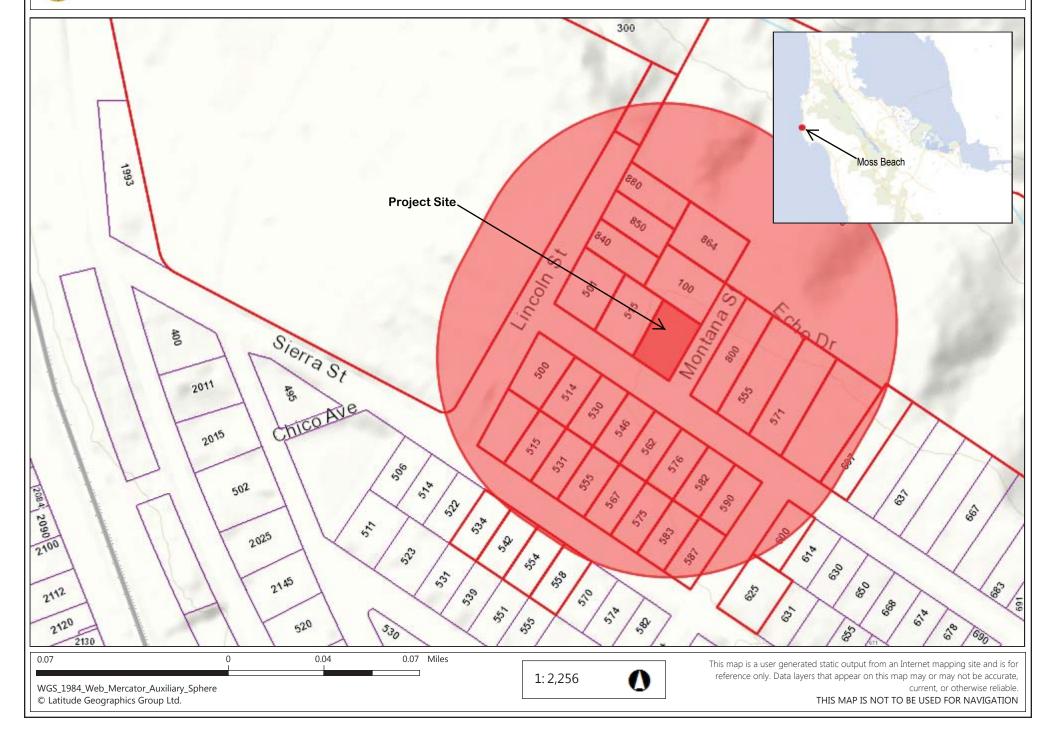
Project Site: Buena Vista Street and Montana Street, Moss Beach

Property Owner: David and Rebecca Jackson Trust

APN: 037-061-060



Application for SEP 167 Design Review by the	County Government Center # 455 County Center # Redwood City CA 94063
County Coastside Designg D Review Committee	Other Permit #: PREZ015-00049
Applicant:	Owner (if different from Applicant):
Name: TOBY LONG ALLA	Name: DAVID & REBECCA Actson
Address: 6114 LA SALLE AVE#552	Address: 755 DAGE MILLO #8-7
BAKLAND CA Zip: 14611	DALO ARTO CA ZIP: 94214
Phone, W: 510 333 3447	Phone, W: 601 - 396 - 0234
Email: toby to toby long design. com	Email: RED. RAD. 144 6 Ahra. 1. can
Architect or Designer (if different from Applicant):	3,320
Name:	Anniem+
Address:	Zio:
Phone,W: H:	Email:
	I
Project location:	Site Description:
APN: 037-061-060	Vacant Parcel
Address: O BUENA VISTA 54.	☐ Existing Development (Please describe):
Moss BEACH CA Zip: 14038	
coning: R-1/5-17/DR/CD	
Parcel/lot size: 6916 sq. ft.	de 2 Maha an angar pan 2 ann an angar pan 2 ann an ann an an an an an an an an an a
Project:	Additional Permits Required:
New Single Family Residence: 3,067 sq. ft	☐ Certificate of Compliance Type A or Type B
Addition to Residence: sq. ft	Coastal Development Permit
Other:	☐ Fence Height Exception (not permitted on coast)
) 2	☐ Grading Permit or Exemption
Describe Project:	<ul><li>Home Improvement Exception</li></ul>
NEW SINGLE PAYMILY HOME	☐ Non-Conforming Use Permit
WITH DETACHED GARAGE	☐ Off-Street Parking Exception
	□ Variance
ľ	

Fill in Blanks:	Material	Color/Finish	Check if matches existing
	Streeo 1	(If different from existing, attach samp	le)
a. Exterior walls	as comet wood siding	NATURAL STAINED	
b. Trim	ALUMINIUM REGLETS	ANNODIED	
c. Windows	ALLMINIUM '	BLACK	
d. Doors	FIBELGUASS	WOOD PEXTURE	
e. Roof	SHIMILES (comp.)	4 rety.	, <b>0</b>
r. Chimneys	COLD HOUSED STORE	And the state of the state of	
g. Decks & railings	CABLE RAIL	* * * * * * * * * * * * * * * * * * * *	
h. Stairs	WOOD	STAINED	\
i. Retaining walls			·
j. Fences	Webs	SHINE	, n,
k. Accessory buildings			
I. Garage/Carport _	STYCLO	NANM	
ncluding the required findir pplicable to the location of	the County must determine that this projectings that the project does conform to the stathe project pursuant to Section 6565.10.  Statement of project compliance with standard	ndards and guidelines for design r	review
apport of the application is	mation stated above and on forms, plans, a true and correct to the best of my knowled ned project planner of any changes to info	ge, It is my//esponsibility to inform	the County of

Owner:

Date:

San Mateo County

### <u> Panning and Suilding Department</u> Certificate of Exemption #455-Gounty Center, 2nd Floor - Redwood City, CA - 94063 #11 Drop: PN 122 - TEL (650) 363-4161 - FAX (650) 363-4849 or Exclusion from a Coast **Development Permit** SEP 1 6 2015 Permanent Record Permit #: PLN 2015-0041 Microfilming Required Permit #: BLD San Mateo County Planning Division Owner Applicant Name: DAVID & REBECCA JACKSON J Name: Address: 755 PAKE MILL D # Address: Phone, W: 80 386 023 9H: Phone,W: <70 333 3441H: Email Address: RED. RAD. JACKO GW PASOCIETO COLLEGIS Project Description: Existing water source: NEW SINKLE FAMILY fame Utility connection \_ Well Well ■ Well Proposed water source: Utility connection \_\_\_ ☐ Well . Staking of well location and property lines are required. Assessor's Parcel Number(s): Provide site plan depicting location and all trees. -061 ■ Will this require any grading or vegetation/tree removal? Yes 🗆 If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit. E 是 SIGNER OF ITS We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we her by adree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Applican

Date

Owner

# Staff Use Only

						₩.€°		

	hed review sheet to determine basis of exemption and lowner and initial appropriate category below:	whether project qualifies. Review basis of exemption with
[PI B. Ir C. E D. R D. R E. Si	mprovements to Existing Single Family Residence. RC 30610[a], CCAG 13250, ZR 6328.5[a]] mprovements to Existing Structure Other Than angle Family Residence or Public Works Facility. [PRC 1610[b], CCAG 13253, ZR 6328.5[b]] Existing Navigation Channel. [PRC 30610[c], a 6328.5[c]] Repair or Maintenance Activity. RC 30610[d], CCAG 13252, ZR 6328.5[d]] ingle Family Residence Categorical Exclusion Area. RC 30610[e], CCAG 13240, AB 643, ZR 6328.5[e]]	<ul> <li>F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</li> <li>G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</li> <li>H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</li> <li>L. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</li> <li>J. Lot Line Adjustment. [ZR 6328.5(i)]</li> <li>K. Land Division for Public Recreation Purposes. [ZR 6328.5(i)]</li> </ul>
	alensoggior Mesossie/o	
□ Req	uired Not Required	Date of Inspection:
Yes	Removal of trees?  If Yes, is tree removal permit included?  Trimming of trees?  Excessive removal of vegetation?  Excessive grading? (If Yes, CDP is required)  Erosion control plan required?	Approval of Permit is subject to the following: (check if applicable)  Submittal and Approval of a Tree Removal Permit  Submittal and Approval of a Grading Permit  Submittal and Approval of an Erosion Control Plan  Submittal and Approval of a Coastal Dev. Permit
		ned that it meets all criteria for the exemption/exclusion
Exemptio	on/Exclusion is approved.	
, ,	Department subject to the following condition(s) of approval:	Date
	ocessing	
Origi file.	nal Certificate of Exemption to Building Inspection  es of Certificate of Exemption to:	<ul><li>3. Any relevant Planning or Building Inspection files.</li><li>4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105</li></ul>
		Lodata Barmit*Dlan Casa Caroon and Astinitias

\_\_Update Permit\*Plan Case Screen and Activities

1. Applicant/Owner.

2. Planning Department Exemption Binder.

		mental Information	PLN 2015 - 0044	NEURIVE
νis	CIOS	ure Form	BLD	SEP 1 6 2015
				Sen Mateo Count
Project	Addres	s:	Name of Owner: DAVID &	PEREZEA WEED
_b	BUD	A Vista St.		MILL RO #8-
•	-	BEACH, CA 9403B	PANO ALTO 94300 Pho	
		cel No.:037 - 061 - 060	Name of Applicant:	100 111
,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, O, O, a,			the ME # 552
Zoning	District:	2-1/5-17/DE/CD	OAKIMO CA Pho	
ATTENDED TO THE PARTY OF THE PA	College Colleg	Site Conditions	94-5/	
Parcel	THE RESERVE AND PROPERTY OF THE PERSON NAMED IN PARTY OF THE PERSON NAMED	6916 47		
esta actual societa se	****	iental Review Checklist Environmental Quality Act (CEQA	A) Review	
Yes	No	Will this project involve:		
	×	a. Addition to an existing structure > 50°	% of the existing area $OR > 2,500 \text{ sq.}$	ft?
	L X	b. Construction of a new multi-family res	sidential structure having 5 or more uni	ts?
	<u>`</u>	c. Construction of a commercial structure	re > 2,500 sq.ft?	
	X	<ul> <li>d. Removal of mature tree(s) ( ≥ 6" d.b.f residential zoning district)?</li> <li>If yes, how many trees to be removed</li> </ul>		d.b.h. in any
X		e. Land clearing or grading?  If yes, please state amount in cubic yes Excavation:	ards (c.y.): .y. Fill: <b></b> c.y	,
	X	f. Subdivision of land into 5 or more par		
	V	g. Construction within a State or County		
		h. Construction within a sensitive habitat	?	
	W.	i. Construction within a hazard area (i.e.	. seismic fault, landslide, flood)?	

Construction on a hazardous waste site (check with Co. Env. Health Division)?

incidental grasing for PAD

Please explain all "Yes" answers:

Yes	No	Will the project involve:
	V	a. Construction outside of the footprint of an existing, legal structure?
	X	b. Exterior construction within 100-feet of a stream?
	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
é, 's	X	d; Land-use within a riparian area?
	X	e. Timber harvesting, mining, grazing or grading?
		f. Any work inside of a stream, riparian corridor, or shoreline?
	X	g. Release or capture of fish or commerce dealing with fish?
Please	explain	any "Yes" answers:
÷.	, y	

Yes	No	Pollutant Discharge Elimination System (NPDES) Review  Will the project involve:
		a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?
	X	If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
		b. Land disturbance of 1 acre or more of area?
	X	If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a bullding permit.

Thereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Signed: Date: 041615

(Applicant may sign)

# THE JACKSON RESIDENCE BUENA VISTA STREET MOSS BEACH CA 94038



PAINTED METAL TRIM AND PANELS

SMOOTH INTEGRAL COLOR STUCCO

STAINED WOOD SIDING

FIBERGLASS WINDOWS ANDERSEN 100 SERIES (TERRARTONE COLOR)

FIBERGLASS ENTRY DOOR

(T.B.D.)

STAINED CEDAR EAVES

DATE FA PLANS V2 50% DESIGN SET v1 052015 50% DESIGN SET v2 052715 100% DESIGN SET V1 091415 DESIGN REVIEW SUBMITTAL 091615

**COVER AND MATERIALS** 

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECTS SEAL AND WET SIGNATURE. TLD EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign

C TOBYLONG DESIGN 2015



a modern green home. a new sustainable prefab construction project in moss beach

# **PAINT COLORS**

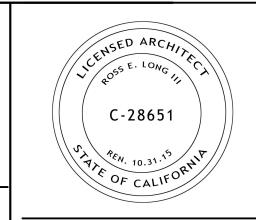
TRIM/FASCIA BENJAMIN MOORE #1582 DEEP RIVER



EXTERIOR LIGHT FOR ALL EXTERIOR FIXTURES -FRANKLIN IRON WORKS, STYLE #P3309 -DARK SKY RATED

COVER

# THE JACKSON RESIDENCE BUENA VISTA STREET MOSS BEACH CA 94038



tobylongdesign

DATE FA PLANS V1 FA PLANS V2 

 50% DESIGN SET v1
 052015

 50% DESIGN SET v2
 052715

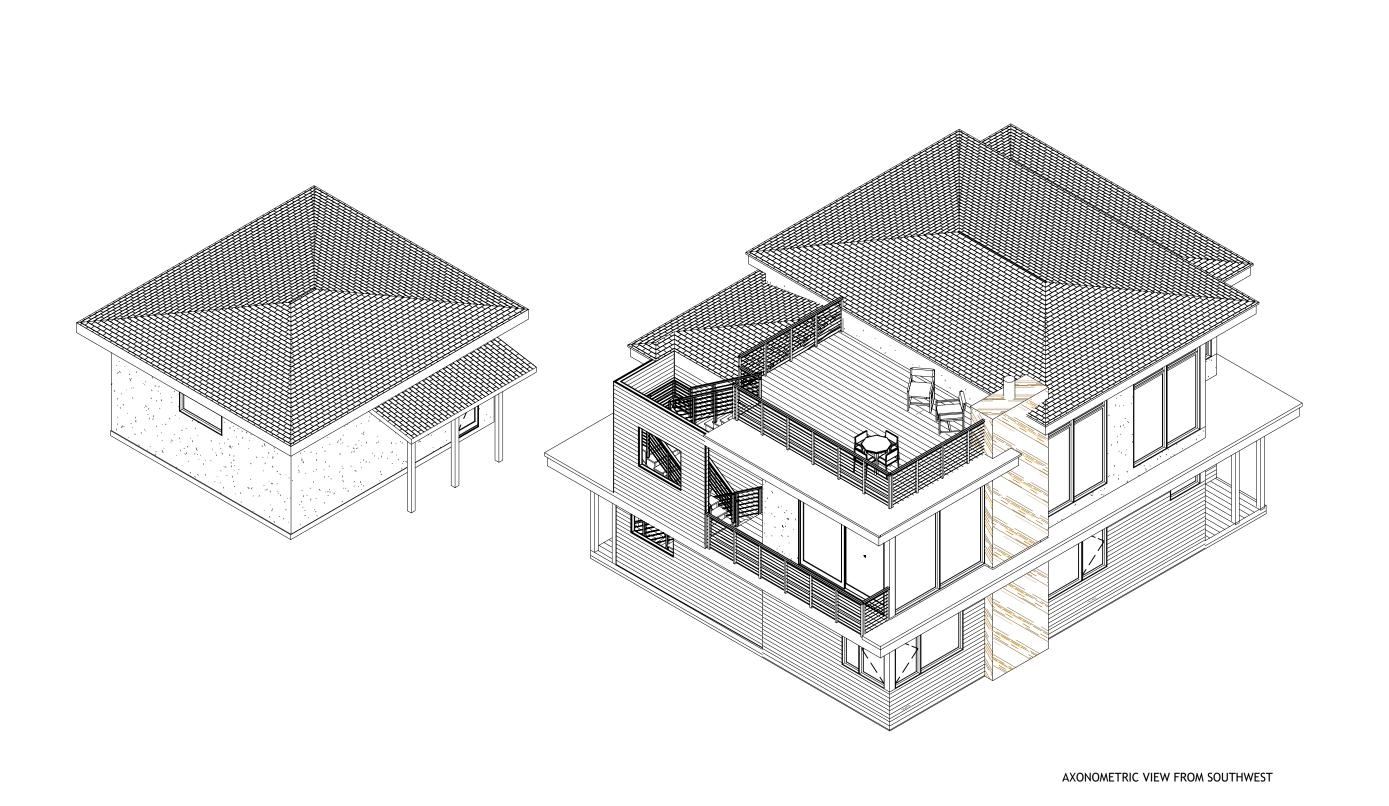
 100% DESIGN SET V1
 091415

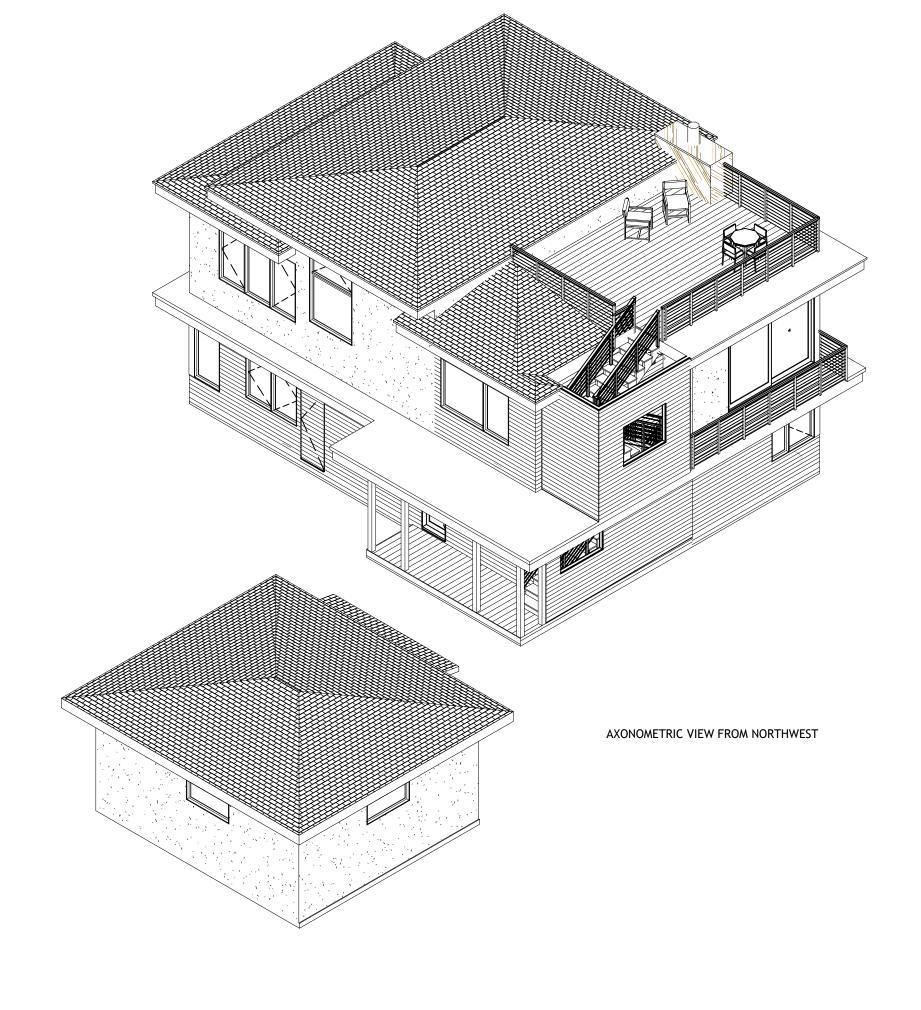
 DESIGN REVIEW SUBMITTAL
 091615

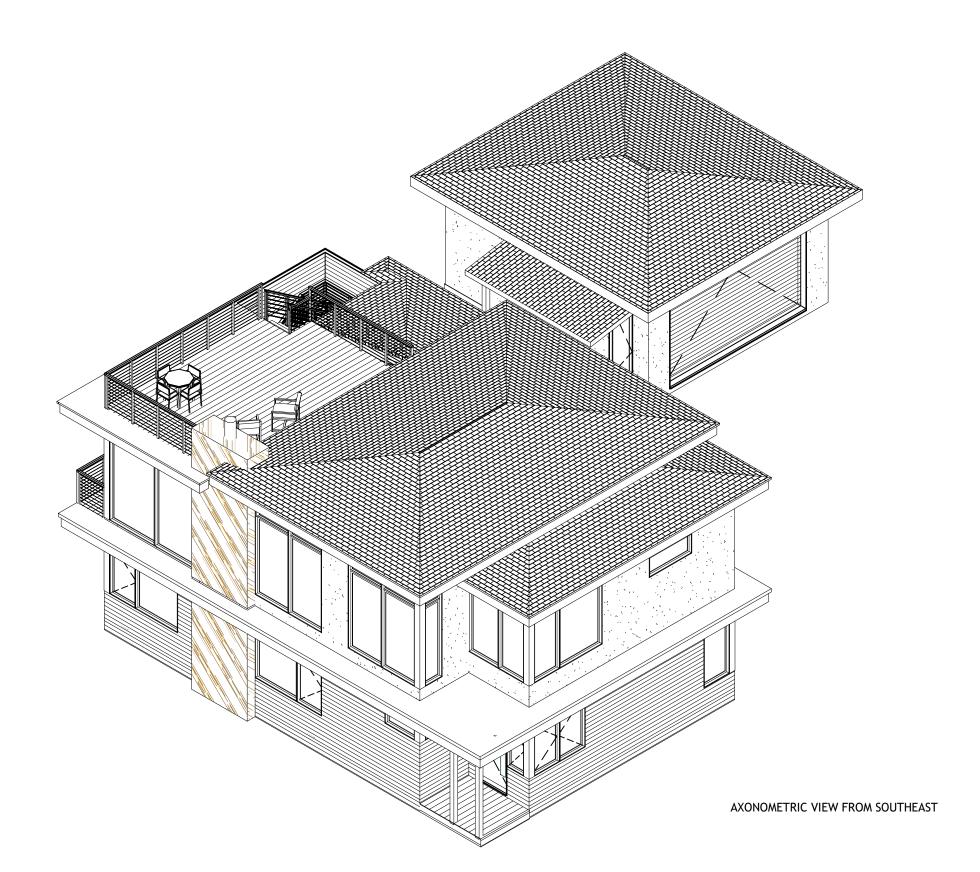
 April Map vol 32/26
 April Map vol 30/32
 MOSS BEACH HEIGHTS RSM 6/8 SITE Moss Beach Distillery

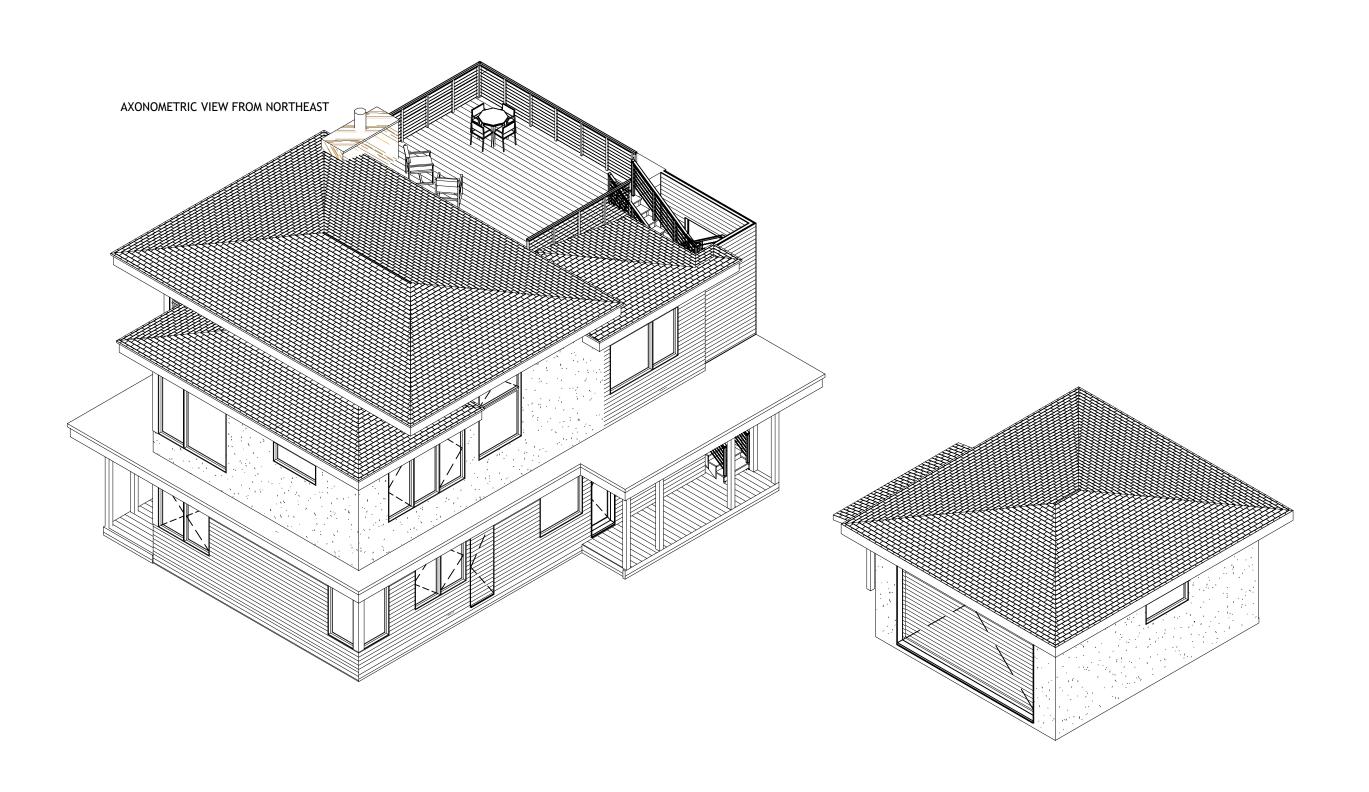
FRONT OF HOUSE

1 CONCEPTUAL	RENDERINGS		2 VICINITY MAP / PARCEL MAP	S S S
ARCHITECTURAL  X A-0.0 COVER AND MATERIALS  X A-0.1 PROJECT INFO	STRUCTURAL  - SCS COVER SHEET - SNA GENERAL NOTES	PROJECT DATA - SEE 2 A0.6 FOR ALL AREA CALCULATIONS	THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY HOME AND  OWNER  ARCHITECT  STRUCTURAL  TITLE 24 / MECHANICAL  ARBORIST  OWNER  DAVID AND REBECCA JACKSON TOBY LONG DESIGN TO STRUCTURAL TITLE 24 / MECHANICAL ARBORIST  OWNER  TO STRUCTURAL TO STRUCTU	KSO! //STA
- A-0.2 GENERAL NOTES - A-0.3 GENERAL NOTES - A-0.4 TITLE 24 X A-0.5 MASSING DIAGRAMS	- SN2 GENERAL NOTES - S1 FOUNDATION PLAN - S2 1ST FLOOR FRAMING - S3 1ST FLOOR CEILING	AREA CALCULATIONS  FIRST FLOOR———————————————————————————————————	THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY HOME AND  DETACHED GARAGE  755 PAGE MILL ROAD #B-7 PALO ALTO, CA 94304  6114 LA SALLE AVE #552 OAKLAND, CA 94611  ENGINEERING, INC. 227 FOREST AVENUE, SUITE 5 PACIFIC GROVE, CA 93950  T: 831.372.8328  T: 831.372.8328  T	THE JACKSON BUENA VISTA MOSS BEACH, 94038
X A-0.6 MODULAR DIAGRAMS X 1 OF 1 SURVEY X A-1.2 SITE PLAN X A-1.3 LANDSCAPE PLAN	- S4 2ND FLOOR FRAMING - S5 ROOF FRAMING PLAN - SD1 FOUNDATION DETAILS - SD2 GENERAL DETAILS	SECOND FLOOR	4       PROJECT DESCRIPTION       T. REBECCA - 801.386.0234       T. 415. 905. 9030 X1       T: 951.600.0032       F: 831.372.4613       F         CONTACT: TOBY LONG, AIA       CONTACT: TOBY LONG, AIA       CONTACT: SHANE LOTHROP, PE       E: DAVE@MEG4.COM       E: -	THI BUI 946
- A-2.0 FOUNDATION PLAN X A-2.1 LEVEL 1 PLAN X A-2.2 LEVEL 2 PLAN X A-2.3 ROOF PLAN	- SD3 MODULAR DETAILS	GARAGE — 505.3 SQFT COVERED PORCHES OVER 48" — 156.3 SQFT	2013 CALIFORNIA BUILDING CODE 2013 CALIFORNIA MECHANCAL CODE 2013 CALIFORNIA ENERGY CODE 2013 CALIFORNIA PLUMBING CODE 2014 CALIFORNIA CORTAL CONTROL	INFO
X A-2.4 LEVEL 1 RCP X A-2.5 LEVEL 2 RCP X A-3.0 BUILDING SECTIONS X A-3.1 BUILDING SECTIONS X A-4.0 EXTERIOR ELEVATIONS		TOTAL FLOOR AREA  3,067.4 SQF ALLOWABLE FLOOR AREA  3,706.29 SF MAX  APN#:  037-061-060	2013 CALIFORNIA GREEN CODE 2013 CALIFORNIA ELECTRICAL CODE  5 CODE REFERENCE  GEOTECH  SURVEY/CIVIL  LANDSCAPE  MODULAR FABRICATOR  GENERAL CONTRACTOR	THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECTS SEAL AND WET SIGNATURE. TILD EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL
X A-4.1 EXTERIOR ELEVATIONS - A-5.1 INTERIOR ELEVATIONS - A-5.2 INTERIOR ELEVATIONS - A-6.1 DETAILS		ZONING: R-1/S-17/DR/CD  CONSTRUCTION TYPE TYPE V - B	WINDOW SCHEDULE SCHEDULE REFERENCE FLR # FLOOR / CEILING ASSEMBLY  FLOOR / CEILING SECTION SELEVATION / ROMIG ENGINEERS, INC. 1390 EL CAMINO REAL, SUITE 200  TRIAD/HOLMES ASSOCIATES 873 NORTH MAIN ST. #150	DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign
- A-6.2 DETAILS - A-6.3 DETAILS X A-7.0 DOOR SCHEDULE X A-7.1 WINDOW SCHEDULE		SITE DIMENSIONS 67'-10 X 100'-5"  SITE AREA 6,916 SQFT	DOOR ALIGN FINISH ELEVATION REFERENCE Sheet No. No. 12 650-591-5224 T: 760.873.4273 T T T T T CONTACT: JONATHAN FONE F: 760.873.8024 F F T F T T T T	scale -
CIVIL		PARKING 2 OFF STREET / 2 COVERED  FRONT SETBACK 20'-0"	REFERENCE  Plan No.  Plan No.  WALL  Obtail No.  A  DETAIL REFERENCE  Sheet No.  DETAIL REFERENCE  Sheet No.  DETAIL REFERENCE  Sheet No.  DETAIL REFERENCE  DETAIL REFERENCE  Sheet No.  Sheet No.  DETAIL REFERENCE  Sheet No.  Sheet No.  DETAIL REFERENCE  Sheet No.  S	sheet
X 1 OF 4 COVER PAGE X 2 OF 4 DRAINAGE AND IMPROVEN X 3 OF 4 EROSION CONTROL PLAN X 4 OF 4 CONSTRUCTION BMP'S		SIDE SETBACKS  5'-0" MIN ON ANY SIDE / 15'-0" COMBINED FOR ALL STRUCTURES > 16'-0"  REAR SETBACK  20'-0"	- # ASSEMBLY REFERENCE Sheet No.	A 0.1
3 TABLE OF CON	ITENTS	4 SITE AND BUILDING INFORMATION	5 SYMBOLS 3 CONTACT INFO	© TOBYLONG DESIGN 2015











presented by tobylongdesign of a salle avenue #552 OAKLAND CA 946
P: 415.905.9030 www.tobylongdesign.com

ISSUE DATE

FA PLANS V1 032315
FA PLANS V2 041515
FA V1 042215
50% DESIGN SET v1 052015
50% DESIGN SET v2 052715
100% DESIGN SET V1 091415
DESIGN REVIEW SUBMITTAL 091615

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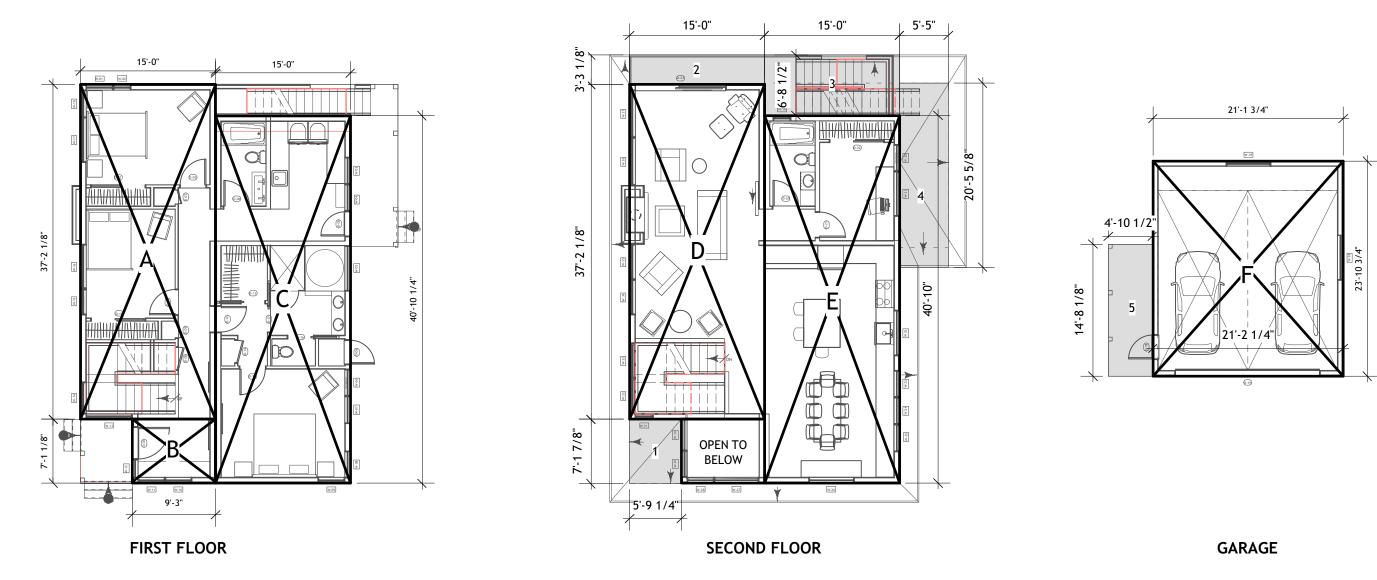
THE JACKSON RESIDENCE SUENA VISTA STREET MOSS BEACH, CA

MASSING DIAGRAMS

THESE PLANS ARE CONSIDERED PRELIMINARY AND NOT FOR CONSTRUCTION UNLESS THEY BEAR THE ARCHITECT'S SEAL AND WET SIGNATURE. TLD EXPRESSLY RESERVES COMMON LAW COPYRIGHT AND OTHER PROPRIETARY RIGHTS TO ALL DESIGNS & INFORMATION IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION OF tobylongdesign

scale 1/4"=1'-0"

A 0.5
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FLOOR AREA CALCULATION **SQUARE FOOTAGE DIMENSIONS** FIRST FLOOR 557.7 37'-2 1/8" X 15'-0" 65.6 9'-3" X 7'-1 7/8" 40'-10 1/4" X 15'-0" 612.4 1,235.7 SQFT SUBTOTAL SECOND FLOOR 557.7 37'-2 1/8" X 15'-0" 612.4 40'-10 1/4" X 15'-0" 1,170.1 SQFT SUBTOTAL **GARAGE** 505.3 21'-1 3/4" X 23'-10 3/4" SUBTOTAL 505.3 SQFT COVERED PORCHES >48" DEEP 5'-9 1/4" X 7'-1 1/8" 45.4 110.9 5'-5" X 20'-5 5/8" 156.3 SQFT SUBTOTAL TOTAL FLOOR AREA 3,067.4 SQFT SITE AREA: 6,993 SQFT

MAX FLOOR AREA: 53% OF LOT = 6,993 SQFT X .53 = 3,706.29 SQFT

PROJECT COMPLIES: 3,067.4 < 6,993

LOT COVERAGE FIRST FLOOR GARAGE PROJECT COMPLIES: 2,046.8 SQFT < 2,447.6 SQFT

15'-0"

15'-0" X 6'-8 1/2" 5'5" X 20'-5 5/8" TOTAL COVERAGE 2,046.8 SQFT SITE AREA: 6,993 MAX COVERAGE: 35% OF LOT FOR 2 STORIES = 6,993 SQFT X .35  $\times$  = 2,447.6 SQFT

**DIMENSIONS** 

5'9 1/4" X 7'-1 1/8"

15'-0" X 3'-3 1/8"

SQUARE FOOTAGE 1,235.7 SQFT - FROM CALC

505.3 SQFT - - FROM CALC

45.4

15'-0"

C-28651

tobylongdesign

ISSUE DATE FA PLANS V1 FA PLANS V2 041515 FA V1 042215 052015 052715 091415 50% DESIGN SET v1 50% DESIGN SET v2 100% DESIGN SET V1 DESIGN REVIEW SUBMITTAL 091615

THE JACKSON RESIDENCE BUENA VISTA STREET MOSS BEACH, CA 94038

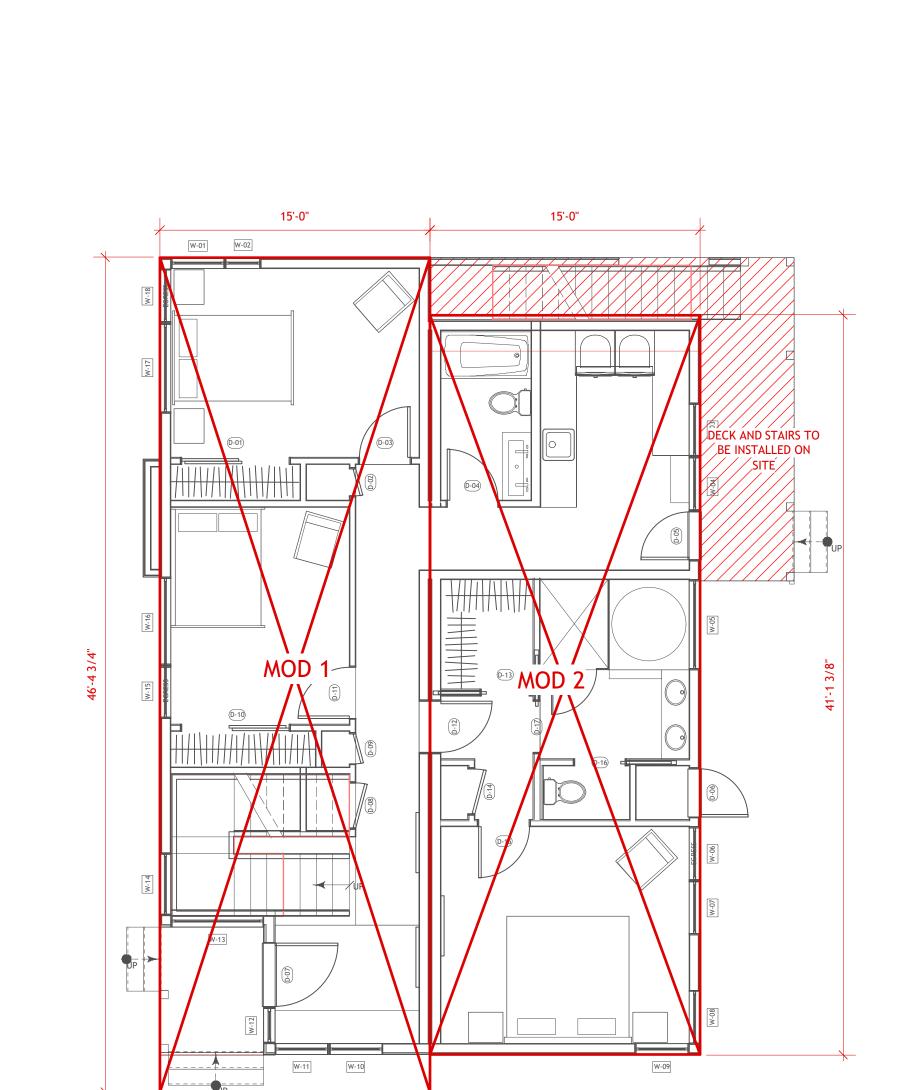
MODULAR DIAGRAMS

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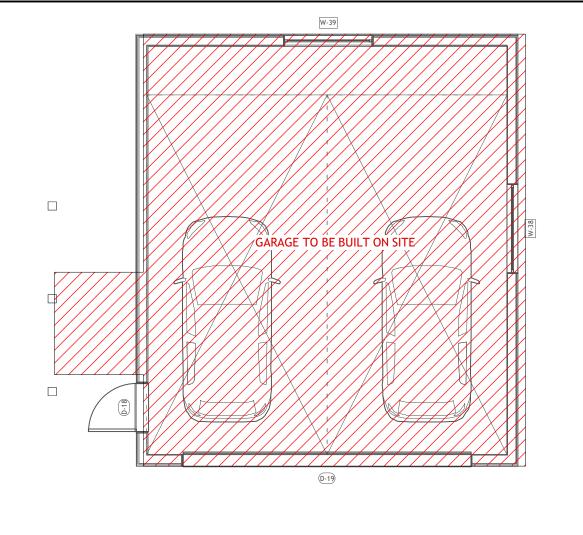
scale 3/16"=1'-0"

C TOBYLONG DESIGN 2015

AREA CALCULATION DIAGRAMS



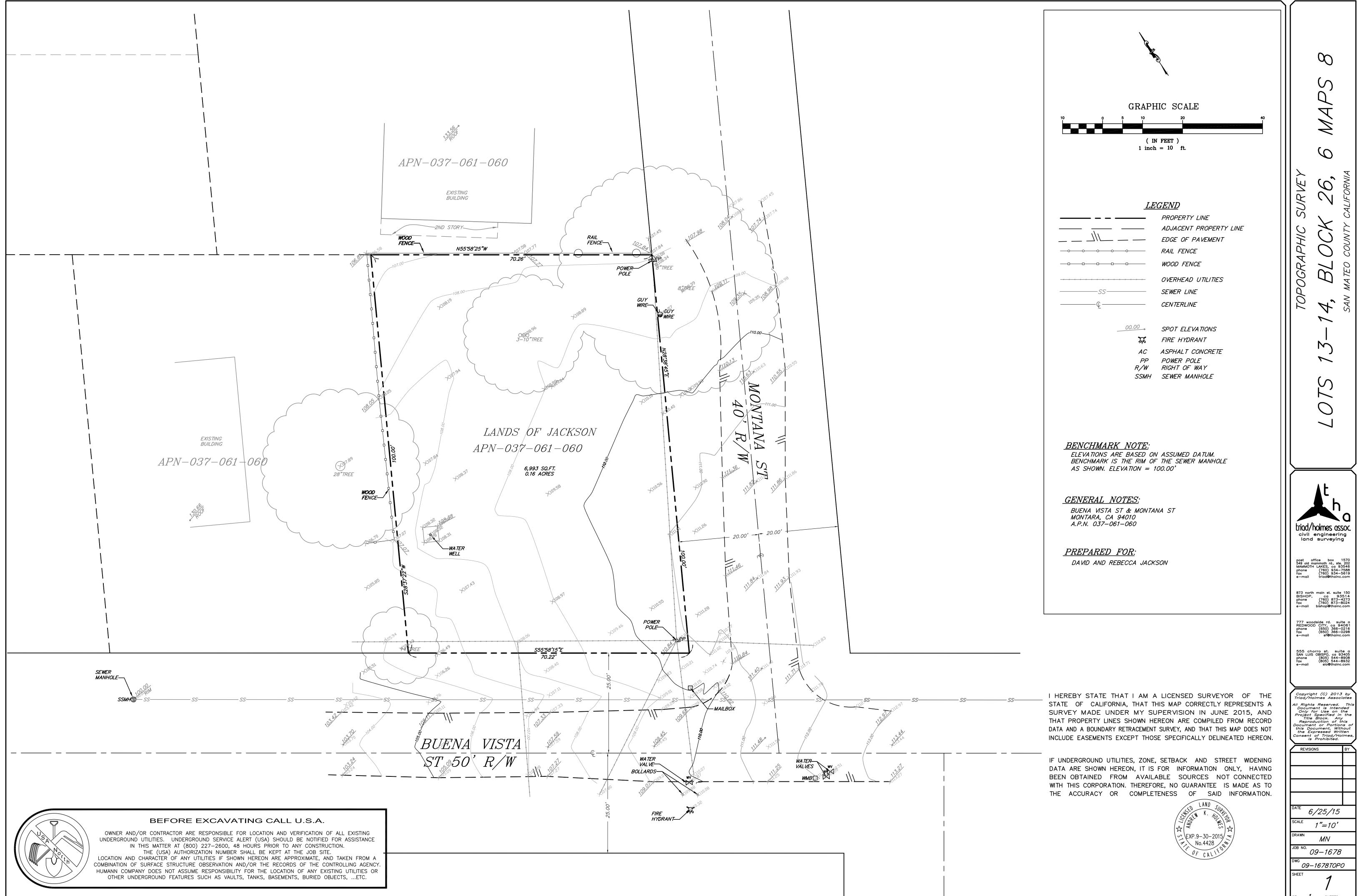
FIRST FLOOR

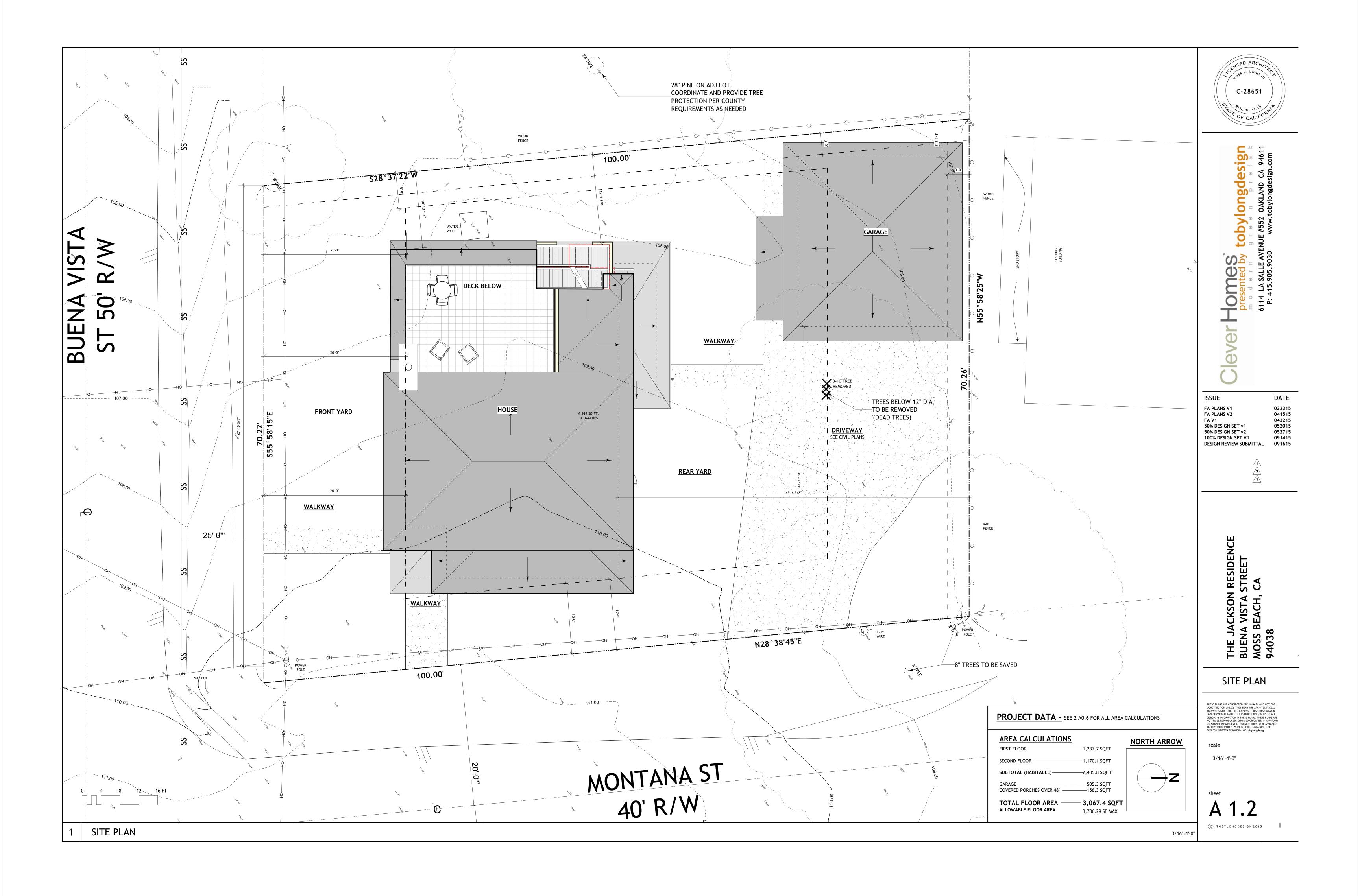


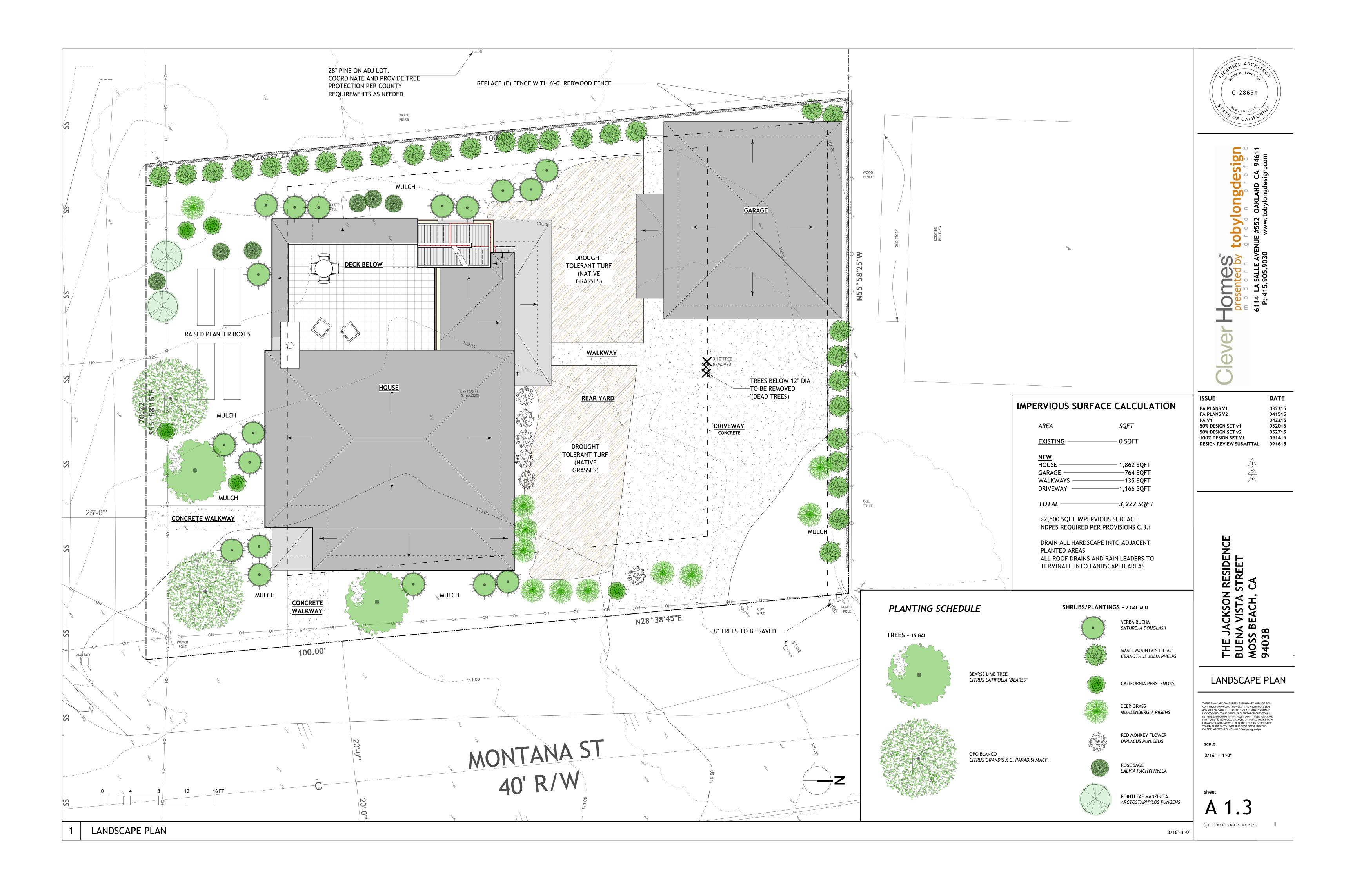
DECK TO BE INSTALLED ON SITE STAIRS TO BE INSTALLED ON SITE RÖÖF AND EAVES TO BE INSTALLED ÖN SITE

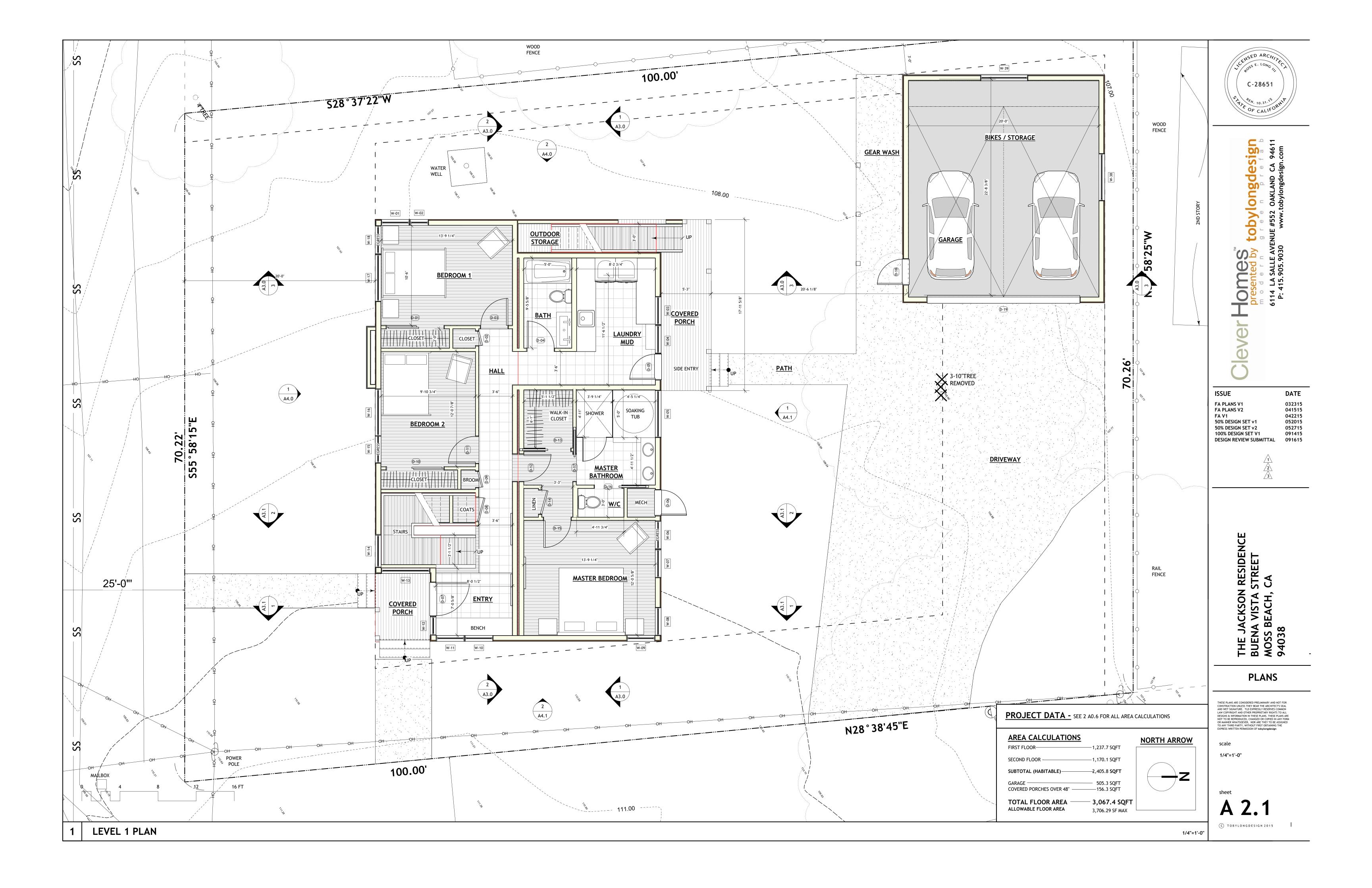
SECOND FLOOR

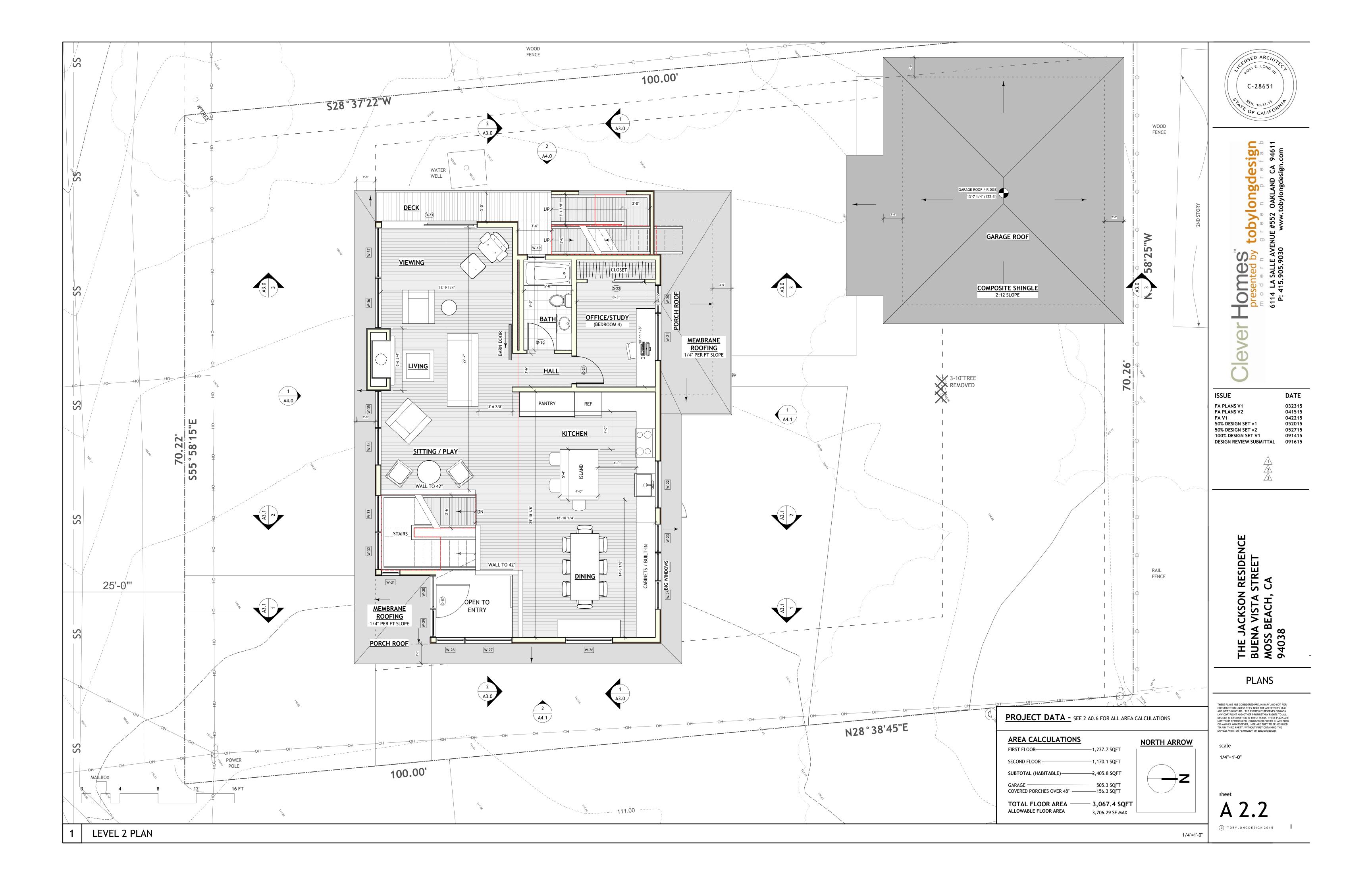
MODULAR DIAGRAMS

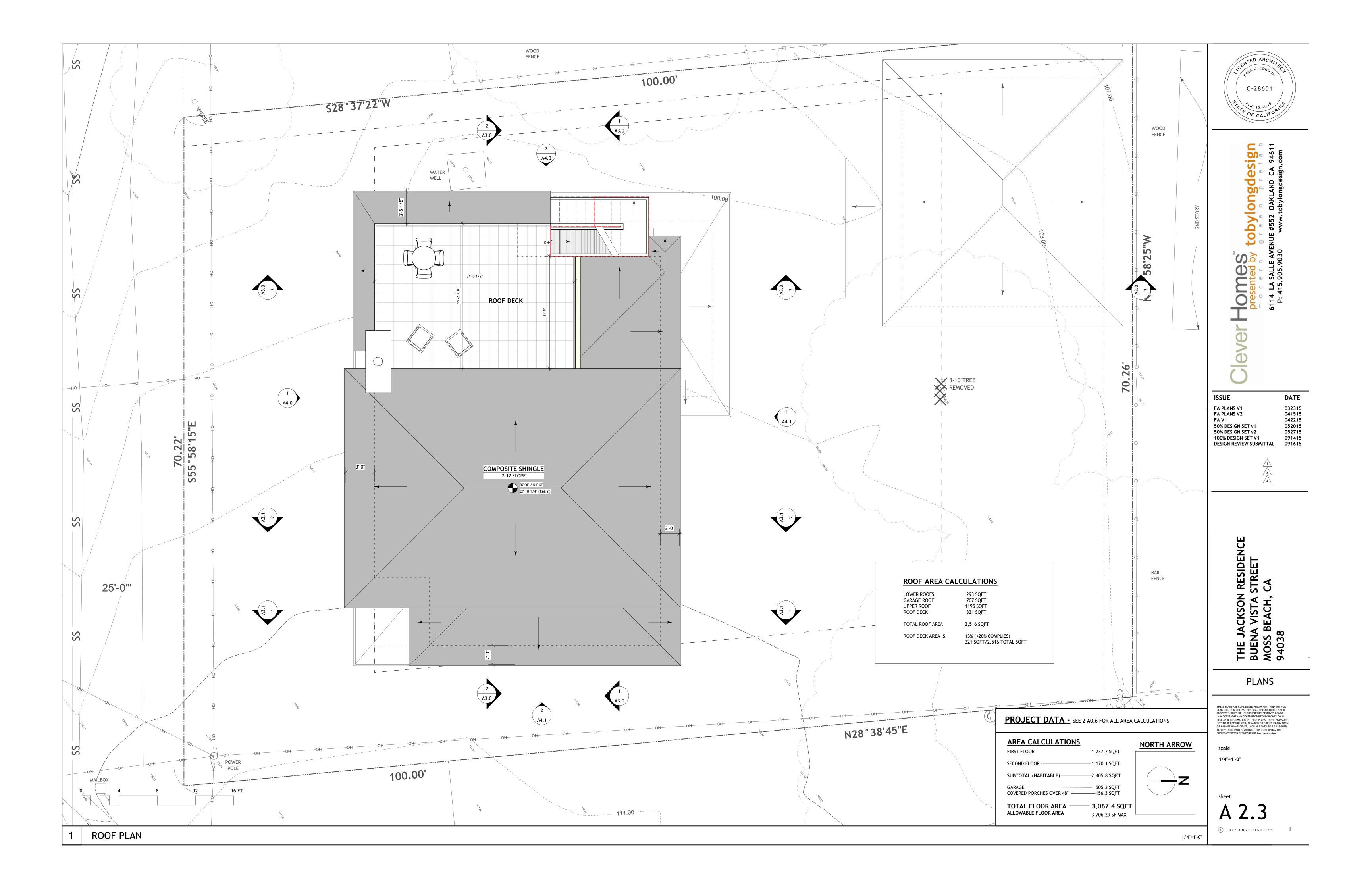


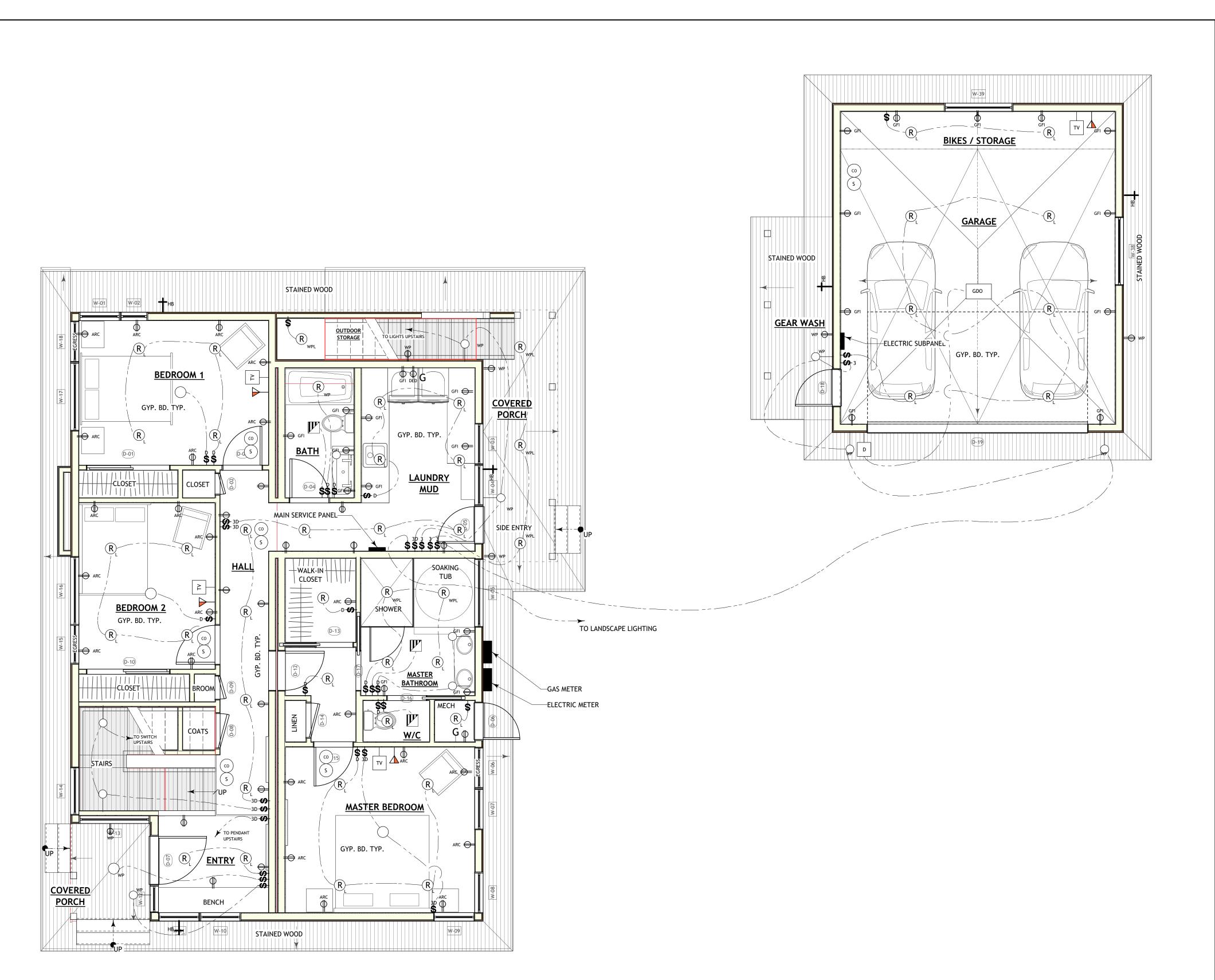


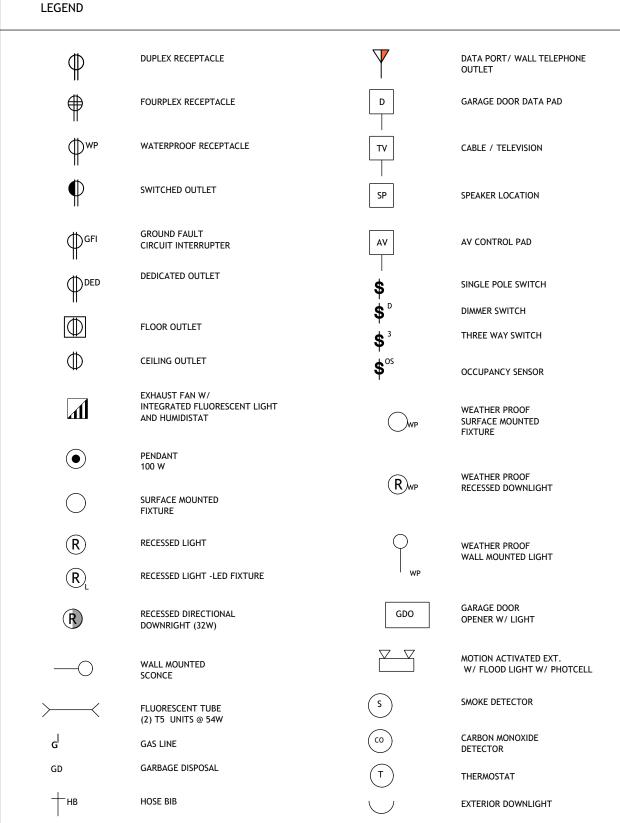












\*\*ALL LIGHTING AND ELECTRICAL WORK TO BE VERIFIED WITH OWNER AND SHALL CONFORM TO LOCAL ENERGY AND BUILDING CODES

1. ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N.

MECHANICAL / ELECTRICAL / LIGHTING NOTES

1. ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N

2. ALL SWITCHES TO BE +42" A.F.F. U.O.N.

3. OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS. SEE MANUF. SPECIFICATIONS FOR INSTALLATION.

4. LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF THE WALL SHALL BE PLACED IN THE SAME BOX WITHIN A SINGLE COVER PLATE.

KITCHEN OUTLETS: PROVIDE W/I 2'-0" OF EA. END OF EA. COUNTER & 4'-0" O.C. THEREAFTER. G.F.I. PROTECT WHERE WITHIN 6'-0" OF SINKS.

6. PROVIDE ELECTRICAL OUTLETS @ EA. KITCHEN COUNTER SPACE WIDER THAN 12".

7. PER CBC 907.2.10.1.2 : A SMOKE DETECTOR SHALL BE INSTALLED IN EA. SLEEPING ROOM & AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OUTSIDE BEDROOMS. SMOKE DETECTOR SHALL BE HARDWIRED & INTERCONNECTED W/ BATTERY BACK UP.

8. PROVIDE A WALL SWITCH FOR OUTDOOR LIGHTING BY EA. EXTERIOR DOOR.

THE FOLLOWING ARE REQUIRED PER 2008 CALIFORNIA RESIDENTIAL TITLE 24 REQUIREMENTS (9 THRU 12):

9. LIGHTING IN KITCHENS: AT LEAST HALF THE INSTALLED WATTAGE OF THE LUMINARIES IN KITCHENS SHALL BE HIGH EFFICACY (FLUORESCENT) AND THE ONES THAT ARE NOT MUST BE SWITCHED SEPARATELY.

10. LIGHTING IN BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS: ALL LUMINARIES SHALL BE EITHER HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR (WITH MANUAL ON/OFF SWITCH).

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13. CARBON MONOXIDE ALARMS REQUIRED BY SECTIONS R315.1 AND R315.2 SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOM(S). 2. ON EVERY LEVEL OF A DWELLING UNIT

14. A) TAMPER RESISTANT RECEPTACLES FOR ALL LOCATIONS DESCRIBED IN 210.52 (I.E., ALL RECEPTACLES IN A DWELLING).
B) WEATHER RESISTANT TYPE FOR RECEPTACLES INSTALLED IN DAMP OR WET LOCATIONS (OUTSIDE).
C) ARC-FAULT PROTECTION FOR ALL OUTLETS (NOT JUST RECEPTACLES) LOCATED IN ROOMS DESCRIBED IN NEC210.12(B): FAMILY, LIVING, BEDROOMS, DINING, HALLS, ETC.
D)GFCI PROTECTED OUTLETS FOR LOCATIONS DESCRIBED IN NEC 210.8: KITCHENS, GARAGES, BATHROOMS, OUTDOORS, WITHIN 6' OF A SINK, ETC.

15. BATHROOM CIRCUITING TO BE A) 20 AMPERE CIRCUIT DEDICATED TO EACH BATHROOM, OR B)AT LEAST ONE 20 AMPERE CIRCUIT SUPPLYING ONLY BATHROOM RECEPTACLE OUTLETS.

16. CONCEALED LIGHT FIXTURES WILL BE I.C. RATED WHEREVER INSULATION IS REQUIRED. THE HOUSING OF THE LUMINARIES SHALL BE AIRTIGHT PER 2005 T-24, NEC 410-66

17. ALL RECESSED FIXTURES INSTALLED ABOVE SHOWER STALL SHOULD BE GASKETED AND SUITABLE FOR A DAMP LOCATION, GFCI PROTECT WHEN REQUIRED BY MANUFACTURER'S INSTRUCTION OR SPECIFICATIONS FOR A SPECIFIC FIXTURE.

18. THE TERMINATION OF ALL ENVIRONMENTAL AIR DUCTS (BATHROOM FANS) SHALL BE A MINIMUM OF THREE FEET FROM THE PROPERTY LINES OR ANY OPENINGS INTO THE BUILDING. IT MUST BE THREE FEET AWAY FROM DOORS, WINDOWS, OPENING SKYLIGHTS OR ATTIC VENTS.

19. WATER HAMMER ARRESTORS TO BE INSTALLED AT ALL APPLIANCES THAT HAVE QUICK-ACTING VALVES. THIS INCLUDES THE DISHWASHER HOT WATER LINE AND THE HOT AND COLD WATER LINE FOR THE CLOTHES WASHER.

20. ALL GAS APPLIANCES SHALL HAVE AN ACCESSIBLE SHUTOFF VALVE INSTALLED IN THE FUEL SUPPLY PIPING OUTSIDE OF EACH APPLIANCE AND AHEAD OF THE UNION CONNECTION. THE APPLIANCE FUEL CONNECTOR SHALL NOT BE CONCEALED WITHIN OR EXTEND THROUGH A WALL, FLOOR, OR PARTITION AND SHALL NOT EXTEND THROUGH THE APPLIANCE HOUSING OR CASING.

C-28651

OF CALIFORNIA

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FA PLANS V1 032315
FA PLANS V2 041515
FA V1 042215
50% DESIGN SET v1 052015
50% DESIGN SET v2 052715
100% DESIGN SET V1 091415
DESIGN REVIEW SUBMITTAL 091615

1 2 3

THE JACKSON RESIDENCE BUENA VISTA STREET MOSS BEACH, CA 94038

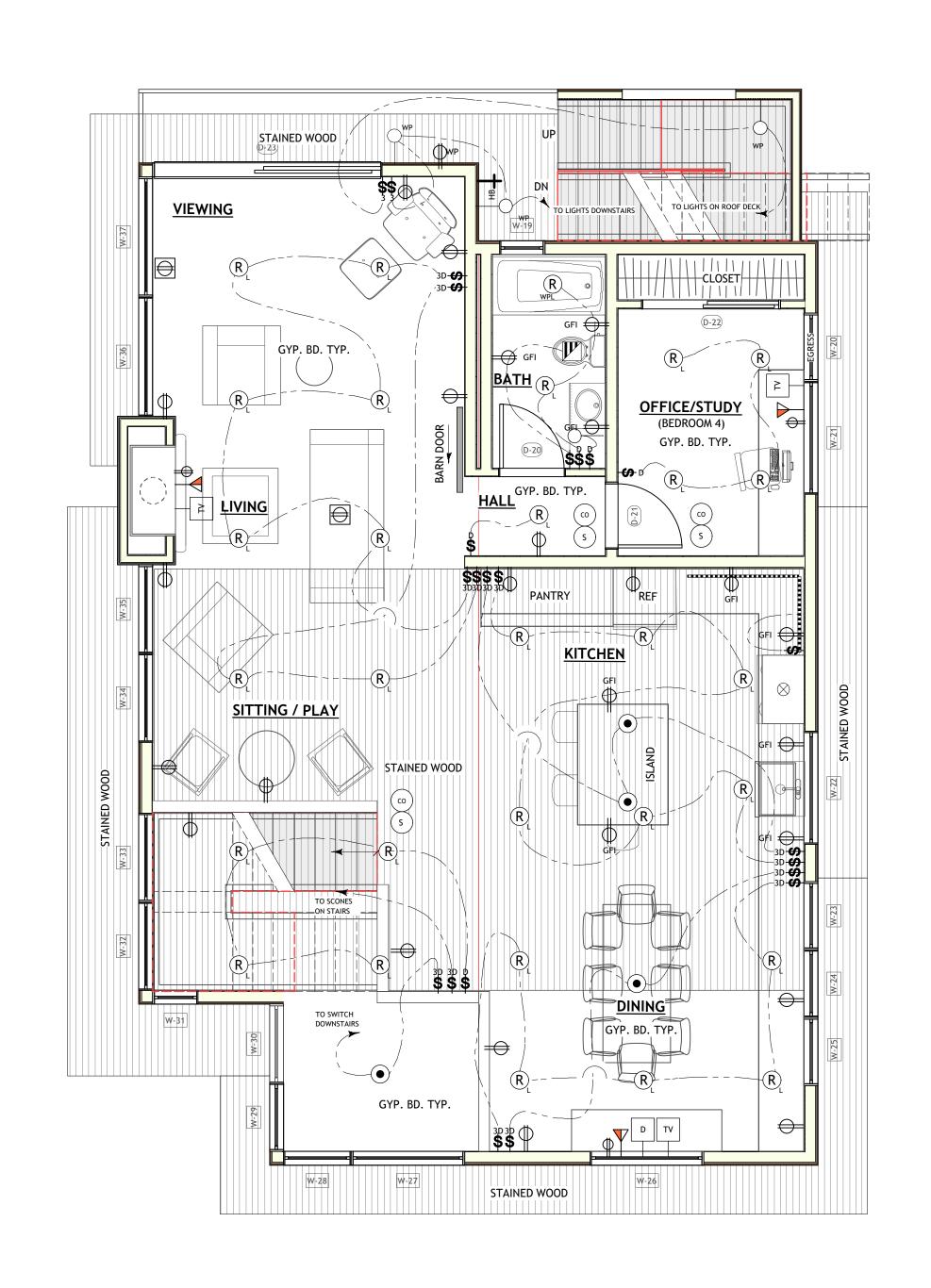
**PLANS** 

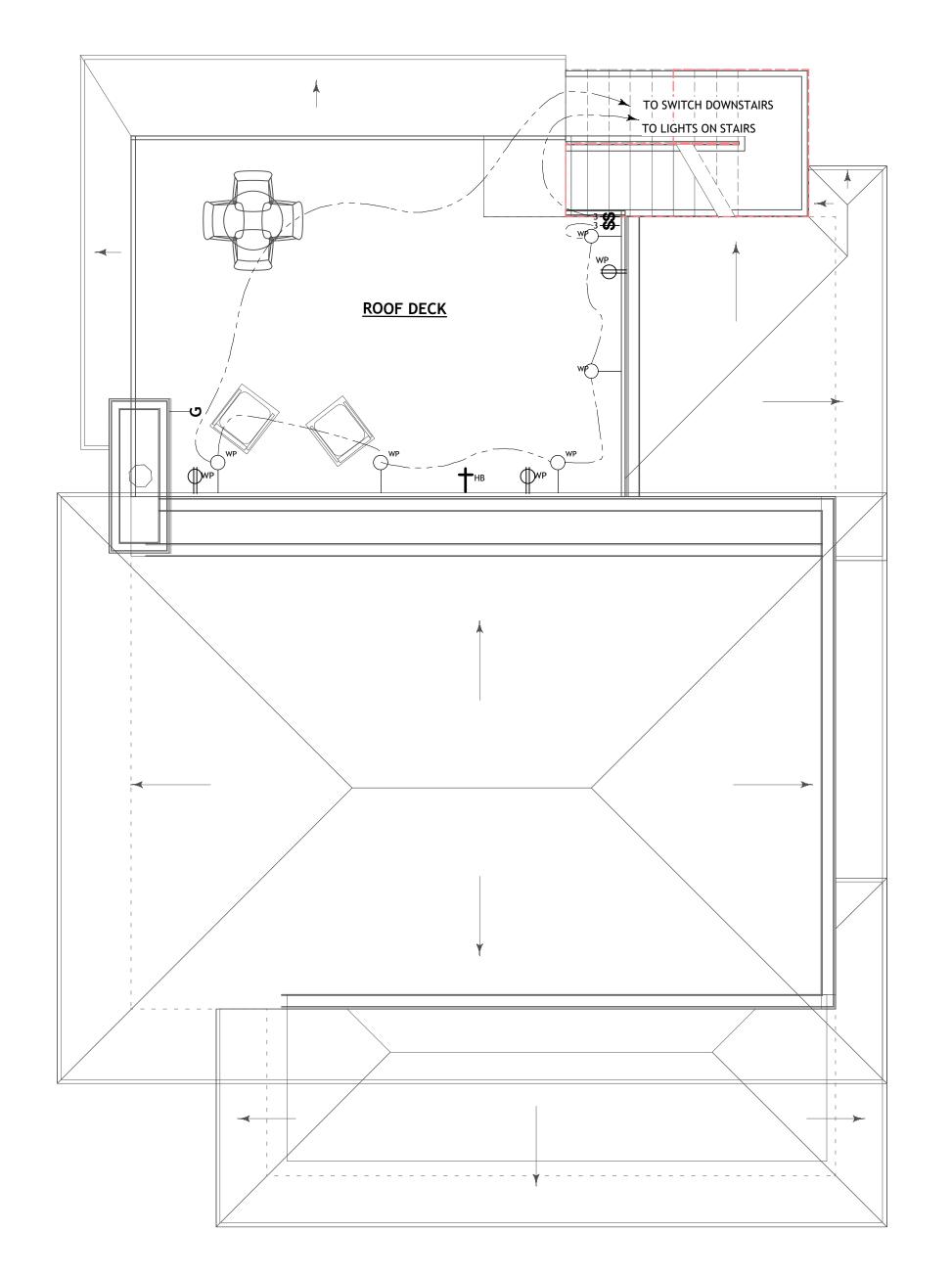
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scale

A 2.4

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LEGEND			
Ф	DUPLEX RECEPTACLE	7	DATA PORT/ WALL TELEPHONE OUTLET
#	FOURPLEX RECEPTACLE	D	GARAGE DOOR DATA PAD
₩P	WATERPROOF RECEPTACLE	TV	CABLE / TELEVISION
$\Phi$	SWITCHED OUTLET	SP	SPEAKER LOCATION
GFI	GROUND FAULT CIRCUIT INTERRUPTER	AV	AV CONTROL PAD
DED	DEDICATED OUTLET	<b>\$</b>	SINGLE POLE SWITCH
···		\$ □	DIMMER SWITCH
Ш	FLOOR OUTLET	<b>\$</b> <sup>3</sup>	THREE WAY SWITCH
$\Phi$	CEILING OUTLET	<b>\$</b> <sup>os</sup>	OCCUPANCY SENSOR
M	EXHAUST FAN W/ INTEGRATED FLUORESCENT LIGHT AND HUMIDISTAT	WP	WEATHER PROOF SURFACE MOUNTED FIXTURE
lacktriangle	PENDANT		
	100 W	$(R)_{WP}$	WEATHER PROOF RECESSED DOWNLIGHT
	SURFACE MOUNTED FIXTURE		RECESSED DOWNEIGHT
R	RECESSED LIGHT	$\bigcirc$	WEATHER PROOF WALL MOUNTED LIGHT
$\mathbb{R}_{L}$	RECESSED LIGHT -LED FIXTURE	WP	
R	RECESSED DIRECTIONAL DOWNRIGHT (32W)	GDO	GARAGE DOOR OPENER W/ LIGHT
—	WALL MOUNTED SCONCE		MOTION ACTIVATED EXT. W/ FLOOD LIGHT W/ PHOTCELL
><	FLUORESCENT TUBE (2) T5 UNITS @ 54W	S	SMOKE DETECTOR
وا	GAS LINE	CO	CARBON MONOXIDE DETECTOR
GD	GARBAGE DISPOSAL	T	THERMOSTAT
+нв	HOSE BIB		EXTERIOR DOWNLIGHT

\*\*ALL LIGHTING AND ELECTRICAL WORK TO BE VERIFIED WITH OWNER AND SHALL CONFORM TO LOCAL ENERGY AND BUILDING

1. ALL OUTLETS TO BE +15" A.F.F. TO C.L. U.O.N.

MECHANICAL / ELECTRICAL / LIGHTING NOTES

2. ALL SWITCHES TO BE +42" A.F.F. U.O.N.

WITHIN 6' OF A SINK, ETC.

3. OUTLET BOXES SHALL NOT BE USED AS SOLE SUPPORT FOR CEILING FANS. SEE MANUF. SPECIFICATIONS FOR INSTALLATION.

4. LIGHT SWITCHES AND OTHER ELECTRICAL SWITCHES IN THE SAME VICINITY OF THE WALL SHALL BE PLACED IN THE SAME BOX WITHIN A SINGLE COVER PLATE.

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C-28651

VA PEN. 10.31.15

OF CALIFORNIA

Presented by tobylongdesign presented by a green presented by a green prefer to bylongdesign.com 6114 LA SALLE AVENUE #552 OAKLAND CA 9461 P: 415.905.9030 www.tobylongdesign.com

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DESIGN REVIEW SUBMITTAL 091615

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THE JACKSON RESIDENCE BUENA VISTA STREET MOSS BEACH, CA 94038

**PLANS** 

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scale 1/4"=1'-0"

A 2.5

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2 ROOF DECK ELECTRICAL PLAN



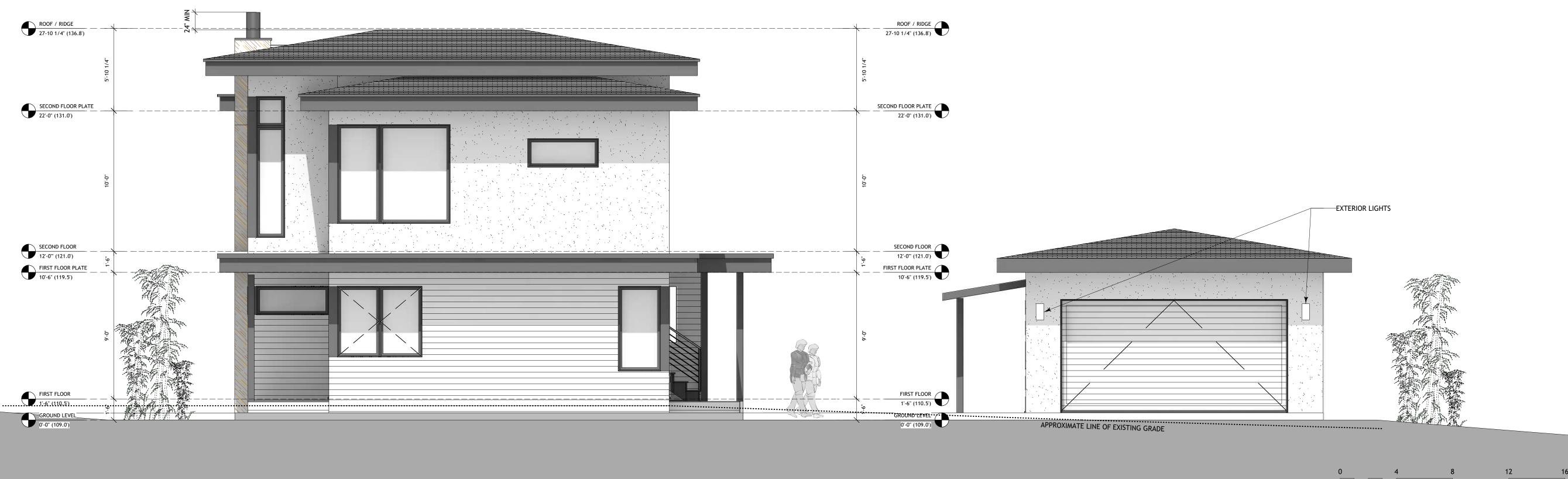






NORTH ELEVATION

ROOF / RIDGE
27-10 L/4\* (133.8)



C-28651

OF CALIFORNIA

Wer Homes

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6114 LA SALLE AVENUE #552 OAKLAND CA 94611

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scale 1/4"=1'-0"

sheet

A 4.1

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EAST ELEVATION

Door Schedule														
Image			No	minal Siz	ze	Door Style			Door Frame		Door Data			
	M	ark	Width	Height	SS US Door Operation	Top Shape	Slab Style	Glaz. Style	Jamb Thick	Jamb Depth	Mfr	Model No.	Accessories	Comments
	D- (	01	6'0"	6'8"	1 3/4" Slider	Square	Panel	None	3/4"	4 1/2'	WESTERN WINDOWS	SERIES 600		BLACK ANODIZED
	D- (	)2	1'6"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- (	03	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- (	04	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- (	)5	2'8"	8'0"	1 3/4" Swing Simple	Square	Glass	None	3/4"	7 3/8'	SIMPSON	PAINT GRADE		TEMPERED
	D- (	06	2'8"	8'0"	1 3/4" Swing Simple	Square	Solid	None	3/4"	7 3/8'	FIELD-FRAMED	PAINT GRADE		CLAD W/ SIDING TO MATCH EXT / VENT AS NEEDED
	D- (	07	3'6"	8'0"	1 3/4" Swing Simple	Square	Custom	None	3/4"	7 3/8'	SIMPSON	FIBERGLASS		TEMPERED / FINAL SPEC TBD
	D- (	08	2'6"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- (	9	1'8"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	10	6'0"	6'8"	1 3/4" Slider	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	11	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	12	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	6 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	13	2'8"	6'8"	1 3/4" Pocket Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	14	2'6"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- '	15	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D-	16	2'10"	6'8"	1 3/4" Pocket Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	17	2'10"	6'8"	1 3/4" Pocket Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- ^	18	2'8"	8'0"	1 3/4" Swing Simple	Square	Glass	None	3/4"	7 3/8'	SIMPSON	FIBERGLASS		TEMPERED
	D- ^	19	16'0"	8'0"	1 3/4" Overhead	Square	Panel	None	3/4"	7 3/8'	WAYNE DALTON	PAINT GRADE		TEMPERED / BLACK ANODIZED
	D- 2	20	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- 2	21	2'10"	6'8"	1 3/4" Swing Simple	Square	Panel	None	3/4"	6 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- 2	22	6'0"	6'8"	1 3/4" Slider	Square	Panel	None	3/4"	4 1/2'	SIMPSON	PAINT GRADE		SINGLE PANEL / SQUARE STICKING
	D- 2	23	10'0"	9'0"	1 3/4" Slider	Square	Glass	None	3/4"	7 3/8'	WESTERN WINDOWS	SERIES 600		TEMPERED / BLACK ANODIZED



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**SCHEDULES** 

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scale

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DOOR SCHEDULE

ndow Sc	hedu	ıle					Window Schedule					CENS
	Non	minal Size	Window Sty	yle Glass	Window Data		W- 27 5'0"	7'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	NA ALE O
Image N	//ark (	O O Sash Ope	ation Top Shape	е	Mfr Model No.	Comments	W- 28 3'0"	7'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	
w-	01	3'0" 5'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 29 3'0"	7'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	
w	02	2'0" 5'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	W- 30 3'5 3/4"	7'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	
W-	03	3'0" 5'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 31 2'0"	10'0" Custom Squar	e TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	
	04	3'0" 5'0" Casement	Square	TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 32 3'11"	10'0" Custom Squar	e TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	
w_	05	5'0" 5'0" Fixed Glass	Square	TEMPERED	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	W- 33 3'11"	10'0" Custom Squar	e TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	
w-	06	3'0" 5'0" Casement	Square		X WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 34 3'11"	10'0" Custom Squar	e TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	S.
	07	3'0" 5'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 35 3'11"	10'0" Custom Squar	e TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	E
7												우
	08	3'0" 6'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	W- 36 5'3 1/2"	9'0" Fixed Glass Squar	e TEMPERED	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	0
	09	3'0" 6'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	W- 37 5'3 1/2"	9'0" Fixed Glass Squar	e TEMPERED	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	
	10	3'0" 5'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 38 5'0"	2'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	
w-	11	3'0" 5'0" Casement	Square	TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED	W- 39 5'0"	2'0" Fixed Glass Squar	e	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED	ISSUE
w-	12	2'0" 5'0" Casement	Square	TEMPERED	WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						FA PLANS V1 FA PLANS V2 FA V1 50% DESIGN SE
w-	<b>13</b> 5	5'1 7/8" 2'0" Fixed Glass	Square	TEMPERED	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						50% DESIGN SE 100% DESIGN S DESIGN REVIEV
	14	3'6" 2'0" Fixed Glass	Square	TEMPERED	WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						
w-	45	210" F10" Cocoment	Saucro		X WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						
		3'0" 5'0" Casement	Square									
w	16	5'0" 5'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						ш
w <u>-</u>	17	5'0" 5'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						E N
<b>W-</b>	18	3'0" 5'0" Casement	Square		X WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						RESIDER
W-	19	2'0" 2'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						
w	20	3'0" 5'0" Fixed Glass	Square		X WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						ACKS
	21	5'0" 5'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						THE JAC
		5'0" 7'0" Custom			WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						
			Square									SCH
W-	23	3'0" 6'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						THESE PLANS ARE CONSI CONSTRUCTION UNLESS: AND WET SIGNATURE. T LAW COPYRIGHT AND OT DESIGNS & INFORMATION
	24	3'0" 6'0" Fixed Glass	Square		WESTERN WINDOWS SERIES 600	BLACK ANNODIZED						DESIGNS & INFURMATION NOT TO BE REPRODUCED OR MANNER WHATSOEVE TO ANY THIRD PARTY, W EXPRESS WRITTEN PERMI
w	25	3'0" 6'0" Casement	Square		WESTERN WINDOWS SERIES 670	BLACK ANNODIZED						scale
w-	26	5'0" 2'0" Fixed Glass	Square		WESTERN WINDOWS   SERIES 600	BLACK ANNODIZED						
												sheet
		EDULE										(c) TOBYLONG



DATE

WINDOW SCHEDULE

## <u>LEGEND</u>

92.6 EXISTING ELEVATION

-100 EXISTING CONTOUR LINE

EXISTING UTILITY POLE

EXISTING EDGE OF PAVEMENT

EXISTING FENCE AS NOTED

OH EXISTING OVERHEAD UTILITY

-100.0 ELEVATION, PROPOSED

FG PROPOSED CONTOUR LINE

DIRECTION OF SURFACE DRAINAGE FLOW

EXISTING TREE

*ASPHALT* AREA DRAIN CATCH BASIN CLEANOUT CONC CONCRETE DROP INLET DIAMETER DIAM EXISTING ELECTRIC METER BOX EDGE OF PAVEMENT FINISHED FLOOR FINISHED GRADE FLOW LINE FINISHED SURFACE GAS METER SANITARY SEWER TOP OF CURB TOP OF GRATE WATER METER BOX

# GRADING AND SITEWORK SPECIFICATIONS

- 1. SITE-DISTURBING CONSTRUCTION ACTIVITIES MUST BE RESTRICTED TO THE BOUNDARIES OF THIS SITE. AREAS TO BE GRADED SHALL BE CLEARED OF BRUSH, VEGETATION, LARGE BOULDERS, AND OTHER DELETERIOUS MATERIALS. CLEARED MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR TO A DESIGNATED DUMP SITE OR OTHER LOCATION APPROVED BY THE CITY OR COUNTY. TOPSOIL SHALL BE STOCKPILED WITHIN THE CONSTRUCTION PERIMETER AREAS, AS APPROVED BY THE OWNER, FOR RE-USE ON SLOPES AND DISTURBED AREAS. ALL GRADING SHALL BE PERFORMED IN ACCORDANCE WITH CITY OR COUNTY ORDINANCES AND STANDARDS.
- 2. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO CONTROL DUST IN CONSTRUCTION AREAS OR ON ACCESS ROADS. SUFFICIENT WATER TRUCKS SHALL BE MADE AVAILABLE FOR DUST CONTROL PURPOSES. ALL EXPOSED SOIL SURFACES SHALL BE MOISTENED AS REQUIRED TO AVOID NUISANCE CONDITIONS AND INCONVENIENCES FOR LOCAL RESIDENTS AND TRAVELERS OF NEARBY ROADWAYS. CONTRACTOR SHALL TAKE ALL SUCH MEASURES NECESSARY TO RETAIN SOIL AND SEDIMENT ON SITE AND TO PREVENT TRACKING OF MUD AND DIRT ONTO PUBLIC ROADWAYS.
- 3. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
- 4. A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK WITHIN THE PUBLIC RIGHT—OF—WAY.

# EROSION CONTROL NOTES

- 1. TEMPORARY EROSION CONTROL FACILITIES SHALL BE IN PLACE PRIOR TO COMMENCING ANY GRADING OPERATIONS.
- 2. DURING CONSTRUCTION, TEMPORARY EROSION CONTROL MEASURES SUCH AS BERMS, SILT FENCES, FIBER ROLLS, EROSION CONTROL BLANKETS, OR OTHER METHODS SHALL BE INSTALLED AS NECESSARY TO PREVENT DISCHARGE OF EARTHEN MATERIALS FROM THE SITE DURING PERIODS OF PRECIPITATION OR RUNOFF. SIMILAR MEASURES SHALL BE INSTALLED ON OR AROUND ANY SOIL STOCKPILE LOCATED ADJACENT TO PUBLIC ROADWAYS, RESIDENCES, OR BUSINESSES, IN THE VICINITY OF BODIES OF WATER, OR WHEN REMAINING ON—SITE FOR AN EXTENDED PERIOD.
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- 4. BMP'S SHALL BE MAINTAINED AND OPERATED SUCH THAT THEY REDUCE OR ELIMINATE POLLUTANTS FROM EXITING THE SITE TO THE GREATEST EXTENT POSSIBLE. IF SELECTED BMP'S ARE NOT WORKING AS REQUIRED, THE BMP INSTALLATION MUST BE IMPROVED, OR NEW BMP'S SHALL BE SELECTED.
- 5. EROSION CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 30.

# GRADING AND DRAINAGE PLAN

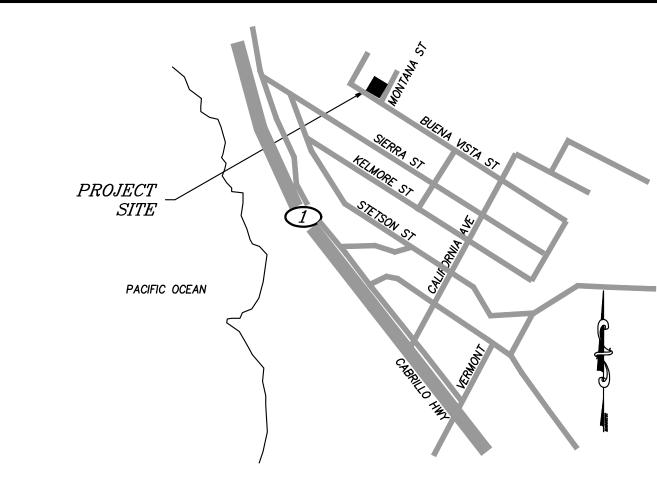
# JACKSON RESIDENCE BUENA VISTA STREET, MOSS BEACH, CA 94038

# INDEX TO SHEETS

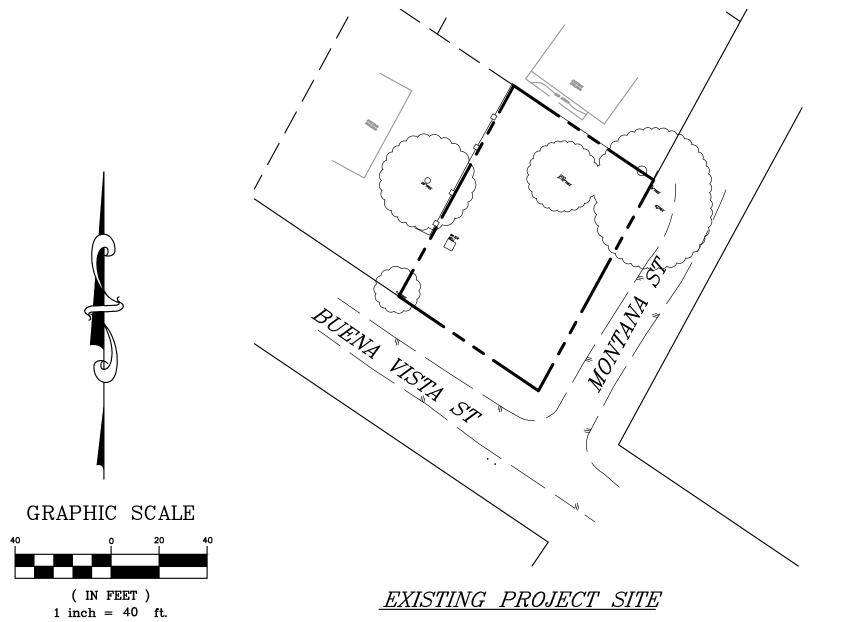
SHEET 1 - TITLE SHEET

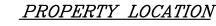
SHEET 2 - GRADING & DRAINAGE PLAN

SHEET 3 - EROSION CONTROL PLAN SHEET 4 - SAN MATEO COUNTY CONSTRUCTION BMPs



VICINITY MAP





BUENA VISTA STREET & MONTANA ST. MOSS BEACH, CA 94038

## LEGAL DESCRIPTION

A.P.N. 037-061-060 LOTS 13-14, BLOCK 26 6 MAPS 8 SAN MATEO COUNTY

## RECORD OWNER

DAVID & REBECCA JACKSON 755 PAGE MILL ROAD #B-7 PALO ALTO, CA 94304

# <u>SURVEYOR</u>

TRIAD/HOLMES ASSOCIATES 777 WOODSIDE RD #2A REDWOOD CITY, CA 94061

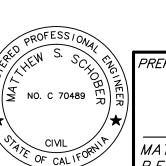
# <u>ARCHITECT</u>

TOBY LONG DESIGN 6114 LA SALLE AVE #552 OAKLAND, CA 94611 415-905-9030

## SITE BENCHMARK

TEMPORARY BENCHMARK
RIM OF SEWER MANHOLE, ASSUMED
DATUM, ELEVATION = 100.00





PREPARED AND SUBMITTED BY:

MATTHEW S. SCHOBER
P.E. C 70489

SON RESIDI

triod/holmes associated and surveying

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777 woodside rd. suite a REDWOOD CITY, ca 94061 phone (650) 366-0216 fax (650) 366-0298 e-mail sf@thainc.com

555 chorro st. suite a SAN LUIS OBISPO, ca 93405 phone (805) 544-8908 fax (805) 544-8932 e-mail slo@thainc.com

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triad/holmes assoc. civil engineering

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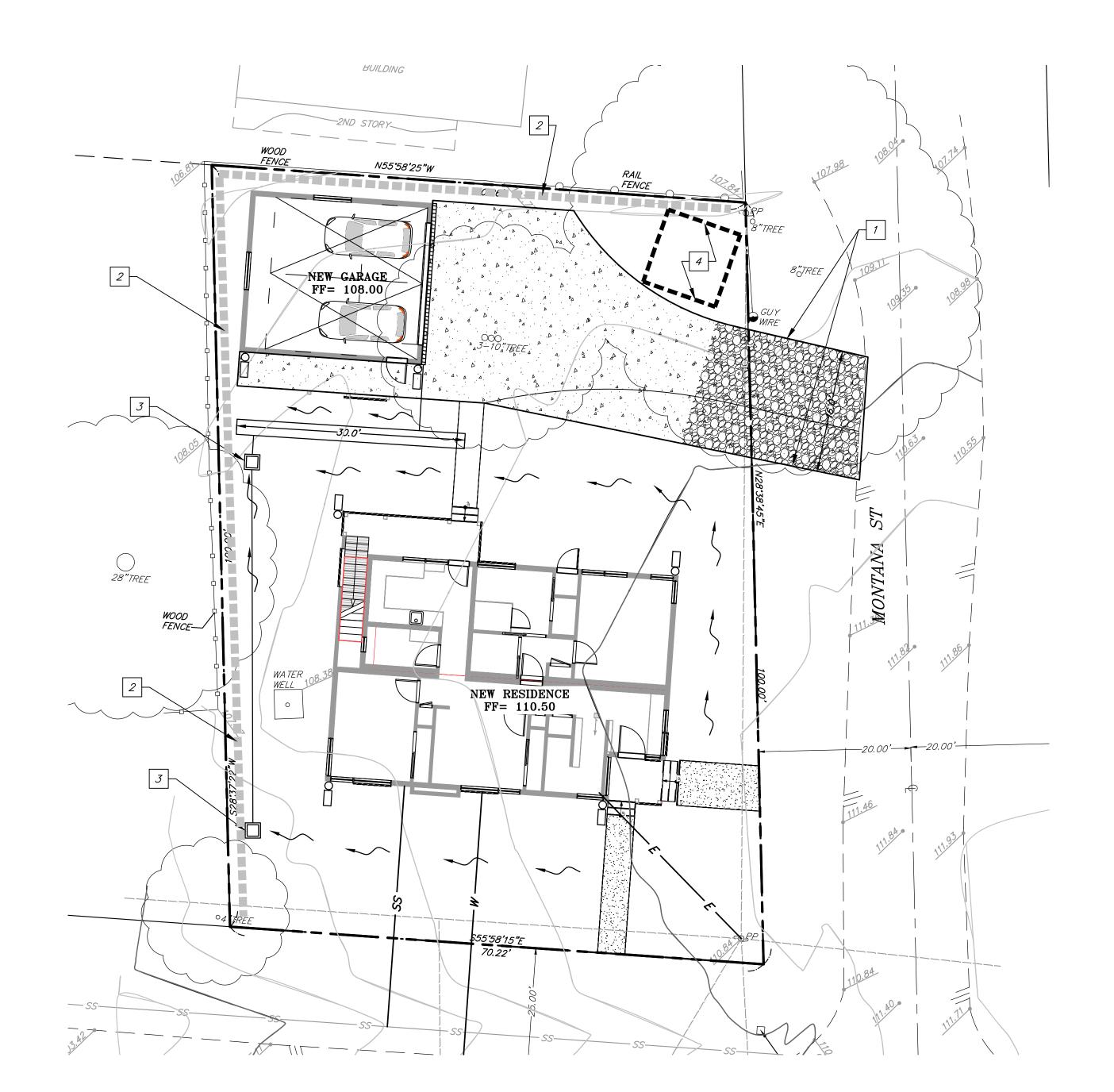
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1"=10' MS

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PREPARED AND SUBMITTED BY: MATTHEW S. SCHOBER P.E. C 70489

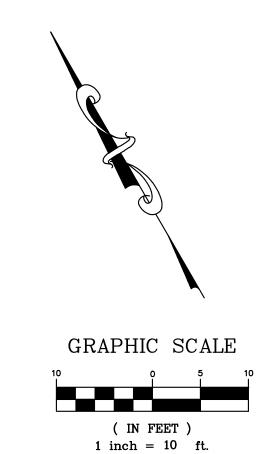


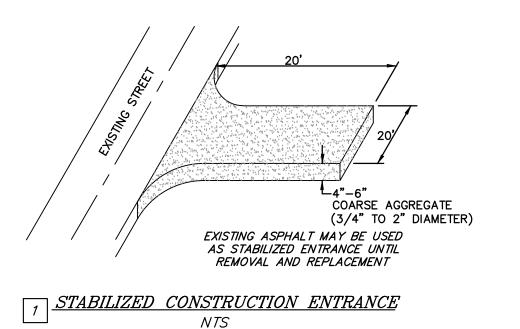
# <u>CONSTRUCTION NOTES</u>

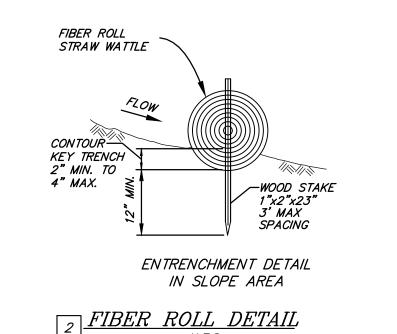
- 1 INSTALL STABILIZED CONSTRUCTION ENTRANCE PER DETAIL HEREON.
- 2 INSTALL FIBER ROLL PER DETAIL HEREON.
- 3 INSTALL DROP INLET PROTECTION PER DETAIL HEREON.
- 4 INSTALL CONCRETE WASHOUT PER DETAIL HEREON.

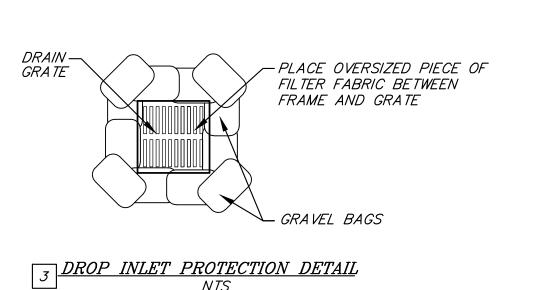
# EROSION CONTROL NOTES

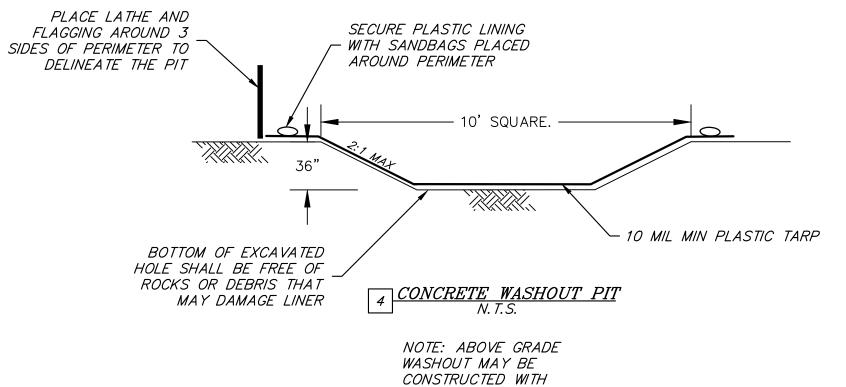
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- 5. EROSION CONTROL MEASURES SHALL BE IN PLACE THROUGHOUT THE RAINY SEASON BETWEEN OCTOBER 1 AND APRIL 30, AND SHALL BE AVAILABLE ON-SITE IN THE EVENT OF FORECASTED WET WEATHER.
- 6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHECKING AND REPAIRING EROSION CONTROL SYSTEMS AFTER EACH STORM.











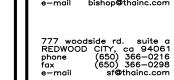
ENGINEER'S APPROVAL



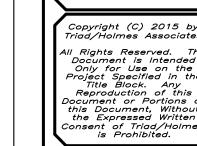
# CONSTRUCTION











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# Construction Best Management Practices (BMPs) Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

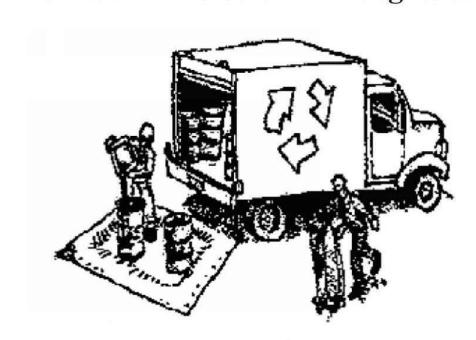
Clean Water. Healthy Community.

SAN MATEO COUNTYWIDE

Water Pollution

Prevention Program

# Materials & Waste Management



## **Non-Hazardous Materials**

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

## **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

# Waste Management

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

# **Construction Entrances and Perimeter**

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

# **Equipment Management & Spill Control**



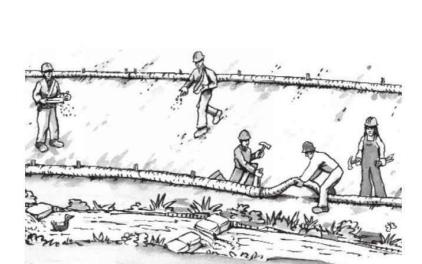
# **Maintenance and Parking**

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

# Spill Prevention and Control

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

# **Earthmoving**



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

# **Contaminated Soils**

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

# Paving/Asphalt Work



- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

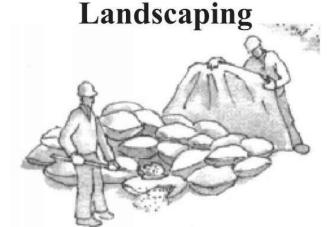
# Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

# Concrete, Grout & Mortar **Application**

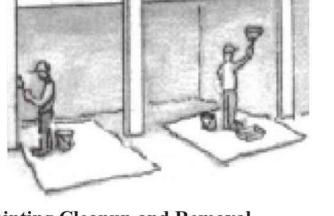


- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

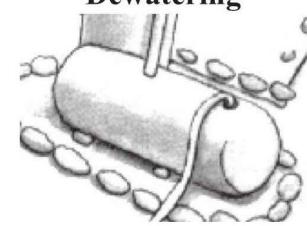
# **Painting & Paint Removal**



# Painting Cleanup and Removal

- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state certified contractor.

# **Dewatering**



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!