

The proposed design of the new home on the subject property adds to the diverse architecture of this community and incorporates familiar materials and forms in a unique design. The proposed design includes a low hip roof, like several houses on the street. The design includes both painted and stained horizontal siding, as many of the houses on both sides of the block. The design also incorporates natural and organic colors, particularly brown, which is prevalent in the street, including the house next door. The overall character and scale of the proposed design blends perfectly into the array of forms present in the homes of San Pedro Avenue.

The new home will be placed at the north setback, buffering the view house from the street edges with deep and landscaped setbacks. The entry of the house is welcoming and well-defined by an entry path and large covered front porch facing the ocean view. While removing the hazardous and poorly maintained Eucalyptus trees on the site, the project also proposes some new trees around the property to help screen the views of the house to and from the street. There will be some very minor grading associated with the project, in order to accommodate the driveway and to prepare the pad for the home. There are no other significant natural features on the property and the house does not block or obscure any adjacent views or light.

Privacy among the neighboring properties is respected in the proposed design. The adjacent home to the north has limited window openings into the property, and the façade of the existing house does not include large windows from private spaces. Additionally, a fence and landscape screening are considered along this property line.

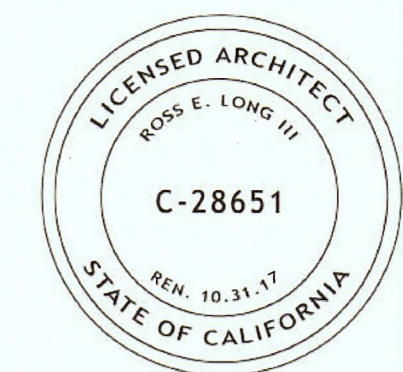
The new home is in scale and character with the diversity of homes in this area. Most homes on this street are two stories and many of them include living areas on the second floor. The design of the proposed house is exciting, and dynamic, with many articulated wall sections, changes in materials and color, and through the use and application of privacy screens, a delicate touch adding additional textures to the facades. The roof form is low-pitched, as with the other homes in the neighborhood, although portions of the first story includes a lower flat roof, creating a striking horizontal band, defining the stories of the home and breaking up the mass of the structure. The design proposes compliance with the façade articulation requisites, in lieu of the more prescriptive daylight plan requirements.

The landscaping of the site will be modest, natural and native. The open-ness of the property is intended to be preserved, and all planted trees will be small, as to avoid affecting any neighboring views across the parcel. All hardscape surfaces, except for the driveway will be permeable.

This exciting project is forward-looking, incorporating the best of the current trends in sustainable and responsible construction practices. The home is a great addition to this community, and the architecture reflects and enhances the diversity of this neighborhood. The project has been reviewed with many of the surrounding property owners who have expressed their support and enthusiasm for the project.

THE CUVELIER RESIDENCE

SAN PEDRO ROAD EL GRANADA CA 94019



Clever Homes
 presented by **tobylongdesign**
 modern modular homes
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com



a modern green home. a new sustainable prefab construction project in el granada

- PAINTED METAL TRIM AND PANELS
 - STAINED CEDAR EAVES
 - STAINED FIBER CEMENT SIDING
 - PAINTED FIBER CEMENT SIDING
 - FIBERGLASS WINDOWS
ANDERSEN 100 SERIES
(TERRATONE COLOR)
 - FIBERGLASS ENTRY DOOR
WOOD COLOR/TEXTURE
- PAINT COLORS**

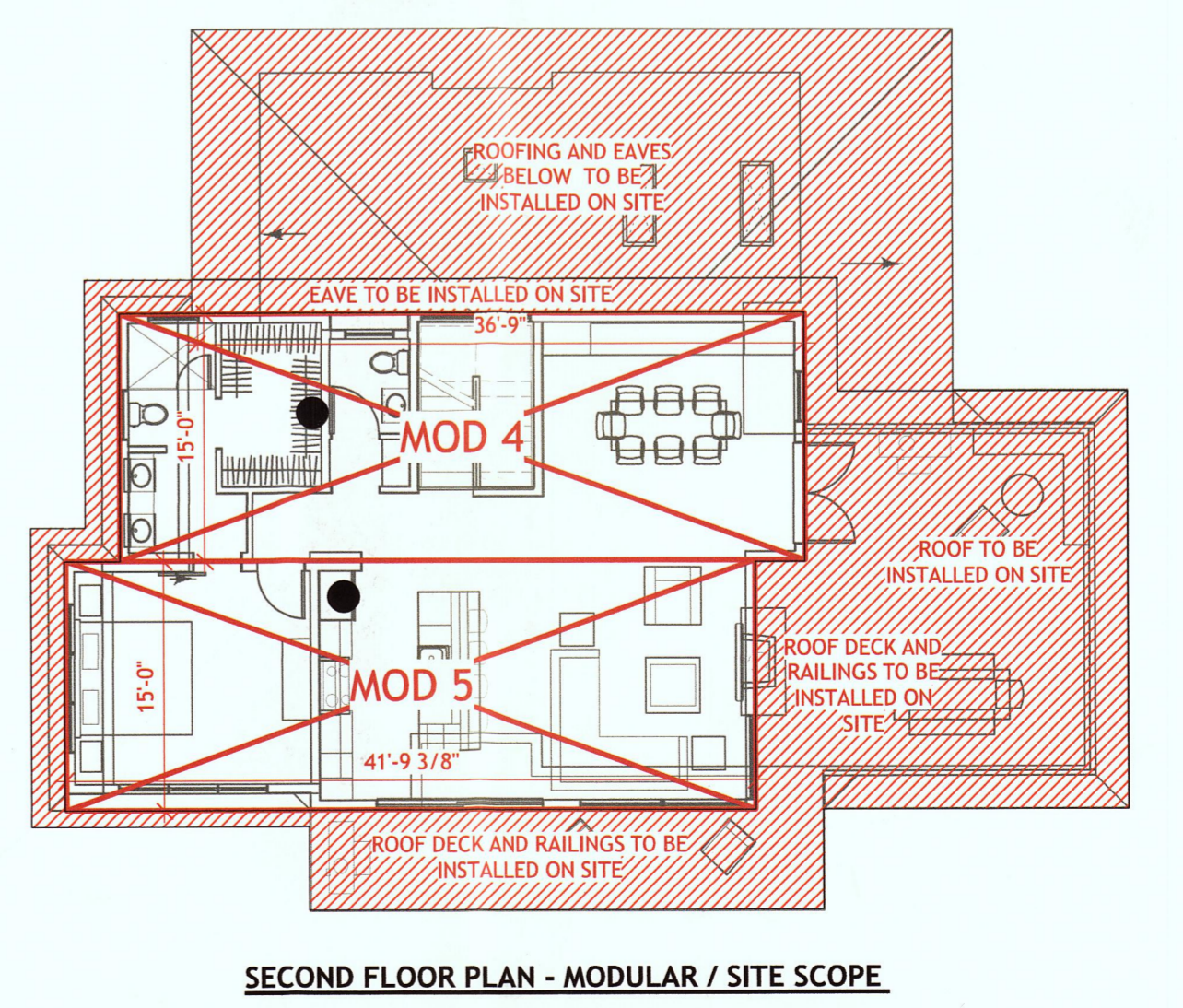
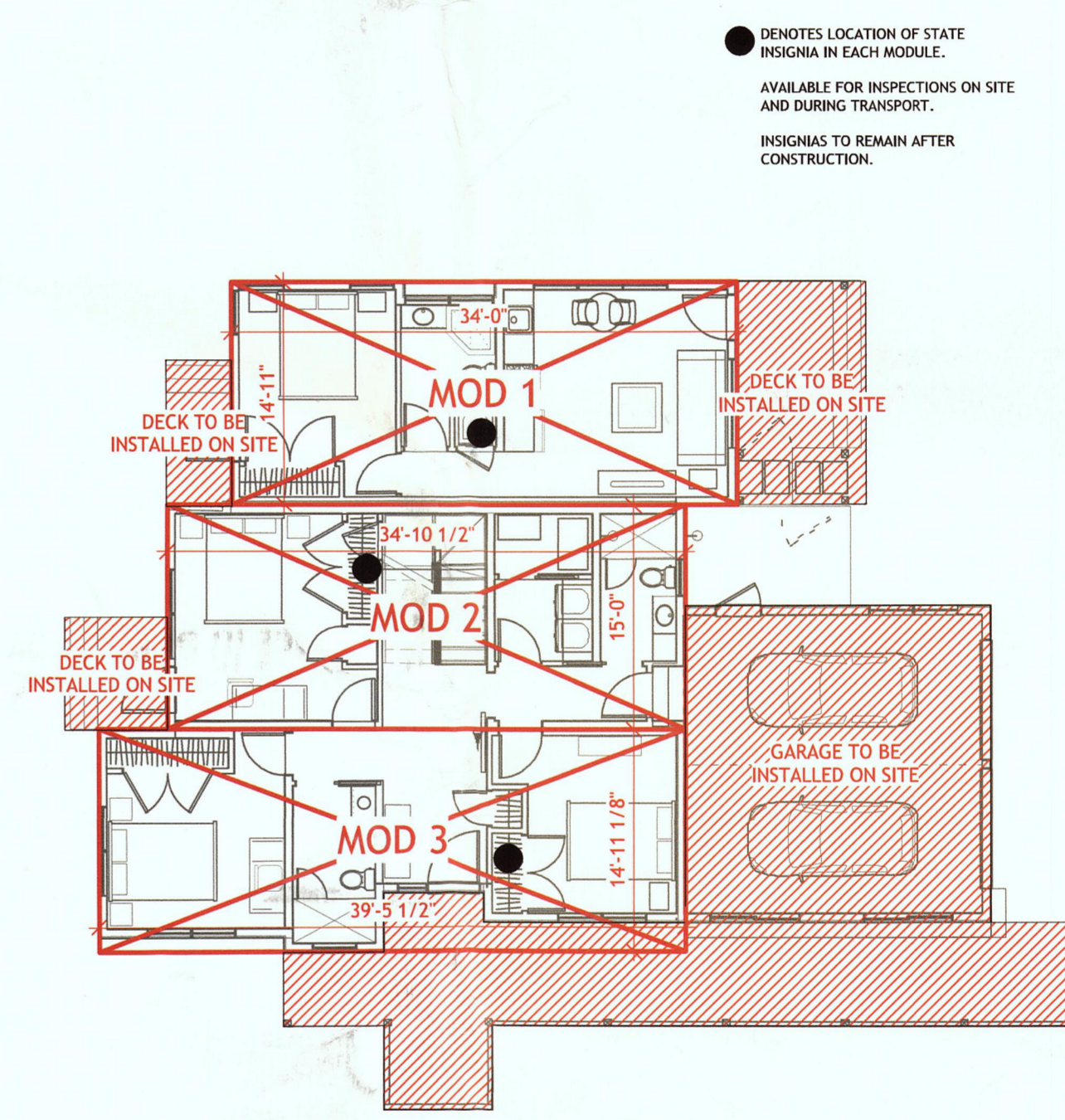
TRIM/FASCIA
BENJAMIN MOORE #1582 DEEP RIVER

PAINTED SIDING
BENJAMIN MOORE #977 BRANDON BEIGE
- EXTERIOR LIGHT FOR ALL EXTERIOR FIXTURES
-FRANKLIN IRON WORKS, STYLE #P3309
-DARK SKY RATED

DEFERRED SUBMITTAL ITEMS:

- FINAL APPROVED CA APPROVED MODULAR PLANS
- FIRE SPRINKLER PLAN
- ARBORIST REPORT
- WATER EFFICIENCY ORDINANCE INFO

ALL WILL BE PROVIDED PRIOR TO PERMIT ISSUANCE



ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

1 RENDERING / MATERIALS

NOTE: CAL GREEN REQUIRED VOC CONTENT TO BE PROVIDED IN FACTORY
 SCOPE OF SITE CONSTRUCTION:

THE ON SITE CONSTRUCTION RELATING TO THE FACTORY BUILT MODULES WILL CONSIST OF THE FOLLOWING ACTIVITIES:

1. EXCAVATION AND PREPARATION OF BUILDING PAD.
2. INSTALLATION OF CONCRETE FOOTING AND FOUNDATION SYSTEM.
3. INSTALLATION OF TREATED 2x6 DOUBLE SILL PLATE.
4. INSTALLATION OF MODULES ON FOUNDATION.
5. CONNECT STRUCTURAL HOLD-DOWNS, STRUCTURAL SHEATHING PER ENGINEERING DOCUMENTS.
6. INSTALLATION OF ATTACHED GARAGE.
7. INSTALLATION OF FRONT ENTRY DECK.
8. INSTALLATION OF ROOF, ROOF EAVES, ROOF SHEATHING, MOISTURE BARRIER, ROOF MEMBRANE.
9. CONNECT HEATING EQUIPMENT.
10. CONNECT WATER SUPPLY TO MODULE.
11. CONNECT GAS SUPPLY TO MODULE GAS LINE.
12. INSTALLATION OF REAR DECK.
13. INSTALLATION WEATHER PROTECTIVE BARRIER, SIDING OVER BOTTOM 8" OF MODULE TO FOUNDATION.
14. INSTALLATION WEATHER PROTECTIVE BARRIER AT HORIZONTAL AND VERTICAL JUTE-LINES.
15. INSTALLATION OF BI-FOLD AND OTHER LARGE EXTERIOR DOORS.
16. FINAL EXHAUST CONNECTIONS FOR ALL MECHANICAL EQUIPMENT.
17. STRUCTURAL CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
18. ELECTRICAL WIRING CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
19. PLUMBING PIPING (WATER, DRAIN, VENT, GAS) CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
20. MECHANICAL DUCTS CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).
21. FIRE SPRINKLER PIPING CONNECTIONS BETWEEN FACTORY BUILT MODULES (BOTH HORIZONTALLY AND VERTICALLY).

NOTES: *ALL APPLIANCES TO BE INSTALLED ON-SITE

ALL EXTERIOR FINISHES INSTALLED ON-SITE.
 MODLINE CONNECTIONS OF EXTERIOR END WALLS SHOWN ON DTL 1a/A6.2 & 3/SD3.

*THIS HOUSE IS NOT AIR-CONDITIONED

EAVES ATTACHED ON SITE.
 ALL ROOFING AND GUTTERS INSTALLED ON SITE
 ROOF MEMBRANE PATCHED AND EXTENDED TO EAVES ON SITE
 SEE STRUCTURAL DRAWINGS FOR ALL EAVE CONNECTIONS
 SEE A6.2/A6.3 FOR EAVE DETAILS

ALL GUTTER AND DOWNSPOUTS INSTALLED ON SITE
 SEE STRUCTURAL DRAWINGS FOR EAVE CONNECTIONS

STRUCTURAL CONNECTIONS MADE BETWEEN MODULES.
 SEE STRUCTURAL DRAWINGS FOR CONNECTIONS.

MECHANICAL, ELECTRICAL, PLUMBING, AND FIRE SPRINKLER CONNECTIONS MADE BETWEEN MODULES.
 SEE ALL MEP AND FIRE PROTECTION PLANS IN STATE APPROVED DRAWINGS FOR ALL SYSTEMS AND DESIGNS

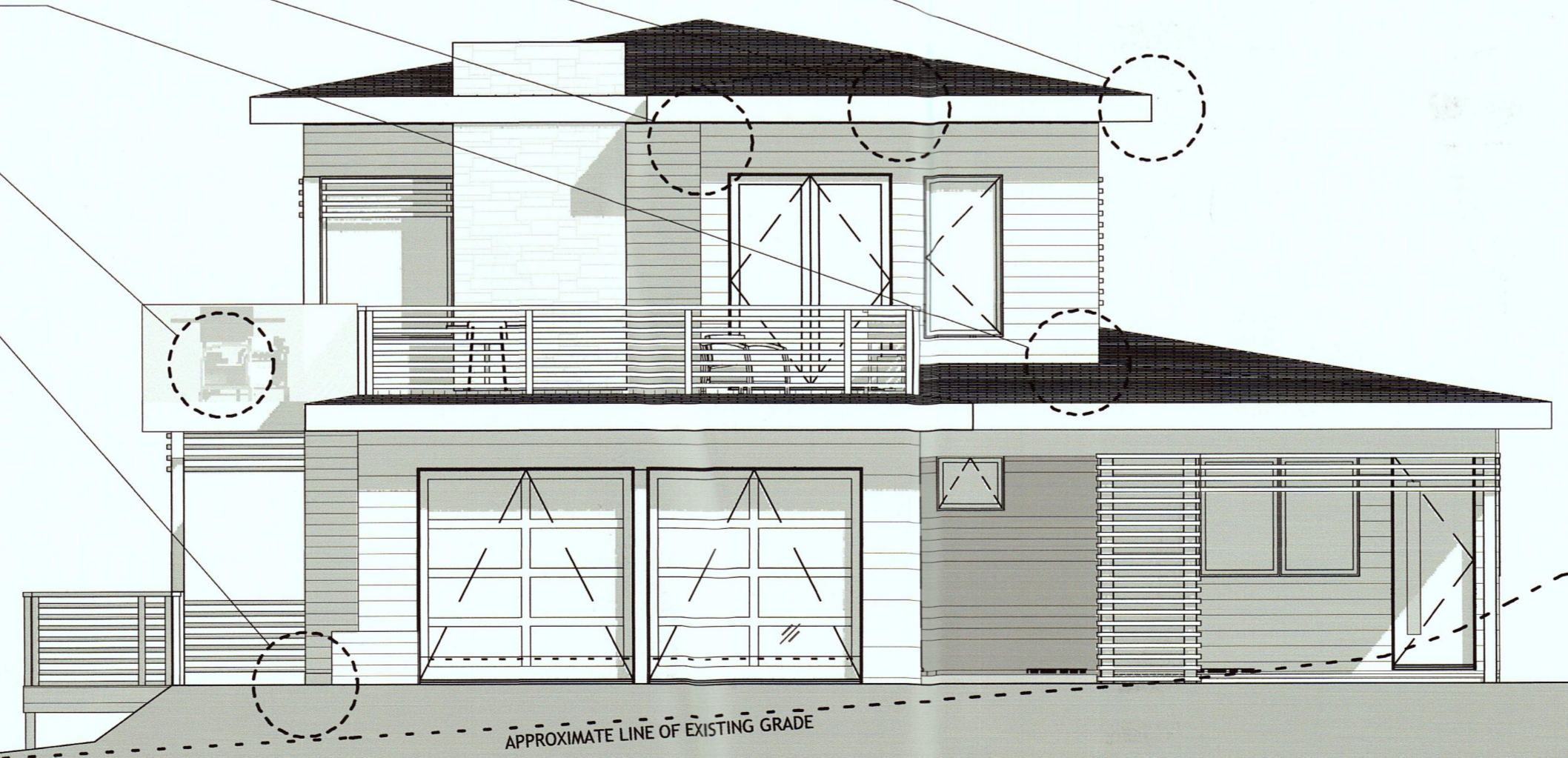
ALL DECKS AND SITE STAIRS INSTALLED ON SITE.
 SEE A6.2 FOR DECK AND STEP DETAILS.
 SEE STRUCTURAL DRAWINGS FOR ALL CONNECTIONS

ALL FOUNDATION WORK AND SILL PLATES INSTALLED ON SITE.
 SEE A6.0 AND A6.1 FOR ALL DETAILS RELATED TO FOUNDATION.
 SEE STRUCTURAL DRAWINGS FOR ALL FOUNDATION DETAILS AND CONNECTIONS

ALL FINAL MECHANICAL, ELECTRICAL, PLUMBING, AND RADIANT SYSTEM CONNECTIONS, AS WELL AS START-UP AND TESTING, WILL BE PERFORMED ON SITE. ALL CONNECTIONS WILL BE MADE THROUGH EXPOSED PORTIONS OF THE BUILDING, WHERE FINISHES AND FIXTURES WILL BE LEFT OPEN TO COMPLETE THE ASSEMBLIES.

ALL PLUMBING AND ELECTRICAL SYSTEMS WILL BE ASSEMBLED BETWEEN MODULES USING APPROVED CONNECTIONS AND CONNECTORS.

ALL RADIANT SYSTEM CONNECTIONS WILL BE MADE AT THE MANIFOLDS FOR EACH MODULE.



2 COVER

3 MODULES OVERVIEW

SCALE: 1/16" = 1'-0"

COVER AND MATERIALS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND NOT REVISIONS. TO PROTECT REVISIONS CONSIDER LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGN OR INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF tobylongdesign.

scale **RECEIVED**

NOV 21 2016

San Mateo County
 Planning and Building Department

sheet
A 0.0

© TOBYLONGDESIGN 2016



Clever HomesSM
presented by
modern green
tobylongdesign
6114 LA SALLE AVENUE #552 OAKLAND CA 94611
P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
SAN PEDRO ROAD
EL GRANADA, CA
94019

APPROVAL STAMP

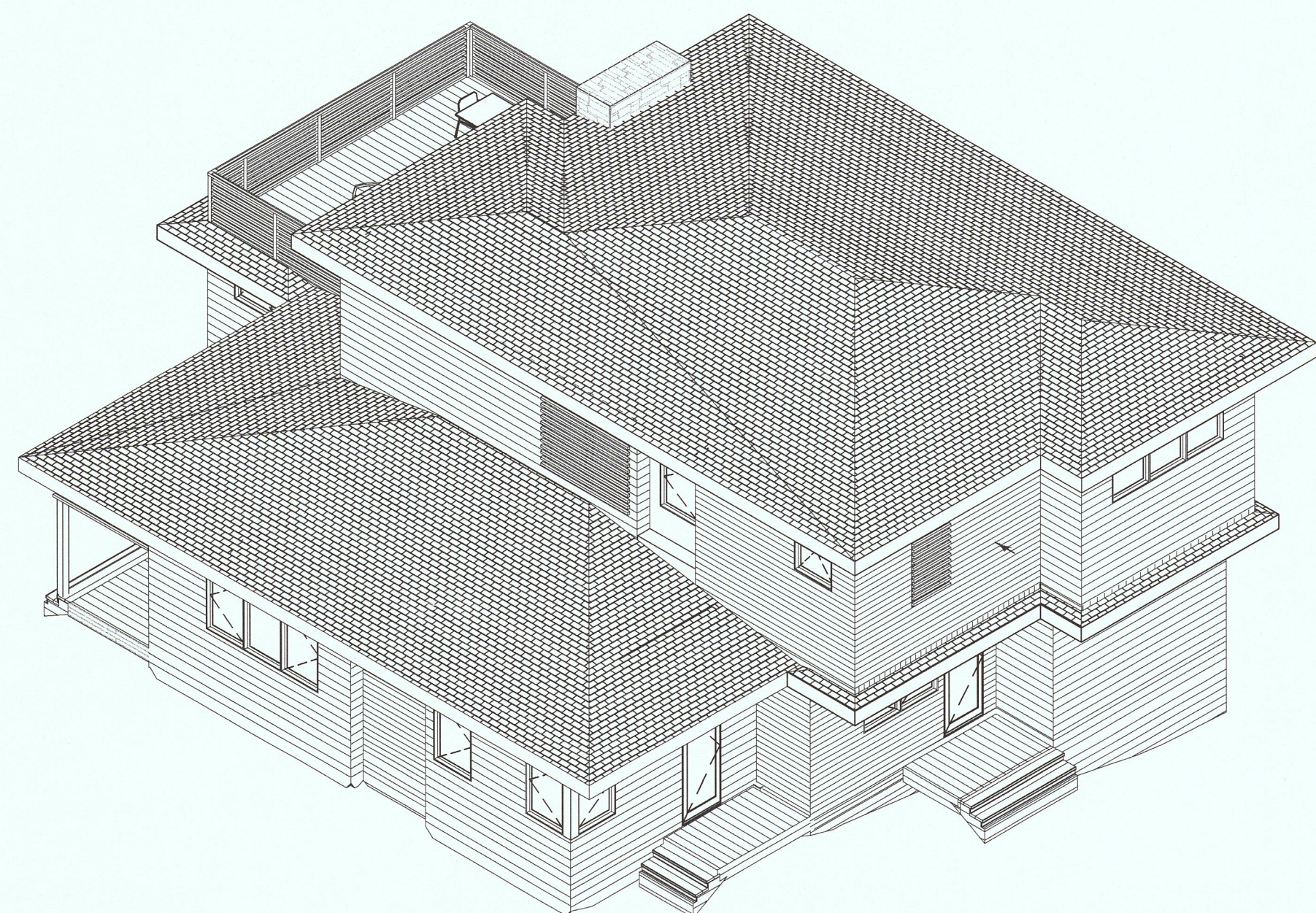
MASSING DIAGRAMS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND MET SIGNATURE. THE ARCHITECT'S SEAL, COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL CONTENT IS RESERVED FOR THESE PLANS. THERE IS NO TIME OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT THE WRITTEN EXPRESS WRITTEN PERMISSION OF Tobylongdesign.

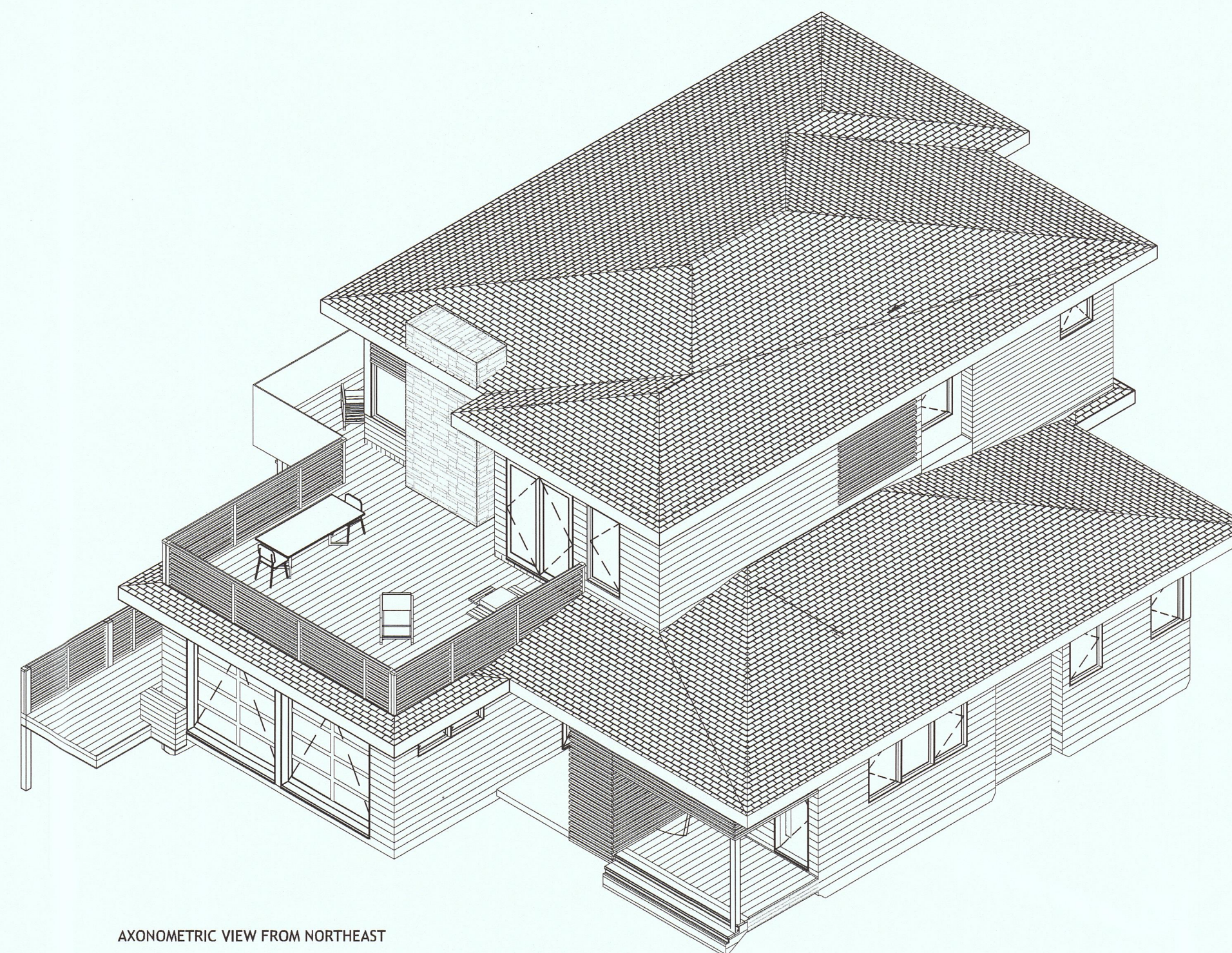
scale
1/8"=1'-0"

sheet
A 0.5

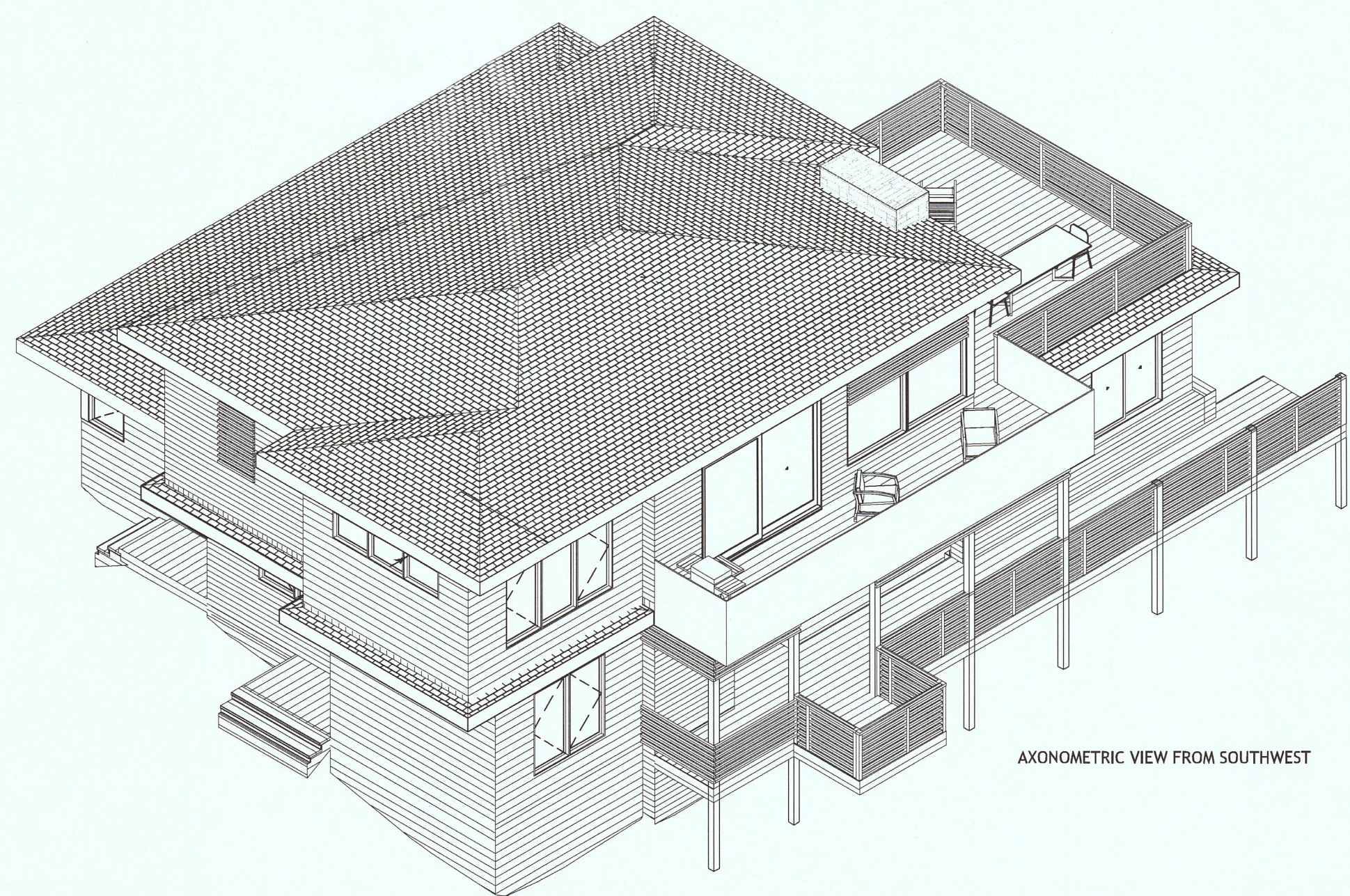
© TOBYLONGDESIGN 1016



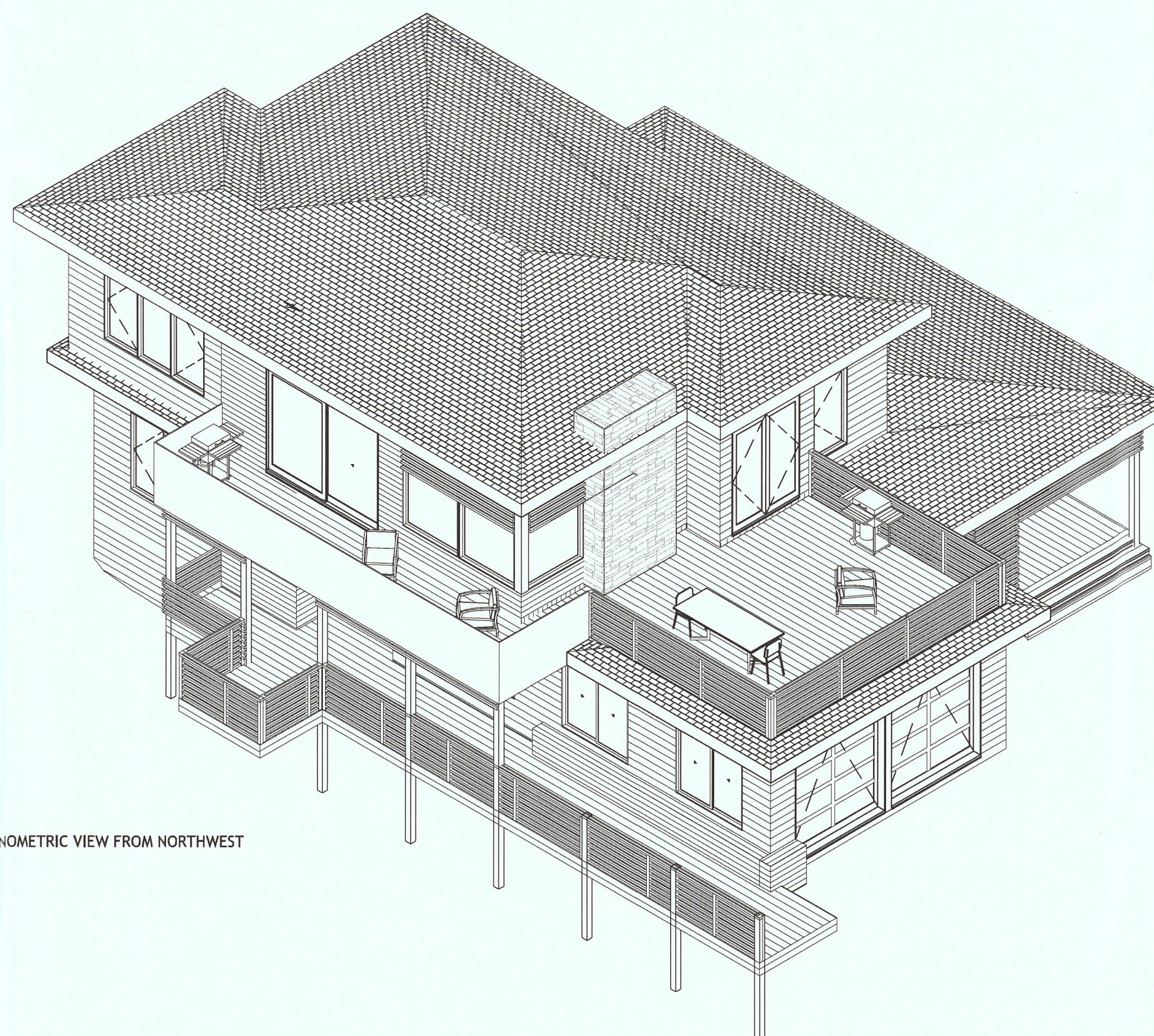
AXONOMETRIC VIEW FROM SOUTHEAST



AXONOMETRIC VIEW FROM NORTHEAST



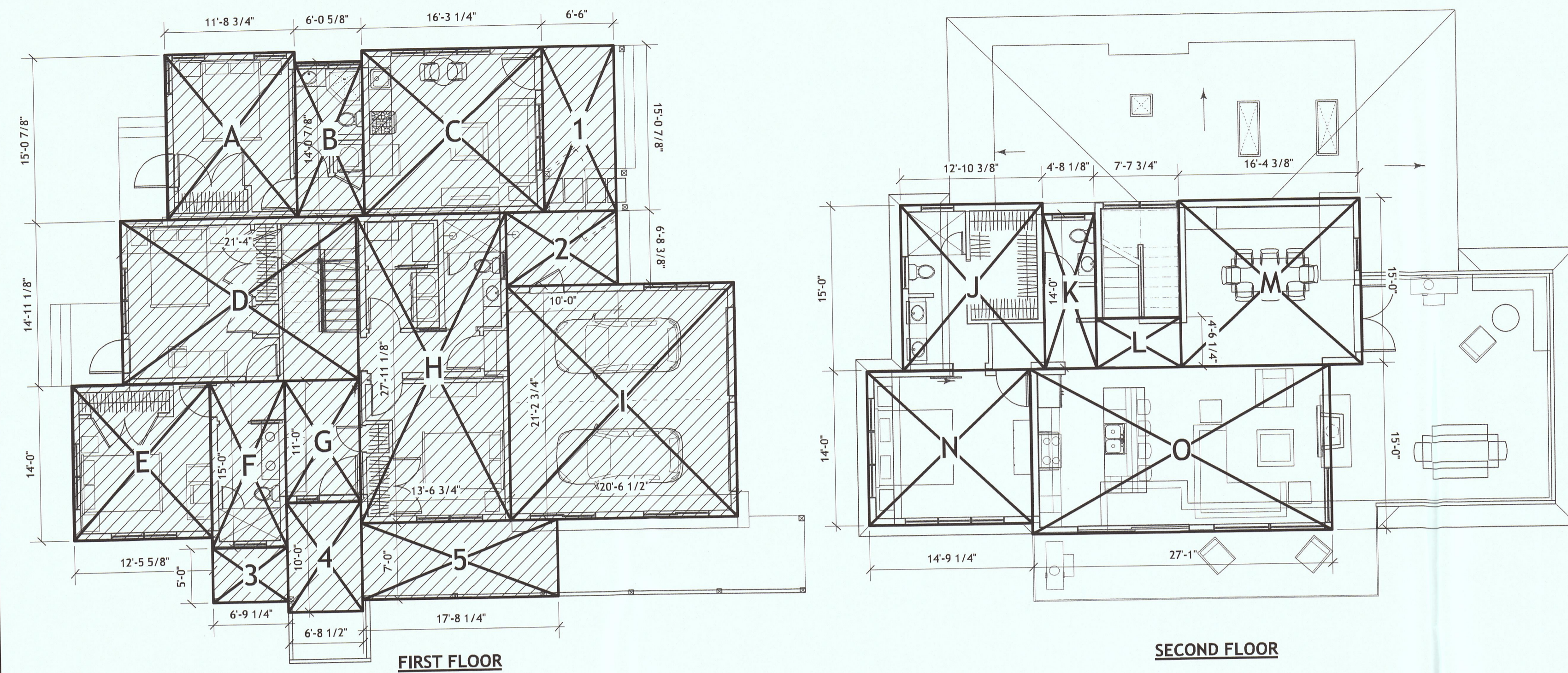
AXONOMETRIC VIEW FROM SOUTHWEST



AXONOMETRIC VIEW FROM NORTHWEST



CleverHomes
 presented by
toby long design
 ARCHITECTS
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com



LOT COVERAGE

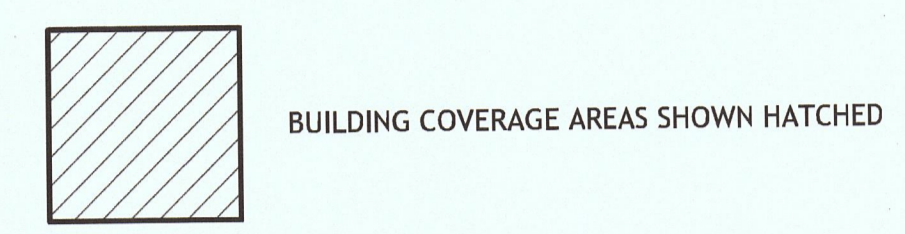
AREA	SQUARE FOOTAGE
FIRST FLOOR	1,990.7 SQFT - FROM CALC
COVERED PORCHES	389.9 SQFT
TOTAL COVERAGE	2,380.6 SQFT

SITE AREA: 9,732 SQFT
 MAX COVERAGE: 35% OF LOT FOR 2 STORIES = 9,732 X .35 = 3,406.2 SQFT
 PROJECT COMPLIES: 2,380.6 SQFT < 3,406.2 SQFT

FLOOR AREA CALCULATION

AREA	SQUARE FOOTAGE	DIMENSIONS (h x w)
ACCESSORY UNIT		
A	176.8	15'-0 7/8" X 11'-8 3/4"
B	85.2	14'-0 7/8" X 6'-0 5/8"
C	245.3	15'-0 7/8" X 16'-3 1/4"
1	(98)	15'-0 7/8" X 6'-6"
SUBTOTAL	507.3 SQFT (605.3)	
FIRST FLOOR		
D	318.5	14'-11 1/8" X 21'-4"
E	174.6	14'-0" X 12'-5 5/8"
F	101.6	15'-0" X 6'-9 1/4"
G	73.8	11'-0" X 6'-8 1/2"
H	378.9	27'-11 1/8" X 13'-6 3/4"
I	436	21'-2 3/4" X 20'-6 1/2"
2	(67)	6'-8 3/8" X 10'-0"
3	(33.9)	5'-0" X 6'-9 1/4"
4	(67.1)	10'-0" X 6'-8 1/2"
5	(123.9)	7'-0" X 17'-8 1/4"
SUBTOTAL	1,483.4 SQFT (1775.3)	
SECOND FLOOR		
J	193.9	15'-0" X 12'-10 3/8"
K	66	14'-0" X 4'-8 1/8"
L	34.5	4'-6 1/4" X 7'-7 3/4"
M	361.8	15'-0" X 24'-0 1/8"
N	205.7	14'-0" X 14'-9 1/4"
O	404.3	15'-0" X 27'-1"
SUBTOTAL	1266.2 SQFT	
TOTAL	3,256.9 SQFT	

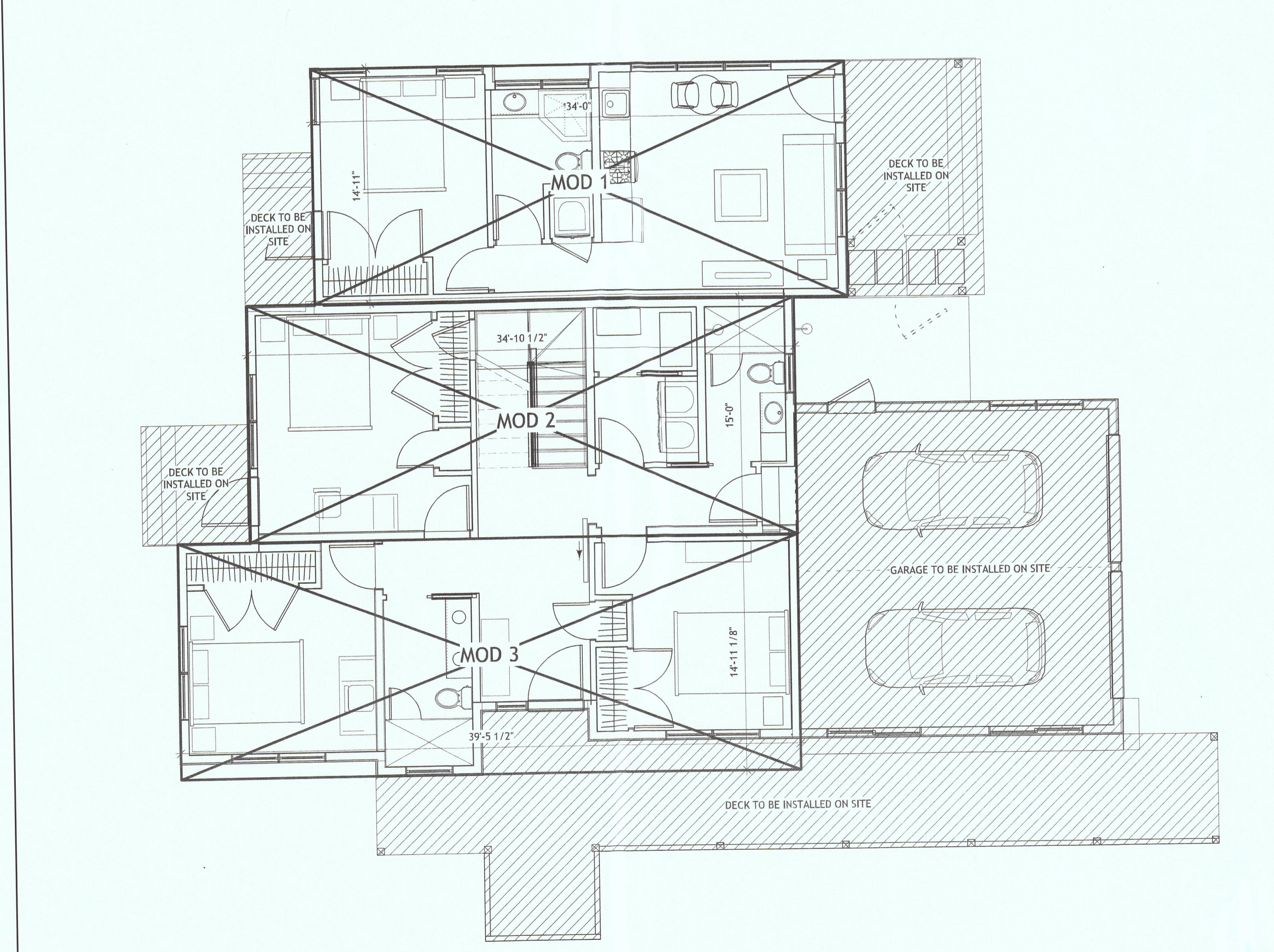
SITE AREA: 9,732 SQFT
 MAX FLOOR AREA: 53% OF LOT = 9,732 SQFT X .53 = 5,158 SQFT
 PROJECT COMPLIES: 3,256.9 SQFT < 5,158 SQFT



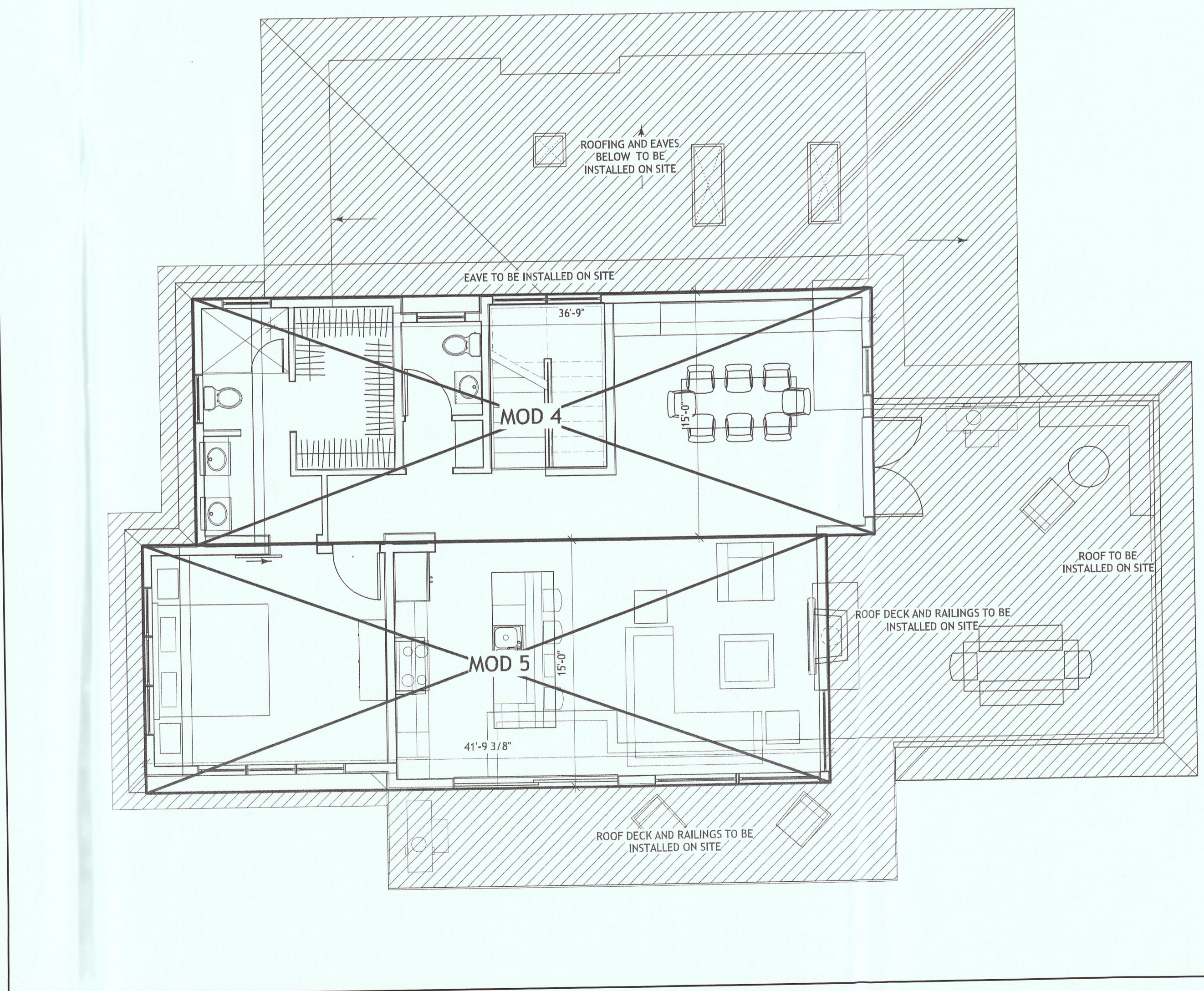
ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716

DESIGN REVIEW SUBMITTAL 111716

1 AREA CALCULATION DIAGRAMS



2 MODULAR DIAGRAM - FIRST FLOOR



3 MODULAR DIAGRAM - SECOND FLOOR

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

MODULAR DIAGRAMS

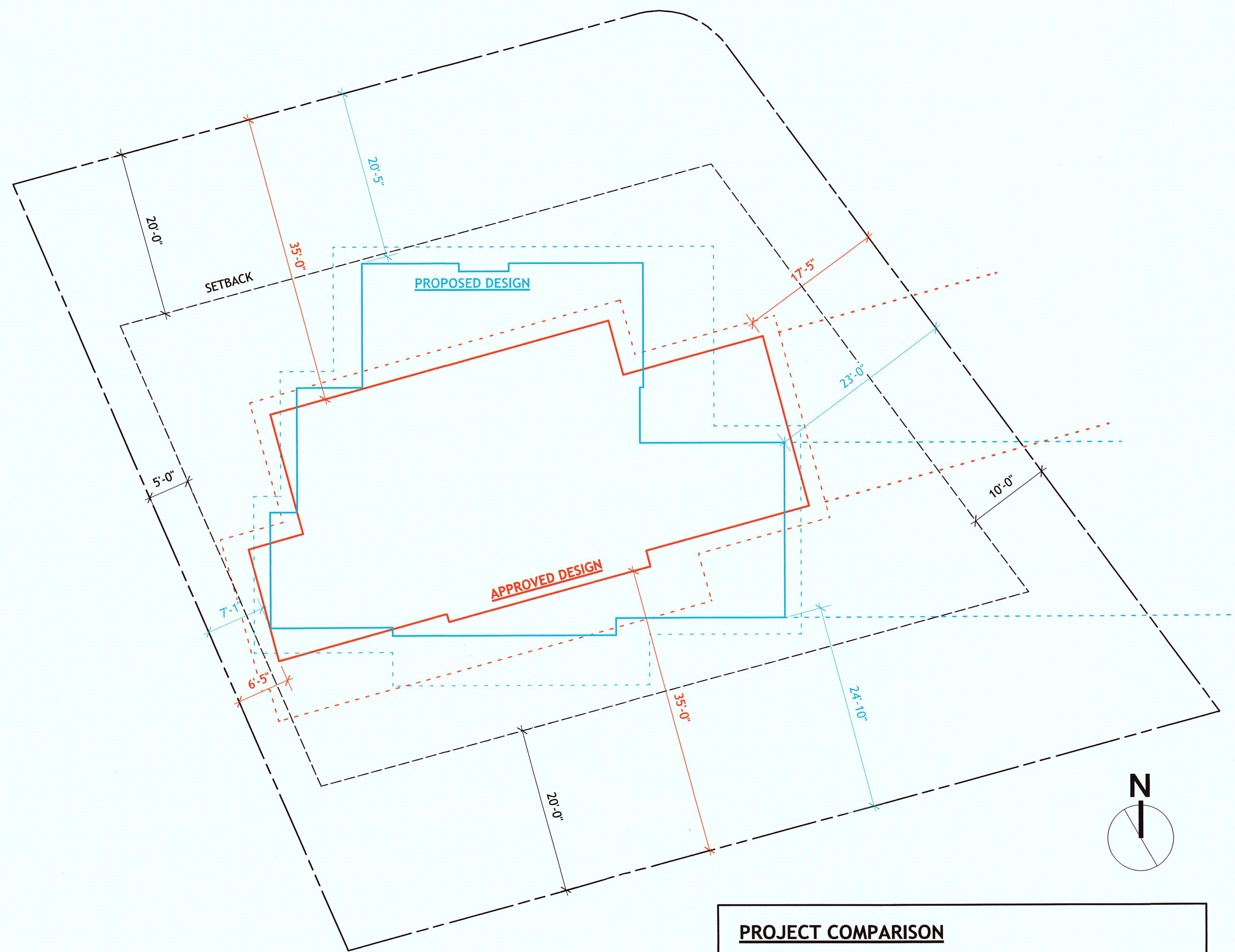
THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND THE SIGNATURE. THE EXPRESSLY RECORDED COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGN OR INFORMATION IN THESE PLANS, THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.

scale

sheet

A 0.6

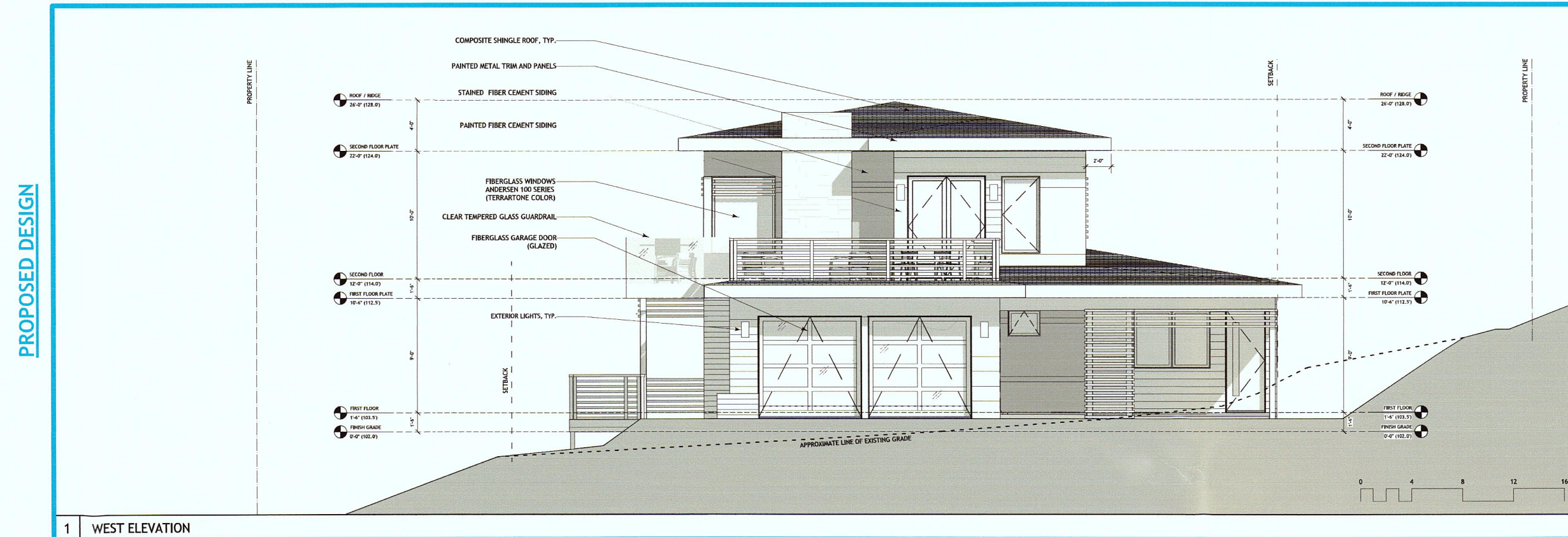
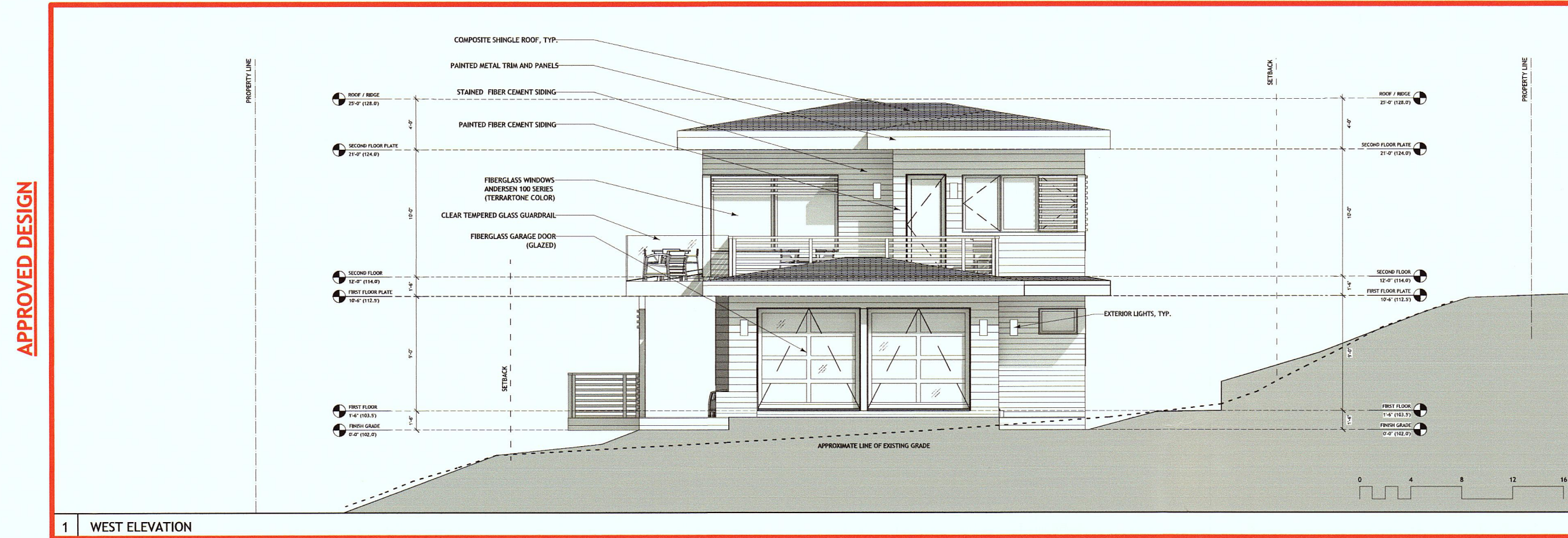
© TOBYLONGDESIGN 2014



PROJECT COMPARISON	
APPROVED	PROPOSED
SIZE: 2,743.8 SQFT	SIZE: 3,555.5 SQFT
MAX HEIGHT: 26'-0" (128.00')	MAX HEIGHT: 26'-0" (128.00')
COVERAGE: 1,999.1 SQFT	COVERAGE: 2,915 SQFT

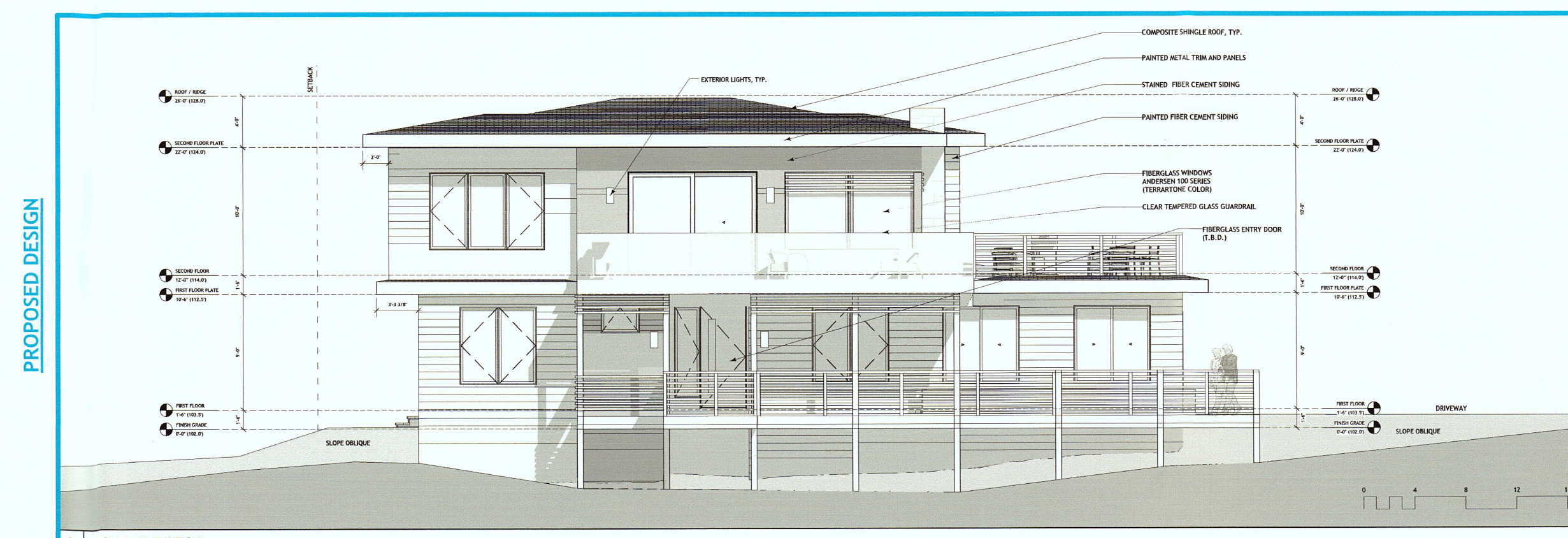
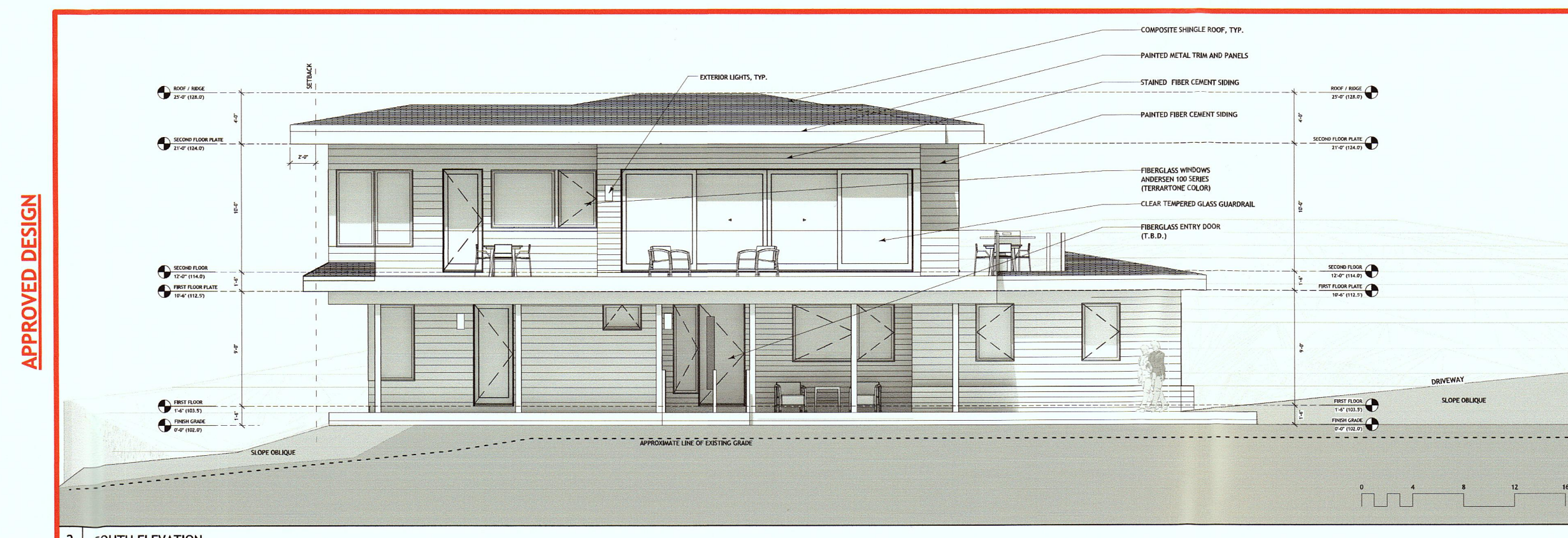
1 PROJECT AREA AND COVERAGE COMPARISON

3/32" = 1'-0"



2 EAST ELEVATION COMPARISON

NOT TO SCALE



3 SOUTH ELEVATION COMPARISON

NOT TO SCALE



Clever Homes
presented by
toby long design
ARCHITECTS
6114 LA SALLE AVENUE #552 OAKLAND CA 94611
P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
SAN PEDRO ROAD
EL GRANADA, CA
94019

APPROVAL STAMP

COMPARISON

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND SET SCHEDULE. THE ARCHITECT ASSUMES NO LIABILITY FOR REPRODUCTION OR OTHER PROPRIETARY RIGHTS TO ALL INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.

scale

sheet
A 0.8a

© TOBYLONG DESIGN 2016



CleverHomes
 presented by **tobylongdesign**
 ARCHITECTS
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415-905-9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

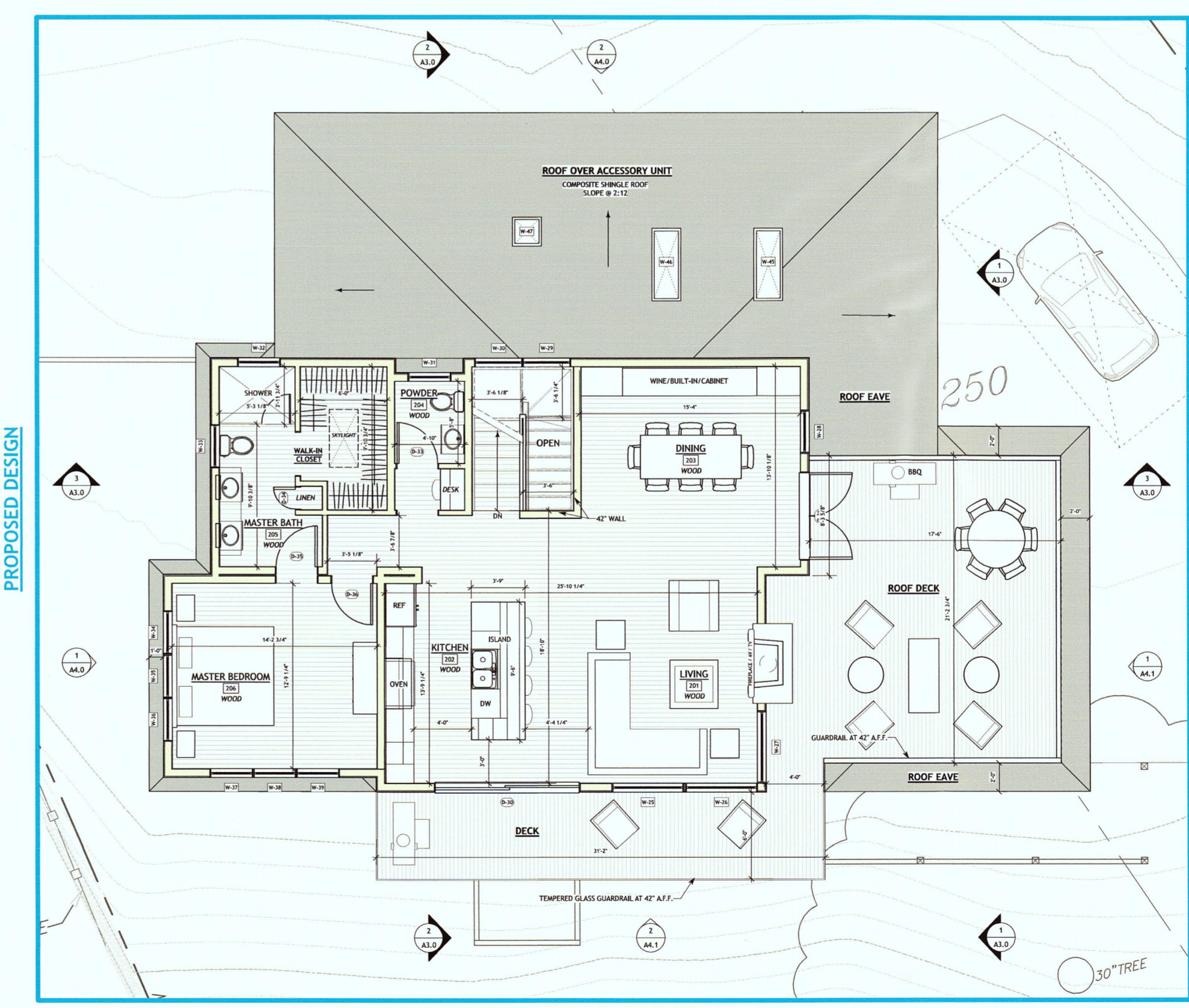
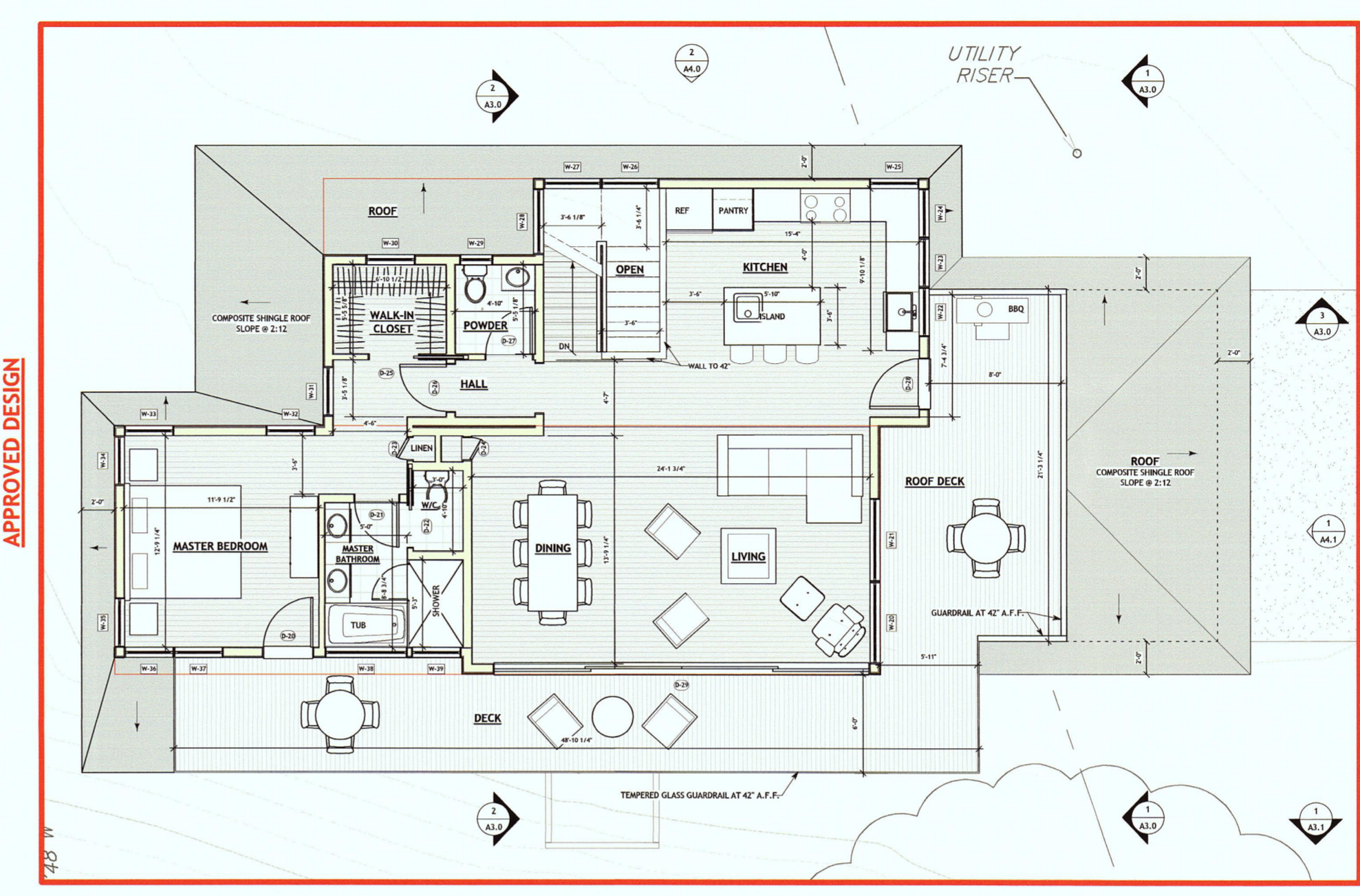
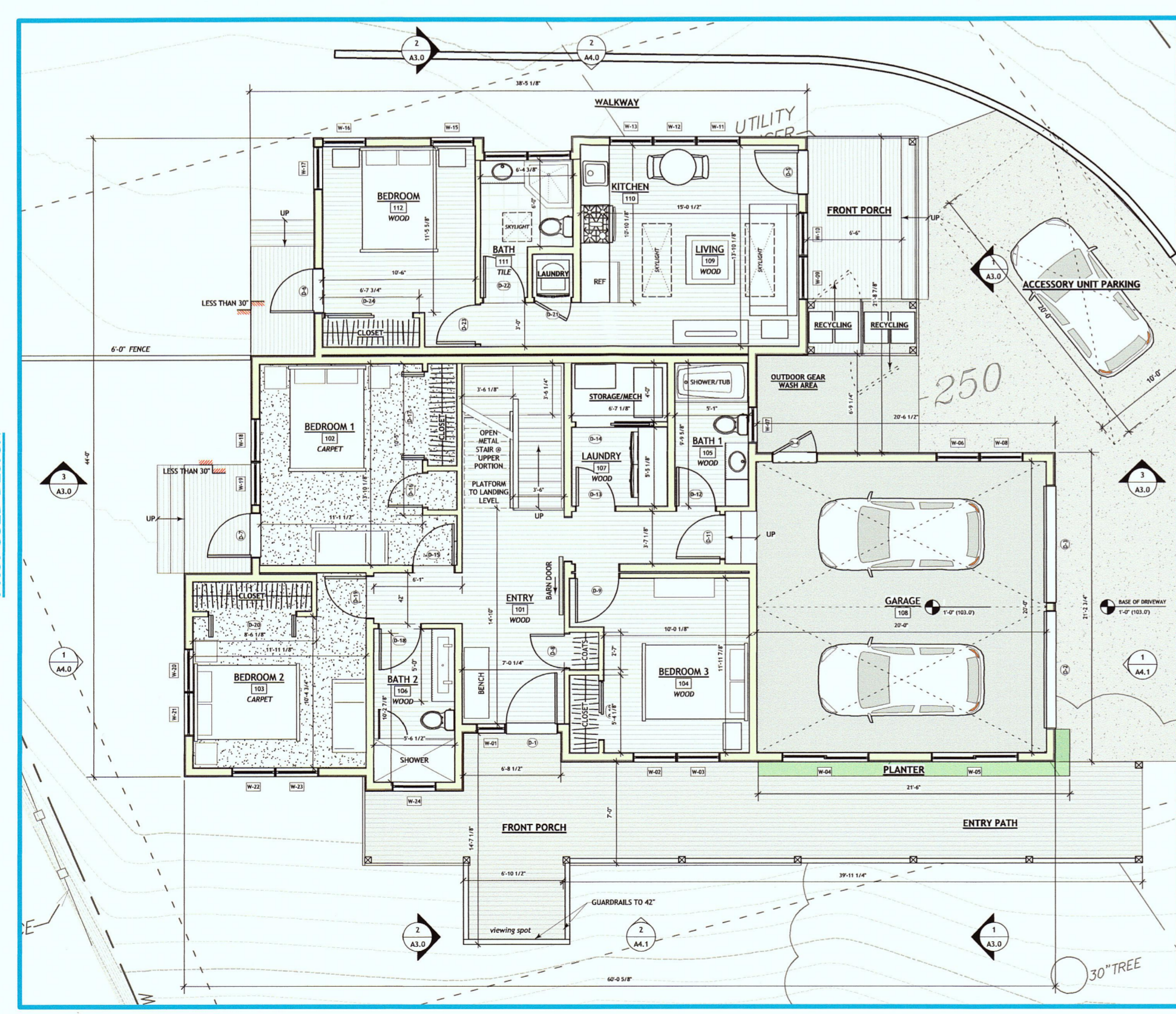
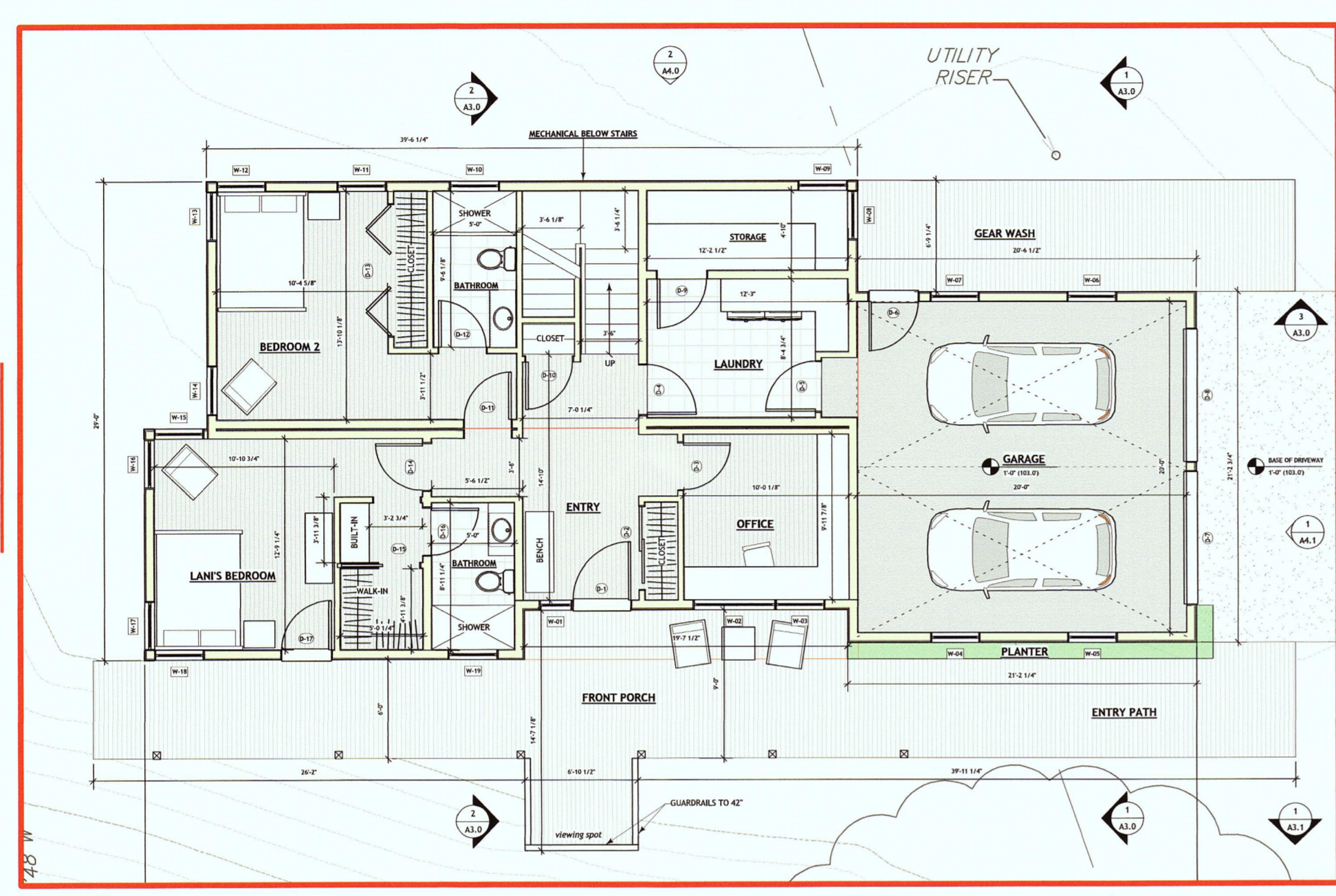
COMPARISON

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND THE SIGNATURE. IT IS EXPRESSLY FORBIDDEN TO REPRODUCE OR TRANSMIT IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE EXPRESS WRITTEN PERMISSION OF the architect.

scale
 1/8" = 1'-0"

sheet
A 0.8b

© TOBYLONGDESIGN 2016



1 1ST FLOOR PLAN COMPARISON

1/8" = 1'-0"

2 2ND FLOOR PLAN COMPARISON

1/8" = 1'-0"



Clever Homes
 presented by **tobylongdesign**
 ARCHITECTS
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

COMPARISON

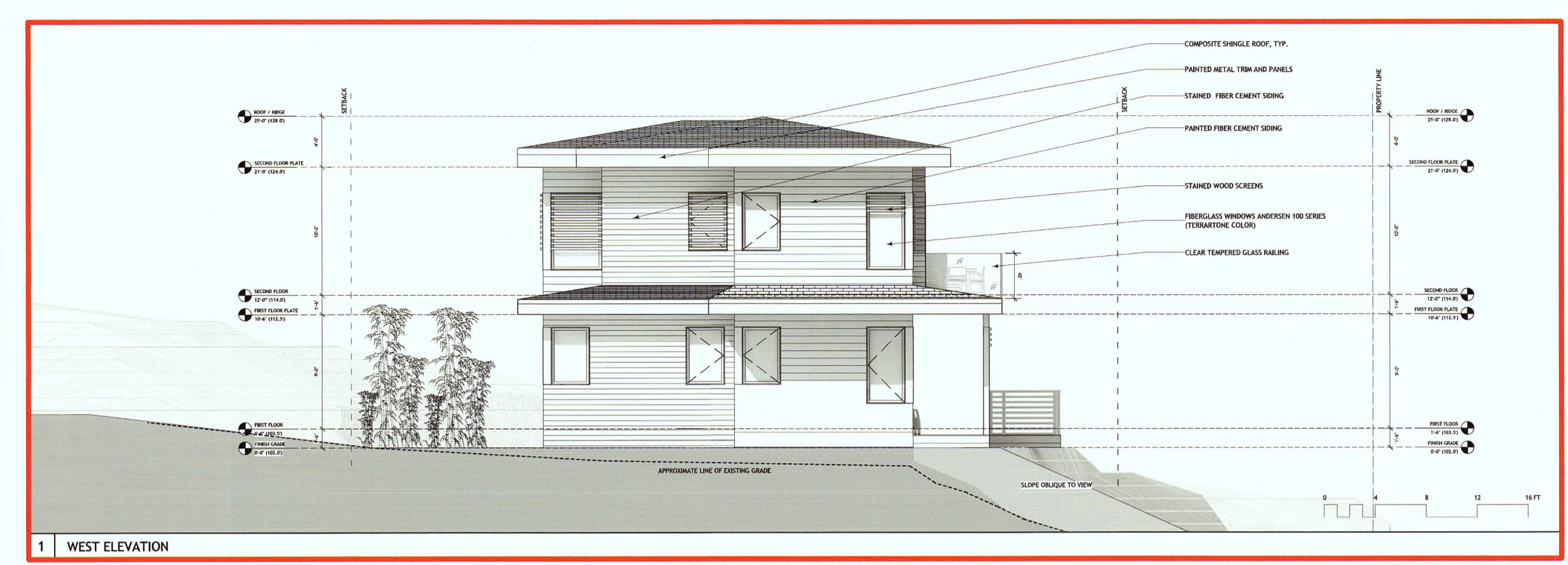
THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND PROFESSIONAL SIGNATURE. THE CLIENT'S RESPONSIBILITY FOR COPYRIGHT AND OTHER PROPRITY RIGHTS TO ALL DESIGN INFORMATION IN THESE PLANS. THIS PLAN AND ANY NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, FOR ANY USE, WITHOUT THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.

scale

sheet
A 0.8c

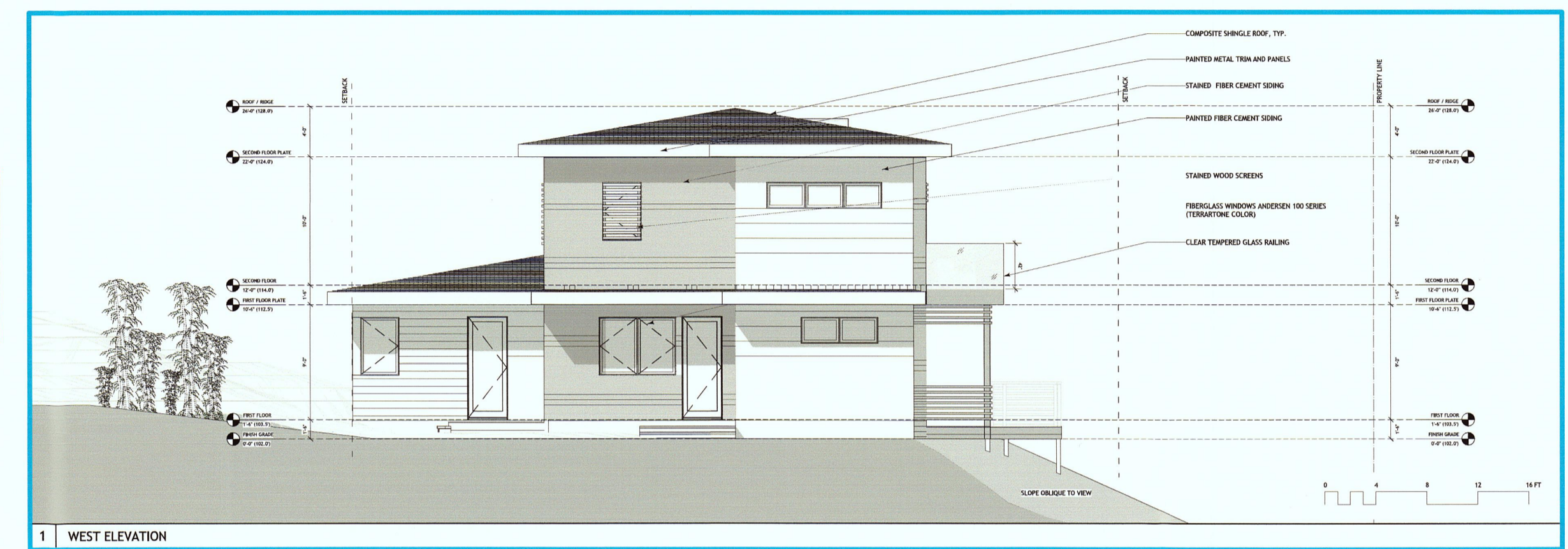
© TOBYLONGDESIGN 2016

APPROVED DESIGN



1 WEST ELEVATION

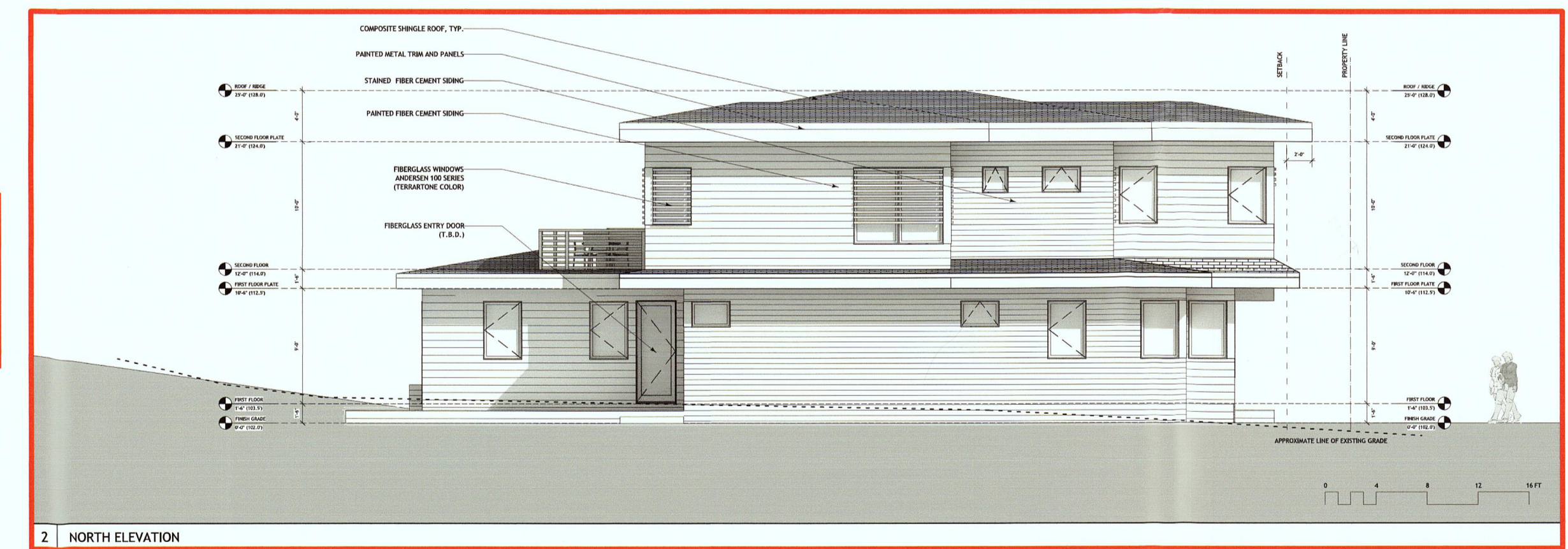
PROPOSED DESIGN



1 WEST ELEVATION

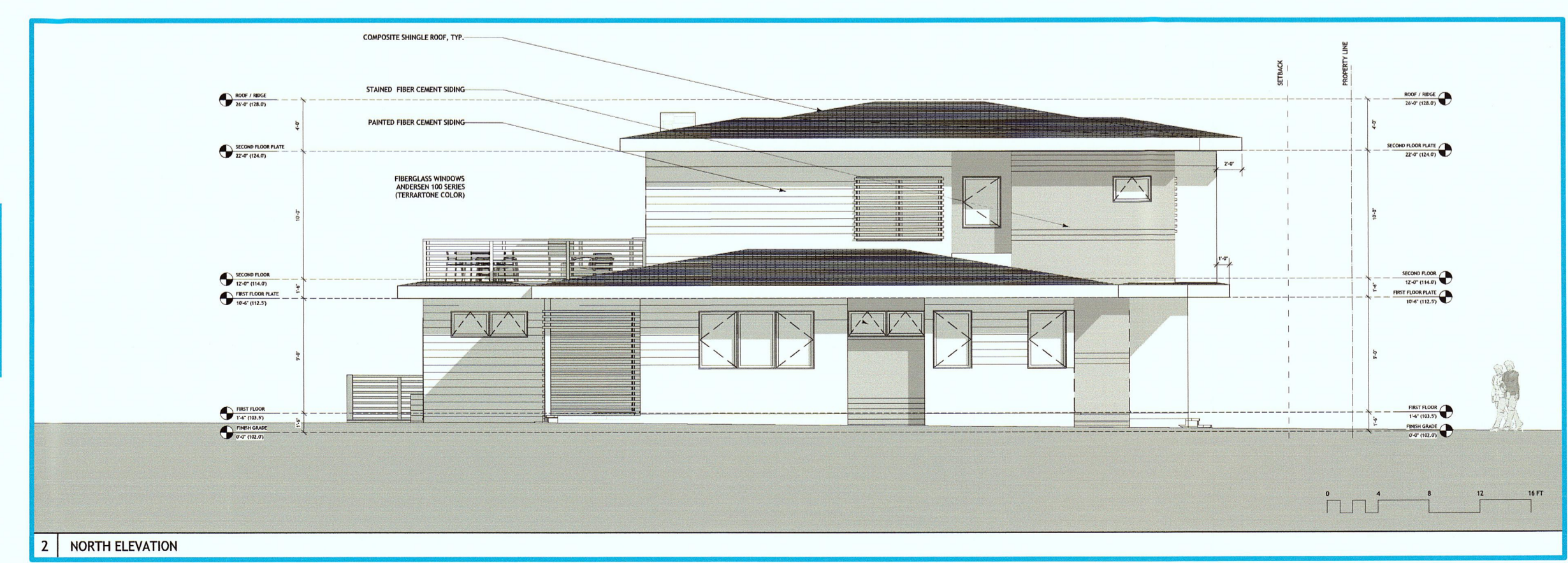
2 WEST ELEVATION COMPARISON

APPROVED DESIGN



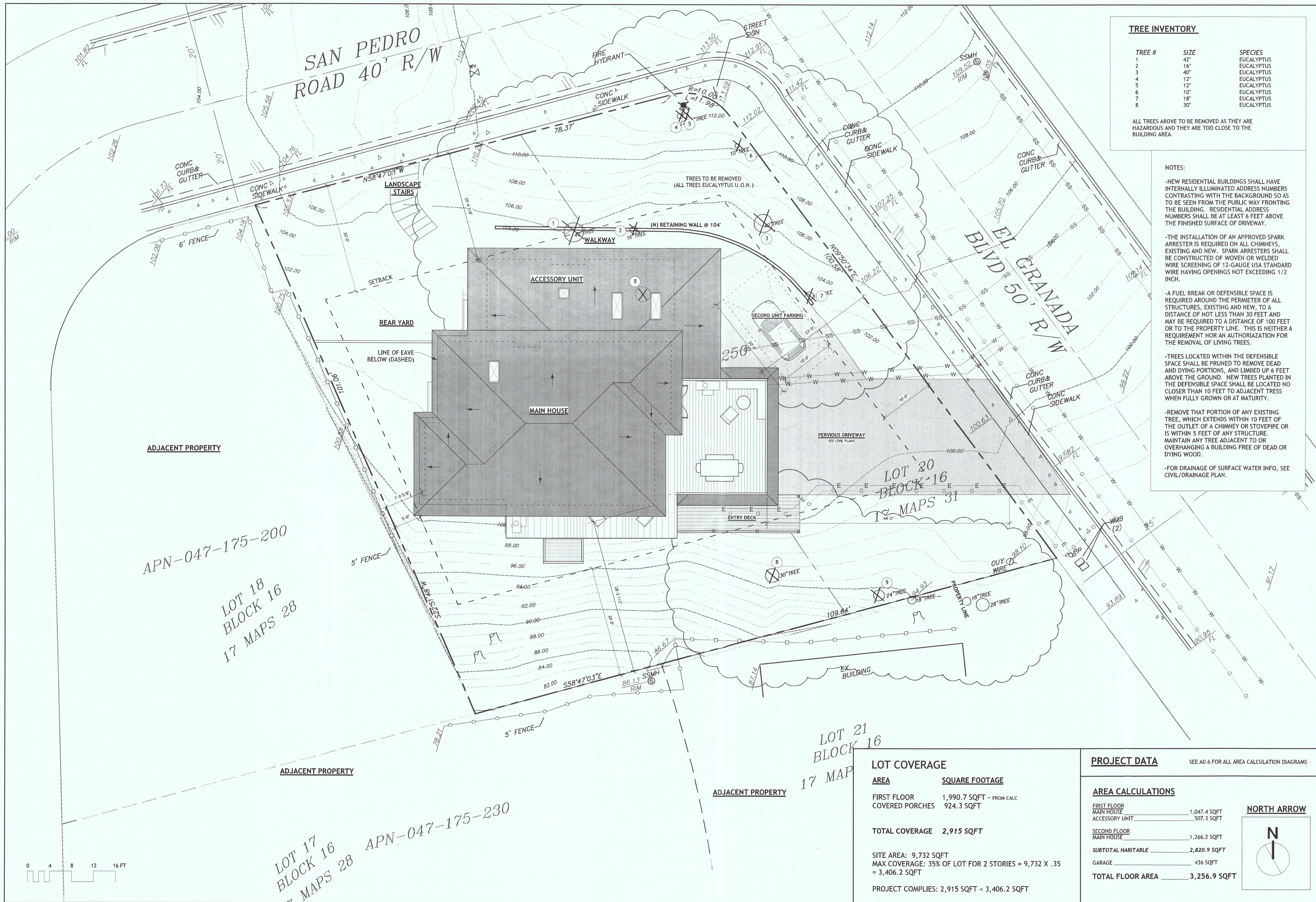
2 NORTH ELEVATION

PROPOSED DESIGN



2 NORTH ELEVATION

3 NORTH ELEVATION COMPARISON



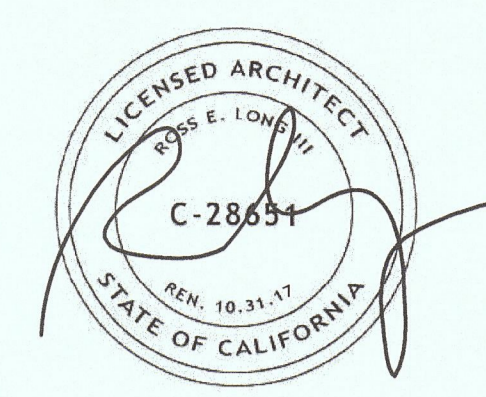
TREE INVENTORY

TREE #	SIZE	SPECIES
1	42"	EUCALYPTUS
2	16"	EUCALYPTUS
3	40"	EUCALYPTUS
4	12"	EUCALYPTUS
5	12"	EUCALYPTUS
6	10"	EUCALYPTUS
7	18"	EUCALYPTUS
8	30"	EUCALYPTUS

ALL TREES ABOVE TO BE REMOVED AS THEY ARE HAZARDOUS AND THEY ARE TOO CLOSE TO THE BUILDING AREA.

NOTES:

- NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF DRIVEWAY.
- THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2 INCH.
- A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
- TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.
- REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD.
- FOR DRAINAGE OF SURFACE WATER INFO, SEE CIVIL/DRAINAGE PLAN.



CleverHomes presented by **toby long design**
 modern architecture
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
50% PERMIT SET	101116
100% PERMIT SET	112116

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA 94019
 APN: 047-175-250

APPROVAL STAMP

SITE PLAN

LOT COVERAGE

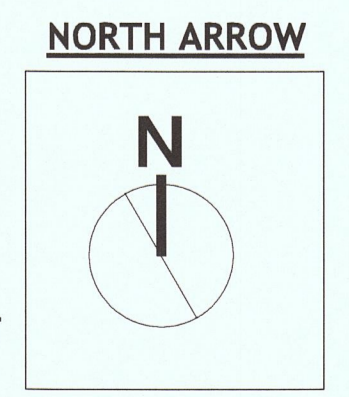
AREA	SQUARE FOOTAGE
FIRST FLOOR	1,990.7 SQFT - FROM CALC
COVERED PORCHES	924.3 SQFT
TOTAL COVERAGE	2,915 SQFT

SITE AREA: 9,732 SQFT
 MAX COVERAGE: 35% OF LOT FOR 2 STORIES = 9,732 X .35 = 3,406.2 SQFT
 PROJECT COMPLIES: 2,915 SQFT < 3,406.2 SQFT

PROJECT DATA SEE A0.6 FOR ALL AREA CALCULATION DIAGRAMS

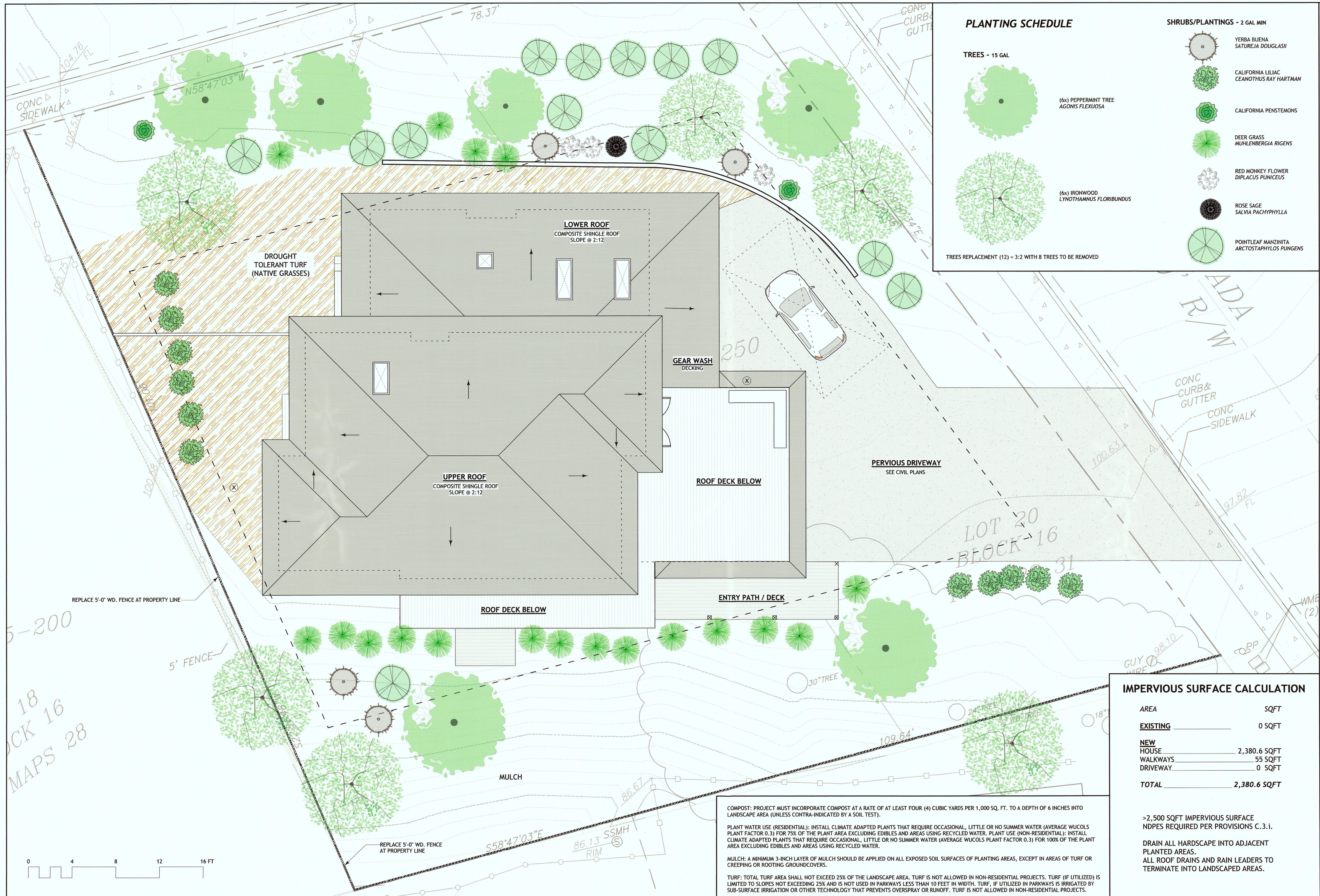
AREA CALCULATIONS

FIRST FLOOR	
MAIN HOUSE	1,047.4 SQFT
ACCESSORY UNIT	507.3 SQFT
SECOND FLOOR	
MAIN HOUSE	1,266.2 SQFT
SUBTOTAL HABITABLE	2,820.9 SQFT
GARAGE	436 SQFT
TOTAL FLOOR AREA	3,256.9 SQFT



scale
 1/8" = 1'-0"

sheet
A 1.2



PLANTING SCHEDULE

TREES - 15 GAL

- (6x) PEPPERMINT TREE
AGONIS FLEXUOSA
- (6x) IRONWOOD
LYNCHIA FLORIBUNDA

TREES REPLACEMENT (12) = 3:2 WITH 8 TREES TO BE REMOVED

SHRUBS/PLANTINGS - 2 GAL MIN

- YERBA BUENA
SATUREJA DOUGLASII
- CALIFORNIA LILAC
CEANOTHUS RAY HARTMAN
- CALIFORNIA PENSTEMONS
- DEER GRASS
MUHLENBERGIA RIGENS
- RED MONKEY FLOWER
DIPLOCLADIA PUNICEUS
- ROSE SAGE
SALVIA PACHYPHYLLA
- POINTLEAF MANZINITA
ARCTOSTAPHYLOS PUNGENS



Clever Homes
presented by **tobylongdesign**
6114 LA SALLE AVENUE #552 OAKLAND CA 94611
P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
50% PERMIT SET	101116
100% PERMIT SET	112116

THE CUVELIER RESIDENCE
SAN PEDRO ROAD
EL GRANADA, CA 94019
APN: 047-175-250

APPROVAL STAMP

IMPERVIOUS SURFACE CALCULATION

AREA	SQFT
EXISTING	0 SQFT
NEW HOUSE	2,380.6 SQFT
WALKWAYS	55 SQFT
DRIVEWAY	0 SQFT
TOTAL	2,380.6 SQFT

>2,500 SQFT IMPERVIOUS SURFACE
NDPES REQUIRED PER PROVISIONS C.3.1.
DRAIN ALL HARDSCAPE INTO ADJACENT
PLANTED AREAS.
ALL ROOF DRAINS AND RAIN LEADERS TO
TERMINATE INTO LANDSCAPED AREAS.

COMPOST: PROJECT MUST INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRA-INDICATED BY A SOIL TEST).

PLANT WATER USE (RESIDENTIAL): INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER. PLANT USE (NON-RESIDENTIAL): INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 100% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.

MULCH: A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.

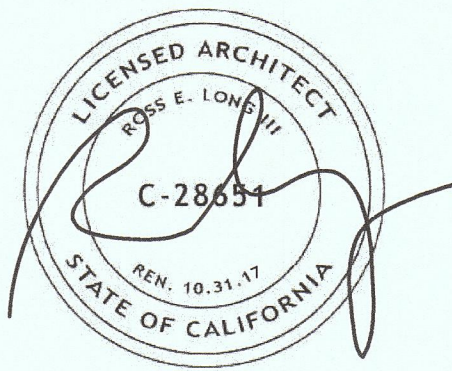
TURF: TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS. TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH. TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS.

LANDSCAPE PLAN

scale
3/16"=1'-0"

sheet
A 1.3

© TOBY LONG DESIGN 2016



Clever Homes
 presented by
tobylongdesign
 modern greentech
 6114 LA SALLE AVENUE #552, OAKLAND, CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	05/24/16
FA V1	06/17/16
50% DESIGN SET	08/16/16
100% DESIGN SET	09/08/16
COMPARISON DWG'S	10/07/16
50% PERMIT SET	10/11/16
100% PERMIT SET	11/21/16

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA 94019
 APN: 047-175-250

APPROVAL STAMP

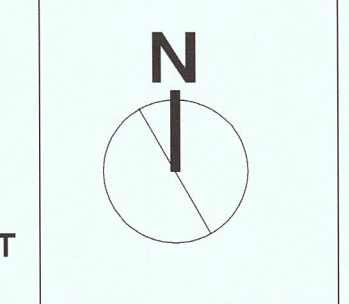
PLANS

PROJECT DATA SEE A0.6 FOR ALL AREA CALCULATION DIAGRAMS

AREA CALCULATIONS

FIRST FLOOR	
MAIN HOUSE	1,047.4 SQFT
ACCESSORY UNIT	507.3 SQFT
SECOND FLOOR	
MAIN HOUSE	1,266.2 SQFT
SUBTOTAL HABITABLE	2,820.9 SQFT
GARAGE	436 SQFT
TOTAL FLOOR AREA	3,256.9 SQFT

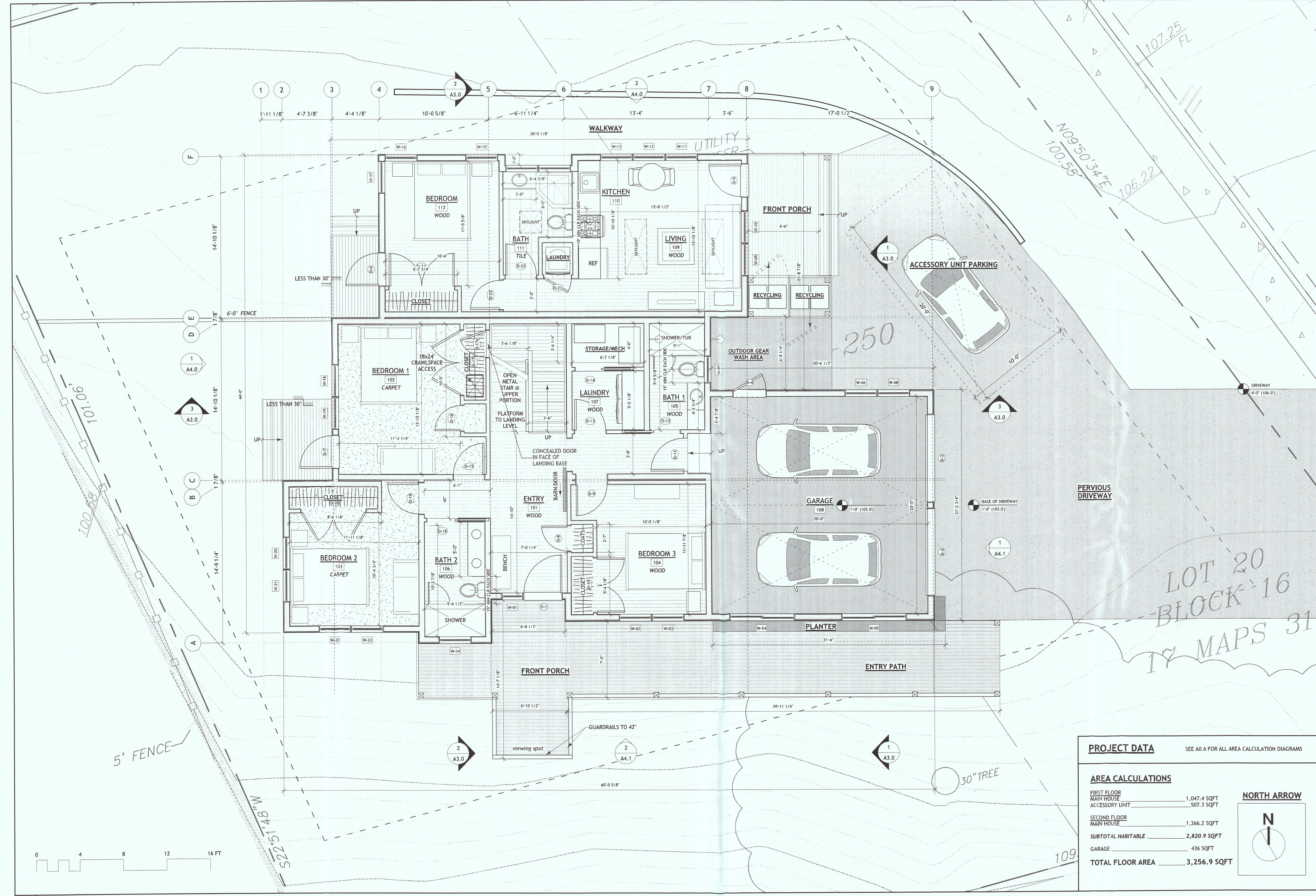
NORTH ARROW



scale
 1/4"=1'-0"

sheet
A 2.1

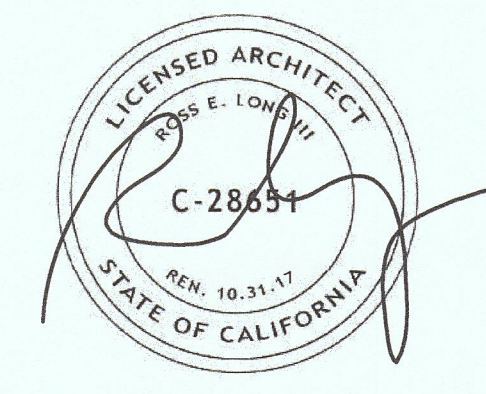
© TOBYLONGDESIGN 2016



1 LEVEL 1 PLAN

1/4"=1'-0"

NOTE:
EGRESS WINDOWS SHALL HAVE A MIN. NET CLEAR OPENABLE AREA OF 5.7 SQ. FT.; 5.0 SQ. FT. ALLOWED AT GRADE. THE MIN. NET CLEAR OPENABLE DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. FINISHED SILL HEIGHT SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.



Clever Homes
presented by **toby long design**
modern architecture

6114 LA SALLE AVENUE #552 OAKLAND CA 94611
P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
50% PERMIT SET	101116
100% PERMIT SET	112116

THE CUVELIER RESIDENCE
SAN PEDRO ROAD
EL GRANADA, CA 94019
APN: 047-175-250

APPROVAL STAMP

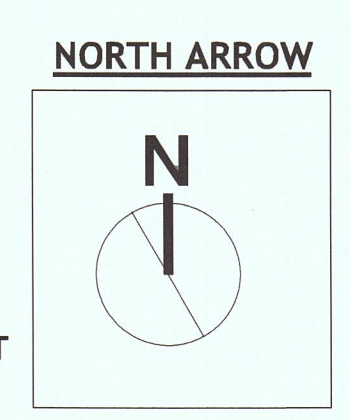
LOT 20
BLOCK 16
17 MAPS 31

PLANS

PROJECT DATA SEE A0.6 FOR ALL AREA CALCULATION DIAGRAMS

AREA CALCULATIONS

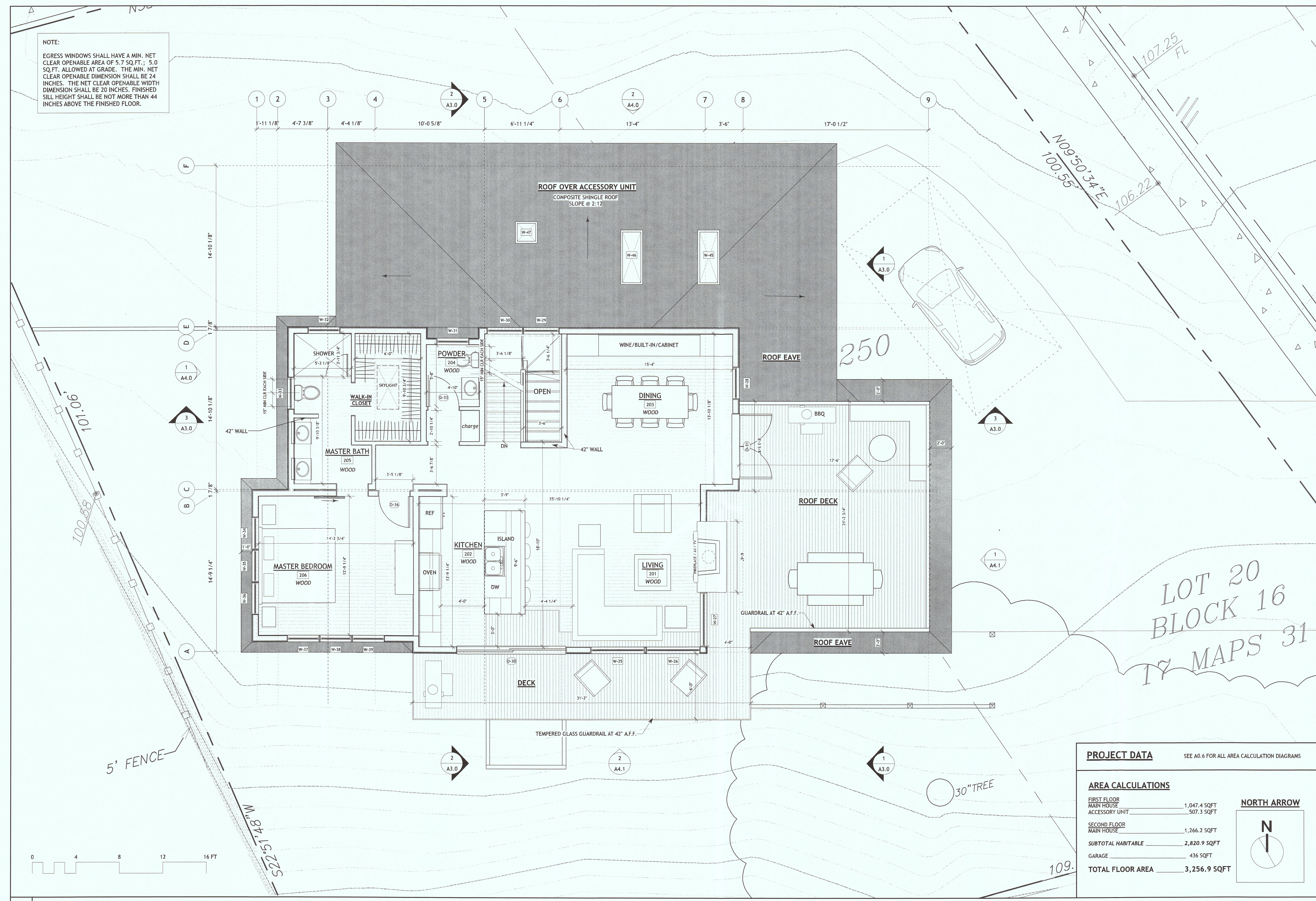
FIRST FLOOR	
MAIN HOUSE	1,047.4 SQFT
ACCESSORY UNIT	507.3 SQFT
SECOND FLOOR	
MAIN HOUSE	1,266.2 SQFT
SUBTOTAL HABITABLE	2,820.9 SQFT
GARAGE	436 SQFT
TOTAL FLOOR AREA	3,256.9 SQFT



scale
1/4"=1'-0"

sheet
A 2.2

© TOBYLONGDESIGN 2016

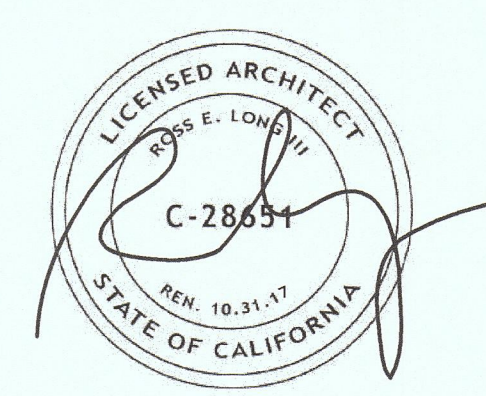


1 LEVEL 2 PLAN

1/4"=1'-0"

SLOPED ROOF AREA CALCULATIONS

LOWER ROOF AREA 1,662.25 SQFT (607.25 roof deck)
 UPPER ROOF AREA 1,567 SQFT
 TOTAL ROOF AREA 3,229.5 SQFT
 AREA OF ROOF DECK 607.25 SQFT (18.88% < 20% MAX)
 COMPLIES WITH DESIGN CRITERIA



Clever Homes
 presented by **tobylongdesign**
 modern | traditional | sustainable
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
50% PERMIT SET	101116
100% PERMIT SET	112116

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA 94019
 APN: 047-175-250

APPROVAL STAMP

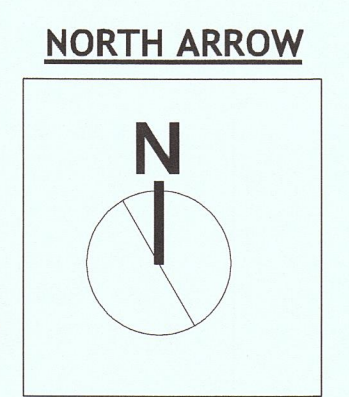
LOT 20
 BLOCK 16
 17 MAPS 31

PLANS

PROJECT DATA SEE A0.6 FOR ALL AREA CALCULATION DIAGRAMS

AREA CALCULATIONS

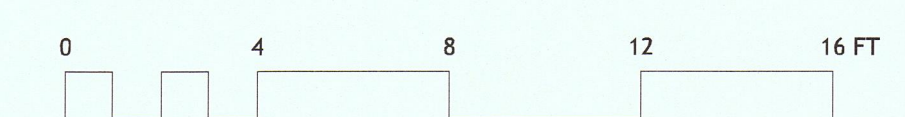
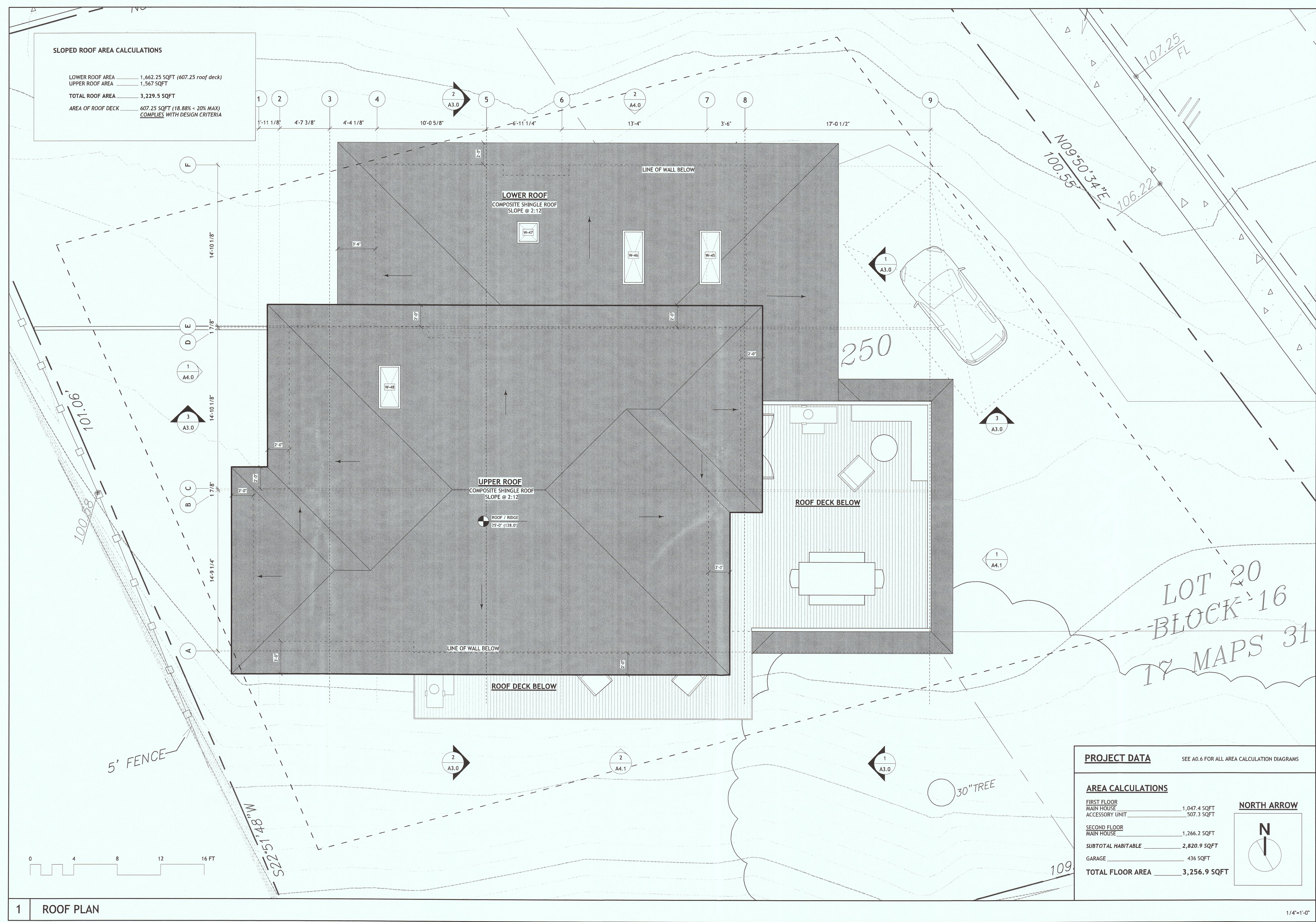
FIRST FLOOR	
MAIN HOUSE	1,047.4 SQFT
ACCESSORY UNIT	507.3 SQFT
SECOND FLOOR	
MAIN HOUSE	1,266.2 SQFT
SUBTOTAL HABITABLE	2,820.9 SQFT
GARAGE	436 SQFT
TOTAL FLOOR AREA	3,256.9 SQFT

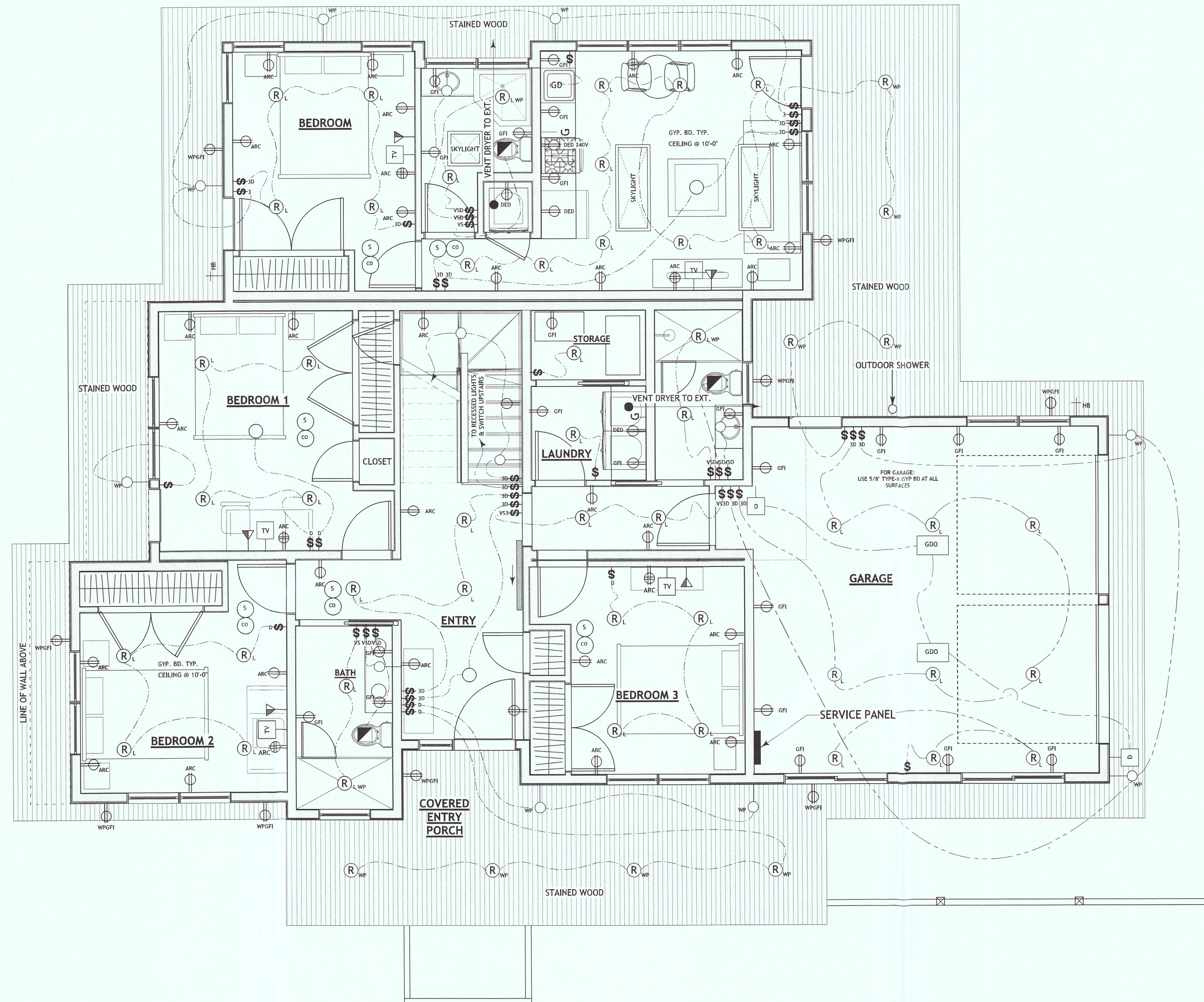


scale
 1/4"=1'-0"

sheet
A 2.3

© TOBYLONGDESIGN 2016



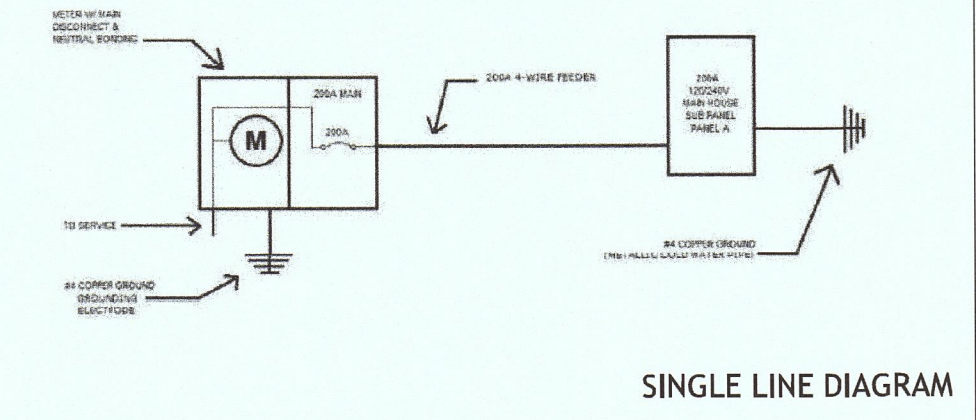


LEGEND

	DUPLEX RECEPTACLE		DATA PORT / WALL TELEPHONE OUTLET
	FOURPLEX RECEPTACLE		GARAGE DOOR DATA PAD
	WATERPROOF RECEPTACLE		CABLE / TELEVISION
	SWITCHED OUTLET		SPEAKER LOCATION
	GROUND FAULT CIRCUIT INTERRUPTER		AV CONTROL PAD
	DEDICATED OUTLET		SINGLE POLE SWITCH
	FLOOR OUTLET		DIMMER SWITCH
	CEILING OUTLET		THREE WAY SWITCH
	EXHAUST FAN W/ INTEGRATED FLUORESCENT LIGHT AND HUMIDISTAT		OCCUPANCY SENSOR
	PENDANT 100 W		WEATHER PROOF SURFACE MOUNTED FIXTURE
	SURFACE MOUNTED FIXTURE		WEATHER PROOF RECESSED DOWNLIGHT
	RECESSED LIGHT		WEATHER PROOF WALL MOUNTED LIGHT
	RECESSED LIGHT - LED FIXTURE		GARAGE DOOR OPENER W/ LIGHT
	RECESSED DIRECTIONAL DOWNLIGHT (12W)		MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
	WALL MOUNTED SCONCE		SMOKE DETECTOR HARDWIRED
	FLUORESCENT TUBE (2) T5 UNITS @ 54W		CARBON MONOXIDE DETECTOR
	GAS LINE		THERMOSTAT
	GARAGE DISPOSAL		EXTERIOR DOWNLIGHT
	HOSE BIB		

MECHANICAL / ELECTRICAL / LIGHTING NOTES

- "ALL LIGHTING AND ELECTRICAL WORK TO BE VERIFIED WITH OWNER AND SHALL CONFORM TO LOCAL ENERGY AND BUILDING CODES"
- ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N.
 - ALL SWITCHES TO BE +42" A.F.F. U.O.N.
 - OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS. SEE MANUF. SPECIFICATIONS FOR INSTALLATION.
 - LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF THE WALL SHALL BE PLACED IN THE SAME BOX WITHIN A SINGLE COVER PLATE.
 - KITCHEN OUTLETS: PROVIDE W/ 2'-0" OF EA. END OF EA. COUNTER & 4'-0" O.C. THEREAFTER. G.F.I. PROTECT WHERE WITHIN 6'-0" OF SINKS.
 - PROVIDE ELECTRICAL OUTLETS @ EA. KITCHEN COUNTER SPACE WIDER THAN 12".
 - PER CBC 907.2.10.1.2 : A SMOKE DETECTOR SHALL BE INSTALLED IN EA. SLEEPING ROOM & AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OUTSIDE BEDROOMS. SMOKE DETECTOR SHALL BE HARDWIRED & INTERCONNECTED W/ BATTERY BACK UP.
 - PROVIDE A WALL SWITCH FOR OUTDOOR LIGHTING BY EA. EXTERIOR DOOR.
- THE FOLLOWING ARE REQUIRED PER 2008 CALIFORNIA RESIDENTIAL TITLE 24 REQUIREMENTS (9 THRU 12):
- LIGHTING IN KITCHENS: AT LEAST HALF THE INSTALLED WATTAGE OF THE LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY (FLUORESCENT) AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.
 - LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINARIES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (WITH MANUAL ON/OFF SWITCH).
 - LIGHTING IN OTHER ROOMS (IE. BEDROOM, DINING, LIVING AND FAMILY ROOMS): ALL LUMINARIES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REQUIREMENT.
 - OUTDOOR LIGHTING: ALL LUMINARIES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINARIES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMINATION.
 - CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT/SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). 2. ON EVERY LEVEL OF A DWELLING UNIT
 - A) TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 (I.E., ALL RECEPTACLES IN A DWELLING). B) WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE). C) ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC 210.12(B): FAMILY LIVING, BEDROOMS, DINING, HALLS, ETC. D) GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.
 - BATHROOM CIRCUITING TO BE A) 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
 - CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHEREVER INSULATION IS REQUIRED. THE HOUSING OF THE LUMINARIES SHALL BE AIRTIGHT PER 2005 T-24, NEC 410-66
 - ALL RECESSED FIXTURES INSTALLED ABOVE SHOWER STALL SHOULD BE GASKETED AND SUITABLE FOR A DAMP LOCATION, GFCI PROTECT WHEN REQUIRED BY MANUFACTURER'S INSTRUCTION OR SPECIFICATIONS FOR A SPECIFIC FIXTURE.
 - THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (BATHROOM FANS) SHALL BE A MINIMUM OF THREE FEET FROM THE PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING. IT MUST BE THREE FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.
 - WATER HAMMER ARRESTORS TO BE INSTALLED AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES. THIS INCLUDES THE DISHWASHER HOT WATER LINE AND THE HOT AND COLD WATER LINE FOR THE CLOTHES WASHER.
 - ALL GAS APPLIANCES SHALL HAVE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION. THE APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING.
 - SMOKE ALARMS / DETECTORS ARE TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACKUP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.



SINGLE LINE DIAGRAM



Clever Homes
 presented by **toby long design**
 modern interior design
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P. 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

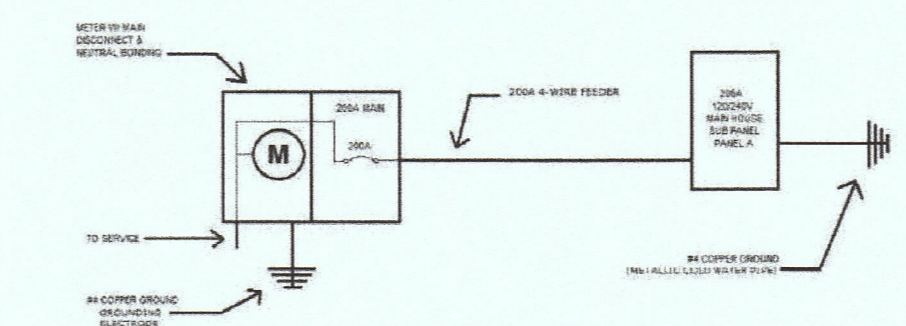
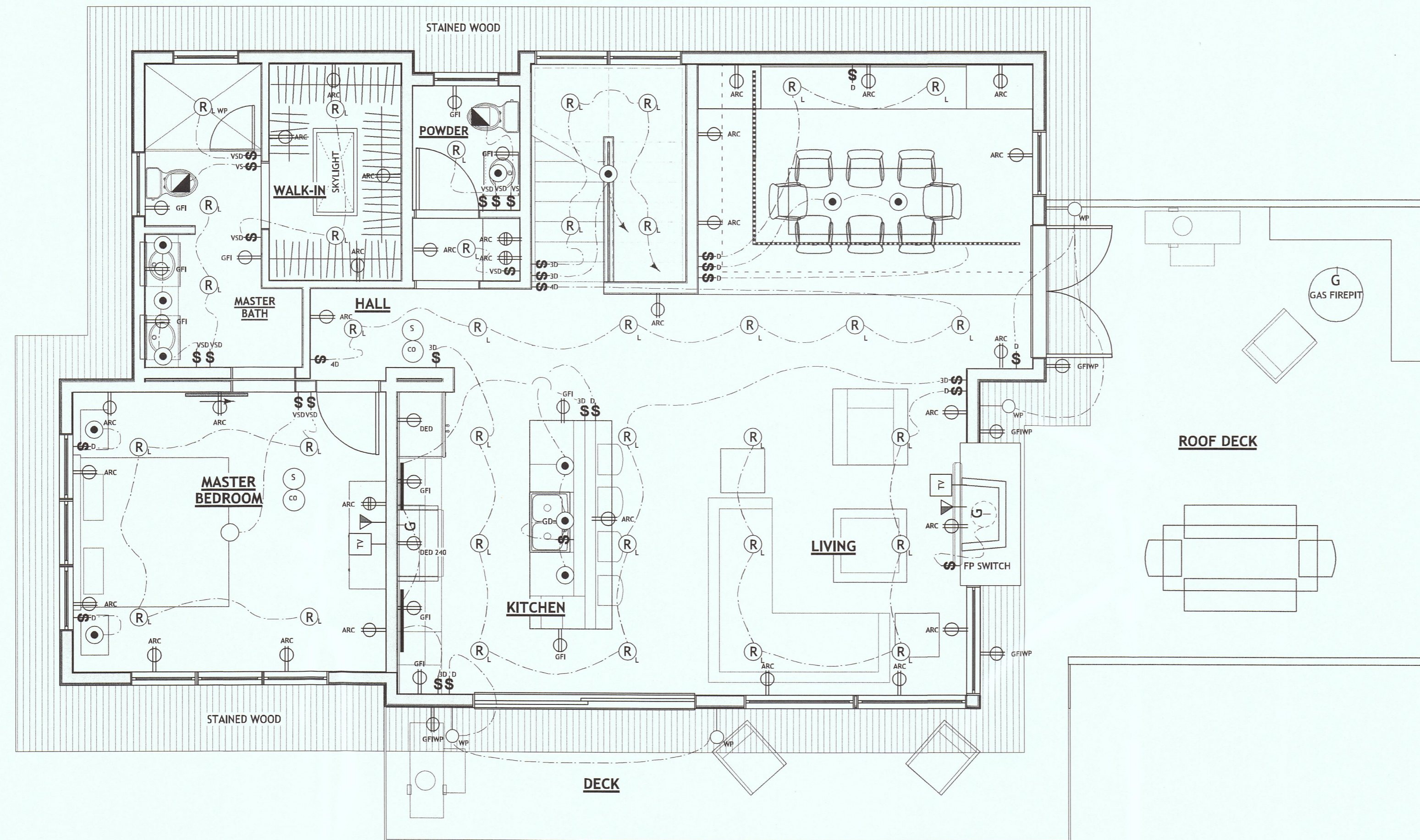
APPROVAL STAMP

PLANS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND ARE SIGNED AND DATED. THE EXPLICITLY REQUIRED CONSTRUCTION INFORMATION IS NOT BEING PROVIDED IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF TOBY LONG DESIGN.

scale
 1/4"=1'-0"

sheet
A 2.4



LEGEND

	DUPLEX RECEPTACLE		DATA PORT / WALL TELEPHONE OUTLET
	FOURPLEX RECEPTACLE		GARAGE DOOR DATA PAD
	WATERPROOF RECEPTACLE		CABLE / TELEVISION
	SWITCHED OUTLET		SPEAKER LOCATION
	GROUND FAULT CIRCUIT INTERRUPTER		AV CONTROL PAD
	DENICATED OUTLET		SINGLE POLE SWITCH
	FLOOR OUTLET		DIMMER SWITCH
	CEILING OUTLET		THREE WAY SWITCH
	EXHAUST FAN W/ INTEGRATED FLUORESCENT LIGHT AND HUMIDISTAT		OCCUPANCY SENSOR
	PENDANT 100 W		WEATHER PROOF SURFACE MOUNTED FIXTURE
	SURFACE MOUNTED FIXTURE		WEATHER PROOF RECESSED DOWNLIGHT
	RECESSED LIGHT		UNDER CABINET LIGHT
	RECESSED LIGHT -LED FIXTURE		WEATHER PROOF WALL MOUNTED LIGHT
	RECESSED DIRECTIONAL DOWNLIGHT (EDW)		GARAGE DOOR OPENER W/ LIGHT
	WALL MOUNTED SCONCE		MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTOCELL
	FLUORESCENT TUBE (1) 1'S UNITS @ 5'W		SMOKE DETECTOR
	GAS LINE		CARBON MONOXIDE DETECTOR
	GARAGE DISPOSAL		THERMOSTAT
	HOSE BIB		EXTERIOR DOWNLIGHT

MECHANICAL / ELECTRICAL / LIGHTING NOTES

- 1. ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N.
 - 2. ALL SWITCHES TO BE +42" A.F.F. U.O.N.
 - 3. OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS. SEE MANUF. SPECIFICATIONS FOR INSTALLATION.
 - 4. LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF THE WALL SHALL BE PLACED IN THE SAME BOX WITHIN A SINGLE COVER PLATE.
 - 5. KITCHEN OUTLETS: PROVIDE W/1 2'-0" OF EA. END OF EA. COUNTER & 4'-0" O.C. THEREAFTER. G.F.I. PROTECT WHERE WITHIN 6'-0" OF SINKS.
 - 6. PROVIDE ELECTRICAL OUTLETS @ EA. KITCHEN COUNTER SPACE WIDER THAN 12".
 - 7. PER CBC 907.2.10.1.2 : A SMOKE DETECTOR SHALL BE INSTALLED IN EA. SLEEPING ROOM & AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OUTSIDE BEDROOMS. SMOKE DETECTOR SHALL BE HARDWIRED & INTERCONNECTED W/ BATTERY BACK UP.
 - 8. PROVIDE A WALL SWITCH FOR OUTDOOR LIGHTING BY EA. EXTERIOR DOOR.
- THE FOLLOWING ARE REQUIRED PER 2008 CALIFORNIA RESIDENTIAL TITLE 24 REQUIREMENTS (9 THRU 12):
- 9. LIGHTING IN KITCHENS: AT LEAST HALF THE INSTALLED WATTAGE OF THE LUMINAIRES IN KITCHENS SHALL BE HIGH EFFICACY (FLUORESCENT) AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.
 - 10. LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINAIRES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (WITH MANUAL ON/OFF SWITCH).
 - 11. LIGHTING IN OTHER ROOMS (IE. BEDROOM, DINING, LIVING AND FAMILY ROOMS): ALL LUMINAIRES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ. FT. ARE EXEMPT FROM THIS REQUIREMENT.
 - 12. OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
 - 13. CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). 2. ON EVERY LEVEL OF A DWELLING UNIT
 - 14. A) TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 (I.E., ALL RECEPTACLES IN A DWELLING). B) WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE). C) ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC210.12(B): FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC. D) GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.
 - 15. BATHROOM CIRCUITING TO BE A) 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR B) AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.
 - 16. CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHEREVER INSULATION IS REQUIRED. THE HOUSING OF THE LUMINAIRES SHALL BE AIRTIGHT PER 2005 T-24, NEC 410-66
 - 17. ALL RECESSED FIXTURES INSTALLED ABOVE SHOWER STALL SHOULD BE GASKETED AND SUITABLE FOR A DAMP LOCATION, GFCI PROTECT WHEN REQUIRED BY MANUFACTURER'S INSTRUCTION OR SPECIFICATIONS FOR A SPECIFIC FIXTURE.
 - 18. THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (BATHROOM FANS) SHALL BE A MINIMUM OF THREE FEET FROM THE PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING. IT MUST BE THREE FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.
 - 19. WATER HAMMER ARRESTORS TO BE INSTALLED AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES. THIS INCLUDES THE DISHWASHER HOT WATER LINE AND THE HOT AND COLD WATER LINE FOR THE CLOTHES WASHER.
 - 20. ALL GAS APPLIANCES SHALL HAVE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION. THE APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING.
 - 21. SMOKE ALARMS / DETECTORS ARE TO BE HARDWIRED, INTERCONNECTED, OR WITH BATTERY BACKUP. SMOKE ALARMS TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

SINGLE LINE DIAGRAM



CleverHomes
presented by **toby long design**
interior design

6114 LA SALLE AVENUE #552 OAKLAND CA 94611
P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
SAN PEDRO ROAD
EL GRANADA, CA
94019

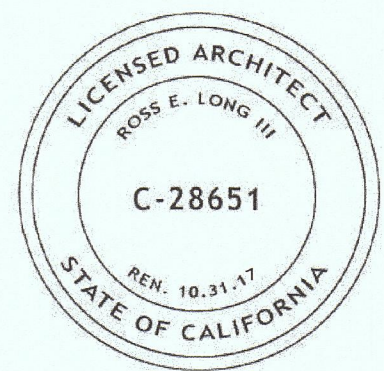
APPROVAL STAMP

PLANS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION. THEY ARE THE ARCHITECT'S SOLE AND SOLE RESPONSIBILITY. THE ARCHITECT'S OFFICE AND THE ARCHITECT'S FIRM SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF THESE PLANS. THE ARCHITECT'S OFFICE AND THE ARCHITECT'S FIRM SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED, OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF TOBY LONG DESIGN.

scale
1/4"=1'-0"

sheet
A 2.5



Clever Homes
 presented by **tobylongdesign**
 modern design
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

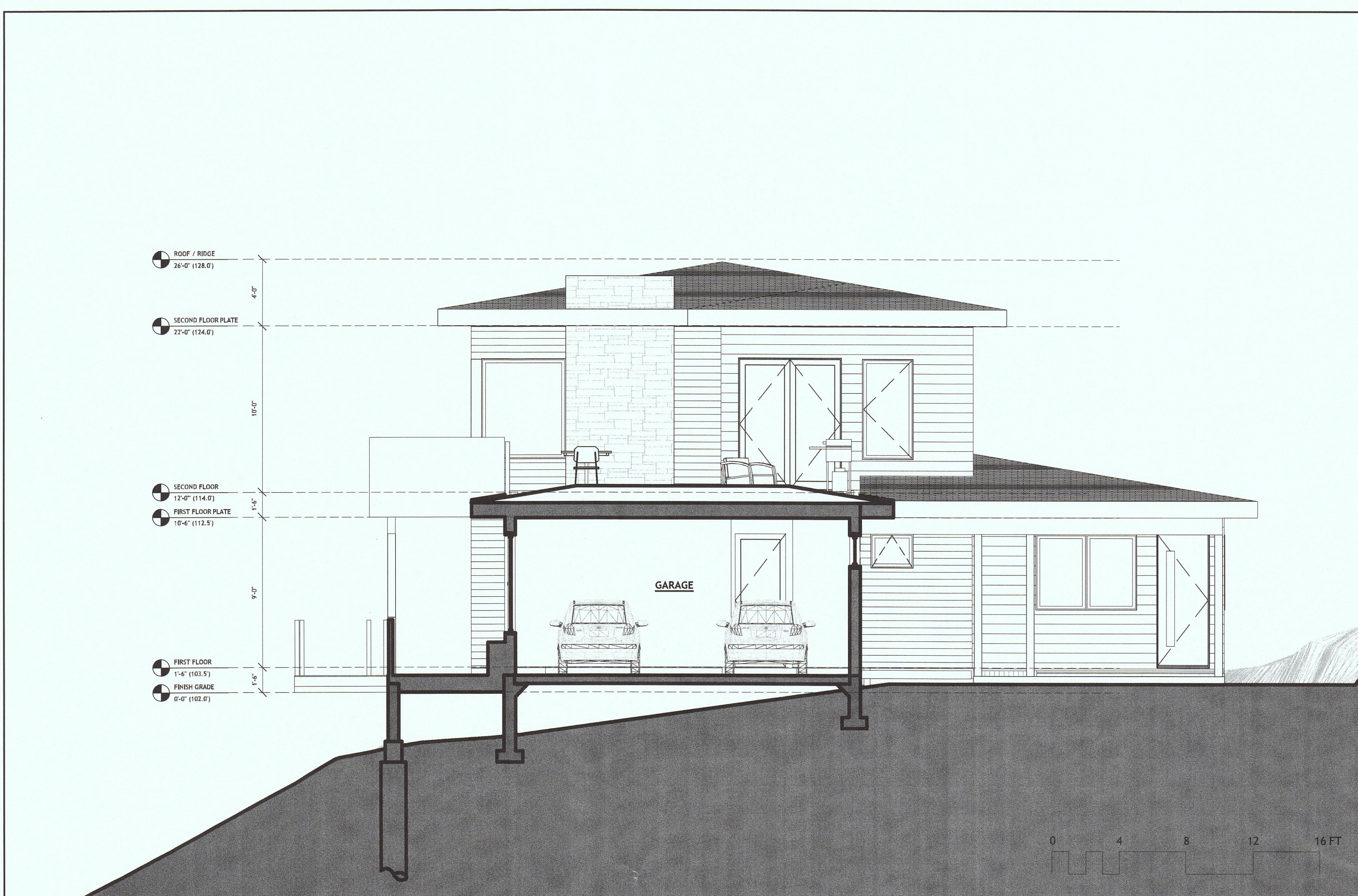
SECTION

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND NET SIGNATURE. THE ARCHITECT'S SEAL, LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGN INFORMATION IN THESE PLANS, THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR USED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.

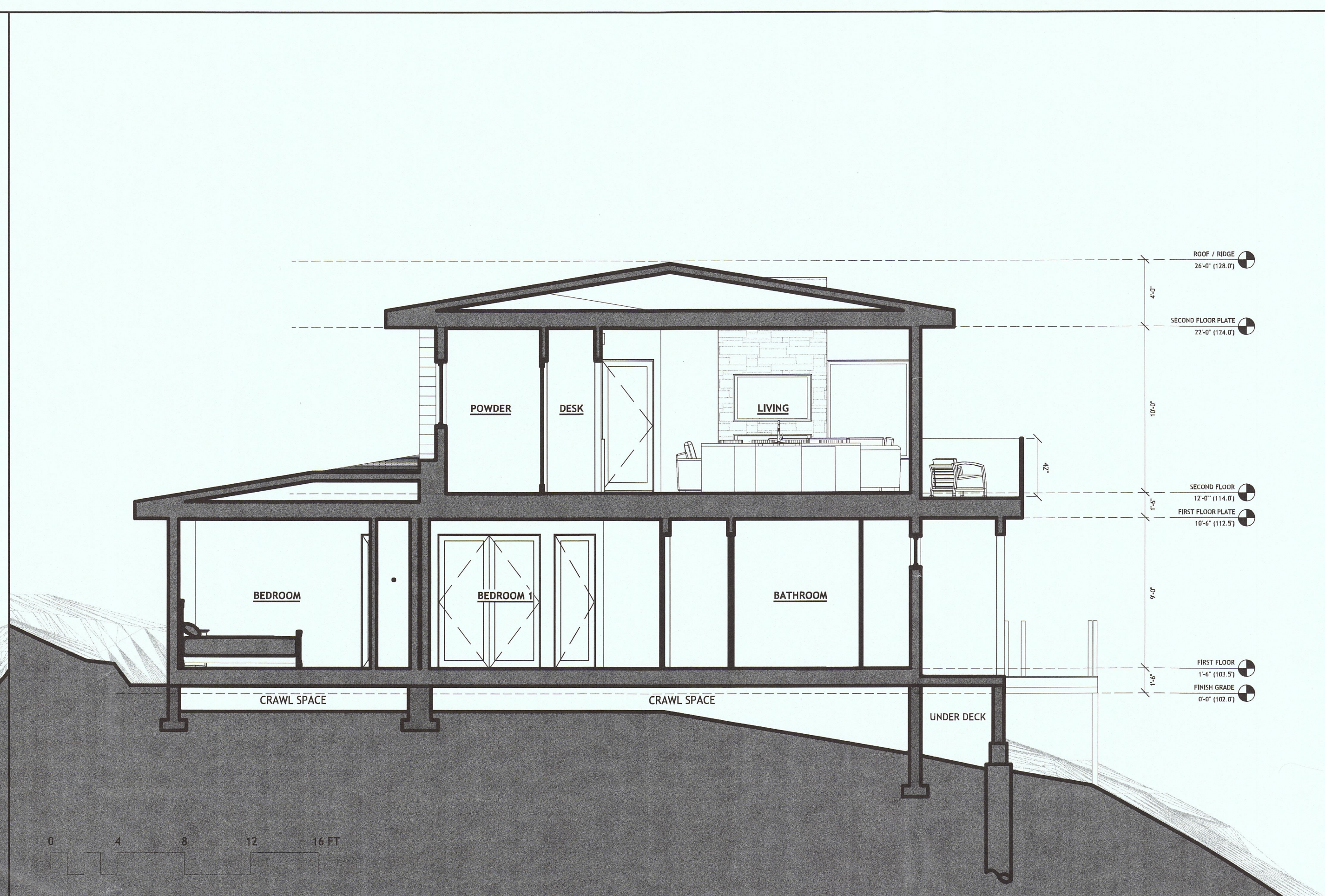
scale
 AS NOTED

sheet
A 3.0

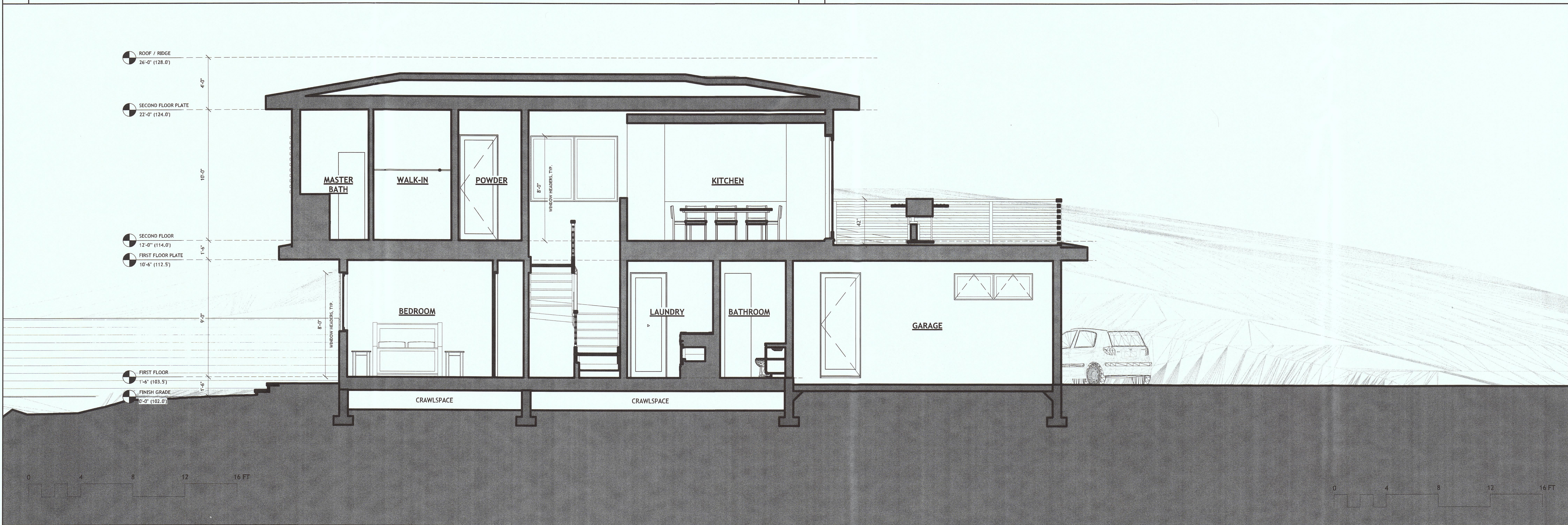
© TOBYLONGDESIGN 2016



1 BUILDING CROSS SECTION 3/16"=1'-0"



2 BUILDING CROSS SECTION 3/16"=1'-0"



3 BUILDING CROSS SECTION 1/4"=1'-0"



1 WEST ELEVATION



2 NORTH ELEVATION



Clever Homes
 presented by **toby long design**
 modern | green | affordable
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

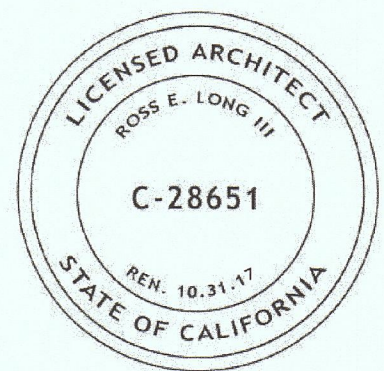
ELEVATIONS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND SET SIGNATURE. THE EXISTING SURROUNDING CONDITIONS IS INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ACCESSED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign.

scale
 1/4"=1'-0"

sheet
A 4.0

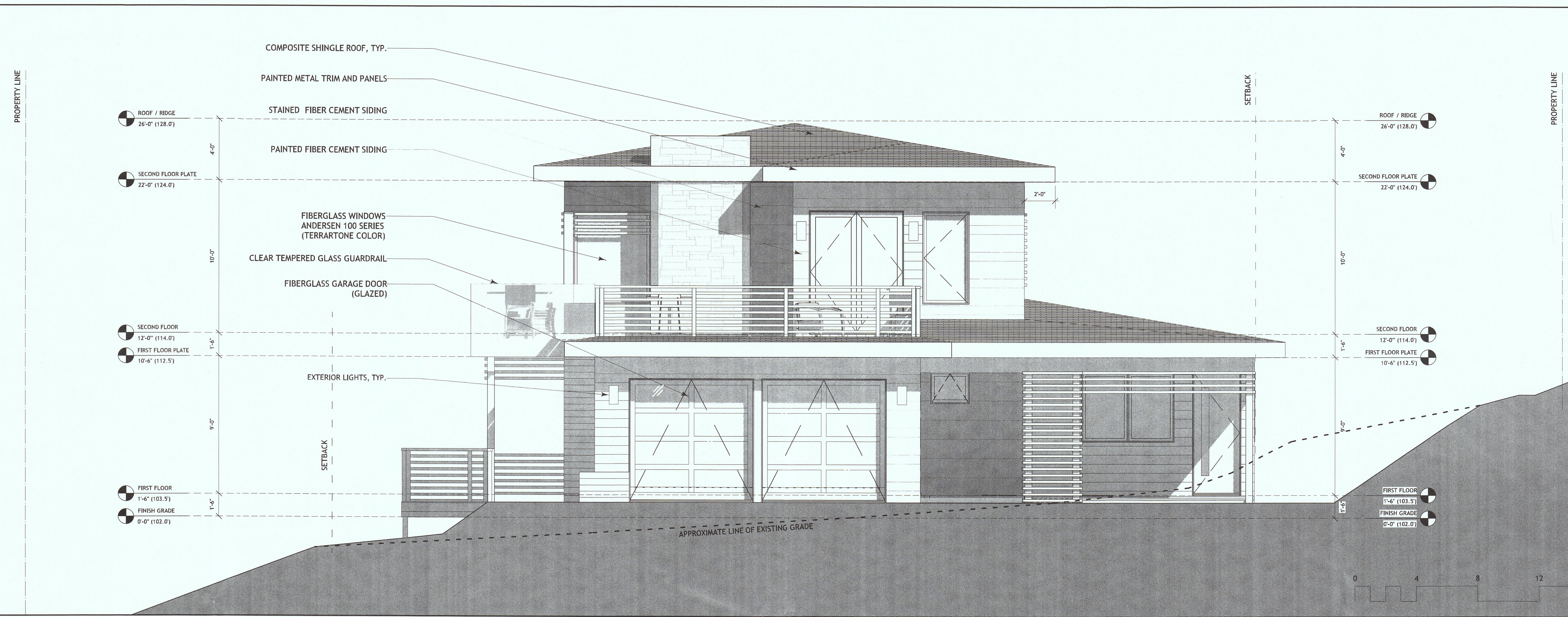
© TOBYLONG DESIGN 2016



Clever Homes
 presented by **toby long design**
 modern | grain | materials

6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716



1 WEST ELEVATION

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

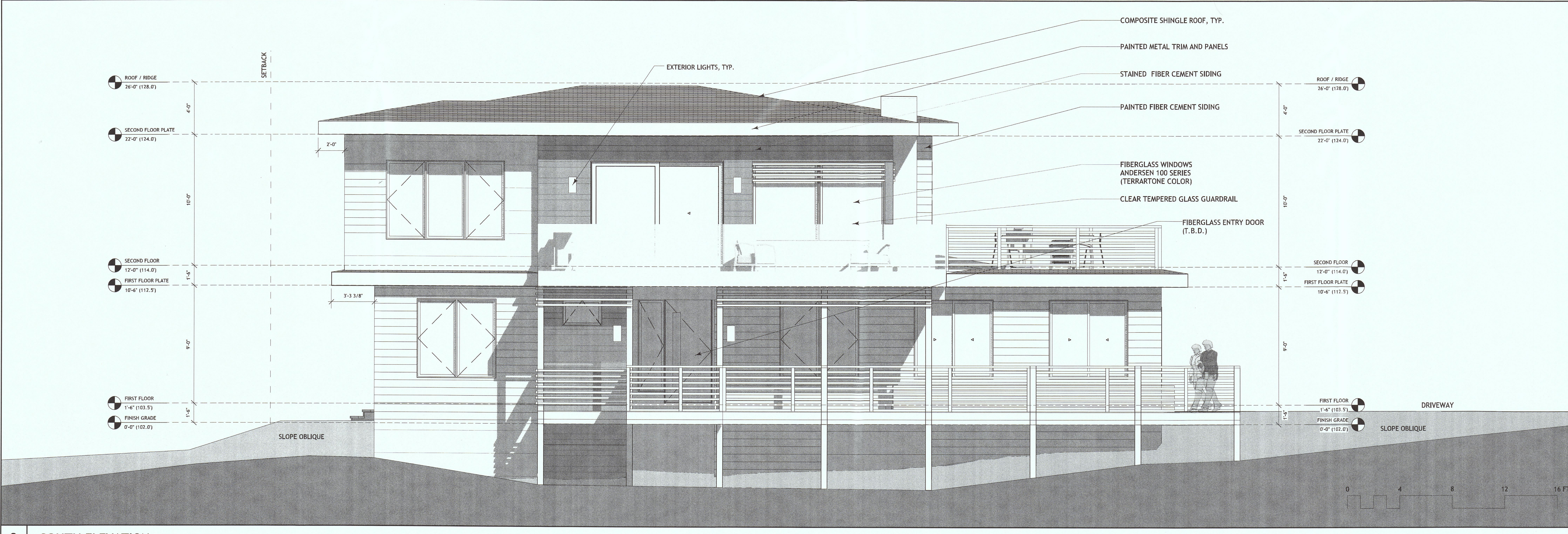
ELEVATIONS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND NOT SIGNATURE. THE ARCHITECT'S PROFESSIONAL LIABILITY INSURANCE COVERAGE DOES NOT COVER ANY OTHER PROPERTY RIGHTS TO ALL INFORMATION CONTAINED HEREIN. THESE PLANS, DRAWINGS AND SPECIFICATIONS, INCLUDING ANY NOTATIONS, ARE THE PROPERTY OF TOBY LONG DESIGN. YOU ARE TO BE ADVISED THAT ANY REVISIONS, CORRECTIONS OR CHANGES TO ANY PART OF THESE PLANS, DRAWINGS OR SPECIFICATIONS SHALL BE MADE BY THE ARCHITECT'S WRITTEN PERMISSION OF TOBY LONG DESIGN.

scale
 1/4"=1'-0"

sheet
A 4.1

© TOBY LONG DESIGN 2016



2 SOUTH ELEVATION

Door Schedule

Image	Mark	Nominal Size			Door Style			Door Frame			Door Data		Comments
		Width	Height	Thickness	Door Operation	Top Shape	Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	Mfr	Model No.	
	D- 1	3'6"	8'0"	1 3/4"	Swing Simple	Square	Custom	None	3/4"	7 3/8"	Simpson	Fiberglass	TEMPERED
	D- 2	8'0"	8'0"	1 3/4"	Overhead	Square	Glass	None	3/4"	7 3/8"	Clopav	Aluminum frame / match windows	TEMPERED
	D- 3	8'0"	8'0"	1 3/4"	Overhead	Square	Glass	None	3/4"	7 3/8"	Clopav	Aluminum frame / match windows	TEMPERED
	D- 4	3'0"	8'0"	1 3/4"	Swing Simple	Square	Glass	None	3/4"	7 3/8"	Simpson	Fiberglass	TEMPERED
	D- 5	3'0"	8'0"	1 3/4"	Swing Simple	Square	Custom	None	3/4"	7 3/8"	Simpson	Fiberglass	TEMPERED
	D- 6	3'0"	8'0"	1 3/4"	Swing Simple	Square	Glass	None	3/4"	7 3/8"	Simpson	Fiberglass	TEMPERED
	D- 7	3'0"	8'0"	1 3/4"	Swing Simple	Square	Glass	None	3/4"	7 3/8"	Simpson	Fiberglass	TEMPERED
	D- 8	2'4"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 9	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 10	5'0"	8'0"	1 3/4"	Swing Bi-part	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 11	3'0"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	0"	4 1/2"	Simpson	Square Panel / Square sticking	20 MIN RATED / PROVIDE LATCH AND CLOSER
	D- 12	2'8"	8'0"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 13	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 14	2'8"	8'0"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 15	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	6 1/2"	Simpson	Square Panel / Square sticking	
	D- 16	2'4"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 17	6'0"	8'0"	1 3/4"	Swing Bi-part	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 17a	2'6"	4'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 18	2'10"	8'0"	1 3/4"	Pocket Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 19	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	6 1/2"	Simpson	Square Panel / Square sticking	
	D- 20	6'0"	8'0"	1 3/4"	Swing Bi-part	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 21	2'6"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 22	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 23	2'8"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 24	6'0"	8'0"	1 3/4"	Swing Bi-part	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 30	10'0"	8'0"	1 3/4"	Slider	Square	Glass	None	3/4"	7 3/8"	La Cantina	Frame to match adj windows	TEMPERED
	D- 31	6'0"	8'0"	1 3/4"	Swing Bi-part	Square	Glass	None	3/4"	7 3/8"	La Cantina	Frame to match adj windows	TEMPERED
	D- 33	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	4 1/2"	Simpson	Square Panel / Square sticking	
	D- 36	2'10"	8'0"	1 3/4"	Swing Simple	Square	Panel	None	3/4"	6 1/2"	Simpson	Square Panel / Square sticking	



Clever Homes
 presented by **toby long design**
 modern fire & steel
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

SCHEDULES

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND NET SIGNATURE. THE OWNER'S REVIEW COMMENTS AND ANY CHANGES TO THESE PLANS, THEIR DATE, AND THE NAME OF THE REPRESENTATIVE, CHANGES OR CORRECTIONS MADE TO ANY PARTS, WHETHER OR NOT THEY ARE ASSIGNED TO ANY THIRD PARTY, MUST BE FIRST OBTAINED BY EXPRESS WRITTEN PERMISSION OF tobylongdesign.

scale

sheet

A 7.0

© TOBYLONGDESIGN 2016

Window Schedule

Window Schedule

Image	Mark	Nominal Size		Sash Operation	Window Style	Glass	Window Data				Image	Mark	Nominal Size		Sash Operation	Window Style	Glass	Window Data			
		O.A. Wd.	O.A. Ht.				Egress	Mfr	Model No.	Comments			O.A. Wd.	O.A. Ht.				Egress	Mfr	Model No.	Comments
	W-01	2'0"	7'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-29	3'4"	5'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		
	W-02	3'0"	6'0"	Casement	Square		yes Marvin Integrity	EXT-Black / INT-White			W-30	3'4"	5'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		
	W-03	3'0"	6'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White			W-31	3'0"	4'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		
	W-04	6'0"	6'0"	Horizontal Slider	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-32	3'0"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White			
	W-05	6'0"	6'0"	Horizontal Slider	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-33	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White			
	W-06	3'0"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-34	3'0"	2'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			
	W-07	2'6"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-35	3'0"	2'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			
	W-08	3'0"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-36	3'0"	2'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			
	W-09	3'0"	4'6"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			W-37	3'0"	6'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White			
	W-10	3'0"	4'6"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED		W-38	3'0"	6'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			
	W-11	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White			W-39	3'0"	6'0"	Casement	Square		yes Marvin Integrity	EXT-Black / INT-White			
	W-12	3'0"	4'6"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White			W-45	2'0"	5'0"	Skylight	Square	TEMPERED		Velux			
	W-13	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White			W-46	2'0"	5'0"	Skylight	Square	TEMPERED		Velux			
	W-14	3'0"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White			W-47	2'0"	2'0"	Skylight	Square	TEMPERED		Velux			
	W-14	3'0"	2'0"	Awning	Square		Marvin Integrity	EXT-Black / INT-White			W-48	2'0"	4'0"	Skylight	Square	TEMPERED		Velux			
	W-15	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													
	W-16	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													
	W-17	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													
	W-18	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													
	W-19	3'0"	4'6"	Casement	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED												
	W-20	3'0"	2'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White													
	W-21	3'0"	2'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White													
	W-22	3'0"	6'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													
	W-23	3'0"	6'0"	Casement	Square		yes Marvin Integrity	EXT-Black / INT-White													
	W-24	3'0"	2'0"	Awning	Square	OPAQUE GLASS	Marvin Integrity	EXT-Black / INT-White	TEMPERED												
	W-25	5'0"	6'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED												
	W-26	5'0"	6'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED												
	W-27	5'0"	6'0"	Fixed Glass	Square		Marvin Integrity	EXT-Black / INT-White	TEMPERED												
	W-28	3'0"	6'0"	Casement	Square		Marvin Integrity	EXT-Black / INT-White													



Clever Homes
 Presented by **toby long design**
 6114 LA SALLE AVENUE #552 OAKLAND CA 94611
 P: 415.905.9030 www.tobylongdesign.com

ISSUE	DATE
FA PLANS V1	052416
FA V1	061716
50% DESIGN SET	081616
100% DESIGN SET	090816
COMPARISON DWGS	100716
DESIGN REVIEW SUBMITTAL	111716

THE CUVELIER RESIDENCE
 SAN PEDRO ROAD
 EL GRANADA, CA
 94019

APPROVAL STAMP

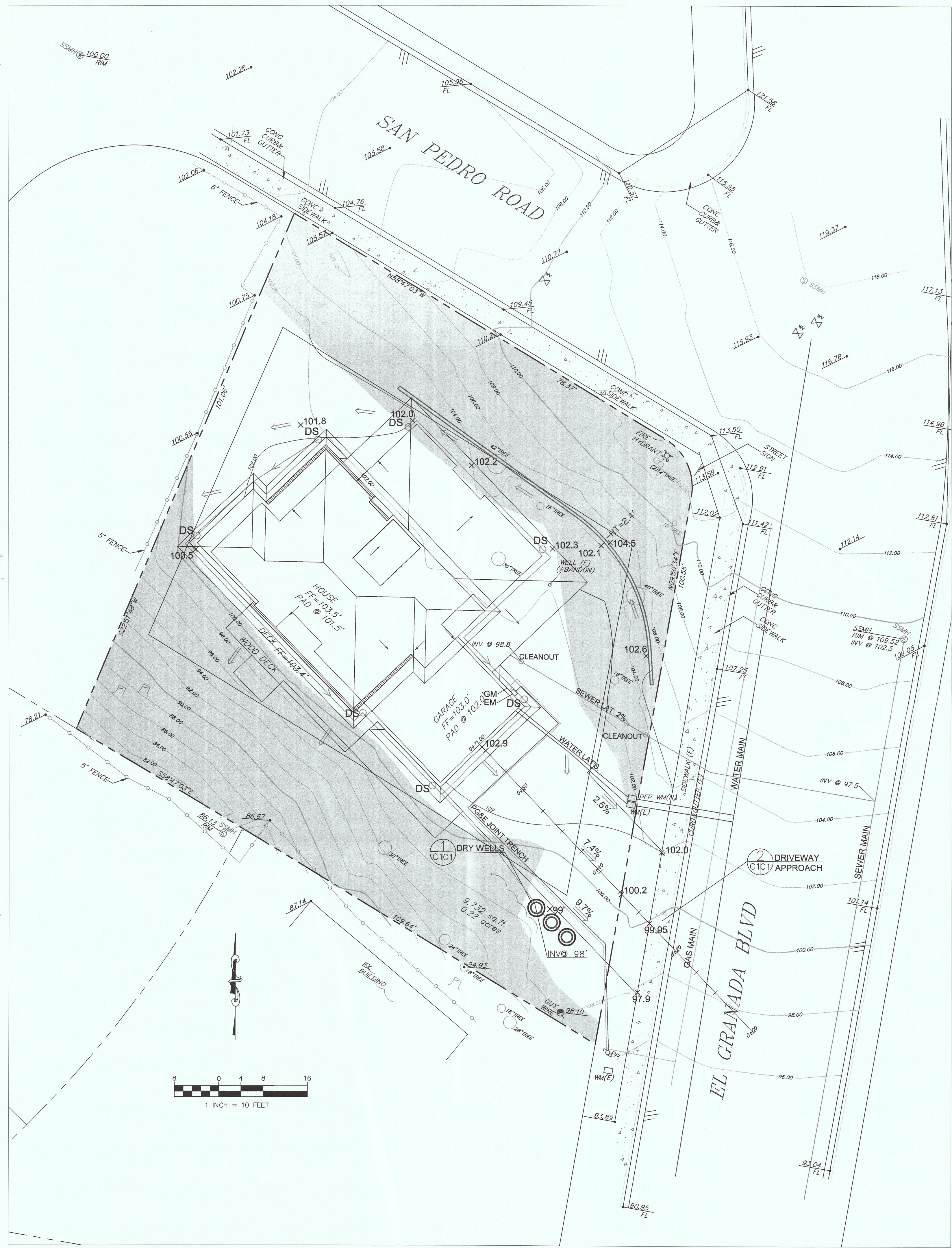
SCHEDULES

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND HIS SIGNATURE. THE ARCHITECT'S SEAL, SIGNATURE AND OTHER PROPRIETARY RIGHTS TO ALL CONTENTS IS RESERVED IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR USED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE REFERRED TO IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF toby long design.

scale

sheet

A 7.1



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE FLOW
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE.
- PROPOSED RETAINING WALL, MAX HEIGHT = 2.4'
- SLOPES INCLINED AT 15% OR MORE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: JACQUE CUVELIER, OWNER
2. SURVEY AND TOPOGRAPHY BY TRIAD HOLMES, NO DATE.
3. ELEVATION DATUM ASSUMED.
4. THIS IS NOT A BOUNDARY SURVEY.

GRADING NOTES

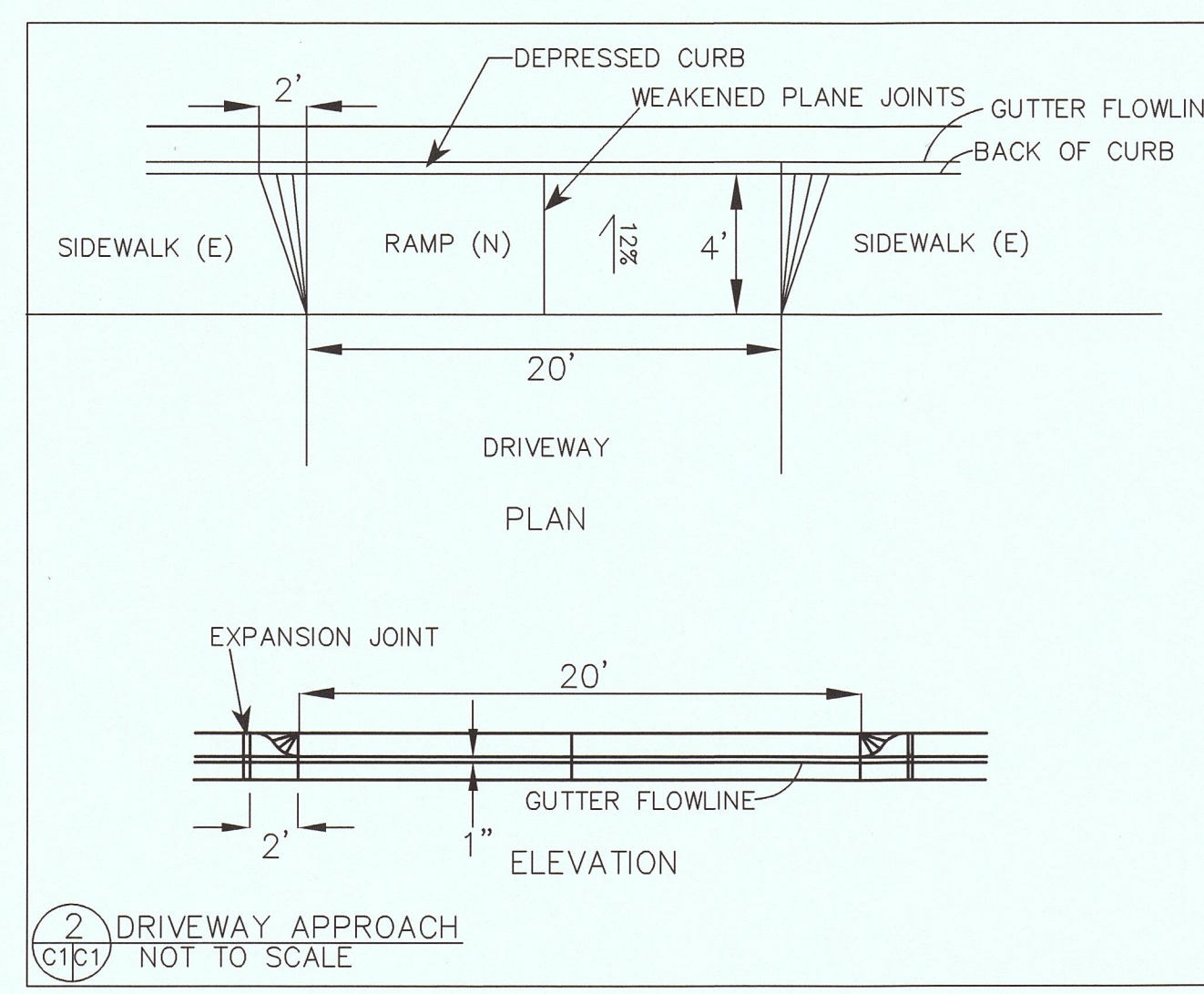
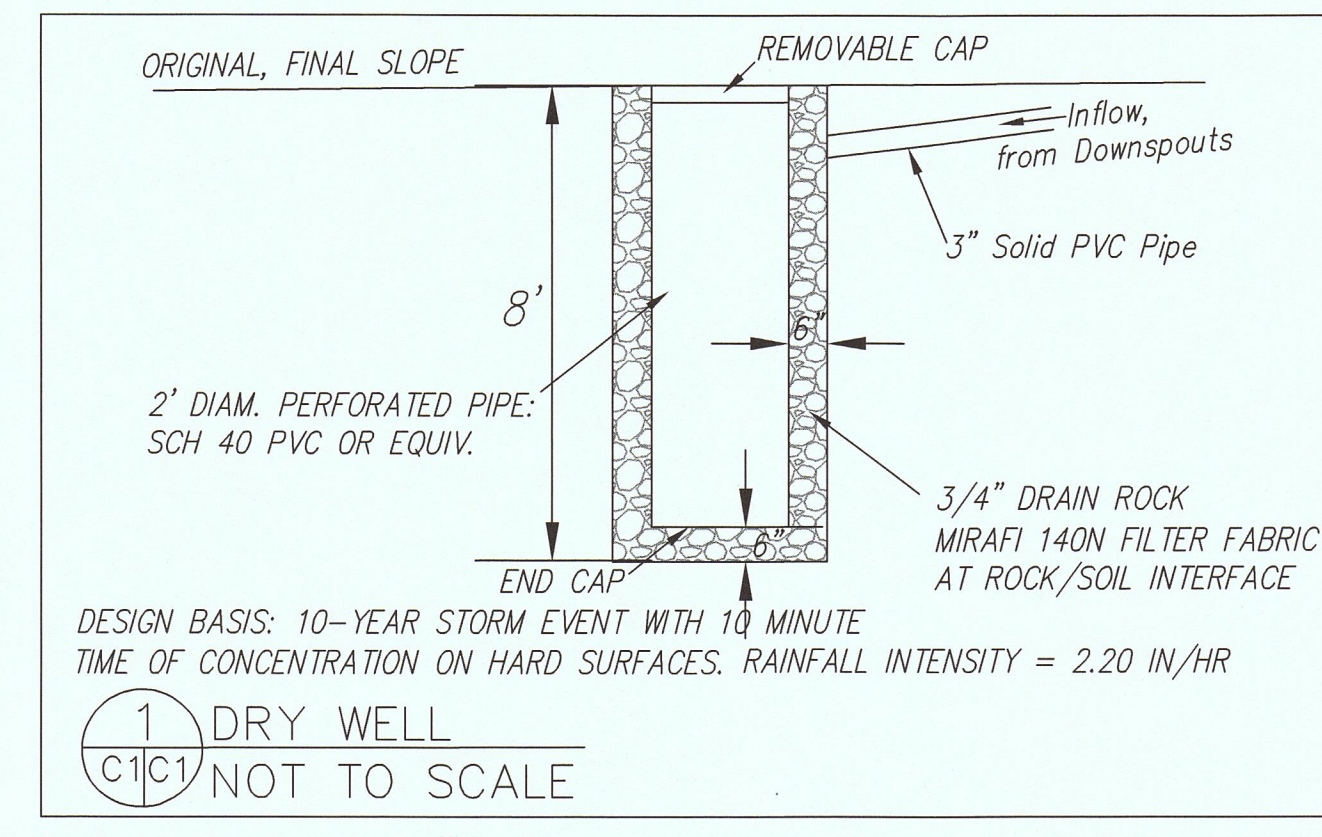
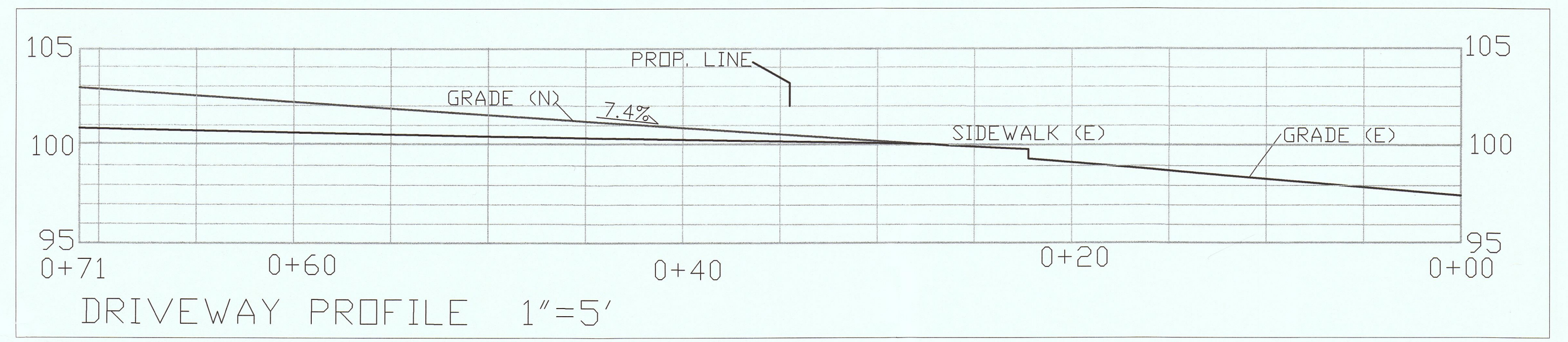
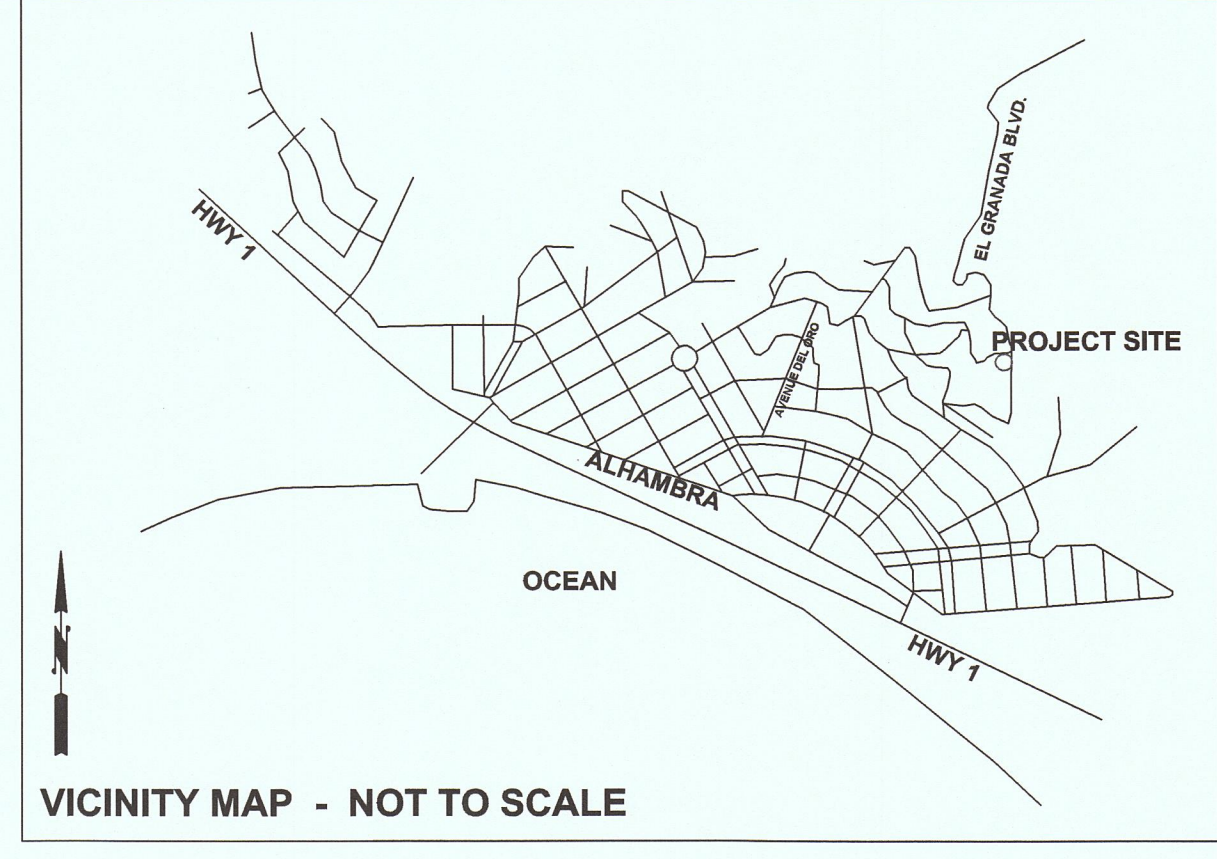
- CUT VOLUME: 90 CY
FILL VOLUME: 20 CY
1. ABOVE VOLUMES ARE APPROXIMATE.
 2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
 3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
 4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELLS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" MIN. DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.

BENCHMARK NOTE:

ELEVATIONS ARE ON ASSUMED DATUM.
BENCHMARK IS THE RIM OF SEWER MANHOLE AS SHOWN.
ELEVATION = 100.00'



REGISTERED PROFESSIONAL ENGINEER
CHARLES M. WASSICK
No. 62264
9-30-17
EXPIRES
CIVIL
STATE OF CALIFORNIA

DATE: 11-16-16
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

GRADING AND DRAINAGE PLAN

SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
ALHAMBRA, CA 94019
TEL: 728-3880
FAX: 728-3888

CUEVIER PROPERTY
SAN PEDRO AVENUE
EL GRANADA

SHEET
C-1