

2016 CALIFORNIA GREEN BUILDING STANDARDS CODE

COUNTY OF SAN MATEO BUILDING REGULATIONS, DIVISION, DIVISION VII, CHAPTER 5, **REGULATIONS ON MOVING & REMOVAL OF BUILDINGS & STRUCTURES**

ADDRESS:

GENERAL

DONOR: 627 HAMILTON STREET REDWOOD CITY, CA 94063 **RECEIVER: 701 HAMILTON STREET,** SE CORNER OF INTERSEC W/ MARSHALL REDWOOD CITY, CA 94063 THIS PROJECT IS A PRESERVATION E **DESCRIPTION:** PREPARATION FOR FUTURE DEVELOF THE DONOR SITE. THE PRIMARY SCO WORK IS TO RELOCATE THE EXISTING HISTORIC LATHROP HOUSE FROM ITS CURRENT LOCATION TO ITS NEW LOC THE NORTHWEST CORNER OF THE HIS COUNTY COURTHOUSE BLOCK.

LATHROP HOUSE

PROJECT INFORMATION

PROJECT DIRECTORY

63	APN:	052-344-140 (DONOR) / 052-367-010 (RECEIVER)	OWNER:	COUNTY OF SAN MATEO PROJECT DEVELOPMENT UNIT
00	ZONING:	P - DOWNTOWN PRECISE PLAN		402 MAPLE STREET
ECTION	OCCUPANCY:	GROUP A-3 ASSEMBLY / B BUSINESS		REDWOOD CITY, CA 94063
63 EFFORT IN	CONSTRUCTION TYPE:	TYPE V-B (NON-RATED)	ARCHITECT:	MICHAEL GARAVAGLIA, AIA GARAVAGLIA ARCHITECTURE, INC. 582 MARKET STREET, SUITE 1800
OPMENT OF OPE OF NG TS		f: G BUILDING FOOTPRINT AREA: 1,808 SF SED BUILDING FOOTPRINT AREA: 1,808 SF		SAN FRANCISCO, CA 94104 CONTACT: AMBROSE WONG TEL: 415-391-9633 FAX: 415-391-9647
DCATION AT HISTORIC	GROSS	FLOOR AREA (SF):		EML: ambrose@garavaglia.com
	FIRST FL SECONE TOTAL	<u>EXISTING</u> _R. 1,808 SF D FLR. 1,585 SF 3,393 SF	CIVIL:	BKF ENGINEERS 1646 N. CALIFORNIA BLVD., SUITE 400 WALNUT CREEK, CA 94596 CONTACT: MICHAEL STEELE TEL: 925-940-2257 FAX: 925-940-2299
		D:		EML: msteele@bkf.com
	GROUP B (KITC	HIBIT): 1,285 SF / 30 SF/PERSON NET = 43 PEOPLE HEN): 110 SF / 100 SF/PERSON = 2 PEOPLE RAGE): 50 SF / 300 SF/PERSON = 2 PEOPLE	STRUCTURAL:	DUQUETTE ENGINEERING 4340 STEVENS CREEK BLVD., SUITE 200 SAN JOSE, CA 95129 CONTACT: STEVE DUQUETTE
	SECOND FLOOR	<u>-</u>		TEL: 408-615-9200
	•	HIBIT): 1,064 SF / 30 SF/PERSON NET= 36 PEOPLE CES): 140 SF / 100 SF/PERSON = 2 PEOPLE		FAX: 408-615-9900 EML: spd@duquette-eng.com
	TOTAL: 85 PEOP	LE	MEP:	EDesignC, INC. 582 MARKET STREET, SUITE 400 SAN FRANCISCO, CA 94104 CONTACT: MARCUS TAM TEL: (415) 963-4303 FAX: (415) 963-4341 EML: marcus@edesignc.com
			LANDSCAPE:	CALLANDER ASSOCIATES 1633 BAYSHORE BLVD. SUITE 133 BURLINGAME, CA 94010 CONTACT: BRIAN FLETCHER TEL: 650-375-1313 FAX: 925-344-3290 EML: bfletcher@callanderassociates.com
			COST ESTIMATOR:	SAYLOR CONSULTING GROUP 71 STEVENSON STREET, SUITE 400 SAN FRANCISCO, CA 94105 CONTACT: JEFF SAYLOR TEL: 415-399-9990 FAX: 415-354-8392 EML: jsaylor@saylorconsulting.com



582 MARKET STREET SUITE 1800 SAN FRANCISCO, CA 94104 T: 415.391.9633 F: 415.391.9647

www.garavaglia.com

ATHROP HOUSE

RELOCATION REDWOOD CITY, CA 94063

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COVER SHEET

PROJ. NO.	2016 -
SCALE	NO S
DATE	8 JUN
PHASE	SD
DRAWN	LK
CHECKED	

<u>6 - 105</u> SCALE NE 2017

NO. DATE REVISION 20 OCT 2017 PERMIT SUBMITTAL 20 NOV 2017 PERMIT SET



- 1. THE CONTRACT FOR CONSTRUCTION SHALL BE THE A.I.A. DOCUMENT A107 - STANDARD FORM OF AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR A PROJECT OF LIMITED SCOPE, 2007 ed. AND A.I.A. DOCUMENT A201 - GENERAL CONDITIONS OF THE CONTRACT FOR CONSTRUCTION, 2007 ed.
- 2. THE ARCHITECT/OWNER SHALL SUBMIT DRAWINGS FOR PLAN CHECK. THE OWNER SHALL PAY FOR ALL PLAN CHECK FEES. THE CONTRACTOR SHALL PICK UP PERMITS.
- 3. ALL WORK SHALL CONFORM TO THE 2016 CALIFORNIA HISTORICAL BUILDING CODE, THE 2016 CALIFORNIA BUILDING CODE AS WELL AS TO THE LATEST EDITIONS OF THE ELECTRICAL, PLUMBING, MECHANICAL, AND ANY OTHER APPLICABLE CODES. ALL WORK SHALL CONFORM TO THE SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION AS OUTLINED ON THIS SHEET.
- 4. ALL WORK SHALL CONFORM TO ALL LOCAL CODES AND/OR ORDINANCES.
- 5. ALL WORK SHALL BE COMPLETED SKILLFULLY AND IN ACCORDANCE WITH ACCEPTED TRADE STANDARDS.
- 6. EXCEPT WHERE CONTRACT DOCUMENTS INCLUDE MORE STRINGENT REQUIREMENTS, APPLICABLE INDUSTRY STANDARDS INCLUDING MANUFACTURER STANDARDS AND INSTALLATION INSTRUCTIONS HAVE THE SAME FORCE AND EFFECT AS IF BOUND OR COPIED INTO THE CONTRACT DOCUMENTS, SUCH STANDARDS ARE PART OF THE CONTRACT DOCUMENTS BY REFERENCE. WHERE COMPLIANCE WITH A STANDARD IS REQUIRED, COMPLY WITH THE STANDARD IN EFFECT AS OF THE DATE OF THE CONTRACT DOCUMENTS.
- 7. THE CONTRACTOR SHALL COORDINATE THE VARIOUS CONSTRUCTION ACTIVITIES TO ENSURE EFFICIENT AND ORDERLY INSTALLATION OF EACH PART OF THE WORK. COORDINATE CONSTRUCTION OPERATIONS THAT ARE DEPENDENT UPON EACH OTHER FOR PROPER INSTALLATION, CONNECTION, AND OPERATION.
- 8. CONTRACTOR SHALL COORDINATE WITH OWNER FOR OWNER PROVIDED MATERIALS.
- 9. CONTRACTOR SHALL COORDINATE WITH OWNER FOR REQUIRED SCHEDULING & ORDERING INFORMATION. CONTRACTOR SHALL ASSIST IN DETERMINING QUANTITIES WHEN REQUIRED.
- 10. CONTRACTOR SHALL PROVIDE OWNER W/ REQUESTED DELIVERY DATES FOR ALL P.B.O. PRODUCTS & KEEP OWNER ABREAST OF SCHEDULE **REVISIONS. OWNER SHALL DETERMINE LEAD TIME FOR ALL PRODUCTS &** HAVE PRODUCTS DELIVERED WHEN NEEDED BY CONTRACTOR
- 11. CONTRACTOR SHALL INFORM THE ARCHITECT OF SCHEDULE REVISIONS.
- 12. CONTRACTOR SHALL INFORM THE ARCHITECT ON THE PROGRESS OF THE WORK ON A WEEKLY BASIS OR MORE FREQUENTLY AS CONDITIONS WARRANT.
- 13. CONTRACTOR SHALL SCHEDULE MEETINGS WITH THE ARCHITECT ON A TIMELY BASIS AND TO ALLOW FOR TIME REQUIRED TO PROVIDE APPROPRIATE RESPONSE TO ANY QUESTIONS OR SITE CONDITIONS.
- 14. CONTRACTOR SHALL ARRANGE FOR A PRECONSTRUCTION MEETING AND FOR ANOTHER MEETING AFTER DETERMINING THE PROJECT DIMENSIONAL LAYOUT FOR THE REVIEW BY THE ARCHITECT AND OWNER.
- 15. CONTRACTOR SHALL ALLOW TWO WEEKS FOR REVIEW BY THE ARCHITECT OF SUBMITTALS, SHOP DRAWINGS, SUBSTITUTIONS, AND RFI'S BY THE ARCHITECT. CONTRACTOR SHALL REVIEW ALL SUBMITTALS BEFORE ISSUING THEM TO THE ARCHITECT FOR REVIEW.
- 16. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT FOR REVIEW OF CONFORMANCE WITH DESIGN INTENT.
- 17. ALL CHANGE ORDERS SHALL BE IN WRITING AND SHALL BE SIGNED BY THE OWNER, ARCHITECT, AND CONTRACTOR. CHANGE ORDERS SHALL BE SIGNED PRIOR TO BEGINNING THE WORK OR ORDERING THE MATERIALS ADDRESSED IN THE CHANGE ORDER.
- 18. CONTRACTOR SHALL SUBMIT ALL DESIGN CHANGES OR SUBSTITUTIONS TO THE ARCHITECT FOR APPROVAL. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY CHANGES IN PLANS, DETAILS, OR SPECIFICATIONS UNLESS APPROVED IN WRITING AND IN ADVANCE BY THE ARCHITECT.
- 19. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL MODIFICATIONS REQUESTED BY THE BUILDING DEPARTMENT, OR OFFICIAL HAVING JURISDICTION, AND OF ALL CHANGES REQUESTED BY THE INSPECTOR, OWNER, OR OTHERS. SUBSTITUTIONS WILL BE CONSIDERED, BUT DO NOT SUBSTITUTE DETAILS, EQUIPMENT, OR METHODS WITHOUT SPECIFIC WRITTEN APPROVAL BY THE ARCHITECT.
- 20. CONTRACTOR SHALL VERIFY WITH THE ARCHITECT CODE UPGRADE WORK NOT REQUIRED BY BUILDING INSPECTORS. IF THE CONTRACTOR BELIEVES CODE WORK IS NECESSARY, AND IT HAS NOT BEEN REQUIRED BY BUILDING INSPECTOR, THE ARCHITECT SHALL DETERMINE, WITH OWNER'S CONSENT. WHETHER WORK SHALL BE UNDERTAKEN.
- 21. REMODELING OR REHABILITATION OF AN EXISTING BUILDING REQUIRES THAT CERTAIN ASSUMPTIONS BE MADE REGARDING EXISTING CONDITIONS. BECAUSE SOME OF THE ASSUMPTIONS MAY NOT BE VERIFIABLE WITHOUT DESTROYING ADEQUATE OR SERVICEABLE PORTIONS OF THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL QUESTIONS. CONDITIONS AND PROCEDURES WITH THE ARCHITECT PRIOR TO COMMENCING EACH PORTION OF THE WORK.

ARCHITECTURAL GENERAL NOTES

- 22. THE CONTRACTOR SHALL CONFIRM ALL EXISTING DIMENSIONS ANI CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK. ANY DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT F CLARIFICATION PRIOR TO PROCEEDING WITH WORK. THE CONTRA SHALL RESOLVE ANY DISCREPANCY PRIOR TO PROCEEDING WITH
- 23. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TH OF FINISH, UNLESS OTHERWISE NOTED.
- 24. WHERE CONSTRUCTION ABUTS ADJACENT PROPERTY OR AN EXIS STRUCTURE, THE CONTRACTOR SHALL VERIFY, PRIOR TO THE STA WORK. IF ANY CONDITIONS WILL AFFECT WORK PROGRESS OR CONFORMANCE TO THESE DOCUMENTS.
- 25. THE REMOVAL OR ALTERING IN ANY WAY OF EXISTING WORK SHAL CARRIED ON IN SUCH A MANNER AS TO PREVENT INJURY OR DAMA ANY PORTION(S) OF THE EXISTING WORK, WHICH REMAIN(S).
- 26. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE INCURRI RESULT OF THE WORK. ANY DAMAGE SHALL BE REPAIRED AT NO ADDITIONAL COST TO OWNER.
- 27. EXECUTE WORK TO ENSURE THE SAFETY OF PERSONS AND ADJAC PROPERTY FROM DAMAGE CAUSED BY CONSTRUCTION OPERATIO CONNECTION WITH THIS WORK. WHERE EXISTING CONSTRUCTION DAMAGED. OR REMODELED. PATCH OR REPLACE WITH MATERIALS MATCH IN KIND, QUALITY, AND PERFORMANCE WITH ADJACENT MA
- 28. DO NOT NOTCH, BORE, OR CUT MEMBERS FOR PIPES, DUCTS, OR C REASONS WITHOUT THE SPECIFIC. ADVANCE WRITTEN APPROVAL STRUCTURAL ENGINEER.
- 29. THE CONTRACTOR IS RESPONSIBLE FOR CAPPING OFF ANY UTILIT DISTURBED DURING THE DEMOLITION AND CONSTRUCTION PROCE COULD BE A SAFETY HAZARD OR CAUSE DAMAGE TO THE BUILDING
- 30. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL TEMPORA SUPPORTS, BARRICADES, AND SHORING AS REQUIRED FOR RELOC OF THE HOUSE. CONTRACTOR SHALL SUBMIT SHORING AND MOVE FOR APPROVAL PRIOR TO BEGINNING RELOCATION...
- 31. UNLESS OTHERWISE INDICATED, ALL NEW WORK SHALL MATCH EX MATERIALS, DETAILS, TRIM, ETC. TO THE FULLEST EXTENT POSSIB PROVIDE PRODUCTS OF THE SAME KIND AND FROM A SINGLE SOU
- 32. PRIOR TO ORDERING OR FABRICATING MATERIAL, EQUIPMENT, OR PRODUCTS, THE CONTRACTOR SHALL DETERMINE THAT THE SIZE . PRODUCTS INDICATED MEET THE INTENT OF THE CONTRACT DOCU
- 33. THE CONTRACTOR SHALL INSPECT MATERIALS AND EQUIPMENT IMMEDIATELY UPON DELIVERY AND AGAIN PRIOR TO INSTALLATION CONTRACTOR SHALL REJECT DAMAGED AND DEFECTIVE ITEMS.
- 34. CONTRACTOR SHALL INSTALL ALL EQUIPMENT, FIXTURES AND MA PER MANUFACTURER'S RECOMMENDATIONS. FOLLOW MANUFACT INSTRUCTIONS CAREFULLY. MANUFACTURER'S INSTRUCTIONS AN GUARANTEES SHALL BE GIVEN TO THE OWNER AT THE END OF THI
- 35. THE CONTRACTOR SHALL FLASH AND COUNTERFLASH TO S.M.A.C. STANDARDS, INDUSTRY STANDARDS, AND MANUFACTURER'S SPECIFICATIONS WHEREVER NECESSARY TO PROVIDE A WATERP AND WEATHERPROOF CONSTRUCTION PROJECT.
- 36. IF OPENED IN COURSE OF WORK PROVIDE AND INSTALL NEW FIBERGLASS BATT INSULATION AS FOLLOWS, U.O.N.: R-13 AT (N) EXTERIOR WALLS OR WALLS ADJACENT TO UNCONDITI SPACES
- R-19 AT (E) AND (N) FLOORS R-19 AT (E) AND (N) ATTICS R-19 AT (N) CEILINGS/FLOORS
- 37. WHERE GLASS IS BEING REPLACED IN (E) HISTORIC WINDOWS OR DOORS, PROVIDE AND INSTALL REPLACEMENT GLASS IN KIND. PR AND INSTALL TEMPERED GLAZING IN (N) NON-HISTORIC OPENINGS WHERE REQUIRED BY CODE.
- 38. CONTRACTOR SHALL INSPECT AND APPROVE PLYWOOD SUBSTRA BUILDING PAPER FOR PROPER INSTALLATION. ADEQUATE PREPAI OF THE SUBSTRATE IS IMPERATIVE FOR PROPER BONDING OF THE PREPARE EACH SUBSTRATE AS RECOMMENDED BY THE MANUFACTURER. CLEAN ALL SURFACES THROUGHOUT, REMOVE PAINT WHERE BONDING FAILURE IS EVIDENT & ROUGHEN ANY SUR AS REQUIRED FOR ADHESION OF (N) PAINT.
- 39. NOT USED.
- 40. ALL EXTERIOR EXPOSED WOOD TO BE APPROVED. NATURALLY WI AND PEST RESISTANT, OR PRESSURE TREATED. ALL CUTS SHALL TREATED W/ PRESERVATIVE COATING BEFORE INSTALLATION. AL METAL CONNECTORS AND FASTENERS IN CONTACT WITH TREATED WOOD SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL

D S MUST OR ACTOR WORK. IE FACE	41.	ALL FINISHES SHALL BE PAINTED AS FOLLOWS: EXTERIOR: THREE COAT STAIN & SEAL WHERE INDICATED INTERIOR: TWO COAT FOR LIGHT INTERIOR, THREE COAT FOR DARK INTERIOR STAIN & SEAL WHERE INDICATED COLORS TO BE SELECTED BY THE ARCHITECT & OWNER. FINAL ACCEPTANCE OF COLORS WILL BE FROM JOB-APPLIED SAMPLES. PROVIDE FULL COAT FINISH SAMPLES ON SURFACES WITH A MINIMUM SIZE OF 4 SF FOR APPROVAL BY THE ARCHITECT & OWNER.
TING ART OF	42.	AS A MINIMUM, ALL INTERIOR WOOD TRIM SHALL BE PAINT GRADE, SOLID WOOD, (SPECIES TO BE DETERMINED) AND ALL EXTERIOR WOOD TRIM SHALL BE PAINT GRADE, WEATHER-RESISTANT WOOD.
LL BE AGE TO	43.	. CONTRACTOR SHALL CONTACT ARCHITECT FOR DECISIONS REGARDING ALL MATERIALS PROVIDED BY CONTRACTOR WHICH REQUIRE COLOR OR FINISH SELECTIONS.
ED AS A	44.	NOT USED.
	45.	NOT USED.
CENT DNS IN N IS CUT, S TO ATERIALS.	46.	THE CONTRACTOR SHALL KEEP THE JOB SITE CLEAN AND SAFE AT ALL TIMES, INCLUDING CLEANING MATERIALS, PROTECTING CONSTRUCTION IN PROGRESS AND ADJOINING MATERIALS IN PLACE. PROVIDE TEMPORARY, PROTECTIVE COVERINGS WHERE NECESSARY TO ENSURE PROTECTION FROM DAMAGE OR DETERIORATION.
OTHER OF THE Y LINES	47.	CONTRACTOR SHALL PERIODICALLY CLEAN AND MAINTAIN COMPLETED CONSTRUCTION ON A REGULAR BASIS. AT THE COMPLETION OF THE PROJECT, PROVIDE A FINAL CLEANING OF ALL SURFACES. POLISH ALL GLASS, BROOM SWEEP EXTERIOR SURFACES, AND VACUUM ALL INTERIOR FLOORS. CONTRACTOR SHALL LEAVE THE PREMISES CLEAN AND ORDERLY AND READY FOR OCCUPANCY.
ESS THAT G. ARY	48.	. CONTRACTOR SHALL DISPOSE OF ALL DEBRIS AND WASTE OFF SITE IN A LEGAL MANNER ON A REGULAR BASIS TO PREVENT EXCESS ACCUMULATION ON SITE.
CATION E PLAN (ISTING LE.	49.	. CONTRACTOR IS TO INSPECT THE (E) BLDG FOR ANY ADDITIONAL PROBLEMS OR CONCERNS (STRUCTURAL, FINISH, MECHANICAL, ETC.) WHICH ARE NOT REFLECTED IN THE DRAWINGS & NOTATIONS. REPORT ANY FINDINGS TO THE ARCHITECT DURING BID PHASE AND BEFORE PROCEEDING WITH WORK.
AND	50.	ELECTRICAL AND PLUMBING SYSTEMS SHALL BE "DESIGN/BUILD." PERFORMANCE SPECIFICATIONS SHALL BE REVIEWED BY THE ARCHITECT BEFORE COMMENCEMENT OF THE WORK.
JMENTS.		
Ν.		SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION
TERIALS 'URER'S ID	1.	A PROPERTY WILL BE USED AS IT WAS HISTORICALLY OR BE GIVEN A NEW USE THAT REQUIRES MINIMAL CHANGE TO ITS DISTINCTIVE MATERIALS, FEATURES, SPACES, AND SPATIAL RELATIONSHIPS.
e Job. N.A. Roof	2.	THE HISTORIC CHARACTER OF A PROPERTY WILL BE RETAINED AND PRESERVED. THE REMOVAL OF DISTINCTIVE MATERIALS OR ALTERATION OF FEATURES, SPACES, AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE A PROPERTY WILL BE AVOIDED.
<u>ONED</u>	3.	EACH PROPERTY WILL BE RECOGNIZED AS A PHYSICAL RECORD OF ITS TIME, PLACE, AND USE. CHANGES THAT CREATE A FALSE SENSE OF HISTORICAL DEVELOPMENT, SUCH AS ADDING CONJECTURAL FEATURES OF ELEMENTS FROM OTHER HISTORIC PROPERTIES, WILL NOT BE UNDERTAKEN.
	4.	CHANGES TO A PROPERTY THAT HAVE ACQUIRED HISTORIC SIGNIFICANCE IN THEIR OWN RIGHT WILL BE RETAINED AND PRESERVED.
	5.	DISTINCTIVE MATERIALS, FEATURES, FINISHES AND CONSTRUCTION TECHNIQUES OR EXAMPLES OF CRAFTSMANSHIP THAT CHARACTERIZE
OVIDE		A PROPERTY WILL BE PRESERVED.
TE AND RATION E PAINT. ANY	6.	
TE AND RATION E PAINT. ANY	6.	A PROPERTY WILL BE PRESERVED. DETERIORATED HISTORIC FEATURES WILL RE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE
TE AND RATION E PAINT.		A PROPERTY WILL BE PRESERVED. DETERIORATED HISTORIC FEATURES WILL RE REPAIRED RATHER THAN REPLACED. WHERE THE SEVERITY OF DETERIORATION REQUIRES REPLACEMENT OF A DISTINCTIVE FEATURE, THE NEW FEATURE WILL MATCH THE OLD IN DESIGN, COLOR, TEXTURE, AND, WHERE POSSIBLE, MATERIALS. REPLACEMENT OF MISSING FEATURES WILL BE SUBSTANTIATED BY DOCUMENTARY AND PHYSICAL EVIDENCE. CHEMICAL OR PHYSICAL TREATMENTS, IF APPROPRIATE, WILL BE UNDERTAKEN USING THE GENTLEST MEANS POSSIBLE. TREATMENTS

- 9. NEW ADDITIONS, EXTERIOR ALTERATIONS, OR RELATED NEW CONSTRUCTION WILL NOT DESTROY HISTORIC MATERIALS, FEATURE AND SPATIAL RELATIONSHIPS THAT CHARACTERIZE THE PROPER THE NEW WORK SHALL BE DIFFERENTIATED FROM THE OLD AND BE COMPATIBLE WITH THE HISTORIC MATERIALS, FEATURES, SIZE SCALE AND PROPORTION, AND MASSING TO PROTECT THE INTEGI OF THE PROPERTY AND ITS ENVIRONMENT.
- 10. NEW ADDITIONS AND ADJACENT OR RELATED NEW CONSTRUCTIO WILL BE UNDERTAKEN IN SUCH A MANNER THAT, IF REMOVED IN T FUTURE. THE ESSENTIAL FORM AND INTEGRITY OF THE HISTORIC PROPERTY AND ITS ENVIRONMENT WOULD BE UNIMPAIRED.

FOR COMPLETE TEXT AND GUIDELINES, GO TO: <https://www.nps.gov/tps/standards/rehabilitation.htm>

ARCHITECTURAL REPLACEMENT OF MISSING HISTORICAL ELEMENTS

- 1. ALL WORK FOR THIS PROJECT SHALL CONFORM TO THE SECRET THE INTERIOR STANDARDS FOR REHABILITATION. THESE STANDA ARE LISTED ON THIS SHEET.
- 2. THE REPLACEMENT OF MISSING HISTORICAL CONSTRUCTION ELEMENTS REQUIRES THE FULL ATTENTION AND COOPERATION C CONTRACTOR. THE CONTRACTOR SHOULD DEVELOP A SYSTEM (PROCESS OF RECORDATION PRIOR TO THE START OF ANY WORK.
- 3. EVERY EFFORT SHALL BE MADE TO REPAIR, RATHER THAN REPLA EXISTING ELEMENTS. SUCH REPAIR MAY INCLUDE REPLACEMENT EXTENSIVELY DETERIORATED OR MISSING ELEMENTS.
- 4. HISTORICAL PHYSICAL AND PICTORIAL DOCUMENTATION, IN ADDIT TO SURVIVING PROTOTYPES. WILL BE THE BASIS FOR ANY HISTOF RESTORATION. MEASURE AND DOCUMENT ALL EXISTING DETAILS PRIOR TO START OF ANY REPAIR OR REPLACEMENT WORK.
- 5. THE USE OF SALVAGED MATERIALS IS STRONGLY ENCOURAGED A MEANS OF REPLACING FEATURES NO LONGER COMMONLY AVAILA THIS OPTION SHALL BE GIVEN THE HIGHEST PRIORITY WHEN IT IS FEASIBLE TO REPAIR A DETERIORATED ELEMENT.
- 6. CONTRACTOR SHALL DOCUMENT THE LOCATION, ORIENTATION AN ANY OTHER INFORMATION THAT WILL AID IN THE CORRECT REINSTALLATION OF AN ELEMENT PRIOR TO REMOVAL AND STOR OF THAT ELEMENT AS REQUIRED BY THE CONTRACT DOCUMENTS AS MIGHT BE REQUIRED TO ALLOW OTHER WORK TO PROCEED.
- 7. PROTECT ALL EXISTING ELEMENTS DURING ALL PHASES OF CONSTRUCTION WORK.
- CONTRACTOR SHALL PROVIDE HISTORICAL ELEMENT SHOP DRAW AS OUTLINED BELOW
- CONTRACTOR SHALL MEASURE AND DOCUMENT ON HISTORICAL ELEMENT SHOP DRAWINGS THE "GHOSTING" OF MISSING ELEMEN REQUIRING REPLACEMENT AND THEIR LOCATIONS. THE CONTRAC SHALL ALSO RECORD ON THESE SHOP DRAWINGS ANY OTHER RELEVANT INFORMATION REGARDING THESE MISSING ELEMENTS CAN BE GLEANED FROM THE FIELD. THESE MEASUREMENTS SHA RECORDED ONTO THESE SHOP DRAWINGS AT AN APPROPRIATE S AND SUBMITTED TO THE ARCHITECT FOR REVIEW.
- 10. THE CONTRACTOR SHALL NOTE ON THE HISTORICAL ELEMENT SHO DRAWINGS THE MATERIALS OF IN SITU ELEMENTS AND PROPOSE ALTERNATIVE MATERIALS, SHOULD THE IN SITU MATERIALS NO LC BE AVAILABLE.
- 11. THE HISTORICAL ELEMENT SHOP DRAWINGS SHALL SHOW HOW TH CONTRACTOR INTENDS TO FABRICATE AND INSTALL THESE ELEMI THE ARCHITECT WILL REVIEW THESE SHOP DRAWINGS FOR DESIG INTENT.
- 12. ONCE THE ARCHITECT HAS HAD AN OPPORTUNITY TO REVIEW THESE SHOP DRAWINGS, THE ARCHITECT AND CONTRACTOR SHALL ARRANGE A SPECIAL COORDINATION MEETING TO REVIEW THE INTERPRETATION PROPOSED BY THE ARCHITECT AND THE RECONSTRUCTION METHOD PROPOSED BY THE CONTRACTOR.
- 13. THE ARCHITECT WILL THEN ISSUE THE REVIEWED HISTORICAL ELEMENT SHOP DRAWINGS TO THE CONTRACTOR WITH APPROPRIATE COMMENTS.

ARCHITECTURAL SYMBOLS (E) CONSTRUCTION CENTER LINE _____ $\left(A \right)$ TÓ REMAIN (N) 2x WOOD FRAME DETAIL CÓNSTRUCTION X— ----- (E) CONSTRUCTION SECTION TO BE REMOVED • 0'-0" _____ MASONRY WALL **ELEVATION** CONCRETE WALL - 1ST FLR. CMU WALL **INTERIOR** ----- LINE ABOVE **ELEVATION** — — — LINE BELOW ------- PROPERTY LINE

ARCHITECTURAL ABBREVIATIONS

JRES, TY. WILL # RITYQAT CENT QWILL # WILL # RITY# POUN POUN POUN RITYPOUN POUN POUN (N)RITY(E) EXIST (N)EXIST POUN N A.F.F.ACOUS. ACOUS. ADJ. ADJ. ADJ. ADJ. ADJ. ADJ. ADJ. ADJ. ADJ. ACOUS. A	
RITY (E) EXIST (N) NEW A.F.F. ABON FLOO THE ACOUS. ACOU ADJ. ADJU AGGR. AGGI ALUM. ALUM APPROX. APPF ARCH. ARCH ARCH. ARCH BTWN. BETW BITUM. BITUI BLKG. BLOO BD. BOAF ARDS BLDG. BUILT CLG. CEILT CEM. CEME	-EI
ACOUS. ACOU ADJ. ADJU AGGR. AGGI ALUM. ALUM APPROX. APPF ARCH. ARCH ASPH. ASPH BM. BEAM BTWN. BETW BITUM. BITUI BLKG. BLOO BD. BOAF ARDS BLDG. BUILD CLG. CEILD CEM. CEMB	ГI /Е
BTWN. BETV BITUM. BITUI BLKG. BLOC BD. BOAF ARY OF BOT. BOTT ARDS BLDG. BUILL CLG. CEILL CEM. CEM	JS IS RE 411 RO HI
ARDS BLDG. BUILI CLG. CEILI CEM. CEM	VE MII K RD
CER. CERA OF THE CLR. CLEA	DII N EN
DR CLO. CLOS COL. COLU CONC. CONC CONT. CONT	SE JM CR
OF CORR. CORF DTL. DETA DIA. DIAM TION DIM. DIME	IL E1
RIC DR. DOOF D.H. DOUE DN DOW DWG. DRAV	BL N VII
AS A EA. EACH ABLE. ELEC. ELEC NOT ELEV. ELEV / ELE EQ. EQUA	TF AT VA
ND E. J. EXPA EXT. EXTE AGE F. O. C. FACE CONC F. O. F. FACE F. O. S. FACE	RI C C R C R
FIN. FINIS F.E. FIRE EXTIN VINGS FLR. FLOC F. D. FLOC FLUOR. FLUC	NG)R)R
FT. FOOT FTG. FOOT TS F.A.U. FORC CTOR FDN. FOUN FURR. FURF	JD
THAT GALV. GALV LL BE GA. GAUG SCALE GL. GLAS GYP. GYPS	YAI GE SS GU
HT. HEIG HOP H.P. HIGH H.C. HOLL DNGER H.B. HOSE HR. HOUF	Р .0' Е Е
INSUL. INSU HE INT. INTEF ENTS. I.D. INSID GN	RIC

NGLE	
-	KIT.
INTERLINE	LAM. LAV.
UND OR	LAV. L.P.
JMBER	L.F. M.O.
ISTING	MAX.
EW	MECH
BOVE	MTL.
OOR FINISH	MIN.
COUSTICAL	N.A.
	N.I.C.
GREGATE	N.T.S.
UMINUM	NO.
PROXIMATE	O.C.
RCHITECTURAL	OPNG.
SPHALT	OPNG. OPP.
AM	0.F.O.S
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CE OF DNCRETE CE OF FINISH CE OF STUD NISH RE CTINGUISHER OOR OOR DRAIN UORESCENT OOT OR FEET DOTING DRCED AIR UNIT DUNDATION URRING	SMACN SIM. S.H. S.C. SPEC. SQ. S.S. STOR. STRUC SUSP. SYM. TEL.
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GENERAL NOTES

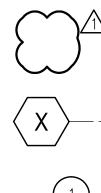
PROJ. NO. 2016 - 105 NO SCALE SCALE DATE PHASE SDDRAWN LK CHECKED

8 JUNE 2017

NO. DATE REVISION 20 OCT 2017 PERMIT SUBMITTAL 20 NOV 2017 PERMIT SET

DOOR TYPE WINDOW TYPE WALL TYPE **ELEVATION POINT** DATUM LAYOUT POINT ELEVATION LAYOUT POINT

WD



0'-0"

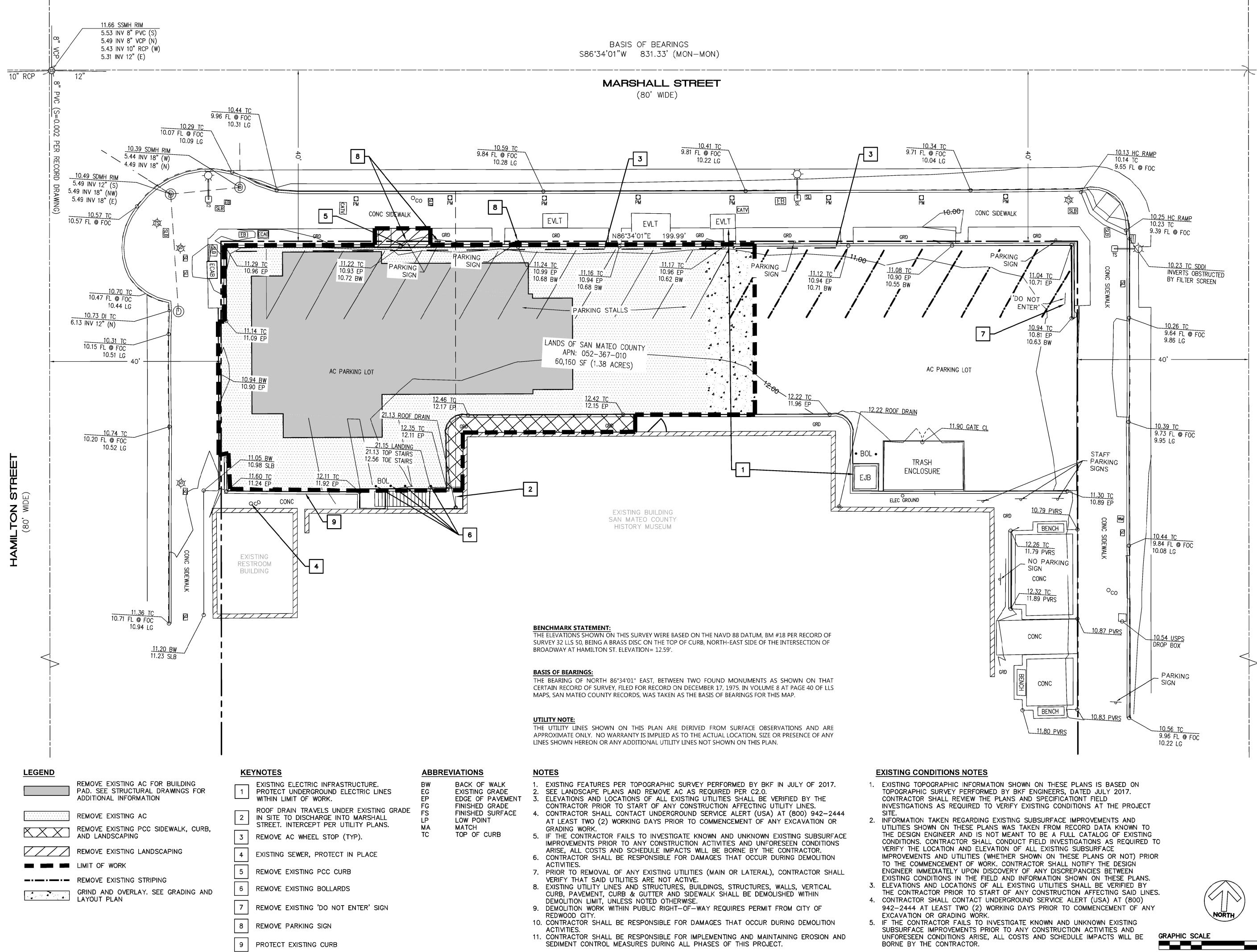
REVISION

COLUMN GRID

KEYNOTE

CEILING HEIGHT







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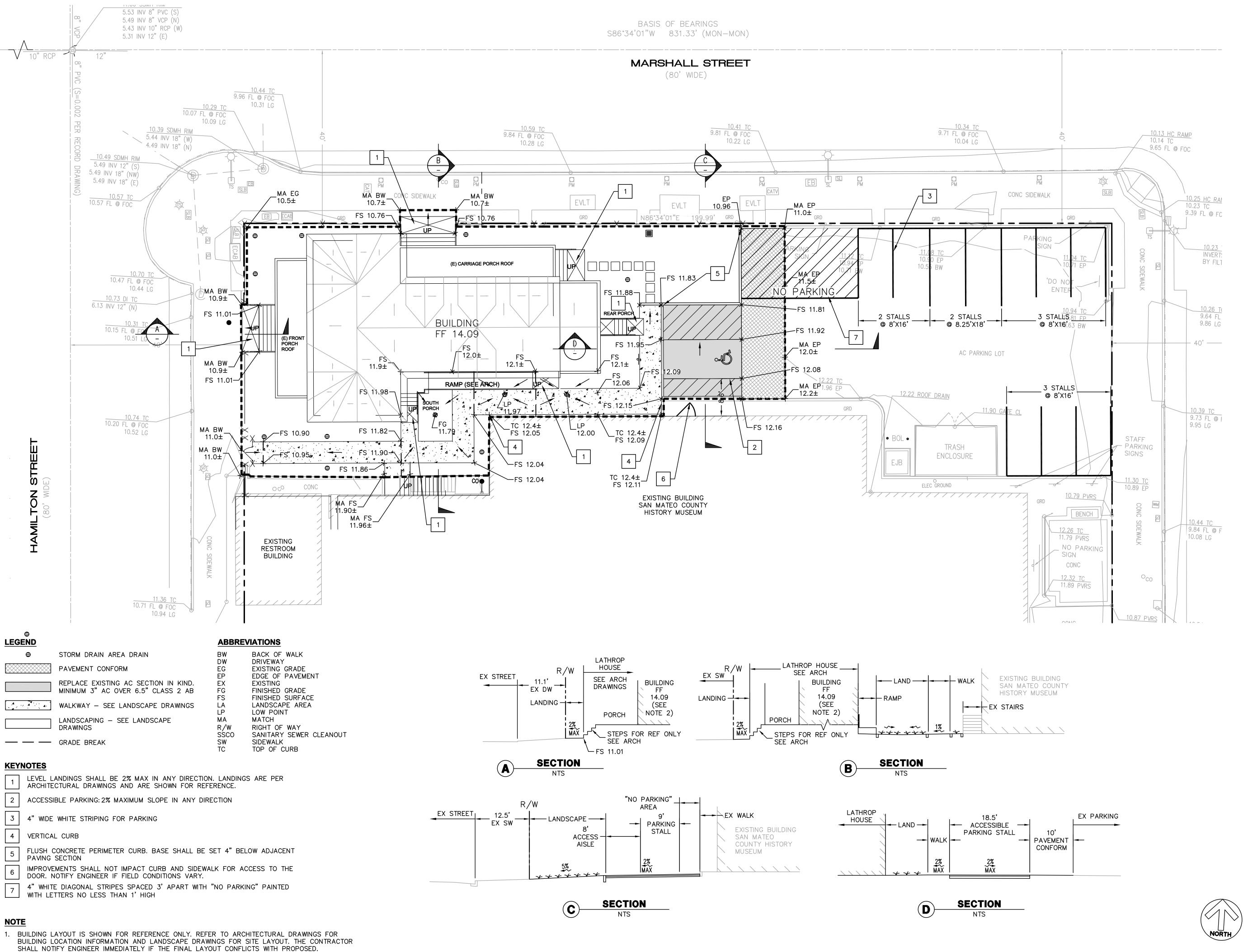
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NO. DATE REVISION 20 NOV 2017 PERMIT SET

GRAPH	IC SCALE	
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NOTE

- SHALL NOTIFY ENGINEER IMMEDIATELY IF THE FINAL LAYOUT CONFLICTS WITH PROPOSED.
- 2. FINISHED FLOOR BASED ON ELEVATION DIFFERENCE OF 3.08' BETWEEN BOTTOM OF STEPS AT THE FRONT PORCH AND BUILDING FINISHED FLOOR.

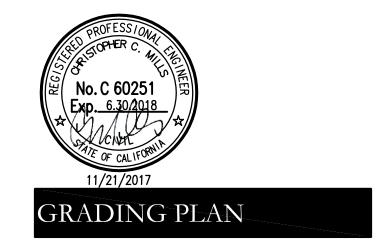


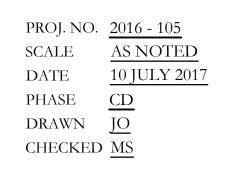
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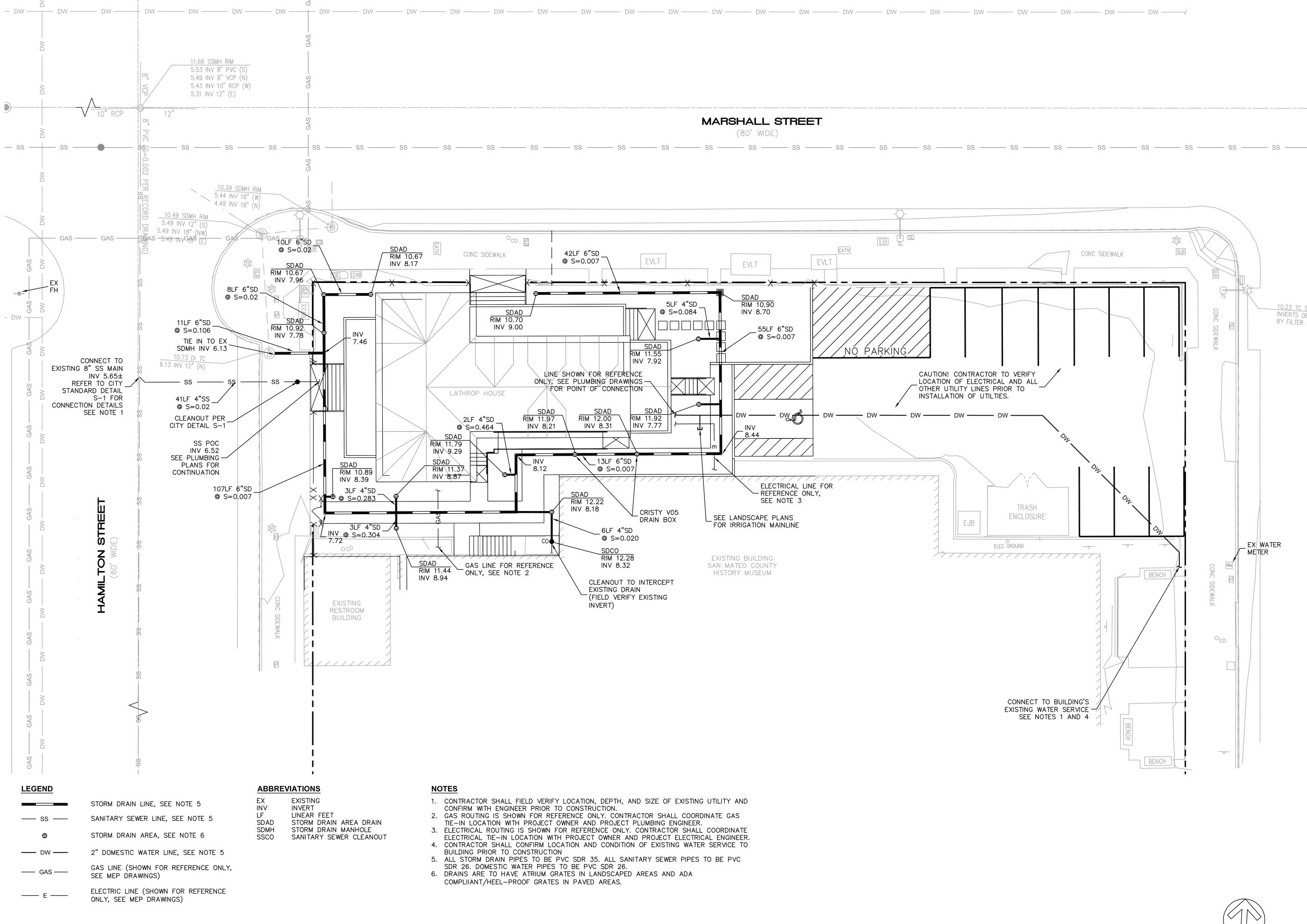




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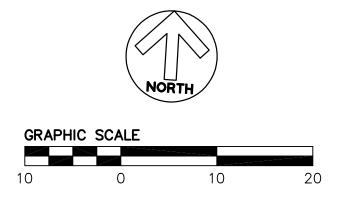
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REDWOOD CITY, CA 94063 CONC SIDEWALK <u> 10.23 TC S.</u> INVERTS OB BY FILTER S **ENGINEERS . SURVEYORS . PLANNERS** 250 PROFESS No. C 60251 Exp. 6.30/2018 EX WATER ____ ____ METER WM BENCH 11/21/2017 UTILITY PLAN

PROJ. NO. <u>2016 - 105</u> AS NOTED SCALE 10 JULY 2017 DATE PHASE \underline{CD} DRAWN <u>JO</u> CHECKED <u>MS</u>

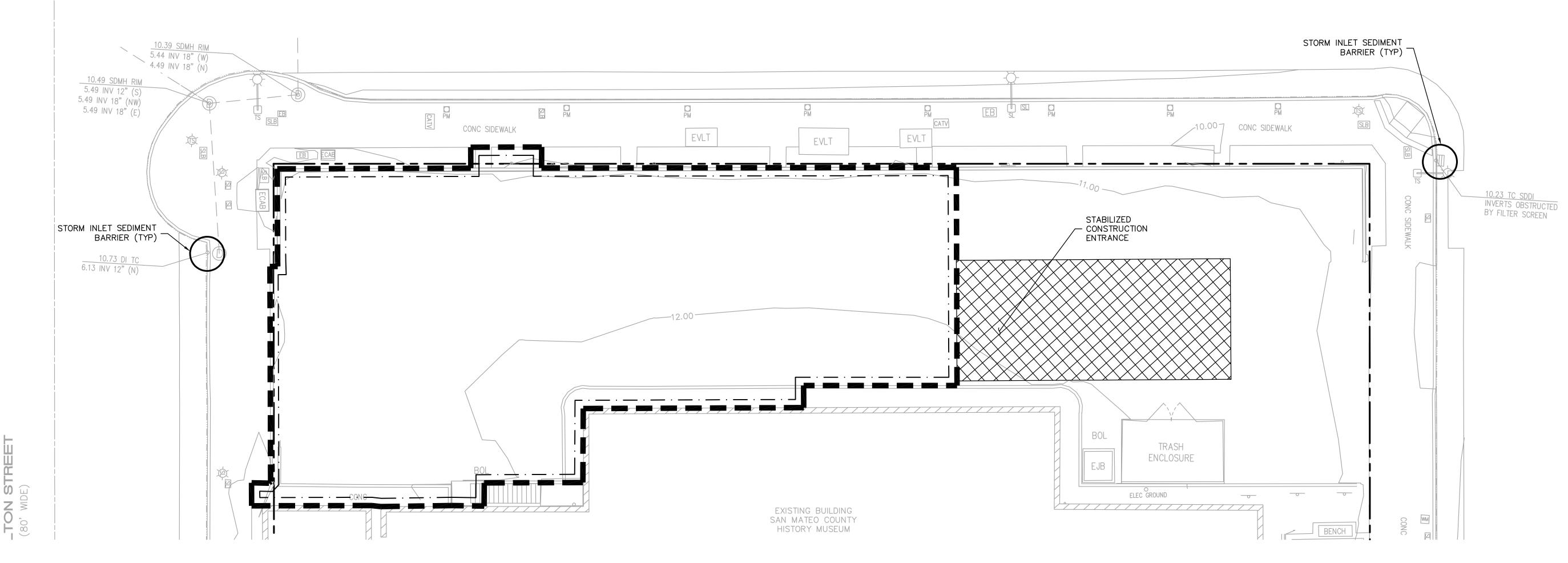
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BENCH





LEGEND 🗖 🗖 🗖 LIMIT OF WORK - · - · FIBER ROLL

STABILIZED CONSTRUCTION ENTRANCE

STORM INLET SEDIMENT BARRIER

EROSION CONTROL NOTES

- 1. TEMPORARY EROSION CONTROL DEVICES SHOWN ON THE EROSION CONTROL PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED AS AND WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES TO MEET "AS GRADED" CONDITIONS.
- 2. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AND PAVED AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR.
- 3. ALL FILLS SHALL BE GRADED TO PROMOTE DRAINAGE AWAY FROM THE EDGES OF THE FILL.
- 4. ALL UTILITY TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS FROM THE BOTTOM TO THE TOP WITH A DOUBLE ROW OF SANDBAGS PRIOR TO BACKFILL. STORM AND SEWER TRENCHES SHALL BE BLOCKED AT THE PRESCRIBED INTERVALS WITH A DOUBLE ROW OF SANDBAGS EXTENDING UPWARD, TO WITHIN TWO SANDBAGS FROM THE GRADED SURFACE OF THE STREET. SANDBAGS ARE TO BE PLACED WITH THE ALTERNATE HEADER AND STRETCHER COURSES. THE INTERVALS PRESCRIBED BETWEEN SANDBAG BLOCKING SHALL DEPEND ON THE SLOPE OF THE GROUND SURFACE, BUT NOT EXCEED THE FOLLOWING: GR

RADE OF THE STREET	INTERVAL
LESS THAN 2%	AS REQUIRED
2% TO 4%	100 FEET
4% TO 10%	50 FEET
OVER 10%	25 FEET

- 5. AFTER SEWER AND UTILITY TRENCHES ARE BACKFILLED AND COMPACTED, THE SURFACES OVER SUCH TRENCHES SHALL BE MOUNDED SLIGHTLY TO PREVENT CHANNELING OF WATER IN THE TRENCH AREA. CARE SHOULD BE EXERCISED TO PROVIDE FOR CROSS FLOW AT FREQUENT INTERVALS WHERE TRENCHES ARE NOT ON THE CENTERLINE OF A CROWNED STREET.
- 6. APPROVED EROSION PREVENTATIVE DEVICES SHALL BE PROVIDED AND MAINTAINED DURING THE RAINY SEASON OF OCTOBER 1 THROUGH MAY 31. SAID DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY.
- 7. EROSION CONTROL DEVICES SHALL BE STOCKPILED IN PARKWAYS AT INTERVALS SHOWN ON THE EROSION CONTROL PLAN, READY TO BE PLACED IN POSITION WHEN RAIN IS FORECAST OR WHEN DIRECTED BY THE INSPECTOR.
- 8. THE CONTRACTOR SHALL PROVIDE A "STANDBY EMERGENCY CREW" WHICH SHALL BE ALERTED BY THE CONSTRUCTION MANAGER, CITY OR CONTRACTOR TO PERFORM EMERGENCY WORK DURING RAINSTORMS.
- 9. ALL CUT AND FILL SLOPES GREATER THAN 1 VERTICAL TO 3 HORIZONTAL SHALL BE COVERED WITH 10 MIL PLASTIC SHEETING HELD IN PLACE WITH SANDBAGS (UNLESS PLANTED OR HYDRO-SEEDED).
- 10. ALL TRUCK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- 11. IF NO WORK HAS PROGRESSED FOR A PERIOD OF 6 WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.
- 12. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
- 13. CONTRACTOR IS RESPONSIBLE FOR PREVENTING SEDIMENT FROM LEAVING THE SITE AND ENTERING THE DOWNSTREAM DRAINAGE SYSTEM. THIS PLAN MAY NOT COVER ALL SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. CONTRACTOR SHALL UPDATE PLANS TO REFLECT CHANGING SITE CONDITIONS AND MONITOR EROSION CONTROL EFFECTIVENESS. BASIN AND TRAP SIZES AND ELEVATIONS MAY BE ADJUSTED AS LONG AS THE MINIMUM AREA AND DEPTH FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED. ALL EXISTING TEMPORARY OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
- 14. PROVISIONS SHALL BE MADE FOR CONTRIBUTORY DRAINAGE AT ALL TIMES.
- 15. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE OR RECYCLED FOR USE AS FILL.
- 16. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
- 17. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEETFLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.

- CONTAMINATE THE SOIL AND SURFACE WATERS ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- 19. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLICLY AND/OR PRIVATELY OWNED AND MAINTAINED ROADS CAUSED BY CONTRACTOR'S GRADING ACTIVITIES. AND WILL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE HAUL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY OR AS REQUIRED BY THE CITY. CONTRACTOR SHOULD PROPERLY DOCUMENT EXISTING CONDITIONS OF PUBLIC AND PRIVATE STREETS SUBJECT TO SUCH DAMAGE.
- 20. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS SHALL BE PROVIDED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT.
- 21. GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO THE CITY BY THE DATE INDICATED BY THE CITY ENGINEER.
- 22. EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED AND COMPLETED PRIOR TO OCTOBER 1. RAINY SEASON IS BETWEEN OCTOBER 1 THROUGH MAY 31. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OPERABLE YEAR ROUND.
- 23. THE SURFACE OF ALL CUT SLOPES MORE THAN 4 FEET IN HEIGHT, AND FILL SLOPES MORE THAN 3 FEET IN HEIGHT, SHALL BE PROTECTED AGAINST EROSION BY PLANTING WITH GRASS OR GROUNDCOVER PLANTS.
- 24. SEED MIX FOR REVEGETATION AND HYDROSEEDING SHALL BE NORTHERN CALIFORNIA COVER MIX BY ACBRIGHT OR EQUAL: 30% BLUE WILD RYE, 30% MEADOW BARLEY, 20% ZORRO FESCUE, 10% PURPLE NEEDLE GRASS, AND 10% CALIFORNIA NATIVE WILDFLOWERS APPLY AT 40 POUNDS PER ACRED MINIMUM. THE HYDROSEED MIX SHALL BE APPLIED IN ADVANCE TO ALLOW VEGETATION TO BE FULLY ESTABLISHED BY OCTOBER 1ST. PLANTED SLOPES SHALL BE WATERED AND MAINTAINED UNTIL A COVER SATISFACTORY TO THE CITY ENGINEER IS ESTABLISHED.
- 25. STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBDRAINS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.
- 26. BORROW AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (FIBER ROLLS, ETC.) OR COVERED WITH VISQUEEN TO ENSURE SILT DOES NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
- 27. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- 28. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- 29. VACUUM SAW-CUT SLURRY IMMEDIATELY AND REMOVE FROM SITE. DO NOT ALLOW SAW-CUT SLURRY TO ACCUMULATE ON SURROUNDING PAVEMENT OR ENTER THE STORM WATER CONVEYANCE SYSTEM.
- 30. REMOVE ALL DIRT/MUD, GRAVEL, RUBBISH, REFUSE AND GREEN WASTE FROM THE SIDEWALK, STREET PAVEMENT, AND STORM DRAIN SYSTEM ADJOINING THE PROJECT SITE DAILY AND PRIOR TO RAIN. CLEAN UP LEAKS, DRIPS AND SPILLS IMMEDIATELY. DURING WET WEATHER, AVOID DRIVING VEHICLES OFF PAVED AREAS AND OTHER OUTDOOR WORK AREAS AND ONTO PAVED PUBLICLY ACCESSIBLE RIGHT-OF-WAY.
- 31. SITE DE-WATERING OPERATIONS SHALL BE DESIGNED TO PREVENT THE DISCHARGE OF ANY SEDIMENT, DEBRIS OR OTHER POLLUTANTS TO THE MUNICIPAL STORM WATER CONVEYANCE SYSTEM.
- 32. ALL SEDIMENT, EROSION AND OTHER POLLUTION PREVENTION CONTROLS SHALL BE IMPLEMENTED PRIOR TO START OF CONSTRUCTION, MAINTAINED DURING CONSTRUCTION TO PROVIDE ADEQUATE PROTECTION AND REMOVED AT THE END OF CONSTRUCTION.



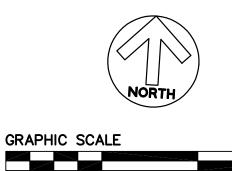
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18. FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO



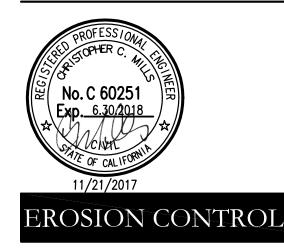
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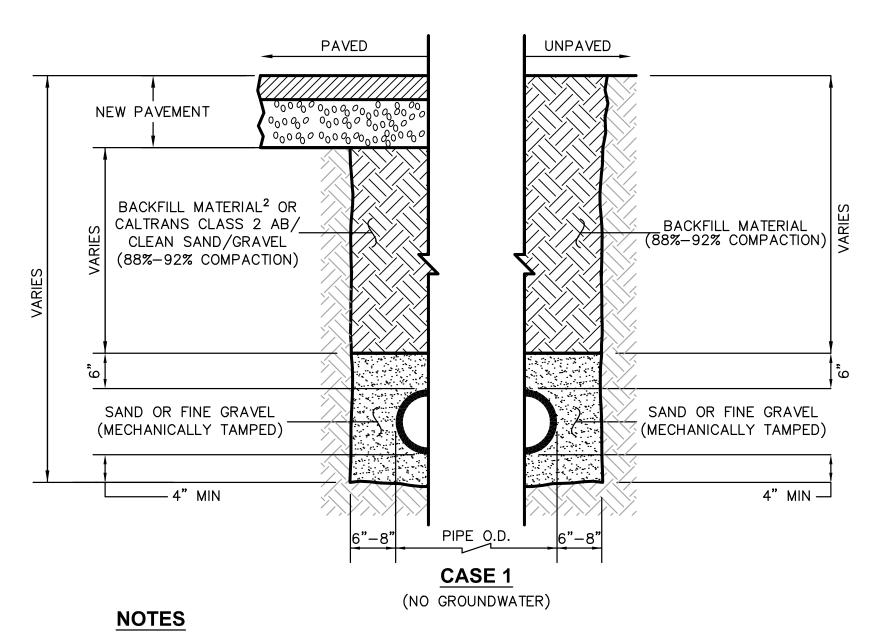




PLAN

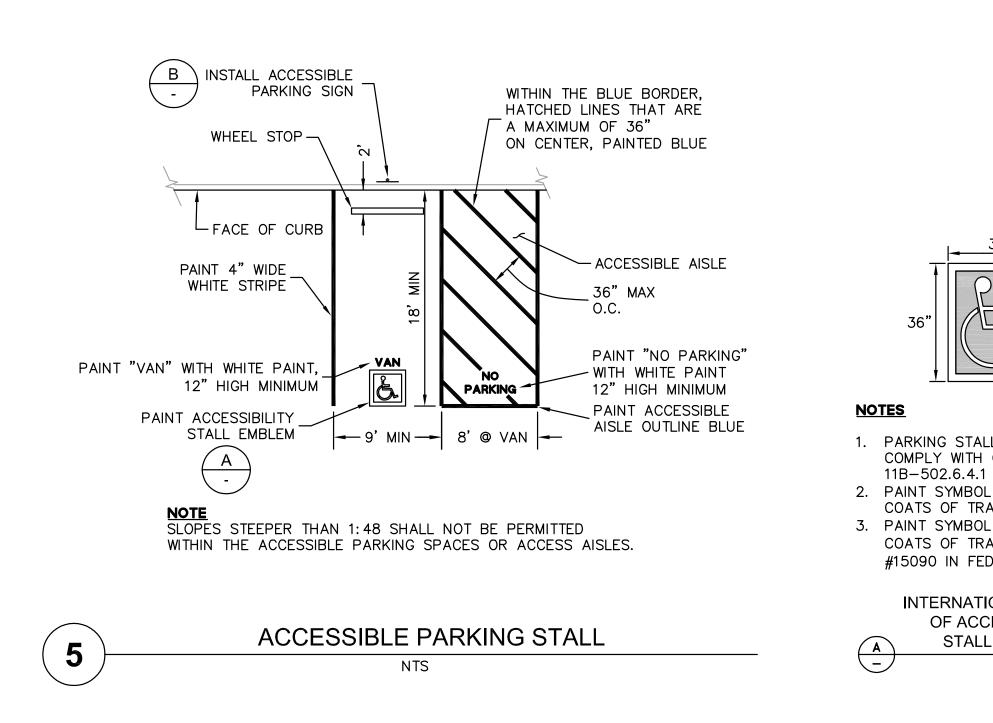
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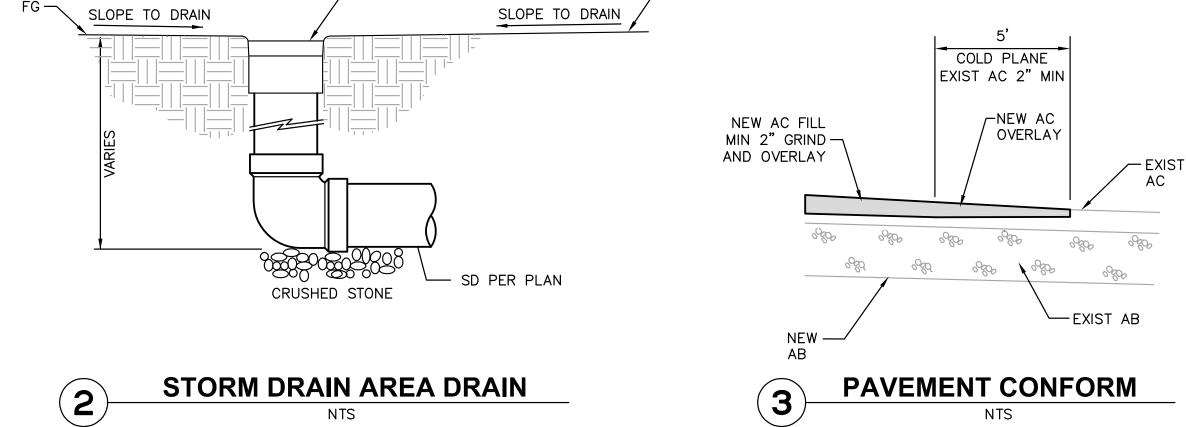
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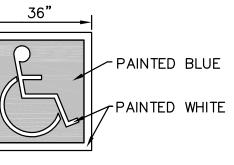
- 1. BACKFILL MATERIAL WITHIN PAVEMENT AREAS TO CONFORM TO THE CITY OF REDWOOD CITY STANDARD DRAWINGS.
- 2. PLACE GEOTEXTILE FABRIC (MIRAFI 140N OR EQUIVALENT) AT THE BASE OF EXCAVATION IF COARSE-GRAINED SOIL IS EXPOSED.

EXCAVATION OF TRENCHES FOR PIPES 1 NTS





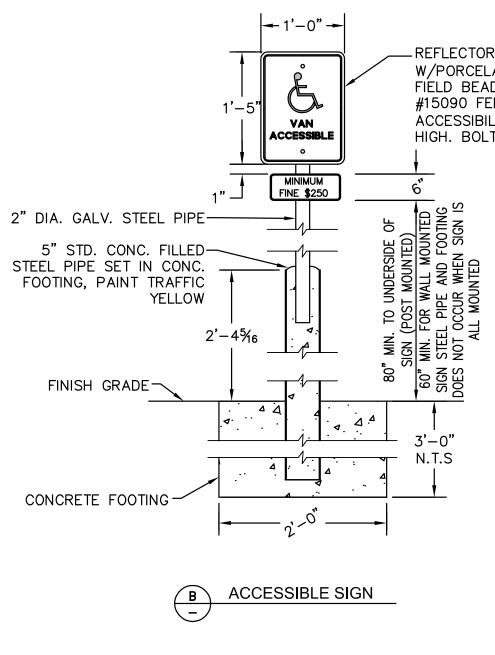
ADA COMPLIANT/HEEL-PROOF GRATE WITHIN PAVED AREAS ATRIUM GRATE WITHIN LANDSCAPED AREAS



FG —

1. PARKING STALLS MARKING SHALL COMPLY WITH CBC 2016 SECTION 2. PAINT SYMBOL AND PERIMETER WITH (2) COATS OF TRAFFIC WHITE 3. PAINT SYMBOL BACKGROUND WITH (2) COATS OF TRAFFIC BLUE (COLOR #15090 IN FED. STD. 595B)

> INTERNATIONAL SYMBOL OF ACCESSIBILITY STALL EMBLEM



-REFLECTORIZED SIGN PANEL OF 16GA. GALV STL W/PORCELAIN ENAMEL FINISH WHITE IMAGE ON BLUE FIELD BEADED REFLECTORIZED TEXTURE. COLOR #15090 FED. STANDARD 595B. INTERNATIONAL SYMBOL ACCESSIBILITY SIGN W/ LETTERING NO LESS THAN 1" HIGH. BOLTED TO GALVANIZED STEEL PIPE.

<u>NOTES</u>

- 1. PARKING STALL SIGNAGE SHALL COMPLY WITH CBC 2016 SECTION
- 11B-502.6 & 11B-703 2. A PARKING SPACE IDENTIFICATION SIGN SHALL BE VISIBLE FROM EACH PARKING SPACE. SIGNS SHALL BE PERMANENTLY POSTED EITHER IMMEDIATELY ADJACENT TO THE PARKING SPACE OR WITHIN THE PROJECTED SPACE WIDTH AT THE HEAD END OF THE PARKING SPACE. SIGNS MAY ALSO BE PERMANENTLY POSTED ON A WALL AT THE INTERIOR END OF THE PARKING SPACE.

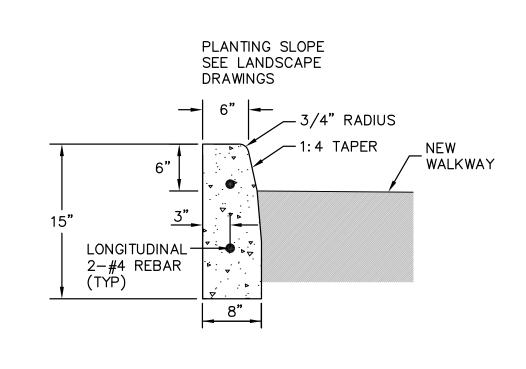


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LATHROP HOUSE

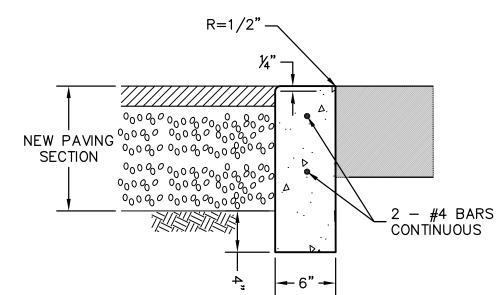
RELOCATION REDWOOD CITY, CA 94063











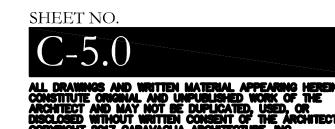
NOTES

- 1. PLACE 1/4" EXPANSION JOINT MATERIAL AT 20' OC
- 2. EXTEND CURB 4" BELOW SUBGRADE.
- 3. REQUIRED CONCRETE MIX DESIGN IS 5 SACK, $\frac{3}{4}$ " AGGREGATE, 2500 PSI WITH 11/2 LB LAMPBLACK PER CU. YD.

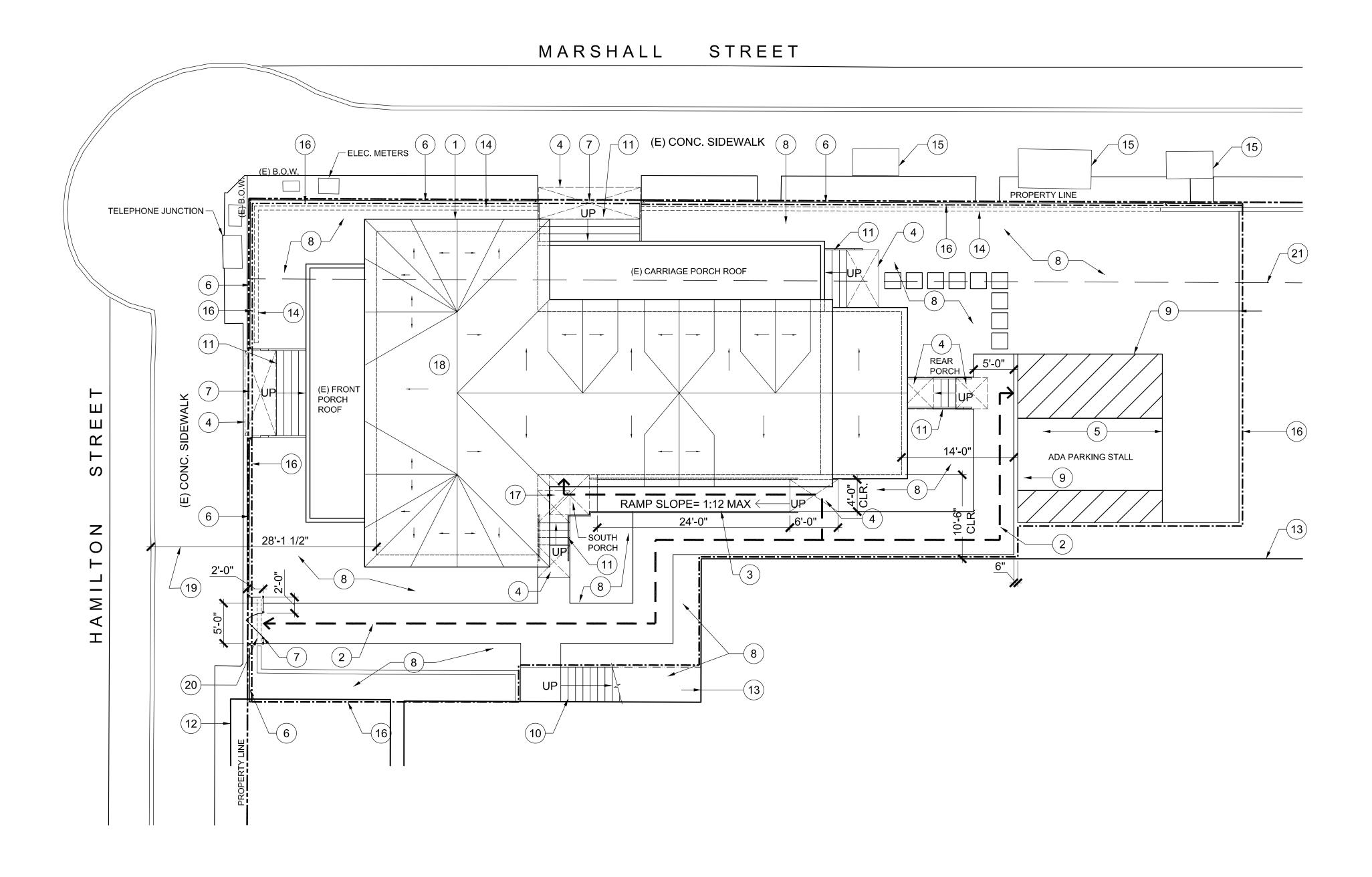


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- 1. PROPERTY LINES, EXISTING ADJACENT STRUCTURE LOCATION, SITE FEATURES, CONTOURS, PROPOSED ROADWAY & SPOT ELEVATIONS ARE BASED ON A SURVEY PREPARED BY BKF ENGINEERS, DATED 7 JULY 2017.
- 2. SETBACKS PER REDWOOD CITY ZONING CODE, ARTICLE 52, "P" DISTRICT (DOWNTOWN PRECISE PLAN): HAMILTON STREET (FRONT SETBACK): 0' MIN. / 0' MAX.
 MARSHALL STREET (SIDE SETBACK): 0' MIN. / 10' MAX.
- 3. DRAWING SHOWS PROPOSED
 "RECEIVER" SITE AT 701 HAMILTON ST.
 "DONOR" SITE IS APPROXIMATELY ONE
 HALF BLOCK AWAY, AT 627 HAMILTON ST.
- 4. SEE CIVIL DWGS FOR GRADING AND DRAINAGE WORK.
- 5. SEE CIVIL DWGS FOR UTILITY POINTS OF CONNECTION.
- 6. SEE LANDSCAPE DWGS FOR PROPOSED (N) PLANTED AREAS, SIDEWALKS AND OTHER SITE FEATURES.



- 7. DISCONNECT & CAP (E) UTILITIES @ DONOR SITE BEFORE MOVE.
- 8. INSTALL CONSTRUCTION FENCING AROUND DONOR SITE FOLLOWING RELOCATION OF BLDG. USE DRIVEN-POLE CHAINLINK FENCING STARTING @ NW CORNER OF PARKING LOT, THEN ALONG BACK OF WALK TO SOUTH PROPERTY LINE, THEN EAST TO (E) CMU FENCE. A PAIR OF 6'-0" WIDE INSWING GATES TO ALIGN W/(E) CURB CUT.
- 9. BUILDING SEPARATION NOTES:
 WHEN LATHROP HOUSE & COURT-HOUSE ANNEX ARE SEPARATED BY 10'-0" OR MORE, NO PROTECTION OF OPENINGS IS REQUIRED.
 SEPARATION DISTANCE IS 10'-6".
 LATHROP HOUSE OPENINGS FACING THE ANNEX ARE LESS THAN MAX. PERMITTED 25% OF EXTERIOR WALL.

KEY NOTES

- 1 RELOCATED (E) BUILDING.
- (2) (N) ACCESSIBLE PATH OF TRAVEL.
- (3) (N) ACCESSIBLE RAMP W/HANDRAILS.
- (N) LEVEL LANDING AT TOP & BOTTOM OF STAIRS / RAMP.
- (N) VAN-ACCESSIBLE PARKING SPACE SEE CIVIL DWGS. FOR DIMS & DETAILS
- (N) FENCING ALONG INSIDE OF PROPERTY LINE
- (7) (N) GATE @ (N) FENCE
- (8) (N) LANDSCAPED AREA.
- 9 EDGE OF (N) PARKING AREA.
- (E) EXIT STAIR FROM ADJACENT (E) BUILDING.

- (11) (N) EXTERIOR STAIRS W / HANDRAILS.
- (12) (E) PUBLIC TOILETS.
- (E) ANNEX.
- (14) REMOVE (E) CURB WITHIN LIMIT OF WORK
- (15) (E) ELECTRICAL VAULT TO REMAIN.
- (16) APPROX. LIMIT OF WORK.
- (17) SEE A-2.01 FOR ENLARGED PLAN VIEW OF STAIR & RAMP TOP LANDINGS.
- (18) CHECK INTEGRITY OF FLASHING & ROOFING AFTER MOVE; PROVIDE DOCUMENTATION PRIOR TO REPAIR OF ANY DAMAGE.
- (19) REQ'D. FRONT SETBACK TO MATCH (E) FRONT SETBACK AT DONOR SITE.
- (20) REMOVE (E) CURB AT GATE.
- (21) SIDEYARD SETBACK 10' MAX.



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SITE PLAN PROPOSED

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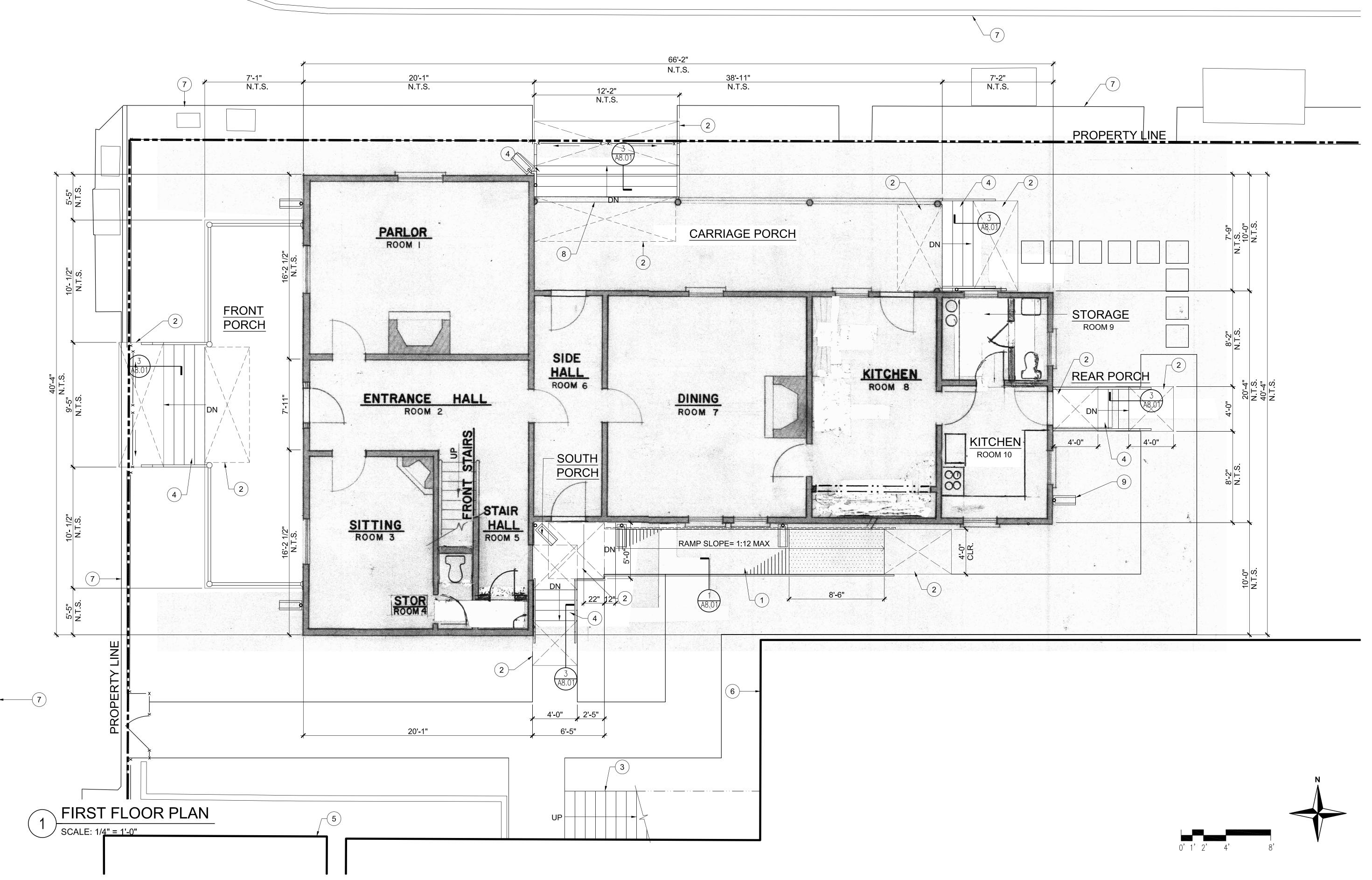
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- 1. PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.

- 4. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
- 5. BUILD (N) FOUNDATION FOR RE-LOCATED (E) HOUSE.

6. UON, REPAIR (E) EXTERIOR AND INTERIOR WALL, FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.

7. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.



- 8. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.
- 9. (E) PORCH FLOORS: REPLACE ANY SPONGY, ROTTED BOARDS. RE-ATTACH LOOSE NOSING & TRIM. (N) T & G BOARDS TO MATCH SIZE OF (E). USE CLEAR, ALL HEART T & G YELLOW CEDAR BACK-PRIME ALL SIDES OF (N) WOOD. BEFORE INSTALLATION

KEY NOTES

- (N) ACCESSIBLE RAMP W/HANDRAILS; S.S.D.
- 2 (N) LEVEL LANDING AT TOP & BOTTOM OF STAIRS / RAMP.
- (E) EXIT STAIR FROM ADJACENT (E) BUILDING.
- 4 DEMOLISH (E) STAIRS PRIOR TO HOUSE RELOCATION. CONSTRUCT (N) STAIRS AFTER HOUSE RELOCATION.
- (5) (E) PUBLIC TOILETS.

- 6 (E) ANNEX.
- (7) EDGE OF (E) SIDEWALK.
- 8 CHAIN BETWEEN PORCH COLUMN.
- (9) SPLASH BLOCK @ DOWNSPOUT, TYP.



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FLOOR PLAN FIRST

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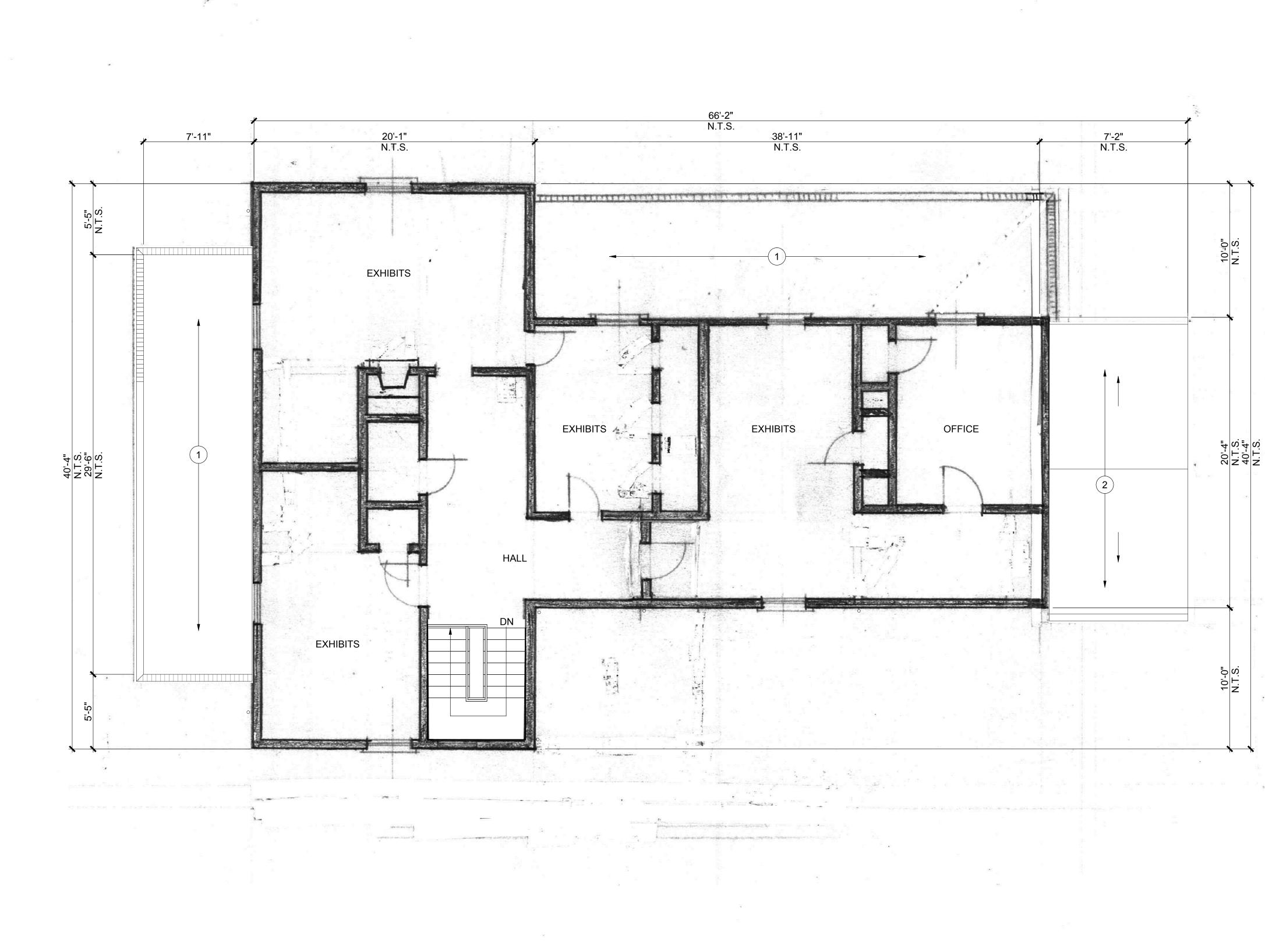
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- 3. MOVE ITEMS NOTED FOR SALVAGE TO OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.

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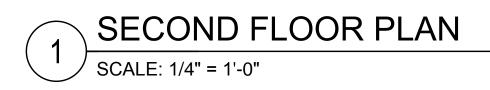
- 4. REFER TO ARCHITECTURAL GENERAL NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
- 5. BUILD (N) FOUNDATION FOR RE-LOCATED (E) HOUSE.

7

- 6. UON, REPAIR (E) EXTERIOR AND INTERIOR WALL, FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.
- COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER BUILDING ELEMENTS.



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8. ALL (E) HISTORIC WINDOWS & DOORS, TRIM & OTHER SIMILAR ELEMENTS ARE TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.

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KEY NOTES

- (E) PORCH ROOF, CHECK INTEGRITY OF FLASHING & ROOF FOR DAMAGE AFTER MOVE. REPAIR AS REQUIRED
- (2) (E) ROOF OVER 1ST FLOOR PANTRY & STORAGE ROOM. CHECK INTEGRITY OF FLASHING & ROOF FOR DAMAGE AFTER MOVE. REPAIR AS REQUIRED

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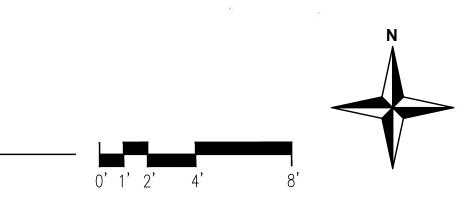
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- 1. PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
- 2. DEMOLISH AND REMOVE COMPLETE, ITEMS SHOWN DASHED AND NOTED FOR DEMOLITION.
- MOVE ITEMS NOTED FOR SALVAGE TO 3 OWNER'S DESIGNATED STORAGE LOCATION, PROTECTED FROM WEATHER AND RAISED ABOVE GROUND SURFACE, U.O.N.
- 4. COORDINATE DEMOLITION SCOPE W/ STRUCTURAL DRAWINGS FOR LOCATIONS OF NEW STRUCTURAL ELEMENTS.
- REFER TO ARCHITECTURAL GENERAL 5. NOTES FOR ADDITIONAL DEMOLITION-SPECIFIC REQUIREMENTS.
- UON, REPAIR (E) EXTERIOR WALL, 6. FLOOR & CEILING FINISHES TO MATCH EXISTING, WHERE DAMAGED BY RELOCATION.





- 7. COORDINATE PROPOSED SCOPE OF WORK W/ ENGINEERING DRAWINGS FOR LOCATIONS OF STRUCTURAL & OTHER **BUILDING ELEMENTS.**
- ALL (E) HISTORIC WINDOWS & DOORS, 8 **TRIM & OTHER SIMILAR ELEMENTS ARE** TO REMAIN IN PLACE & BE PROTECTED FROM DAMAGE FOR THE DURATION OF CONSTRUCTION, UON.
- GC SUBMITTAL & OWNER APPROVAL 9 REQ'D. BEFORE FINISH MATERIALS ARE PURCHASED.
- 10. PATCH, REPAIR & REPAINT EXTERIOR TO A WATER-TIGHT CONDITION AFTER RELOCATION.

KEY NOTES

- (1) RELOCATED (E) BUILDING.
- (2) DEMOLISH (E) EXTERIOR STAIRS PRIOR TO HOUSE RELOCATION. CONSTRUCT (N) STAIRS W/ HANDRAIL (3'-0" HIGH) @ RÉCEIVER SITE. S.S.D.
- (3) AT DONOR SITE: REMOVE & SALVAGE (E) STAMPED METAL PANELS & FOUNDATION VENT GRILLES AT FOUNDATION CRIPPLE WALL. LABEL EACH PANEL & GRILL AND PROVIDE DRAWING SHOWING **RE-INSTALLATION IN ORIGINAL** LOCATION.

AT RECEIVER SITE:

(N) CRIPPLE WALL SHALL INCLUDE **BLOCKING TO MATCH (E) POINTS OF** SUPPORT & ATTACHMENT. RE-ATTACH PANELS AT ORIGINAL POINTS, MINIMUM. USE PAN-HEAD GALV. WOOD SCREWS, UON. USE ADDITIONAL FASTENERS IF NEEDED TO PROVIDE FASTENING @ 6"± O.C. VERTICALLY & 12"± HORIZONTALLY, PATTERN SIM. TO EXISTING, AS REQUIRED TO KEEP PANELS TIGHT TO (N) CRIPPLE WALL. INSERT TOP OF PANELS UNDER WATER TABLE (LOOSEN TRIM BOARD WITHOUT REMOVING IT).

- (4) (E) WATER TABLE, PORCH, RAILING & ROOF TO REMAIN; PROTECT IN PLACE.
- (5) ALIGN (N) LANDING W/ (E) FINISH FLOOR INSIDE HOUSE.
- (6) REDWOOD LATTICE SCREEN.
- $\overline{(7)}$ REINSTALL (E) GRILLES INTO OPENINGS ON ALL FOUR ELEVATIONS, TO EXACTLY MATCH SIZE & LOCATION OF (E) **OPENINGS INTO CRAWL SPACE AT** DONOR SITE. TYPICAL OPENING ONLY SHOWN.
- (8) DOWNSPOUT W/ SPLASH BLOCK.
- (9) INSTALL TEMPERING FILM @ ALL PANES OF GLASS WHERE NOTED ON WINDOW/ DOOR, IF NOT (E) SAFETY GLASS.
- (10) MATCH FRONT PORCH HEIGHT ABOVE GRADE @ SIDEWALK WITH (E) @ DONOR SITE.



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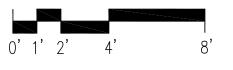
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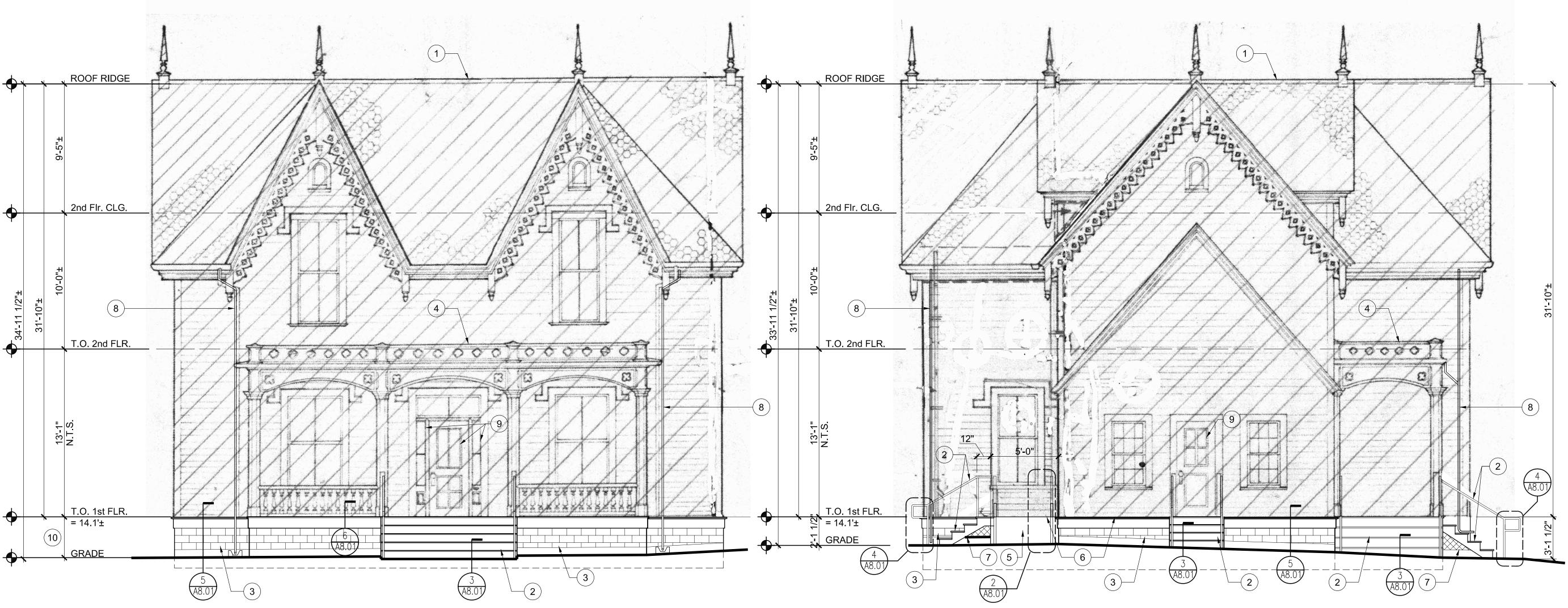
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KEY NOTES

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- 3 **AT DONOR SITE:** REMOVE & SALVAGE (E) STAMPED METAL PANELS & FOUNDATION VENT GRILLES AT FOUNDATION CRIPPLE WALL. LABEL EACH PANEL & GRILL AND PROVIDE DRAWING SHOWING RE-INSTALLATION IN ORIGINAL LOCATION.

AT RECEIVER SITE: (N) CRIPPLE WALL SHALL INCLUDE **BLOCKING TO MATCH (E) POINTS OF** SUPPORT & ATTACHMENT. RE-ATTACH PANELS AT ORIGINAL POINTS, MINIMUM. USE PAN-HEAD GALV. WOOD SCREWS, UON. USE ADDITIONAL FASTENERS IF NEEDED TO PROVIDE FASTENING @ 6"± O.C. VERTICALLY & 12"± HORIZONTALLY, PATTERN SIM. TO EXISTING, AS **REQUIRED TO KEEP PANELS TIGHT TO** (N) CRIPPLE WALL. INSERT TOP OF PANELS UNDER WATER TABLE (LOOSEN TRIM BOARD WITHOUT REMOVING IT). ADJUST BOTTOM OF PANELS & VENT **GRILLES AS REQUIRED AT (N) GRADE** LINE.



- (E) WATER TABLE, PORCH, RAILING & ROOF TO REMAIN; PROTECT IN PLACE. NOTE THAT (E) PORCH FLOOR IS APPROX. 5" BELOW (E) FINISH FLOOR INSIDE HOUSE. VERIFY IN FIELD.
- (N) ACCESSIBLE RAMP W/HANDRAILS.
- 6 ALIGN (N) ACCESSIBLE LANDING WITH (E) FINISH FLOOR INSIDE HOUSE.
- (7) REDWOOD LATTICE SCREEN.
- (8) DOWNSPOUT W/ SPLASH BLOCK.
- 9 INSTALL TEMPERING FILM @ ALL PANES OF GLASS WHERE NOTED ON WINDOW/ DOOR, IF NOT (E) SAFETY GLASS.
- (10) MATCH FRONT PORCH HEIGHT ABOVE GRADE @ SIDEWALK WITH (E) @ DONOR SITE.

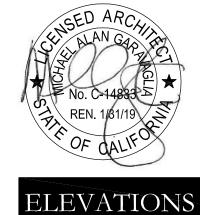


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- 1. PRIOR TO START OF WORK, PROTECT IN PLACE ALL EXISTING (E) ELEMENTS TO REMAIN, TO PREVENT DAMAGE DURING CONSTRUCTION OF (N) WORK IN ADJACENT AREAS.
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- (5) (N) ACCESSIBLE RAMP W/HANDRAILS.
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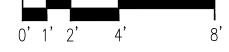
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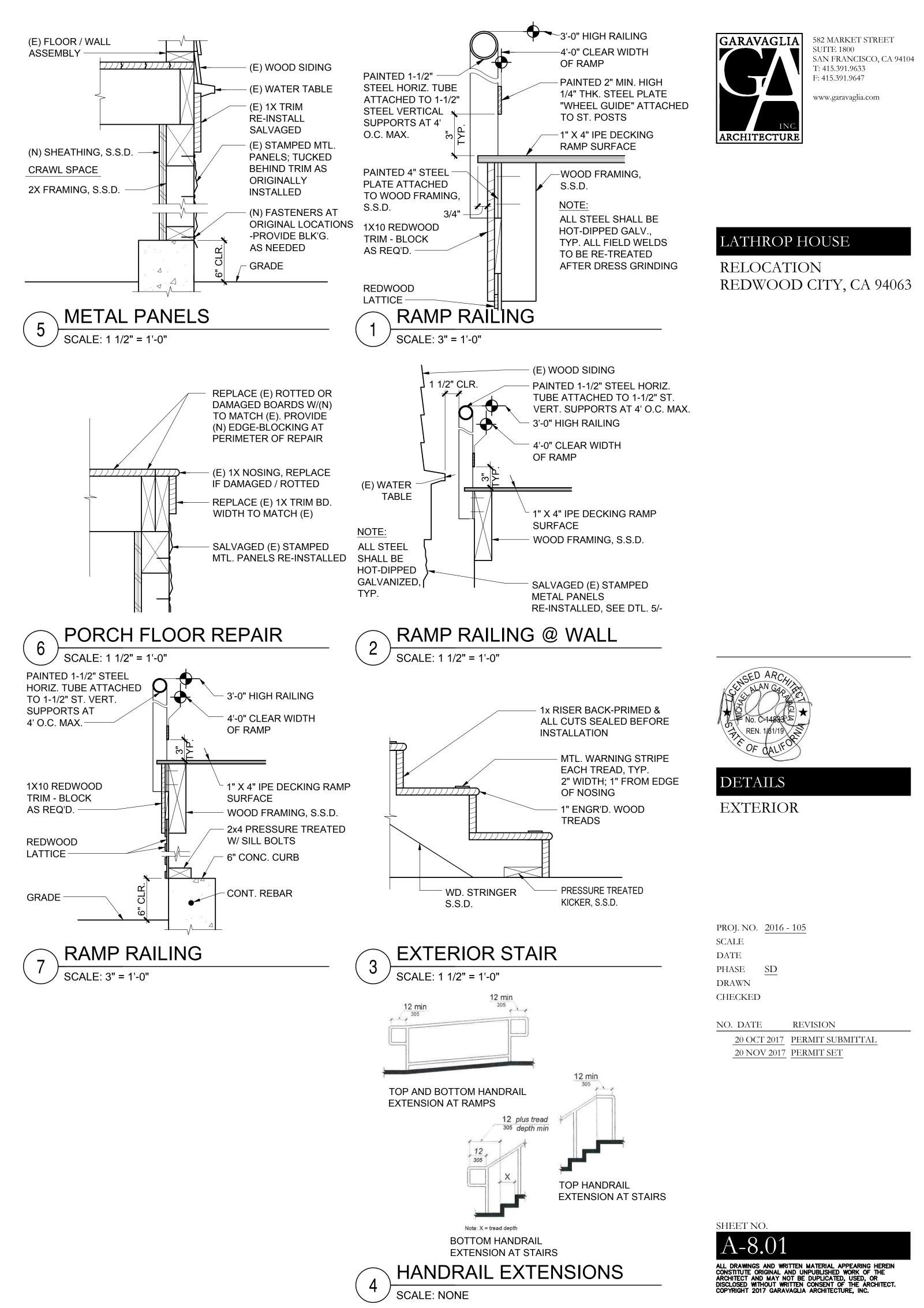
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STRUCTURAL SPECIFICATIONS

SHEATHING

ALL SHEATHING SHALL CONFORM TO U.S. PRODUCT STANDARD PS 1, AMERICAN PLYWOOD ASSOCIATION. EACH SHEET SHALL BE STAMPED WITH THE PS AND/OR APA GRADEMARK.

- WALL SHEATHING
- SHALL BE MINIMUM 1/2" OSB OR 3 PLY INTERIOR TYPE RATED SHEATHING, C-D GRADE WITH -EXTERIOR GLUE (CDX-EXPOSURE 1), SPAN RATING 24/0, SPECIES GROUP 2 OR BETTER.

ALL SHEATHING PERMANENTLY EXPOSED TO WEATHER SHALL BE EXTERIOR TYPE SHEATHING VS. INTERIOR TYPE SHEATHING AS REFERENCED ABOVE.

ALL UNBLOCKED SHEATHING EDGES SHALL BE TONGUE-AND-GROOVE OR SUPPORTED WITH CLEATS OR CLIPS.

FRAMING

DOUGLAS FIR COAST REGION, CONFORMING TO WEST COAST LUMBER INSPECTION BUREAU STANDARD GRADING AND DRESSING RULE NO. 17 AS AMENDED TO DATE.

- 2x, 3x, PLATES, JOISTS, AND PURLINS NO.2 (900F-b), PARA. 123-a. 1.
- 4x, PURLINS, LEDGERS, AND BEAMS, NO.1 (1000F-b), PARA. 123-b. 2.
- 6x BEAMS, DENSE NO.1 (1550F-b), PARA. 130-bb. 3.
- 4x4 POSTS, NO.1 (1500F-c), PARA. 124-b. 4.
- 4x6 POSTS, NO.1 (1500F-c), PARA. 123-b. 5.
- 6x6 AND LARGER POSTS, DENSE NO.1 (1200F-c), PARA. 131-bb. 6.
- 2x4, 3x4, STUDS BLOCKING, CONSTRUCTION GRADE, (1000F-b), PARA. 122-b. 7.
- 2x6 OR LARGER STUDS AND BLOCKING NO.1 (1000F-b), PARA. 123-b. 8.
- FOUNDATION PLATES: SBX/DOT OR ZINC BORATE PRESSURE TREATED DOUGLAS FIR. 9.
- ALL FRAMING LUMBER 6" OR LARGER IN THE LEAST DIMENSION SHALL BE F.O.H.C.

LIGHT GAGE METAL CONNECTORS

ALL LIGHT GAGE METAL CONNECTORS SHALL BE SIMPSON COMPANY STRONG TIE CONNECTORS, UNLESS NOTED OTHERWISE ON THE DRAWINGS.

CONCRETE

ALL CONCRETE SHALL HAVE PROPERTIES AS LISTED BELOW. MAXIMUM WATER-CEMENT RATIO, BY WEIGHT SHALL BE AS FOLLOWS:

	W/O FLY ASH	W/ UP TO 15%
5000 PSI CONCRETE AT 28 DAYS	.48	FLY ASH 0.43
4000 PSI CONCRETE AT 28 DAYS	.55	0.5
3500 PSI CONCRETE AT 28 DAYS	.55	0.5
3000 PSI CONCRETE AT 28 DAYS	.55	0.5
2500 PSI CONCRETE AT 28 DAYS	.55	0.5
2000 PSI CONCRETE AT 28 DAYS	.67	0.60

APPROXIMATELY 3 OUNCES PER SACK OF CEMENT OF POZZOLITH 300R OR APPROVED EQUAL SHALL BE USED AS A WATER DISPERSING ADDITIVE. AT CONTRACTOR'S OPTION. AN AIR ENTRAINING AGENT CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C 260 MAY BE ADDED TO THE CONCRETE TO PROVIDE SPECIFIED AMOUNTS OF ENTRAINED AIR.

CONCRETE ELEMENT	MIN. 28 DAY COMPRESSIVE STRENGTH	MAX. SIZE AGGREGATE (INCHES)	MAX. SLUMP	TOTAL AIR CONTENT
FOUNDATION	*3000	3/4	4	%
SLAB ON GRADE	*3000	3/4	4	4%±1.5%
YARD CONCRETE,	2000	3/4	4	

WALKS, AND CURBS

*2500 PSI USED FOR DESIGN, NO SPECIAL INSPECTION REQUIRED

REINFORCING STEEL

BARS FOR REINFORCING SHALL BE GRADE 60 DEFORMED BARS CONFORMING TO ASTM A-615 INCLUDING SUPPLEMENT S1. LAP SPLICES SHALL BE IN ACCORDANCE WITH ACI 318 UNLESS NOTED OTHERWISE ON THE PLANS.

MACHINE BOLTS, ANCHOR BOLTS AND STUDS ASTM A307

EARTHWORK

EARTHWORK SHALL BE IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE FOUNDATION INVESTIGATION BY KLEINFELDER DATED OCTOBER, 2007 (ADDENDUM).

SHOP DRAWINGS FOR THE ENGINEERS REVIEW WILL BE REQUIRED AS FOLLOWS:

MIX DESIGNS; 1. 2. REINFORCING STEEL

CONTRACTOR SHALL SUBMIT THREE SETS OF PRINTS FOR REVIEW. FABRICATION SHALL NOT PROCEED UNTIL SHOP DRAWINGS HAVE BEEN REVIEWED BY THE ENGINEER.

CONSTRUCTION LIABILITY

CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS AGREE THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR AND HIS SUBCONTRACTORS FURTHER AGREE TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF DESIGN PROFESSIONAL.

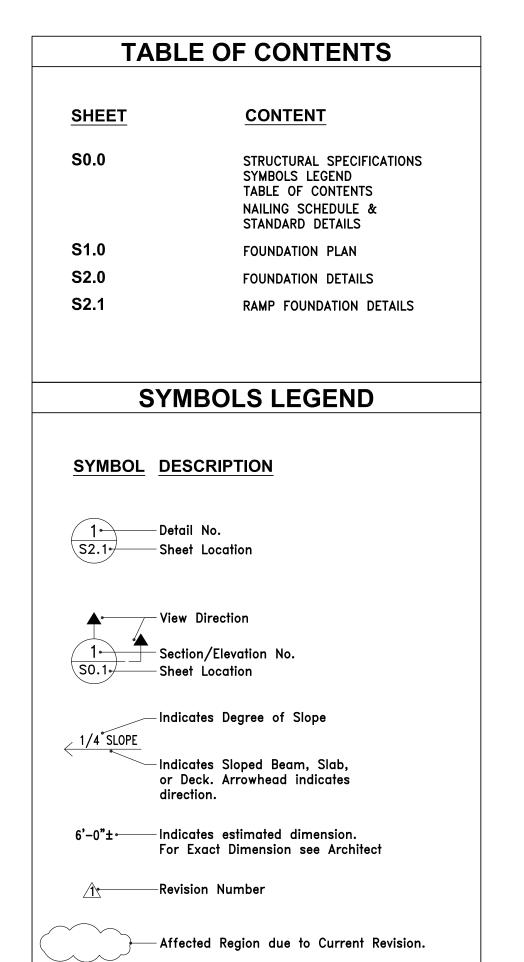
EXISTING CONDITIONS

THE CONTRACTOR OR SUBCONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO BEGINNING CONSTRUCTION AND OR ORDERING MATERIAL, ANY DISCREPANCIES DISCOVERED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.

		2" CLR. MIN.
NAILING S	SCHEDULE	
NAILED CONNECTION DESCRIPTION	MINIMUM REQUIRED NAILING (UNLESS DETAILED OTHERWISE)	
JOIST TO SILL PLATE OR GIRDER BRIDGING TO JOIST	(3)-8d TOE NAILS (2)-8d TOE NAILS EACH END	5%" CLR. MIN. 5%" CLR. MIN
1"x 6" SUB-FLOOR OR LESS	(2)-8d FACE NAILS EACH JOIST	
WIDER THAN 1"x 6" SUB-FLOOR	(3)-8d FACE NAILS EACH JOIST	W/4 MAX. AT BEARING WALLS W/3 MAX. AT NON-BEARING WALLS
2" SUB-FLOOR TO JOIST OR GIRDER	(2)-16d BLIND & FACE NAIL	- $+$ $+$ $+$ $+$ $+$ $+$ $+$ $+$ $+$ $+$
SOLE PLATE TO JOIST OR GIRDER	16d @ 16" O.C. FACE NAIL, (3)-16d EVERY 16" O.C. AT BRACED WALL PANELS (2)-16d END NAIL	
STUD TO SILL PLATE	(2)-16d END NAIL (4)-8d TOE NAIL, OR (2)-16d TOE NAILS (2)-16d END NAIL AT 2x SILL OR (2)-20d END NAIL AT ALL $3x$ SILL	JOIST, & STUD CUTOUT LIMITS
DOUBLE STUDS	16d FACE NAILS @ 24" O.C.	SCALE: $3/4" = 1'-0"$
DOUBLE TOP PLATES	16d FACE NAILS @ 16" O.C., (8)-16d AT LAPS	NOTE 2NOTE 3
BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3)-8d TOE NAILS	WALL, ROOF, OR FLOOR
RIM JOIST OR BLOCKING TO TOP PLATE OR SILL PLATE	8d TOE NAILS @ 6" O.C.	SHEATHING
TOP PLATE AT LAPS AND INTERSECTIONS	(2)-16d FACE NAILS	NOTES:
CONTINUOUS HEADER, TWO PIECES (ALONG EACH EDGE) w/ ½" SPACER	16d @ 16" O.C.	1. CLEARANCES PER PANEL MFG., 2. 3/8" MIN. PANEL EDGE DISTANC
CEILING JOIST (CJ) TO PLATE	(3)-8d TOE NAILS	3. 5/16" MIN. LUMBER EDGE DISTA
CONTINUOUS HEADER TO STUD	(4)-8d TOE NAILS	
CEILING JOIST (CJ) LAPPED OVER PARTITIONS	(3)-16d FACE NAILS	MINIMUM NAILING EDGE DISTANCES FOR SHEATHING
CEILING JOIST (CJ) PARALLEL TO RAFTERS	(3)-16d FACE NAILS	
RAFTER OR ROOF TRUSS TO PLATE	(3)-10d TOE NAILS, (2)-10d TOE NAILS ON ONE SIDE AND (1)-10d TOE NAIL ON OPPOSITE SIDE OF EACH RAFTER OR TRUSS	20 BAR DIA. 20 BAR DIA.
1" DIAGONAL BRACE TO EACH STUD & PLATE	(3)-8d FACE NAILS	
1"x 6" SHEATHING OR LESS TO EACH BEARING	(3)-8d FACE NAILS	
1"x 8" SHEATHING OR LESS TO EACH BEARING	(3)-8d FACE NAILS	
WIDER THAN 1"x 8" SHEATHING TO EACH BEARING		
BUILT-UP CORNER STUDS BUILT-UP GIRDERS AND BEAMS	16d FACE NAILS @ 12" O.C. 20d @ 32" O.C. FACE NAILS TOP & BOTTOM, STAGGERED w/ (2)-20d AT EACH END & SPLICE	Δ DOUBLE LAYER REINFORCEMENT
2" PLANKS, EACH END AND EACH BEARING	(2)-16d	$-20 \text{ BAR DIA.}_{k} \qquad \qquad$
COLLAR TIE TO RAFTER	(3)-10d FACE NAILS	
ROOF RAFTER TO HIP OR VALLEY RAFTER	(4)-16d TOE NAILS OR (3)-16d FACE NAILS	
ROOF RAFTER TO 2x RIDGE BEAM	(4)-16d TOE NAILS OR $(3)-16d$ FACE NAILS	
JOISTS TO RIM JOIST 2x LEDGER STRIP SUPPORTING JOISTS OR RAFTERS	(3)-16d FACE NAILS (3)-16d FACE NAILS AT EACH JOIST OR RAFTER	
<u>S:</u> SE COMMON WIRE NAILS FOR ALL NAILED CONNECTIONS. BOX I HERE POSSIBLE, DRIVE NAILS PERPENDICULAR TO THE GRAIN I	VAILS ARE PROHIBITED. N LIEU OF TOE NAILING. F THIS SCHEDULE. NAILING SHOWN ABOVE ARE MINIMUM REQUI	SINGLE LAYER REINFORCEMENT
AILING SCHEDULE		BAR LAPS AT CONCRETE INTERSECTIONS
	($\frac{1}{\text{FOOTINGS & WALLS}}$
ABLdABLdABBLdABBCNOTE: 1.	S: FOR SLAB BARS, BOTTOM BEAM BARS, AND TEMPERATURE BARS IN SLABS, BEAMS, OR FOOTINGS WITH SPACING 6" OR MORE, USE 0.8 TIMES THE LENGTHS SHOWN, BUT NOT LESS THAN 1'-0".	WALL STUI SEE PLAN PLATE WAL SUPPE IF REQUIRED BAR DIA. BAR DIA. BEND DIA. LAP, 24" MIN. (U.N.O.) H BAR DIA. BEND DIA. H BEND DIA. H BEN
30 33 27 27 30 24 24 31 36 47 33 33 43 28 28 37 53 68 48 48 62 42 42 54 60 78 55 55 71 47 47 62 68 88 62 62 80 54 54 70 76 99 70 70 77 60 60 78 85 110 90 90 100 67 67 87	FOR BARS WITH MORE THAN 1'-0" OF CONCRETE CAST BELOW THE DEVELOPMENT LENGTH OR SPLICE, USE 1.3 TIMES THE LENGTHS SHOWN. IF MORE THAN 50% OF THE BARS ARE SPLICED WITHIN SPLICE LENGTH, USE CLASS 'B' LAP, OTHERWISE USE CLASS 'A' LAP.	MAIN REINFORCEMENT
REINFORCING BAR BENDS		SILL F

SCALE: 3'' = 1' - 0''

5





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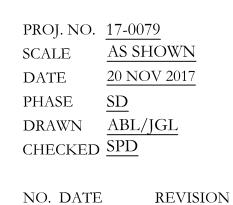
LATHROP HOUSE

RELOCATION REDWOOD CITY, CA 94063



STRUCTURAL SPEC.

SYMBOLS LEGEND TABLE OF CONTENTS NAILING SCHEDULE & STANDARD DETAILS

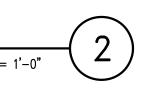


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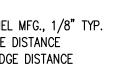


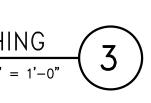
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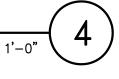
BEAM FRAMING

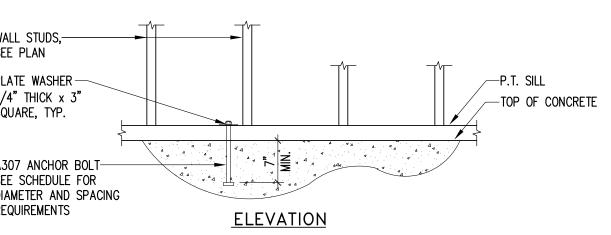


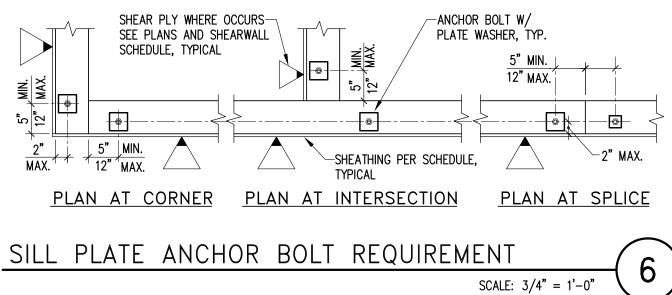


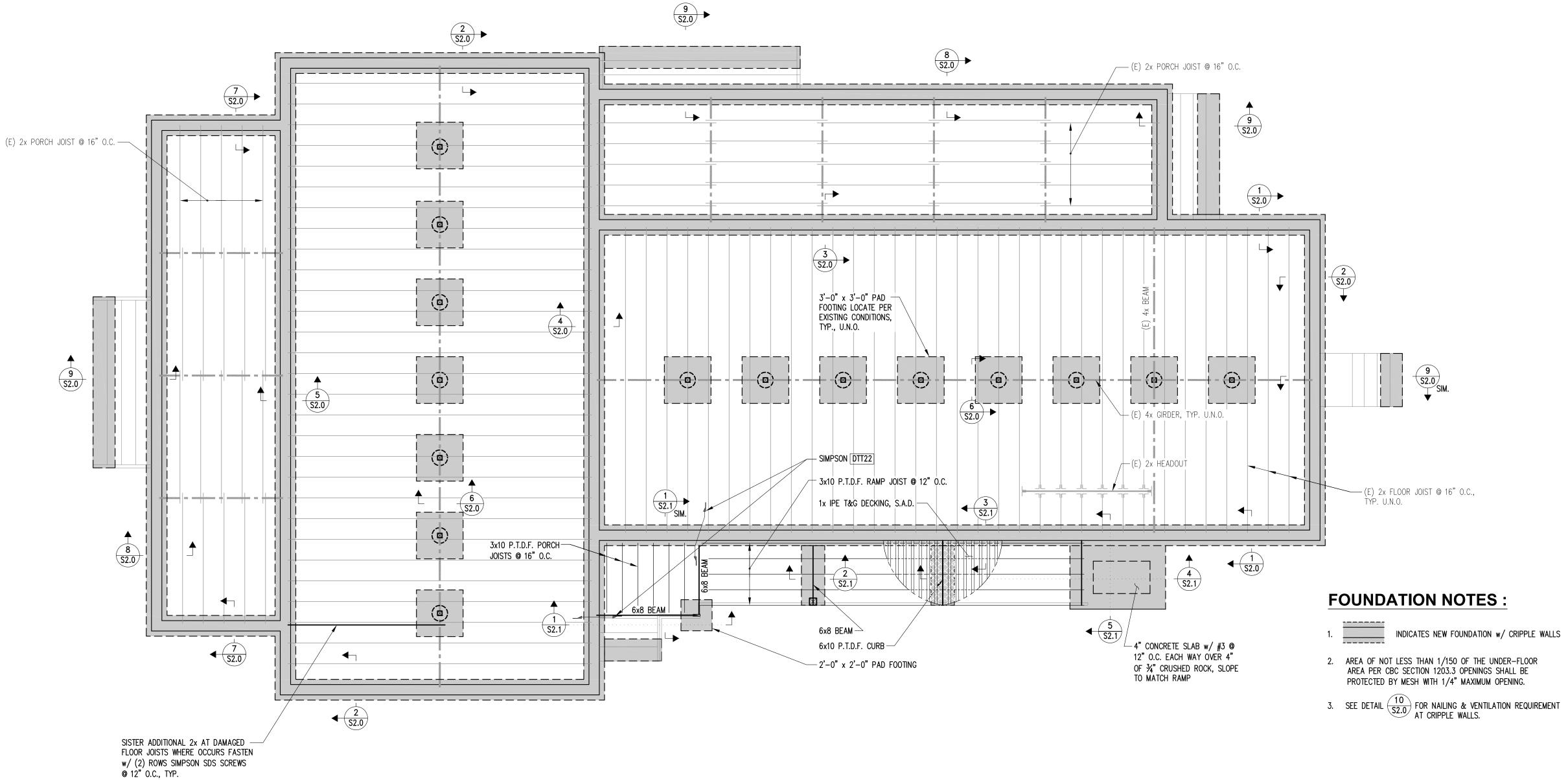


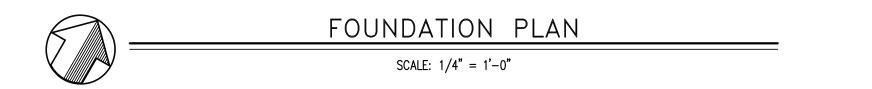












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FOUNDATION PLAN

PROJ. NO.	17-0079
SCALE	AS SHOWN
DATE	<u>20 NOV 2017</u>
PHASE	SD
DRAWN	ABL/JGL
CHECKED	SPD

NO. DATE REVISION 20 NOV 2017 PERMIT SET

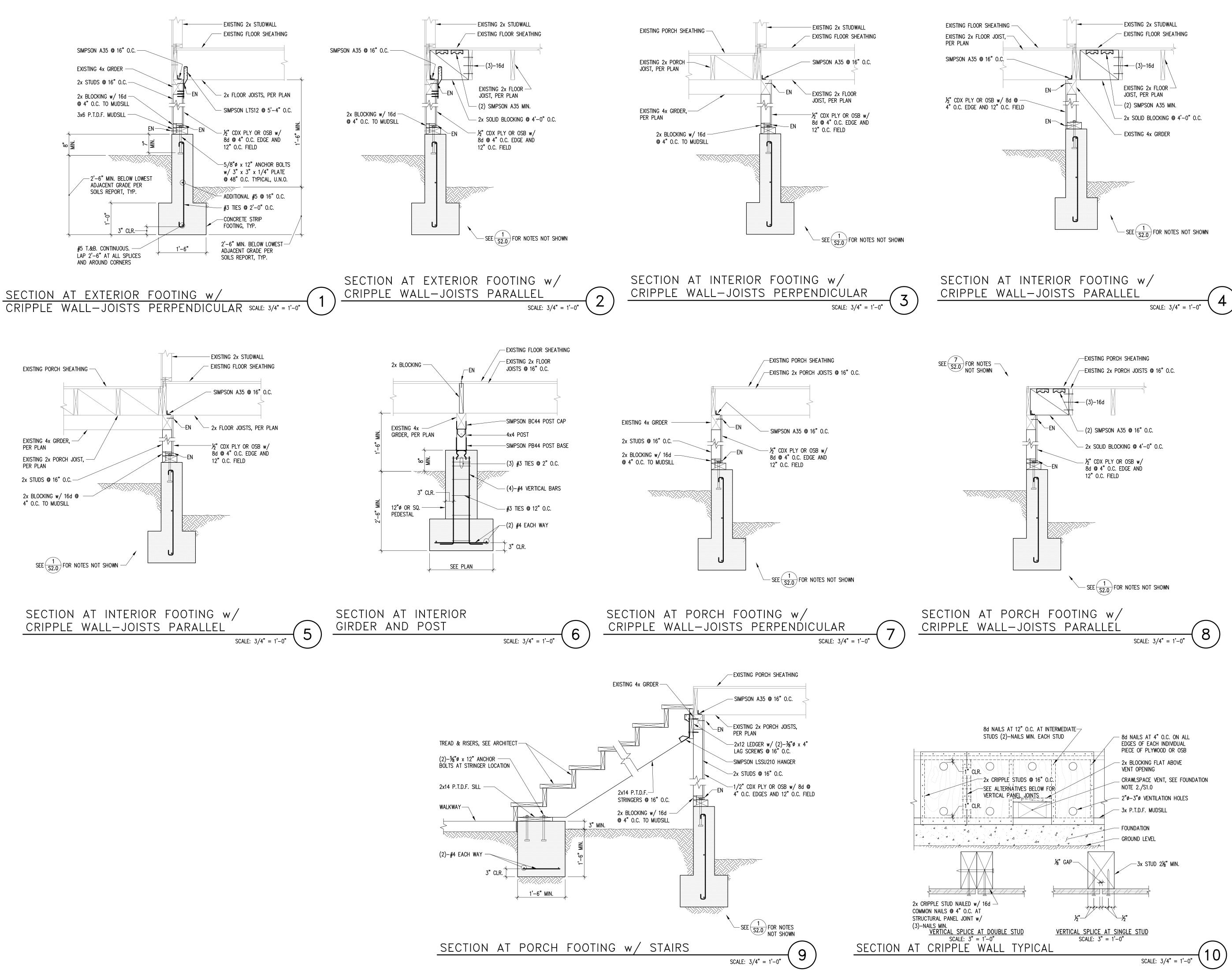
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FOUNDATION NOTES :

- INDICATES NEW FOUNDATION w/ CRIPPLE WALLS
- 2. AREA OF NOT LESS THAN 1/150 OF THE UNDER-FLOOR AREA PER CBC SECTION 1203.3 OPENINGS SHALL BE PROTECTED BY MESH WITH 1/4" MAXIMUM OPENING.





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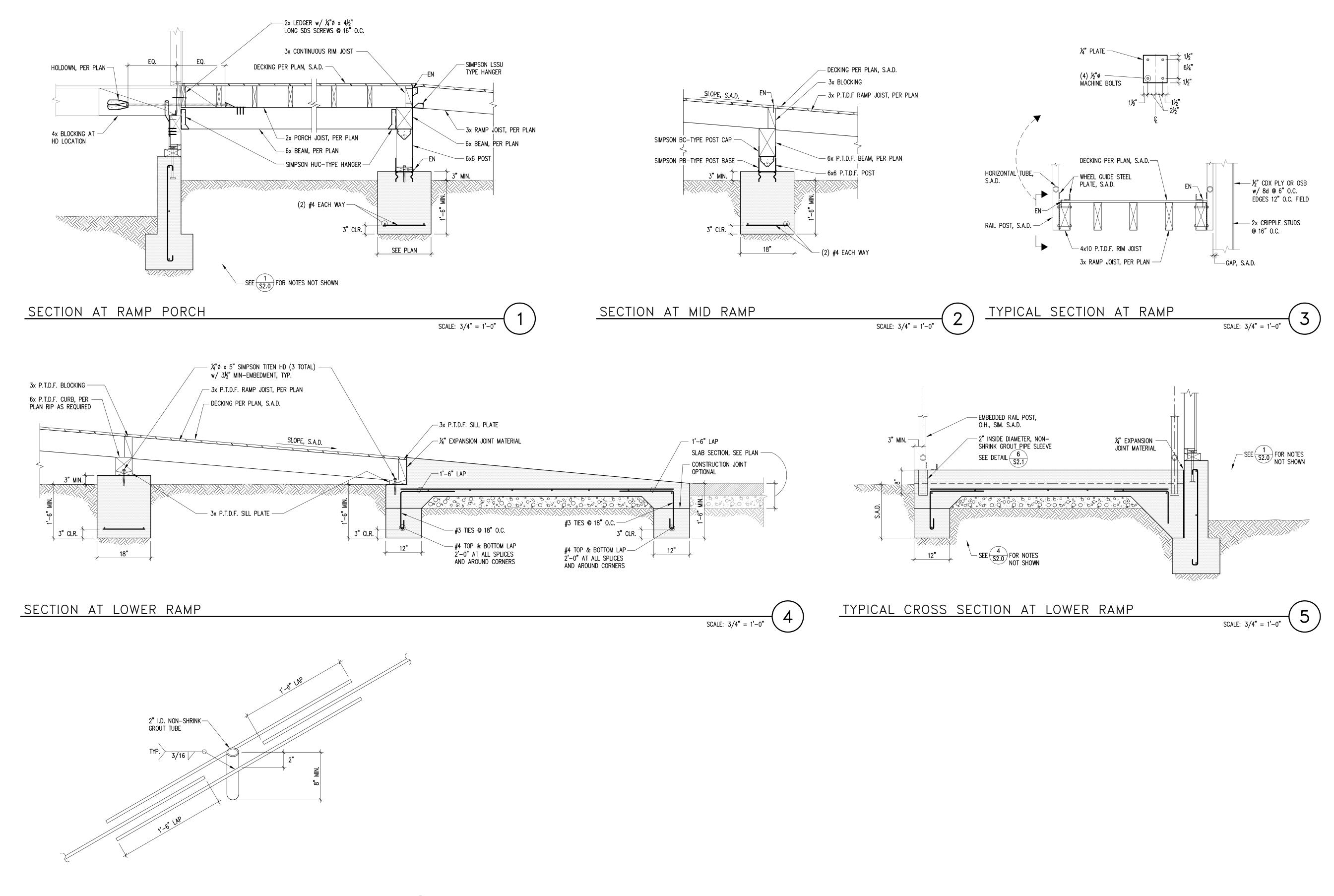


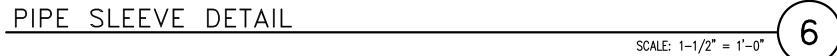
FOUNDATION DETAILS

PROJ. NO. 17-0079 AS SHOWN SCALE <u>20 N</u>OV 2017 DATE PHASE SD DRAWN ABL/JGL checked <u>SPD</u> NO. DATE REVISION

20 NOV 2017 PERMIT SET

SHEET NO. S2.0





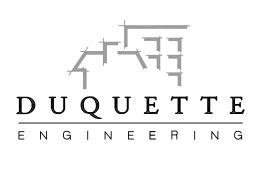


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Exp. 3-31-2019

RAMP FND DETAILS

PROJ. NO. 17-0079 AS SHOWN SCALE <u>20 NOV 2017</u> DATE PHASE \underline{SD} DRAWN ABL/JGL checked <u>SPD</u>

NO. DATE

REVISION 20 NOV 2017 PERMIT SET



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GENERAL PLUMBING NOTES

ALL WORK SHALL COMPLY WITH THE REQUIREMENTS OF TITLE 24 OF THE CALIFORNIA CODE OF REGULATIONS (C.C.R.), 2016 CPC.

2. ALL SYSTEMS SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL APPLICABLE CITY, COUNTY, FEDERAL AND STATE CODES AND ORDINANCES, AND SHALL MEET ALL REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION.

- DRAWINGS SHOWING THE LOCATIONS OF PLUMBING EQUIPMENT, PIPING, ETC. ARE DIAGRAMMATIC AND JOB CONDITIONS WILL NOT ALWAYS PERMIT THEIR INSTALLATION ON THE LOCATIONS SHOWN. THE PLUMBING DRAWINGS SHOW THE GENERAL ARRANGEMENTS OF EQUIPMENT, PIPING, ETC. AND SHALL BE FOLLOWED AS CLOSELY AS ACTUAL BUILDING CONSTRUCTION AND THE WORK OF OTHER TRADES WILL PERMIT. THE ARCHITECTURAL DRAWINGS SHALL BE PART OF THE WORK INSOFAR AS THESE DRAWINGS FURNISH THE CONTRACTOR WITH INFORMATION RELATING TO LOCATION OF FIXTURES AND EQUIPMENT AS WELL AS DESIGN AND CONSTRUCTION OF THE BUILDING. COORDINATE FIXTURES, EQUIPMENT, PIPE ROUGH-IN/CONNECTION LOCATIONS AND DRAIN LOCATIONS WITH ARCHITECTURAL DRAWINGS.
- . FURNISH AND INSTALL ANY INCIDENTAL WORK NOT SHOWN OR SPECIFIED WHICH ARE NECESSARY TO PROVIDE A COMPLETE AND WORKABLE SYSTEM.

5. PRIOR TO SUBMISSION OF BID, REVIEW FULL SET OF NEW CONSTRUCTION DRAWINGS (INCLUDING ALL OTHER TRADES). COORDINATE INSTALLATION OF PIPING, FIXTURES, EQUIPMENT AND THE LIKE BELOW AND ABOVE GRADE WITH STRUCTURAL COMPONENTS AND OTHER SYSTEMS INSTALLATION. INCLUDE ANY ADDITIONAL PIPE OFF-SETS THAT ARE NOT CURRENTLY SHOWN ON DRAWINGS BUT MAY BE REQUIRED TO CLEAR STRUCTURE, FINISHES OR WORK OF OTHER TRADES. NO EXTRA PAYMENT WILL BE ALLOWED FOR WORK RESULTING FROM LACK OF PROPER INITIAL APPRAISAL OF ENTIRE SCOPE OF WORK. SUBMIT REQUESTS FOR INFORMATION (RFIS) AS REQUIRED TO ANSWER ANY QUESTIONS THAT MAY ARISE DURING BIDDING PHASE. CLEARLY INDICATE SCOPE INCLUSION AND EXCLUSION IN BID.

- 6. FOR PLUMBING PIPING PENETRATING THRU, UNDER AND PARALLEL TO JOISTS, BEAMS AND FOOTINGS, SEE STRUCTURAL DETAILS. PIPE INSTALLATION OTHER THAN SHOWN ON STRUCTURAL DETAILS SHALL BE APPROVED BY THE STRUCTURAL ENGINEER.
- 7. CONDITIONS SHOW ON THE PLANS RELATIVE TO THE WORK TO BE PERFORMED ARE BASED ON THE BEST INFORMATION AVAILABLE AND SUBJECT TO VERIFICATION. VERIFY LOCATIONS AND ELEVATIONS OF UTILITIES TO BE CROSSED OR CONNECTED. CORRECT DEFICIENCIES CAUSED BY FAILURE TO PERFORM SUCH VERIFICATIONS AT NO EXPENSE TO OWNER. IMMEDIATELY NOTIFY ARCHITECT AND ENGINEER OF CONDITION IN CONFLICT WITH THE DETAILS/PLANS.
- B. LOCATE VALVES FOR SERVICE ACCESSIBILITY. VALVES INSTALLED ABOVE CEILING SHALL BE WITHIN 18" OF CEILING.
- 9. SEE PLUMBING FIXTURE SCHEDULE FOR PIPE CONNECTION SIZES.
- 10. SANITARY SEWER AND STORM/OVERFLOW PIPING LESS THAN 4 INCHES SLOPE AT 2% AND 4 INCHES AND ABOVE AT 1% SLOPE.
- 11. ALL PLUMBING EQUIPMENT SHALL BE SECURELY FASTENED TO THE BUILDING STRUCTURES.
- 12. WHERE MAIN PIPE SIZE IS NOT INDICATED BETWEEN BRANCH CONNECTIONS ON THE DRAWING, THE PIPE SIZE SHALL BE OF THE PRECEDING PIPE SIZE.
- 13. ALL VALVES AND ACCESSORIES SHALL BE FULL LINE SIZE. PROVIDE ALL NECESSARY UNIONS, REDUCERS AND STOPS AS REQUIRED WHEN CONNECTING TO EACH FIXTURE AND/OR EQUIPMENT.
- 14. KEEP ALL PLUMBING PIPING AS HIGH AS POSSIBLE TO THE STRUCTURE ABOVE AND OFFSET PIPING AS REQUIRED.
- 15. INSTALL ACCESS PANELS IN ALL NON-ACCESSIBLE CEILINGS AND WALLS FOR VALVES AND OTHER MAINTENANCE ITEMS. REFER TO ARCHITECTURAL PLANS FOR TYPES OF CEILINGS AND WALLS. INSTALL SECURITY ACCESS PANELS IN SECURITY CEILINGS AND WALLS. INSTALL FIRE RATED ACCESS PANELS IN FIRE RATED CEILINGS AND WALLS, SEE SPECIFICATIONS. ALL ACCESS PANEL/DOOR LOCATIONS SHALL BE APPROVED BY THE ARCHITECT. OFFSET PLUMBING PIPING AND ACCESSORIES AS REQUIRED.
- 16. CLOSELY COORDINATE WORK WITH ALL TRADES.
- 17. FOR ANY CONFLICT IN THE DRAWINGS AND/OR SPECIFICATIONS, THE MORE STRINGENT REQUIREMENT SHALL APPLY. ANY SUCH CONFLICT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT OR ENGINEER FOR RESOLUTION PRIOR TO THE CONSTRUCTION OF SUCH ITEMS.
- 18. CHANGES IN THE DIRECTION OF DRAINAGE FLOW SHALL BE PER CALIFORNIA PLUMBING CODE.
- 19. ALL SANITARY VENTS SHALL TERMINATE AT LEAST 6" ABOVE ROOF AND AT LEAST 12" FROM ANY VERTICAL SURFACE. PROVIDE MINIMUM 10' CLEARANCE FROM VENT TERMINATIONS TO OUTSIDE AIR INLETS OR OPENINGS IN THE BUILDING.

20. PROVIDE INSULATION ON HW AND HWR PIPING AS REQUIRED BY CALIFORNIA ENERGY CODES.

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS APPLY

Ø	DIAMETER	MA	MIXED AIR
AC	AIR CONDITIONING	MAX	MAXIMUM
AFF	ABOVE FINISHED FLOOR	MBH	THOUSAND BTU PER HOUR
AMP	AMPERE	MECH	MECHANICAL
ARCH	ARCHITECTURAL	MIN	MINIMUM
BDD	BACKDRAFT DAMPERS	MSV	MANUAL SHUT-OFF VALVE
BHP	BRAKE HORSEPOWER	(N)	NEW
BLDG	BUILDING	N/Á	NOT APPLICABLE
BTU	BRITISH THERMAL UNIT	NIC	NOT IN CONTRACT
BTUH	BRITISH THERMAL UNIT PER HOUR	NO	NUMBER OR NORMALLY OPEN
CD	CONDENSATE DRAIN	NTS	NOT TO SCALE
CFM	CUBIC FEET PER MINUTE	OAT	OUTSIDE AIR TEMPERATURE
CL	CENTER LINE	OBD	OPPOSED BLADE DAMPER
CLG	CEILING	OC	ON CENTER
DBT	DRY BULB TEMPERATURE	OD	OUTSIDE DIMENSION
DN	DOWN	OSA	OUTSIDE AIR
DSD	DUCT MOUNTED SMOKE DETECTOR	PH	PHASE
(E)	EXISTING	PLBG	PLUMBING
(∟) EA	EXHAUST AIR	POC	POINT OF CONNECTION
EAT	ENTERING AIR TEMPERATURE		
EER	ENTERING AIR TEMPERATURE	POD	
ELEC		PS	PUMPED SEWER PIPE
		RA	
EQV	EARTHQUAKE SHUT-OFF VALVE	REQ'D	REQUIRED
ESP	EXTERNAL STATIC PRESSURE (IN WG)	REV	REVISION
EWT	ENTERING WATER TEMPERATURE	RPM	REVOLUTIONS PER MINUTE
F	FAHRENHEIT	SA	SUPPLY AIR
FA	FACE AREA	SD	SMOKE DAMPER
FLA	FULL LOAD AMPS	SEER	SEASONAL ENERGY EFFICIENCY R/
FD	FIRE DAMPER	SGV	SOLENOID GAS VALVE
FPM	FEET PER MINUTE	SP	STATIC PRESSURE
FSD	FIRE/SMOKE DAMPER	SQ.FT.	SQUARE FEET
FT	FEET	STRUCT	STRUCTURAL
GA	GAUGE	SWV	SOLENOID WATER VALVE
GAL	GALLONS	TA	TRANSFER AIR
GALV	GALVENIZED	TCP	TEMPERATURE CONTROL PANEL
GS	GREASE SEWER	TEMP	TEMPERATURE
HD	PIPE HEAD	TOD	TOP OF DUCT
HP	HORSEPOWER	TP	TRAP PRIMER
HVAC	HEATING VENTILATING AND AC	TYP	TYPICAL
HZ	HERTZ	UC	UNDERCUT
ID	INSIDE DIAMETER	UF	UNDERFLOOR
IN.	INCH	UG	UNDERGROUND
IN. W.G.	INCHES WATER GAGE (PRESSURE)	US	UNDERSLAB
KW	KILOWATT	UON	UNLESS OTHERWISE NOTED
LAT	LEAVING AIR TEMPERATURE	VEL	VELOCITY
LBS	POUNDS	WT	WEIGHT
LF	LINEAR FEET	** 1	

APPLICABLE CODES

- 2016 BUILDING STANDARD ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.;
- 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.;
- 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.;
 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.;
- 2016 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.;
 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.;
- 2016 CALIFORNIA "GREEN" BUILDING REQUIREMENTS, PART 11, TITLE 24 C.C.R (PENDING ADOPTION)
- 2016 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R
 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
- 11. TITLE 19, CCR, PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS
- REFERENCE CODE SECTION FOR NFPA STANDARDS CBC(SFM) 3504.1
 TITLE 24 C.C.R. ACCESSIBILITY STANDARDS
- 11. AMERICAN WITH DISABILITIES ACT (A.D.A., ADAAG) FEDERAL ACCESSIBILITY STANDARDS
 14. AMERICAN WITH DISABILITIES ACT (A.D.A., ADAAG) FEDERAL ACCESSIBILITY STANDARDS

SCOPE OF WORK

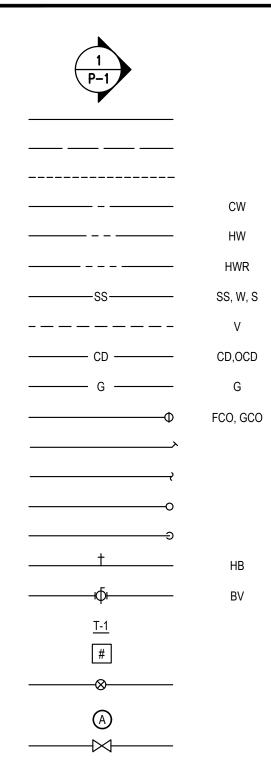
DEMOLITION SCOPE OF WORK: DISCONNECT (E) COLD WATER, SANITARY SEWER AND GAS MAINS FROM (E) BUILDING JUST OUTSIDE BUILDING, CAP (E) PIPE AND CREATE STUBS FROM BUILDING FOR RECONNECTION AT NEW SITE. CAP (E) CW & G PIPE MAINS AT METERS AND CAP (E) SS MAINS BELOW GRADE FOR FUTURE RECONNECTION AS SHOWN.

NEW SCOPE OF WORK:

RECONNECT NEW COLD WATER, SANITARY SEWER AND GAS MAINS TO (E) BUILDING MAIN AFTER RELOCATION OF BUILDING TO NEW SITE AS SHOWN. RECONNECTION AND ROUTING OF NEW PIPE MAINS TO (E) FROM (E) BUILDING PIPE STUBS SHALL BE PROVIDED UNDER CIVIL SCOPE OF WORK. PROPOSED RECONNECTION LOCATIONS ARE AT (E) RESTROOM FOR SS, AT (E) GAS AND WATER METERS AT THE EXISTING COURT HOUSE FOR GAS AND WATER.

SYMBOLS

NOTE: NOT ALL ABBREVIATIONS APPLY



SECTION NUMBER DRAWING NUMBER

 PIPING OF TYPE INDICATED ABOVE FLOOR OR ABOVE GRADE
 PIPING OF TYPE INDICATED BELOW FLOOR OR BELOW GRADE
 DEMOLISHED PIPING
 CW
 COLD WATER SUPPLY
 HWR
 HOT WATER RECIRCULATING
 SANITARY SEWER, WASTE OR SOIL
 V
 SANITARY VENT
 CD,OCD
 CONDENSATE DRAIN, OVERFLOW CONDENSATE DRAIN
 G
 NATURAL GAS
 FCO, GCO
 FLOOR CLEANOUT OR GRADE CLEANOUT WALL CLEANOUT

WALL CLEANOUT PIPE BREAK PIPE RISER UP (ELBOW) PIPE RISER DOWN (ELBOW) HOSE BIBB BALL VALVE PLUMBING FIXTURE IDENTIFICATION REFERENCE NOTE GAS MAIN SHUTOFF VALVE AQUASTAT WATER SHUTOFF VALVE



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LATHROP HOUSE

RELOCATION REDWOOD CITY, CA 94063



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PLUMBING

TITLE SHEET

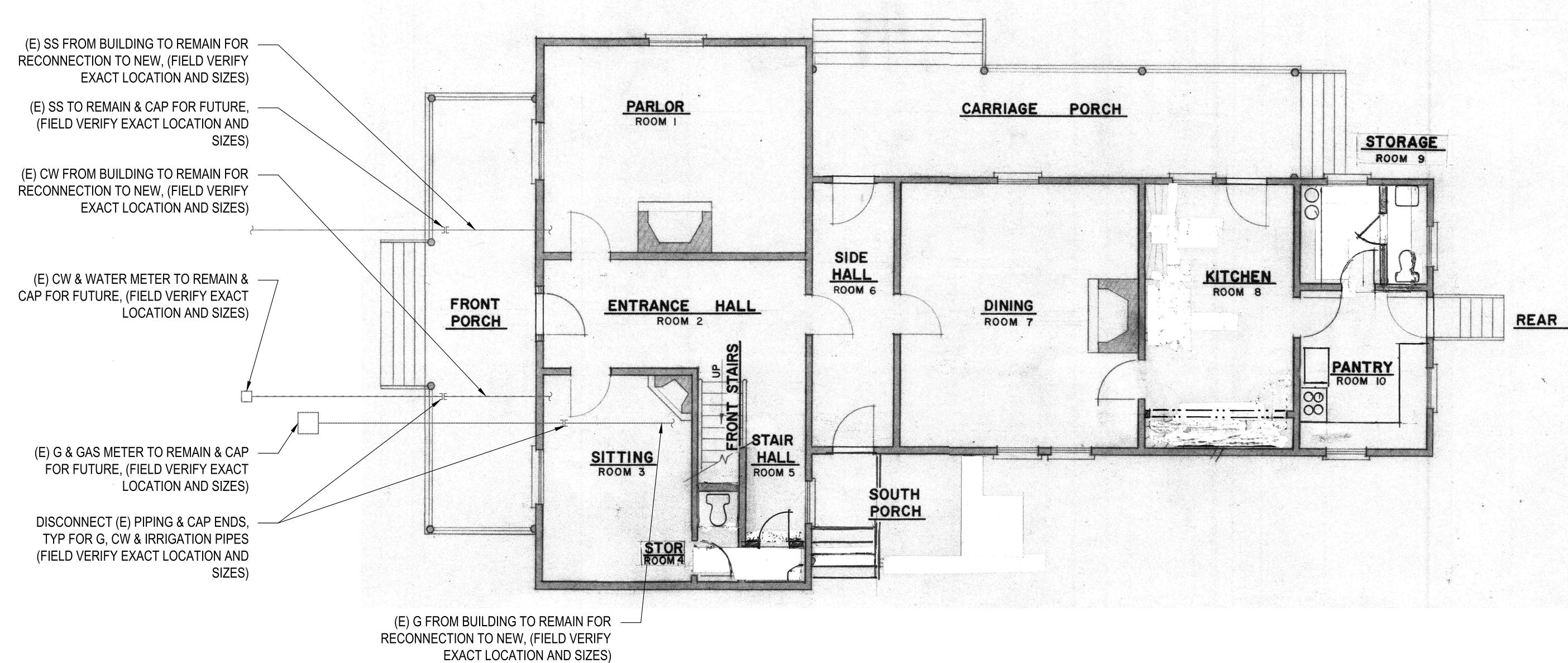
PROJ. NO.	2016 - 105
SCALE	
DATE	OCTOBER 20, 2017
PHASE	PERMIT SET
DRAWN	HC
CHECKED	RL

NO. DATE REVISION



P-0.01PLUMBING TITLE SHEETP-1.01PLUMBING DEMOLITION PLANP-2.01PLUMBING PLAN





PLUMBING DEMOLITION PLAN

SCALE: 1/4" = 1'-0"

GENERAL SHEET NOTES:

1. DRAWING IS DIAGRAMMATIC AND SHOWS THE GENERAL DESIGN INTENT. FIELD VERIFICATION OF EXISTING CONDITIONS IS REQUIRED PRIOR AND DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND CLARIFIED PRIOR TO CONTINUATION

0'1'2'4'



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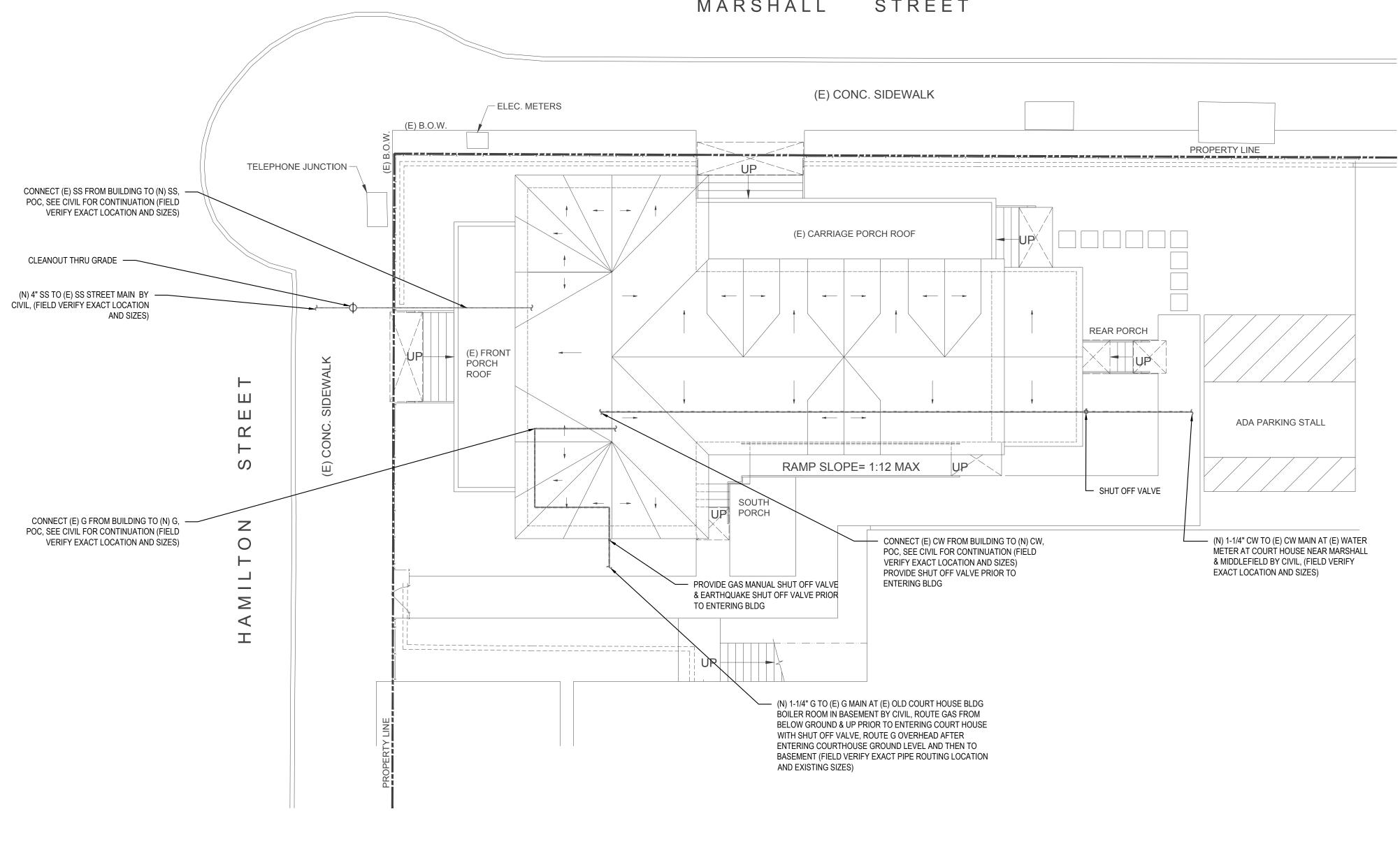
FLOOR PLAN

PLUMBING DEMOLITION

PROJ. NO. <u>2016 - 105</u> SCALE OCTOBER 20, 2017 DATE PERMIT SET PHASE DRAWN <u>HC</u> CHECKED <u>**RL**</u>

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OF WORK.

3. NEW SANITARY SEWER SHALL BE CONNECTED TO (E) STREET MAIN WITH A NEW SERVICE FROM HAMILTON STREET. NEW COLD WATER SHALL BE CONNECTED TO (E) WATER METER AT EXISTING COURT HOUSE NEAR MARSHALL & MIDDLEFIELD STREET. NEW GAS SHALL BE CONNECTED TO (E) GAS MAIN IN THE BOILER ROOM OF THE EXISTING OLD COURT HOUSE. (FIELD VERIFY EXISTING)

STREET MARSHALL

GENERAL SHEET NOTES:

1. DRAWING IS DIAGRAMMATIC AND SHOWS THE GENERAL DESIGN INTENT. FIELD VERIFICATION OF EXISTING CONDITIONS IS REQUIRED PRIOR AND DURING CONSTRUCTION. ANY DISCREPANCIES SHALL BE NOTED AND CLARIFIED PRIOR TO CONTINUATION

2. PIPING FROM 5' OUTSIDE BUILDING SHALL BE PROVIDED UNDER THE CIVIL'S SCOPE OF WORK.



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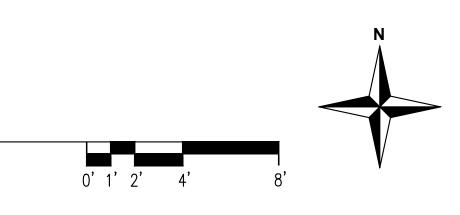


FLOOR PLAN

PLUMBING PLAN

PROJ. NO. <u>2016 - 105</u> SCALE OCTOBER 20, 2017 DATE PERMIT SET PHASE DRAWN <u>HC</u> CHECKED <u>**RL**</u>

NO. DATE REVISION





GENERAL ELECTRICAL NOTES

- 1. ALL WORK IS TO BE PERFORMED IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRIC CODE, STATE LAWS, AND ALL OTHER REGULATIONS GOVERNING WORK OF THIS NATURE.
- 2. CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE EXISTING JOB CONDITION. HE SHALL EXAMINE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AND SHALL HAVE HAD VISITED THE CONSTRUCTION SITE, PRIOR TO SUBMITTING HIS BID PROPOSAL. HE SHALL BE FAMILIAR WITH THE EXISTING CONDITIONS UNDER WHICH HE WILL HAVE TO OPERATE AND WHICH WILL IN ANY WAY AFFECT THE WORK UNDER THIS CONTRACT. NO SUBSEQUENT ALLOWANCE WILL BE MADE IN THIS CONNECTION IN BEHALF OF THE CONTRACTOR FOR ANY ERROR OR NEGLIGENCE ON HIS PART. DETERMINE THE SEQUENCE OF CONSTRUCTION THROUGHOUT THE PROJECT, INCLUDING TEMPORARY FACILITIES AND CONNECTIONS REQUIRED FOR THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL SECURE ALL PERMITS OR APPLICATIONS, AND PAY ANY AND ALL FEES AS REQUIRED.
- 4. EXISTING ARCHITECTURAL SURFACES DISTURBED DURING CONSTRUCTION SHALL BE PATCHED AND PAINTED TO MATCH EXISTING.
- 5. WORK SHOWN IN THESE PLANS ARE NEW, UON. INSTALLATION SHALL BE CONCEALED. WHERE NOT POSSIBLE, CONTRACTOR SHALL OBTAIN APPROVAL FROM ARCHITECT AND ENGINEER FOR EXPOSED INSTALLATION. A WRITTEN APPROVAL IS REQUIRED. USE SURFACE RACEWAYS, WIREMOLD, OR EQUAL. ALL ELECTRIC MATERIALS, DEVICES, AND EQUIPMENT FOR THE PROJECT SHALL BE NEW AND U.L. APPROVED
- 6. ALL CONDUIT SHALL BE 3/4" MINIMUM. ALL CONDUIT SHALL BE RUN PARALLEL TO EXISTING SURFACES. WHEN CONDUIT CROSSES CORRIDORS OR ROOMS IT SHALL BE DONE PERPENDICULAR TO WALLS.
- 7. SEAL ALL CONDUIT PENETRATIONS THROUGH FIRE RATED WALLS. FURNISH AND INSTALL FIRE RATED BACKBOXES AS REQUIRED TO MAINTAIN FIRE RATING OF CEILING OR WALLS WHERE RECESSED ELECTRIC EQUIPMENT SUCH AS LIGHT FIXTURES, SWITCHES, RECEPTACLES, PANEL, ETC. ARE INSTALLED IN RATED WALL OR CEILINGS. PENETRATIONS OF FIRE RATED WALLS, CEILINGS, OR FLOORS SHALL COMPLY WITH CBC CHAPTER 7 REQUIREMENTS. IN WALLS AND PARTITIONS THAT ARE FOR FIRE RESISTIVE CONSTRUCTION, OPENINGS FOR STEEL ELECTRICAL OUTLET BOXES SHALL NOT EXCEED 16 SQUARES INCHES. IN ADDITION, THE AGGREGRATE AREA OF SUCH OPENING SHALL NOT EXCEED 100 SQ IN FOR ANY 100 SQUARE FEET OF WALL OR PARTITION. OUTLET BOXES ON OPPOSITE SIDES OF THE WALLS OR PARTITION SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF AT LEAST 24 INCHES, OR BE PROVIDED WITH FIRE PUTTY.
- 8. ALL NEW WIRING SHALL BE IN CONDUIT. COORDINATE ROUTING OF CONDUIT WITH ARCHITECT AND STRUCTURAL FOR OPENINGS IN WALLS AND ANY NOTCHING OF JOISTS.
- 9. THE ELECTRICAL PLANS ARE SCHEMATIC IN NATURE AND ARE NOT INTENDED TO SHOW ALL OF THE ARCHITECTURAL DETAILS OR SPECIFICS OF ELECTRICAL CONSTRUCTION. TAKE ALL DIMENSIONS FROM THE ARCHITECTURAL DRAWINGS. BEFORE ROUGH-IN. VERIFY ALL MOUNTING HEIGHTS AND EXACT LOCATIONS FOR ALL EQUIPMENT ELECTRICAL CONNECTIONS, STUB-UPS, RECEPTACLES, OUTLETS, CONDUIT RUNS, ETC. WITH ARCHITECT AND OWNER. PLACE DEVICES LOCATED ABOVE COUNTERS, SHELVING, ETC. AND IN BATHROOMS SO AS NOT TO CONFLICT WITH EDGES OF WAINSCOTING, COUNTER SPLASH, SHELVING, ETC. ARCHITECTURAL SHEETS SHALL GOVERN. SEE ELECTRICAL SECTION OF ARCHITECTURAL SPECIFICATION FOR ADDITIONAL INFORMATION.
- 10. PULLROPES: ANY RACEWAY WITHOUT CABLE OR WIRE SHALL BE INSTALLED WITH MINIMUM 200 POUND TEST PULL LINE AND LARGER.
- 11. ALL DEVICES AND EQUIPMENT INSTALLED OUTDOORS OR EXPOSED TO THE WEATHER SHALL BE OF WEATHERPROOF CONSTRUCTION. ALL WALL PENETRATIONS TO EXTERIOR WALLS SHALL BE SEALED WATER TIGHT.
- 12. ALL EQUIPMENT SHALL BE LISTED AND LABELED BY A NATIONALLY RECOGNIZED TESTING LABORATORY AND SHALL BE INSTALLED AS PER LISTING OR LABELING (IE. MAXIMUM FUSE SIZE MEANS FUSE PROTECTION IS REQUIRED).
- 13. ALL EQUIPMENT MANUFACTURERS SHALL BE NOTED IN DRAWINGS. SUBSTITUTIONS ARE PERMITTED BUT MUST BE APPROVED EQUAL
- 14. CONNECTIONS TO MECHANICAL EQUIPMENT SHALL BE MADE WITH A MINIMUM OF 24" OF WEATHERPROOF FLEXIBLE CONDUIT TO PREVENT SOUND AND VIBRATION TRANSMISSION TO THE STRUCTURE. COORDINATE ALL MOTOR OVERLOADS AND/OR FUSES FURNISHED BY THIS CONTRACT WITH THE ACTUAL EQUIPMENT INSTALLED. SIZE OVERLOADS BASED ON MOTOR NAMEPLATE FULL LOAD CURRENT AND SERVICE FACTOR. FUSES FOR MOTOR AND TRANSFORMER CIRCUITS SHALL BE DUAL ELEMENT. FUSES FOR OTHER "NON-INRUSH" LOADS SHALL BE FAST ACTING. ALL FUSES SHALL BE CURRENT LIMITING CLASS RK5 OR CLASS L, UON. CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR MANUFACTURER INSTALLATION REQUIREMENTS.
- 15. SEE MECHANICAL AND PLUMBING DRAWINGS FOR LOCATION OF FANS AND WATER HEATERS.
- 16. ALL ELECTRICAL WORK SHALL BE COORDINATED WITH THE MECHANICAL WORK AS CALLED FOR IN MECHANICAL SPECIFICATIONS.
- 17. GROUNDING CONDUCTORS ARE GENERALLY NOT SHOWN. GROUND AND BOND ALL EQUIPMENT, RACEWAYS, MOTORS, PANELBOARDS AND SWITCHBOARDS, ETC. IN ACCORDANCE WITH NEC ARTICLE 250.
- 18. FIELD MOUNTED DEVICES SUCH AS SWITCHES, MOTOR STARTERS, RECEPTACLES, ETC., ARE SHOWN IN THEIR APPROXIMATE LOCATION. SWITCH MOUNTING HEIGHT SHALL BE 48" ABOVE FINISHED FLOOR AND RECEPTACLE MOUNTING HEIGHT SHALL BE 18" ABOVE FINISHED FLOOR. CONTRACTOR SHALL COORDINATE WITH ALL TRADES FOR MANUFACTURER INSTALLATION REQUIREMENTS.
- 19. ELECTRICAL CONTRACTOR TO PROVIDE EXPANSION FITTINGS AT ALL EXPANSION JOINT LOCATION. USE STEEL FLEX 6 FEET EACH SIDE OF THE JOINT AND TERMINATE IN A PULLBOX AT EACH END, OR OTHER APPLIED METHODS.
- 20. ALL LIGHTING FIXTURE LOCATIONS AND ROUTING SHALL BE REVIEWED BY ARCHITECT PRIOR TO ROUGH-IN.
- 21. ALL ELECTRICAL EQUIPMENT SHALL BE INSTALLED TO MAINTAIN A MINIMUM OF 36" CLEARANCE PER NEC ARTICLE 110.26.
- 22. PENETRATIONS OF FIRE RATED WALLS CEILINGS OR FLOORS SHALL COMPLY WITH CBC CHAPTER 7 REQUIREMENTS.
- 23. WHERE OUTLET BOXES ARE INSTALLED WITHIN RATED ASSEMBLIES, PROVIDE 3M MOLDABLE PUTTY PADS OR EQUAL TO MAINTAIN FIRE RATED ASSEMBLIES.
- 24. ALL RECEPTACLES SHALL BE GROUNDING TYPE.
- 25. ALL RECEPTACLES INSTALLED IN BATHROOMS AND KITCHENS SHALL HAVE GROUND-FAULT CIRCUIT INTERRUPTER PROTECTION AS REQUIRED BY THE NATIONAL ELECTRIC CODE.
- 26. CONTRACTOR TO CONFIRM EXACT LOCATION OF METERS WITH ELECTRIC UTILITY.
- 27. SUBMIT TO THE OWNER CERTIFICATES OF INSPECTIONS IN DUPLICATE FROM AN APPROVED INSPECTION AGENCY UPON COMPLETION.
- 28. PERFORMANCE AND WITNESSING OF TESTS
- A. THE CONTRACTOR SHALL FURNISH ALL INSTRUMENTS AND QUALIFIED PERSONNEL OR FIRM TO PERFORM ALL REQUIRED TESTS.
- B. ALL NEW AND RECONNECTED ELECTRICAL CIRCUIT SHALL BE TESTED TO INSURE CIRCUIT CONTINUITY, INSULATION RESISTANCE, PROPER SPLICING AND GROUNDING IN ACCORDANCE WITH THE LATEST STANDARDS AS STATED ABOVE. BEFORE CONNECTING POWER CABLES TO MOTORS, THE INSULATION RESISTANCE OF ALL MOTOR WINDINGS SHALL BE TESTED IN ACCORDANCE WITH THE ABOVE STANDARDS.
- C. ANY CONTRACTOR FURNISHED AND/OR INSTALLED SPLICE, RECOMMENDED VOLTAGE AND INSULATION RESISTANCE TESTS, SHALL BE CONNECTED OR REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- D. NO EQUIPMENT SHALL BE ENERGIZED UNTIL ALL TESTS AND ADJUSTMENTS HAVE BEEN MADE.
- E. THREE COPIES OF ALL TEST RESULTS SHALL BE DELIVERED TO THE OWNER.

AB	BREVIATIONS		SCOPE OF WORK
A AC AF AFF C CKT D E ELEC EM EMT <f> FACP FATC G GFI GND HP kVA kW LTG LTS LV MECH MTD MV</f>	EMERGENCY ELECTRICAL METALLIC TUBING FUTURE FIRE ALARM CONTROL PANEL FIRE ALARM TERMINAL CAN GROUNDING CONDUCTOR GROUND FAULT INTERRUPTER GROUND HORSEPOWER KILOVOLT AMPS KILOWATTS LIGHTING LIGHTS LOW VOLTAGE	NNEUTRAL(N)NEWNICNOT IN CONTRACTN.E.C.NATIONAL ELECTRICAL CODENEMANATIONAL ELECTRICAL MANUFACTURERS ASSONEUTNEUTRALNICNOT IN CONTRACTNTSNOT TO SCALEPBPULL BOXPNLPANELPOSPOINT OF SALERRREMOVE AND RELOCATERSCRIGID STEEL CONDUITSLDSINGLE LINE DIAGRAM SPEC SPECIFICATIONTTELEPHONETVTELEPHONEVVOLTVDNUNDERGROUNDUACUNDER ANOTHER CONTRACTUONUNLESS OTHERWISE NOTEDVVOLTVPVANDAL PROOFWWATTSWPWEATHERPROOF (NEMA 3R)WTWATERTIGHTXFMRTRANSFORMER	Existing Condition Proposed Solution Building Electrical Building meter and main disconnect route new service from Museum Service on front of house. MSB to existing main disconnect Fire Alarm None Existing Provide monitoring and central Security System Intrusion system monitoring entrances. Coordinate with Security System. Telephone Antiquated systems existing Coordinate reconnect to MPOE.
→ ₩P ① ·	 SENSOR CONTROLLED) NEW INTERIOR RECEPTACLES SHALL BE RECEPTACLE APPLICATION. PANEL BOARD, 120/240V, SINGLE PHASE, 3W FLUSH IN RESIDENTIAL 		 APPLICABLE CODES 2016 BUILDING STANDARD ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R. 2016 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.; 2016 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.; 2016 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.; 2016 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.; 2016 CALIFORNIA FIRE CODE (CFC), PART 6, TITLE 24 C.C.R.; 2016 CALIFORNIA FIRE CODE (CFC), PART 6, TITLE 24 C.C.R.; 2016 CALIFORNIA FIRE CODE (CFC), PART 6, TITLE 24 C.C.R.; 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.; 2016 CALIFORNIA FIRE CODE (CFC), PART 9, TITLE 24, C.C.R.; 2016 CALIFORNIA RESISTING BUILDING REQUIREMENTS, PART 11, TITLE 24 C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R. 2016 CALIFORNIA REFERENCED STANDARDS CODE, PART 12, TITLE 24, C.C.R.
	Properly terminate conductor at metal building frames Bond ends of metalic conduit (CEC, Section 250.64(E)) Metal building frame Ground row box 1. Size of conductors shall comply with C 2. Bond separate conductors from ground frame (CEC 250.52). In addition to the metal underground water pipe in direct available (CEC 250.52).	Tee conduit for separate conductor ground to metal bonded to metal building frame Bond ends of metalic conduit (CEC, Section 250.64(E)) 1/2" diameter x 8'-0" long copperciad ground rod or other electrode as specified in CEC, Section 250.52	SHEET INDEX E.0.1 ELECTRICAL TITLE SHEET E-1.01 FLOOR PLAN ELECTRICAL DEMOLITION E-2.01 FLOOR PLAN ELECTRICAL PLAN

3. All modules of metal frame buildings shall be electrically bonded together. (Bolting only is not acceptable bonding.)

4. Check resistance to ground. If resistance exceeds 25 ohms, install additional ground rod greater than six feet away (CEC 250.56). Once the second ground rod is installed, additional ground resistance testing is not required.

5. Where modular buildings are grouped together, a ground rod may be installed at the end buildings and a ground ring may be installed between them. Each intermediate modular building may be bonded to that ground ring. Where this method is used, ground resistance testing shall not be required.

6. Where modular buildings are installed on concrete foundations, a UFER ground shall be installed in the footing per [CEC 250.52 (A)(3)]. . Other grounding methods identified in CEC 250 shall be acceptable means to achieve

adequate grounding of metal buildings in compliance with the above.



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ELECTRICAL

TITLE SHEET

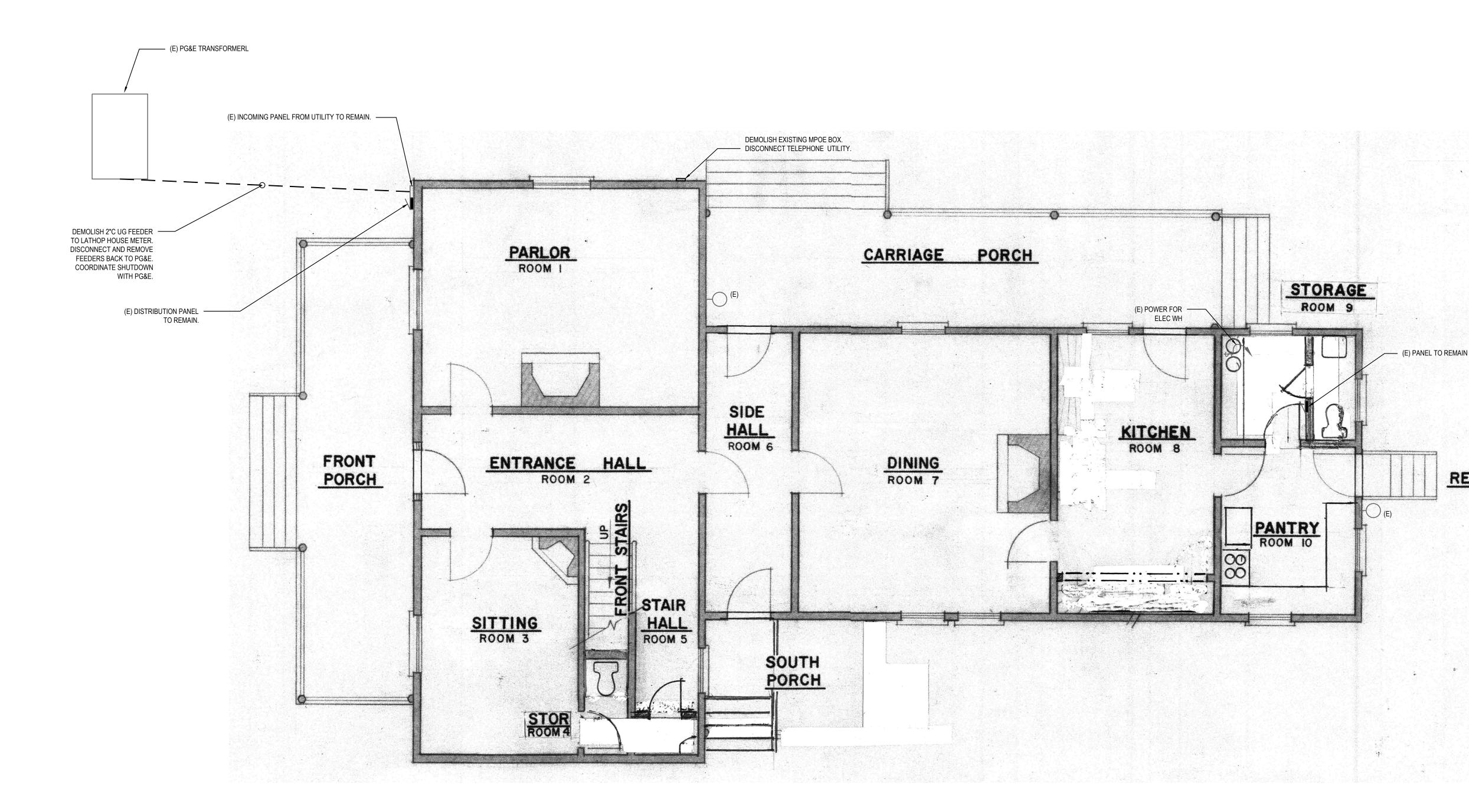
PROJ. NO. 2016 - 105 SCALE DATE OCTOBER 20, 2017 PERMIT SET PHASE DRAWN НC CHECKED RL

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SHEET NO.











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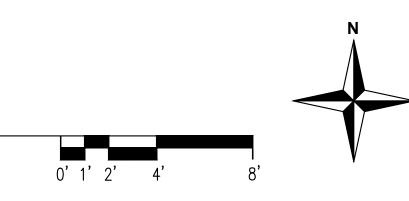


FLOOR PLAN

ELECTRICAL DEMOLITION

PROJ. NO. <u>2016 - 105</u> SCALE OCTOBER 20, 2017 DATE PERMIT SET PHASE DRAWN <u>HC</u> CHECKED <u>**RL**</u>

NO. DATE REVISION



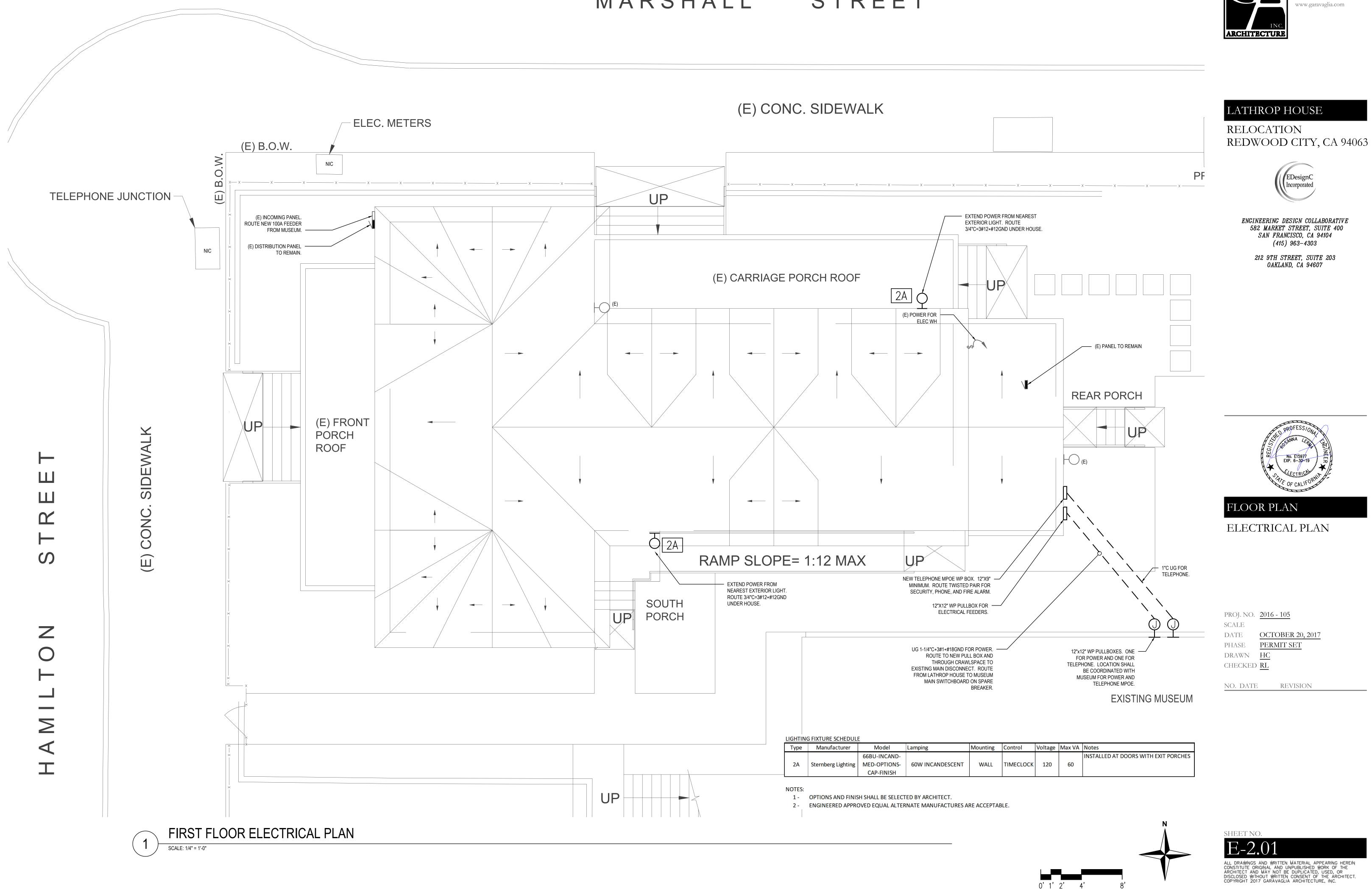


E-1.01

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REAR PORCH

1

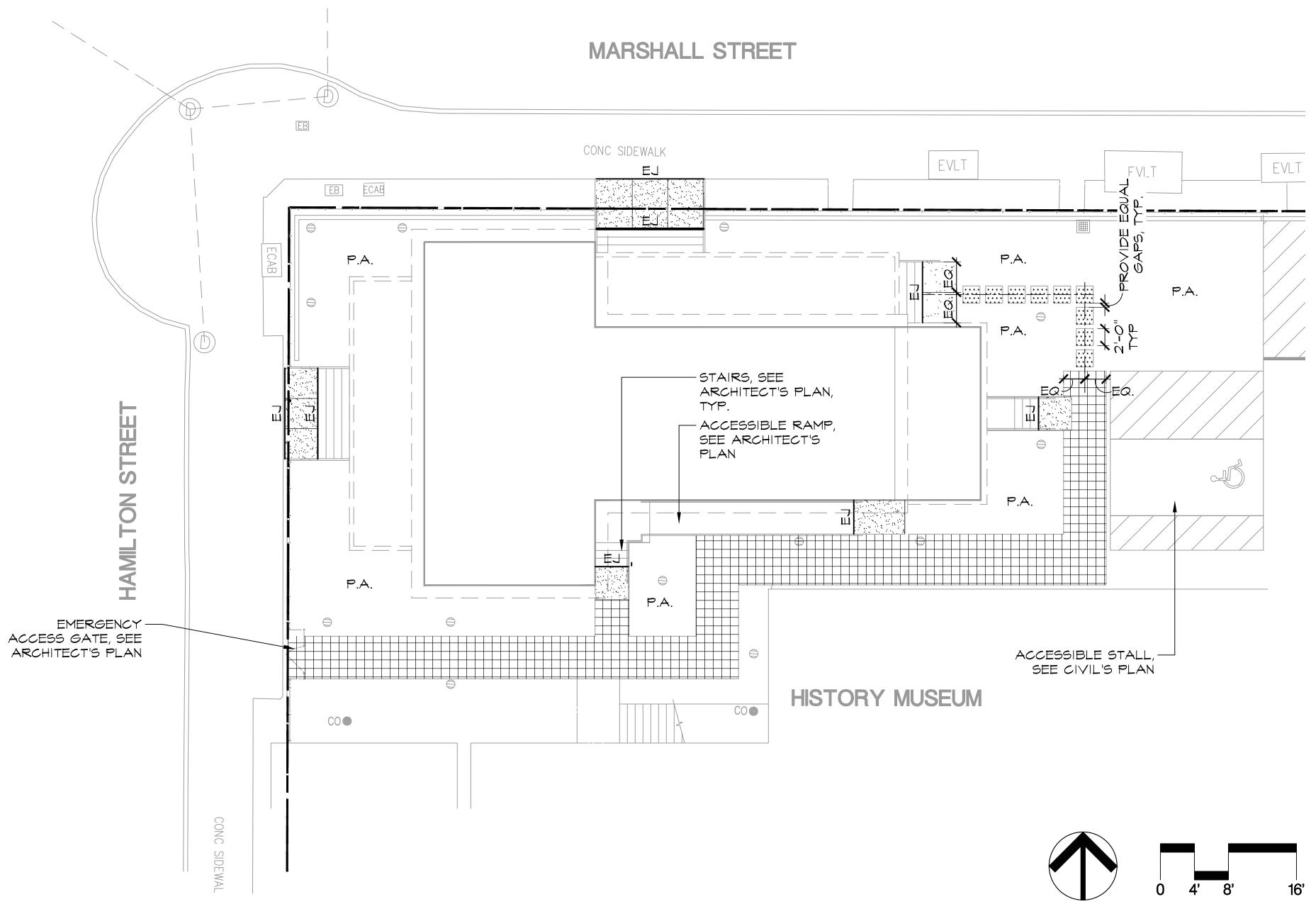


MARSHALL STREET



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	Mounting	Control	Voltage	Max VA	Notes
DESCENT	WALL	TIMECLOCK	120	60	INSTALLED AT DOORS WITH EXIT PORCHES

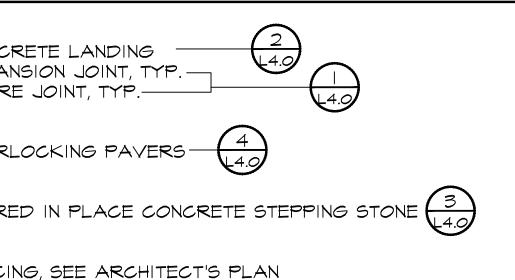


SITE CONSTRUCTION LEGEND

	- CONC - EXPA - SCOR
	INTER
	POURI
_xxx	FENCI
P.A.	PLAN ⁻

SITE CONSTRUCTION NOTES

- SLEEVING UNDER PAVING.
- CAREFULLY MATCHED TANGENTS.



NTING AREA

I. <u>DIMENSIONS</u>: ALL WRITTEN DIMENSIONS SUPERSEDE SCALED DIMENSIONS.

2. EXPANSION JOINTS: INSTALL EXPANSION JOINTS AS SHOWN ON DRAWINGS, AS WELL AS BETWEEN CONCRETE FLATWORK AND WALLS, CURBS, AND EXISTING FLATWORK OR STRUCTURES.

3. SLEEVING: REFER TO IRRIGATION PLAN FOR REQUIREMENTS OF

4. PROJECT STAKING: ALL PROPOSED SITE FEATURES SHALL BE STAKED IN FIELD FOR REVIEW BY THE CITY INSPECTOR PRIOR TO CONSTRUCTION. ALL CURVES SHALL BE SMOOTH AND CONTINUOUS WITH



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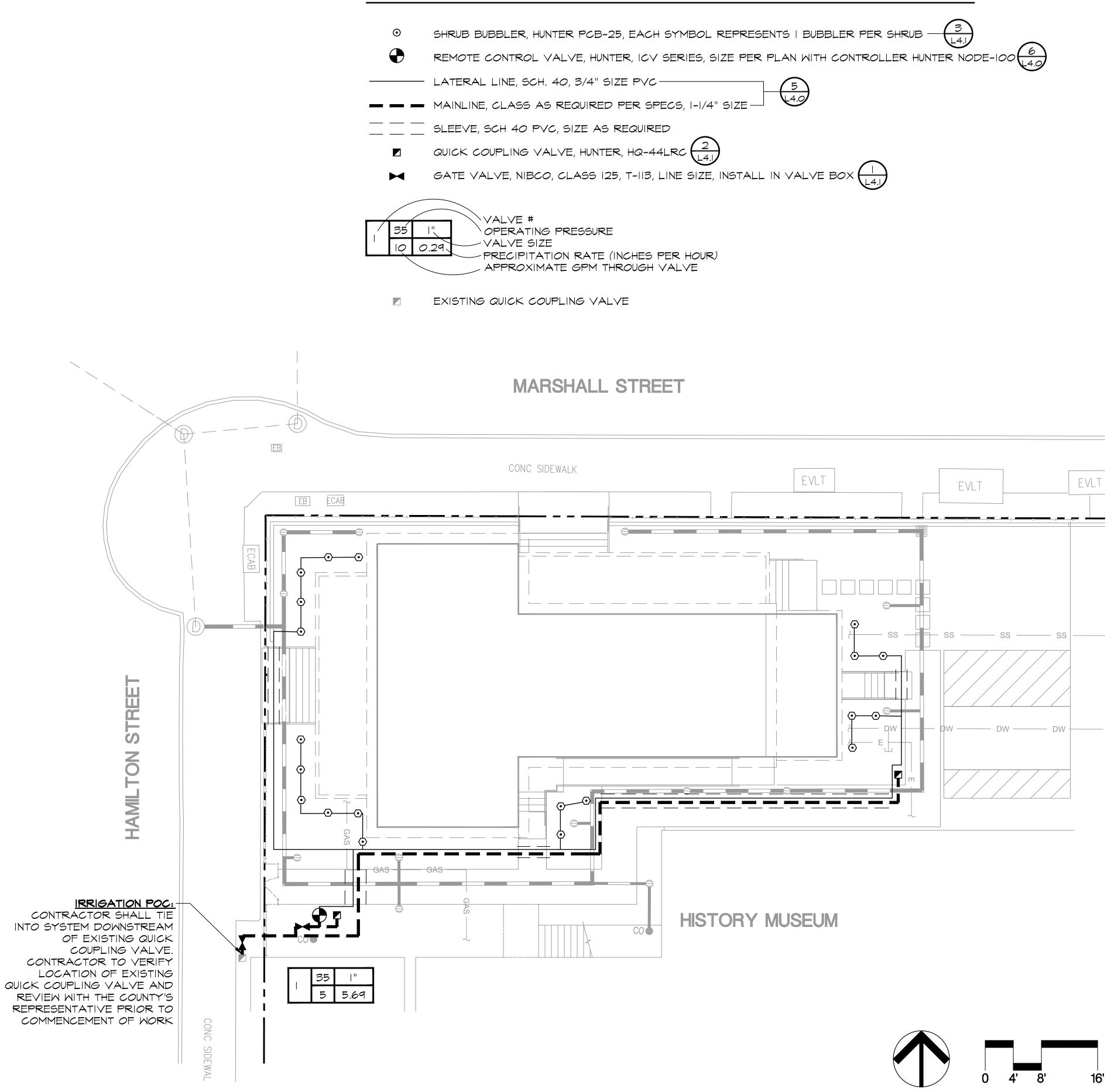
SITE CONSTRUCTION PLAN

PROJ. NO. 17036 SCALE AS SHOWN DATE 19 OCTOBER 2017 PHASE CD DRAWN KK CHECKED BF/ZK

NO. DATE REVISION 20 NOV 2017 PERMIT SET



IRRIGATION LEGEND



IRRIGATION NOTES

- INFORMATION.
- IRRIGATION WORK.
- SHRUB AREAS WHENEVER POSSIBLE.
- MARKED ABOVE GRADE.
- SWIVEL HOSE ELL.
- MANUFACTURER'S RECOMMENDATION

- EXISTING SYSTEM.

SPECIFICATIONS: SEE IRRIGATION SPECIFICATIONS FOR ADDITIONAL

2. VERIFICATION: SYSTEM DESIGN IS BASED ON 35 P.S.I. AND 5 G.P.M. AVAILABLE AT DISCHARGE OUTLET OF METER OR OTHER POINT OF CONNECTION. VERIFY SAME AND NOTIFY COUNTY'S REPRESENTATIVE IF LOWER FIGURES ARE RECORDED DURING VERIFICATION. SUCH NOTICE SHALL BE MADE IN WRITING AND PRIOR TO COMMENCING ANY

3. UTILITIES: VERIFY LOCATION OF ALL ON-SITE UTILITIES. RESTORATION OF DAMAGED UTILITIES SHALL BE MADE AT THE CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE COUNTY.

4. SCHEMATIC: SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS WHENEVER POSSIBLE. ALL VALVES SHALL BE LOCATED IN GROUNDCOVER OR

5. CODES: IRRIGATION SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH ALL LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS. NOTIFY COUNTY'S REPRESENTATIVE BY TELEPHONE AND IN WRITING OF ANY CONFLICTS PRIOR TO INSTALLATION.

6. <u>SLEEVING:</u> ADEQUATELY SIZE ALL SLEEVES SHOWN ON PLAN. SLEEVES SHALL BE INSTALLED AT THE NECESSARY DEPTHS PRIOR TO PAVEMENT CONSTRUCTION. SLEEVING SHALL EXTEND I'-O" FROM EDGE OF PAVING INTO LAWN OR PLANTING AREA, AND SHALL HAVE ENDS CLEARLY

7. QUICK COUPLING VALVES: INSTALL ON TRIPLE SWING JOINT. LOCATE 12 INCHES AWAY FROM EDGE OF WALKS, WALLS, CURBS, AND HEADERBOARDS WITHIN PLANTING AREAS. PROVIDE COUNTY WITH ONE OPERATING KEY, TWO SETS OF LOCKING COVER KEYS, AND ONE

8. CONTROLLER: INSTALL CONTROLLER IN VALVE BOX PER

9. MAINLINE BREAK: SHOULD THE EXISTING MAINLINE BREAK OR BE SHUT OFF FOR ANY REASON DURING THE COURSE OF CONSTRUCTION THE CONTRACTOR SHALL HAND WATER ALL TREES, SHRUBS, TURF, AND GROUNDCOVER THAT THE EXISTING IRRIGATION SYSTEM WATERS. CONTINUE TO DO SO UNTIL THE IRRIGATION SYSTEM IS OPERABLE

IO. EXISTING IRRIGATION SYSTEM: CONTRACTOR SHALL ENSURE THAT ALL EXISTING IRRIGATION IS IN WORKING CONDITION AND NOT DAMAGED DURING CONSTRUCTION. CONTRACTOR SHALL CONDUCT A PRE AND POST CONSTRUCTION TEST TO ENSURE WORKING CONDITION AND DOCUMENT ALL EXISTING DEFICIENCIES IN THE SYSTEM. AND DAMAGES INCURRED DURING CONSTRUCTION SHALL BE REPAIRED BY THE CONTRACTOR AND SHALL BE RESPONSIBLE FOR ALL ASSOCIATED FEES. THE CONTRACTOR SHALL MAINTAIN THE EXISTING IRRIGATION SYSTEM TO BE FULLY OPERATIONAL FOR AREAS OUTSIDE THE LIMIT OF WORK. IN CASE OF DAMAGE, CONTRACTOR SHALL HAND WATER UNTIL HE/SHE HAS FULLY REPAIRED IRRIGATION.

IO. IRRIGATION DISRUPTION: CONTRACTOR SHALL DETERMINE IF THE PROPOSED IRRIGATION SYSTEM WILL INTERFERE WITH EXISTING DEVICES ON THE MAINLINE INCLUDING BUT NOT LIMITED TO THE MASTER VALVE AND FLOW SENSOR. CONTRACTOR TO NOTIFY COUNTY'S REPRESENTATIVE IF PROPOSED IRRIGATION SYSTEM WILL DISRUPT THE



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IRRIGATION PLAN

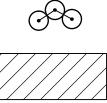
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PLANT LEGEND

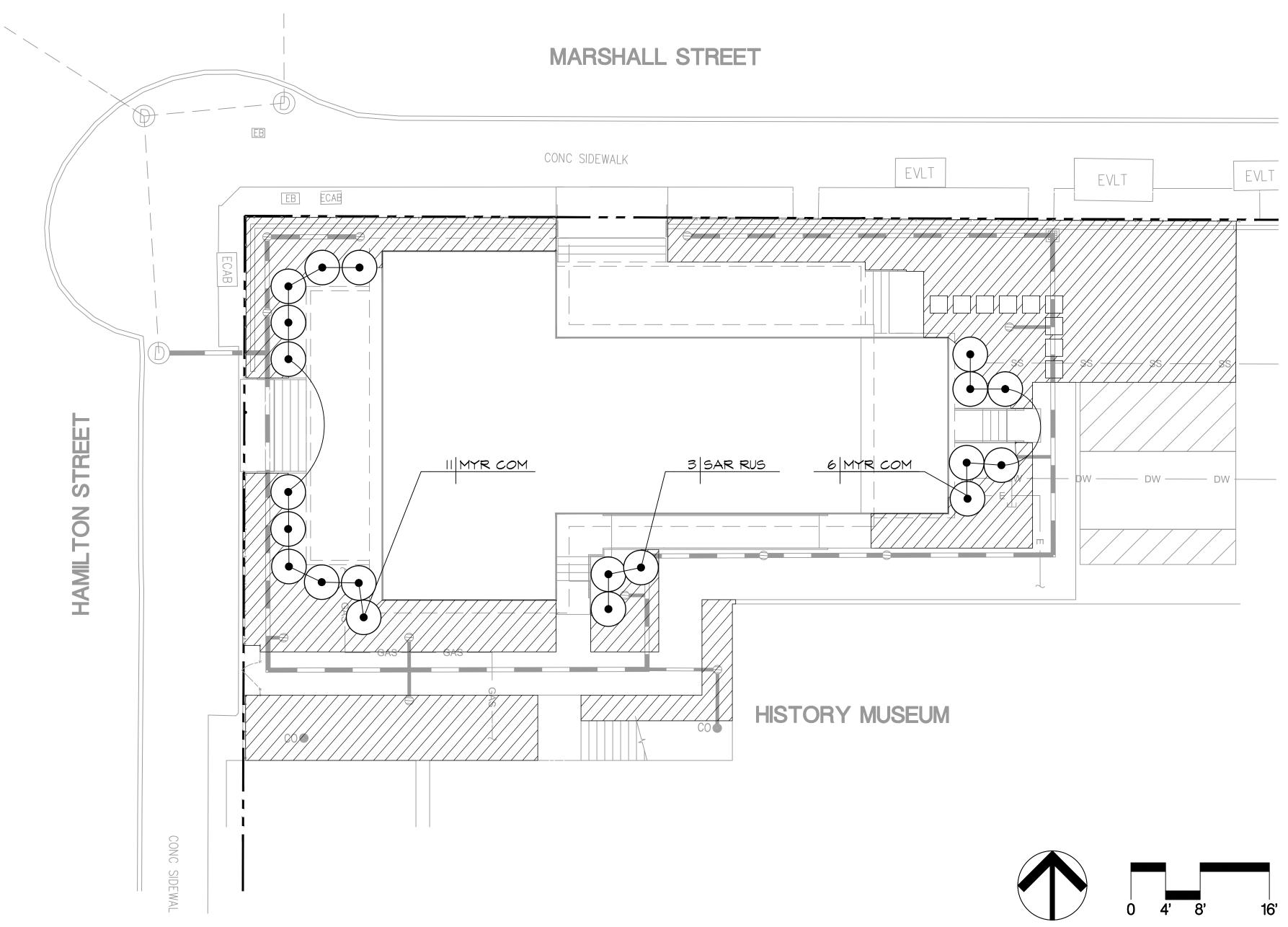


SHRUB MASS

MULCH, SEE NOTE #2

DI ANT I ICT

ABBREV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
SHRUBS				
MYR CUM	MYRTUS COMMUNIS 'COMPACTA'	MYRTLE	GALLON	4'-0" O.C.
SAR RUS	SARCOCOCCA RUSCIFOLSA	SWEET BOX	5 GALLON	4'-0" O.C.



PLANTING NOTES

- EQUAL.

- DRAWINGS.
- IMPORT TOPSOIL PER SPECIFICATIONS.
- PRIOR TO CONSTRUCTION.

I. ACID PLANT MAINTENANCE: FERTILIZER APPLICATIONS OF "49ER BRAND ACID FOOD" SHALL CONTINUE THROUGH THE MAINTENANCE PERIOD IN QUANTITIES PER MANUFACTURER'S SPECIFICATIONS, AND IN FREQUENCIES AS FOLLOWS: SARCOCOCCA ONCE EVERY 60 DAYS

2. MULCH: INSTALL A UNIFORM THREE INCH COVERING OF WALK-ON MULCH, I-I/2" MAX PARTICLE SIZE, IN ALL AREAS TO BE PLANTED OR AS SHOWN ON PLANS. MATERIAL AVAILABLE FROM REDI-GRO, (800) 654-4358, OR

3. EXISTING PLANT MATERIAL: PROTECT ALL EXISTING PLANT MATERIAL TO REMAIN. REPAIR ANY DAMAGES INCURRED AS A DIRECT RESULT OF THIS CONTRACT TO THE OWNER'S SATISFACTION AT NO ADDITIONAL COST.

4. <u>GROUNDCOVER:</u> PROVIDE GROUNDCOVER AT INDICATED ON-CENTER SPACING THROUGHOUT ALL AREAS TO BE PLANTED. GROUNDCOVER SHALL BE PROVIDED UP TO THE WATERING BASIN OF ALL TREES AND SHRUBS.

5. QUANTITIES: THE QUANTITIES SHOWN ON THE LABELS ARE NOT TO BE CONSTRUED AS THE COMPLETE AND ACCURATE LIMITS OF THE CONTRACT. FURNISH AND INSTALL ALL PLANTS SHOWN SCHEMATICALLY ON THE

6. TOPSOIL: ALL PLANTING AREAS TO RECEIVE A SIX INCH LAYER OF

7. SOILS TESTING: SEE SPECIFICATIONS FOR TESTING OF TOPSOIL AND AMENDMENTS. IN ADDITION, CONTRACTOR SHALL SUBMIT A FIVE GALLON SAMPLE OF NATIVE TOPSOIL FROM ANY AREAS PREVIOUSLY COVERED BY PAVING, TO WAYPOINT ANALYTICAL, INC. OF SAN JOSE, (408) 727-0330, FOR CONTAMINATION TESTING. TESTING REQUIRES FOUR TO FIVE WEEKS. CONTRACTOR SHALL ALLOW SUFFICIENT TIME FOR TESTING



582 MARKET STREET SUITE 1800 SAN FRANCISCO, CA 94104 T: 415.391.9633 F: 415.391.9647

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LATHROP HOUSE

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Landscape Architecture Urban Design Land Planning Park and Recreation Planning Environmental Planning

1633 Bayshore Boulevard Suite 133 Burlingame, CA 94010 T 650.375.1313 F 650.344.3290

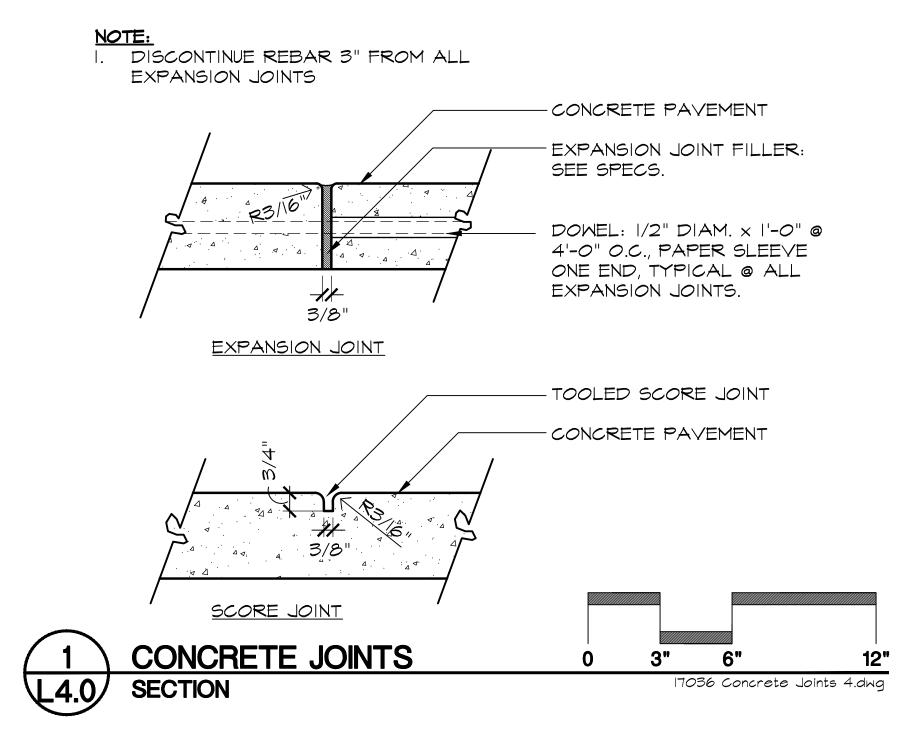


PLANTING PLAN

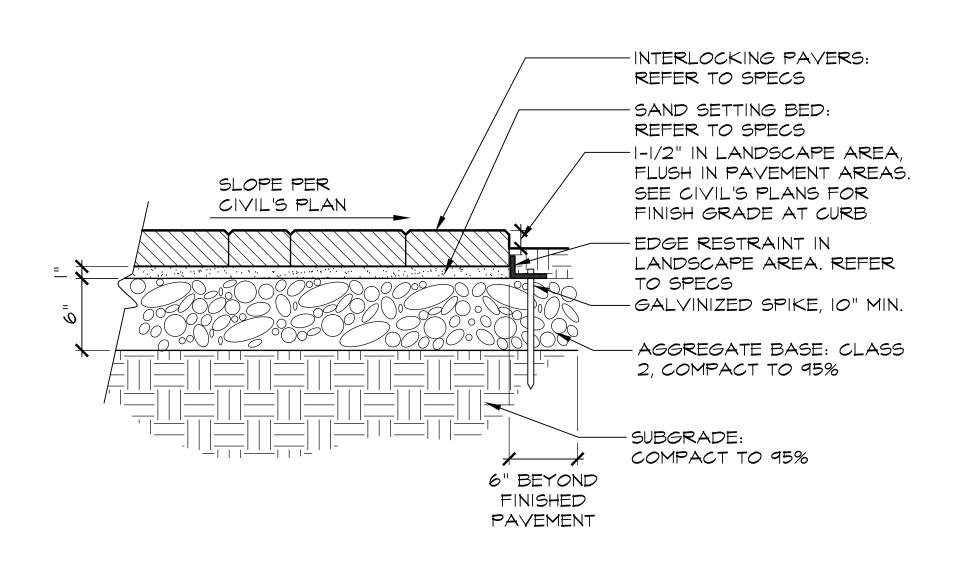
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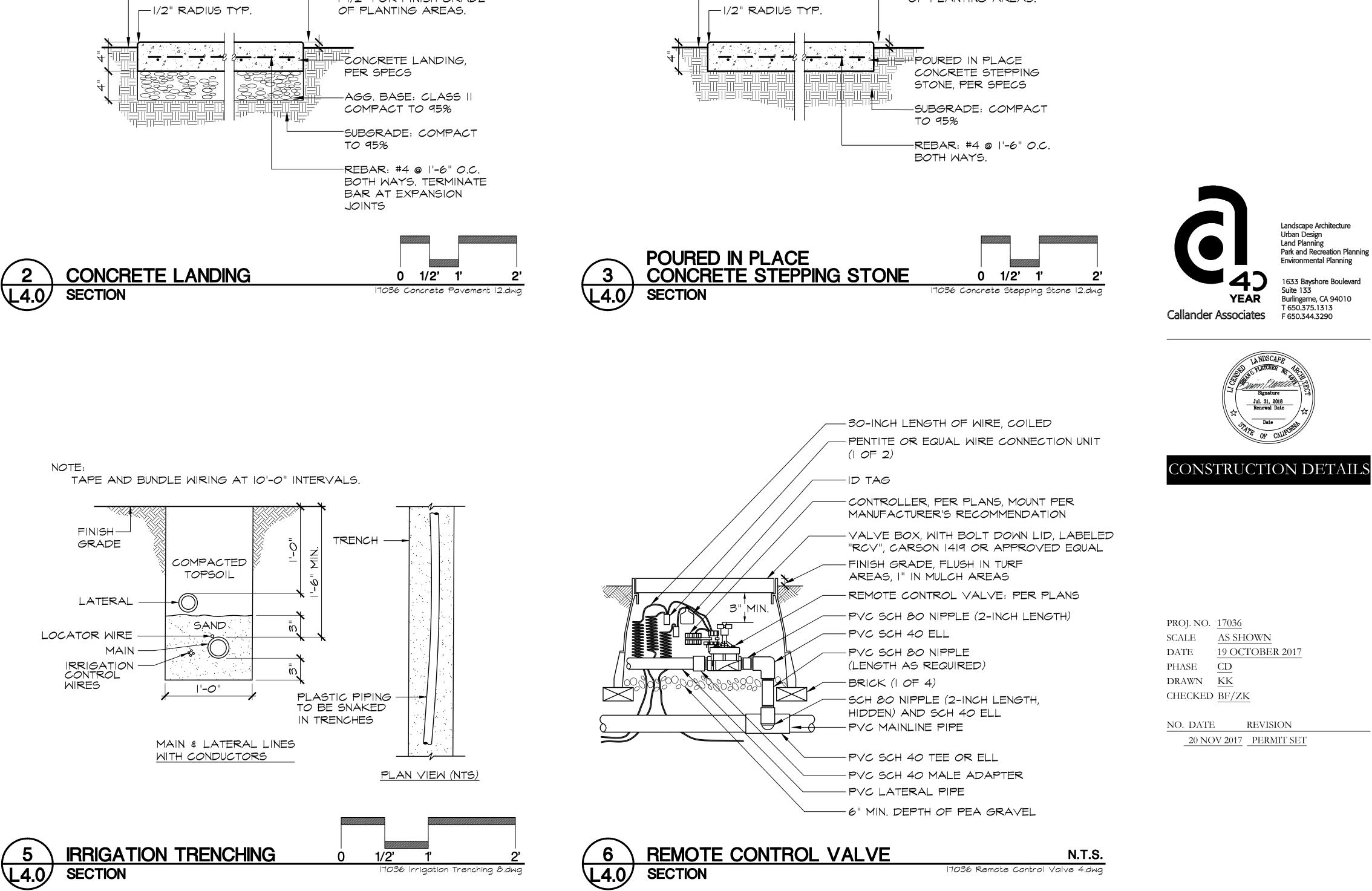


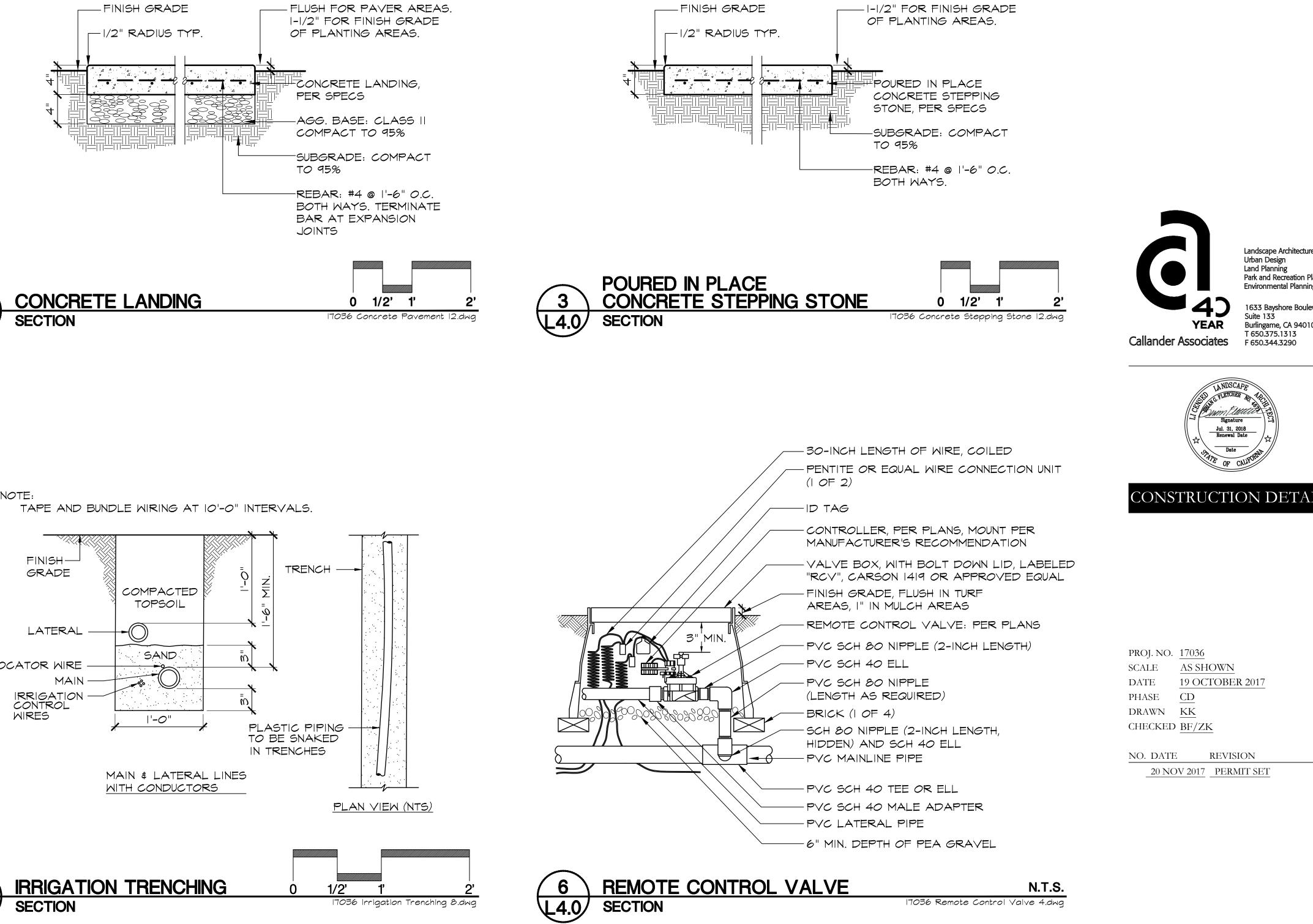














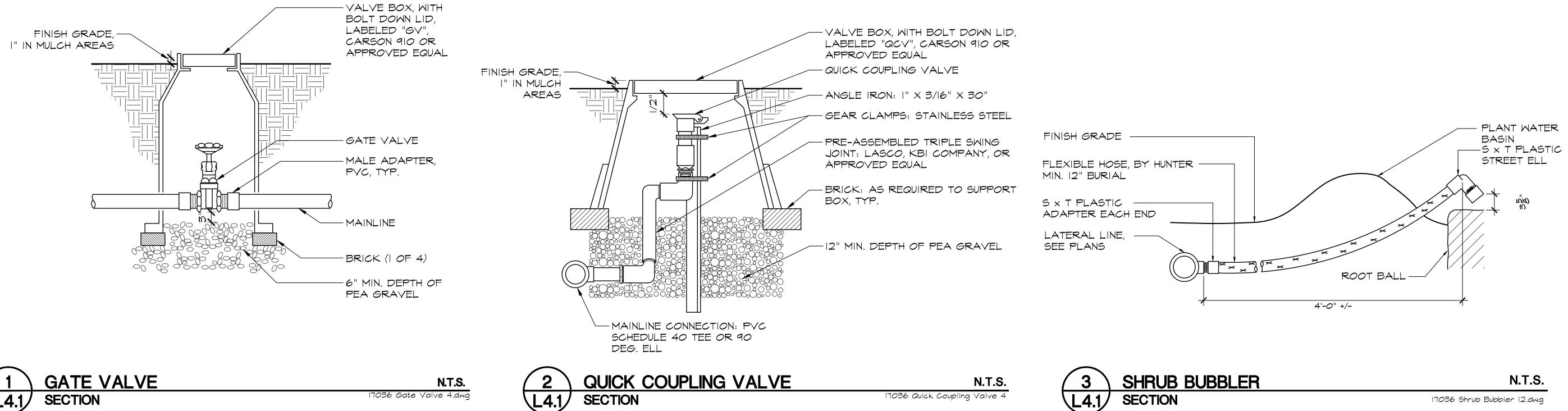
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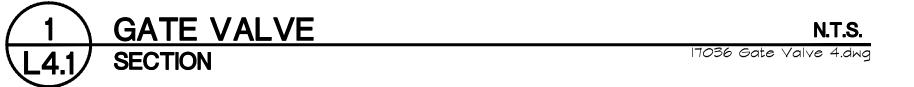
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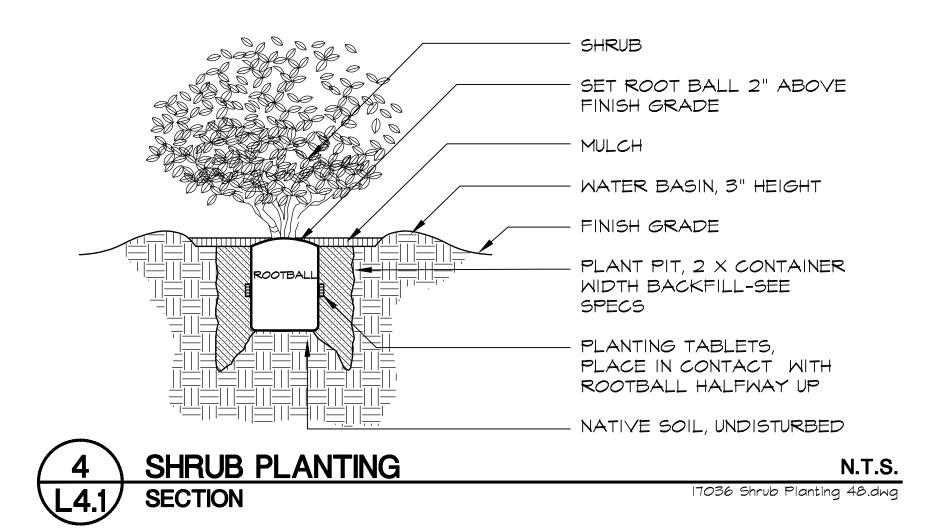
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CONSTRUCTION DETAIL

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