

September 23, 2016

Mark Macy
241 - 10th Avenue, Apt. 1
San Francisco, CA 94118

Dear Mr. Macy:

SUBJECT: Coastside Design Review
121 Lewis Avenue, El Granada
APN 047-152-230; County File No. PLN 2016-00201

At its meeting of September 8, 2016, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review approval for the construction of a new 2,596 sq. ft. single-family residence with an attached two car garage on a 5,936 sq. ft. undeveloped parcel, as part of as part of a hearing-level Coastal Development Permit (CDP) and Certificate of Compliance (CoC Type B). The project has proposed no tree removal and only minor grading. For this project, the CDRC would not render a decision, but would make a recommendation regarding the project's compliance with design review standards. A public hearing for the CDP and CoC Type B will take place after September 8, 2016. The CDP is appealable to the California Coastal Commission.

The CDRC was unable to make the findings for a design review recommendation of approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required. As such, requirements from the CDRC for further project redesign are as follows:

1. Increase the size of the trees in the landscape plan from five (5) gallons to fifteen (15) gallons.
2. Provide facade articulation through the placement of projecting or recessing architectural details, including decks, bays, windows, balconies, porches, overhangs, and/or cantilevered features. Use deeper window cuts and projections such as an enhanced awning over the front door.
3. Provide wall articulation by increasing push and pull of the building design.
4. Revise and update the Project Summary data on Sheet A0.1.
5. Use pervious material for the driveway.



6. Provide a landscape buffer between the street and the front of the house.

As such, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date after September 8, 2016.

Please contact Camille Leung, Senior Planner, at 650/363-1826, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

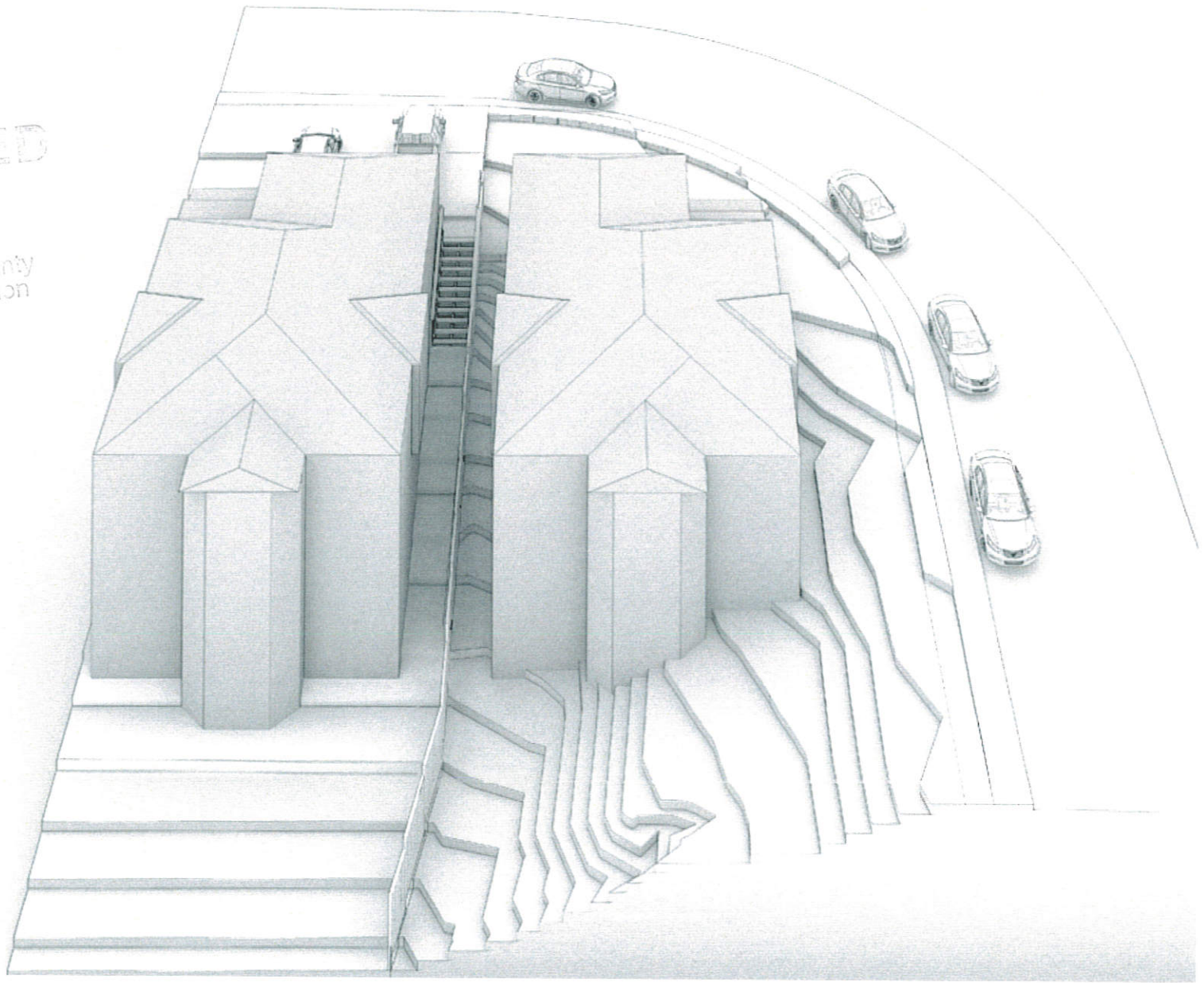
cc: Dianne Whitaker, Member Architect
Stuart Grunow, Member Architect
Chris Johnson, Montara Community Representative
William Anderson, Interested Member of the Public
Maureen Fleming, Interested Member of the Public
Graesson Berbano, Interested Member of the Public
Roberta Vesprimi, Interested Member of the Public
Marlene Jobaris, Interested Member of the Public
Beverly Garrity, Interested Member of the Public

CL:DPA:pac - DPA00542_WPN.DOCX

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Planning Division



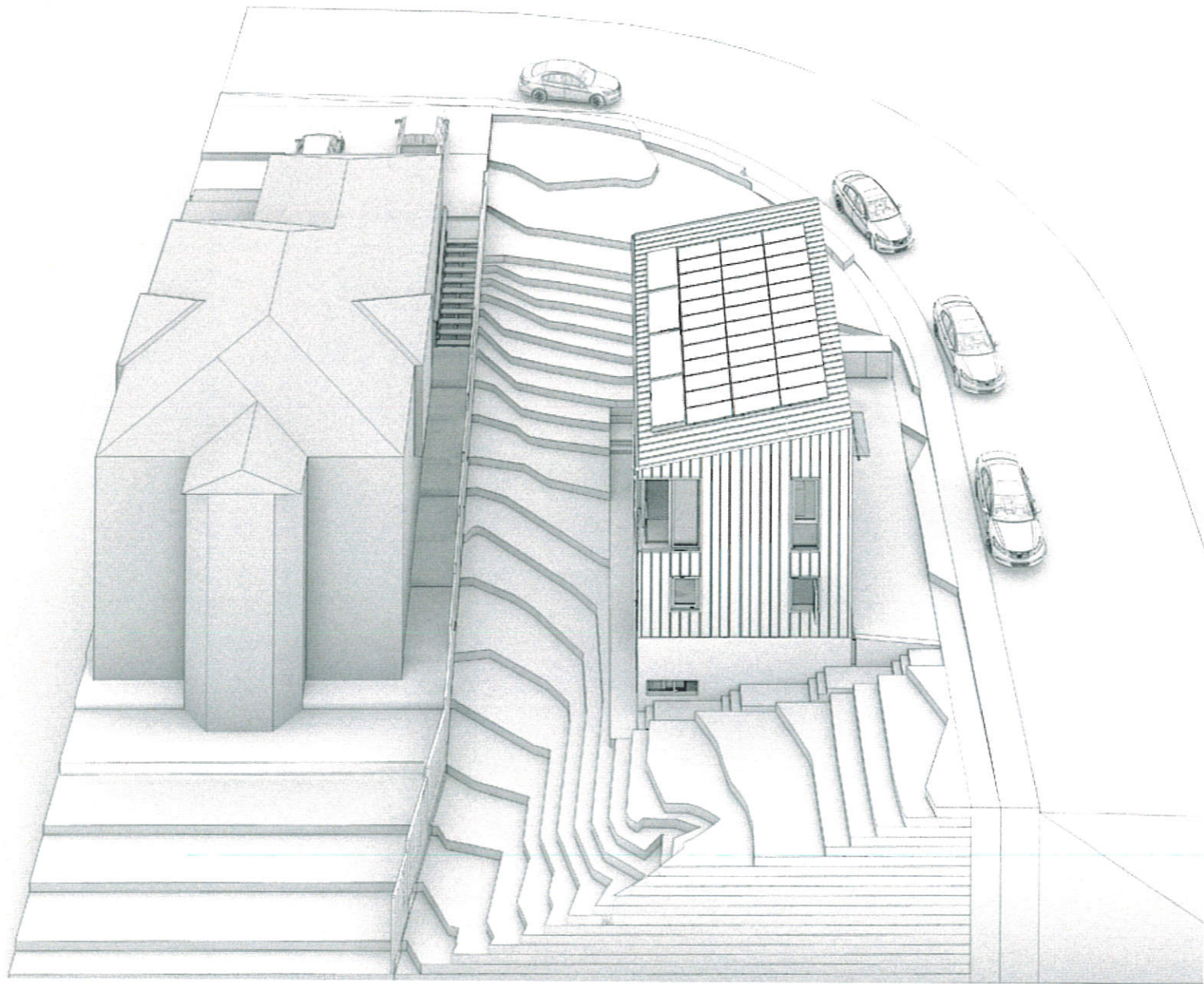
CONVENTIONAL APPROACH

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MACY FAMILY HOME

121 LEWIS AVENUE
EL GRANADA, CA 94019
APN # 047-152-230

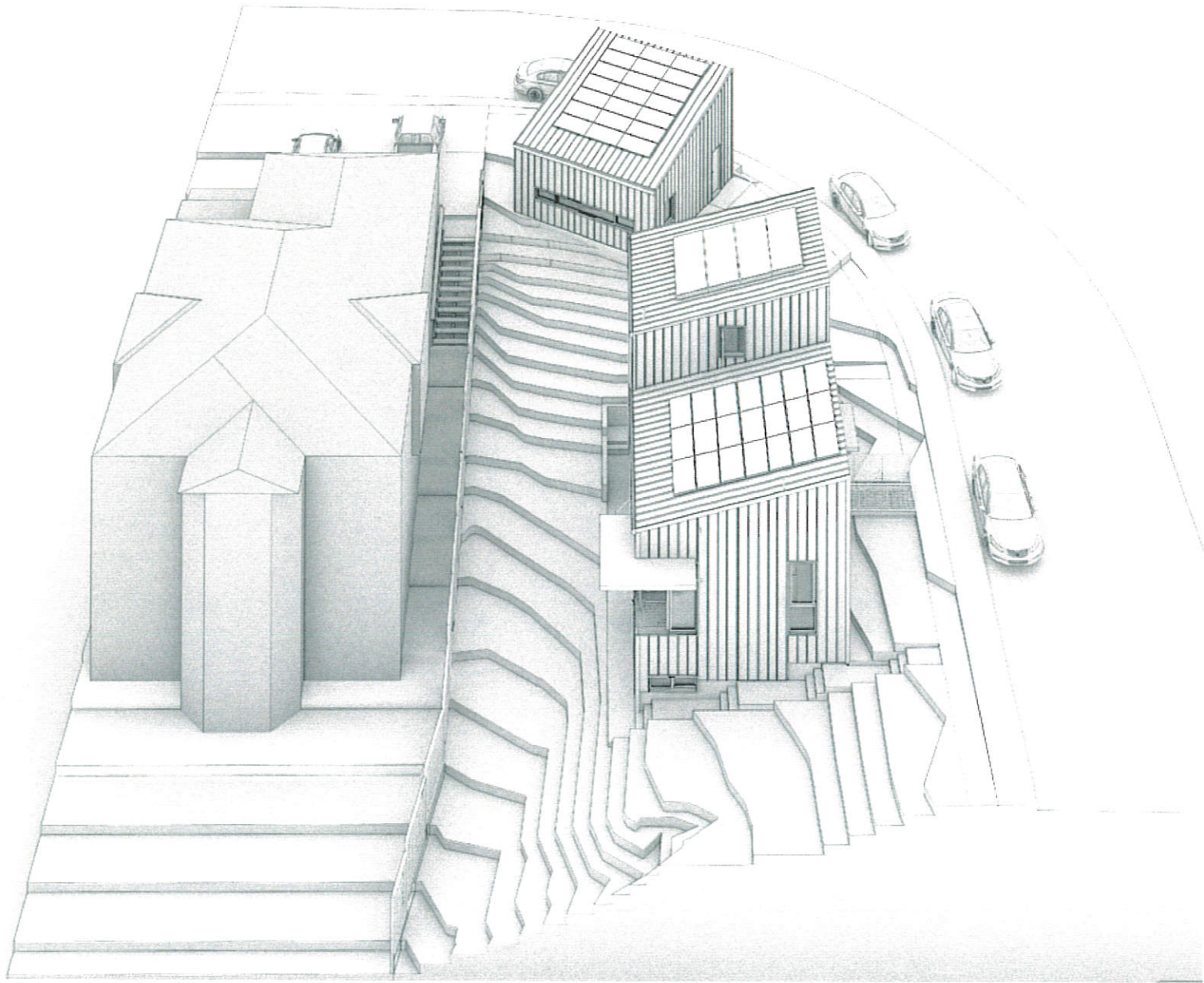


PROPOSAL 03/10/16

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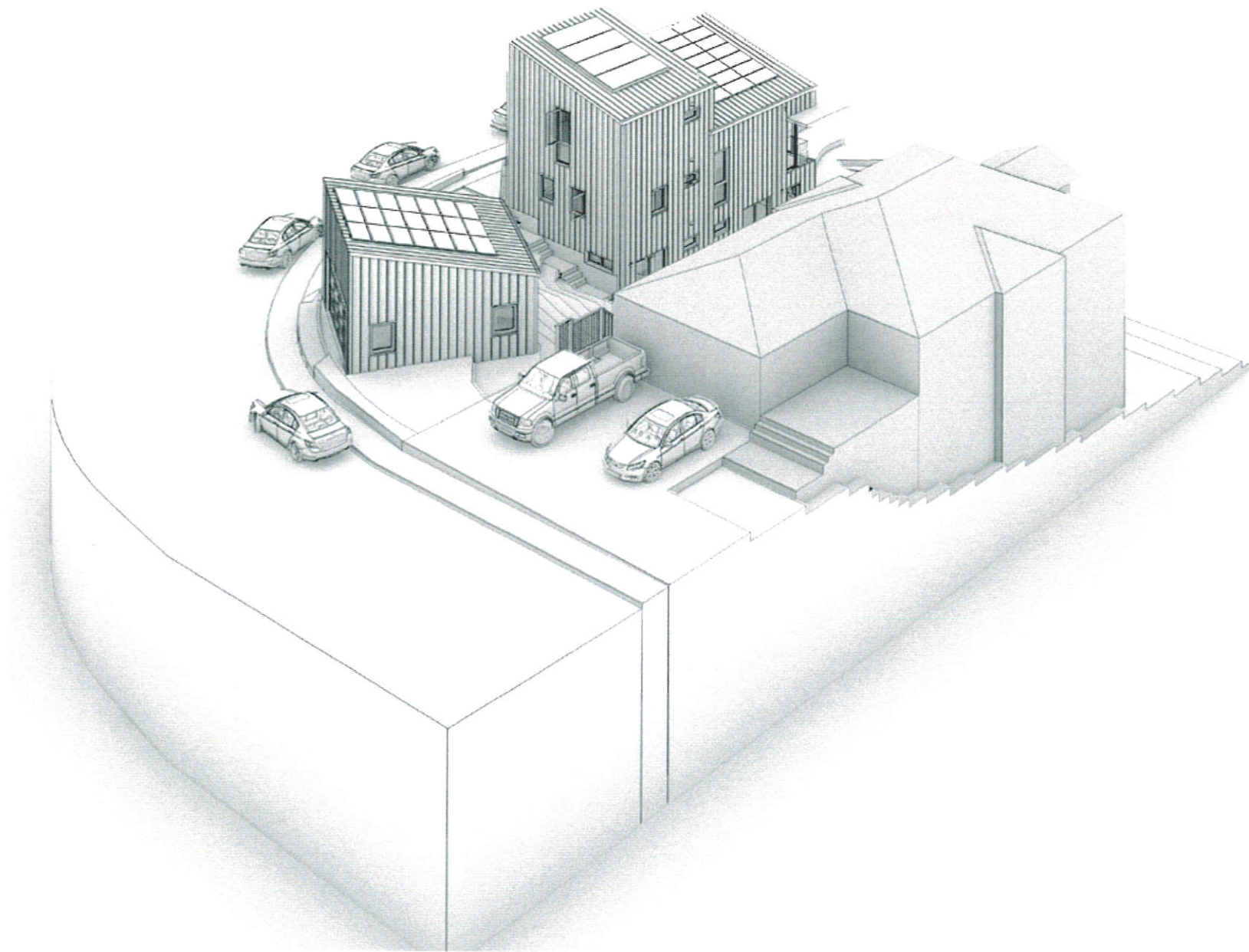
REVISED PROPOSAL 11/10/16

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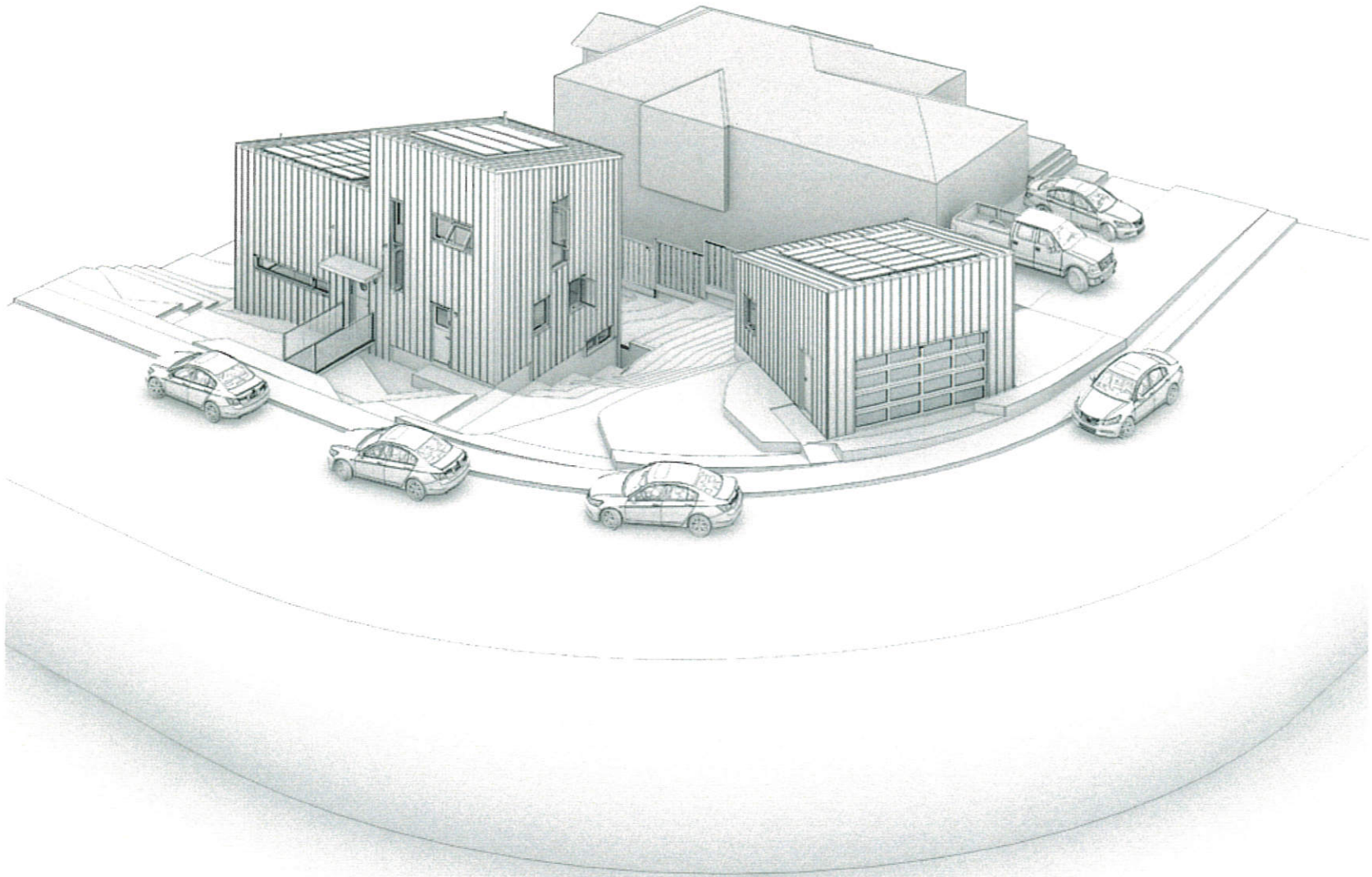
REVISED PROPOSAL 11/10/16 VIEW FROM NORTHWEST

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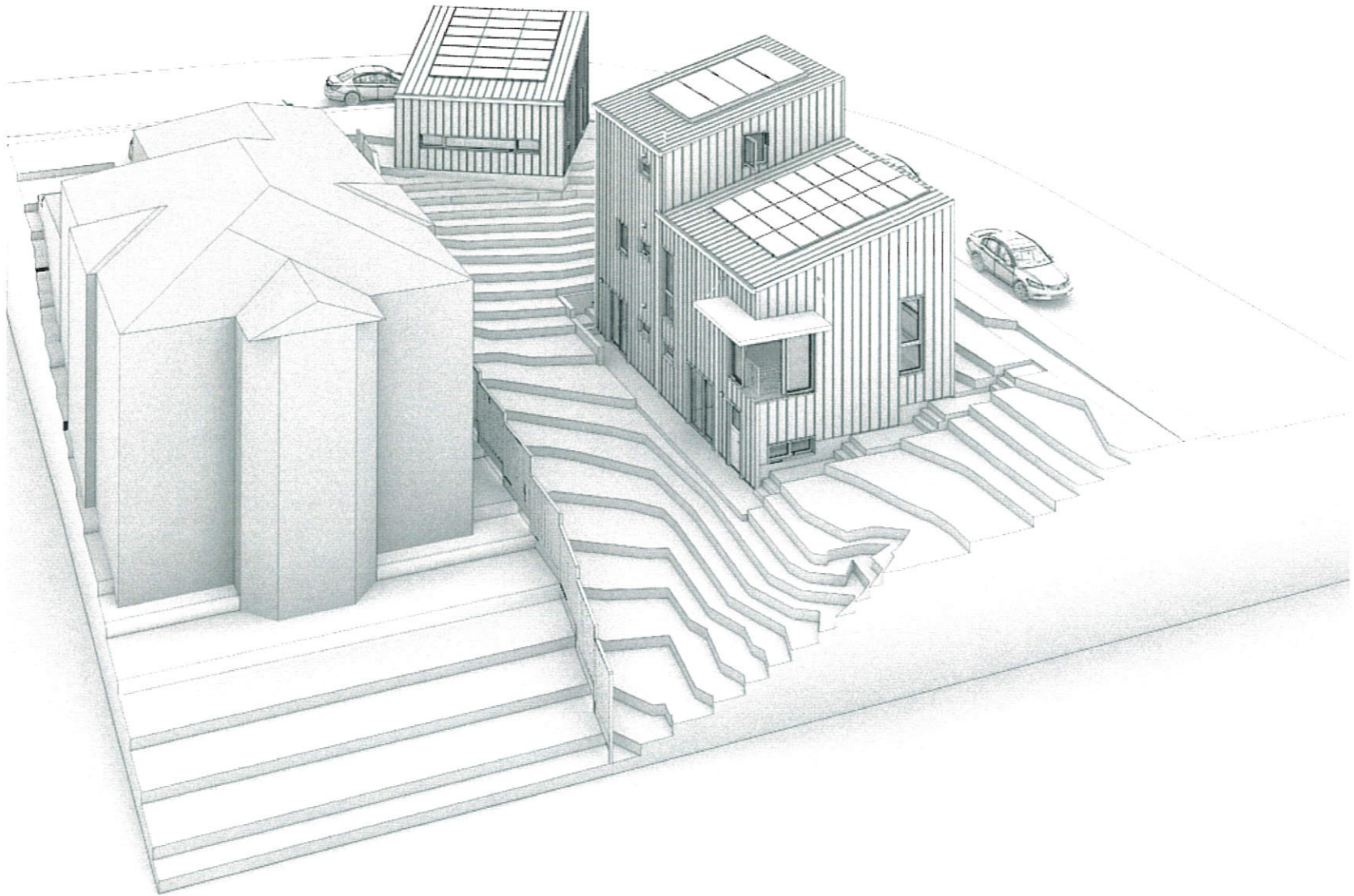
REVISED PROPOSAL 11/10/16 VIEW FROM NORTHEAST

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REVISED PROPOSAL 11/10/16 VIEW FROM SOUTHWEST

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REVISED PROPOSAL | 11/10/16 VIEW FROM SOUTHEAST

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NEIGHBORING GARAGES AT THE FRONT PROPERTY LINE

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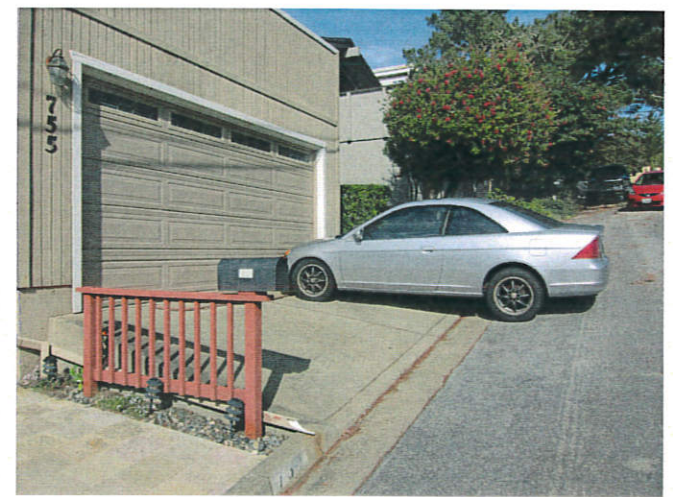


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NEIGHBORING GARAGES AT THE FRONT PROPERTY LINE

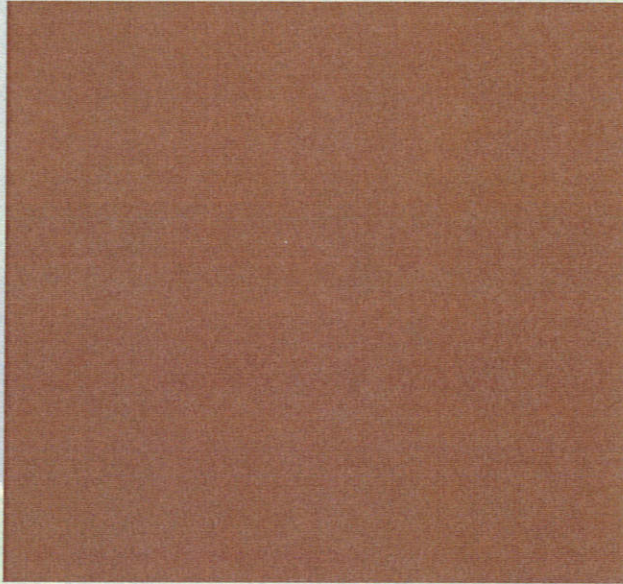
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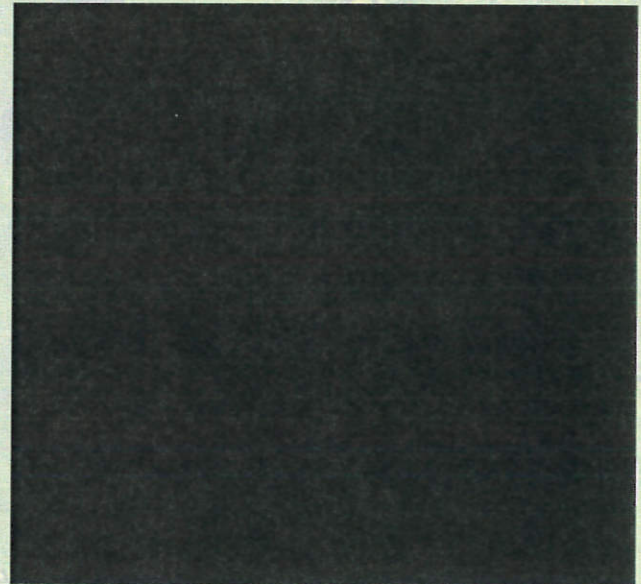
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APN # 047-152-230

EXTERIOR COLORS

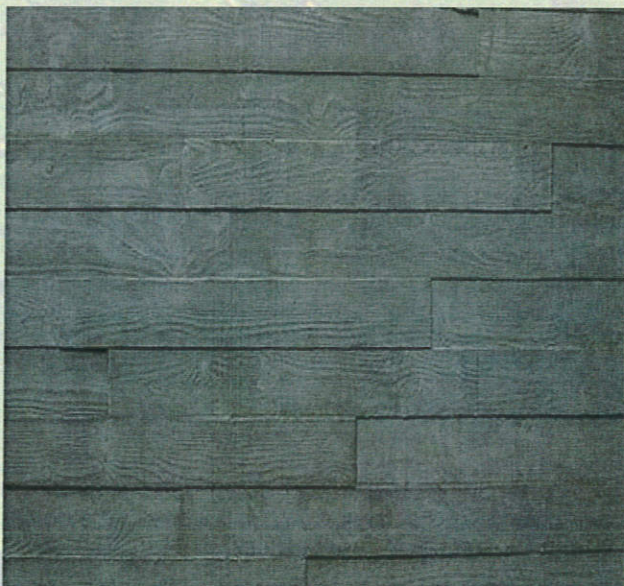
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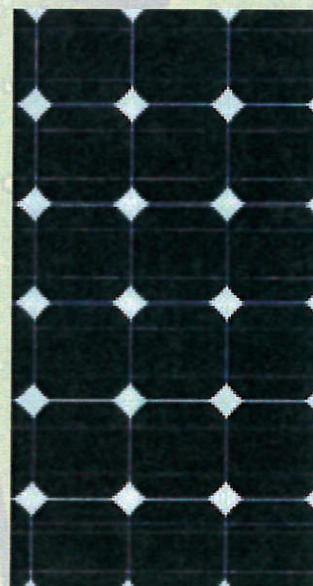
Roofing, Siding and Trim
-Kynar "Redwood" #434R626



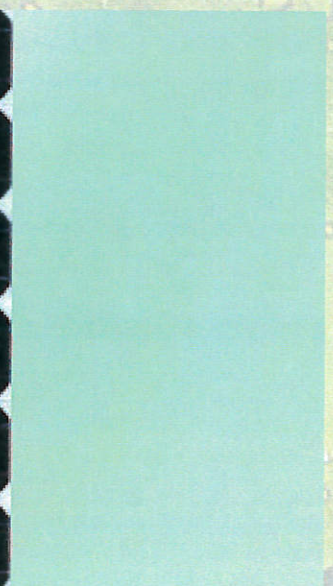
Windows and Doors
"Dark Bronze"



Foundation
-Cast-in-Place Concrete



Solar Panel
-Crystalline Silicon



Glass
-Natural Green Tint

EXTERIOR PLANTS

02

1. LAWN (HYDROSEED WILDFLOWER MIX)



Achillea Millefolium / White Yarrow



Eschscholzia californica / California Poppy



Linum grandiflorum var. *rubrum* / Scarlet Flax



Centaurea cyanus / Dwarf Cornflower



Gilia capitata / Globe Gilia



Lupinus microcarpus / Golden Lupine



Cheiranthus allionii / Wallflower



Gypsophila muralis / Baby's Breath



Nemophila menziesii / Baby Blue Eyes



Clarkia elegans / Elegant Clarkia



Layia platyglossa / Tidy Tips



Lupinus succulentus / Arroyo Lupine



Collinsia heterophylla / Chinese Houses



Linaria maroccana / Toadflax

EXTERIOR PLANTS

03

2. NATIVE SHADE TREE AT
LAWN (selected from one of
the following)



Umbellularia californica - California Bay Laurel



Cornus nuttallii - Pacific Dogwood



Cornus glabrata / Brown Dogwood



Acer macrophyllum / Bigleaf Maple

ABBREVIATIONS

&	AND	LV	LAVATORY
<	ANGLE / LESS THAN	LBS.	POUNDS
>	GREATER THAN	LKR.	LOCKER
@	AT	LRR.	LOCATION
A.B.	ANCHOR BOLT	L.T.G.	LIGHTING
ABV.	ABOVE	MACH.	MACHINE
ACOUS.	ACOUSTICAL	MAG.	MAGNETIC
A.D.	AREA DRAIN	MATL.	MATERIAL
ADJ.	ADJUSTABLE	MAX.	MAXIMUM
A.F.F.	ABOVE FINISH FLOOR	M.B.	MACHINE BOLT
AGGR.	AGGREGATE	M.C.	MEDICINE CABINET
ALUM.	ALUMINUM	M.D.F.	MEDIUM DENSITY FIBERBOARD
ALT.	ALTERNATE	M.D.O.	MEDIUM DENSITY OVERLAY (BOARD)
APPROX.	APPROXIMATE	MECH.	MECHANICAL
ARCH.	ARCHITECT	MEMB.	MEMBRANE
ARCH'L	ARCHITECTURAL	MFR.	MANUFACTURER
ASPH.	ASPHALT	MH.	MANHOLE
		MIN.	MINIMUM / MINUTE
B.	BATHROOM	MISC.	MISCELLANEOUS
BD.	BOARD	M.P.	MEASURING POINT
B.H.C.S.	BUTTON HEAD CAP SCREW	MTD.	MOUNTED
BITUM.	BITUMINOUS	MTL.	METAL
BLDG.	BUILDING	MUL.	MULLION
BLK.	BLOCKING		
BM.	BEAM	(N)	NEW
B.O.	BOTTOM OF	N.	NORTH
BR.	BEDROOM	NAT.	NATURAL
BTM.	BOTTOM	N.I.C.	NOT IN CONTACT
B.U.R.	BUILT-UP ROOFING	NO.	NOMINAL
		NOM.	NOMINAL
		N.T.S.	NOT TO SCALE
CAB.	CABINET	OBS.	OBSCURE
C.B.	CATCH BASIN	O.C.	ON CENTER
CHAN.	CHANNEL	O.D.	OUTSIDE DIAMETER (DIM.)
C.H.	CEILING HEIGHT	OFF.	OFFICE
C.I.	CAST IRON	OPER.	OPERABLE
C.J.	CONTROL JOINT	OPNG.	OPENING
C.	CENTER LINE	OPP.	OPPOSITE
C.G.	CORNER GUARD	OPP. HD.	OPPOSITE HAND
CLG.	CEILING		
CLKG.	CAULKING		
CLO.	CLOSET	PAY.	PAVING
C.O.	CLEAN OUT	PERF.	PERFORATED
CLR.	CLEAR	PERP.	PERPENDICULAR
COL.	COLUMN	PL.	PLATE
COMP.	COMPOSITION	P.L.	PROPERTY LINE
CONC.	CONCRETE	P.LAM.	PLASTIC LAMINATE
CONN.	CONNECTION	PLAS.	PLASTER
CONST.	CONSTRUCTION	PLYWD.	PLYWOOD
CONT.	CONTINUOUS	PR.	PROPERTY
C.M.U.	CONCRETE MASONRY UNIT	PROP.	PROPERTY
C.T.	CERAMIC TILE	PT.	PAINT
CTR.	CENTER	P.T.	PRESSURE TREATED
CTSK.	COUNTERSINK	PTD.	PAINTED
C.W.	COLD WATER	PV	PHOTOVOLTAIC
		P.V.C.	POLYVINYL CHLORIDE
DBL.	DOUBLE	Q.T.	QUARRY TILE
DEPT.	DEPARTMENT	QTY.	QUANTITY
DET.	DETAIL		
D.F.	DRINKING FOUNTAIN	R.	RISER
D.	DIAMETER	RAD.	RADIUS
DIM.	DIMENSION	R.C.	RESILIENT CHANNEL
DN.	DOWN	R.C.P.	REFLECTED CEILING PLAN
D.O.	DOOR OPENING	R.D.	ROOF DRAIN
DR.	DOOR	REF.	REFERENCE
D.S.	DOWNSPOUT	REFR.	REFRIGERATOR
DWG(S).	DRAWING(S)	REG.	REGISTER
DWR.	DRAWER	REIN.	REINFORCED
		REDD.	REQUIRED
(E)	EXISTING	REOMT(S)	REQUIREMENT(S)
E.A.	EAST	RESIL.	RESILIENT
E.F.	EXHAUST FAN	REV.	REVISION
E.J.	EXPANSION JOINT	R.H.W.S.	ROUND HEAD WOOD SCREW
EL.	ELEVATION	R.H.M.S.	ROUND HEAD MACHINE SCREW
ELEC.	ELECTRICAL	RM.	ROOM
ELEV.	ELEVATOR	R.O.	ROUGH OPENING
EMER.	EMERGENCY	RWD.	REDWOOD
ENG.	ENGINEER	R.W.L.	RAINWATER LEADER
EQ.	EQUAL	S.	SOUTH
EQPT.	EQUIPMENT	S.A.D.	SEE ARCHITECTURAL DWGS.
E.S.	EACH SIDE	S.C.	SOLID CORE
EXT.	EXTERIOR	S.C.D.	SEE CIVIL DRAWINGS
		SCHED.	SEE ELECTRICAL DRAWINGS
F.	FIXED	SECT.	SECTION
F.A.	FIRE ALARM	S.G.	SAFETY GLAZING
F.A.U.	FORCED AIR UNIT	S.H.C.S.	SOCKET HEAD CAP SCREW
F.B.	FLAT BAR	SHT.	SHEET
F.D.	FLOOR DRAIN	SHTG.	SHEATHING
F.E.	FIRE EXTINGUISHER	SIM.	SIMILAR
F.E.C.	FIRE EXTINGUISHER CABINET	S.J.	SEISMIC JOINT
F.C.O.	FLOOR CLEAN OUT	S.L.D.	SEE LANDSCAPE DWGS.
F.F.	FINISH FLOOR	S.M.D.	SEE MECHANICAL DWGS.
F.H.C.S.	FLAT HEAD CAP SCREW	SPEC.	SPECIFICATION
F.H.M.S.	FLAT HEAD MACHINE SCREW	SQ.	SQUARE
F.H.W.S.	FLAT HEAD WOOD SCREW	S.S.D.	SEE STRUCTURAL DWGS.
FIN.	FINISH	S.S.	STAINLESS STEEL
FIXT.	FIXTURE	STA.	STATION
FLR.	FLOOR	STL.	STEEL
FLASH.	FLASHING	STD.	STANDARD
FLOOR.	FLOORING	STOR.	STORAGE
FND.	FLOURESCENT	STRUC.	STRUCTURAL
F.O.	FACE OF	SUSP.	SUSPENDED
F.O.C.	FACE OF CONCRETE	T.	TREAD
F.O.F.	FACE OF FINISH	TEL.	TELEPHONE
F.O.M.	FACE OF MASONRY	TEMP.	TEMPERED
F.O.S.	FACE OF STUDS	TK.	THICK
FPRF.	FIREPROOF	TK.	THROUGH
F.S.	FIRE SPRINKLER	TN.	TOENAIL
F.T.	FIRE TREATED	T.O.	TOP OF
FT.	FOOT OR FEET	T.O.P.	TOP OF PLATE
FTG.	FOOTING	T.O.S.	TOP OF SLAB / SHEATHING
FR.	FRAME	T.V.	TELEVISION
F.R.	FIRE RATED	T.O.W.	TOP OF WALL
		TYP.	TYPICAL
GA.	GAUGE	UNF.	UNFINISHED
GALV.	GALVANIZED	U.O.N.	UNLESS OTHERWISE NOTED
G.B.	GRAB BAR	UR.	URINAL
G.F.R.C.	GLASS FIBER REINFORCED CONCRETE	VAR.	VARIES
GL.	GLASS	V.C.T.	VINYL COMPOSITION TILE
GND.	GROUND	VERT.	VERTICAL
GR.	GRADE	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
G.S.M.	GALVANIZED SHEET METAL	V.I.F.	VERIFY IN FIELD
GYP. BD.	GYP. BOARD	W.	WEST
H.A.H.	HYDRONIC AIR HANDLER	W/	WITH
H.B.	HOSE BIB	W.C.	WATER CLOSET (TOILET)
H.C.	HOLLOW CORE	WD.	WOOD
H.D.G.	HOT-DIPPED GALVANIZED	W/D	WASHER / DRYER
HDR.	HEADER	WDR.	WINDOW
HWOD.	HARDWOOD	WG.	WIRE GLASS
HGT.	HEIGHT	W.H.	WATER HEATER
H.H.B.	HEX HEAD BOLT	W.M.	WALL MOUNT
H.H.C.S.	HEX HEAD CAP SCREW	W/O.	WHERE OCCURS
H.M.	HOLLOW METAL	W/P.	WITHOUT
HORIZ.	HORIZONTAL	WP.	WATERPROOFING
H.R.	HAND RAIL	W.R.	WATER RESISTANT
HR.	HOUR	W.SCT.	WAINSCOT
H.W.	HOT WATER	WT.	WEIGHT
		W.W.F.	WIRE WELDED FABRIC
		W.W.M.	WOVEN WIRE MESH
I.D.	INSIDE DIAMETER		
INSUL.	INSULATION		
INT.	INTERIOR		
INV.	INVERT		
I.S.B.U.	INTERMODAL STEEL BUILDING UNIT		
JAN.	JANITOR		
JT.	JOINT		
KIT.	KITCHEN		
LAM.	LAMINATE		

MACY FAMILY HOME

PROJECT SUMMARY			
SCOPE OF WORK		NEW SINGLE-FAMILY RESIDENCE	
PROJECT DATA			
STREET ADDRESS OF JOB	NONE (VACANT LOT)		
BLOCK # / LOT #	047-152-230		
ZONING DISTRICT	S-17		
SITE DEVELOPMENT STANDARDS		ALLOWED	PROPOSED
LOT SIZE	5,000 SF MIN.	11,698 SF MAX.	5,936 SF
MAX. PARCEL COVERAGE	35% OF LOT SIZE	2,078 SF	1,946 SF
MAX. BUILDING FLOOR AREA	53% OF LOT SIZE	3,146 SF	2,967 SF
IMPERVIOUS AREA BELOW 18"	10% OF LOT SIZE	593.4 SF	445 SF
MIN. SETBACKS	FRONT: 20 FT REAR: 20 FT SIDE: COMBINED TOTAL OF 15 FT (W/ 5 FT MIN.)	---	FRONT: 20 FT REAR: 20 FT SIDE: COMBINED TOTAL OF 15 FT (W/ 5 FT MIN.)
MAXIMUM HEIGHT	---	28 FT MAX.	28 FT (FOR A PORTION)
PARKING SPACES	2 (9 FT x 19 FT EACH)	---	2 (9 FT x 19 FT EACH)
BUILDING DATA			
CONSTRUCTION TYPE	TYPE VB (NON-RATED)		
STORIES OF OCCUPANCY	3 (2 + "DAYLIGHT" BASEMENT)		
USE	R-3 (SINGLE-FAMILY RESIDENCE) & U (DETACHED ACCESSORY GARAGE)		
BUILDING AREA	HOUSE: 2,419 SF + GARAGE: 548 SF = 2,967 SF TOTAL		
NOTE	FULLY SPRINKLERED		

SYMBOLS		DRAWING INDEX	
	STRUCTURAL GRID LINE	ARCHITECTURAL	A0.1 PROJECT DATA & COVERSHEET
	BENCHMARK INDICATOR	A0.2 TOPOGRAPHIC SURVEY	A1.0 LANDSCAPE PLAN
	DOOR NO.	A1.0 LANDSCAPE PLAN	C1.0 GRADING AND DRAINAGE PLAN
	WINDOW NO.	C2.0 EROSION CONTROL PLAN	C3.0 BEST MANAGEMENT PRACTICES
	NOTE	A2.1 BASEMENT PLAN	A2.2 1ST FLOOR PLAN
	REVISION NOTE	A2.3 2ND FLOOR PLAN	A2.4 ROOF PLAN
	BUILDING SECTION	A3.1 EXTERIOR ELEVATION (EAST)	A3.2 EXTERIOR ELEVATION (WEST)
	EXTERIOR ELEVATION	A3.3 EXTERIOR ELEVATIONS (SOUTH & NORTH)	A4.1 LONGITUDINAL SECTIONS (EAST & WEST)
	INTERIOR ELEVATION	A4.2 CROSS SECTIONS (NORTH AT STAIRS AND SOUTH)	A4.3 CROSS SECTION (NORTH)
	DETAIL	A4.4 CROSS SECTION (NORTH AT GARAGE) & DRIVEWAY DETAILS	

- GENERAL NOTES**
- CONTRACTOR TO VERIFY CONDITIONS AND DIMENSIONS AT THE SITE. BRING ANY INCONSISTENCIES TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK.
 - DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS. LARGE SCALE DRAWING SHALL GOVERN OVER SMALL SCALE DRAWING. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY CONFLICTS IN WRITING PRIOR TO COMMENCEMENT OF WORK.
 - ALL DIMENSIONS ARE TO FACE OF FINISH UNLESS OTHERWISE NOTED.
 - COORDINATE EXACT LOCATION OF ALL ELECTRICAL FIXTURES, CONTROLS, DEVICES AND OUTLETS WITH ARCHITECT IN THE FIELD.
 - COORDINATE EXACT LOCATION OF MECHANICAL EQUIPMENT, DUCTS, GRILLES, REGISTERS, FLUES, AND VENTS WITH ARCHITECTURAL DRAWINGS.
 - INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS AND RECOMMENDATIONS OF THE MANUFACTURER.
 - PROVIDE ALL NECESSARY BLOCKING, BACKING, AND FRAMING FOR: LIGHT FIXTURES, ELECTRICAL UNITS, PLUMBING FIXTURES, HEATING EQUIPMENT, CASEWORK, AND ALL OTHER ITEMS REQUIRING SUPPORT.
 - CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING ALL EXISTING ON-SITE UTILITIES DURING CONSTRUCTION.
 - ANY QUESTIONS REGARDING THE INTENT RELATED TO THE LAYOUT OF THE NEW WORK SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO PROCEEDING WITH ANY WORK.
 - ALL WORK SHALL BE DONE IN STRICT ACCORDANCE TO THE 2013 SAN FRANCISCO BUILDING CODE AND ALL OTHER APPLICABLE CODES CURRENTLY ENFORCED BY THE CITY AND COUNTY OF SAN FRANCISCO.

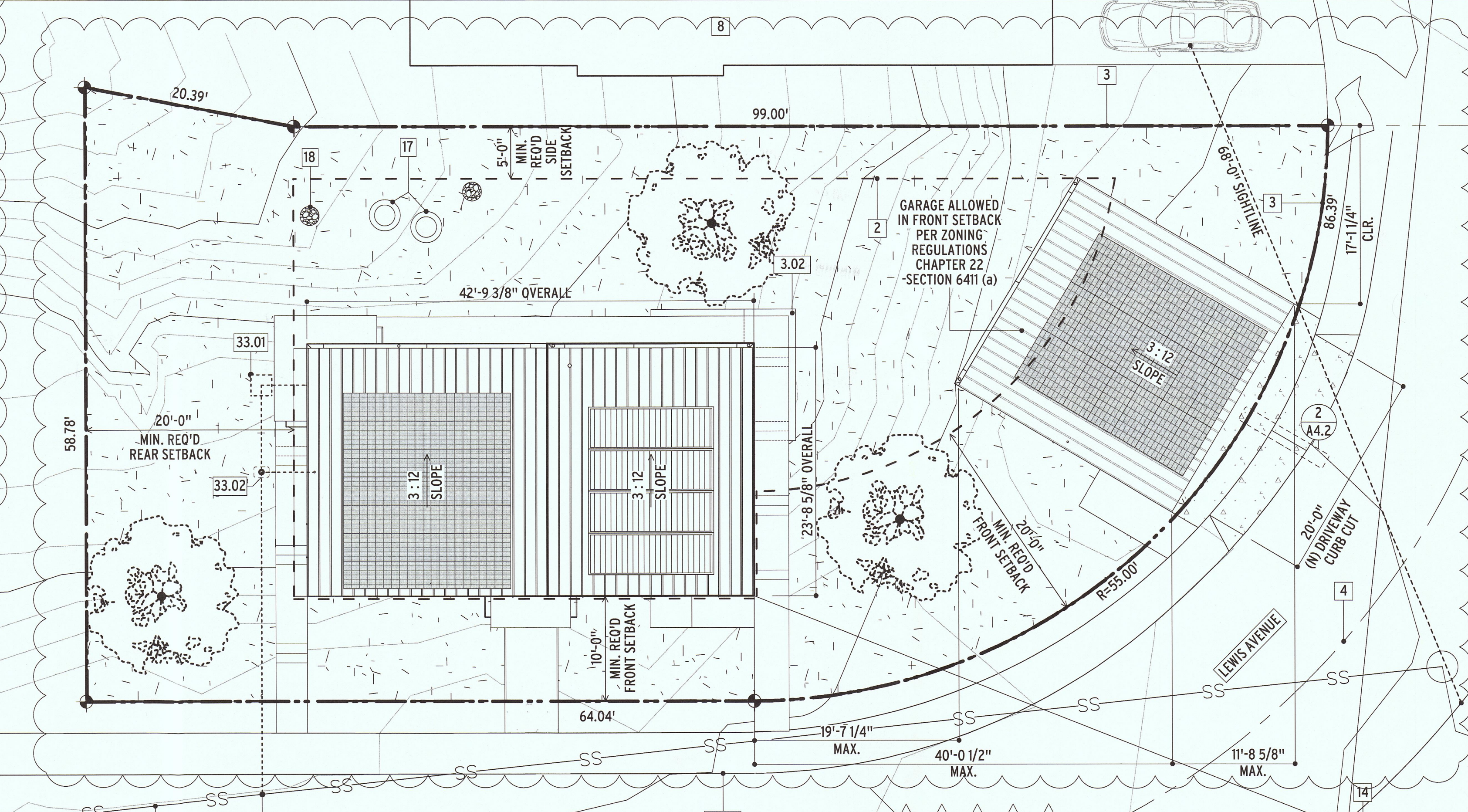
CLIENT: MARK & KELLY MACY 241 TENTH AVENUE APT. #1 SAN FRANCISCO, CA 94118 T. (415) 221-3240	ARCHITECT: MACY ARCHITECTURE 315 LINDEN STREET SAN FRANCISCO, CA 94102 T. (415) 551-7631 F. (415) 551-7601 CONTACT: CARLOS RODRIGUEZ
--	---



1 LOCATION PLAN
1" = 8'-0"



2 BLOCK PLAN
1" = 100'-0"



1 SITE PLAN
1/8" = 1'-0"

KEYED NOTES:

1. INDICATES UNDERGROUND GRAVITY ROUTING OF (N) HOUSE SEWER LINE	17. DRY WELL	10.01 WARDROBE CABINET, TYP.	22.07 BATHUB
2. INDICATES REO'D SETBACK, TYP.	18. ENERGY DISSIPATER, TYP.	10.02 ILLUMINATED ADDRESS NUMBERS	22.08 SHOWER
3. PROPERTY LINE, TYP.	19. ENTRY BRIDGE	10.03 AWNING	22.09 STACK VENT
4. (E) CENTERLINE OF STREET	3.01 CONC. SLAB ON GRADE	11.01 REFRIGERATOR - A1	22.10 TRENCH DRAIN
5. (N) CURB CUT FOR DRIVEWAY	3.02 CAST-IN-PLACE CONCRETE BASE	11.02 RANGE - A2	22.11 SOLAR WATER HEATING PANELS
6. INDICATES MIN. REQ'D SETBACK, TYP.	5.01 GUARDRAIL (+42" A.F.F.)	11.03 MICROWAVE / EXHAUST HOOD - A3	22.12 WASTE LINE BELOW, TYP.
7. INDICATES UNDERGROUND ROUTING OF (N) POWER, TELEPHONE & CABLE	6.01 BASEBOARD (PTD.), TYP.	11.04 DISHWASHER - A4	23.01 HYDRONIC AIR HANDLER
8. NEIGHBOR'S HOUSE	7.01 METAL ROOFING & SIDING SYSTEM, TYP.	11.05 WASHER - A5	23.02 EXHAUST VENT CAP
9. (E) UTILITY	7.02 DOWNSPOUT AND GUTTER	11.06 CONDENSING DRYER - A6	26.01 LIGHT FIXTURE, TYP. SEE (S.E.D.)
10. INDICATES APPROX. LOC. OF (E) SANITARY SEWER LINE (SEE BOUNDARY & TOPO SURVEY)	8.02 DEEPSET, HIGH-PERFORMANCE THERMALLY-BROKEN WINDOW SYSTEM, TYP.	11.07 KITCHEN CABINETRY	26.02 PHOTO-VOLTAIC PANELS
11. POWER & TELEPHONE POLE	8.03 DOOR SYSTEM	11.08 KITCHEN CABINET WALL MOUNTING SYSTEM	31.01 CONC. PIER, TYP.
12. INDICATES LOW THRESHOLD ABOVE	8.04 POCKET DOOR FRAM AND HARDWARE	12.01 TRASH, RECYCLING, & COMPOST BINDS	32.01 (E) SIDEWALK, TYP.
13. OPEN TO BELOW / BEYOND	8.05 DOOR	12.03 COUNTERTOP	33.01 SEWAGE EJECTOR SYSTEM, BELOW
14. (E) POWER POLE	8.06 DOOR FRAME	22.01 AREA DRAIN	33.02 SANITARY SEWER CLEANOUT
15. NATURAL GRADE	8.07 SLIDING DOOR	22.02 WATER HEATER	
16. PROPOSED GRADE	8.08 GARAGE DOOR	22.03 TOILET	
	9.01 GYP. BD. (PTD.), TYP.	22.04 LAVATORY	
	9.02 RAVERS	22.05 KITCHEN SINK	
		22.06 BAR SINK	
			A1 REFRIGERATOR
			A2 COOKTOP
			A3 HOOD
			A4 DISHWASHER
			A5 MICROWAVE
			A6 OVEN
			A7 WASHER
			A8 DRYER
			WC1 WATERCLOSET 1
			LV1 LAVATORY 1
			KS1 KITCHEN SINK
			BS2 BAR SINK
			SH1 SHOWER 1
			TB1 BATHTUB 1

MACY ARCHITECTURE

315 Linden Street
San Francisco, CA 94102
Tel 415 551 7630
Fax 415 551 7601
www.macyarchitecture.com

PROJECT
MACY FAMILY HOME
121 LEWIS AVENUE
APN 0407152-230
EL GRANADA, CA 94019

ISSUES / REVISIONS

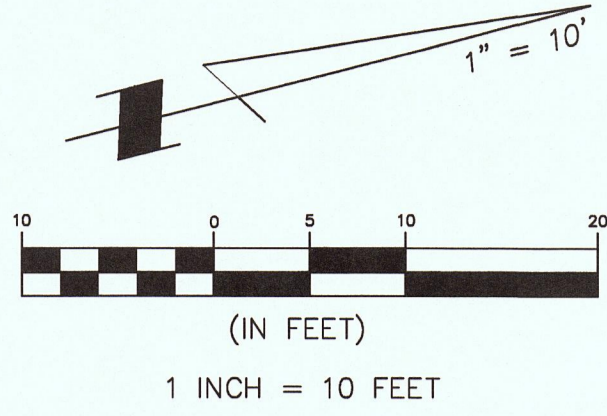
DATE	PHASE	SCALE
06/13/16	AS NOTED	
08/02/16	PLANNING SUBMITTAL	
08/08/16	PLANNING SUBMITTAL	
10/12/16	PLANNING SUBMITTAL	
11/07/16	PLANNING SUBMITTAL	

RECEIVED
NOV 15 2016
San Mateo County
Planning Division

PROJECT DATA & COVERSHEET

SHEET TITLE
PROJECT DATA & COVERSHEET

SHEET
A0.1



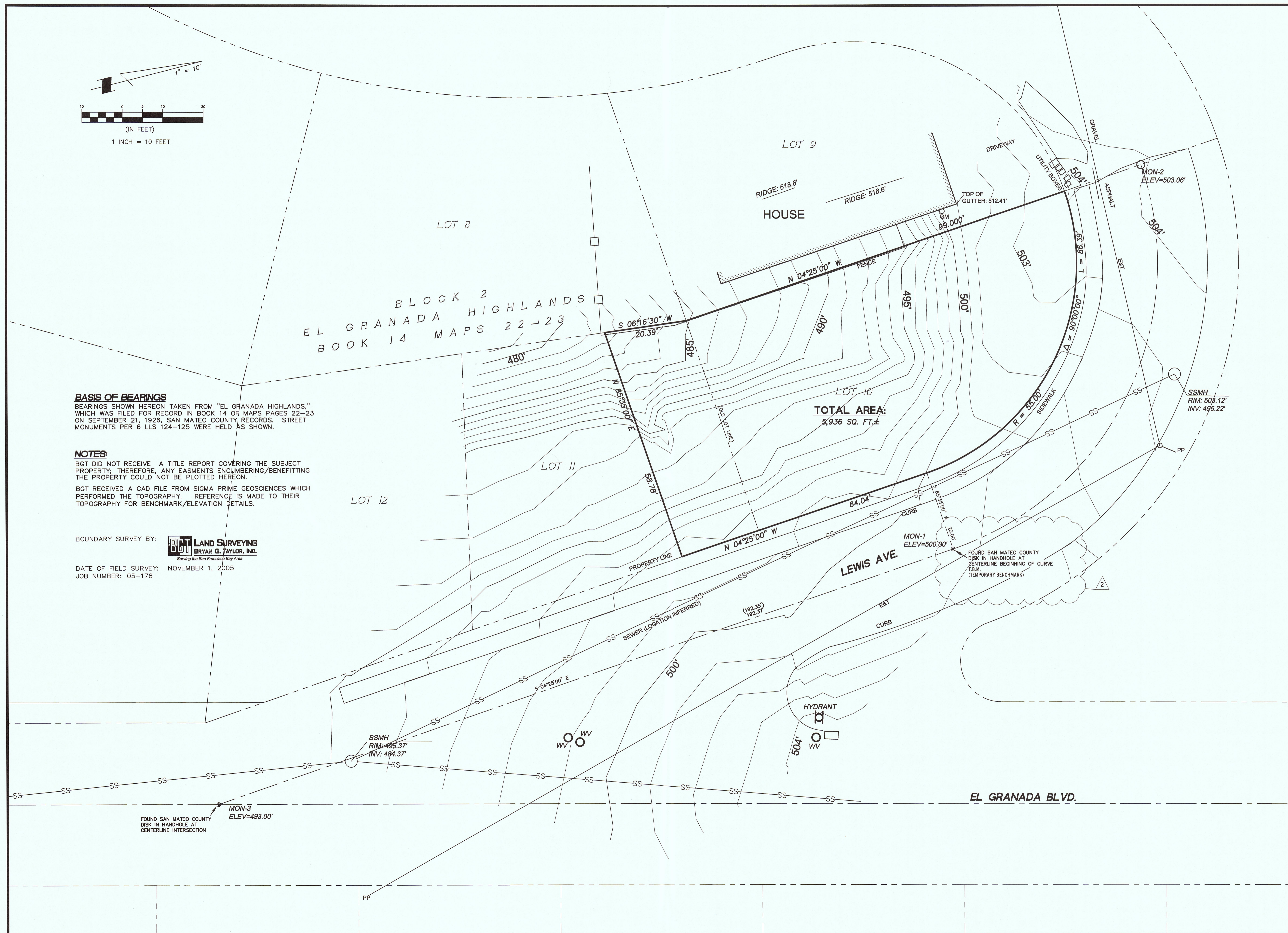
BLOCK 2
EL GRANADA HIGHLANDS
BOOK 14 MAPS 22-23

BASIS OF BEARINGS
BEARINGS SHOWN HEREON TAKEN FROM "EL GRANADA HIGHLANDS," WHICH WAS FILED FOR RECORD IN BOOK 14 OF MAPS PAGES 22-23 ON SEPTEMBER 21, 1926, SAN MATEO COUNTY RECORDS. STREET MONUMENTS PER 6 LLS 124-125 WERE HELD AS SHOWN.

NOTES:
BGT DID NOT RECEIVE A TITLE REPORT COVERING THE SUBJECT PROPERTY; THEREFORE, ANY EASMENTS ENCUMBERING/BENEFITTING THE PROPERTY COULD NOT BE PLOTTED HEREON.
BGT RECEIVED A CAD FILE FROM SIGMA PRIME GEOSCIENCES WHICH PERFORMED THE TOPOGRAPHY. REFERENCE IS MADE TO THEIR TOPOGRAPHY FOR BENCHMARK/ELEVATION DETAILS.

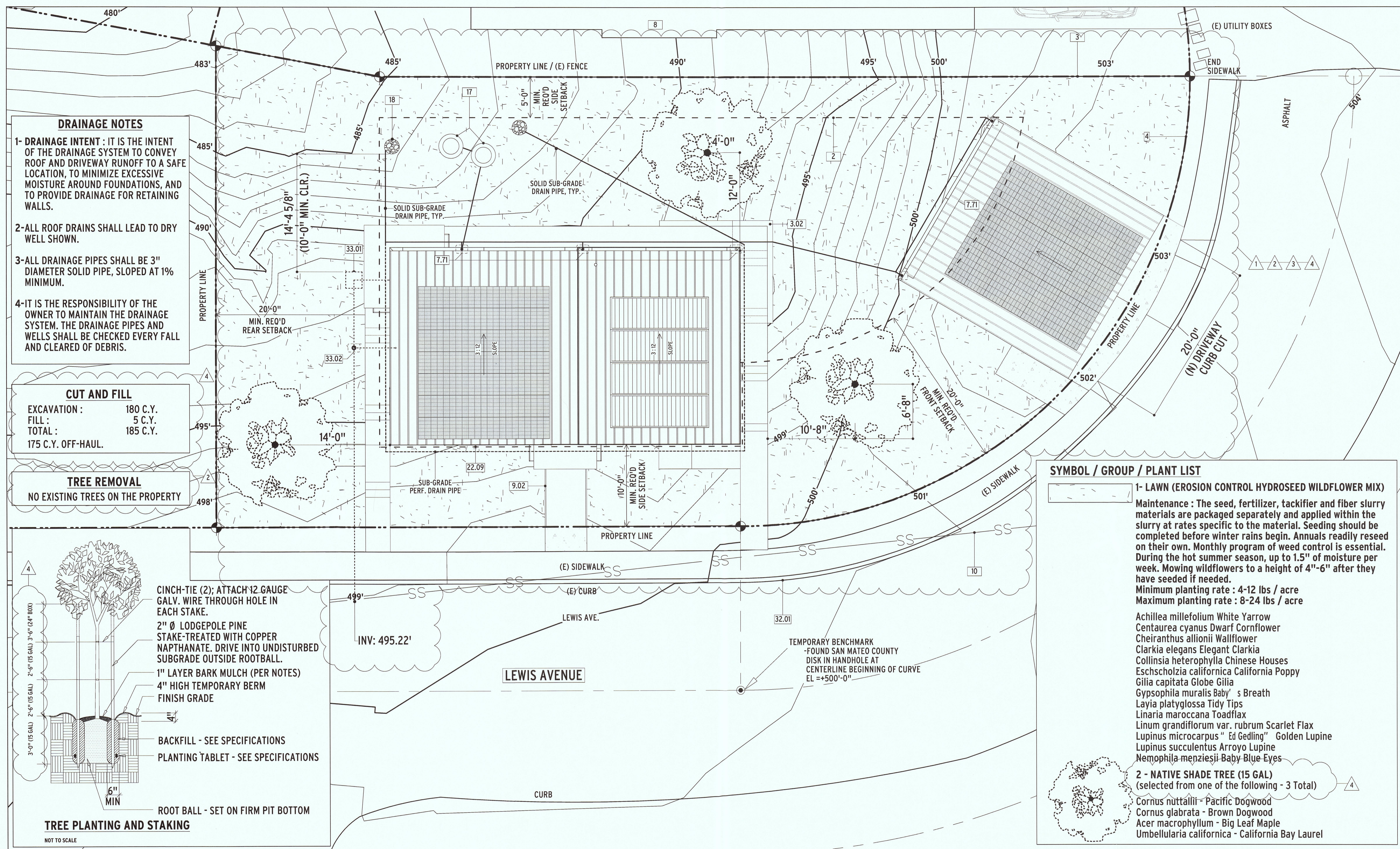
BOUNDARY SURVEY BY: **BGT LAND SURVEYING**
BRYAN G. TAYLOR, INC.
Serving the San Francisco Bay Area

DATE OF FIELD SURVEY: NOVEMBER 1, 2005
JOB NUMBER: 05-178



06/13/16	△
08/02/16	△
08/08/16	△
10/12/16	△
11/10/16	△

DATE	11/10/2016
PHASE	PLANNING SUBMITTAL
SCALE	1/4" = 1'-0"



DRAINAGE NOTES

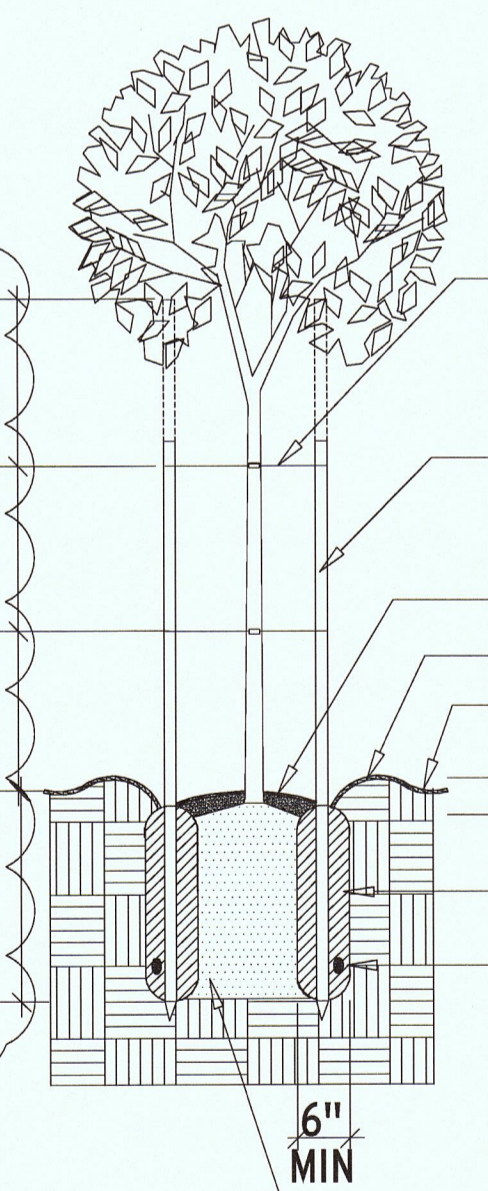
- 1- DRAINAGE INTENT :** IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS, AND TO PROVIDE DRAINAGE FOR RETAINING WALLS.
- 2- ALL ROOF DRAINS SHALL LEAD TO DRY WELL SHOWN.**
- 3- ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.**
- 4- IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAINAGE PIPES AND WELLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.**

CUT AND FILL

EXCAVATION :	180 C.Y.
FILL :	5 C.Y.
TOTAL :	185 C.Y.
175 C.Y. OFF-HAUL.	

TREE REMOVAL

NO EXISTING TREES ON THE PROPERTY



TREE PLANTING AND STAKING

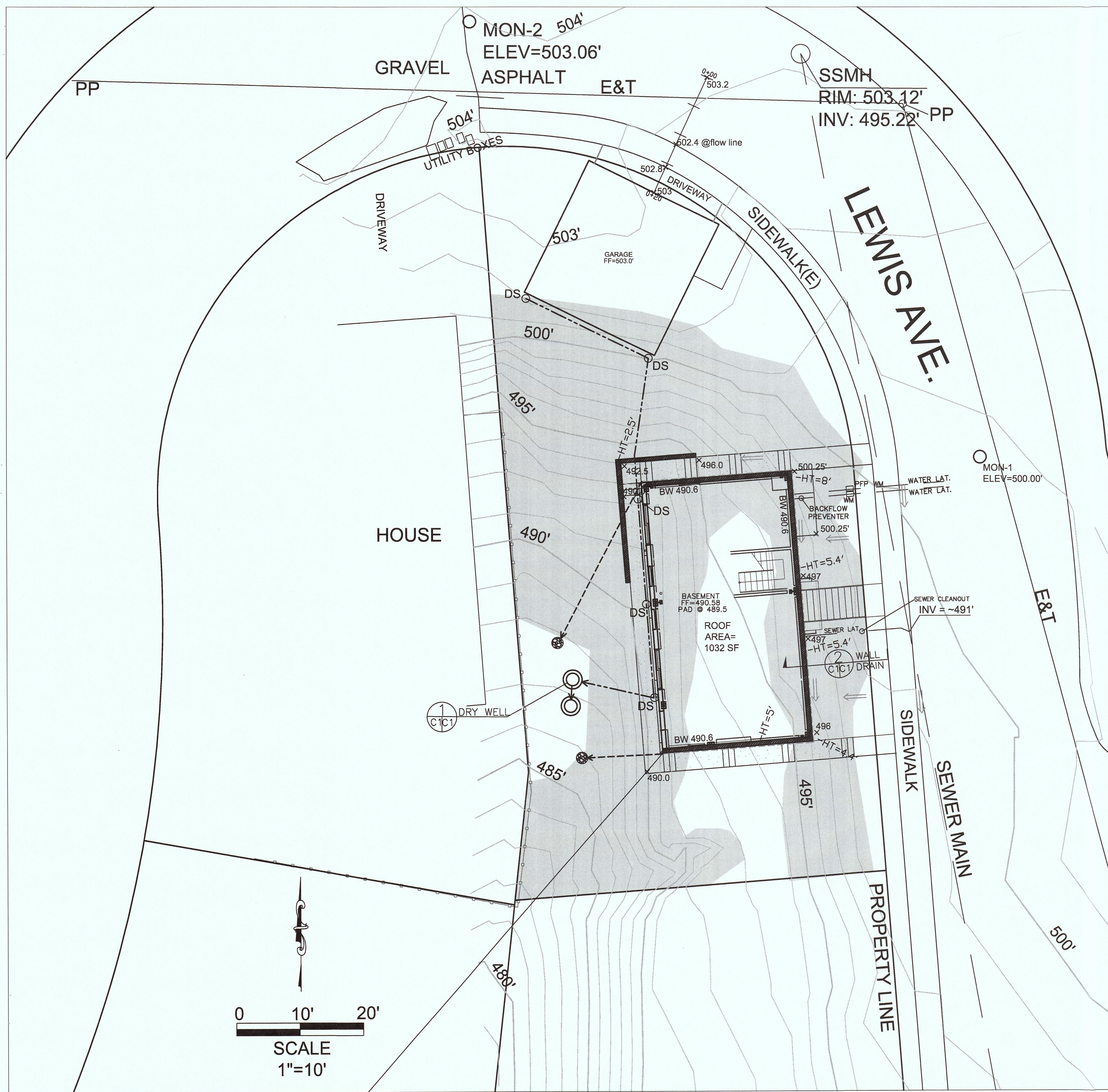
NOT TO SCALE

SYMBOL / GROUP / PLANT LIST

- 1- LAWN (EROSION CONTROL HYDROSEED WILDFLOWER MIX)**
 Maintenance : The seed, fertilizer, tackifier and fiber slurry materials are packaged separately and applied within the slurry at rates specific to the material. Seeding should be completed before winter rains begin. Annuals readily reseed on their own. Monthly program of weed control is essential. During the hot summer season, up to 1.5" of moisture per week. Mowing wildflowers to a height of 4"-6" after they have seeded if needed.
 Minimum planting rate : 4-12 lbs / acre
 Maximum planting rate : 8-24 lbs / acre
- Achillea millefolium White Yarrow
 - Centaurea cyanus Dwarf Cornflower
 - Cheiranthus allionii Wallflower
 - Clarkia elegans Elegant Clarkia
 - Collinsia heterophylla Chinese Houses
 - Eschscholzia californica California Poppy
 - Gilia capitata Globe Gilia
 - Gypsophila muralis Baby's Breath
 - Layia platyglossa Tidy Tips
 - Linaria maroccana Toadflax
 - Linum grandiflorum var. rubrum Scarlet Flax
 - Lupinus microcarpus " Ed Gedling" Golden Lupine
 - Lupinus succulentus Arroyo Lupine
 - Nemophila menziesii Baby Blue Eyes
- 2 - NATIVE SHADE TREE (15 GAL)**
 (selected from one of the following - 3 Total)
- Cornus nuttallii - Pacific Dogwood
 - Cornus glabrata - Brown Dogwood
 - Acer macrophyllum - Big Leaf Maple
 - Umbellularia californica - California Bay Laurel

1 LANDSCAPE AND DRAINAGE PLAN
 3/16" = 1'-0"





LEGEND

- EXISTING CONTOURS
- 500.1 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- DIRECTION OF SURFACE DRAINAGE
- 3" SOLID PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE. (TO DRY WELL)
- 3" PERFORATED PLASTIC DRAIN PIPE, SDR 35 @ 1% MINIMUM SLOPE. (TO ENERGY DISSIPATORS)
- OUTLINE OF IMPERVIOUS AREA
- ENERGY DISSIPATER: 2-FT DIAMETER, 4-INCHES DEEP, FILLED WITH 2.4 INCH COBBLES
- PROPOSED RETAINING WALL
- 15% OR GREATER SLOPE

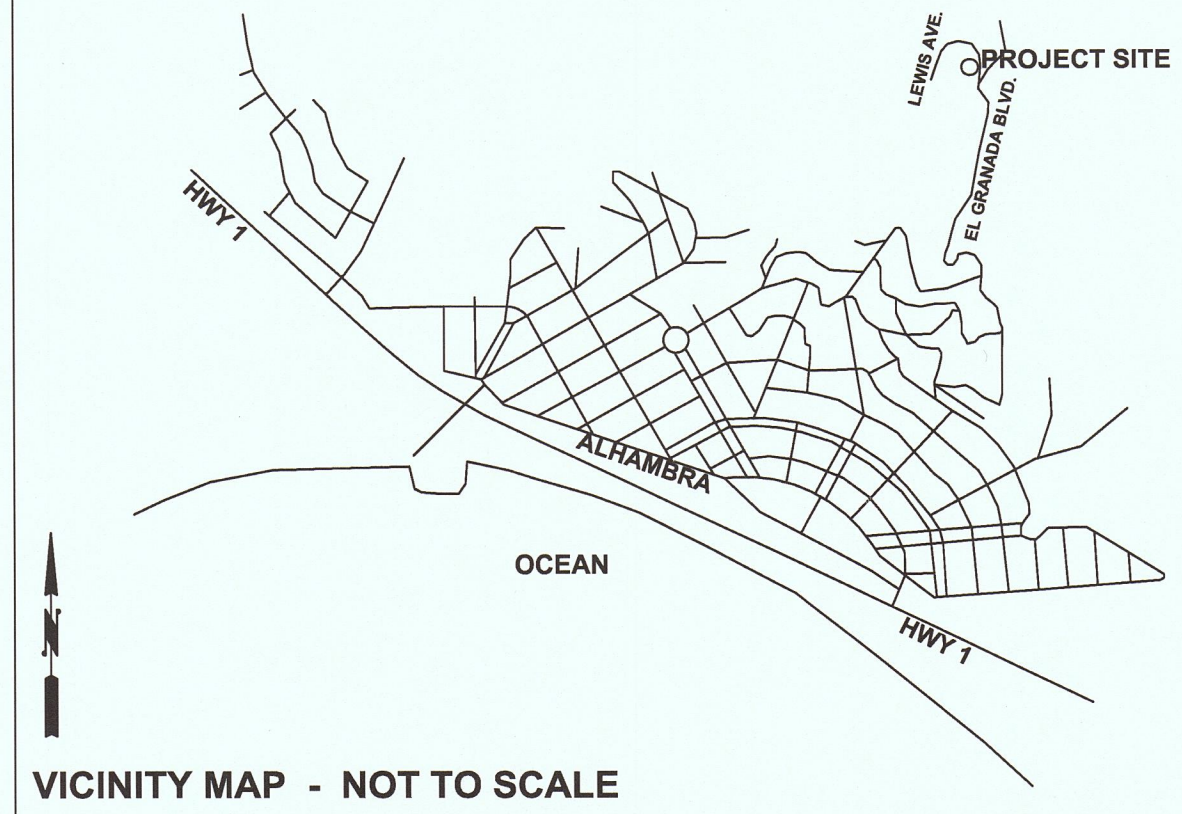
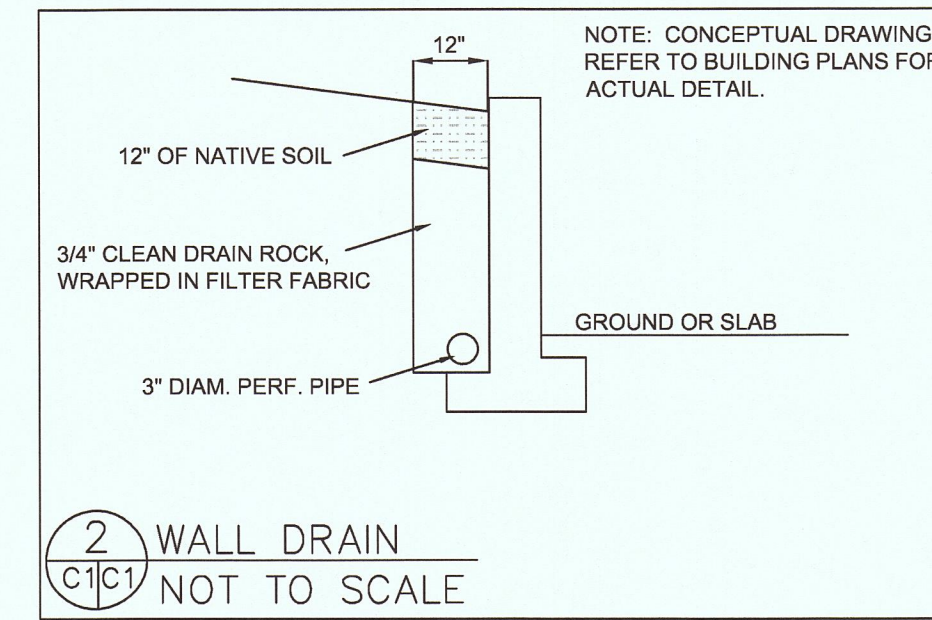
GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: MARK MACY, 315 LINDEN STREET, SAN FRANCISCO, CA 94102
2. TOPOGRAPHY BY SIGMA PRIME, BASED ON AN ASSUMED DATUM; SURVEYED OCTOBER 20, 2005.
3. PROPERTY BOUNDARIES ARE APPROXIMATE.
4. THIS IS NOT A BOUNDARY SURVEY.
5. VERTICAL DATUM ASSUMED.
6. LOCATION OF SEWER LINE IS INFERRED AS STRAIGHT LINE BETWEEN MANHOLES; ACTUAL LOCATION SHALL BE DETERMINED BY AN UNDERGROUND UTILITY LOCATOR.

GRADING NOTES

CUT VOLUME : 180 CY
 FILL VOLUME: 5 CY
 TOTAL: 185 CY CUT/FILL; 175 CY OFF-HAUL

1. ABOVE VOLUMES ARE APPROXIMATE.
2. MAXIMUM GRADIENT OF ANY MODIFIED SLOPES SHALL BE 2:1 (H:V).
3. ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
4. ALL TRENCHES IN PROPOSED LANDSCAPE AREAS SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



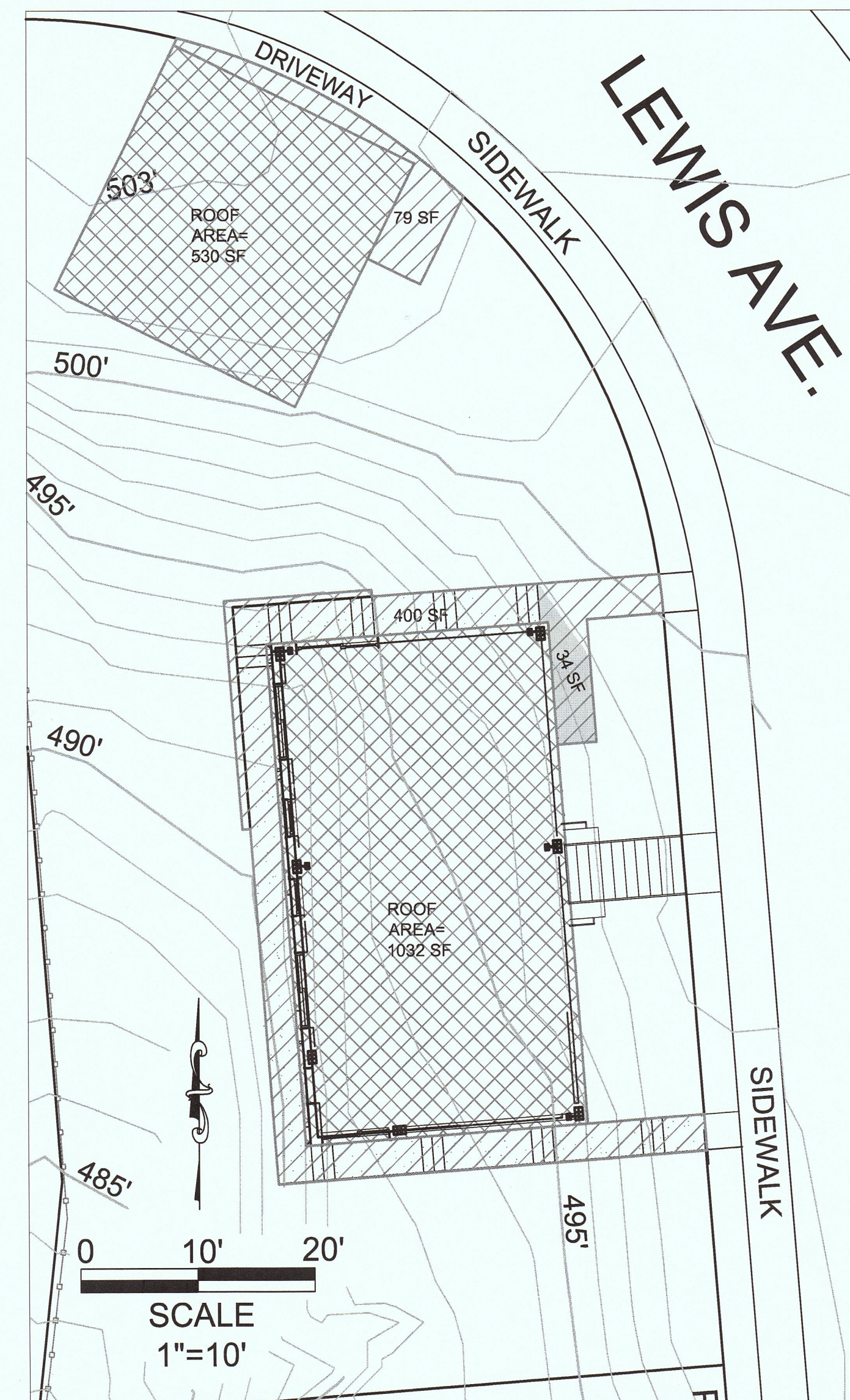
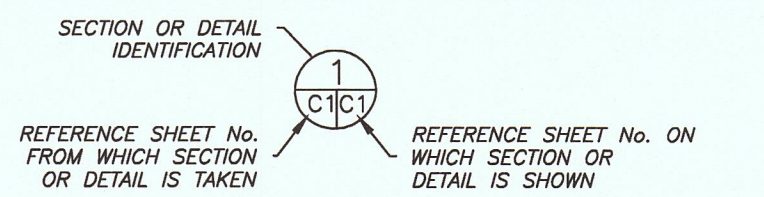
DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF AND DRIVEWAY RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS.
2. ALL ROOF DRAIN LINES SHALL LEAD TO DRY WELL SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 3" DIAMETER SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE RESPONSIBILITY OF THE OWNER TO MAINTAIN THE DRAINAGE SYSTEM. THE DRAIN PIPES AND DRY WELLS SHALL BE CHECKED EVERY FALL AND CLEARED OF DEBRIS.

TRAFFIC CONTROL NOTES

1. CONTRACTOR AND WORKERS SHALL PARK ALONG LEWIS AVENUE.
2. WHEN TRUCKS PARK IN STREET FOR DELIVERY OF SUPPLIES AND CONCRETE, EVERY EFFORT SHALL BE MADE TO PROVIDE ROOM FOR VEHICLES TO PASS. WORKERS SHALL PROVIDE TRAFFIC CONTROL AT ALL TIMES WHEN ROAD IS PARTIALLY BLOCKED.
3. IF ROAD IS BLOCKED, WORKERS SHALL PROVIDE WRITTEN DIRECTIONS FOR A DETOUR, IF REQUESTED BY A MOTORIST.

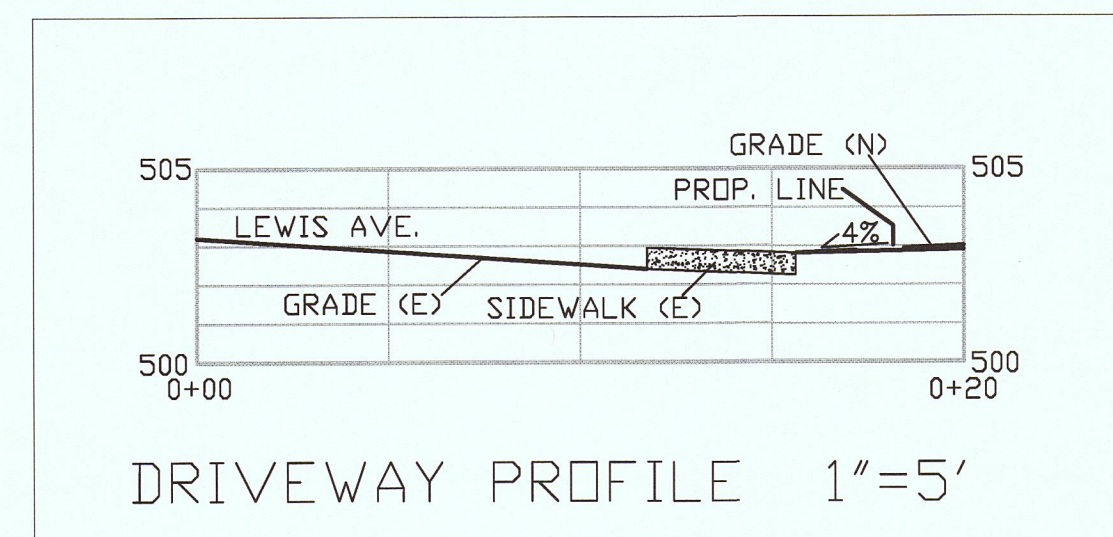
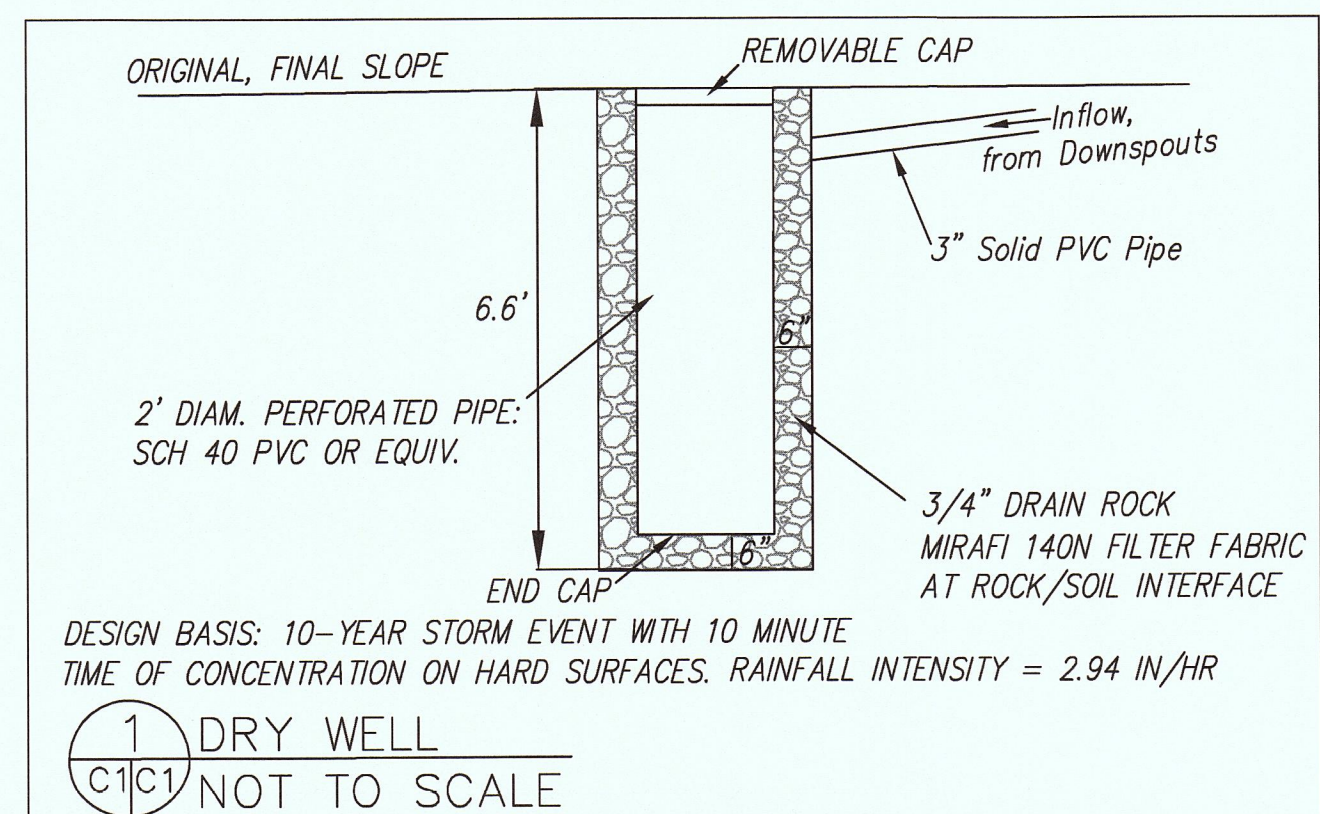
SECTION AND DETAIL CONVENTION



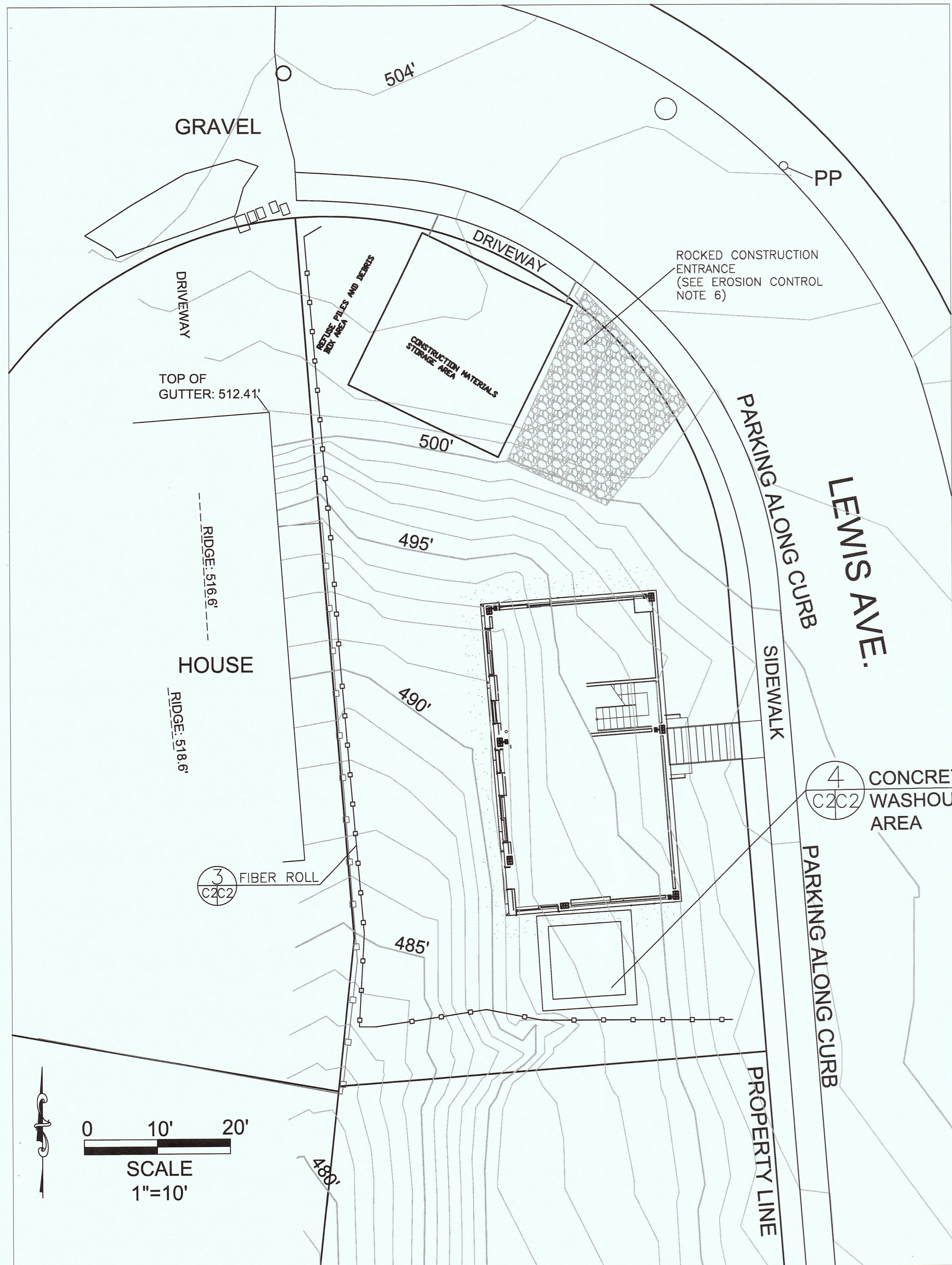
- PAVED AREAS THAT FLOW TO LANDSCAPING OR STREET: AREA = 479 SF
- ROOFED AREAS THAT FLOW TO DRY WELL: AREA = 1032+530 = 1,562 SF
- PAVED AREA OVER 18" HIGH: AREA = 34 SF

ALLOWABLE IMPERVIOUS AREA=10% OF LOT AREA = 593.4 SF (EXCLUDES IMPROVEMENTS OVER 18" HIGH, SUCH AS ROOF AND RAISED DRIVEWAY)

TOTAL IMPERVIOUS AREA = 2041 SF
 IMPERVIOUS AREAS HIGHER THAN 18" = 1562+34 = 1596 SF
 IMPERVIOUS AREAS LOWER THAN 18" = 479-34 = 445 SF



Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 726-5580 FAX: 726-5585					
DATE: 10-12-16	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE:	REV. DATE:	REV. DATE:
GRADING AND DRAINAGE PLAN MACY PROPERTY LEWIS AVENUE EL GRANADA, CALIFORNIA APN: 047-152-230					
SHEET C-1					



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: MARK MACY
 TITLE/QUALIFICATION: OWNER
 PHONE: 415-551-7630
 E-MAIL: MARKM@MACYARCHITECTURE.COM

• USE OF PLASTIC SHEETING BETWEEN OCTOBER 1st AND APRIL 30th IS NOT ACCEPTABLE UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.

GENERAL EROSION AND SEDIMENT CONTROL NOTES

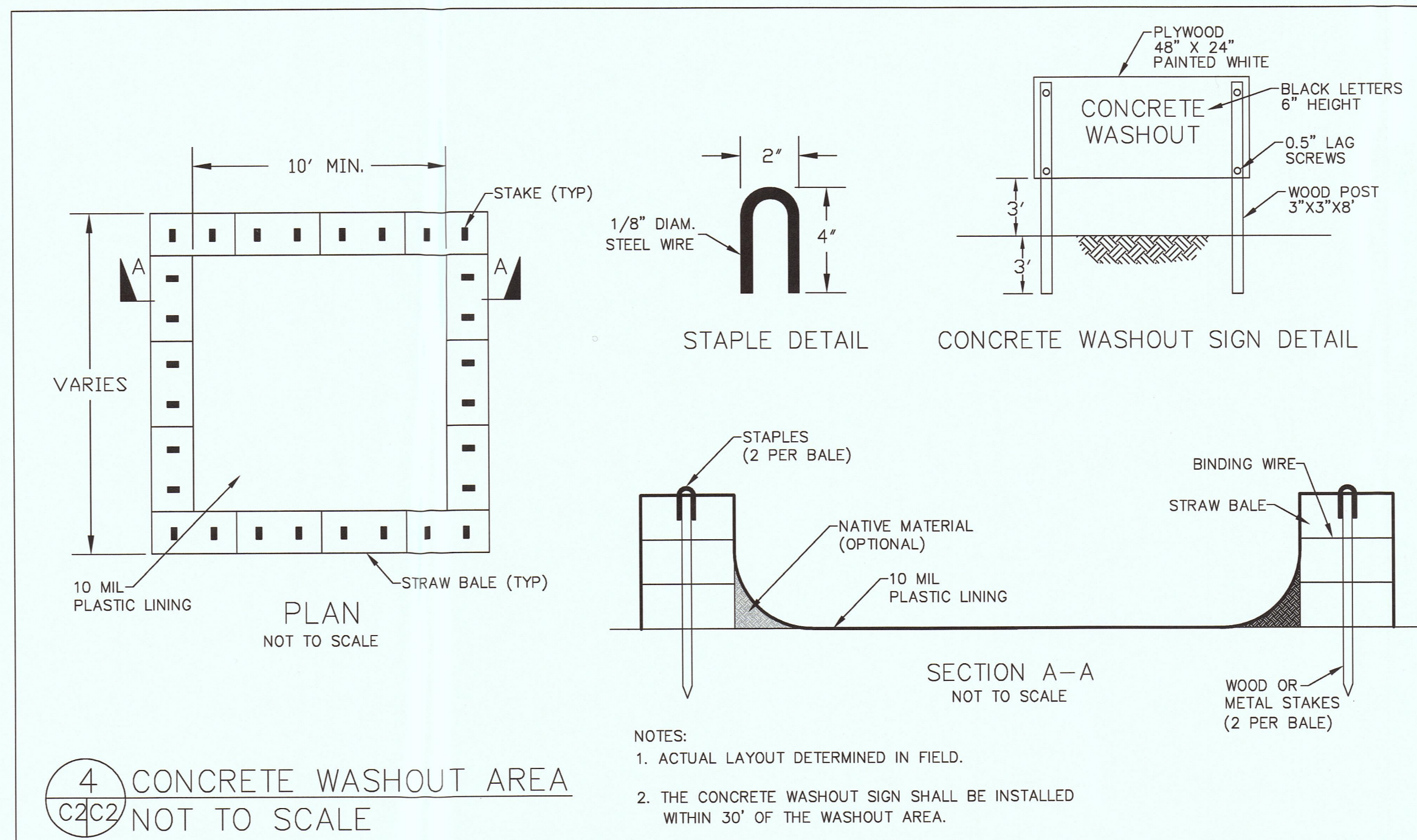
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.



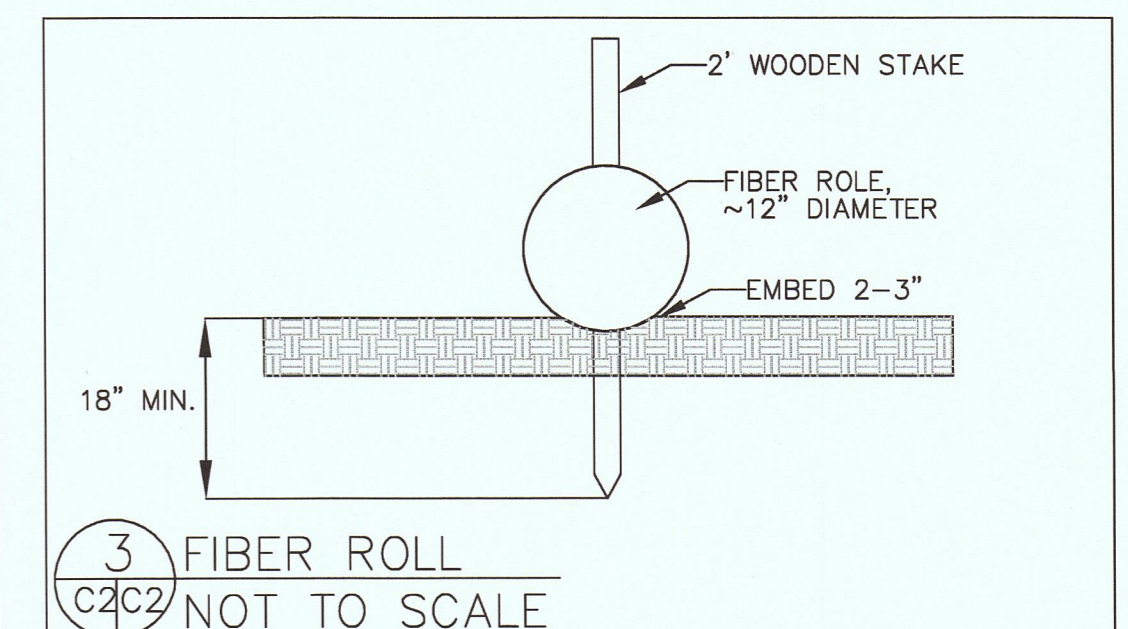
EROSION CONTROL NOTES

FIBER ROLL
 INSTALL AT LOCATIONS SHOWN.
 AFFIX AS SHOWN IN DETAIL 3.

1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 20 FEET LONG BY 17 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 4 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.



4 CONCRETE WASHOUT AREA
 NOT TO SCALE



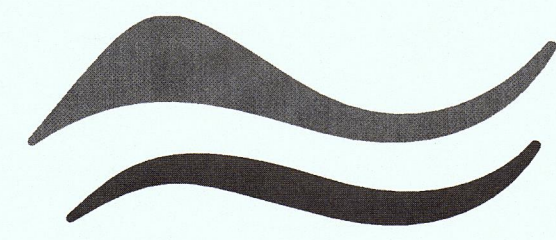
3 FIBER ROLL
 NOT TO SCALE

DATE: 10-12-16
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: _____
 REV. DATE: _____
 REV. DATE: _____

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 726-3560
 FAX 726-3595

EROSION CONTROL PLAN
 MACY PROPERTY
 LEWIS AVENUE
 EL GRANADA, CALIFORNIA
 APN: 047-152-230

SHEET
 C-2

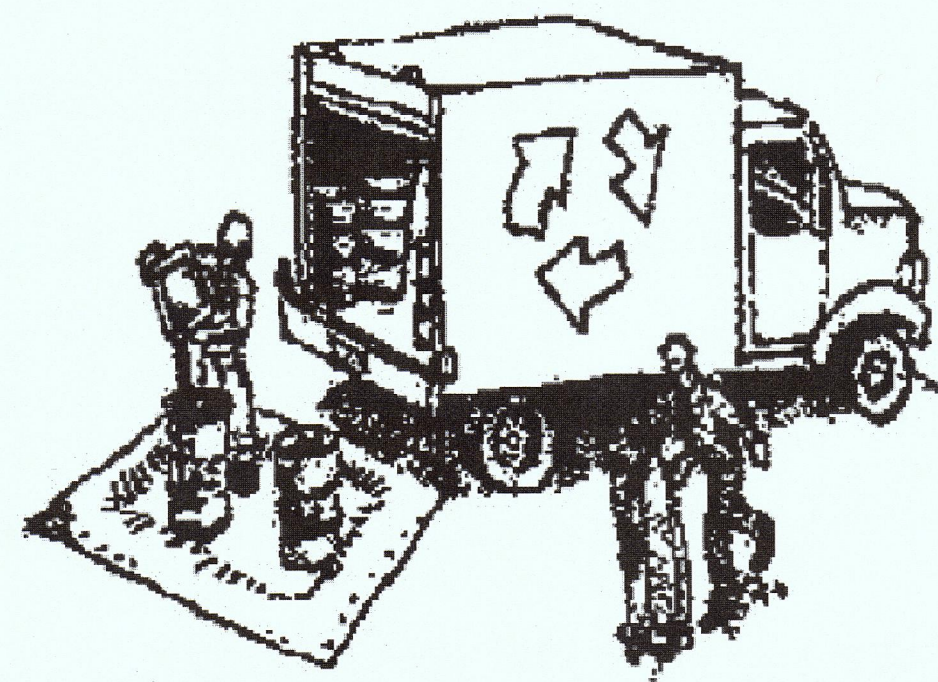


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



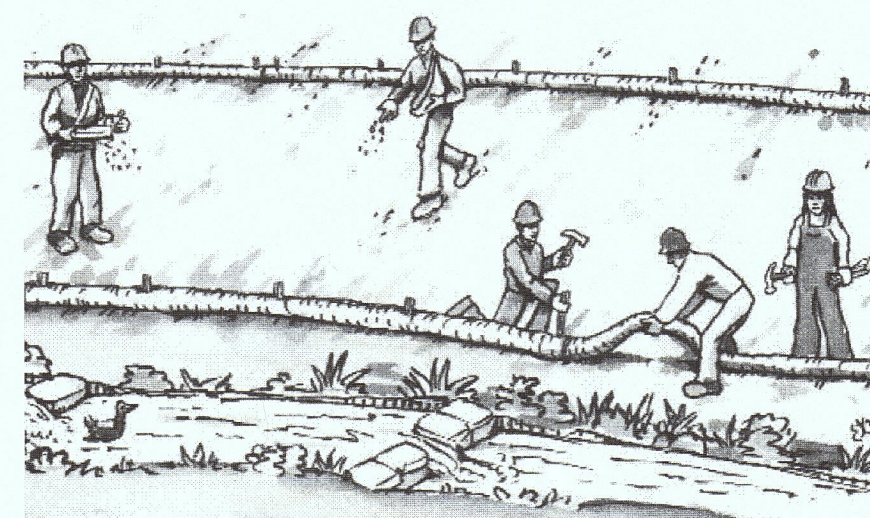
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

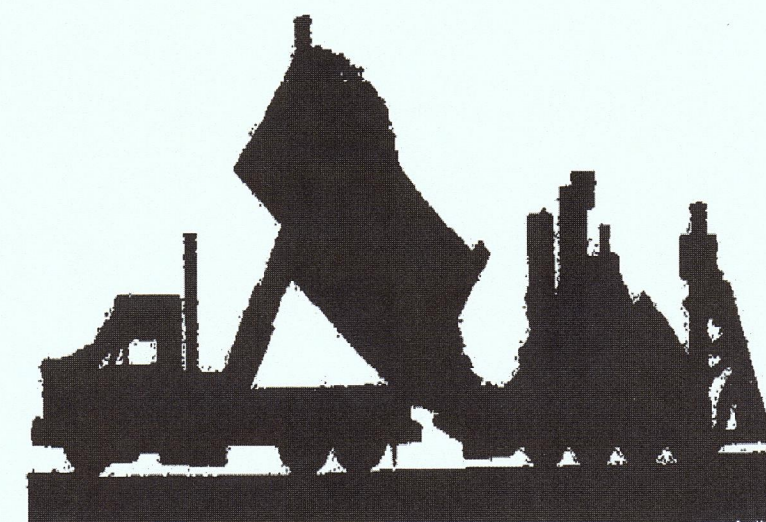


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

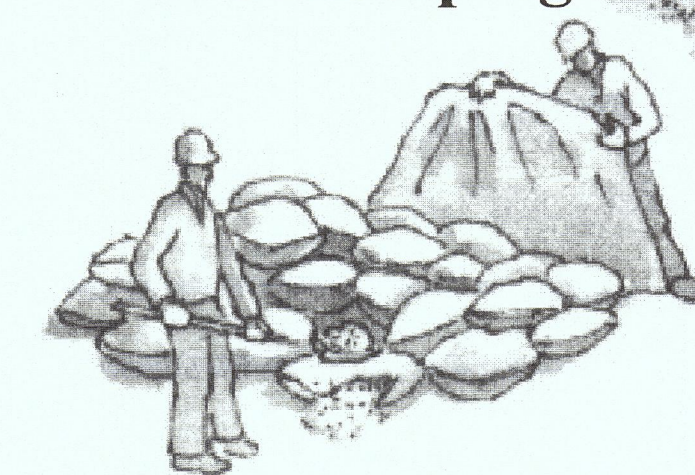
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



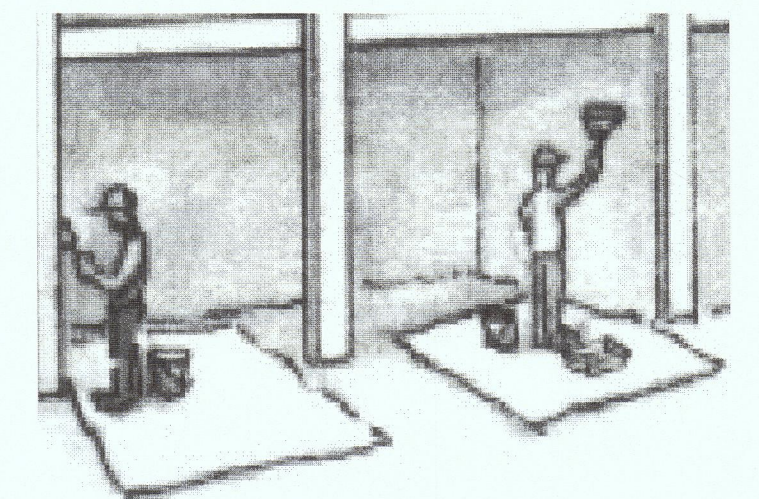
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

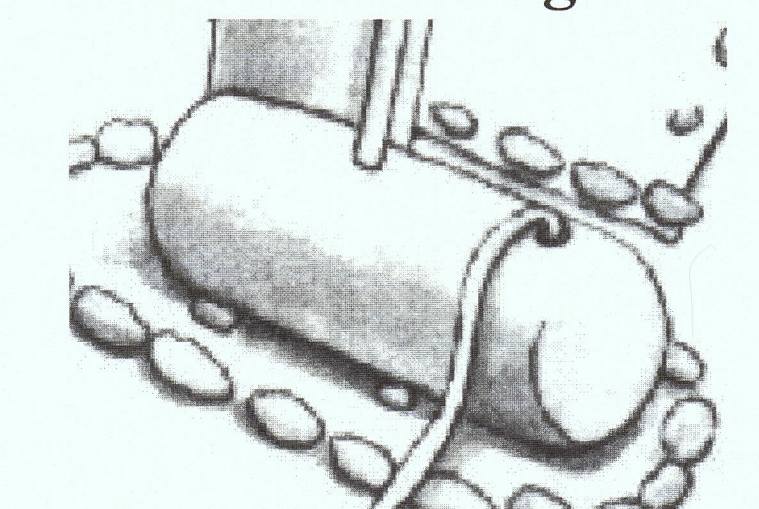
Painting & Paint Removal



Painting Cleanup and Removal

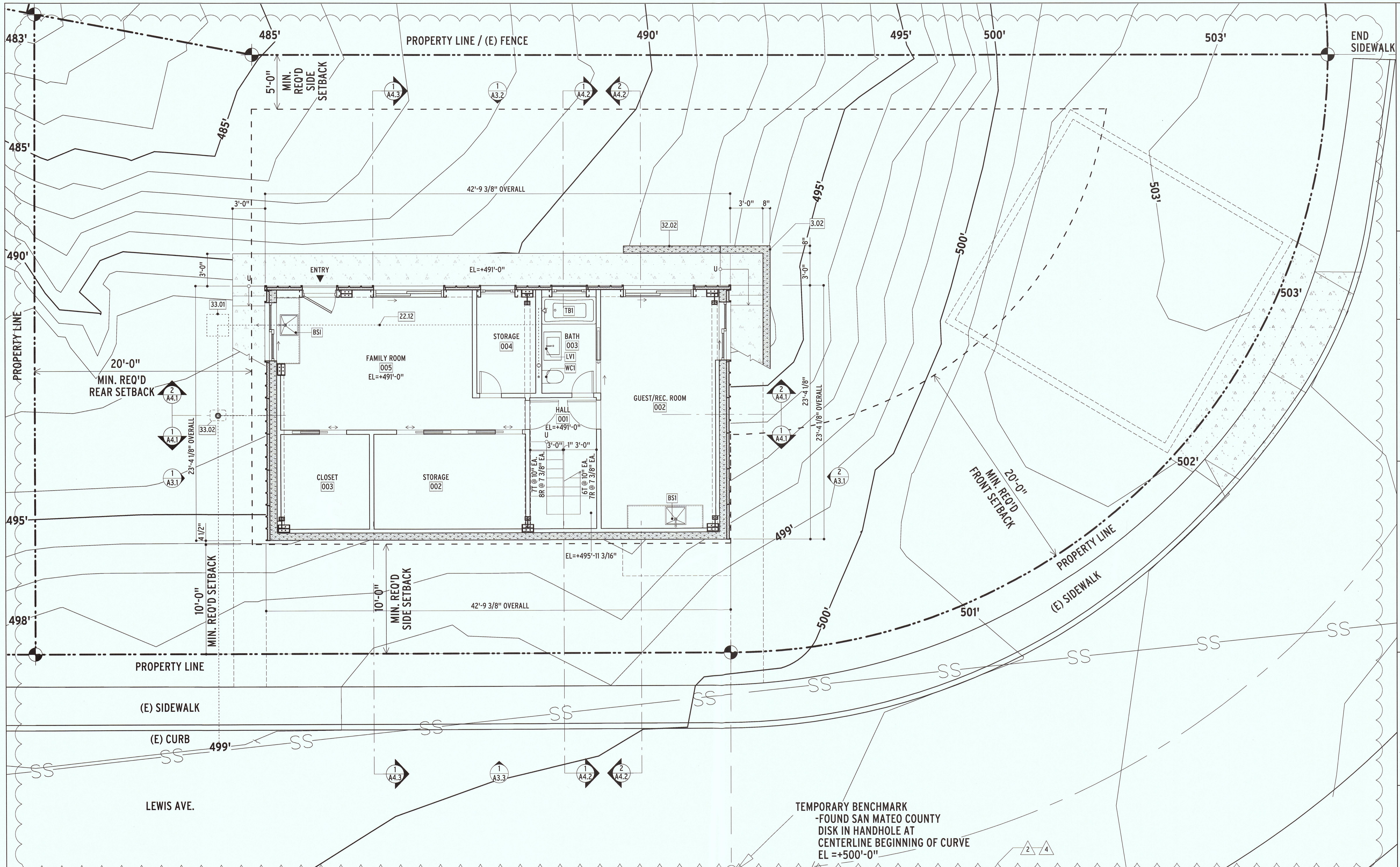
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



1 BASEMENT FLOOR PLAN
1/4" = 1'-0"

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ARCHITECTURE**

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CONSULTANTS

PROJECT
MACY FAMILY HOME
121 LEWIS AVENUE
APN #047-52-230
EL GRANADA, CA 94019

ISSUES / REVISIONS

06/13/16	△
08/02/16	△
08/08/16	△
10/12/16	△
11/10/16	△

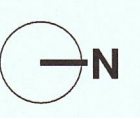
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BASEMENT FLOOR PLAN

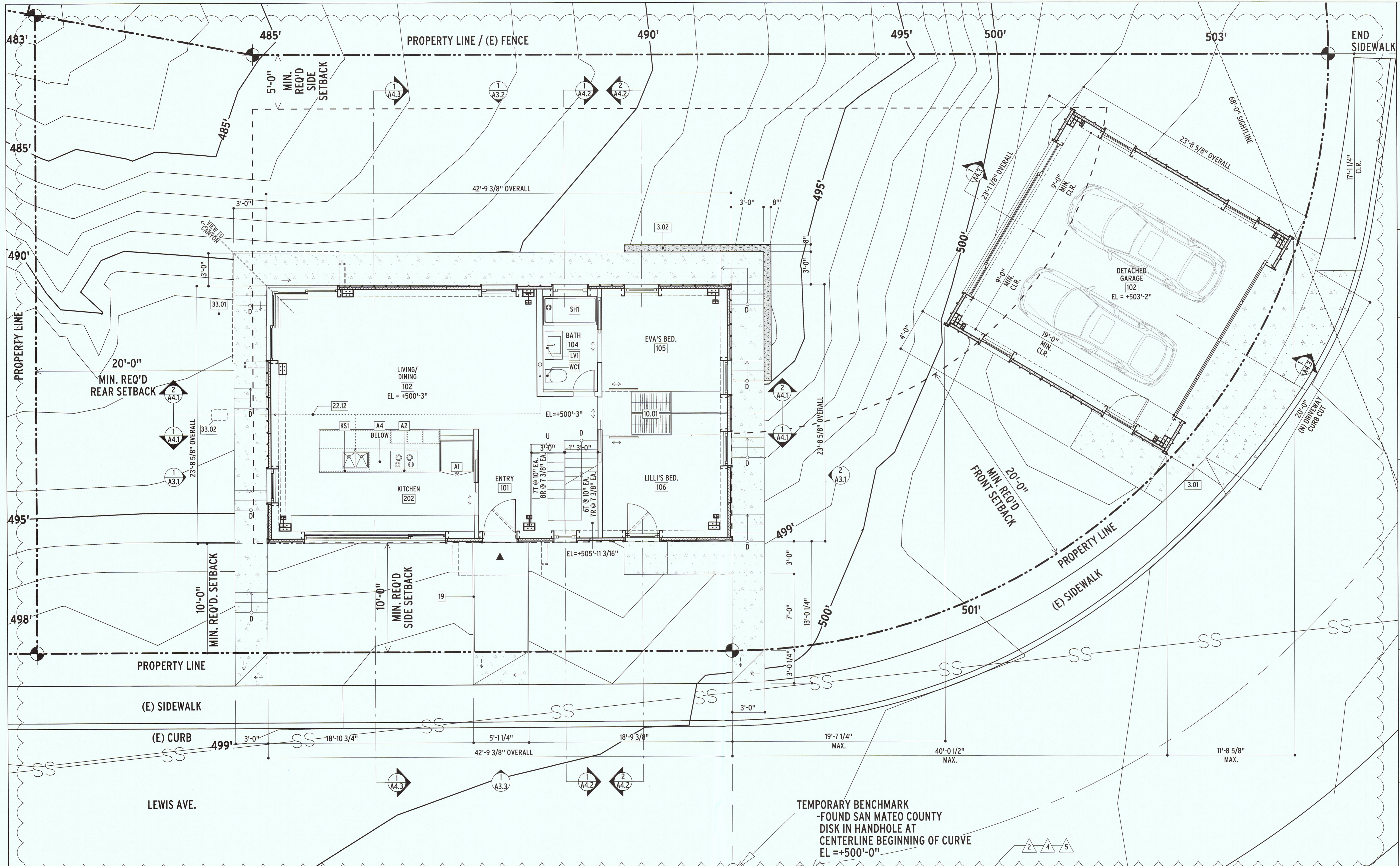
DATE	11/10/2016
PHASE	PLANNING SUBMITTAL
SCALE	1/4" = 1'-0"

SHEET

A2.1

KEYED NOTES : SHEET A0.1



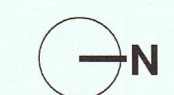


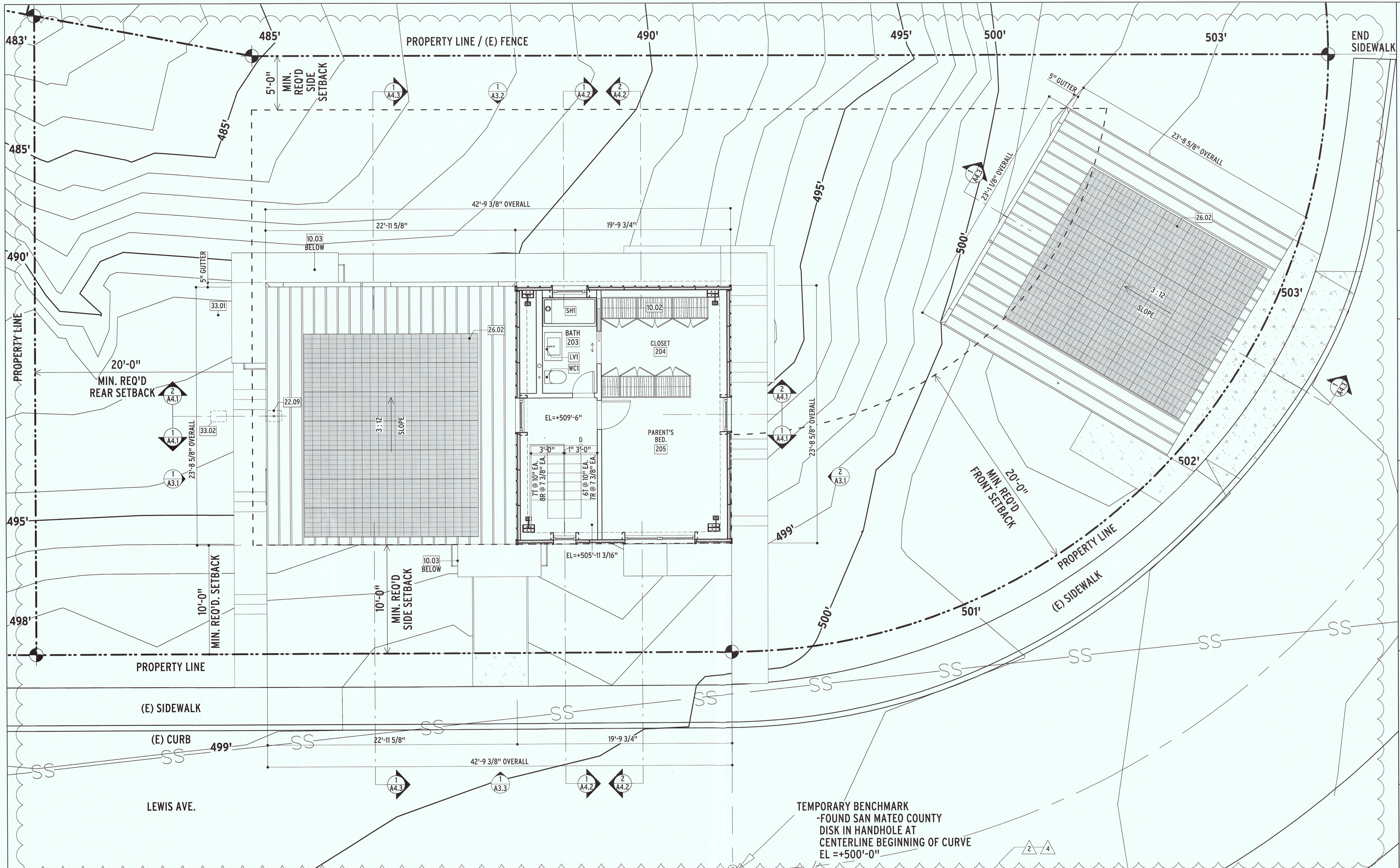
1 FIRST FLOOR PLAN
1/4" = 1'-0"

TEMPORARY BENCHMARK
-FOUND SAN MATEO COUNTY
DISK IN HANDHOLE AT
CENTERLINE BEGINNING OF CURVE
EL = +500'-0"

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PROJECT	<p>MACY FAMILY HOME 121 LEWIS AVENUE EL GRANADA, CA 94019</p>										
ISSUES / REVISIONS	<table border="1"> <tr> <td>1</td> <td>06/13/16</td> </tr> <tr> <td>2</td> <td>08/02/16</td> </tr> <tr> <td>3</td> <td>08/08/16</td> </tr> <tr> <td>4</td> <td>10/12/16</td> </tr> <tr> <td>5</td> <td>11/10/16</td> </tr> </table>	1	06/13/16	2	08/02/16	3	08/08/16	4	10/12/16	5	11/10/16
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SHEET TITLE	FIRST FLOOR PLAN										
DATE	11/10/2016										
PHASE	PLANNING SUBMITTAL										
SCALE	1/4" = 1'-0"										
SHEET	A2.2										

KEYED NOTES - SHEET A0.1





1 SECOND FLOOR PLAN
1/4" = 1'-0"

TEMPORARY BENCHMARK
-FOUND SAN MATEO COUNTY
DISK IN HANDHOLE AT
CENTERLINE BEGINNING OF CURVE
EL = +500'-0"

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121 LEWIS AVENUE

ISSUES / REVISIONS

DATE	PHASE	SCALE
11/01/2016	PLANNING SUBMITTAL	1/4" = 1'-0"

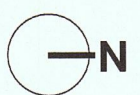
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SECOND FLOOR PLAN

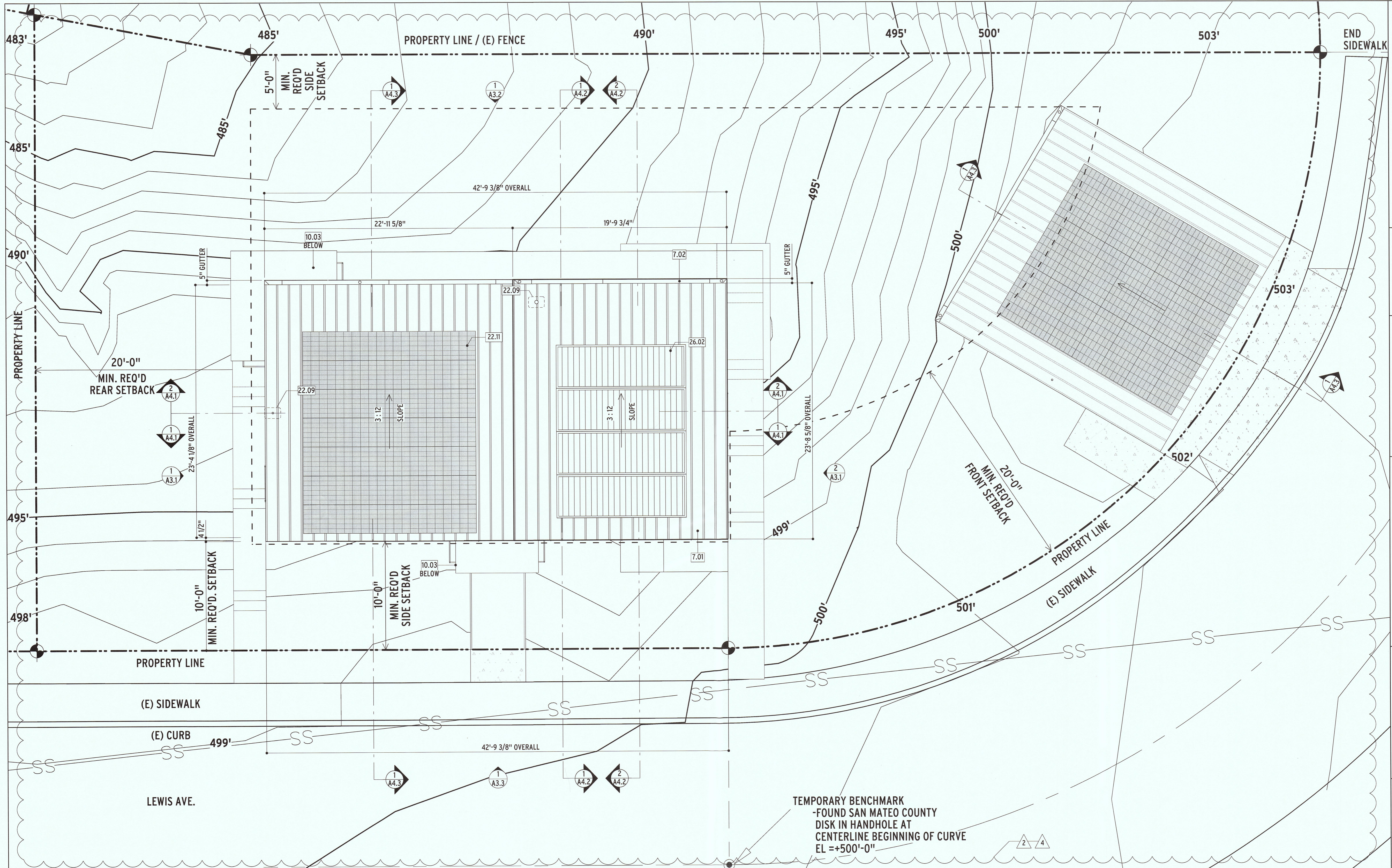
SHEET
A2.3

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KEYED NOTES : SHEET A0.1





1 ROOF PLAN
1/4" = 1'-0"

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ISSUES / REVISIONS

NO.	DATE	DESCRIPTION
1	06/13/16	ISSUE
2	08/02/16	REVISION
3	08/08/16	REVISION
4	07/21/16	REVISION
5	11/10/16	REVISION

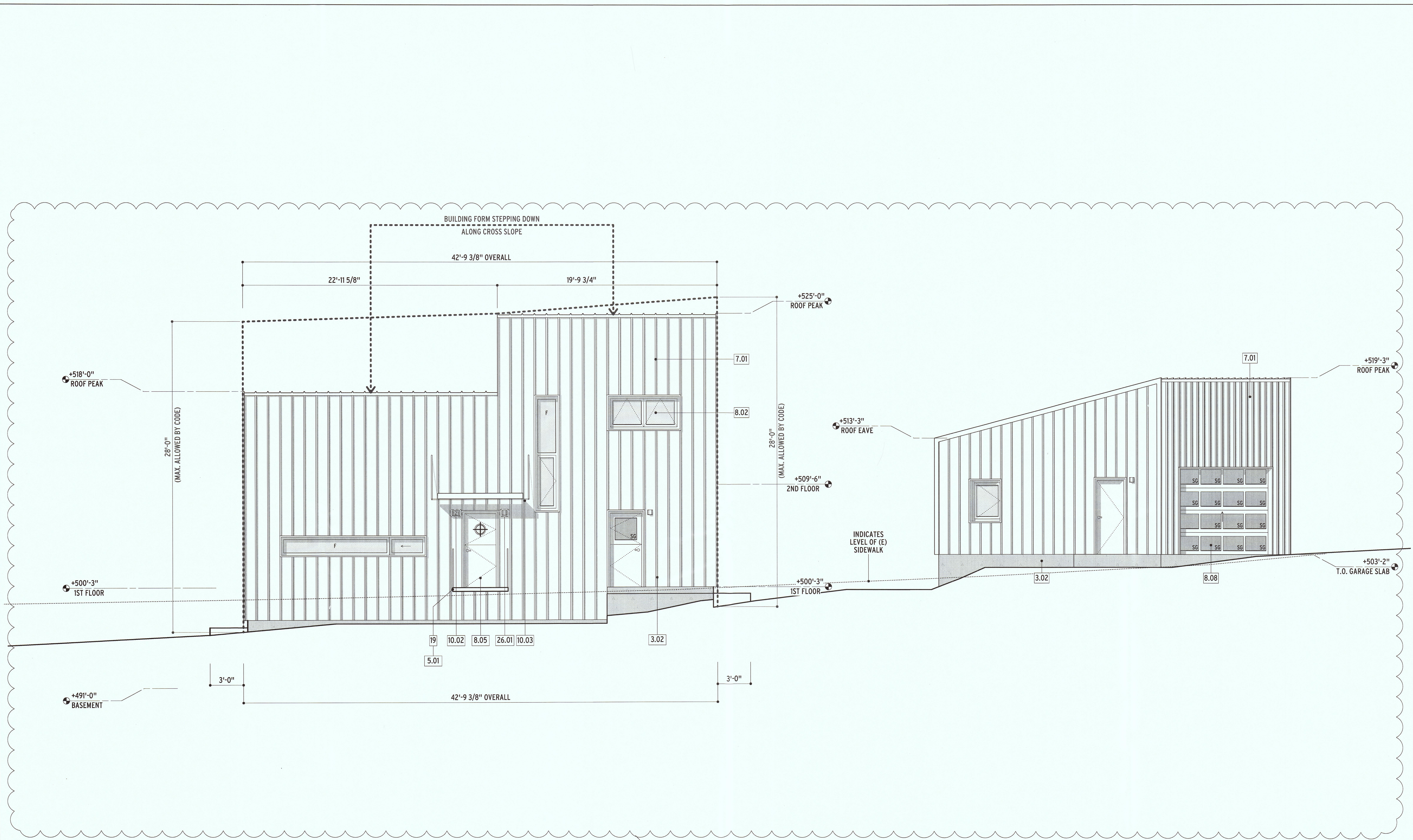
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ROOF PLAN

DATE: 11/10/2016
PHASE: PLANNING SUBMITTAL
SCALE: 1/4" = 1'-0"

SHEET
A2.4

KEYED NOTES : SHEET A0.1





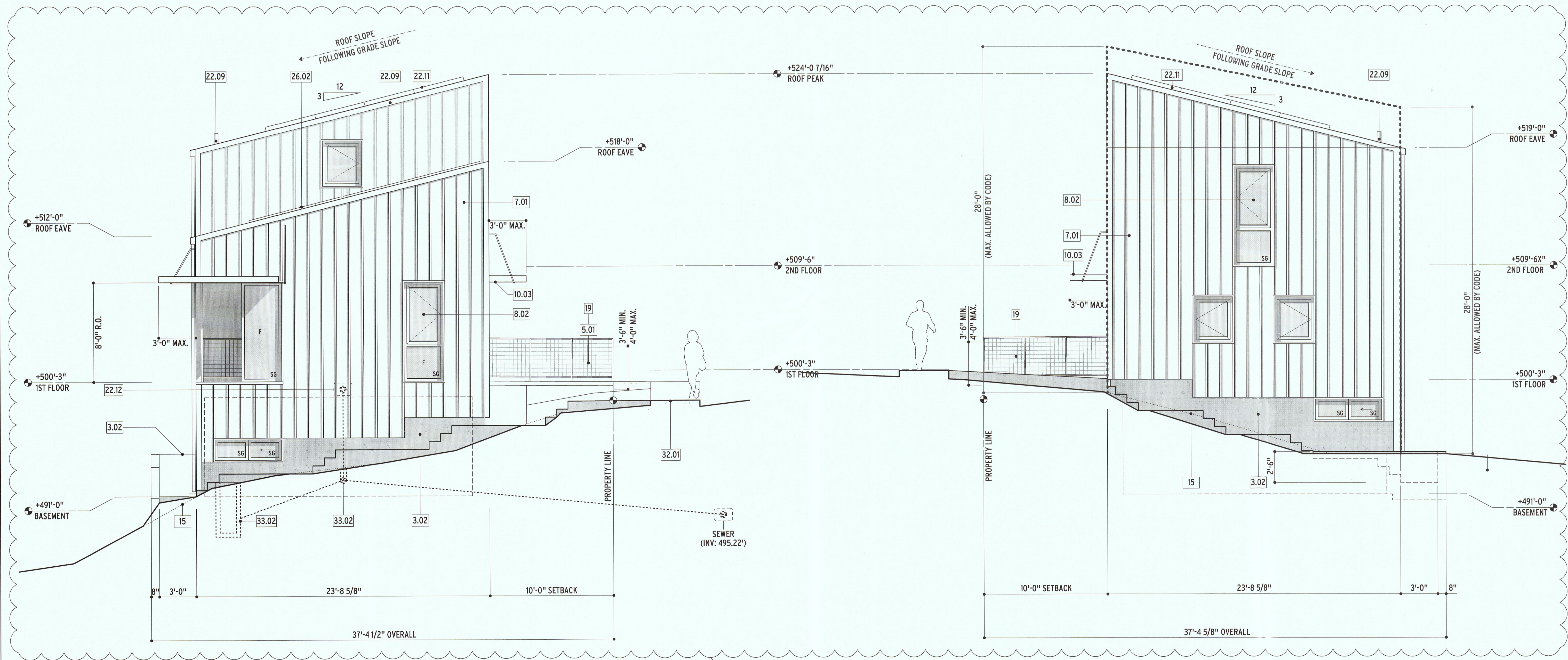
1 EAST ELEVATION
1/4" = 1'-0"

2 4

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PROJECT	MACY FAMILY HOME 121 LEWIS AVENUE APN H007-152-230 EL GRANADA, CA 94019										
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SHEET TITLE	EXTERIOR ELEVATIONS										
DATE	11/10/2016										
PHASE	PLANNING SUBMITTAL										
SCALE	1/4" = 1'-0"										
SHEET	A3.1										

KEYED NOTES : SHEET A0.1



1 SOUTH ELEVATION
 1/4" = 1'-0"

2 NORTH ELEVATION
 1/4" = 1'-0"

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ISSUES / REVISIONS

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△	10/12/16
△	11/01/16

SHEET TITLE
EXTERIOR ELEVATIONS

DATE	11/01/2016
PHASE	PLANNING SUBMITTAL
SCALE	1/4" = 1'-0"

SHEET
A3.3

KEYED NOTES : SHEET A0.1

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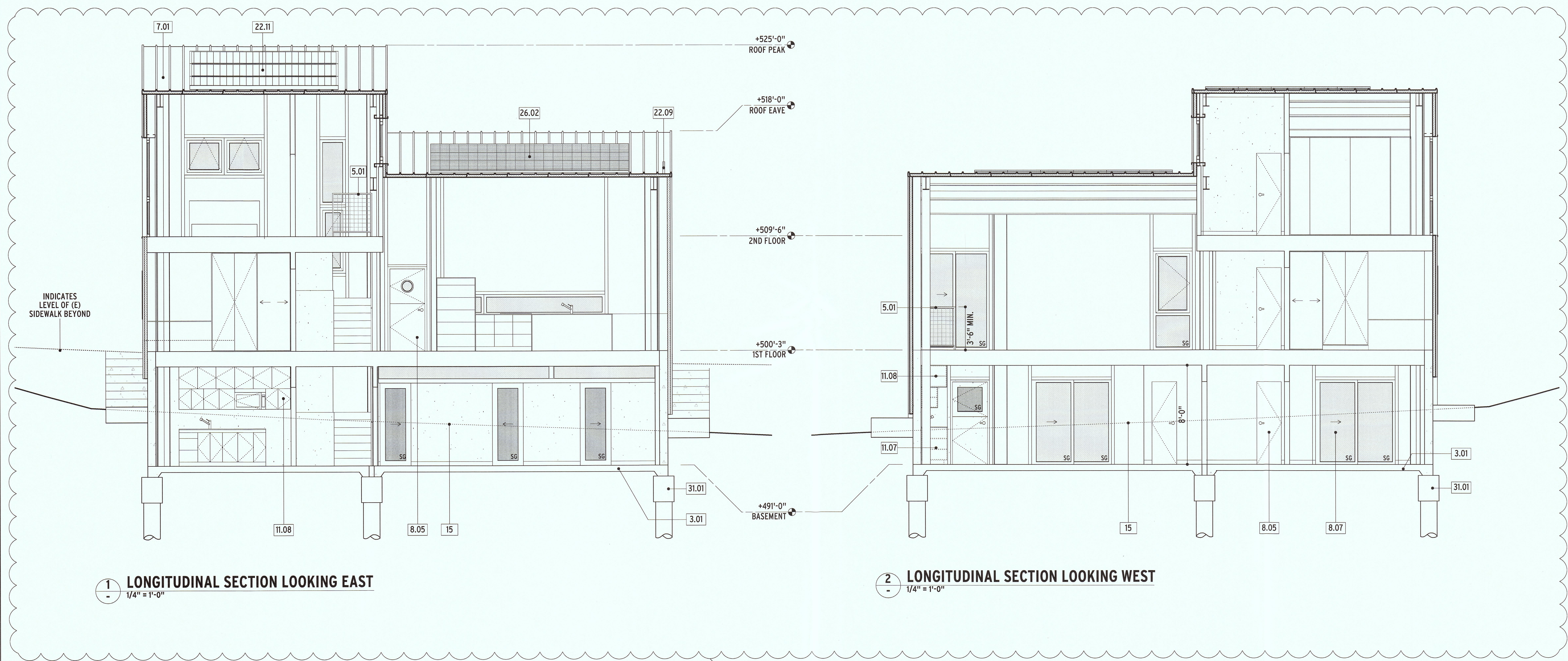
ISSUES / REVISIONS

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SHEET TITLE
LONGITUDINAL SECTIONS

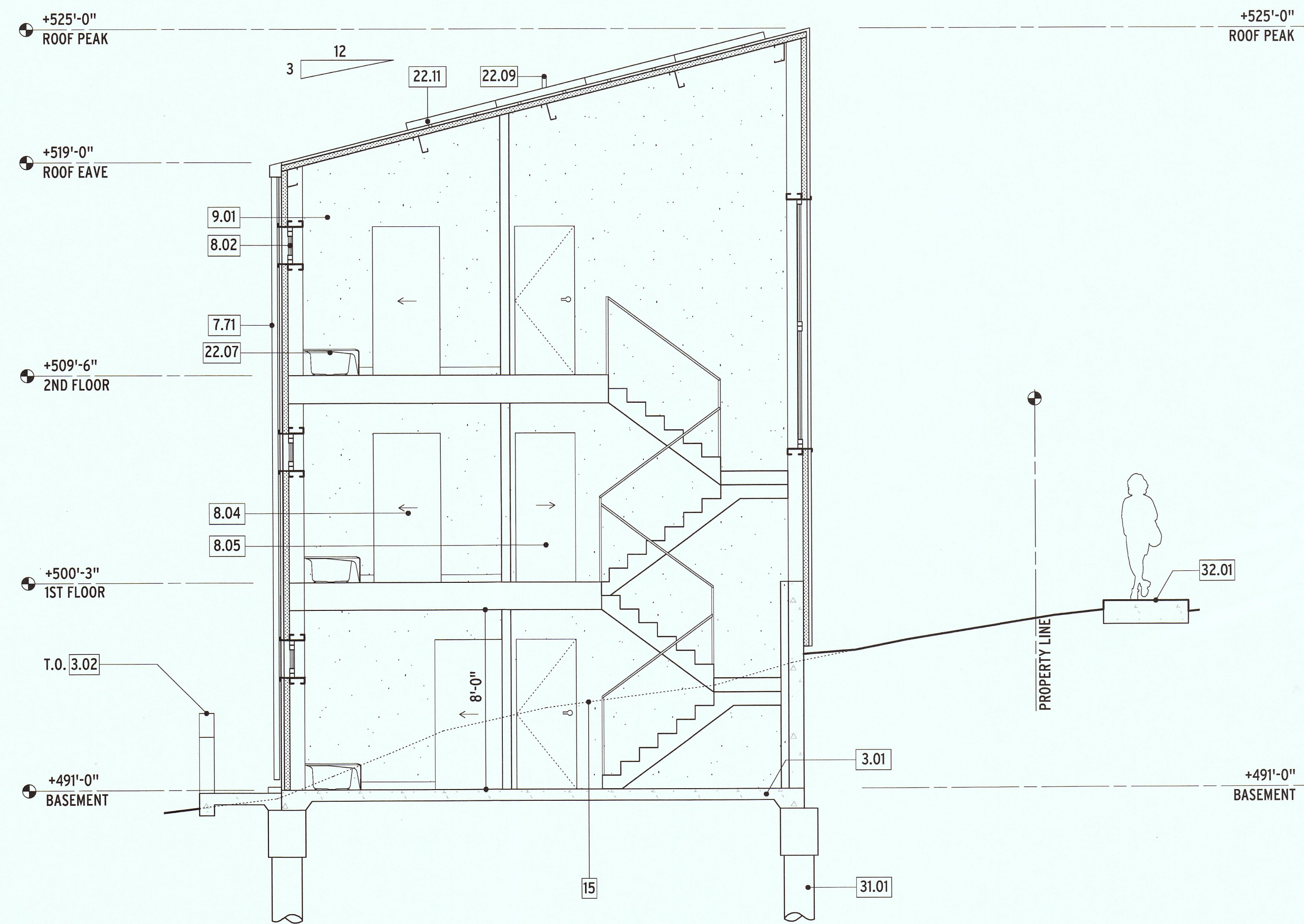
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SHEET
A4.1

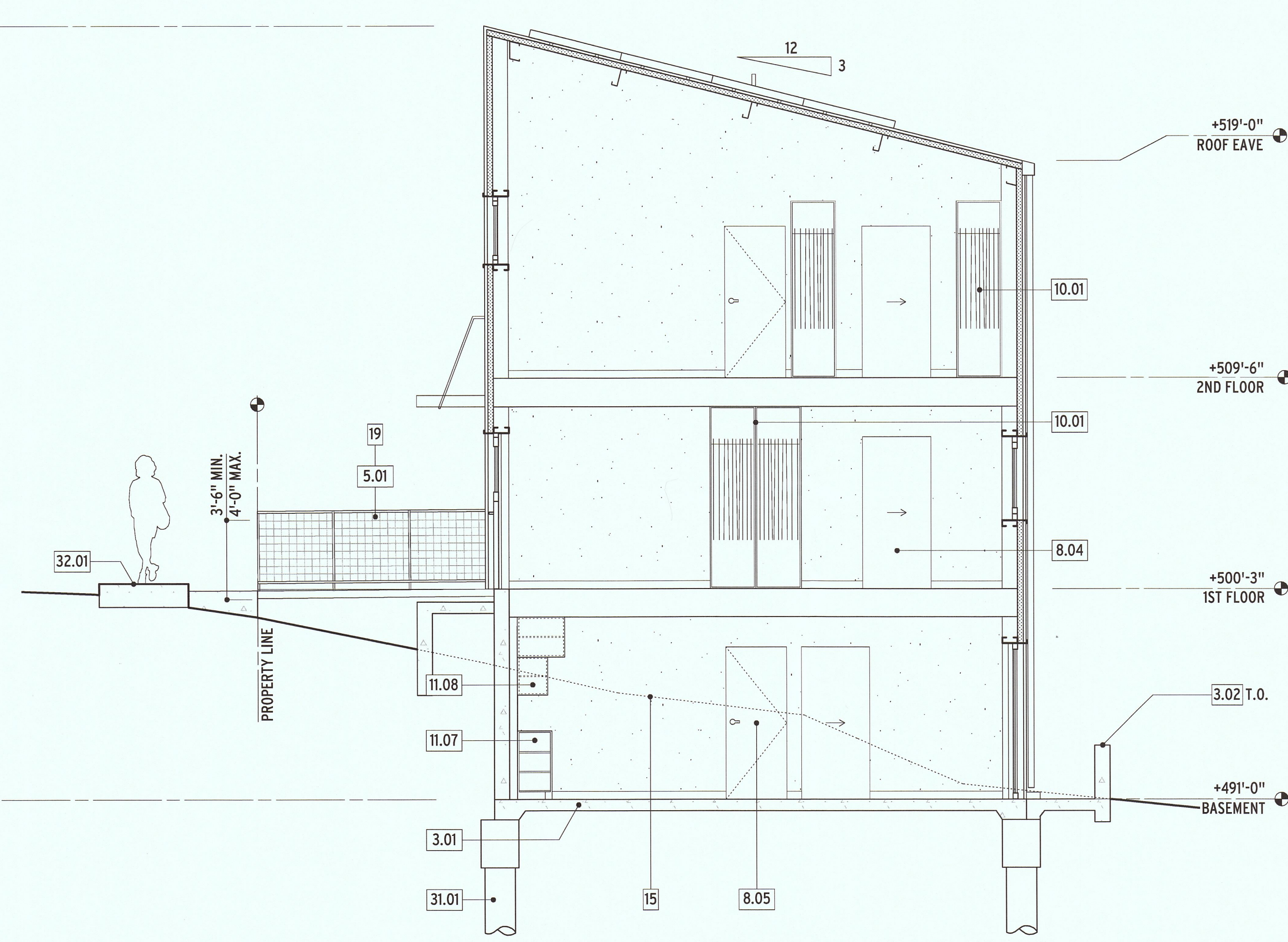


1 LONGITUDINAL SECTION LOOKING EAST
 1/4" = 1'-0"

2 LONGITUDINAL SECTION LOOKING WEST
 1/4" = 1'-0"



1 TRANSVERSE SECTION LOOKING NORTH AT STAIRS
1/4" = 1'-0"



2 TRANSVERSE SECTION LOOKING SOUTH
1/4" = 1'-0"

2/4

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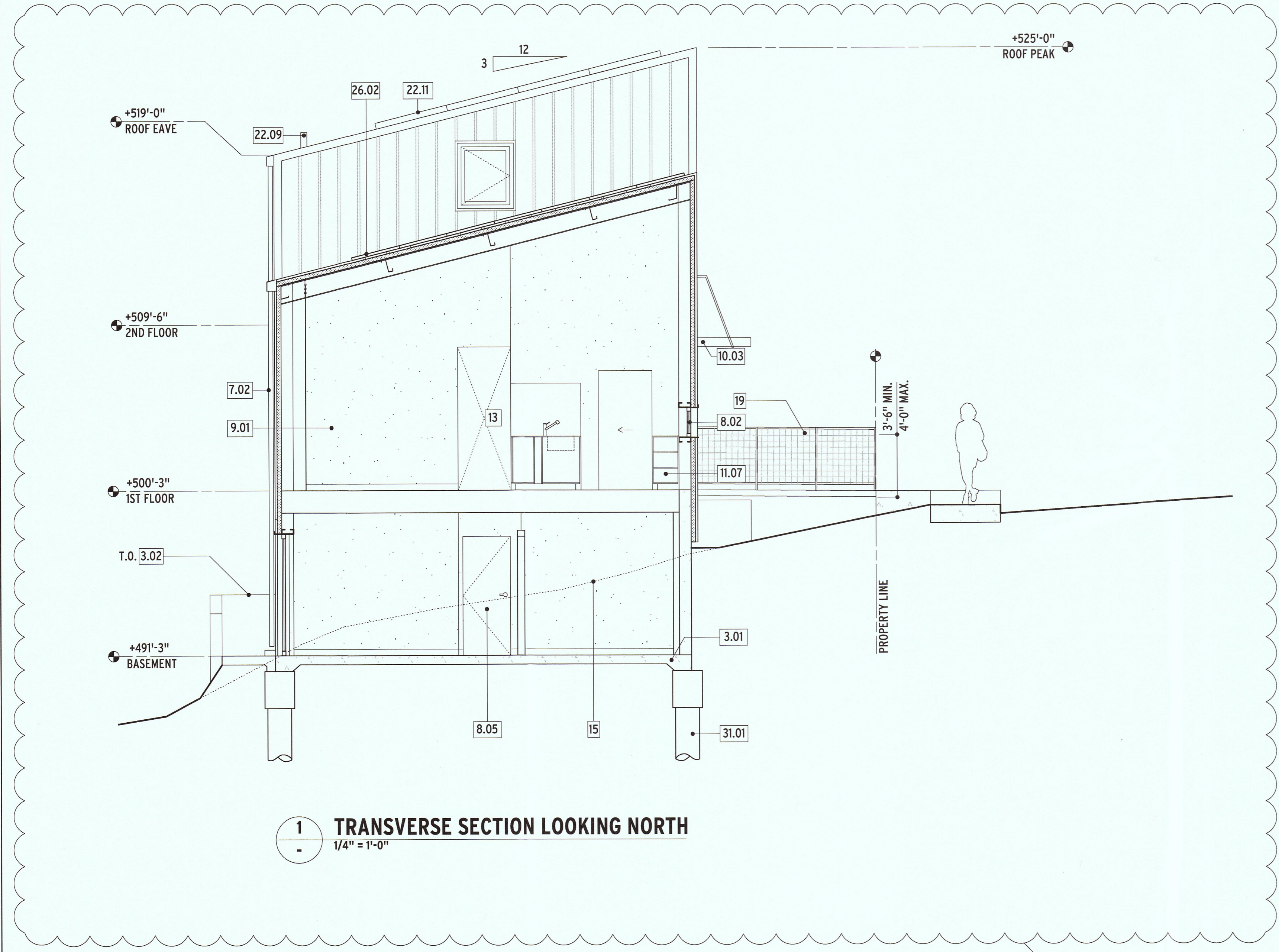
CROSS SECTIONS

DATE	11/10/2016
PHASE	PLANNING SUBMITTAL
SCALE	1/4" = 1'-0"

SHEET

A4.2

KEYED NOTES : SHEET A0.1



1 TRANSVERSE SECTION LOOKING NORTH
 1/4" = 1'-0"

SHEET	A4.3	
	KEYED NOTES : SHEET A0.1	
SHEET TITLE	CROSS SECTION	
DATE	11/10/2016	PLANNING SUBMITTAL
PHASE	SCALE 1/4" = 1'-0"	
ISSUES / REVISIONS	06/13/16 08/02/16 08/08/16 10/12/16 11/10/16	
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08/02/16		
08/08/16		
10/12/16		
11/07/16		

SHEET TITLE

**CROSS SECTION AND
 DRIVEWAY DETAILS**

A4.4

KEYED NOTES : SHEET A0.1

