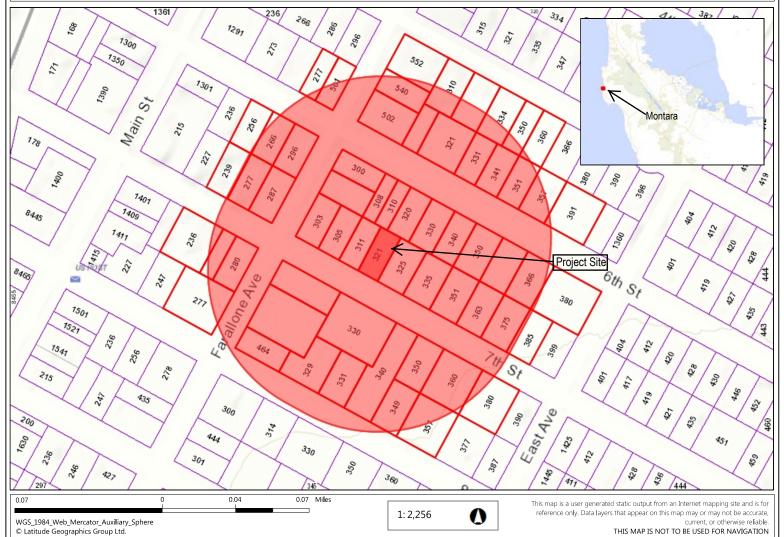


Property Owner: Josephine Lai Suk Fan

APN: 036-022-080 Project Site: 321 Seventh Street, Montara



# Application for Design Review by the County Coastside Design Review Committee

### Property of the property of th

County Government Center # 455 County Center # Redwood City CA 94063

Mail Drop PLN 122 # 650 • 363 • 4161 # FAX 650 • 363 • 4849

2015 - 60 208

Positive Committee	Permit #: PLN
Review Committee	Other Permit #:
ZEBesic Information	
Applicant:	Owner (if different from Applicant):
Name: HENRY YENNEY. (Jan THERKELO ADOUTT	- NAME: SOREPHINE LAS.
Address: 1862 318t Aven	
San) FRANCISIO ZIP: CA 94122	MONTORA ZIP: PA 94037
Phone,W: 415,333,3535 H:	Phone, W: 1915, 7.53, 1386 H:
Email: hy.pro.engr @ gmail.com,	Email:
Architect or Designer (if different from Applicant):	
Name:	
Address:	Zip:
Phone,W: H:	Email:
2 Brojesi Ste Momenton	
Project location:	Site Description:
PN: 036.022,080.	□ Vacant Parcei
address: 321 7th St.	Existing Development (Please describe):
Montaga Zip: CA94037.	
foning: $Q-1-S-17$	(E) 2 STORIEG SINGLE FAMILY HOME
arcel/lot size: ψ567 sq. ft.	
3. Project Description	
Project:	Additional Permits Required:
☐ New Single Family Residence: sq. ft	-
Addition to Residence: 579 sq. ft	☐ Certificate of Compliance Type A or Type B
Other:	Coastal Development Permit
	☐ Fence Height Exception (not permitted on coast)
Possyiba Dyningty	☐ Grading Permit or Exemption
Describe Project:	☐ Home Improvement Exception
(2) STORIES REAC HORIZONTIN	□ Non-Conforming Use Permit
ASOUTION	☐ Off-Street Parking Exception
	n Variance

in the second		ings asymbores again			
Fill in Blanks:	Material	Color/Finish	Check if matches existing		
<b>š</b>	* MATCH EXISTING	(If different from existing, attach sample)  ** ALATCH EXISTING			
a. Exterior walls	STUCCO. *	GIZAY. AF			
b. Trim	Wood *	WHITE *			
c. Windows	Viny C. #	WHITEA			
d. Doors	woop of,	MHILEX			
e. Roof	Struge of	GREATY it			
f. Chimneys	(e) back p.	(E) 267 W			
g. Decks & railings	FT SOO WOOD	HERE BEALD X.			
h. Stairs	(E) Weop	(E) BROWN			
i. Retaining walls	N/A	<u> </u>			
j. Fences	(E) Weep	(e) Wood.			
k. Accessory buildings	TB, DEMPLISHED.	ro/A .			
I. Garage/Carport	(F) STUCLO . 8	(E) Geor			
including the required find applicable to the location of	ings, the County must determine that this proings that the project does conform to the of the project pursuant to Section 6565.10 is Statement of project compilance with s	e standards and guidelines for design rev 0.	iew		
hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.					
Owner:  Date:	Applicar	6.29.15			

#### Planning and Building Department

## Application for a Coastal Development Permit

455 County Center , 2nd Floor · Redwood City, CA 94063 Mail Drop: PLN 122 · TEL (650) 363-4161 · FAX (650) 363-4849

Companion Page

Applicant's Name:	GIRT	YEUNET	
Primary Permit #:			,

#### and maine

Straffer Strain Land to the English

Please fill out the general Planning Permit Application Form and this form when applying for a Coastal Development Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

	alteration of the second		1.1	一点,一点,	the state of the state of	
2. Basic Information						
Does the owner or applicant own any adjacent property not listed?    Yes  No		Have you or anyone else previously applied to either the County of San Mateo or the California Coastal Commission for a Coastal Development Permit for this or a similar project at this location?  Yes  No If yes, explain (include date and application file numbers).				
If yes, list Assessor's Parcel Number(s):	•		3		•	•
					• .	1.0
			<u></u>	<u> </u>		121 13
e de la companya del companya de la companya de la companya del companya de la co		1. 3	ora que			
					San Francisco	(f + + ) (f

#### 3. Materials and Finish of Proposed Buildings or Structures

Note: By completing this section you do not need to file a separate application for Design Review Approval.

Fill in Blanks: Material		FULTER CUSTURG matches  Color/Finish		
a. Exterior Walls	57040	* *************************************		
b. Trim	Woop.	of ·	_ 🖳	
c. Roof	SHOW LC	*	<u> </u>	
d. Chimneys		The second of the second	□ M/A.	
e. Accessory Buildings			□ N/A	
f. Decks/Stairs	WOOD.	*	<b>u</b>	
g. Retaining Walls		/.		
h. Fences			□ N/A	
i. Storage Tanks			I m/s	

4s Project Mormation			
Does this project, the parcel on which it is located o immediate vicinity involve or include:	or the	p. Between the sea and the nearest public road?	
Yes		q. Existing or proposed provisions for public access to the shoreline?	
a. Demolition of existing housing units?  (If yes, give value of owner-occupied units or current monthly rent of rental		r. Public or commercial recreation facilities? ] s. Visitor-serving facilities?	
units in explanation below.)	. /	t. Existing or proposed public trail	<u> </u>
b. Creeks, streams, lakes or ponds?		easements?	
c. Wetlands (marshes, swamps, mudflats)?	□ □	Explain all Yes answers below. Indicate w	thether the
d. Beaches?	$oldsymbol{arphi}_j$	item applies to the project itself, the parcel on w	
e. Sand Dunes?	Ø	located, or the immediate vicinity (attach addition	
f. Sea cliff, coastal bluffs or blufftops?	<b>D</b>	necessary):	
g. Ridgetops?	Ø		
h. Pampas Grass, invasive brooms or Weedy Thistle?	\overline{\overline{\sigma}}		
i. Removal of trees or vegetation?	· [5]	* 12 * 1	
j. Grading or alteration of landforms?	$\square$		
k. Landscaping?	Ø,		
I. Signs?	Ø		
m. Phone or utility line extensions or ———————————————————————————————————	· · · · · · · · · · · · · · · · · · ·		
n. Areas subject to flooding?	□,		
o. Development on slopes 30% or steeper?	Ø		
5 Said Geomy			
California Coastal Commission Jurisdicti	ion	Commission, a public hearing is always required	1.
A. Does the Proposed Project Involve:	· .	<b>B.</b> Does the proposed project involve lands belo	ow the mean
1. A subdivision, Certificate of Compliance Type B, Us Permit; or Planned Agricultural District Permit?	se	high tide line and lands where the public tru (See "Post CCP Certification Permit and Appea Map).	
2. Construction or grading within 100 feet of a stream	m or	Yes 🔟 No	
wetland?	~		
□ Yes     回 No	•	Yes to above means that the California Coastal C	
3. A parcel located between the sea and the first pub through road paralleling the sea; 300 feet from the extent of any beach or mean high tide line if there beach; or within 300 feet of the top of the seaward	e inland is no	retains permit jurisdiction over all or part of the project. A Coastal Development Permit from that required.	
a coastal bluff?		Reviewed by:	· ·
Yes No			
Yes to any one of the above means that the Coastal Development Permit is appealable to the Coastal			

## **Environmental Information Disclosure Form**

Project Address: 32 7-1k C	Name of Owner:	JOSEPHING. LAT.
MONTARA, CA 94037.	Address:	321 Tth St., MONTARA, CA94037
To the property of the state of		Phone: Ψ/S.753,1388.
Assessor's Parcel No.: 036 — 022 — 080.	Name of Applicant:	HENRY YEUNE
	Address:	1862 31st Ave, S.F., CA94122.
Zoning District: R-1-5-17	WHERE I MANUAL WAS AND	Phone: 415,733,3535
Existing Site Conditions		
Parcel size: 45°7		
Describe the extent and type of all existing development and u purpose of any easements on the parcel, and a description of a creeks, vegetation).	ses on the project parce any natural features on the	I, including the existence and ne project parcel (i.e. steep terrain,
(E) (2) STORY GREY LE FAMILY HOUSE W/ (11)	(2) STORY READ 1	EORIZONTON PERCE PRENT

3	No	Will this project involve:
	<u> </u>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
		b. Construction of a new multi-family residential structure having 5 or more units?
	X	c. Construction of a commercial structure > 2,500 sq.ft?
	X	<ul> <li>d. Removal of mature tree(s) ( ≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)?</li> <li>If yes, how many trees to be removed?</li> </ul>
	×	e. Land clearing or grading?  If yes, please state amount in cubic yards (c.y.):  Excavation: c.y. Fill: c.y.
	X	f. Subdivision of land into 5 or more parcels?
	X	g. Construction within a State or County scenic corridor?
	して	h. Construction within a sensitive habitat?
	X	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
	$\prec$	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?
ise	explain	all "Yes" answers:
	•	
	<del></del>	

2. Na	2. National Marine Fisheries Rule 4(d) Review				
Yes	No	Will the project involve:			
$X_{-}$		a. Construction outside of the footprint of an existing, legal structure?			
	X_	b. Exterior construction within 100-feet of a stream?			
<del></del>	X	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?			
ļ <u>.</u>	LX.	d. Land-use within a riparian area?			
	X	e. Timber harvesting, mining, grazing or grading?			
		f. Any work inside of a stream, riparian corridor, or shoreline?			
		g. Release or capture of fish or commerce dealing with fish?			
Please	Please explain any "Yes" answers:				

3. Na	3. National Pollutant Discharge Elimination System (NPDES) Review			
Yes	No	Will the project involve:		
		a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of 10,000 sq. ft. or more of impervious surface?		
	X	If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.		
	b. Land disturbance of 1 acre or more of area?			
	X	If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) <u>prior</u> to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.		

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Signed:	Jame	ki.	Date:	6.29 15
	(Applicant may sign			And the second s

#### STRUCTURAL GENERAL NOTES

#### **GENERAL REQUIREMENTS**

1. WORK PERFORMED SHALL COMPLY WITH THE FOLLOWING: A. THESE STRUCTURAL NOTES AND THE GENERAL NOTES OF ARCHITECTURAL DRAWINGS UNLESS

OTHERWISE NOTED ON PLANS OR SPECIFICATIONS. B. ALL APPLICABLE SAN MATEO AND STATE CODES, ORDINANCES AND REGULATIONS.

C. ALL APPLICABLE MUNICIPAL AND ZONING CODES, AND CBC, 2013 EDITION. 2. ONSITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE

CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE. ARCHITECT SHALL BE NOTIFIED IMMEDIATELY BY CONTRACTOR SHOULD ANY DISCREPANCIES OR OTHER QUESTION ARISE PERTAINING TO THE WORKING DRAWINGS BEFORE PROCEEDING WITH THE WORK.

3. NO DEVIATIONS FROM STRUCTURAL DESIGN WITHOUT WRITTEN APPROVAL OF THE ARCHITECT. APPROVAL BY CITY INSPECTOR DOES NOT CONSTITUTE AUTHORITY TO DEVIATE FROM PLANS AND SPECIFICATIONS.

#### SITE WORK

1. ALL FOOTINGS SHALL BE PLACED ON UNDISTURBED NATURAL SOIL OR ON PROPERLY COMPACTED

#### 2. A SOIL PRESSURE OF 1,500 PSF IS ASSUMED.

3. NO TRENCHES OR EXCAVATIONS OVER 4'-11" IN DEPTH SHALL BE CONSTRUCTED WITHOUT A PERMIT FROM THE STATE OF CALIFORNIA DIVISION OF INDUSTRIAL SAFETY.

4. TEMPORARY SHORING IS REQUIRED FOR EXCAVATIONS THAT REMOVE THE LATERAL SUPPORT FROM A PUBLIC WAY OR AN EXISTING BUILDING. EXCAVATIONS ADJACENT TO A PUBLIC WAY REQUIRE PUBLIC WORKS APPROVAL PRIOR TO ISSUANCE OF A BUILDING PERMIT.

#### 5. EARTHWORK: A. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO FULLY PROTECT ADJACENT

- B. ALL EXCAVATIONS FOR FOOTINGS SHALL HAVE FIRM LEVEL BOTTOMS IN BEDROCK. C. EXCAVATIONS SHALL BE KEPT FREE OF STANDING WATER.
- D. WHERE EXCAVATIONS HAVE BEEN MADE TO A DEPTH GREATER THAN INDICATED. SUCH ADDITIONAL DEPTH SHALL BE FILLED WITH CONCRETE AS SPECIFIED FOR THE FOOTING.
- E. FILL MATERIALS SHALL BE FREE FROM DEBRIS, VEGETABLE MATTER, AND OTHER FOREIGN SUBSTANCES.

#### F. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO SHORE AND PROTECT EXISTING FOUNDATIONS FROM SETTLEMENT AND DAMAGE.

#### CONCRETE

- 1. ALL BACKFILL SHALL BE COMPACTED TO A MINIMUM OF 90% OF RELATIVE COMPACTION.
- 2. ALL WATER SHALL BE REMOVED FROM FOUNDATION EXCAVATIONS PRIOR TO PLACING OF CONCRETE. REINFORCING STEEL:
- A. STEEL BARS SHALL CONFORM TO ASTM A615 AND BE GRADE 60 EXCEPT THAT NO. 3 AND NO. 4 STEEL BARS USED AS TIES OR STIRRUPS SHALL BE GRADE 40. AND REINFORCING STEEL SHALL BE NEW, FREE OF SCALE, AND RUST.
- B. TIE WIRE SHALL BE 16 GAUGE, BLACK ANNEALED CONFORMING TO ASTM A-82.
- C. WIRE FABRIC SHALL CONFORM TO ASTM A-185.
- 4. HARDWARE AND ACCESSORIES: A. ANCHORS SHALL BE MANUFACTURED OF ASTM A-307 STEEL, 5/8" DIAMETER WITH A 7"
- EMBEDMENT UNLESS OTHERWISE NOTED.
- B. SHOTPINS SHALL BE ICBO APPROVED. C. EXPANSION BOLTS (WEDGE ANCHORS) AND ADHESIVE ANCHORS SHALL BE ICBO APPROVED. D. MANUFACTURED HARDWARE SHALL BE ICBO APPROVED AND PRODUCED BY THE SIMPSON
- COMPANY, SEE STRUCTURAL NOTE 1. E. FABRICATED ACCESSORIES SHALL COMPLY WITH SECTION 05120.

- 5. CONCRETE: A. ALL CONCRETE SHALL BE STONE CONCRETE UTILIZING AGGREGATE CONFORMING TO ASTM C-33.
- CEMENT SHALL BE TYPE I OR II CONFORMING TO ASTM C-150, LOW ALKALI. B. WATER SHALL BE CLEAN, FRESH AND SUITABLE FOR DOMESTIC USE.
- C. CONCRETE USED STRUCTURALLY SHALL ACHIEVE A MINIMUM STRENGTH OF 2500 PSI IN 28 DAYS. D. 25% OF CEMENT CAN BE REPLACED WITH CLASS "C" OR "F" FLY ASH AND CONFORM TO ASTM-C-618, SUCH CONCRETE MIX SHALL NOT BE LOADED AND FORMS SHALL NOT BE REMOVED IN THE
- FIRST SEVEN DAYS. E. MINIMUM CONCRETE PROTECTION FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- 1. CONCRETE AGAINST EARTH (UNFORMED) 3" MIN. 2" MIN. 2. CONCRETE AGAINST EARTH (FORMED)
- 3/4" MIN. 3. CONCRETE SLABS (STRUCTURAL)
- 4. CONCRETE WALLS INTERIOR FACE 3/4" MIN. 6. BEFORE CONCRETE IS PLACED THE CONTRACTOR SHALL COORDINATE AND CHECK WITH ALL TRADES TO ENSURE THE PROPER PLACEMENT OF ALL OPENINGS, SLEEVES, INSERTS, CURBS, DEPRESSIONS, ETC.,
- RELATING TO THE WORK, AND AS SHOWN IN THE DRAWINGS. ANY CHANGE OR DISCREPANCY SHALL BE APPROVED BY THE ARCHITECT OR ENGINEER AND THE LOCAL BUILDING AGENCY PRIOR TO PLACEMENT OF
- 7. CONCRETE QUALITY: INSPECTION AND TESTS SHALL CONFORM TO THE LOCAL BUILDING CODE REQUIREMENTS FOR CONCRETE DESIGNED BY WORKING STRESSES METHOD. 8. ALL CONCRETE MIXES SHALL CONFORM TO THE PROPORTIONS ESTABLISHED BY CODE FOR THE
- VARIOUS CONCRETE STRENGTHS REQUIRED FOR THE WORK. 9. REMOVAL OF FORMS: SUPPORTING VERTICAL SURFACE - 2 DAY MINIMUM. SUPPORTING BEAMS AND GIRDERS - 15 DAYS MINIMUM.
- 10. CONSTRUCTION JOINTS: SHALL BE PREPARED BY WIRE BRUSHING AND CLEANING AND BRUSHING IN A PASTE OF NEAT CEMENT MORTAR IMMEDIATELY PRIOR TO CONCRETING.
- 11. ALL REINFORCING SHALL BE INSPECTED BY THE BUILDING INSPECTOR PRIOR TO PLACEMENT OF

12. NO PIPES OR SLEEVES SHALL BE PLACED IN CONCRETE UNLESS SPECIALLY DETAILED AND APPROVED

BY THE ARCHITECT OR ENGINEER. 13. ALL CONCRETE OR MASONRY RETAINING WALLS SHALL BE EQUIPPED WITH A VAPOR BARRIER (MIRA-DRAIN TYPE) AND A PERFORATED PIPE DRAIN SURROUNDED BY GRAVEL

#### CARPENTRY

1.CARPENTRY - ROUGH

23'-5"

STORAGE SHED TO BE

**DEMOLISHED** 

REAR GRASS YARD TO REMAIN

- A. ALL NEW FRAMING LUMBER SHALL HAVE 19% MAX. MOISTURE CONTENT AT TIME OF
- INSTALLATION. B. ALL WOOD RESTING ON CONCRETE WITHIN 18" OF FINISH GRADE SHALL BE PRESSURE TREATED DOUGLAS FIR OR SILL GRADE REDWOOD.
- C. ALL PLYWOOD SHALL CONFORM WITH U.S. PRODUCT STANDARD 1-74 AND BE IDENTIFIED WITH THE APPROPRIATE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION. PANELS WHICH MAY HAVE ANY EDGE OR SURFACE PERMANENTLY EXPOSED TO THE WEATHER OR MOISTURE SHALL BE CLASSIFIED AS EXTERIOR. THE SPACING IN INCHES OF ROOF AND FLOOR SUPPORTS OVER WHICH PANELS ARE APPLIED SHALL NOT EXCEED THE SPAN RATING STAMPED ON THE PANELS. PANEL THICKNESS SHALL BE AS SHOWN ON THE DRAWINGS.
  - 1. PLYWOOD ROOF SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE I, C-D. GRADE. 2. PLYWOOD WALL SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE I, C-D GRADE OR APA
- RATED SHEATHING STRUCTURAL II, EXPOSURE I, C-D GRADE UNLESS OTHERWISE NOTED. 3. PLYWOOD FLOOR SHEATHING SHALL BE APA RATED SHEATHING EXPOSURE I, C-D GRADE WITH BLOCKED PANEL EDGES OR APA RATED STURD-I-FLOOR EXPOSURE I, TONGUE AND GROOVE.
- D. FLUSH FRAMED JOISTS: ALL FLUSH FRAMED JOISTS SHALL SEAT IN SIMPSON HANGERS.
- E. POSTS: POSTS MAY BEAR ON SILL PLATES UNLESS OTHERWISE DETAILED. F. LAG SCREWS: LAG SCREWS SHALL BE TURNED AND NOT DRIVEN INTO PREDRILLED HOLES OF 2/3
- SHANK DIAMETER. G. STUD BOLTING: STUDS ADJACENT TO CONCRETE OR MASONRY WALLS SHALL BE BOLTED THERETO
- WITH 1/2" X 8" BOLTS AT TOP, BOTTOM AND MID-HEIGHT. H. BEAMS LAMINATED OF MORE THAN TWO JOISTS SHALL BE ATTACHED WITH 1/2" THRU BOLTS @ 24" O.C. STAGGERED.

6'-4 1/2"

SLOPE

#### TABLE 2304.9.1 FASTENING SCHEDULE

CONNECTION	NAILING
JOIST TOENAIL TO SILL/GIRDER	3-8d
2. TOENAIL EA. END OF BRIDGING TO JOIST	2-8d
3. FACE NAIL 1" X 6" SUBFLOOR OR LESS FACE TO EA. JOIST	2-8d
4. FACE NAIL WIDER THAN 1" X 6" SUBFLOOR TO EA. JOIST	3-8d
5. BLIND & FACE NAIL 2" SUBFLOOR TO JOIST OR GIRDER	2-16d
6. TYP FACE NAIL SOLE PLATE TO JOIST OR BLOCKING	16d @ 16" O.C.
FACE NAIL AT BRACED WALL SOLE PLATE TO JOIST OR BLOCKI	NG 3-16d PER 16"
7. END NAIL TOP PLATE TO STUD	3-8d 2-16d 16d @ 16" O.C. NG 3-16d PER 16" 2-16d 4-3d / 2-16d 16d @ 24" O.C. 16d @ 16" O.C. 8-16d
8. TOENAIL/ENDNAIL STUD TO SOLE PLATE	4-3d / 2-16d
9. FACE NAIL DOUBLE STUDS	16d @ 24" O.C.
10. TYP FACE NAIL DOUBLE TOP PLATES	16d @ 16" Q.C.
LAP SPLICE DOUBLE TOP PLATES	8-16d ATE 3-8d
11. TOENAIL BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PL 12. TOENAIL RIM JOIST TO TOP PLATE	8-160 ATE 3-8d 8d @ 6" O.C.
13. FACENAIL TOP PLATES, LAPS AND INTERSECTIONS	2-160
14. EDGE NAIL CONTINUOUS 2-PIECE HEADER	16d @ 16"_0.C.
15. TOENAIL CEILING JOISTS TO PLATE	3-8c
16. TOENAIL CONTINUOUS HEADER TO STUD	4-80
17. FACENAIL CEILING JOISTS LAP OVER PARTITIONS	3-160
18. FACENAIL CEILING JOISTS TO PARALLEL RAFTERS	3-160
19. TOENAIL RAFTER TO PLATE	3-80
20. FACENAIL 1" DIAGONAL BRACE TO EACH STUD AND PLATE	2-80
21 FACENAIL 1" X 8" SHEATHING OR LESS TO FACH BEARING	3-80
22. FACENAIL WIDER THAN 1" X 8" SHEATHING TO EACH BEARING	3-80
23. BUILT-UP CORNER STUDS	16d @ 24" O.C
24. FACENAIL BUILT-UP GRIDER AND BEAMS 10d @	24" O.C. TOP & BOTTOM STAGGER EA. SIDES
24. FACENAIL BUILT-UP GRIDER AND BEAMS 10d @ FACENAIL BUILT-UP GRIDER AND BEAMS @ SPLICE 25. 2" PLANKS @ EACH BEARING 25. 2" PLANKS	3-100
26. FACENAIL COLLAR TIE TO RAFTER	2-16c 3-10c
27. TOENAIL JACK RAFTER TO HIP	3-100
FACENAIL JACK RAFTER TO HIP	2-160
28. TOENAIL ROOF RAFTER TO 2X RIDGE BEAM	2-160
FACENAIL ROOF RAFTER TO 2X RIDGE BEAM	2-160
29. FACENAIL JOIST TO BAND JOIST	3-160
30. FACENAIL LEDGER STRIP	3-160
31. WOOD STRUCTURAL PANELS AND PARTICLEBOARD:	
SUBFLOOR AND WALL SHEATHING (TO FRAMING):	NR 0 L/ROOFIS R/40R 0/5 0/2 /0/40R 0/5
	)R 8d (ROOF)³; 8d⁴OR 6d⁵; 8d³; 10d⁴OR 8d¹
COMBINATION SUBFLOOR-UNDERLAYMENT (TO FRAMING):	
≤ 3/4" : 7/8" - 1" : 1 1/8" - 1 1/4"	6d <sup>5</sup> ;8d <sup>5</sup> ;10d <sup>4</sup> 0R8d <sup>5</sup>

≤ 3/4"; 7/8" - 1"; 1 1/8" - 1 1/4" 6d°;8d°;10d°0R8d° 6d6; 8d6

32. PANEL SIDING (TO FRAMING): 33. FIBERBOARD SHEATHING: 34. INTERIOR PANELING

COMMON OR BOX NAILS MAY BE USED EXCEPT WHERE OTHERWISE STATED.

NAILS SPACED AT 6 INCHES (152 mm) ON CENTER AT EDGES, 12 INCHES (305 mm) AT INTERMEDIATE SUPPORTS EXCEPT 6 INCHES ( 152 mm AT ALL SUPPORTS WHERE SPANS ARE 48 INCHES (1219 MM) OR MORE. FOR NAILING OF WOOD STRUCTURAL PANEL AND PARTICLEBOARD DIAPHRAGMS & SHEAR WALLS, REFER TO SECTIONS 2315.3.3 AND 2315.4. NAILS FOR WALL SHEATHING MAY BE COMMON, BOX OR CASING.

COMMON OR DEFORMED SHANK. COMMON.

14'-0"

PROPOSED (2) STORY ADDITION

SAND/GRAVEL

DEFORMED SHANK.

1/4"; 3/8" (SUPPORT @ 24" O.C.)

- CORROSION-RESISTANT SIDING OR CASING NAILS.
- FASTENERS SPACED 3 INCHES (76 mm) ON CENTER AT EXTERIOR EDGES AND 6 INCHES (152 mm) ON CENTER AT PANEL SUPPORTS AT 16 INCHES (406 mm) (20 INCHES (508mm) IF STRENGTH AXIS IN THE LONG DIRECTION OF

32'-0"

SUBJECT PROPERTY (E) SINGLE FAMILY RESIDENCE

(E) SECONDARY UNIT W/ GARAGE

PERVIOUS CONCRETE SURFACE PARKING

THE PANEL, UNLESS OTHERWISE MARKED). CASING OR FINISH NAILS SPACED 6 INCHES (152 mm) ON PANEL EDGES, 12 INCHES (305 mm) AT INTERMEDIATE SUPPORTS.

#### 2.FRAMING SHALL BE DONE IN A WORKMANLIKE MANNER BY SKILLED MECHANICS.

(BASED ON DOUGLAS FIR FRAMING LUMBER USING COMMON OR BOX NAILS UNLESS OTHERWISE NOTED) 3.PROVIDE 1X6 LET-IN DIAGONAL BRACES AT EACH 25 LINEAL FEET OF EXTERIOR WALL AND AT EACH CORNER, AND ALL MAIN CROSS STUD PARTITIONS LET-IN TO CROSS A MINIMUM OF FOUR (4) STUD SPACES AND AT 45 DEGREES WHERE POSSIBLE, UNLESS SHEATHED WITH PLYWOOD NAILED AT TOP AND BOTTOM PLATES WITH (3) 8d NAILS.

A. ALL NAILING SHALL CONFORM TO CBC2010 EDITION NAILING SCHEDULE TABLE NO. 2304.9.1

- 4.ALL EXPOSED NAILS SHALL BE CORROSION RESISTANT.
- 5.PROVIDE DOUBLE TRIMMERS AT EACH SIDE OF OPENINGS 8'-0" AND LARGER. 6.PROVIDE FIRESTOPPING IN STUD SPACES WITH 2 X WOOD BLOCKS IN THE CENTER OF ALL STUD
- SPACES OVER 10 FEET. 7.ALL POST/BM AND BM/BM CONNECTIONS SHALL BE SIMPSON UNLESS OTHERWISE NOTED.
- 8.ALL EXTERIOR FINISH MATERIAL SHALL BE APPLIED OVER ONE LAYER OF 15 LB. ASPHALT SATURATED FELT. PROVIDE HORIZONTAL BLOCKING AT 24" O.C. FOR VERTICAL SIDING.
- 9.PROVIDE VENTILATION AT ATTIC AND ENCLOSED ROOF RAFTERS WITH STANDARD WALL VENTILATORS. UNLESS NOTED OTHERWISE ON PLANS, USE 1/150 SQUARE FEET OF ENCLOSED SPACE. 10.CUTTING AND NOTCHING OF STUDS:
- A. EXTERIOR AND BEARING PARTITIONS: ANY WOOD STUD MAY BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25% OF THE WIDTH OF THE STUD. B. NON-BEARING PARTITIONS: ANY WOOD STUD MAY BE CUT OR NOTCHED TO A DEPTH NOT
- EXCEEDING 40% OF THE WIDTH OF THE STUD. 11.BORED HOLES: A HOLE NOT GREATER THAN 40% OF THE STUD MAY BE BORED IN ANY WOOD STUD. A HOLE NOT GREATER THAN 60% OF THE WIDTH OF THE STUD IS PERMITTED IN NON-BEARING PARTITIONS OR IN ANY WALL WHERE EACH STUD IS DOUBLED PROVIDED NOT MORE THAN TWO SUCH SUCCESSIVE DOUBLED STUDS ARE SO BORED. IN NO CASE SHALL A HOLE BE NEARER THAN 5/8" TO THE EDGE OF
- 12.CUTTING AND NOTCHING OF HORIZONTAL MEMBERS: A. ANY WOOD JOIST, BEAM OR GIRDER SHALL BE CUT OR NOTCHED ON THE TOP EDGE PROVIDED THE CUT DOES NOT EXCEED EITHER 1/5 OF THE DEPTH OF THE MEMBER OR TWO INCHES, AND DOES NOT ENCROACH INTO THE CENTER HALF OF THE SPAN.

STUDS AND NOT LOCATED AT THE SAME SECTION OF STUD AS A CUT OR NOTCH.

BORED IF THE HOLES ARE NOT NEARER THAN ONE INCH TO THE EDGE OF JOIST. C. HOLES SPACED AT LEAST 6" APART AND NOT LARGER THAN ONE INCH IN DIAMETER SHALL BE BORED THROUGH ANY WOOD BEAM. JOIST, OR GIRDER IF THE EDGE OF THE HOLE IS NOT NEARER THAN ONE INCH TO THE EDGE OF THE MEMBER.

B. HOLES SPACED AT LEAST 6" APART AND NOT LARGER THAN TWO INCHES IN DIAMETER MAY BE

#### STRUCTURAL DESIGN

6d;8d

1.CONNECTORS FOR WOOD CONSTRUCTION:

DESIGN IS BASED ON PRODUCTS MANUFACTURED BY SIMPSON-STRONG TIE CONNECTORS, 1450 DOOLITTLE DRIVE, P.O. BOX 1568, SAN LEANDRO, CA 94577. (510) 562-7775.

#### 2.STRUCTURAL OBSERVATION:

STRUCTURAL OBSERVATION IS REQUIRED FOR THE FOLLOWING: A. ROUGH WOOD FRAMING

SAND/GRAVEL DRIVEWAY

LANDSCAPE

CONCRETE DRIVEWAY & WALKWAY

SAND/GRAVEL

WALKWAY

LANDSCAPE

7.4

Storm Drain

WHEN CONSTRUCTION INSPECTION IS REQUIRED PER CBC CHAPTER 17, THE OWNER SHALL EMPLOY THE ENGINEER OF RECORD TO MAKE SITE VISITS TO OBSERVE GENERAL COMPLIANCE WITH THE APPROVED STRUCTURAL PLANS, SPECIFICATIONS AND CHANGE ORDERS. THE CONTRACTOR SHALL CORRECT ANY DEFICIENCIES NOTED.

DESIGN IS BASED ON SIMPSON SET-XP HIGH STRENGTH EPOXY-TIE ANCHORING ADHESIVE. EPOXY PRODUCTS MANUFACTURED BY SIMPSON STRONG-TIE ANCHOR SYSTEMS, 4120 DUBLIN BLVD. #400, DUBLIN, CA 94568. (925) 560-9000. AT HOLDOWNS, USE THREADED ROD WITH DIAMETERS AND EMBEDMENT SPECIFIED ON PLANS AND SCHEDULES, WIDEN BOTTOM WITH WASHERS AND NUTS. HOLES DRILLED FOR EPOXY INJECTION SHALL BE BRUSHED & BLOWN CLEAN WITH COMPRESSED AIR. ICC-ES EVALUATION REPORT ESR 2508.

#### 321 7th Street

ICBO INTERNATIONAL

INFO INFORMATION

LLH LONG LEG HORIZ.

LLV LONG LEG VERT.

Maximum

METAL

MFR MANUFACTURE

MIN MINIMUM

NEW

N.T.S. NOT TO SCALE

O.C. OFF CENTER

O.D. OUTSIDE DIA

SIM SIMILAR

STD. STANDARD

T.N. TOENAIL

T.O. TOP OF

T.O.W. T.O.W.

U.O.N.

TYP TYPICAL

WD. WOOD

W/ WITH

R.R. ROOF RAFTER

SQUARE

SPECS SPECIFICATIONS

T&G TONGUE & GROOVE

T.O.S. TOP OF SLAB/STEEL

NOTICED

VERTICAL

V.I.F. VERIFY IN FIELD

# REBAR SIZE

UNLESS OTHERWISE

T.R. THREADED ROD

S.A.D. SEE ARCHITECTURAL

DRAWING

MECHANICAL

JST JOIST

MAT'L. MATERIAL

MAX

MECH.

MTL.

CONFERENCE OF

**BUILDING OFFICIALS** 

Montara, CA 94037 REAR (2) STORY ADDITION

Permit Set 06.29.2015



**VICINITY MAP** 

**BUILDING ANALYSIS:** OCCUPANCY R-1 SINGLE FAMILY HOME TOTAL HABITABLE AREA

(E)1371 SQFT + (N)579 SQFT = 1950 SQFT

TOTAL UNHABITABLE AREA (E)200 SQFT **BUILDING AREA 2150 SQFT** PARCEL AREA 4507 SQFT LOT COVERAGE

(E) 0.17 / (N) 0.25 / 0.35 (ALLOW) FLOOR AREA RATIO

(E) 0.35 / (N) 0.48 / 0.48 (ALLOW) SHEET INDEX

A1.0 GENERAL NOTES & SITE PLAN A2.0 E FLOOR PLAN A2.1 N FLOOR PLAN A3.0 E ELEVATION A3.1 N ELEVATION A4.0 SECTION

**SCOPE OF WORK** RESIDENTIAL REAR (2) STORY ADDITION

CALIFORNIA RESIDENTIAL CODE A CARBON MONOXIDE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING DWELLINGS IN THE PATHWAYS LEADING TO THE SLEEPING AREA ON EACH LEVEL STORY, 10 YEAR BATTERY REQUIRED.

ILLUMINATED ADDRESS NUMBER

SHALL BE INSTALLED AND PLAINLY

VISIBLE FROM THE STREET AT THE

FRONT OF THE BUILDING.

ABBREVIATIONS:

ABV.

BET

BLK

BM

C.L.

CLG.

C.T.

DBL

DF

(E)

EQUIP.

EXT.

F.F.

F.O.

FTG.

GΑ

GL.

GALV.

HORIZ.

19'-1"

**商商商** 

ASPHALT DRIVEWAY

ASPHALT DRIVEWAY

CONC.

CONT.

A.B. ANCHOR BOLT

ALT. ALTERNATIVE

AND

BETWEEN

BOUNDARY NAIL

BOTTOM OF

CENTER LINE

B.W. BOTTOM OF WALL

CEILING

CEILING TIE

CONCRETE

DOUBLE

EXISTING

EQUAL

E.S. EACH SIDE

E.W. EACH WAY

E.N. EDGE NAIL

F.N. FACE NAIL

F.S. FAR SIDE

HDR HEADER

ELEVATION

EQUIPMENT

EXTERIOR

**FLOOR** 

FACE OF

FOOTING

GAUGE

GALVANIZED

HORIZONTAL

INT. BUILDING CODE

GLULAM

FINISH FLOOR

DIAG. DIAGONAL

CONTINUOUS

DOUGLAS FIR

NAIL PENNY SIZE

BLOCK

BEAM

ΑT

ABOVE

CALIFORNIA RESIDENTIAL CODE A SMOKE DETECTOR MUST BE INSTALLED IN ALL NEW AND EXISTING BEDROOMS, AS WELL AS PATHWAYS LEADING TO THE SLEEPING AREA ON EACH LEVEL STORY, 10 YEAR BATTERY REQUIRED.

#### IMPERVIOUS SURFACE AREA

450SQFT (ALLOW) & 342SQFT (EXISTING TO REMAIN) ALL EXISTING LANDSCAPE REMAIN ONSITE & NO CHANGE. NO TREE/LANDSCAPE REPLACEMENT

C

(4)



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SUBMITTAL

PERMIT SET

JOSEPHINE LAI MONTARA, CA 94037

RECEIVED PROJECT:

San Mateo County

**Planning Division** 

JUN 3 0 2015

3217th ST MONTARA, CA 94037 REAR (2) STORY ADDITION

SITE PLAN

06.29.15

321 7TH ST

SITE PLAN SCALE: 3/16" = 1'-0"

BM 3015-00268

321 7th Street Montara, CA 94037 REAR (2) STORY ADDITION Permit Set 06.29.2015

9'-7 3/4" 4'-3 1/4" E9648SL E6648SL LEGEND N3680 (E) OR (N) DOOR SIZE (IN X IN) \$ WALL SWITCH (3) N3648 (E) OR (N) WINDOW SIZE (IN X IN)
SHT5% GLAZING AREA TO HABITABLE SPACE
PERCENTAGE AFCI PROTECTED DUPLEX OUTLET PER CBC 210.12(B) 220 VOLT OUTLET SL = SLIDER, SH = SINGLE HUNG, F= FIX\* = 45 MIN SOLID CORE DOOR W/ GROUND FAULT CIRCUIT INTERRUPTED DUPLEX OUTLET SELF CLOSER KITCHEN ----- 5/8" TYPE "X" GYPBD IC RATED FLUSH MOUNTED CANS R-19 WALL INSULATION W/ELECTRONIC BALLAST & AIR-TIGHT (E) WALL (E) WALL TO BE REMOVED (N) WALL APPROVED EXHAUST FAN, 12"Ø LIGHT TUNNEL FLOOR DRAINAGE ACCESS UPGRADE ELECTRICAL PANEL TO 100AMP OR V.I.F. 2'-0" X 4'-0" SKYLIGHT SMOKE ALARM S&C SMOKE & CARBON MONOXIDE ALARM BEDROOM BEDROOM E3648SL E3648SL (E) 2FL PLAN

28'-9"

12.5%

NO CHANGE IN LAYOUT ELEVATION RELATIVE TO GRADE ELEVATION

(E) ROOF PLAN

SCALE: 1/4" = 1'-0"

9'-7 3/4"

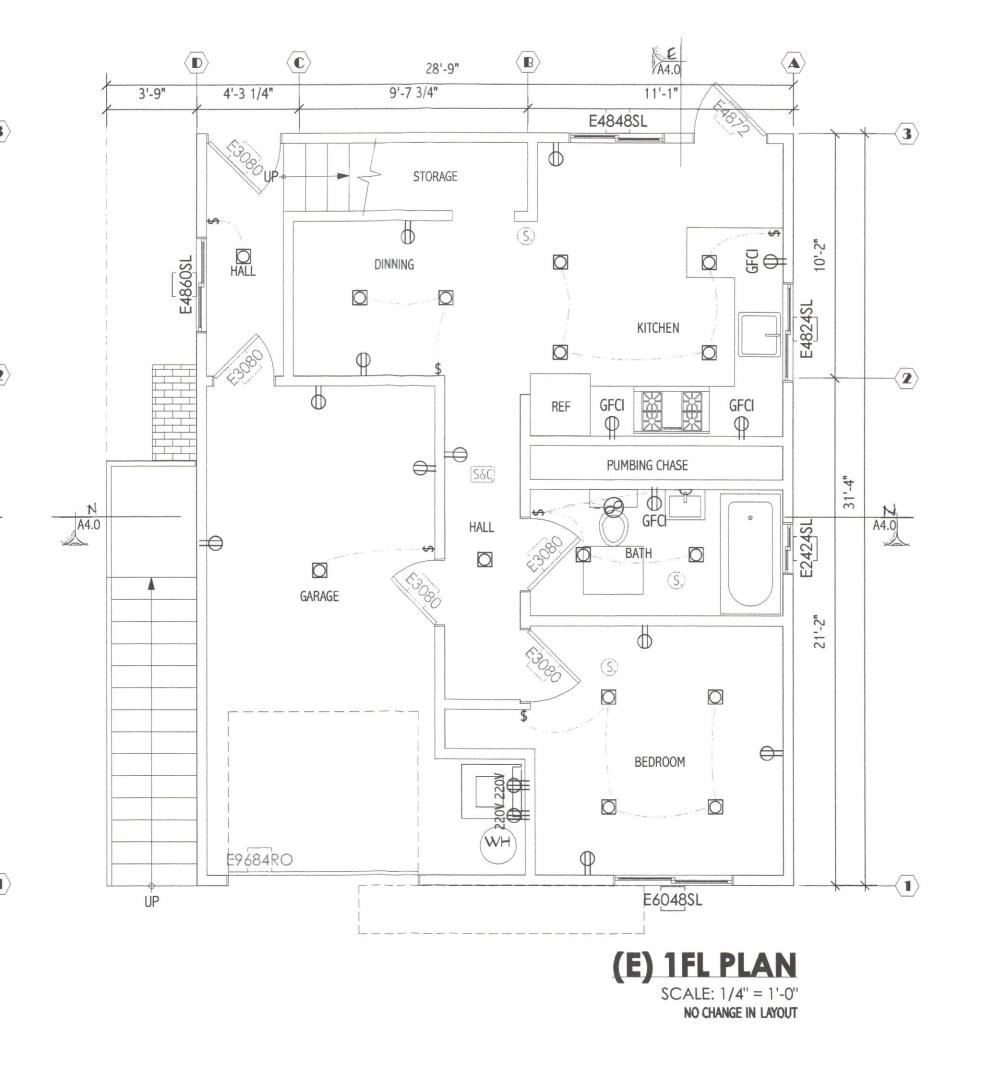
4'-3 1/4"

12.5%

28'-9"



SCALE: 1/4" = 1'-0" NO CHANGE IN LAYOUT



321 7th ST MONTARA, CA 94037 REAR (2) STORY ADDITION (E) FLOOR PLAN

JOSEPHINE LAI 321 7TH ST MONTARA, CA 94037

06.29.15

1. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER SECTION 4.507.2.

HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED. 2. PROVIDE HVAC SYSTEM CARRIER 58MVB0100-20 (LOW HEAT) AND DOMESTIC HOT WATER SYSTEM A O SMITH WATER PRODUCTS FPSH-75

IRRIGATION SYSTEM AUTOMATIC CONTROLLER INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)

**UTILITY CONDUIT** 1. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1) 2. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)

1. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1) 2. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2) 3. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3) VERIFICATION OF COMPLIANCE SHALLL BE PROVIDED. 4. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)

**FLOORING** 1. MINIMUM 80% OF FLOOR AREA RECEIVING

RESILENT FLOORING SHALL COMPLY WITH SECTION 2. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH 0.41, SHGC 0.25. LOW FORMALDEHYDE EMISSION STANDARDS.

INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.

BUILDING MATERIAL CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING

BEFORE ENCLOSURE.

STUCCO WALL 1. STUCCO APPLIED WITH A 3 COAT APPLICATION WHEN APPLIED OVER METAL LATH OR WIRE LATH PER CRC R703.6.2 2. PROVIDE 2 LAYERS OF GRADE"D" PAPER UNDER LIGHTING

CEMENT PLASTER COVERING WHEN APPLIED OVER WOOD SHEATHING PER CRC R703.6.3 PROVIDE WEEP SCREED AT THE BOTTOM OF STUCCO WALLS AT A LOCATION A MINIMUM OF 4" ABOVE EARTH OR 2" ABOVE PAVED AREAS PER CRC R703.6.2.1

**SMOKE & CARBON MONOXIDE DETECTORS** WINDOW & SKYLIGHT 1. ALL WINDOW WITHIN 5'-O" OF BATH TUB OR

PROVIDE SMOKE & CARBON MONOXIDE DETECTORS SHOWER SHALL BE TEMPERED GLASS. ALL (N) AT EACH (E) & (N) ROOM OR AREA AT 5'-0" NEARBY EACH DOOR OR ROOM TRANSITION AREA EXCEPT WINDOWS USE TEMPERED GLASS TYP. 2. ALL SKYLIGHT WILL BE MILGARD 750, ALUMINUM CLOSET, AND STORAGE WITHOUT GAS OPERATED FRAME, OBSCURE, AND LOW-E GLASS. U-FACTOR EQUIPMENT.

PER CALIFORNIA CIVIL CODE ARTICLE 1101.4 & CALGREEN SECTION 301.1, ALL BUILDING (1) PROVIDE SMOKE DETECTOR AND MONODIOXIDE ALTERNATIONS REQUIRE ALL (E) PLUMBING DETECTOR W/ BACKUP BATTERY TO BE INSTALLED AS FIXTURES FLOW RATES TO CURRENT CODE COMPLIANCE. WATER CLOSETS > 1.6GPF REPLACE WITH MAXIMUM 1.28GPF. SHOWER HEAD > 2.5GPF REPLACE WITH MAXIMUM 2.0GPF. LAVATORY & (1) ALL SURFACES SUBJECT TO WATER SPLASH TO

**PLUMBING FIXTURES** 

MATERIALS SUCH AS TILE. INSTALL MOISTURE BARRIERS. (2) ANY FIXTURE SHALL HAVE 15" CTR TO ANY OBSTRUCTION & 30" CTR TO CTR OF ADJACENT FIXTURE UNLESS OTHERWISE NOTICED.

BE PROTECTED WITH WATER RESISTANT FINISH

(1) BATH: ALL LIGHT FIXTURES (MINIMUM ONE)

OTHER LIGHT MAY BE CONTROLLED BY AN

70 SQUARE FEET ARE EXEMPT FROM THIS

OCCUPANCY SENSOR SWITCH.

ELECTRICAL

REQUIRED

TREAD TYPICAL. 2. HALLWAY MIN 36" WIDE 3. GUARDRAIL PER DETAIL 9/S3.1

STAIR & HALLWAY

(1.8GPF FOR KITCHEN FAUCET).

1. SHOWER COMPARTMENTS AND WALLS ABOVE SHALL EITHER BE HIGH EFFICACY (FLUORESCENT). BATHRUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH NONABSORBENT SURFACE TO A OCCUPANT SENSOR. CLOSETS THAT ARE LESS THAN HEIGHT NOT LESS THAN 6'-0" ABOVE THE FLOOR PER CRC R307.2. 2. PROVIDE DEDICATED SWITCH FOR BATH VENT (2) BEDROOM/LIVING AREA: (N) LIGHTING MUST BE PER 150(k)(6). HIGH-EFFICACY OR CONTROLLED BY DIMMER OR

KITCHEN FAUCETS >2.2GPF REPLACE WITH 1.5GPF

1. (N) INTERIOR STAIR 3'-0" (MIN) WIDE WITH

7"(7.75" MAX) HEIGHT BY 11" (10" MIN) WIDE

1. VENT: PER CRC R806.2, PROVIDE 1" WIDE X 40'-0" LONG ROOF ATTIC VENT AT ROOF EAVE ALONG GRID 1, 3, AND (2) VENT STRIP AT GRID 2. TOTAL 160SQIN VENT (>130SQIN REQUIRED FOR 1620SQFT ROOF ATTIC AREA W/ ONE WAY AIR

2. FLAT ROOF 1:12 SLOPE: PROVIDE ROSIN-SIZED SHEATHING PAPER AND 1ST LAYER ASPHALT GLASS FIBER BASE SHEET INSTALL W/ NAIL @ 9" O.C. E.N. AND 12" O.C. F.N., PROVIDE 2ND LAYER ASPHALT GLASS FIBER BASE SHEET W/ ASPHALT. FINISH COVER BY MINERAL-SURFACED INORGANIC CAP SHEET INSTALL W/ ASPHALT. 3. SLOPE ROOF 3:12 SLOPE: SEE DETAIL 11/S3.0. 4. FOR ROOF EAVE PROJECT WITHIN 5'-0" PROPERTY LINE SETBACK, PROVIDE (2) LAYER 5/8" TYPE "X" GYPBOARD FOR FIRE PROTECTION.

LEGEND \$ WALL SWITCH

AFCI PROTECTED DUPLEX OUTLET PER CBC 210.12(B) 220 VOLT OUTLET

GROUND FAULT CIRCUIT INTERRUPTED DUPLEX OUTLET

IC RATED FLUSH MOUNTED CANS W/ELECTRONIC BALLAST & AIR-TIGHT SCONCE LIGHT

APPROVED EXHAUST FAN,

FLOOR DRAINAGE ACCESS UPGRADE ELECTRICAL PANEL TO

100AMP OR V.I.F.

SMOKE ALARM

2'-0" X 4'-0" SKYLIGHT S&C SMOKE & CARBON MONOXIDE ALARM

N3680 (E) OR (N) DOOR SIZE (IN X IN)

(3) N3648 (E) OR (N) WINDOW SIZE (IN X IN)

SELF CLOSER

----- 5/8" TYPE "X" GYPBD

(E) WALL

(N) WALL

R-19 WALL INSULATION

☐☐☐☐☐ (E) WALL TO BE REMOVED

12"Ø LIGHT TUNNEL

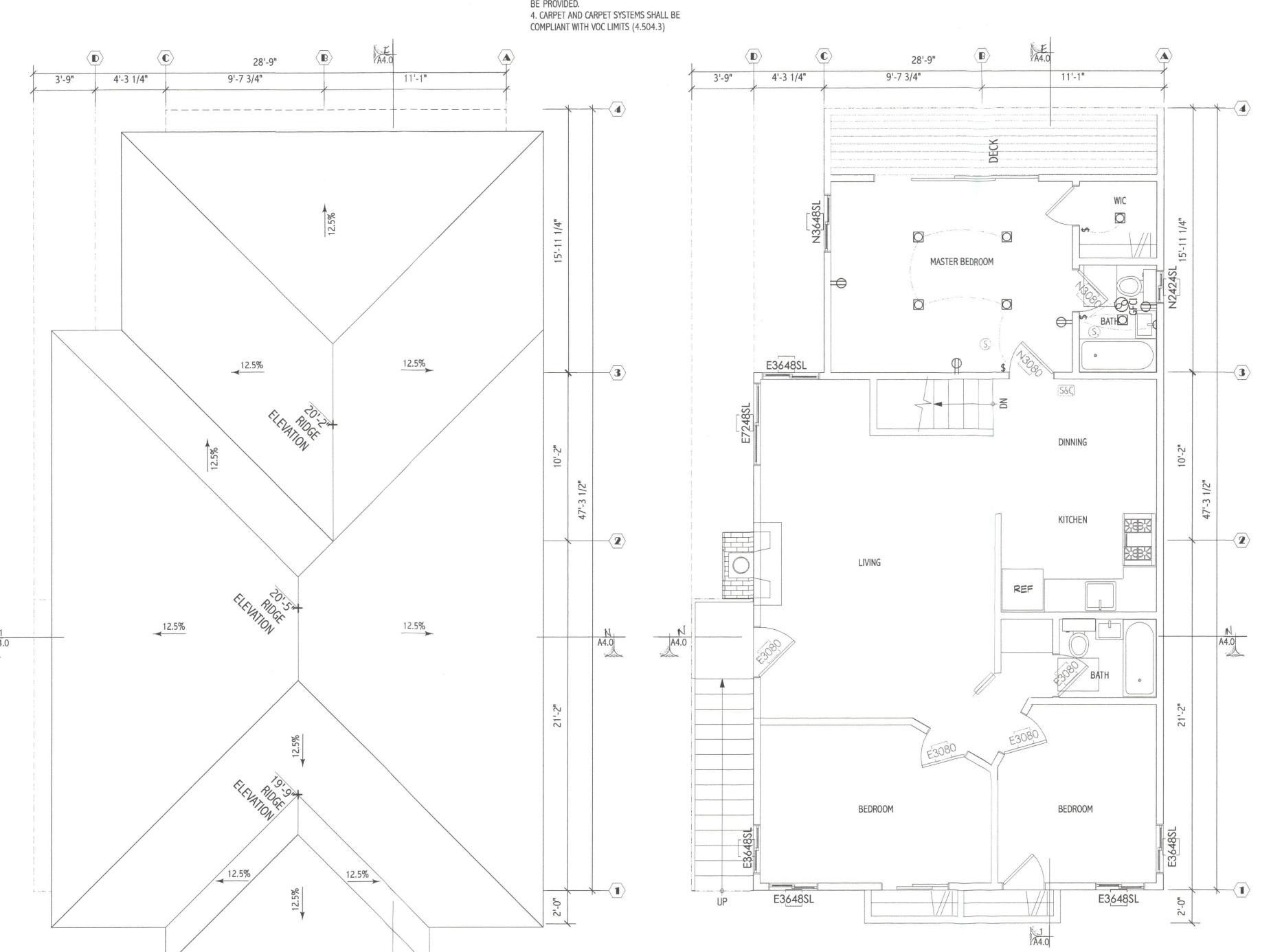
SHT5% GLAZING AREA TO HABITABLE SPACE PERCENTAGE

SL = SLIDER, SH = SINGLE HUNG, F

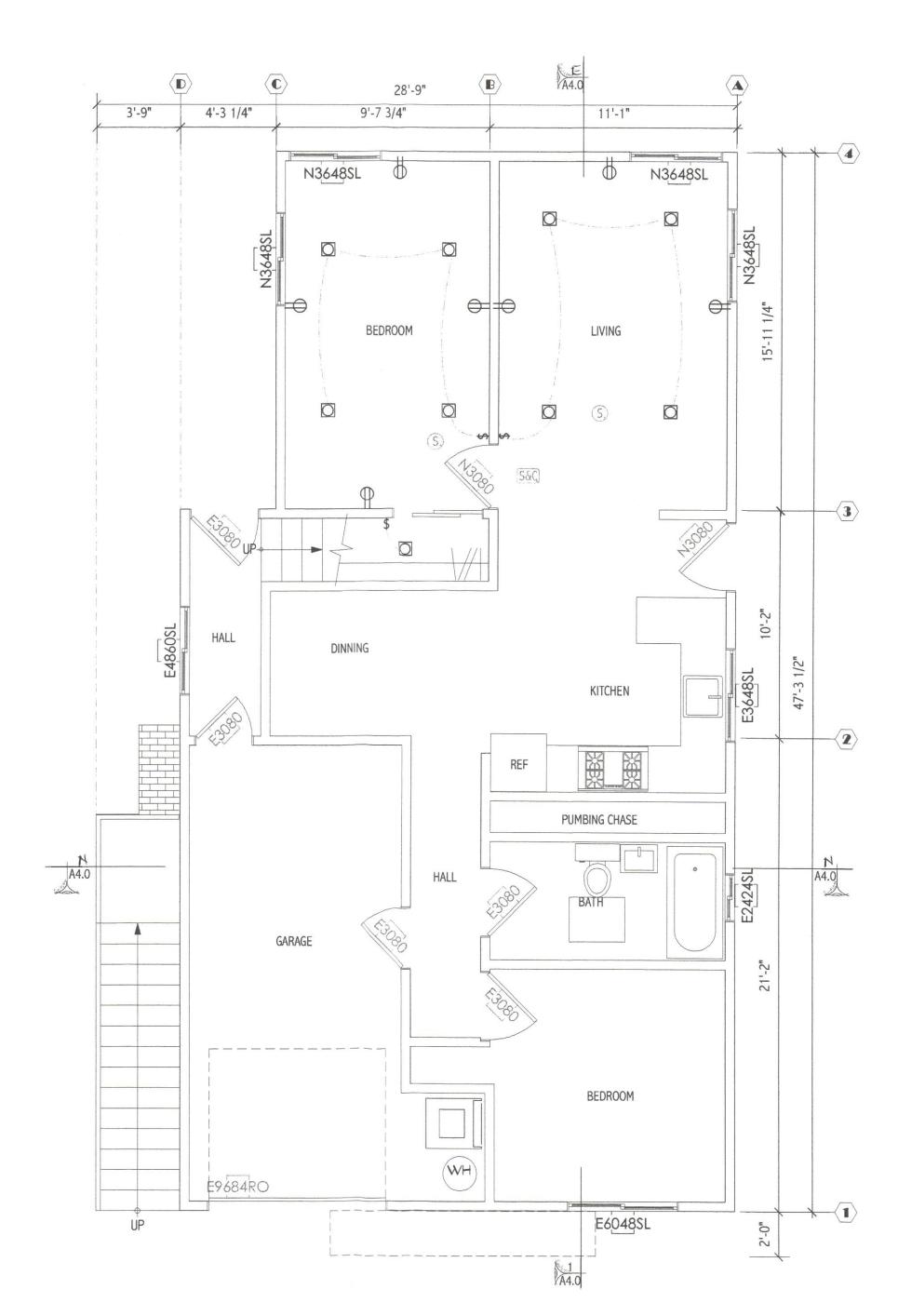
\* = 45 MIN SOLID CORE DOOR W/

321 7th Street Montara, CA 94037

REAR (2) STORY ADDITION Permit Set 06.29.2015



(N) ROOF PLAN SCALE: 1/4" = 1'-0"



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06.29.15

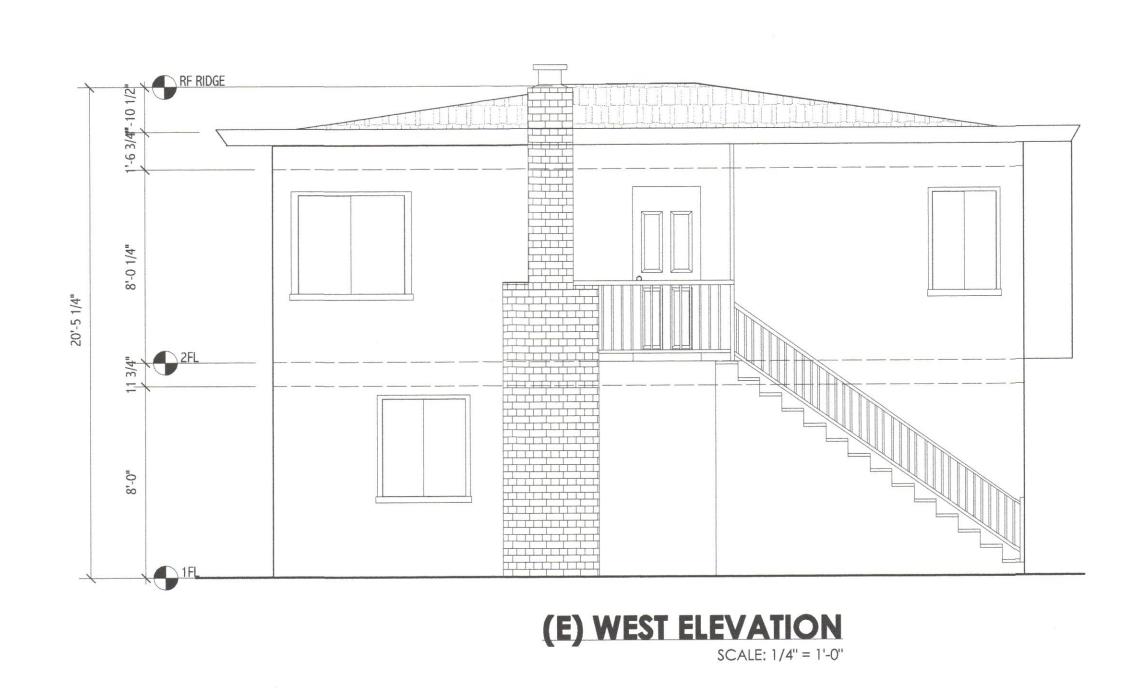
321 7th ST MONTARA, CA 94037 REAR (2) STORY ADDITION

(N) 1FL PLAN SCALE: 1/4" = 1'-0"

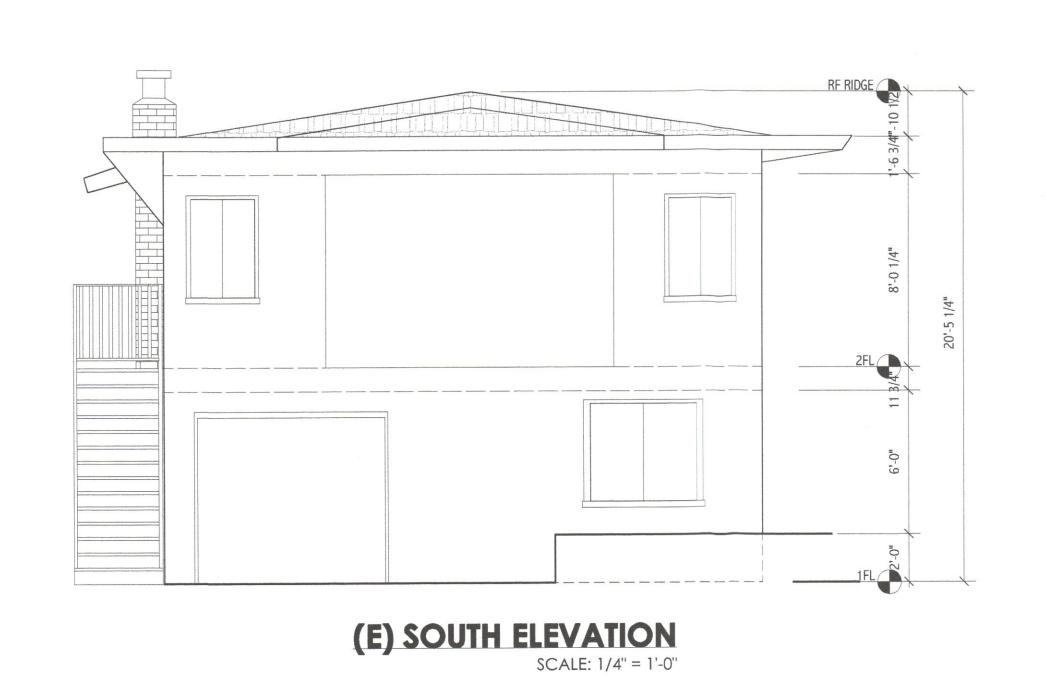
(N) FLOOR PLAN

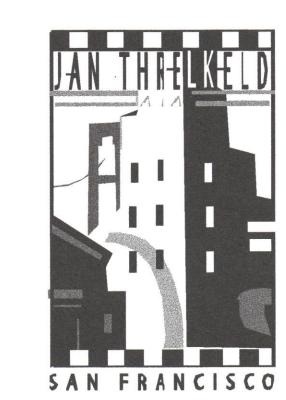
(N) 2FL PLAN SCALE: 1/4" = 1'-0"













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OWNER:

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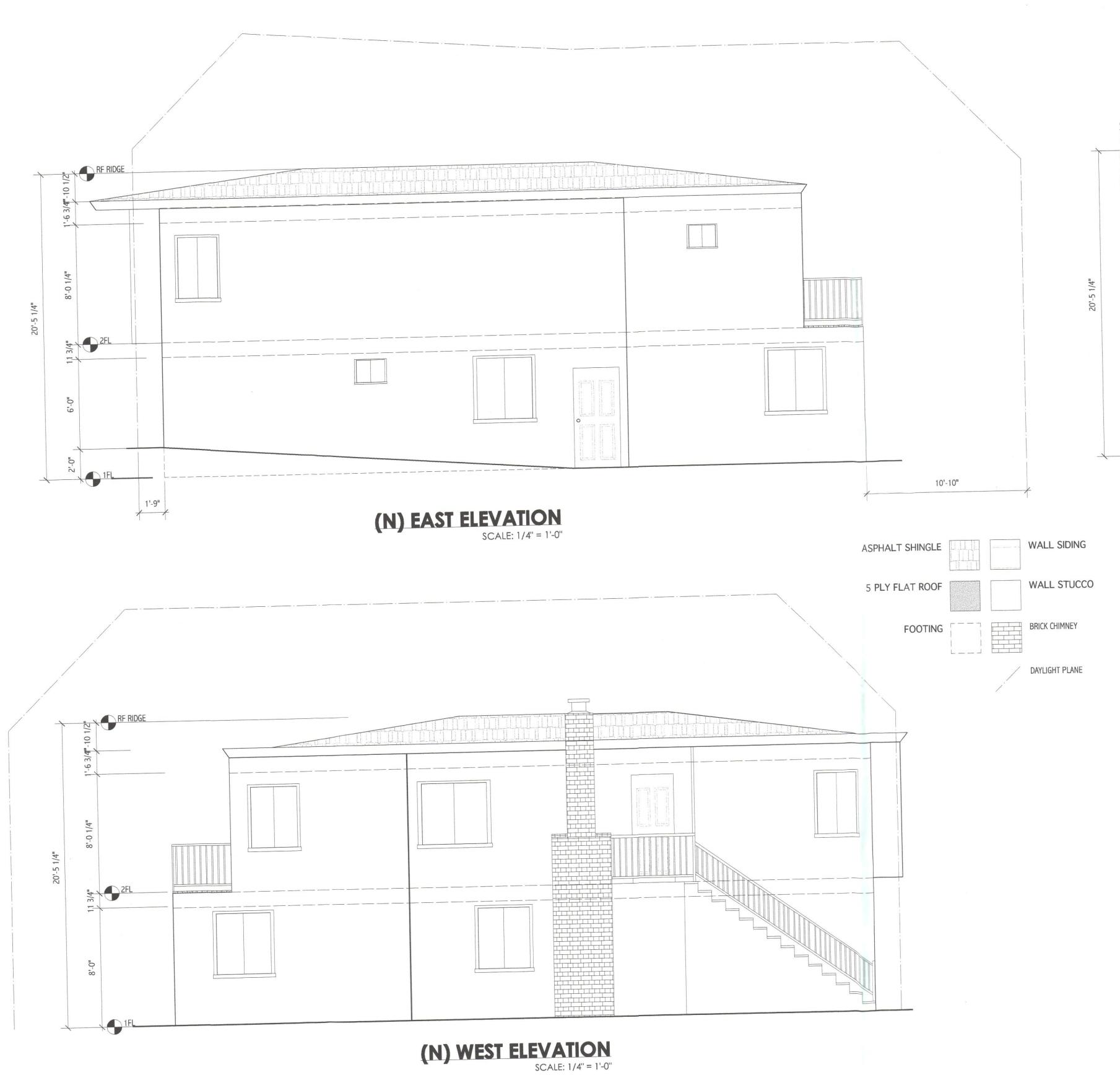
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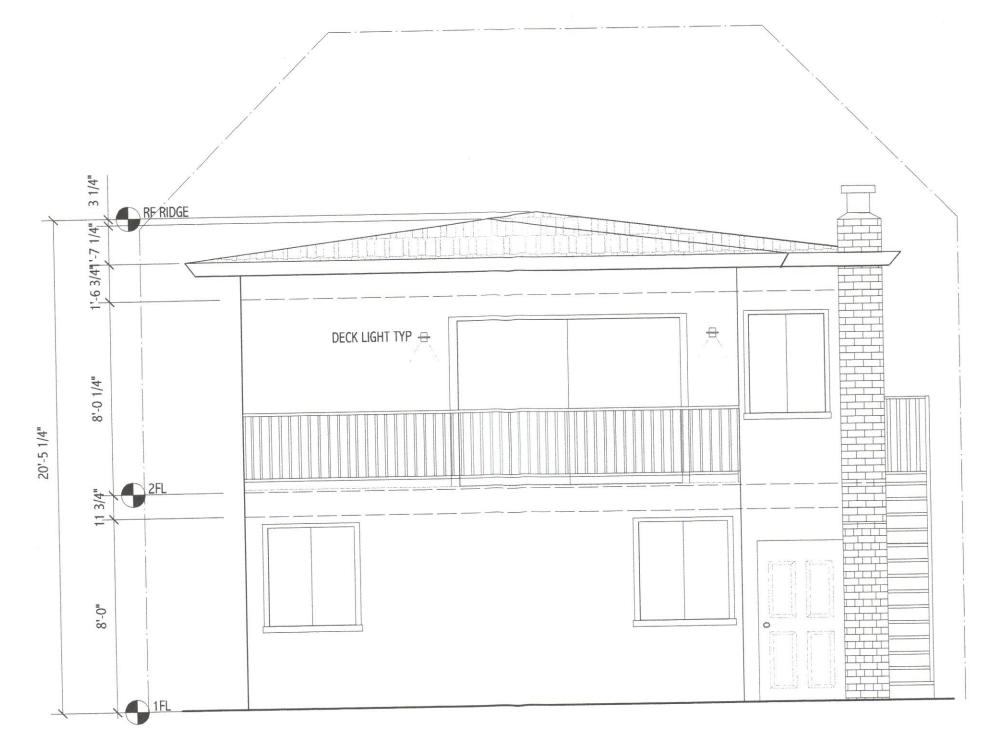
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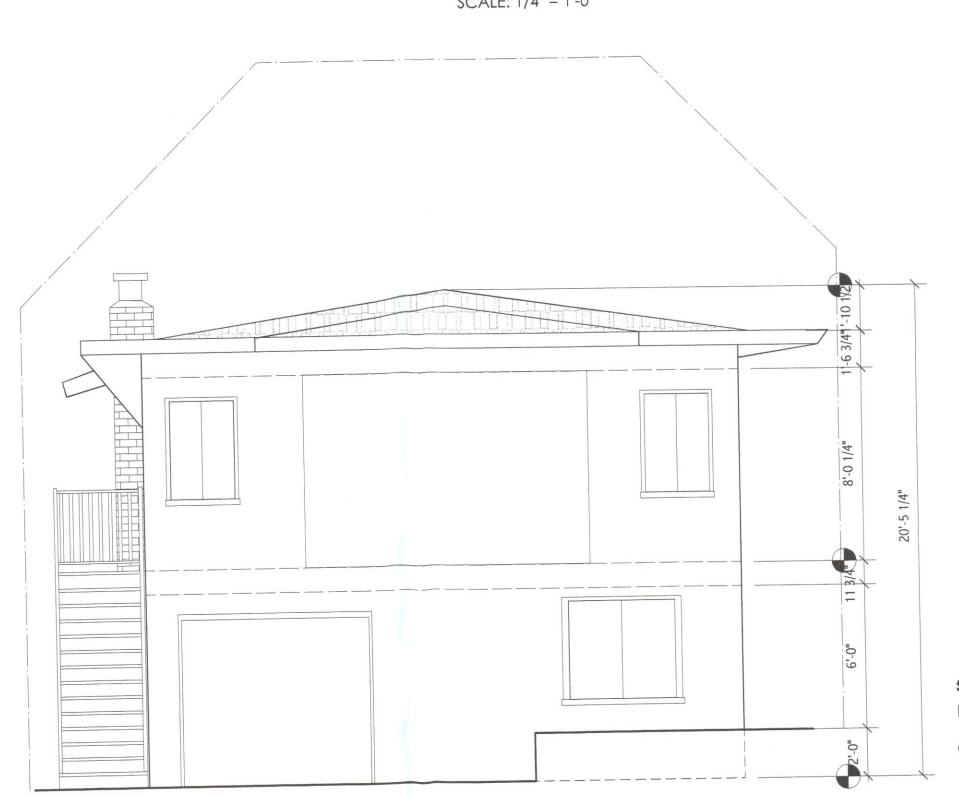
**321 7th ST** MONTARA, CA 94037 REAR (2) STORY ADDITION





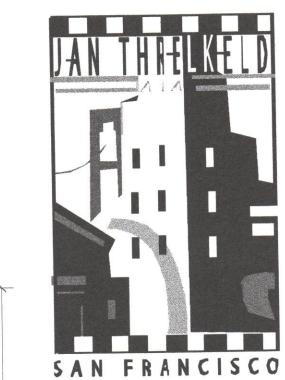


## (N) NORTH ELEVATION SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



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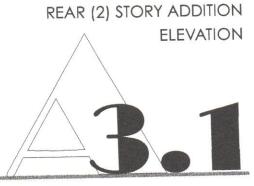
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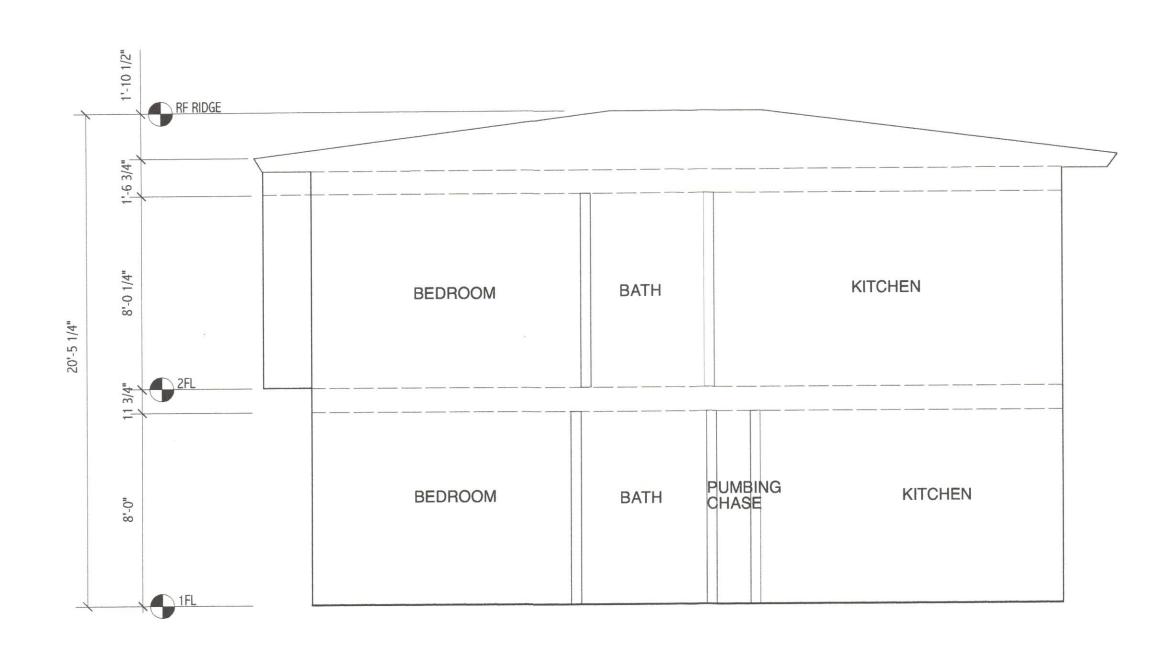
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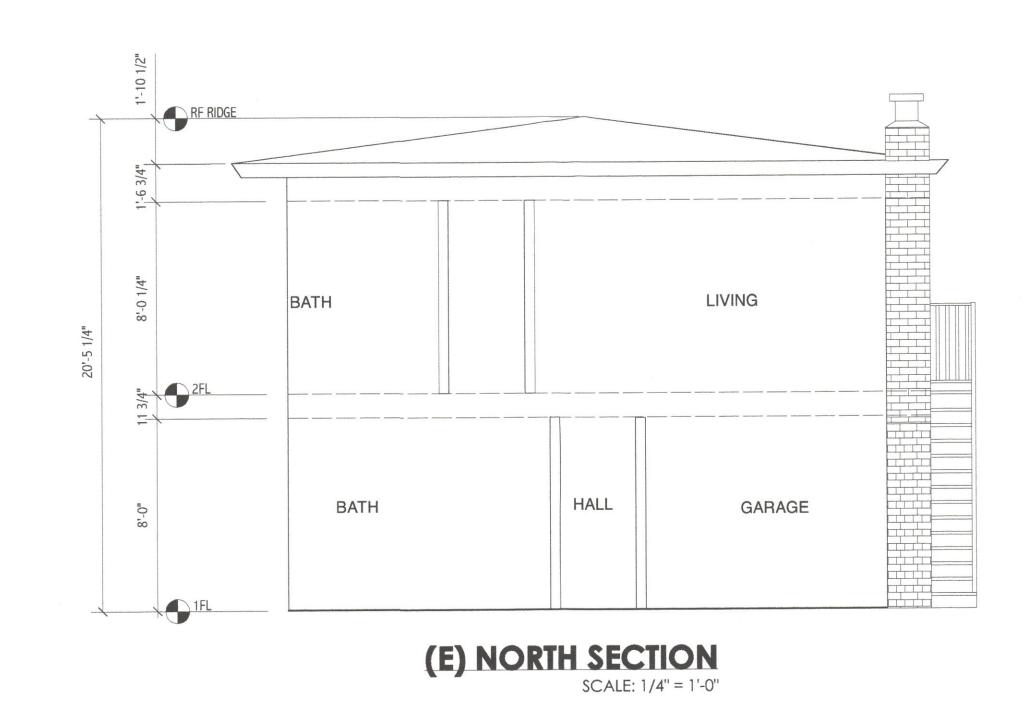
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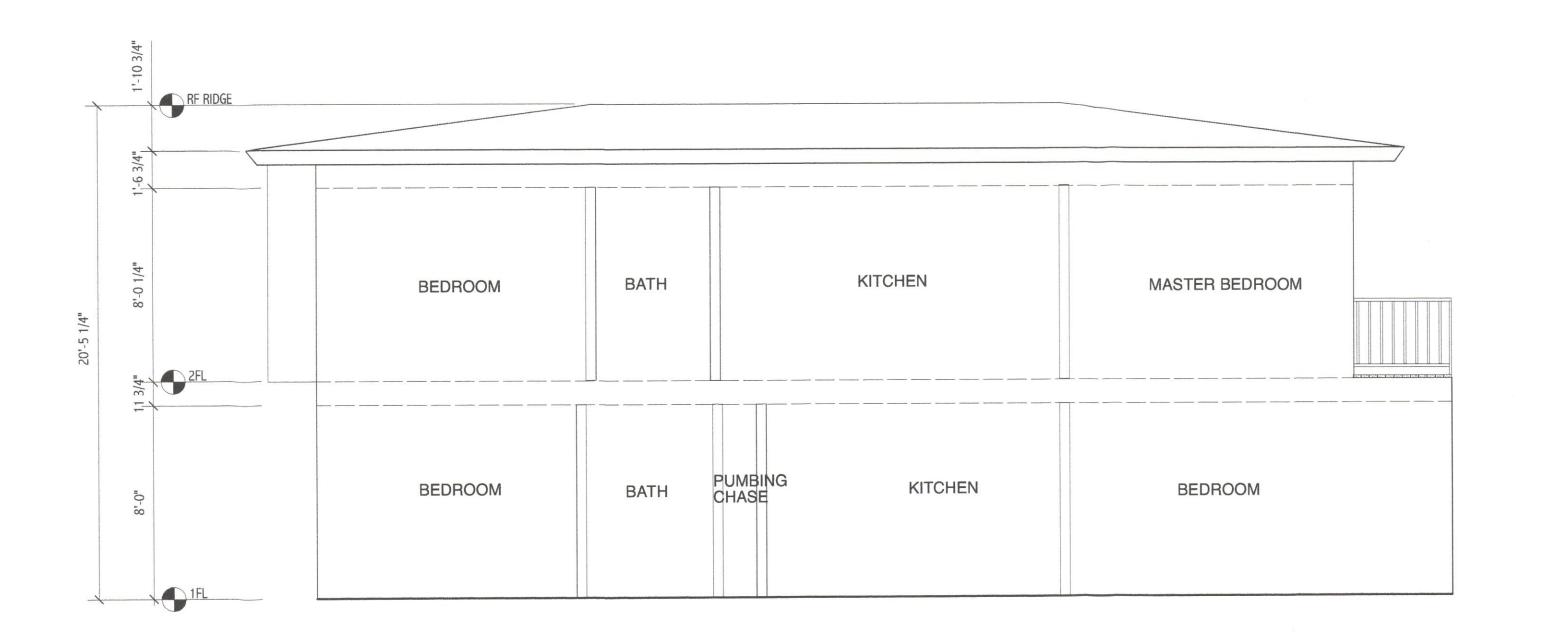
321 7th ST MONTARA, CA 94037 REAR (2) STORY ADDITION



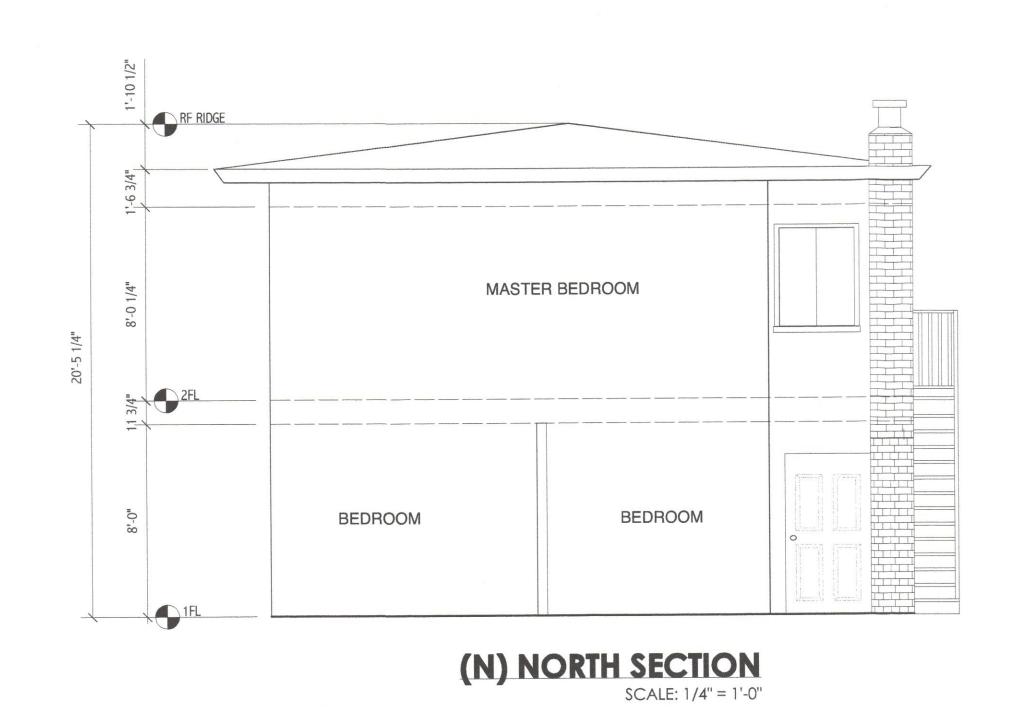


(E) EAST SECTION
SCALE: 1/4" = 1'-0"





(N) EAST SECTION
SCALE: 1/4" = 1'-0"







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OWNER:

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PROJECT:

321 7th ST MONTARA, CA 94037 REAR (2) STORY ADDITION

