

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: September 23, 2026

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit, Resource Management-Coastal Zone Permit, and an Architectural Review Permit, pursuant to Sections 8.252.050 and 8.138.040 of the San Mateo County Zoning Regulations, and Section 261 of the California Streets and Highways Code, to replace an existing freestanding monument sign and other brand signage associated with an existing gas station located at 5720 Cabrillo Highway in the unincorporated Pescadero area of San Mateo County. Minimal grading and no tree removal are required. The project is located within the Cabrillo Highway State Scenic Corridor, and the Coastal Development Permit is appealable to the California Coastal Commission.

County File Number: PLN2026-00274 (Nerhan)

PROPOSAL

The applicant is seeking a Coastal Development Permit (CDP), Resource Management-Coastal Zone Permit, and an Architectural Review Permit to replace an existing 25-foot-tall non-illuminated freestanding monument sign with a new 19-foot tall, illuminated freestanding monument sign and replace other Chevron brand signage on the awning and gas pumps for an existing gas station located at 5720 Cabrillo Highway in Pescadero. The existing monument sign has 200 sq. ft. of sign face area, while the new monument sign will have 124 sq. ft. of sign face area. Minimal grading is proposed and no tree removal is necessary. The project is located in the Cabrillo Highway State Scenic Corridor. The CDP is appealable to the California Coastal Commission.

RECOMMENDATION

That the Planning Commission approve the CDP, Resource Management-Coastal Zone Permit, and Architectural Review Permit, County File Number PLN2026-00274, by making the required findings and adopting the conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Olivia Boo, Project Planner, oboo@smcgov.org

Applicant/Owner: Keet Nerhan

Public Notification: Ten-day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in the San Mateo County Times on September 12, 2026.

Location: 5720 Cabrillo Highway, Pescadero

APN: 089-210-020

Size: 3 acres

Existing Zoning: RM-CZ/CD (Resource Management-Coastal Zone/Coastal Development)

General Plan Designation: Open Space

Local Coastal Plan Designation: Commercial Recreation

Williamson Act: N/A

Existing Land Use: Gas station, restaurant and brewery, and miscellaneous sheds.

Water Supply: N/A; existing uses are served by a domestic well.

Sewage Disposal: N/A; existing uses are served by private septic system.

Flood Zone: Zone X (Areas of Minimal Flood Hazard), Community Panel No. 06081C0461F, effective date: August 2, 2017.

Environmental Evaluation: The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15302, Class 2, related to the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The proposed replacement monument sign and other brand signage will be in the same location on the project site and have the same purpose and capacity as the existing signage.

Setting: The project site is located approximately 250 feet south of Gazos Creek Road on the east side of Cabrillo Highway in the unincorporated Pescadero area. The

property is developed with a gas station, restaurant and brewery, and miscellaneous sheds, with the remainder of the parcel as asphalt hardscape.

Chronology:

<u>Date</u>	<u>Action</u>
August 7, 2026	- Application received.
September 1, 2026	- Application deemed complete.
September 23, 2026	- Planning Commission public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Staff has reviewed the project for conformance with all applicable General Plan Policies, including the following:

a. Vegetative, Water, Fish and Wildlife Resources

Policy 1.23 (*Regulate Development to Protect Vegetative, Water, Fish and Wildlife Resources*) seeks to regulate land use and development activities to prevent significant adverse impacts on vegetative, water, fish and wildlife resources.

Although the San Mateo County Geographic Information System (GIS) shows the parcel within an area where the California endangered western bumble bee (*Bombus occidentalis*) may be present, the proposed freestanding gas station monument sign and other brand signage will be located in the same disturbed area as the existing monument sign and other brand signage and the project poses no impact on typical habitat for the species (e.g., native wildflower or open foraging space) and the project does not involve the use of pesticides that could threaten the species. The parcel is predominantly improved with asphalt hardscape.

b. Visual Quality Policies

Policy 4.15 (*Appearance of New Development*), Policy 4.21 (*Utility Structures*), Policy 4.22 (*Scenic Corridors*), Rural Site Planning Policies, Architectural Design Standards for Rural Scenic Corridors, and Site Planning for Rural Scenic Corridors seek to regulate

development to promote and enhance good design, site relationship and other aesthetic considerations; minimize the adverse visual quality of roadway and building signs; ensure structures are compatible in size and scale with their building site and surrounding environment; and minimize development from obstructing views from scenic roads or disrupting the visual harmony of the natural landscape.

The new illuminated monument sign will be appropriately sized and scaled to the surrounding natural and built environment, with a lower height, at 11 feet, 2 inches tall, than the existing 19-foot monument. The new sign will be located in the same location, approximately 50 feet from Cabrillo Highway, which is an adequate distance from Cabrillo Highway so as not to be visually intrusive along the scenic roadway while still providing effective signage for vehicular travelers along Cabrillo Highway. The monument sign is constructed of steel framing that will be painted light gray to help it blend with the natural rural surrounding. The signage will be self-illuminated. Replacement of the proposed awning and gas pump brand signage will not extend above the structures to which they are attached.

2. Conformance with the Local Coastal Program

Staff has reviewed the project for conformance with all applicable Local Coastal Program (LCP) Policies, including the following:

a. Sensitive Habitats Component

Policy 7.3 (*Protection of Sensitive Habitats*) prohibits any land use or development that would have significant adverse impacts on sensitive habitat areas. See staff's response to Section A.1.a. (Vegetative, Water, Fish and Wildlife Resources) above.

b. Visual Resources Component

Policy 8.5 (*Location of Development*) requires new development be located on a portion of the parcel where the development (1) is least visible from State and County Scenic Roads, (2) is least likely to significantly impact views from public viewpoints, and (3) is consistent with all other LCP requirements, and best preserves the visual and open space qualities of the parcel overall. Where conflicts in complying with this requirement occur, resolve them in a manner which on balance most protects significant coastal resources on the parcel.

Policy 8.15 (*Coastal Views*) and Policy 8.18 (*Development Design*) prohibit development from substantially blocking views to or along the shoreline from coastal roads, roadside rests and vista points, recreation areas, trails, coastal accessways, and beaches; and be as unobtrusive as possible and not detract from the natural, open space or visual qualities of the area.

See staff's response to Section A.1.b. (Visual Quality Policies) above.

Policy 8.21 (*Commercial Signs*) prohibits off-premise commercial signs except for seasonal temporary agricultural signs; design on premises commercial signs as an integral part of the structure they identify and which do not extend above the roofline; prohibits brightly illuminated colored, rotating reflective, blinking, flashing or moving signs, pennants, or streamers; and design and minimize information and direction signs to be simple, easy to read and harmonize with surrounding elements.

The new Chevron brand name signage will be an on-premises permanent commercial sign. The proposed sign will be 11 feet, 2 inches tall, and will not exceed the height of the gas station roofline which is 22 feet tall. The illuminated sign will not be reflective, blinking or flashing and will blend with the surroundings as it fits with the character of the existing gas station.

Policy 8.31 (*Regulation of Scenic Corridors in Rural Areas*) requires the following applicable regulations be applied to a project within a scenic corridor:

- (1) Scenic Road Element of the County General Plan and Section 8.292.110 (Primary Scenic Resources Areas Criteria) of the Resource Management (RM) Zoning District as specific regulations protecting scenic corridors in the Coastal Zone and Rural Design Policies of the Local Coastal Program. These elements seek to regulate the site and architectural design of structures within rural scenic corridors in order to protect and enhance the visual quality of rural landscapes and protect the public views within and from scenic corridors by requiring that development not significantly obscure, detract from, or negatively affect the quality of these views.

For discussion of the project's conformance with these regulations, please refer to staff's previous discussion in Section A.1.b. (Visual Quality Policies) and LCP Policy 8.21 (*Commercial Signs*).

- (2) A minimum setback of 100 feet from the right-of-way line, and greater where possible; however, permit a 50-foot setback when sufficient screening is provided to shield the structure from public view.

As mentioned above, the proposed new illuminated sign will replace the existing monument sign and will continue to be located approximately 50 feet from the edge of Cabrillo Highway, which provides adequate distance from Cabrillo Highway while still maintaining enough proximity to the highway to be effective for vehicular traffic along Cabrillo Highway. Relocating the monument sign to have a setback of 100 feet from the edge of the Cabrillo Highway Right-Of-Way would be a hardship, as it would move the sign into the on-site vehicular maneuvering space, potentially interfering with safe on-site vehicle circulation patterns and impacting the underground fuel tanks and underground utilities. The replacement awning and pump signage will be maintained at a distance exceeding 50 feet from the roadway. Screening of the sign from Cabrillo Highway would not serve its primary purpose as a roadside sign visible to traveling vehicles. Its location does not impede scenic views and blends with the existing gas station.

3. Conformance with Zoning Regulations

The proposed project is located within the RM-CZ (Resource Management-Coastal Zone) District. The sign will have a height of 11 feet, 2 inches, which will comply with the overall allowed height limit of 36 feet. Pursuant to Section 8.138.110 and Section 8.138.120 of the Zoning Regulations, all development in the RM-CZ zoning district is subject to the Development Review Criteria found in Chapter 8.294 of the Zoning Regulations. Compliance with the applicable criteria is discussed below.

Environmental Quality Criteria

This criterion seeks to minimize grading, adverse impacts on wildlife habitat areas, and prohibit the introduction of significant levels of noxious odors or long-term noise levels.

The proposed project adheres to the standards set by this criterion, as it is designed and located to reduce impacts to the environment. The proposed signs are clustered with existing development in already disturbed areas. The signs will be installed at the same locations, utilizing the existing sign base and require minimal grading. Air pollutants and noise from construction will be minimal and temporary.

Site Design Criteria

This criterion seeks to ensure that development is sited and designed so that its presence is subordinate to the existing natural characteristics of the site and avoids substantially detracting from the scenic and visual quality of the County.

The project conforms with these criteria; the proposed illuminated sign has been sited and designed to fit the existing environment and clustered with existing site development. The existing monument sign has 200 sq. ft. of sign face area while the new monument sign will have a reduced 124 sq. ft. of sign face area; the new sign will be supported by a steel frame that will be painted light gray and blends with the surroundings. The proposed sign replacements will have minimal visual change from existing and will not be obtrusive from the scenic corridor. The proposed replacement signs are typical for gas stations.

Hazards to Public Safety Criteria

This criterion seeks to ensure development is not located in hazardous areas that could cause danger from structures or improvements being swept onto other lands or downstream to the injury of others.

The signs are partially located in FEMA flood zone X (Areas of Minimal Flood Hazard), and the parcel is located in a tsunami zone. The project does not propose any grading or soil disturbance. The Building Inspection section confirmed that although the sign is located in flood zone X, the project is exempt from flood zone requirements due to no soil disturbance. The existing and proposed monument sign is located in a Tsunami zone. The County's Geotechnical Section has preliminarily reviewed and approved the project without the need for a geotechnical report, as the existing foundation will be used and the new monument sign is not adding significant load to the existing foundation base.

4. Architectural Review

The project conforms with the architectural design standards for the Cabrillo Highway State Scenic Corridor as regulated by the policies and criteria within the General Plan Visual Quality Policies and LCP Visual Resources Component as discussed above. The proposed replacement signs are appropriately sized and scaled to the surrounding natural and built environment and will be located in the same location as existing. Additionally, the signs will be minimally setback approximately 50 feet from Cabrillo Highway so as not to be visually intrusive along the scenic roadway while still providing effective signage for vehicular travelers along Cabrillo Highway.

B. ENVIRONMENTAL REVIEW

The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15302, Class 2, related to the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The proposed replacement signage will be in the same location on the project site and have the same purpose and capacity as the existing signage.

C. REVIEWING AGENCIES

Building Inspection Section
California Coastal Commission

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Plans



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT A

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2026-00274 Hearing Date: September 23, 2026

Prepared By: Olivia Boo, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

For Environmental Review, Find:

1. The project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA) Guidelines, Section 15302, Class 2, related to the replacement or reconstruction of existing structures and facilities where the new structure will be located on the same site as the structure replaced and will have substantially the same purpose and capacity as the structure replaced. The proposed replacement signage will be in the same location on the project site and have the same purpose and capacity as the existing signage.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 8.252.080 and as conditioned in accordance with Section 8.252.160, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP). Specifically, the project complies with policies of the sensitive habitats and visual resources components as discussed in the staff report dated September 23, 2026.
3. That where the project is located between the nearest public road and the sea, or the shoreline of Pescadero Marsh, it is subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The subject property is located on the east side of Cabrillo Highway, approximately 760 feet from the shoreline and south of the shoreline of Pescadero Marsh. There is no direct access to the sea from the subject property, and the signs will not impede bluff access or block coastal trails.
4. That the project conforms to the specific findings required by policies of the San Mateo County LCP as discussed in Section A.2 of the staff report dated September 23, 2026.

For the Architectural Review Permit, Find:

5. That the project conforms with the architectural design standards for the Cabrillo Highway State Scenic Corridor as regulated by the policies and criteria within the General Plan Visual Quality Policies and LCP Visual Resources Component as discussed in the staff report dated September 23, 2026. The proposed replacement signs are appropriately sized and scaled to the surrounding natural and built environment and will be located in the same location as existing. Additionally, the signs will be minimally setback approximately 50 feet from Cabrillo Highway so as not to be visually intrusive along the scenic roadway while still providing effective signage for vehicular travelers along Cabrillo Highway.

Resource Management- Coastal Zone Permit, Find:

6. This project has been reviewed against and found, as proposed and conditioned, to be in compliance with the Development Review Criteria as stipulated in Chapter 8.294 of the San Mateo County Zoning Regulations. Specifically, the project complies with environmental quality, site design, and hazards to public safety criteria. The commercial gas station monument sign will be a minor change from the existing signage and will not be significantly obtrusive in the scenic corridor. The additional proposed replacement signs are typical for gas stations.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans as approved by the Planning Commission on September 23, 2026. Any changes or revisions to the approved plans are subject to review and approval by the Director of Planning and Building.
2. The Coastal Development Permit, Resource Management-Coastal Zone Permit, and Architectural Review Permit shall be valid for five years from the date of final approval, in which time a building permit shall be issued and a completed inspection (to the satisfaction of the building inspector) shall have occurred within one year of its issuance. A one-year extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the permits' expiration.
3. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines", including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.

- b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
- c. Performing clearing and earth-moving activities only during dry weather.
- d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
- e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
- f. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
- g. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- h. Use sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
- i. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- j. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
- k. Limiting construction access routes and stabilization of designated access points.
- l. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
- m. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.

- n. Additional Best Management Practices, in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
4. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction to maintain the stability of the site and prevent erosion and sedimentation off-site.
 5. All new power lines from the street or nearest existing utility pole to any of the sign structures on the property shall be placed underground.
 6. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section.
 7. No site disturbance shall occur, including any vegetation removal, until a building permit has been issued.
 8. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties, including the public right-of-way. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.

The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment, which shall include but not be limited to tractors, backhoes, cement mixers, etc.

 - b. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the Cabrillo Highway right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on any street. There shall be no storage of construction vehicles in the public right-of-way.

9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m. weekdays and 9:00 a.m. to 5:00 p.m. Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).

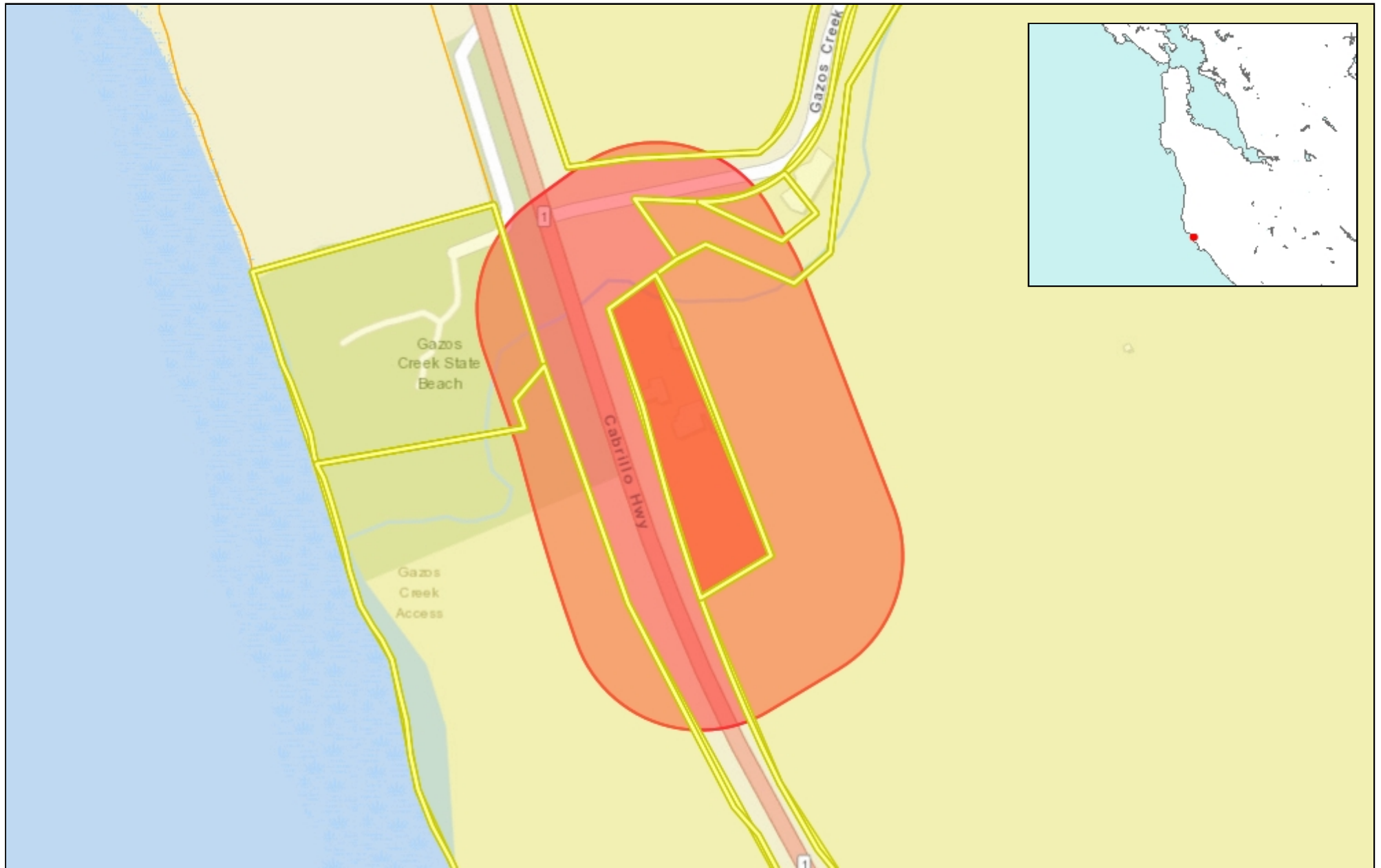
Building Division

10. A building permit is required.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.14 0 0.07 0.14 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,514



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH.

250123 RIO / 1 OF 8



PO Box 4590 | 204 Campus Way Modesto Ca 95350 | O 209.524.4484 | F 209.521.0272 | Ca LIC#268001 | C-45 | Nv Lic#0082570 | C-6



NOTICE TO THE CUSTOMER

Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.

CUSTOMER APPROVAL

☐ ACCEPTED

BY
DATE



DATE

DATE	BY	DATE	BY
03.07.25	VT	.25	VT
03.24.25	VT		
05.02.25	VT		
06.20.25	VT		
07.16.25	VT		
07.21.25	VT		
07.23.25	VT		
08.14.25	VT		
06.19.26	VT		
06.23.26	VT		

COMPANY OR JOB NAME / JOB DESCRIPTION

250123 RIO

CHEVRON
SIGN PROGRAM

ADDRESS:

5720 CALIFORNIA | PESCADERO CALIFORNIA 94060

SALESPERSON:

DOUG SMITH

CUSTOMER CONTACT:

XXXXXX

NAME / DATE

1 OF 8

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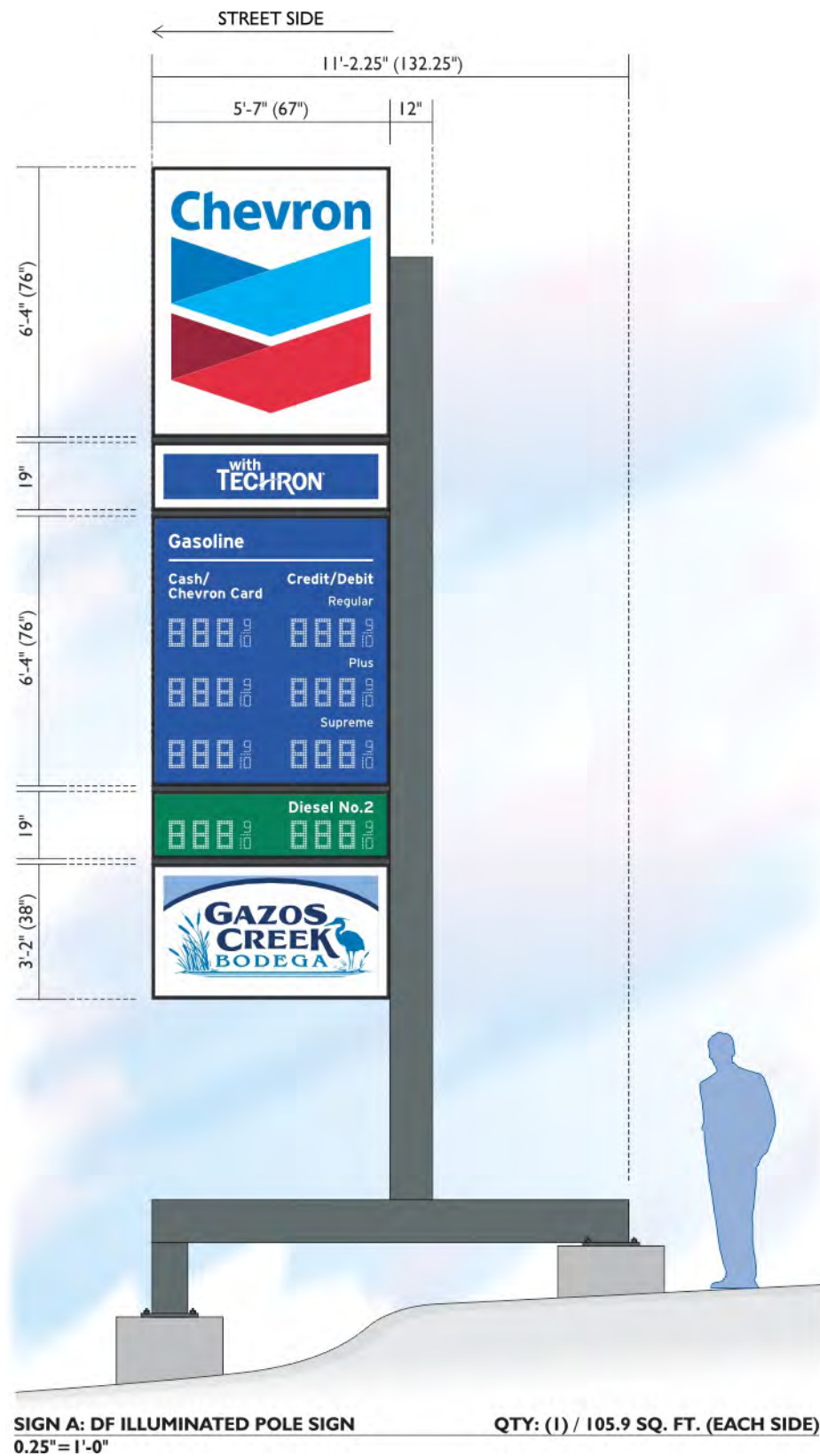
This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Sign Designs. Permission to copy or revise this drawing can only be obtained thru a written agreement w/ Sign Designs. See your sales representative or call Sign Designs.

By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.

This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.

The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(I) of the National Electrical Code.

All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed



SIGN A: DF ILLUMINATED POLE SIGN

CABINETS & FACES: (1) D/F CHEVRON C-60 FULL HEIGHT CABINET W/ HALLMARK FACES

(I) D/F CHEVRON C-60 1/4 HEIGHT CABINET W/ TECHRON FACES

(I) D/F CHEVRON C-60 FULL HEIGHT CABINET W/ 2 TIER 3 GRADE PRICE FACES

(I) D/F CHEVRON C-60 1/4 HEIGHT CABINET W/ 2 TIER DIESEL #2 PRICE FACES

(1) D/F CHEVRON C-60 HALF HEIGHT CABINET W/ FORECOURT "GAZOS CREEK" FACES

ILLUMINATION: CHEVRON STANDARD INTERNAL ILLUMINATION **PRICE FONTS:** 8" LED DIGITS

SUPPORT: CHEVRON STANDARD 8" X 12" X 0.375" STEEL TUBE SUPPORT MOUNTED TO NEW CROSSMEMBER

FOOTING: UTILIZE EXISTING CONCRETE AND SUPPORTS W/ NEW 12" X 12" CROSSMEMBER WELDED

TO CUT DOWN EXISTING VERTICAL SUPPORTS / 1" MOUNTING PLATES & 1" DIA. ANCHOR RODS

FINISH: (NEW & EXISTING SUPPORTS, CROSSMEMBER, MOUNTING PLATES & ANY EXPOSED HARDWARE)

PAINTED TO MATCH CVX DARK GRAY (PPG 95-8800/95-859 DARK GRAY OR JONES-BLAIR #4560-001)

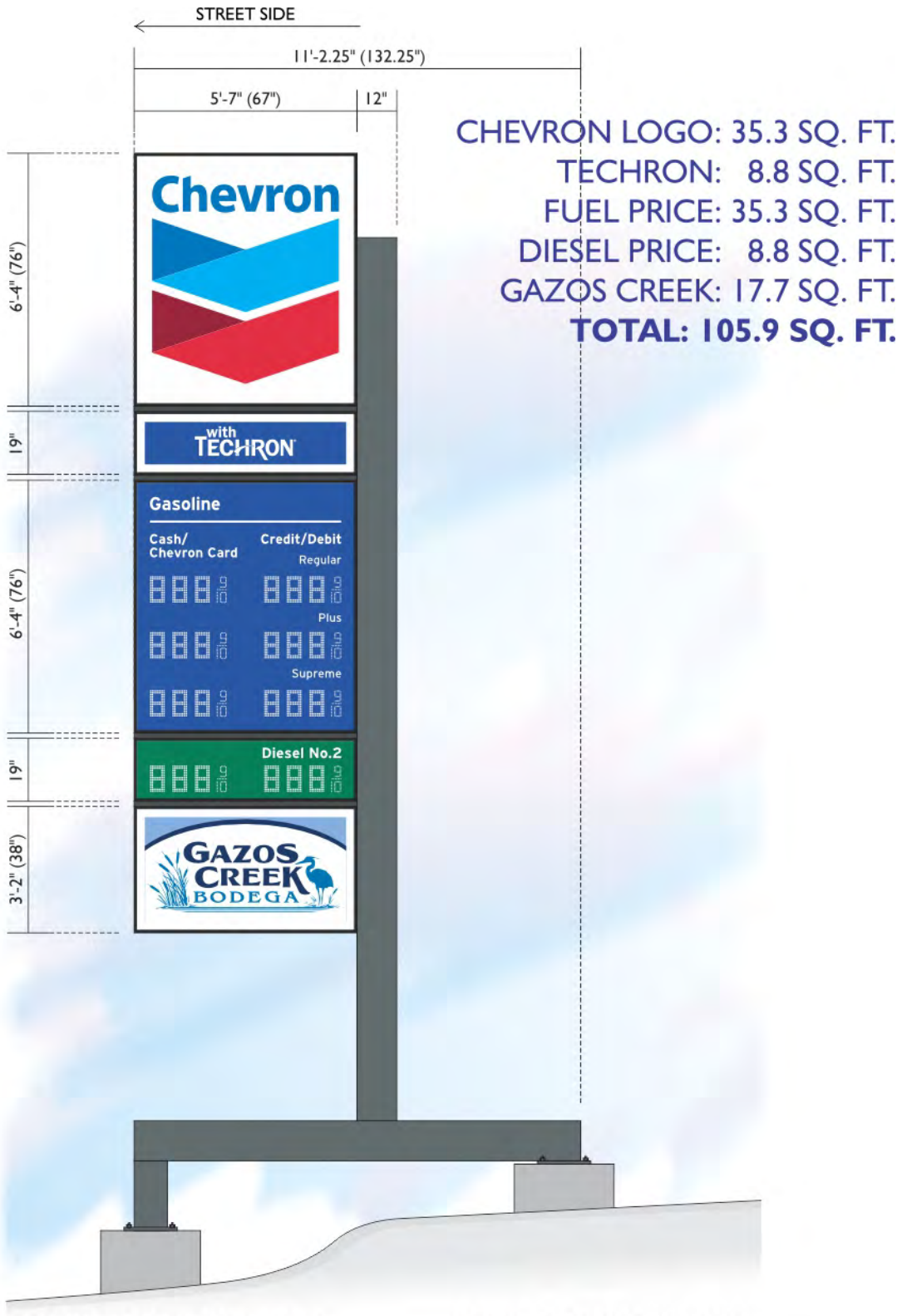
REMOVAL: DISPOSE EXISTING SIGN & CUT PORTIONS OF VERTICAL SUPPORTS

SCOPE OF WORK: RECEIVE AND INSTALL (1) NEW DOUBLE FACED ILLUMINATED POLE SIGN



06.24.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 R1: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (MARKET SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.

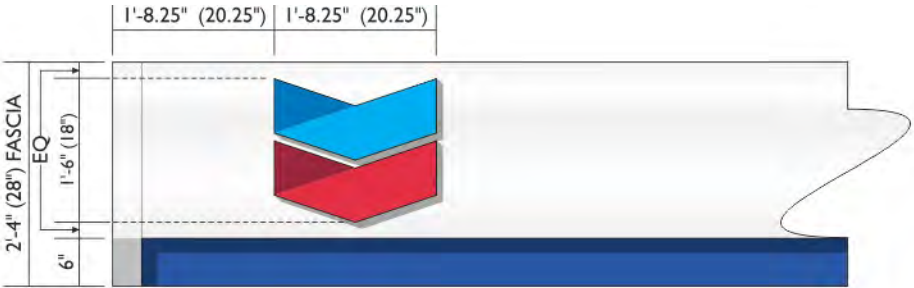
 PO Box 4590 204 Campus Way Modesto Ca 95350 ☎ 209.524.4484 F 209.521.0272 Ca LIC#268001 C-45 Nv Lic#0082570 C-6	MEMBER 		NOTICE TO THE CUSTOMER Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.		CUSTOMER APPROVAL ☐ ACCEPTED WITH COMMENTS _____ BY _____ DATE _____ _____ DATE _____				© COPYRIGHT 2026 This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Sign Designs Permission to copy or revise this drawing can only be obtained thru a written agreement w/ Sign Designs. See your sales representative or call Sign Designs.				By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.				2 OF 8	
	07.16.25 RY VY: PREP FOR PERMIT PER DOUG SMITH, 06.20.25 RJ VY: REVISE SIGN A TO A-C-BU POLE SIGNS ON A CROSSPEAKS COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 RZ VY: ADD OPTIONS FOR SIGN A C-45 & C-80 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 RJ VY: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & PASSENGRY BASE, ADD UNDER CANOPY EFFECTS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.		03.07.25 VT _____ 03.24.25 VT _____ 05.02.25 VT _____ 06.20.25 VT _____ 07.16.25 VT _____ 07.21.25 VT _____ 07.23.25 VT _____ 08.14.25 VT _____ 06.19.26 VT _____ 06.23.26 VT _____		COMPANY OR JOB NAME / JOB DESCRIPTION CHEVRON SIGN PROGRAM ADDRESS: 5720 CALIFORNIA PISCADERO CALIFORNIA 94060 SALESPERSON: DOUG SMITH CUSTOMER CONTACT: XXXXXX		250123 RIO											
This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.										The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(I) of the National Electrical Code.		All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed						



SIGN A: DF ILLUMINATED POLE SIGN **QTY: (1) / 105.9 SQ. FT. (EACH SIDE)**
0.25" = 1'-0"

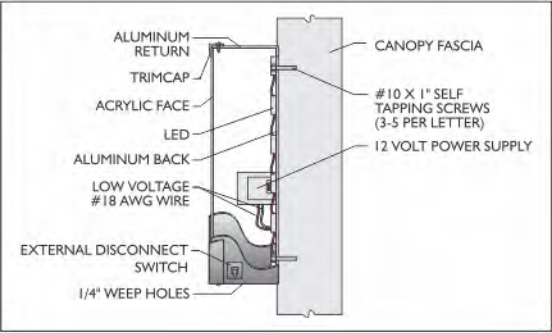
06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.

250123 RIO / 3 OF 8	 PO Box 4590 204 Campus Way Modesto Ca 95350 O 209.524.4484 F 209.521.0272 Ca LIC#268001 C-45 Nv Lic#0082570 C-6	 MEMBER INTERNATIONAL SIGNAGE ASSOCIATION	NOTICE TO THE CUSTOMER				CUSTOMER APPROVAL				DATE				BY				COMPANY OR JOB NAME / JOB DESCRIPTION				250123 RIO			
			Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.				☐ ACCEPTED PERMIT				03.07.25 VT .25 VT 03.24.25 VT 05.02.25 VT 06.20.25 VT 07.16.25 VT 07.21.25 VT 07.23.25 VT 08.14.25 VT 06.19.26 VT 06.23.26 VT				03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.				07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH.				06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.			
BY _____ DATE _____				DATE _____ BY _____				ADDRESS: 5720 CALIFORNIA PESCADERO CALIFORNIA 94060				SALESPERSON: DOUG SMITH CUSTOMER CONTACT: XXXXXX				NAME / DATE				3 OF 8						
© COPYRIGHT 2026 This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Sign Designs. Permission to copy or revise this drawing can only be obtained thru a written agreement w/ Sign Designs. See your sales representative or call Sign Designs.				By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.				This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.				The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code.				All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed										



SIGNS C1 & C2: ILLUMINATED PAN CHANNEL LOGOS
QTY: (2)
1/2"=1'-0" 2.5 SQ. FT. (EACH)

PAN CHANNEL DISPLAY: CHEVRON STANDARD PAN CHANNEL 25" HALLMARK
MOUNTING: #10 X 3.5" TEK SCREWS WITH PVC FERRULE AND 2" PEG OFF
STRUCTURE FACE: CHEVRON 42" LEVEL I CANOPY FASCIA
REMOVAL: _____



SCOPE OF WORK: RECEIVE AND INSTALL (1) ILLUMINATED PAN CHANNEL LOGO



SIGN D1-D4: ILLUMINATED PAN CHANNEL LETTERS
QTY: (4) / 10.9 SQ. FT. (EACH)
1/2"=1'-0"

PAN CHANNEL DISPLAY: CHEVRON STANDARD PAN CHANNEL 17" WORDMARK
MOUNTING: (4) #10 X 1" TEK SCREWS PER LETTER STRUCTURE FACE: CHEVRON 28" LEVEL I CANOPY FASCIA
REMOVAL: _____

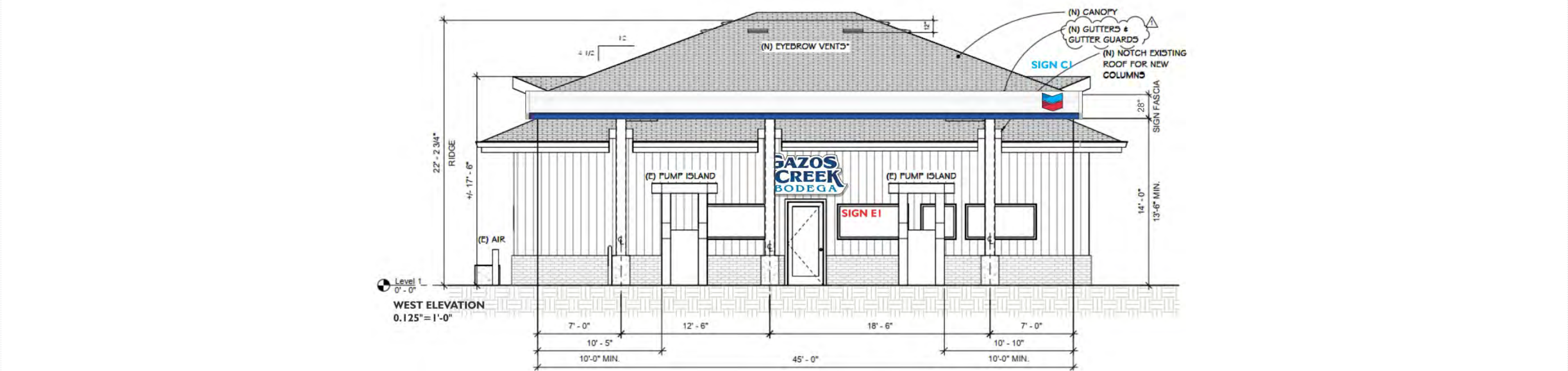
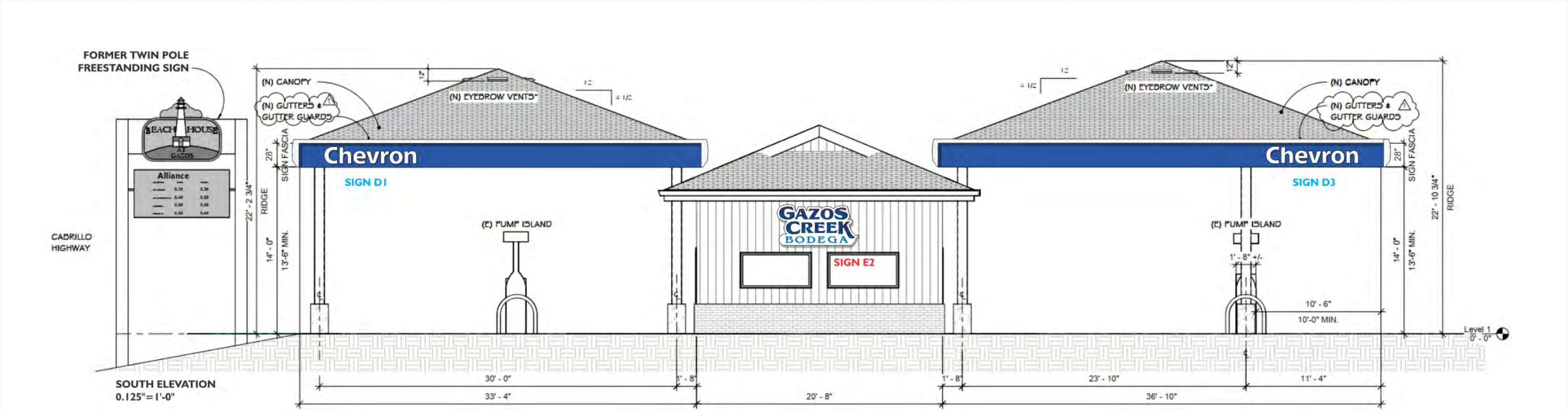
SCOPE OF WORK: RECEIVE AND INSTALL (4) SETS OF ILLUMINATED PAN CHANNEL LETTERS

SIGNS B1 & B2: CHEVRON 28" LEVEL I CANOPY FASCIAS
QTY: (2) CANOPIES
NTS
CANOPY FASCIA: CHEVRON 28" LEVEL I CANOPY (43'-0" X 68'-0") / BOTH CANOPIES LIGHTED (3) SIDES
REMOVAL: _____

SCOPE OF WORK: RECEIVE AND INSTALL CANOPY FASCIA COMPONENTS FOR (2) ILLUMINATED FUEL CANOPIES

06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.

250123 RIO / 4 OF 8	 PO Box 4590 204 Campus Way Modesto Ca 95350 O 209.524.4484 F 209.521.0272 Ca LIC#268001 C-45 Nv Lic#0082570 C-6		NOTICE TO THE CUSTOMER				CUSTOMER APPROVAL				DATE				BY				COMPANY OR JOB NAME / JOB DESCRIPTION				250123 RIO								
			Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.				BY _____ DATE _____ DATE _____ DATE _____				03.07.25 VT .25 VT 03.24.25 VT 05.02.25 VT 06.20.25 VT 07.16.25 VT 07.21.25 VT 07.23.25 VT 08.14.25 VT 06.19.26 VT 06.23.26 VT				03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.				07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH.				06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.								
© COPYRIGHT 2026				This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Sign Designs Permission to copy or revise this drawing can only be obtained thru a written agreement w/ Sign Designs. See your sales representative or call Sign Designs.				By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.				NAME / DATE				4 OF 8															
This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.																The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code.								All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed							



06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.

250123 RIO / 5 OF 8

SD

INCORPORATED

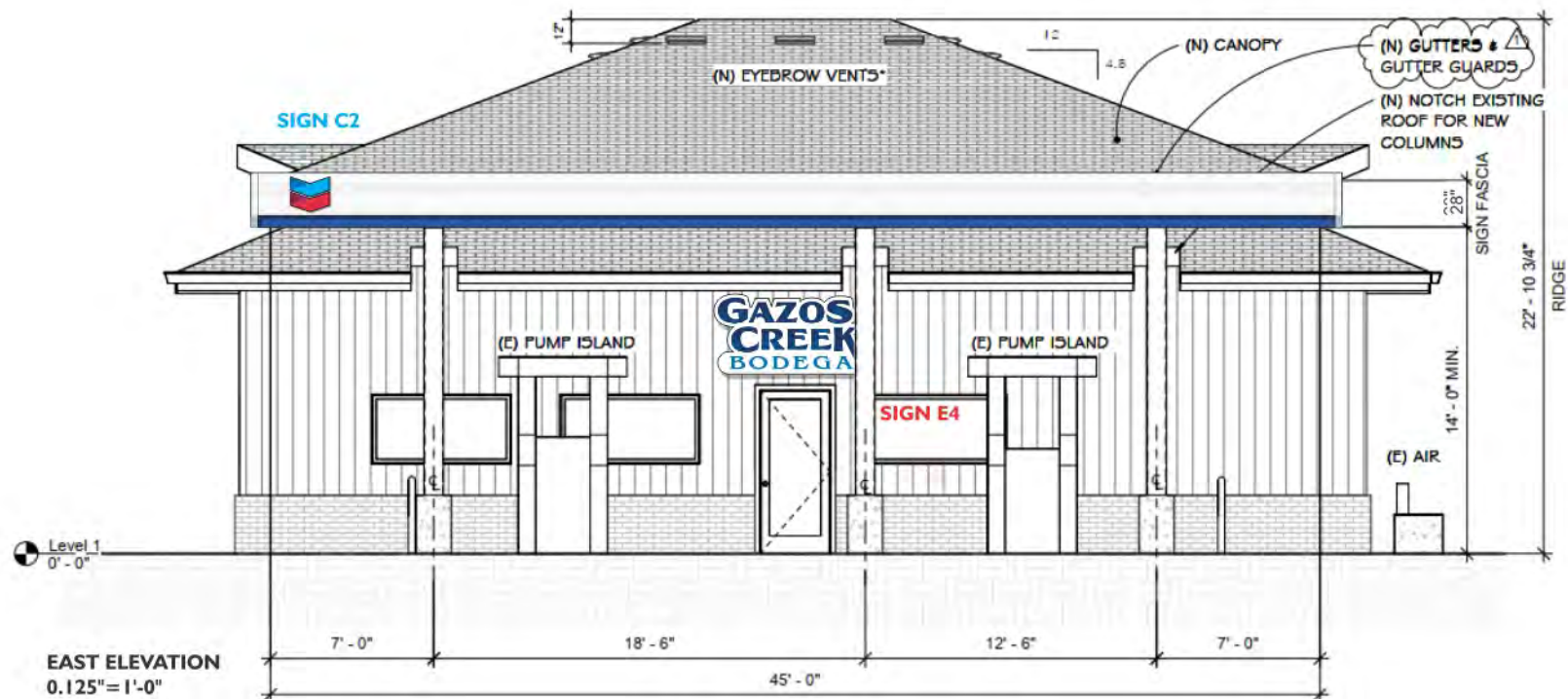
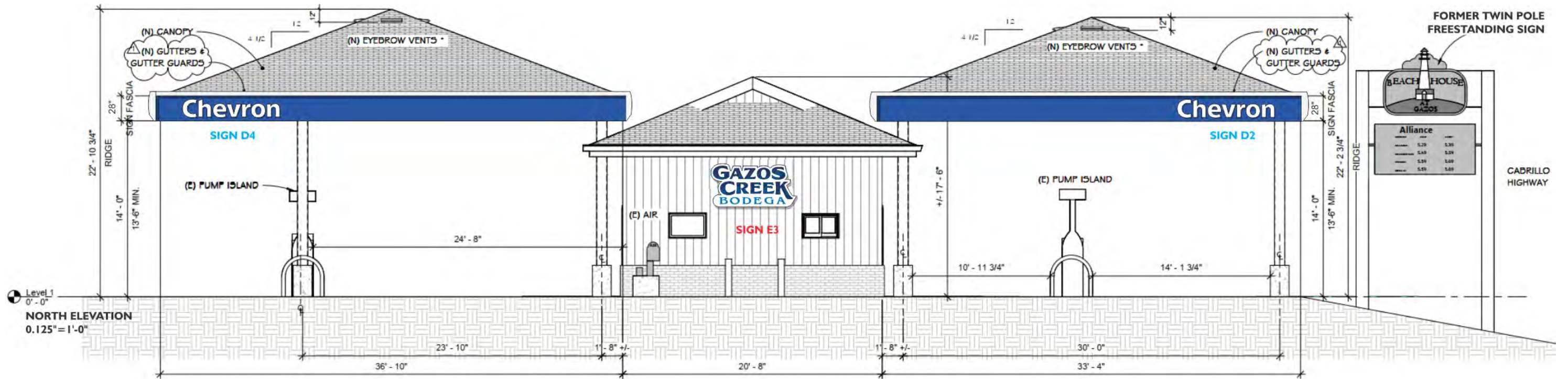
SIGN

DESIGNS

PO Box 4590 | 204 Campus Way Modesto Ca 95350 | O 209.524.4484 | F 209.521.0272 | Ca LIC#268001 | C-45 | Nv Lic#0082570 | C-6

NOTICE TO THE CUSTOMER Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.	CUSTOMER APPROVAL ☐ ACCEPTED BY _____ DATE _____		PERMIT NOTED DATE _____		DATE 03.07.25 VT 03.24.25 VT 05.02.25 VT 06.20.25 VT 07.16.25 VT 07.21.25 VT 07.23.25 VT 08.14.25 VT 06.19.26 VT 06.23.26 VT		DATE 03.07.25 VT 03.24.25 VT 05.02.25 VT 06.20.25 VT 07.16.25 VT 07.21.25 VT 07.23.25 VT 08.14.25 VT 06.19.26 VT 06.23.26 VT		COMPANY OR JOB NAME / JOB DESCRIPTION 250123 RIO		
	CHEVRON SIGN PROGRAM								ADDRESS: 5720 CALIFORNIA PESCADERO CALIFORNIA 94060		
SALESPERSON: DOUG SMITH								CUSTOMER CONTACT: XXXXXX		NAME / DATE	
5 OF 8											

This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign. The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code. All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed



06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.

250123 RIO / 6 OF 8



PO Box 4590 | 204 Campus Way Modesto Ca 95350 | O 209.524.4484 | F 209.521.0272 | Ca LIC#268001 | C-45 | Nv Lic#0082570 | C-6



NOTICE TO THE CUSTOMER

Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.

CUSTOMER APPROVAL

☐ ACCEPTED

BY
DATE

DATE

NOTED

DATE	BY	DATE	BY
03.07.25	VT	25	VT
03.24.25	VT		
05.02.25	VT		
06.20.25	VT		
07.16.25	VT		
07.21.25	VT		
07.23.25	VT		
08.14.25	VT		
06.19.26	VT		
06.23.26	VT		

COMPANY OR JOB NAME / JOB DESCRIPTION

250123 RIO

CHEVRON
SIGN PROGRAM

ADDRESS:

5720 CALIFORNIA | PESCADERO CALIFORNIA 94060

SALESPERSON:

DOUG SMITH

CUSTOMER CONTACT:

XXXXXX

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2026

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By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.

NAME / DATE

6 OF 8

This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.

The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code.

All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed



SIGN EI-E4: ILLUMINATED PAN CHANNEL MODULE

QTY: (4) / 23.5 SQ. FT.

0.5" = 1'-0"

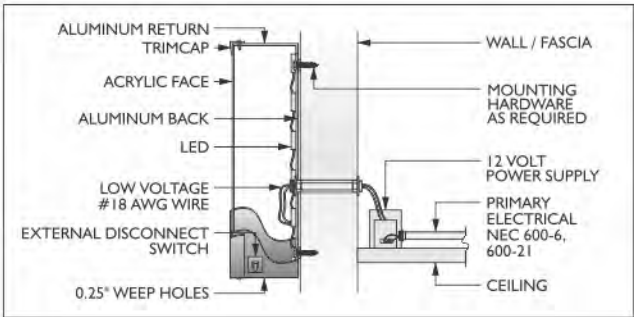
FACES: 0.188" CLEAR ACRYLIC W/ FIRST SURFACE DIRECT PRINT AND SECOND SURFACE WHITE DIFFUSER

RETURNS: 5" DEEP PRE PAINTED BLUE ALUMINUM TRIM CAP: 1" BLUE TRIM CAP

LETTERBACKS: 3mm PRE PAINTED WHITE ALUMINUM COMPOSITE MATERIAL ILLUMINATION: WHITE LED

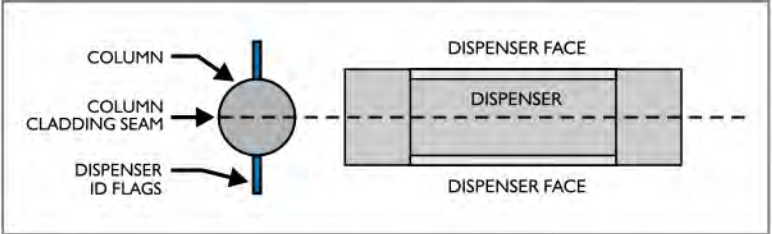
WALL TYPE: ?? REMOVAL: ??

SCOPE OF WORK: FABRICATE AND INSTALL (4) ILLUMINATED PAN CHANNEL MODULE

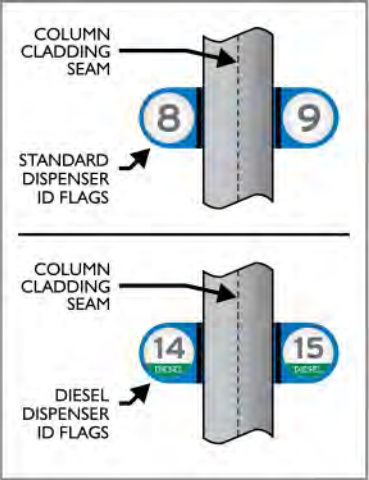


06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES.

250123 RIO / 7 OF 8	 PO Box 4590 204 Campus Way Modesto Ca 95350 O 209.524.4484 F 209.521.0272 Ca LIC#268001 C-45 Nv Lic#0082570 C-6		NOTICE TO THE CUSTOMER	CUSTOMER APPROVAL	DATE	BY	DATE	BY	COMPANY OR JOB NAME / JOB DESCRIPTION	250123 RIO				
			Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.	☐ ACCEPTED	OTED	03.07.25	VT	.25	VT	ADDRESS: 5720 CALIFORNIA I PESCADERO CALIFORNIA 94060	CHEVRON SIGN PROGRAM			
				BY DATE	PERMIT RECORD	DATE	03.24.25	VT					SALESPERSON: DOUG SMITH	CUSTOMER CONTACT: XXXXX
							05.02.25	VT						
							06.20.25	VT						
07.16.25	VT													
© COPYRIGHT 2026 This drawing was created to assist you in visualizing our proposal. The original ideas herein are the property of Sign Designs Permission to copy or revise this drawing can only be obtained thru a written agreement w/ Sign Designs. See your sales representative or call Sign Designs.				By signing this drawing document, I understand that I am not obligated to purchase this project, notwithstanding, the above artwork cannot be submitted for pricing, duplication and/or manufacturing to another sign company, architectural company or other business entity for the purpose or intent of manufacturing or for use as intellectual property, such as, but not limited to, a company logo, unless the represented logo was provided to Sign Designs by the customer and input into this drawing document by a Sign Designs employee.				NAME / DATE	7 OF 8					
This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.											The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(I) of the National Electrical Code.		All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed	



TOP VIEW



CHEVRON STANDARD UNDER CANOPY ITEMS

NTS

F1-F12 COLUMN CLADDING: RECEIVE AND INSTALL (12)

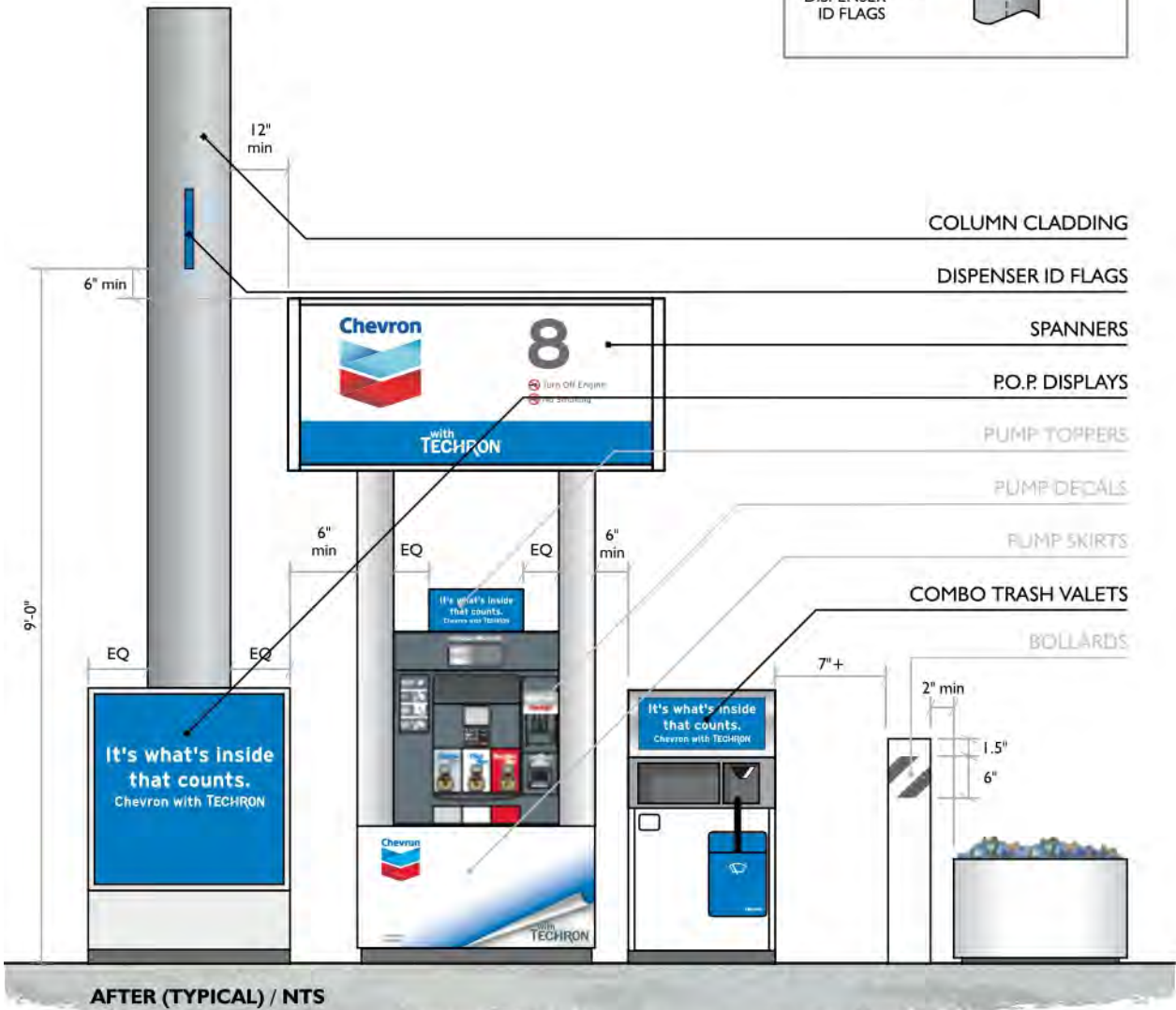
G1-G4 DISPENSER ID FLAGS: RECEIVE AND INSTALL (4) ON EAST CANOPY ONLY

H1-H4 G6 SPANNERS: RECEIVE AND INSTALL (4)

i1-i4 P.O.P. DISPLAYS: RECEIVE AND INSTALL (2) CLAMSHELL POP DISPLAYS AND (2) FREESTANDING DISPLAYS

J1-J2 COMBO TRASH VALETS: RECEIVE AND INSTALL (4)

SCOPE OF WORK: RECEIVE AND INSTALL CHEVRON STANDARD UNDER CANOPY ITEMS



06.04.26 R8 VT: SHOW COMPARISON FOR SIGN A PROPOSED VS EXISTING SQ. FT. ONLY, NO OTHER CHANGES. 08.14.25 R7 VT: REVISE SIGN A HEIGHT PER ELEVATION, ADD SIGN A ELEVATION, AND PHOTO OF EXISTING/PREVIOUS SIGNAGE TO NEW PAGE, ALL PER DOUG SMITH, NO OTHER CHANGES. 07.23.25 R6 VT: CHANGE SIGN A EXISTING PHOTO PER DOUG SMITH. 07.21.25 R5 VT: REMOVE BRICK BASE FROM SIGN A, ADD SIGN E4, REMOVE VILLAGE MARKET OPTION, NO OTHER CHANGES, PERMIT PER DOUG SMITH. 07.16.25 R4 VT: PREP FOR PERMIT PER DOUG SMITH. 06.20.25 R3 VT: REVISE SIGN A TO A C-60 POLE SIGNS ON A CROSSMEMBER COVERED BY BRICK BASE PER DOUG SMITH, NO OTHER CHANGES. 05.02.25 R2 VT: ADD OPTIONS FOR SIGN A C-45 & C-60 POLE SIGNS PER DOUG SMITH, NO OTHER CHANGES. 03.24.25 R1 VT: REVISE SIGN A TO CHEVRON STANDARD C-45 POLE SIGN W/ BRIDGE SUPPORT & MASONRY BASE, ADD UNDER CANOPY ITEMS, ADD SIGN E OPTIONS (WALL SIGNS) ALL PER DOUG SMITH, NO OTHER CHANGES. 06.23.26 R10 VT: VARIOUS REDLINES FOR PERMIT PER DOUG SMITH. 06.19.26 R9 VT: ADD 1/2 HT APC TO SIGN A & SHOW LOGO LAYOUT & COLOT OPTIONS PER DOUG SMITH.

250123 RIO / 8 OF 8



PO Box 4590 | 204 Campus Way Modesto Ca 95350 | O 209.524.4484 | F 209.521.0272 | Ca LIC#268001 | C-45 | Nv Lic#0082570 | C-6

NOTICE TO THE CUSTOMER

Note: The colors depicted on this rendering may not match actual colors used on the finished display. Please refer to the detail drawing for the approved color specifications. Note: The cost of providing electrical wiring to the sign area, all required permits and all special inspections are not included in this sign proposal. Note: The proportion of signs shown on building & landscape area photos is an approximate representation.

CUSTOMER APPROVAL

☐ ACCEPTED

BY
DATE

DATE

NOTED

DATE	BY	DATE	BY
03.07.25	VT	.25	VT
03.24.25	VT		
05.02.25	VT		
06.20.25	VT		
07.16.25	VT		
07.21.25	VT		
07.23.25	VT		
08.14.25	VT		
06.19.26	VT		
06.23.26	VT		

COMPANY OR JOB NAME / JOB DESCRIPTION

250123 RIO

CHEVRON
SIGN PROGRAM

ADDRESS:

5720 CALIFORNIA | PESCADERO CALIFORNIA 94060

SALESPERSON:

DOUG SMITH

CUSTOMER CONTACT:

XXXXXX

NAME / DATE

8 OF 8

This sign is intended to be installed in accordance with the requirements of ARTICLE 600 of the national electrical code &/or other applicable codes. this includes proper grounding & bonding of the sign.

The location of the disconnect switch after installation shall comply w/ ARTICLE 600.6(A)(1) of the National Electrical Code.

All measures shown in this drawing are nominal until the "NOT FOR PRODUCTION" is removed