

NEW SINGLE FAMILY HOME - COWGILL RESIDENCE

APN 037-278-130 / 0 PRECITA AVENUE, MOSS BEACH

GENERAL NOTES

Before submitting a proposal for this work, the bidder shall visit the site and learn the existing conditions. The bidder shall examine the plans and specifications and base their bid on them. During construction, no changes from plans and specifications shall be made without written consent of the Designer and Owner. Structural changes must be approved by the Designer and the Structural Engineer. Information contained within these documents shall not be construed to permit work not conforming to the applicable codes.

The General Contractor (G.C.) shall obtain and pay for all permits (except those paid for by the Owner) and licenses and shall give all notices. The G.C. shall review all documents to coordinate with the existing site conditions. The G.C. is required to comply with all current Codes, Ordinances, & Regulations related to this project. Any conflict between drawings, specifications, and ordinances shall be immediately referred to the Designer in writing. The G.C. for this work shall be currently licensed by the State of California. The employees and subcontractors used by the G.C. to construct and finish the work shown on the plans must all be skilled workmen under the directions of a competent foreman. The G.C. shall continuously maintain adequate protection of all work from damage and shall protect the Owner's property and adjacent property from injury, damage, or loss arising from this contract.

The G.C. shall, at all times, keep the premises and streets free of waste caused by the work, and at completion, shall remove all waste, surplus materials and equipment and leave the work 'broom clean'. Roadways shall be maintained clear of construction debris at all times. Daily road cleanup will be enforced. The G.C. shall verify the location of all existing underground utilities prior to excavation and shall maintain, keep in service, and protect against damage, all existing utilities and city services during construction. Any existing utilities to be abandoned shall be properly disconnected, plugged, or capped as required by code and/or sound construction practices. G.C. to provide an operation and maintenance manual to occupant or owner per section 4.410.1.

The Owner may order extra work or make changes by altering, adding to, or deducting from the work. The Contract sum shall be adjusted accordingly and adequate records shall be kept by the G.C. to substantiate any additional charges. All work shall be executed under the conditions of the original Contract Documents.

The Owner shall not be liable or responsible for any accident, loss, injury, or damages happening or accruing during the term of the performance of the work and in connection therewith, to persons and/or property. The G.C. shall have in full force and effect during the life of this Contract, full coverage Liability and Workman's Compensation Insurance, which shall comply with California laws and will not be canceled or changed during the term of this Contract without notice being given to the Owner, and shall require all intermediate and Subcontractors to take out and maintain similar policies of Insurance.

In addition to guarantees called for elsewhere in these specifications, the G.C. shall guarantee all work for a period of one (1) year after notice of completion is filed, against defective materials or faulty workmanship, that is discovered and reported within that period.

The site plan is based on plot plans transferred by the Owner or the local City or County Governments. The Designer takes no responsibility for the accuracy of property lines and their relationship to existing and proposed structures. Measurements are approximate and will need to be verified in the field by the G.C. When layout or detail questions arise, the Designer shall be contacted.

In general the drawings will indicate dimensions, position, type of construction, specifications, qualities and methods. Any work indicated on the drawings, and not mentioned in the specifications, or vice versa shall be furnished as through fully set forth in both. Work not particularly detailed, marked, or specified shall be the same as similar parts that are detailed marked or specified. Where no specific detail is shown, the framing or construction shall be identical or similar to that indicated for like cases of construction on the project. The larger the scale of the drawing, the more precedent, i.e.: 3 inches per foot scale governs 1/4 inch per foot scale. Written dimensions on these drawings shall have precedence over scaled dimensions. Written dimensions are approximate and must be verified by G.C. The G.C. shall verify, and be responsible for all existing conditions and dimensions prior to and during all phases of work.

The site plan is based on the Survey. The Designer takes no responsibility for the accuracy of property lines and their relationship to existing and proposed structures. Measurements are approximate and will need to be verified in the field by the G.C. and Surveyor. When layout or detail questions arise, the Designer shall be contacted.

If any Subcontractor finds any lack of information, discrepancy, and/or omissions in these drawings, or if the Subcontractor is unclear as to the drawings' meaning and/or intent, the Subcontractor shall contact the G.C., who shall then contact the Designer at once for interpretation and/or clarification before proceeding with that portion of work.

The G.C. shall provide adequate concealed blocking and anchoring for all ceiling and wall mounted equipment, hardware, fixtures, and accessories.

Exterior open-able windows and doors shall be weatherstripped. All open joints, penetrations, and other openings in the building envelope shall be sealed, caulked, gasketed, and/or weatherstripped to limit, or eliminate air leakage.

All inspections require 24 hour notice.

Construction working hours shall not exceed beyond 7am to 6pm Monday though Friday without written permission from San Mateo County.

Construction work within the street or sidewalk right-of-way shall only be done between 9am and 4pm, Monday through Friday, except City holidays, without written permission from the City Engineer.

There shall be no structural encroachment into the public right-of-way.

A copy of the approved set of plans will be available for building inspector and fire department review on site at all times.

PROPERTY INFO:

- 0 PRECITA AVENUE, MOSS BEACH, CA 94038
- APN: 037-278-130
- R-1 SINGLE FAMILY RESIDENTIAL
- OCCUPANCY GROUP: R-3/U
- CONSTRUCTION TYPE: V-B
- SINGLE FAMILY RESIDENCE:
 - MAIN DWELLING - 3 BEDROOMS, 2.5 BATHROOMS
 - ADU - 1 BEDROOM, 1 BATHROOM
- TWO STORY HOUSE WITH 2 CAR GARAGE AND ATTACHED ADU
- WOOD FRAMED HOUSE WITH FIBER CEMENT SIDING

APPLICABLE CODES:

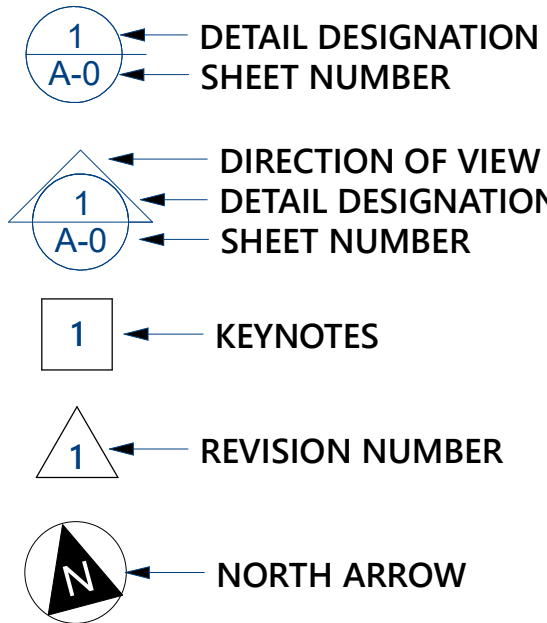
ALL WORK SHALL MEET OR EXCEED THE MINIMUM STANDARDS OF THE FOLLOWING CODES;

- CBC 2025 California Building Code
- CRC 2025 California Residential Building Code
- CFC 2025 California Fire Code
- CMC 2025 California Mechanical Code
- CPC 2025 California Plumbing Code
- CEC 2025 California Electrical Code
- CEnC 2025 California Energy Code
- CGBC 2025 California Green Code

SCOPE OF WORK:

SINGLE FAMILY RESIDENCE WITH ATTACHED 2 CAR GARAGE AND ADU

SYMBOLS

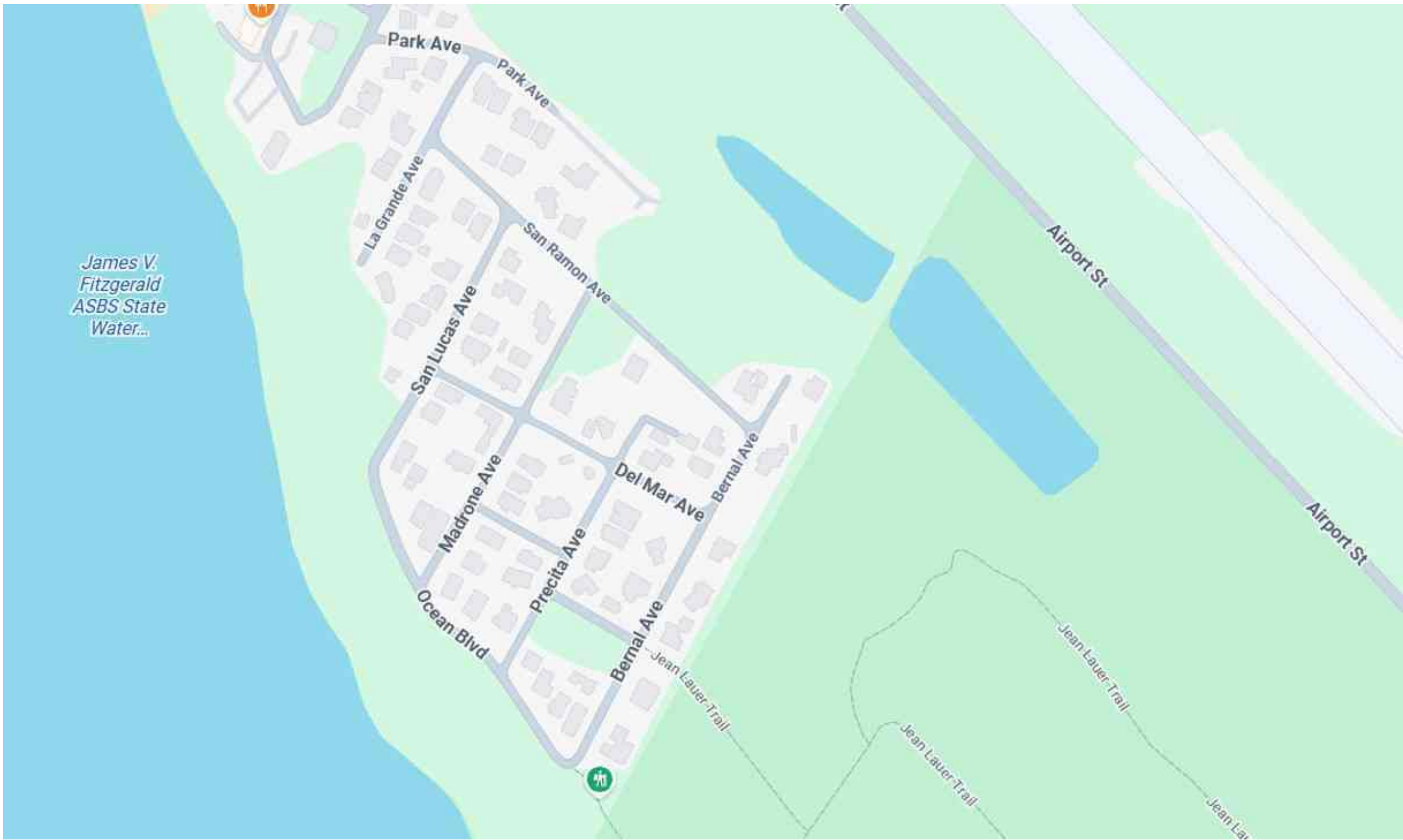


DRAWING INDEX:

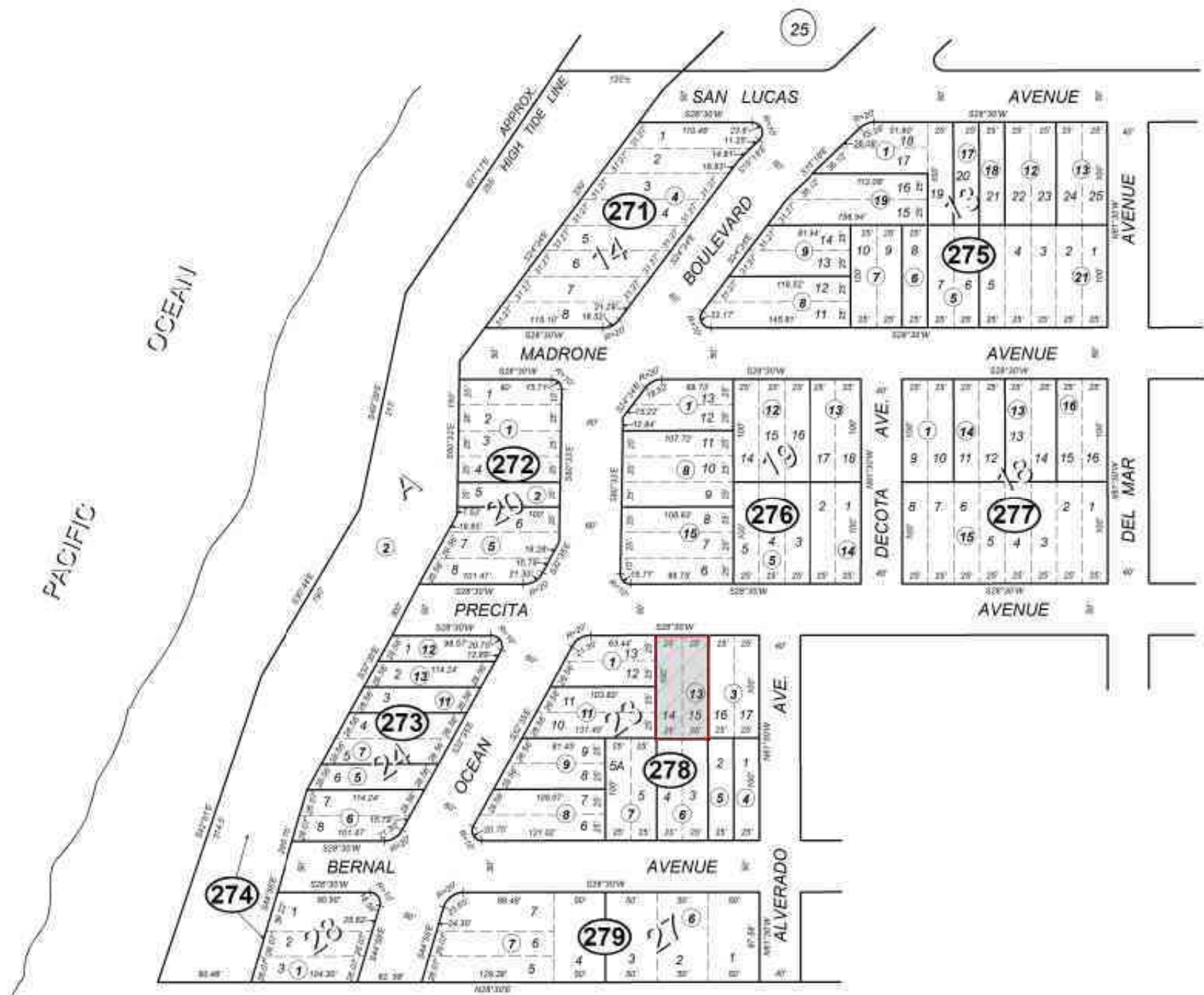
- C-S COVER SHEET
- A-1 SITE PLAN
- A-2 PROPOSED FLOOR PLAN
- A-3 PROPOSED ROOF PLAN
- A-4 PROPOSED ELEVATIONS
- A-5 CROSS SECTIONS
- A-6 COLOR STUDY
- A-7 WINDOW & DOOR SCHEDULE
- BMP BEST MANAGEMENT PRACTICES
- C-1 PRESCRIPTIVE GRADING AND DRAINAGE PLAN
- C-2 EROSION AND SEDIMENT CONTROL PLAN
- L-1 SITE PLAN
- L-2 PERVIOUS/IMPERVIOUS PLAN
- L-3 PLANTING PLAN
- SURVEY

SITE DATA

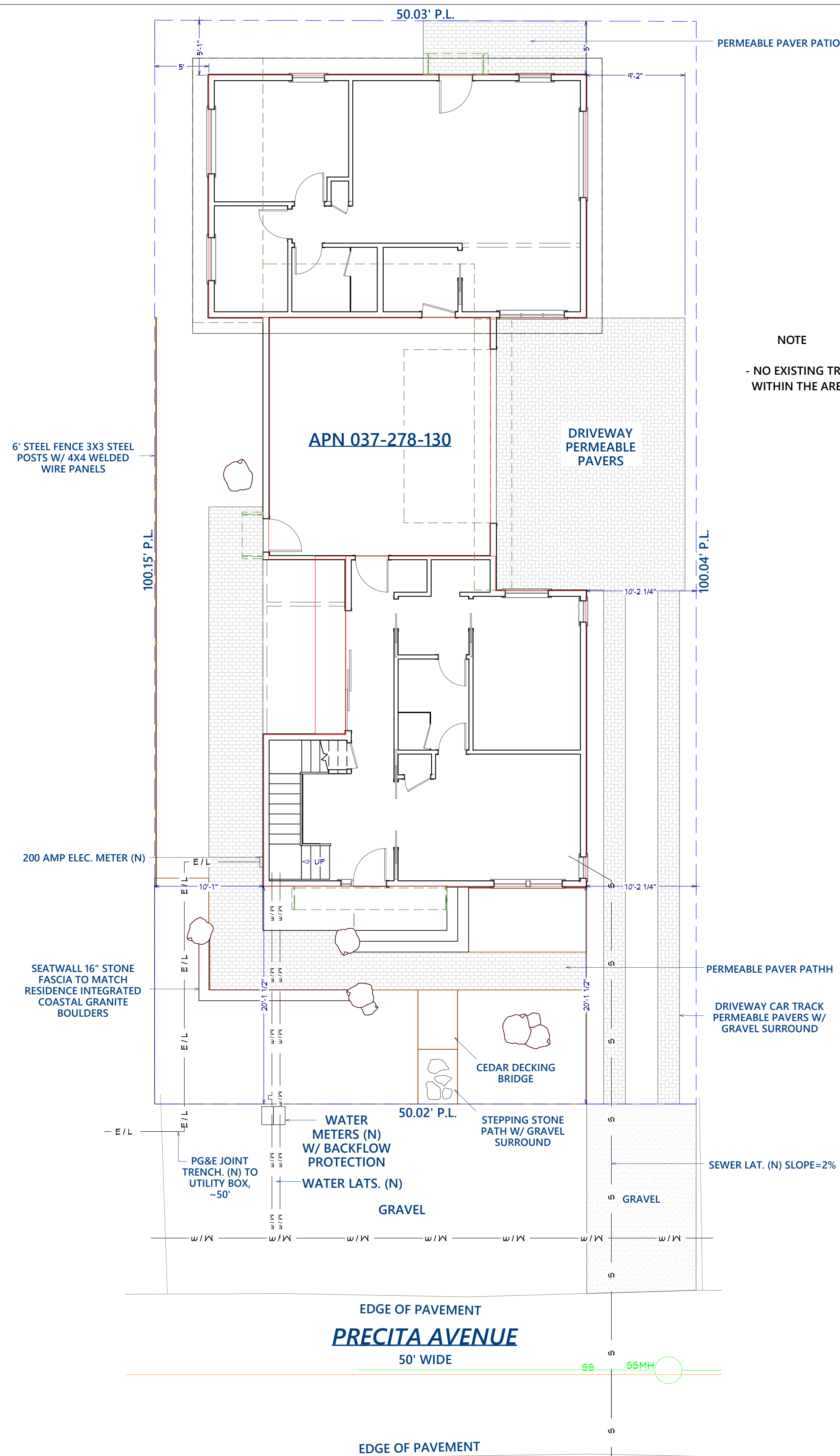
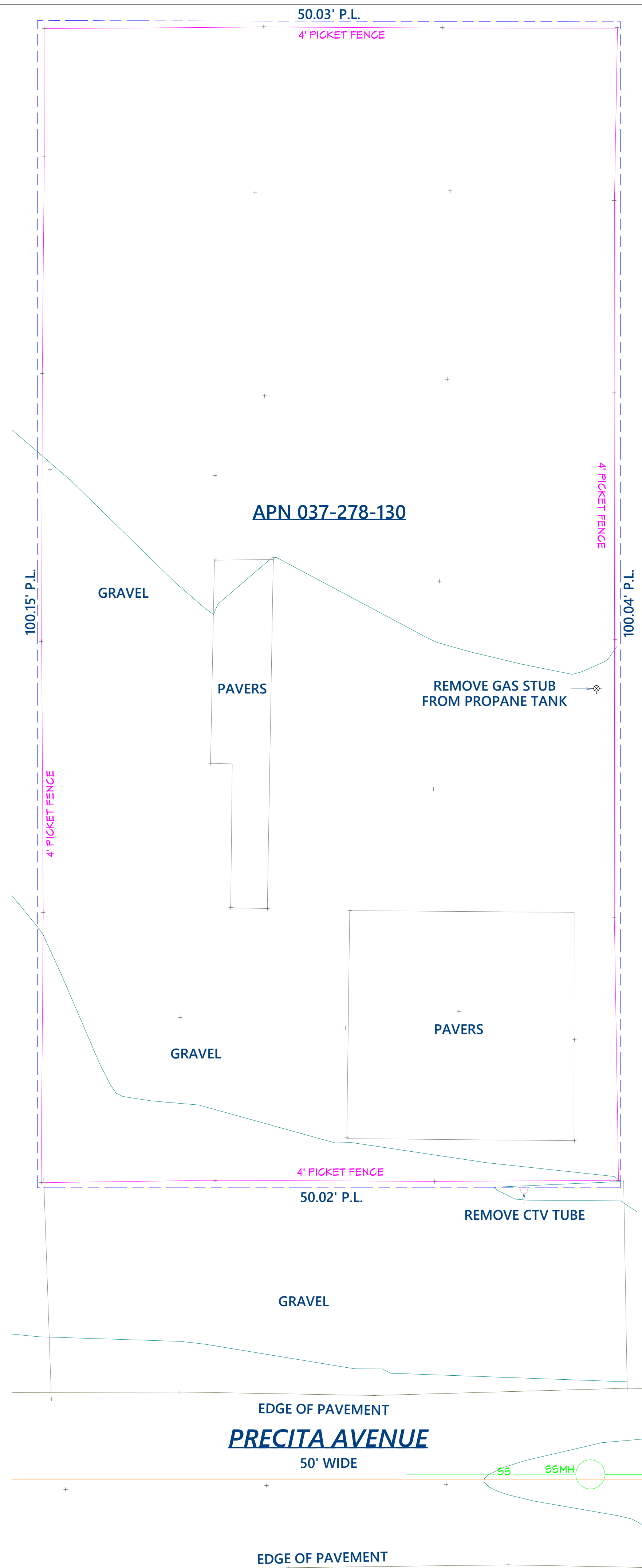
	PROPOSED	
	AREA (SQ. FT.)	%
LOT AREA	5,000	
PARCEL COVERAGE	*1,250	25.0
FLOOR AREA	*FIRST FLR.	756
	OPEN DECK	90
	*GARAGE	452
	ADU	778
	SECOND FLR.	1,144
	TERRACE	51
	*CANTILEVER	42
	TOTAL:	2,352 47.0



VICINITY MAP

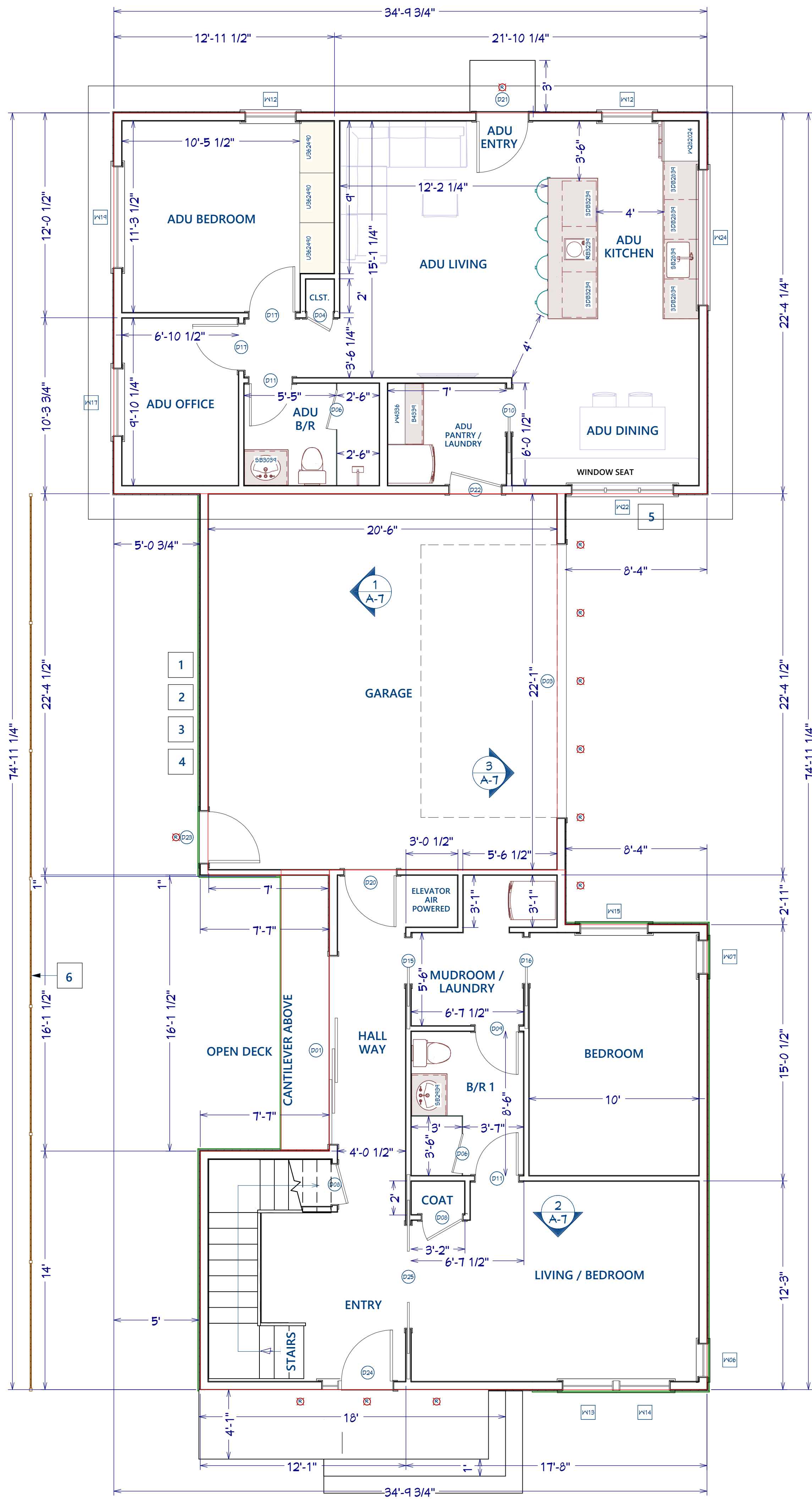


PARCEL MAP



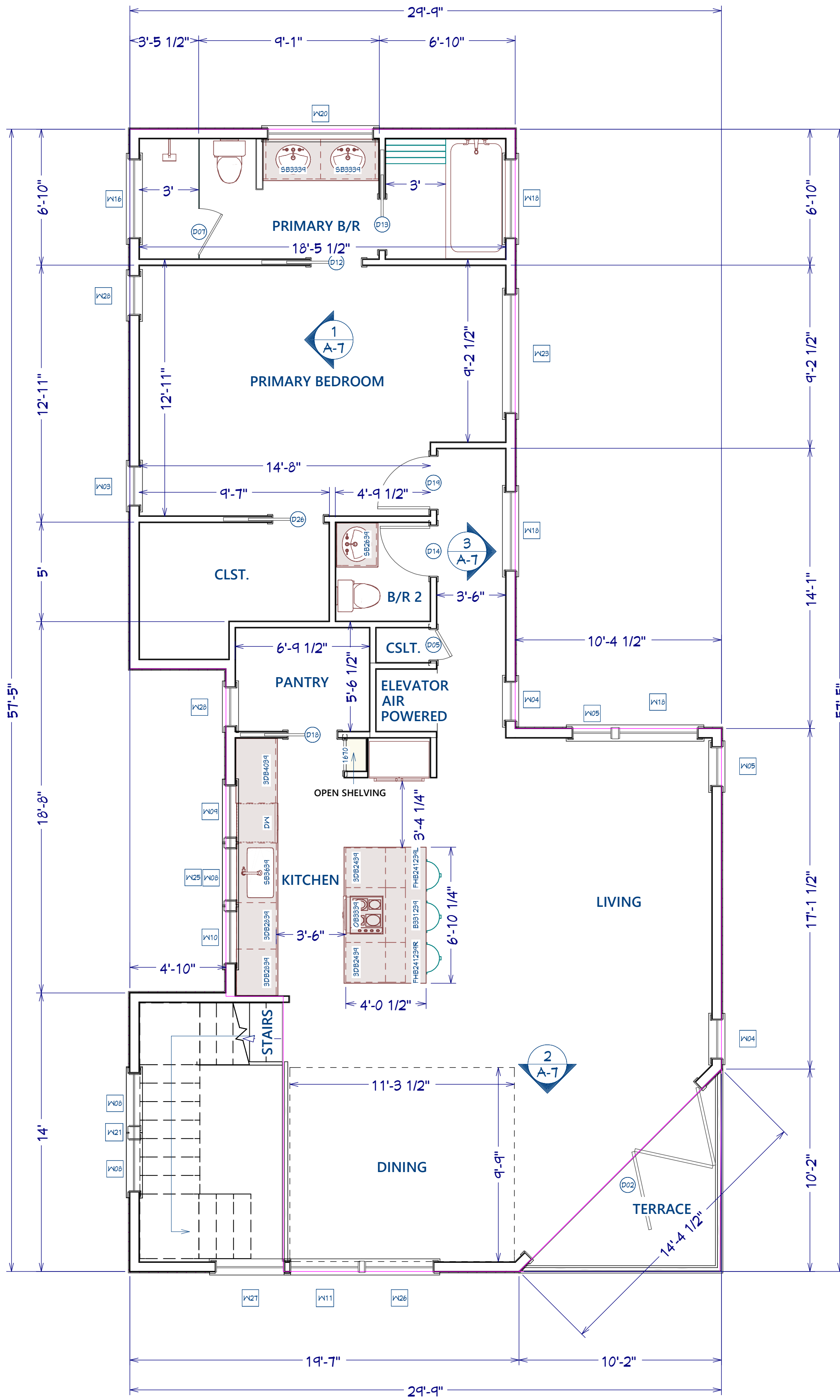
NOTE

- NO EXISTING TREES ARE LOCATED ON THE PROJECT PARCEL OR WITHIN THE AREA AFFECTED BY CONSTRUCTION



1
A-2
1/4" = 1'

2
A-2
1/4" = 1'



- KEYNOTES
- 1 - HEAT PUMPS
 - 2 - 3 TESLA POWER BANKS
 - 3 - FILTRATION SYSTEM
 - 4 - SPIGOT
 - 5 - STORAGE BIN AREA
 - 6 - 6" STEEL FENCE
- NOTES
- ALL ELECTRICAL APPLIANCES
 - RECESSED WEATHERPROOF CAN LIGHT = ☐
 - EXTERIOR LIGHTING TO SHALL BE SHIELDED, DOWNWARD, AND LOW-GLARE
 - MAT SLAB FOUNDATION THROUGHOUT

REVISIONS



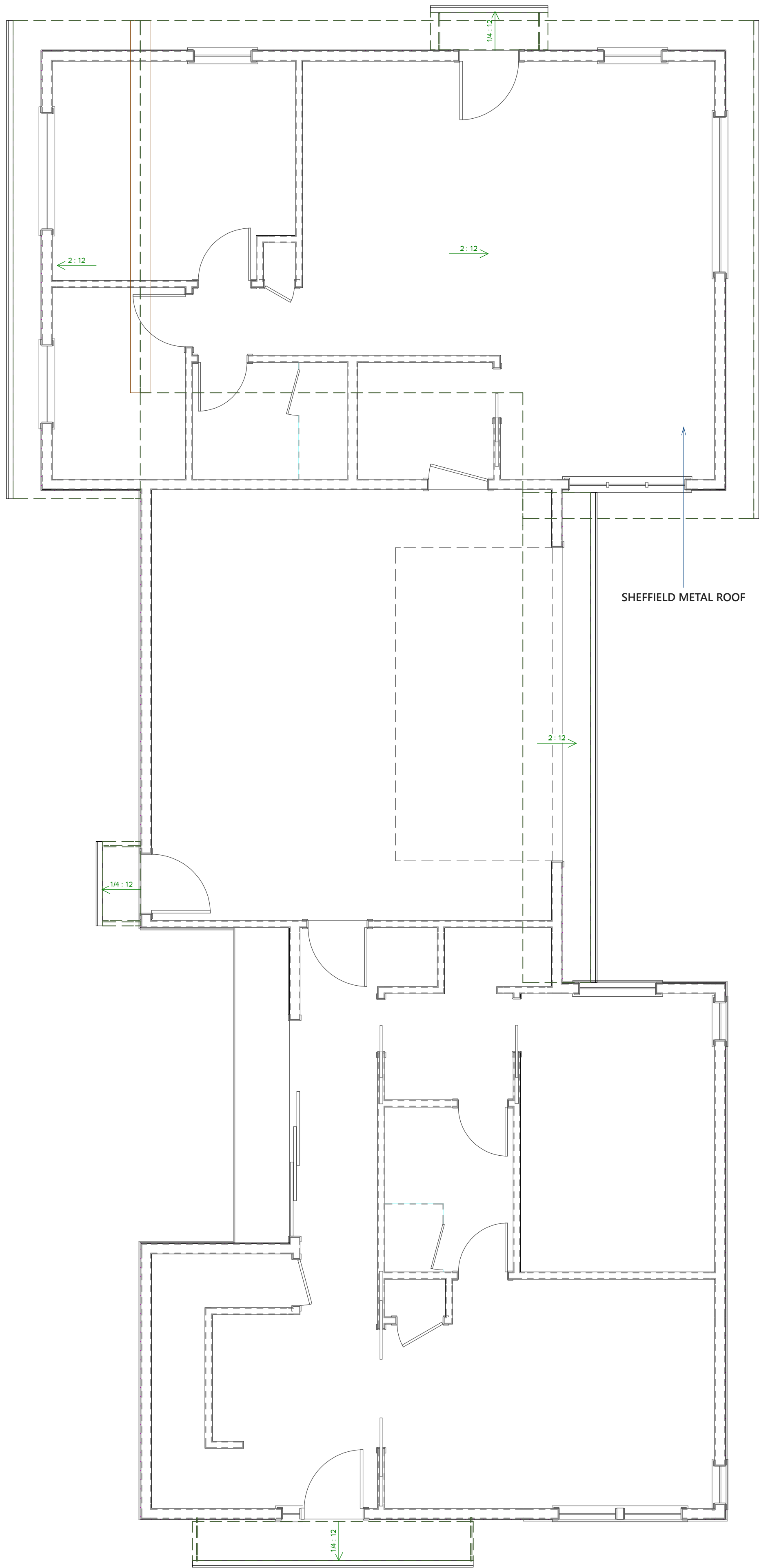
DESIGNED BY: **Chezare G. Santini**
Santini Creations
1361 HERMOSA AVENUE
PACIFICA, CA 94044
(650) 438-6445
chez@santini creations.com

New Single Family Dwelling / ADU
Cowgill Residence
0 Precita Avenue,
Moss Beach, Ca. 94038

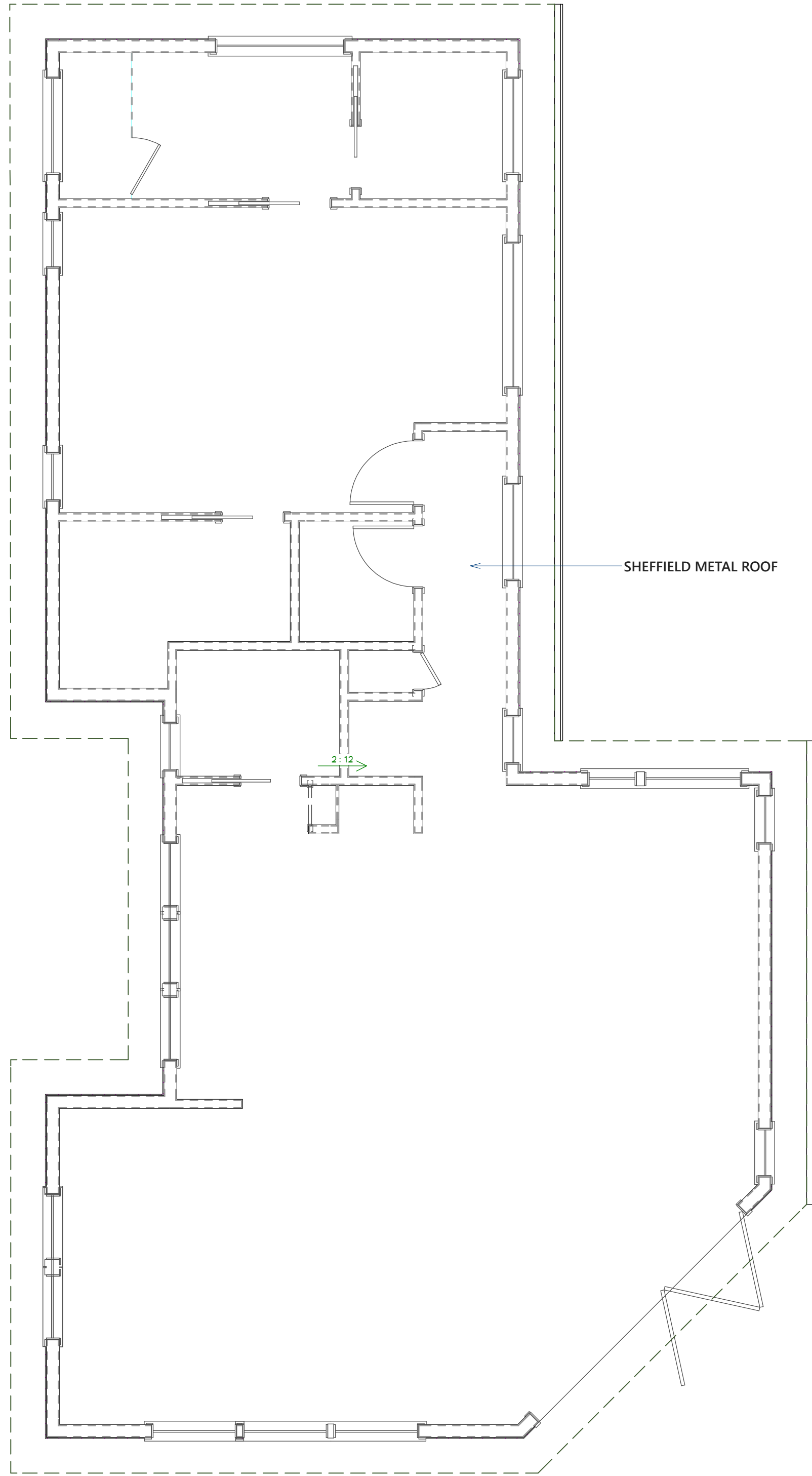
PROPOSED FLOOR PLAN

DATE: 4/30/2026
JOB: COWGILL
SHEET:

A 2



1
A-3
1/4"=1'
1ST FLOOR ROOF PLAN



2
A-3
1/4"=1'
2ND FLOOR ROOF PLAN



REVISIONS



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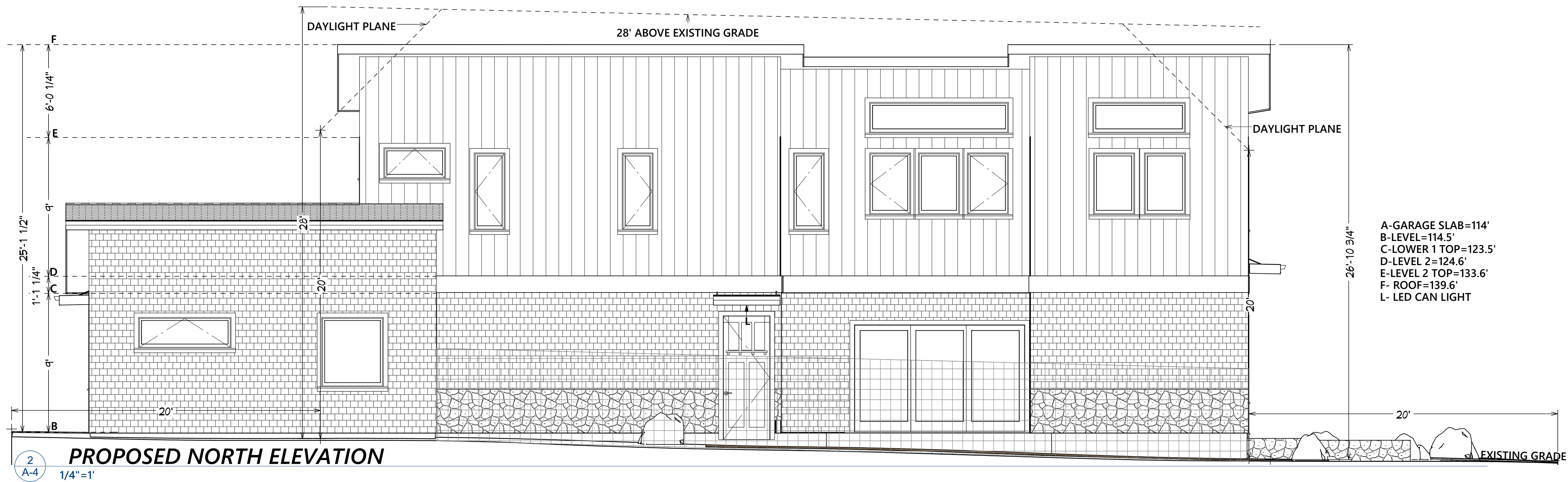
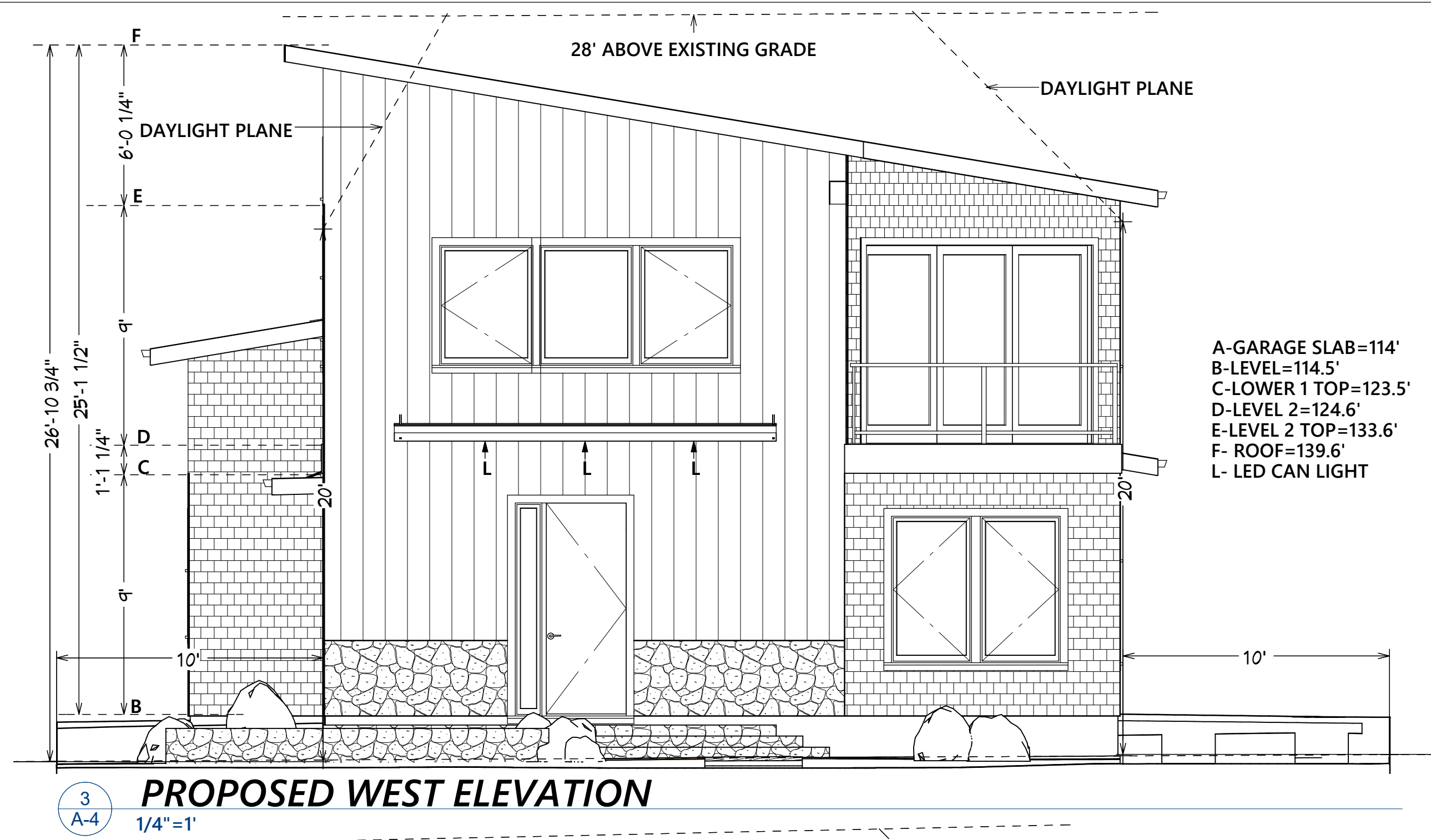
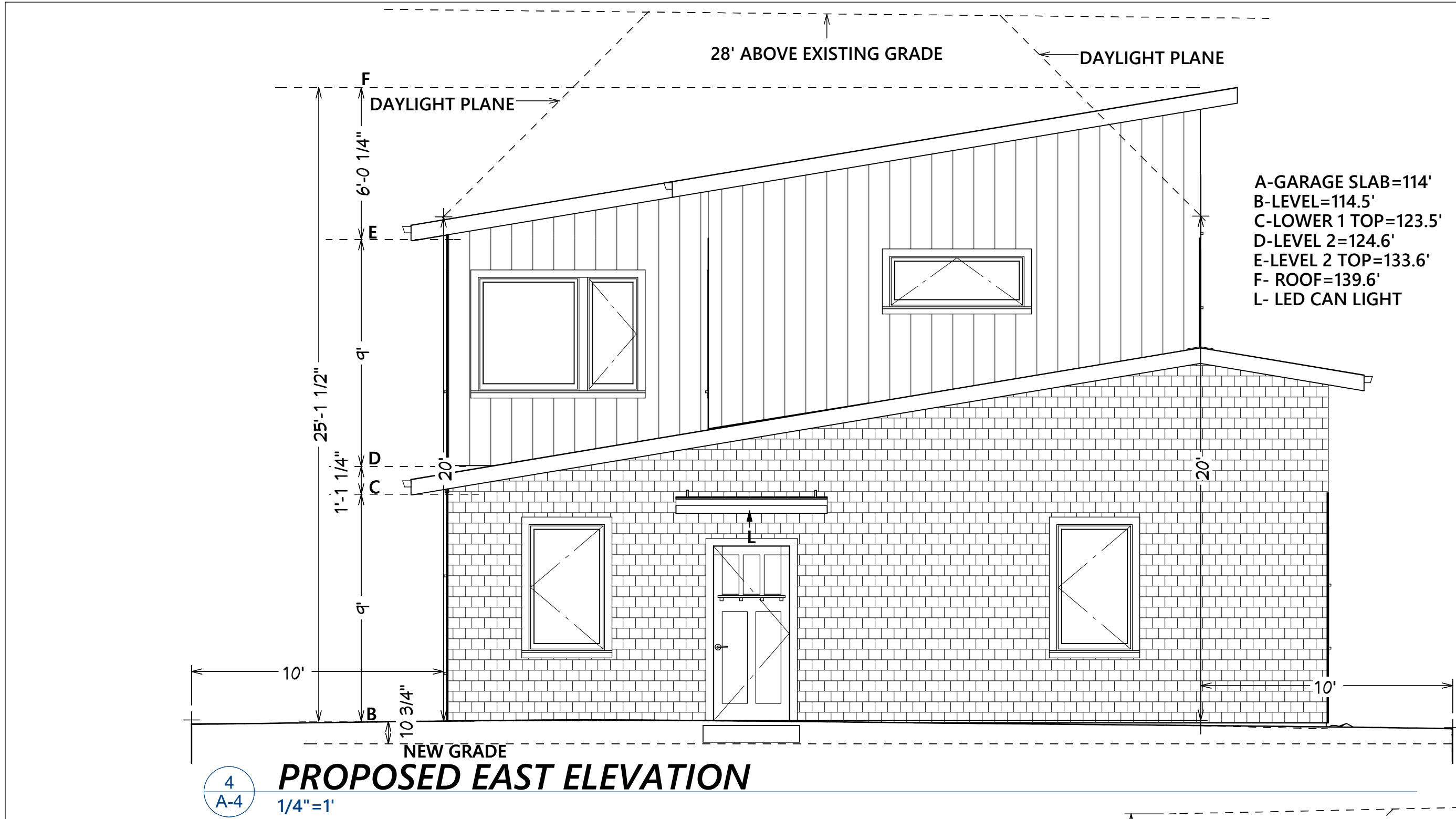
PROPOSED ROOF PLAN

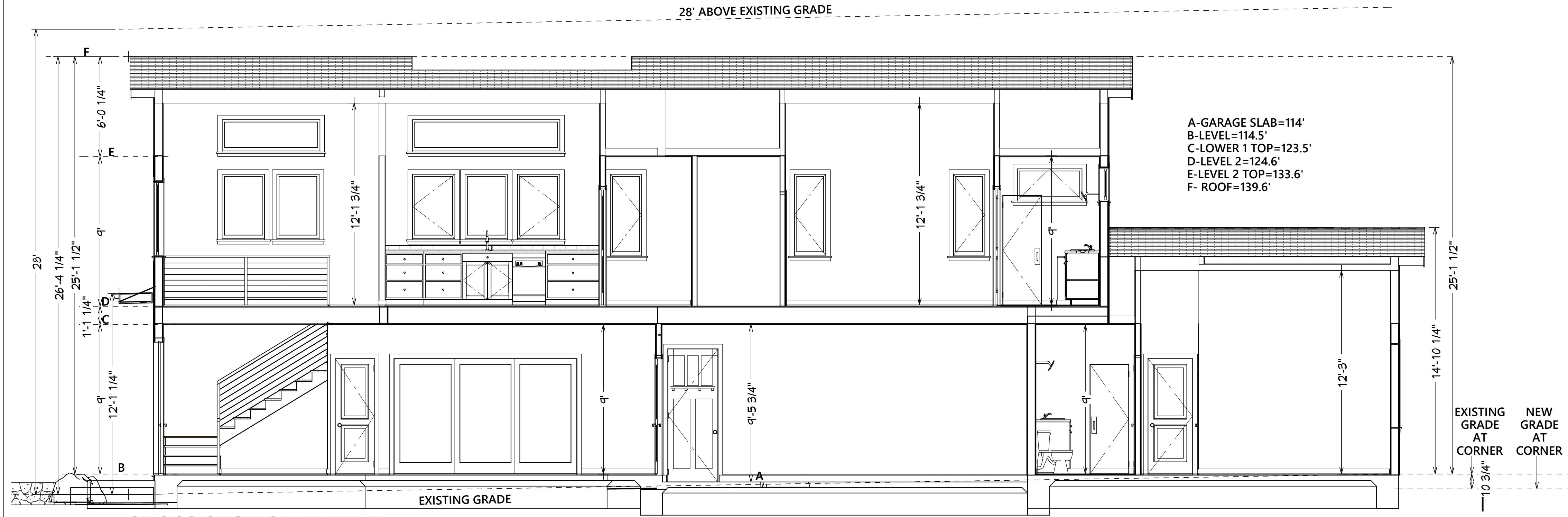
DATE: 4/30/2026

JOB: COWGILL

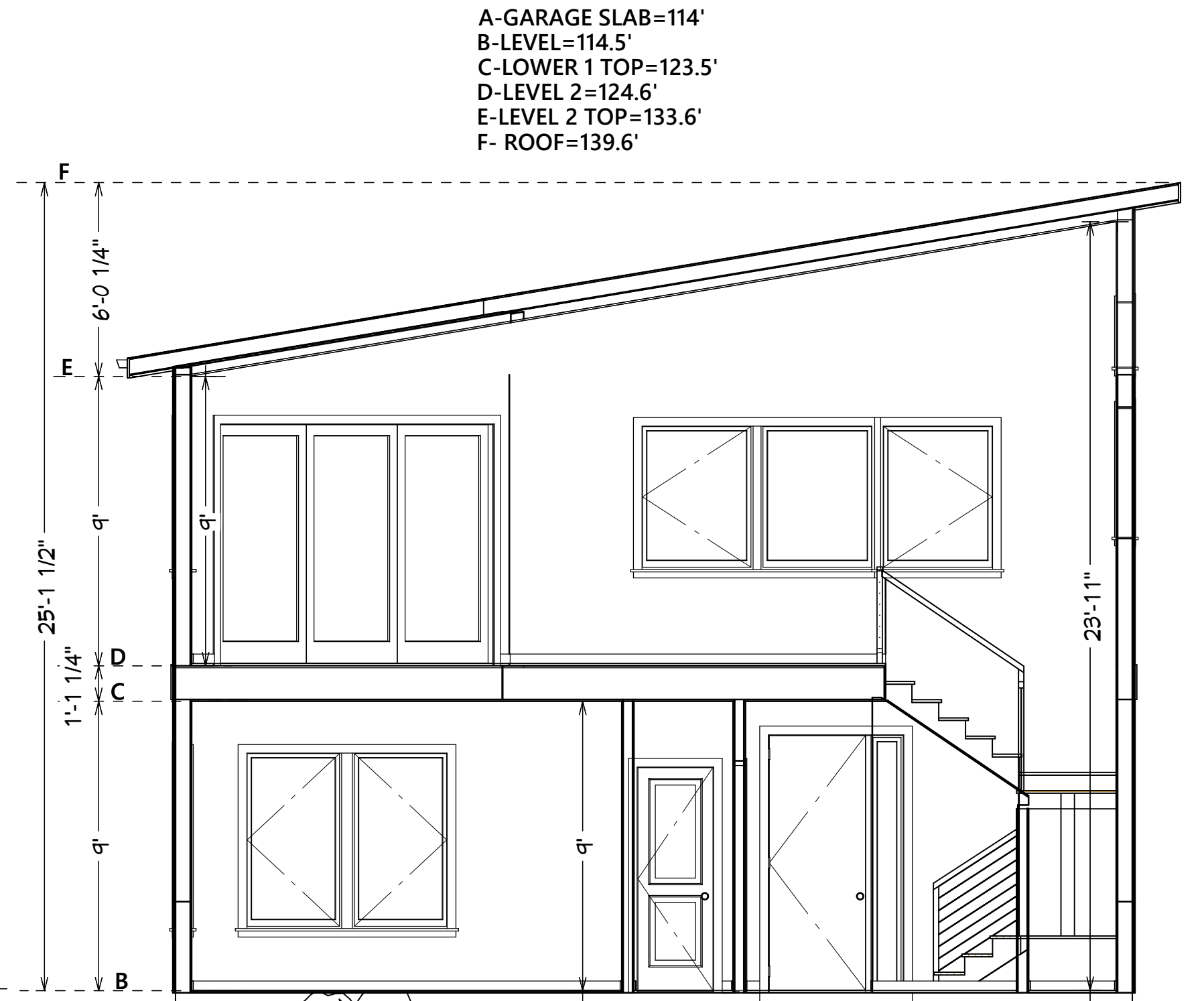
SHEET:

A 3

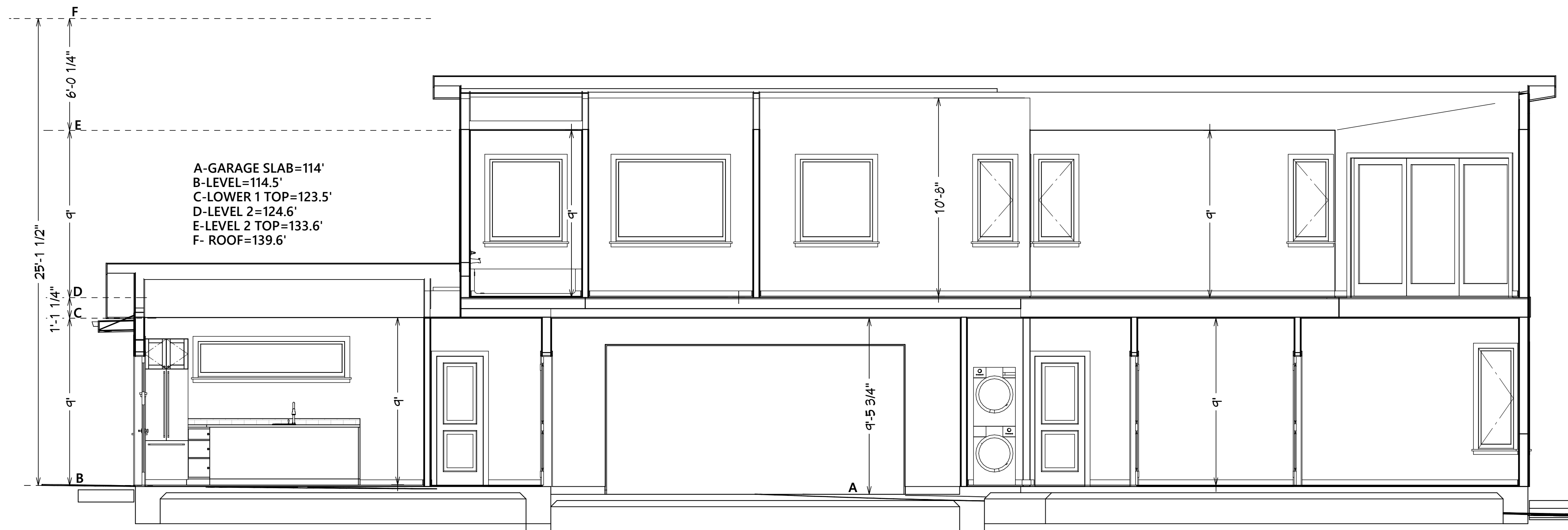




1
A-5
CROSS SECTION DETAIL
1/4"=1'



2
A-5
CROSS SECTION DETAIL
1/4"=1'



3
A-5
CROSS SECTION DETAIL
1/4"=1'



Clopay
Modern Steel 8 ft x 7 ft Insulated 18.4 R-Value Wood Look Plank Coastal Gray Garage Door without Windows

- Efficient 3-layer steel construction ensures durability
- Extension springs help with smooth movement and installation
- Modern contemporary style garage door delivering clean lines
- [View More Details](#)



Quick Marine - Sonia 4W LED Downlight - 10/30V DC

SKU: APL210593-V9
MPN: FASP0912X11CE00
UPC: 8057090210521
Color Temperature: Required *Daylight (4200K)*
Daylight (4200K) v
Finish: Required *Stainless Steel*
Stainless Steel v



1. Monterey Taupe
2. Monterey Taupe
3. Midnight Black
4. Tumbled Desert Wind
5. White Oak

COLOR SCHEME

4 A-6 GARAGE DOOR SPECIFICATIONS

LEON: EXTERIOR WHITE OAK FLUSH DOOR WITH VERTICAL GRAIN (1-3/4")

[LEON]



5 A-6 ENTRY DOOR SPECIFICATIONS



COLOR STUDY

1 A-6 1/4" = 1'

REVISIONS



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COLOR STUDY

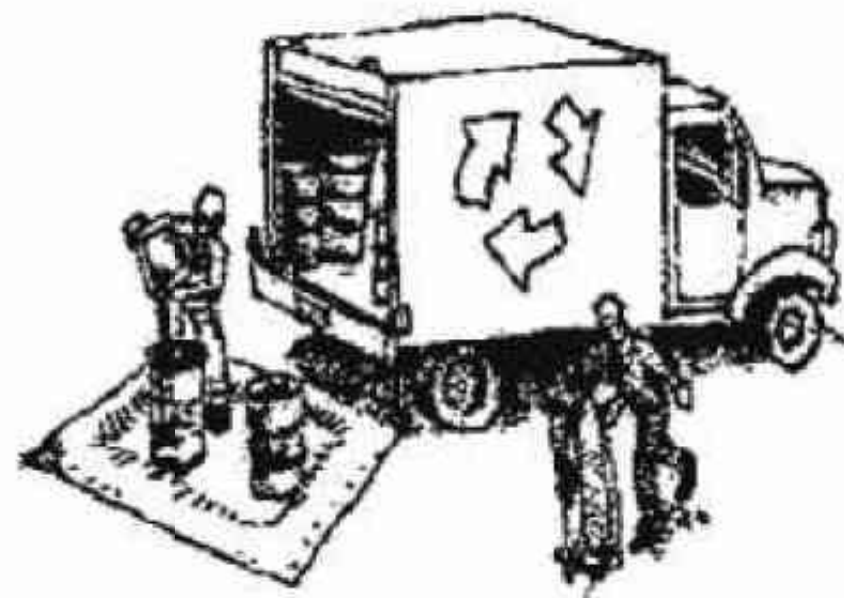
DATE: 4/30/2026
JOB: COWGILL
SHEET:

A 6

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



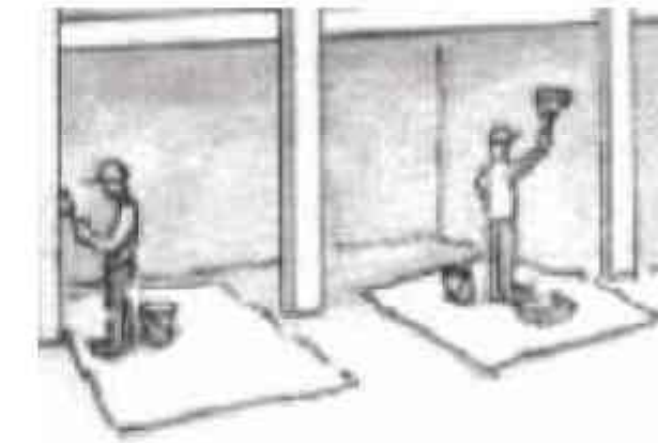
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

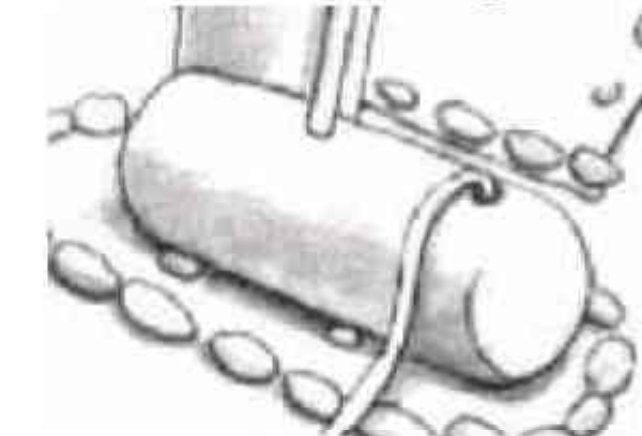
Painting & Paint Removal



Painting Cleanup and Removal

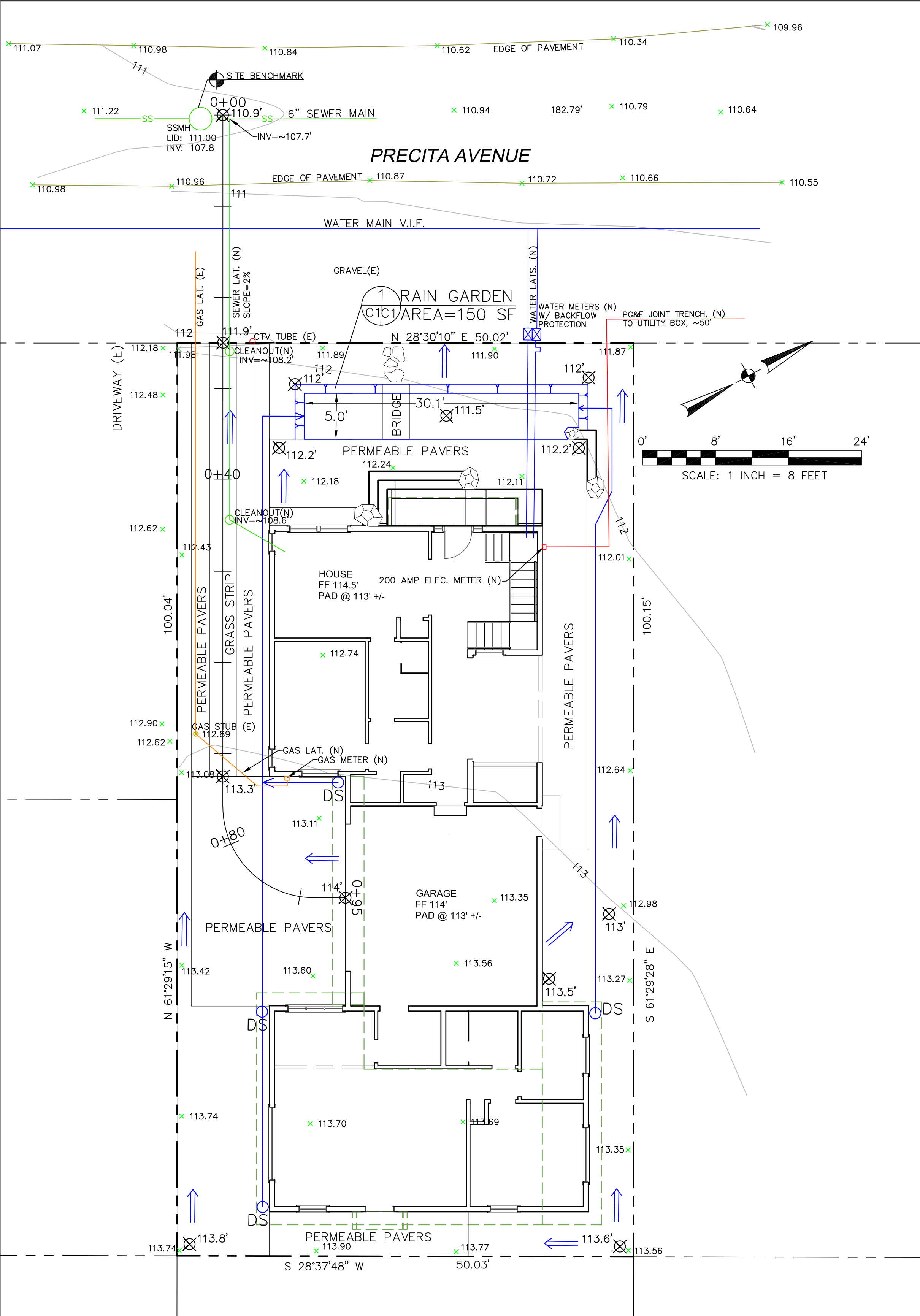
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

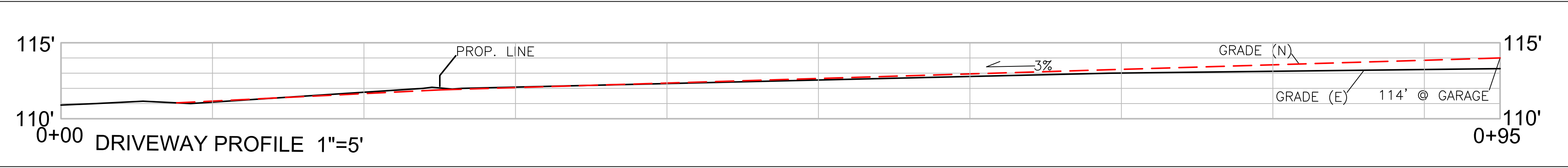
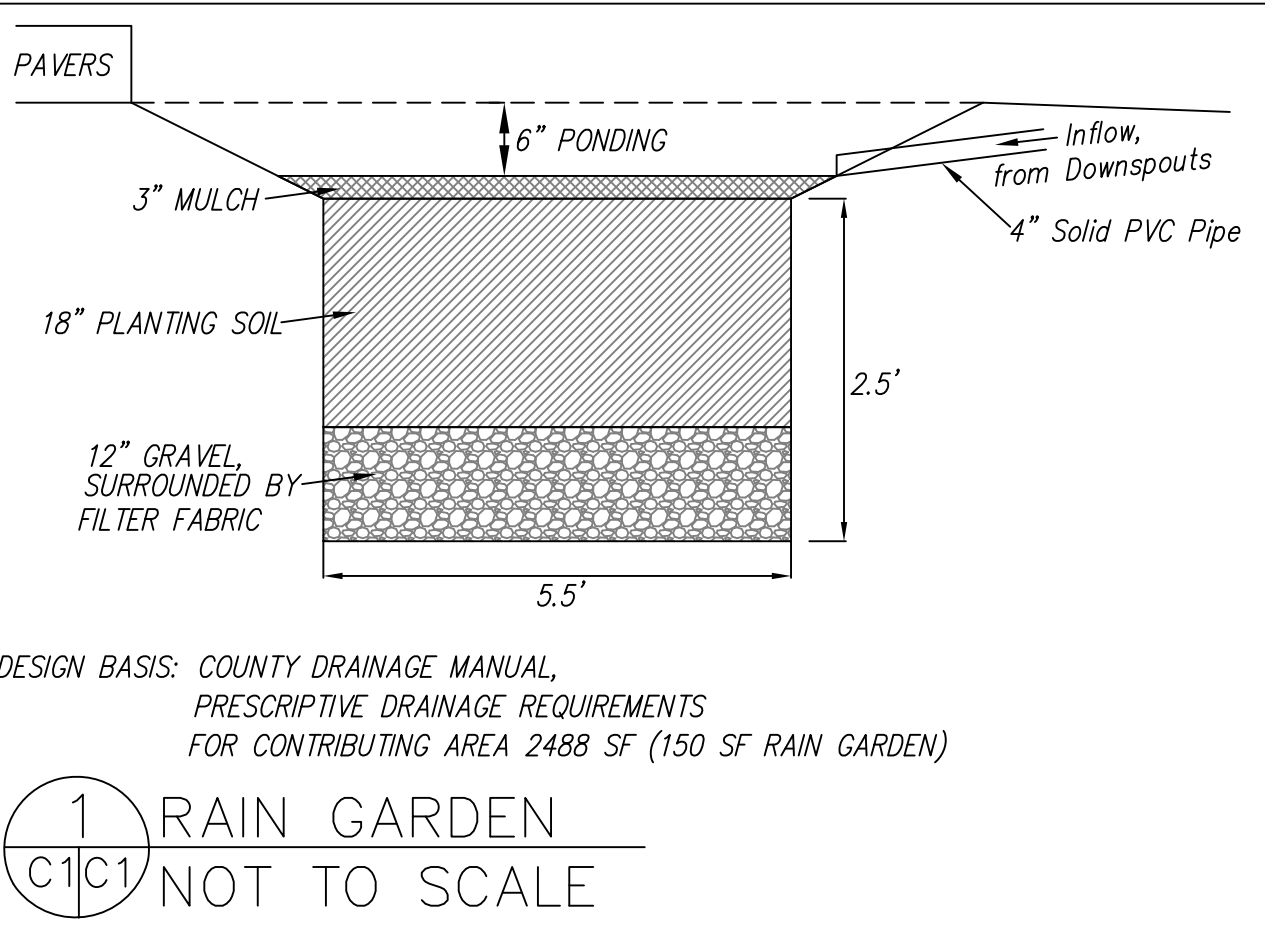
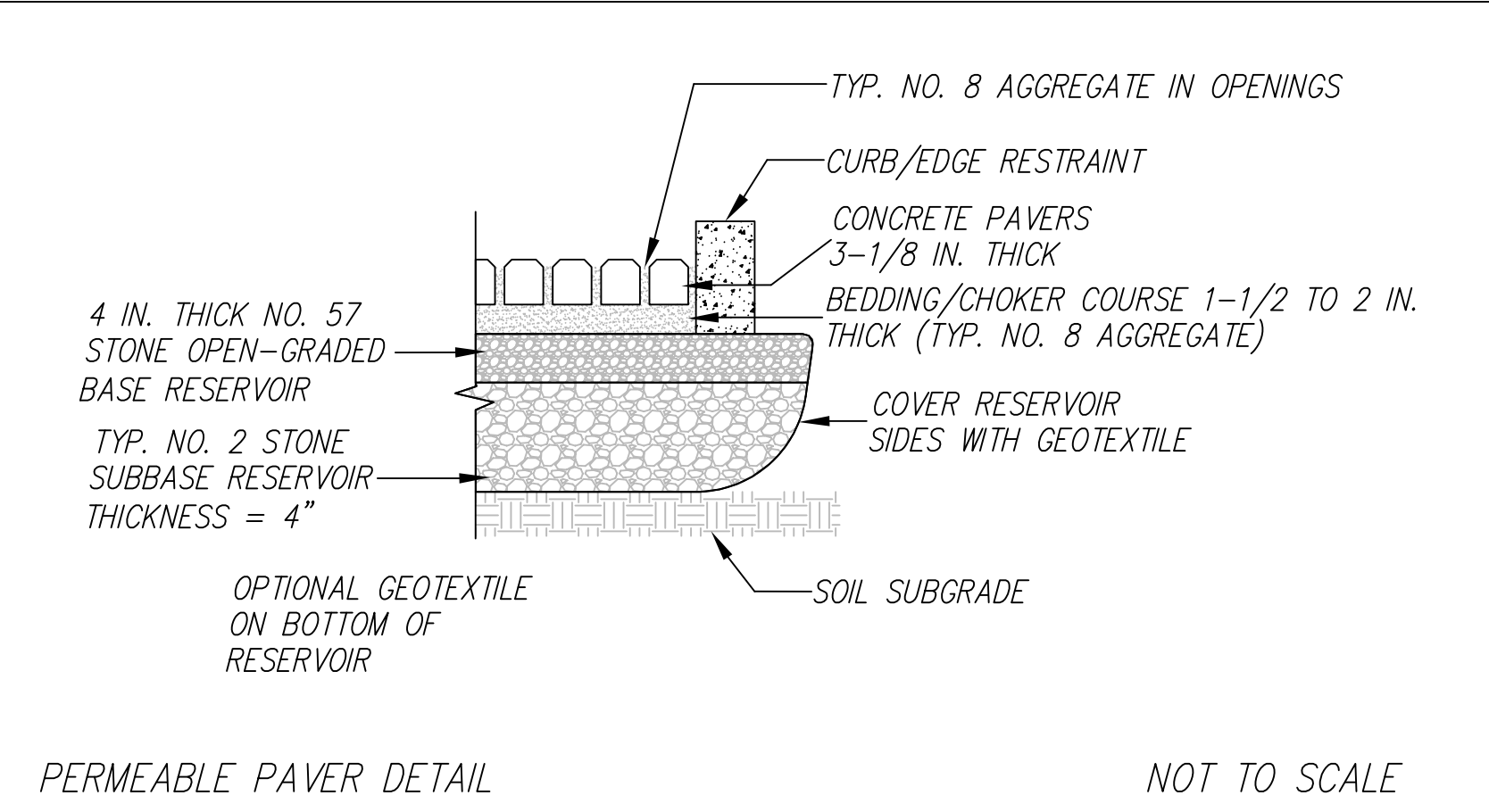
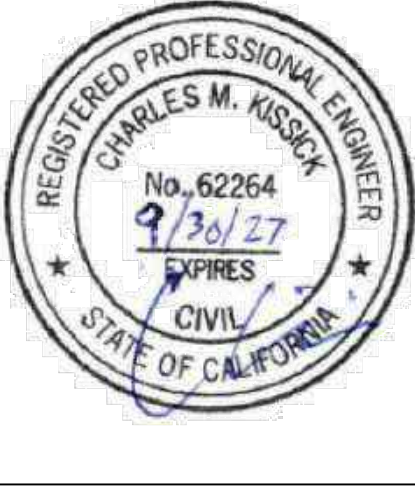
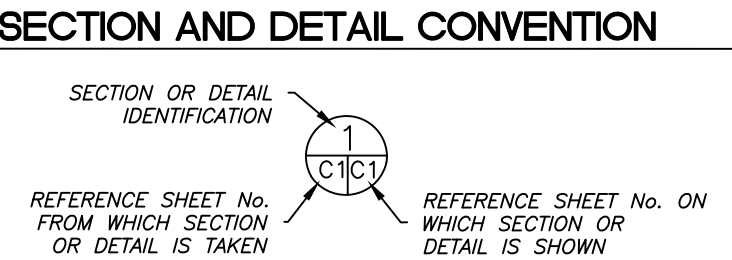


- LEGEND**
- EXISTING CONTOURS
 - EXISTING SPOT ELEVATION
 - PROPOSED SPOT ELEVATION
 - DOWNSPOUT
 - 4" SOLID DRAIN PIPE
 - DIRECTION OF SURFACE DRAINAGE

- GENERAL NOTES**
- PLANS PREPARED AT THE REQUEST OF:
AMY COWGILL, OWNER
 - TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 8/5/24.
 - THIS IS NOT A BOUNDARY SURVEY.
 - ELEVATION DATUM NAVD88.

- DRAINAGE NOTES**
- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
 - ALL NEW DOWNSPOUT DRAIN LINES SHALL LEAD TO RAIN GARDEN, AS SHOWN.
 - ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
 - IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE RAIN GARDEN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

- GRADING NOTES**
- CUT VOLUME : 100 CY (FOR FOUNDATION, RAIN GARDEN)
FILL VOLUME: 0 CY
- VOLUMES ABOVE ARE APPROXIMATE.
- THE SUBGRADE BELOW PERMEABLE PAVERS SHALL BE UNCOMPACTED.
- ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.
- ALL TRENCHES UNDER PROPOSED PAVED AREAS SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.



PRESCRIPTIVE GRADING AND DRAINAGE PLAN	DATE: 4-28-26		Sigma Prime Geosciences, Inc.
	DRAWN BY: OMK		
	CHECKED BY: AZG		
	REV. DATE:		
	REV. DATE:		
COWGILL PROPERTY PRECITA AVENUE MOSS BEACH APN 037-278-130	REV. DATE:	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593	
	SHEET		
	C-1		

GENERAL EROSION AND SEDIMENT CONTROL NOTES

FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.



EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

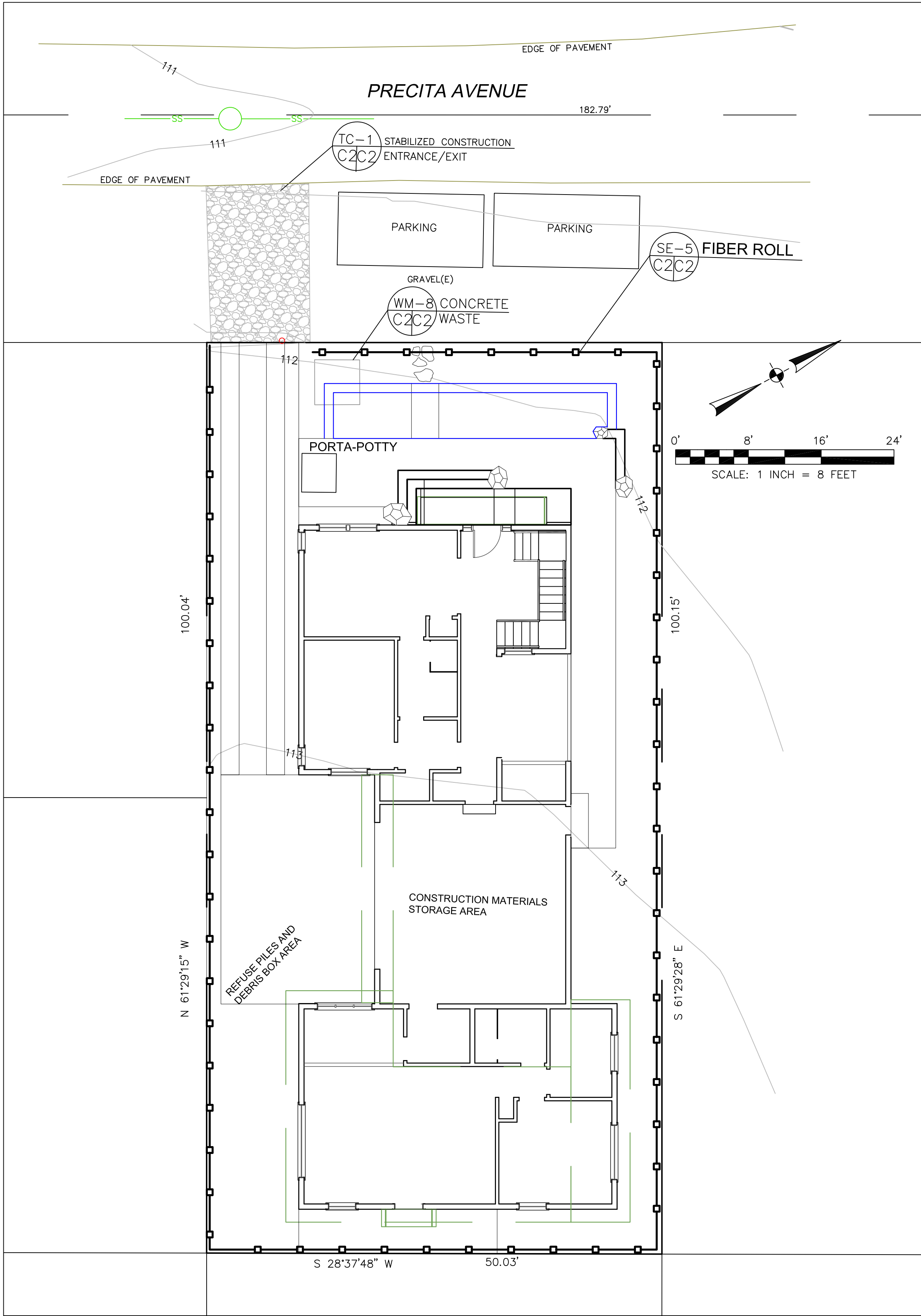
NAME: AMY COWGILL
TITLE/QUALIFICATION: OWNER
PHONE: 617-633-7851
PHONE:
E-MAIL: ATCOWGILL@GMAIL.COM

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
332 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX 728-3593

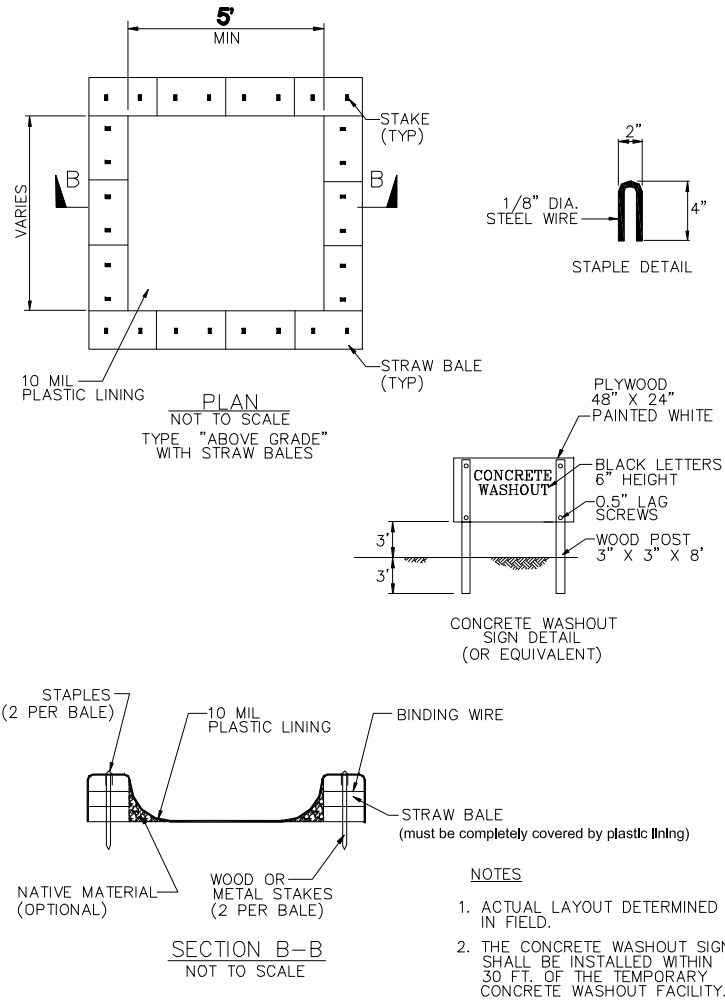
DATE: 4-28-26
DRAWN BY: CMK
CHECKED BY: AZG
REV. DATE:
REV. DATE:
REV. DATE:

EROSION AND SEDIMENT
CONTROL PLAN
COWGILL PROPERTY
PRECITA AVENUE
MOSS BEACH
APN 037-278-130

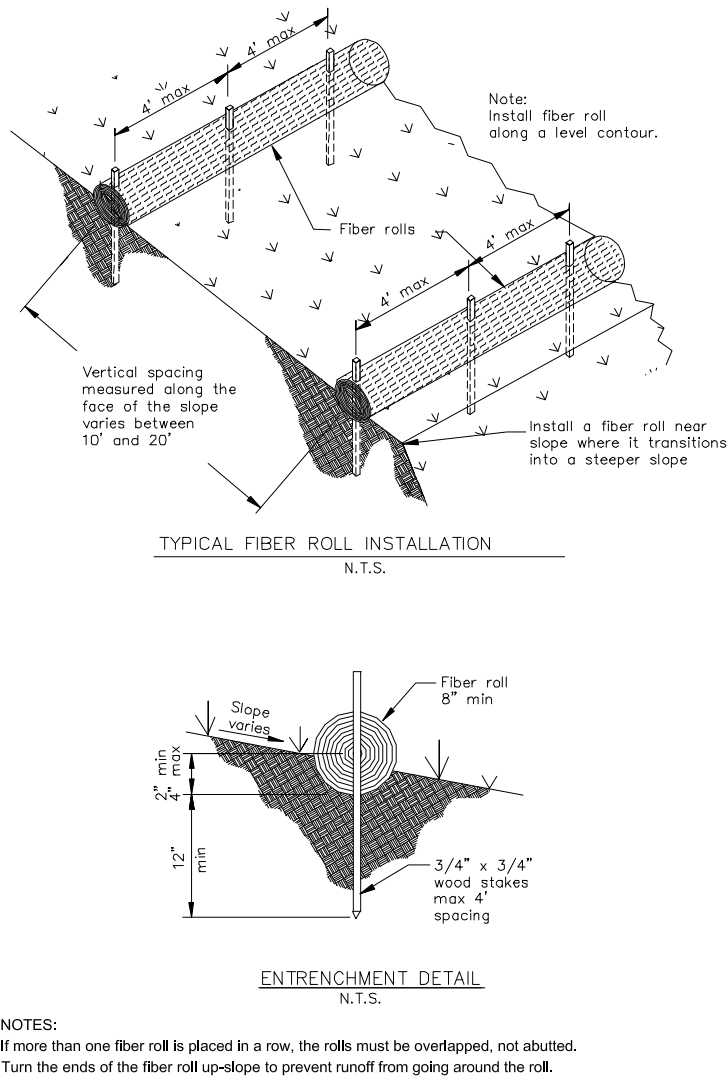
SHEET
C-2



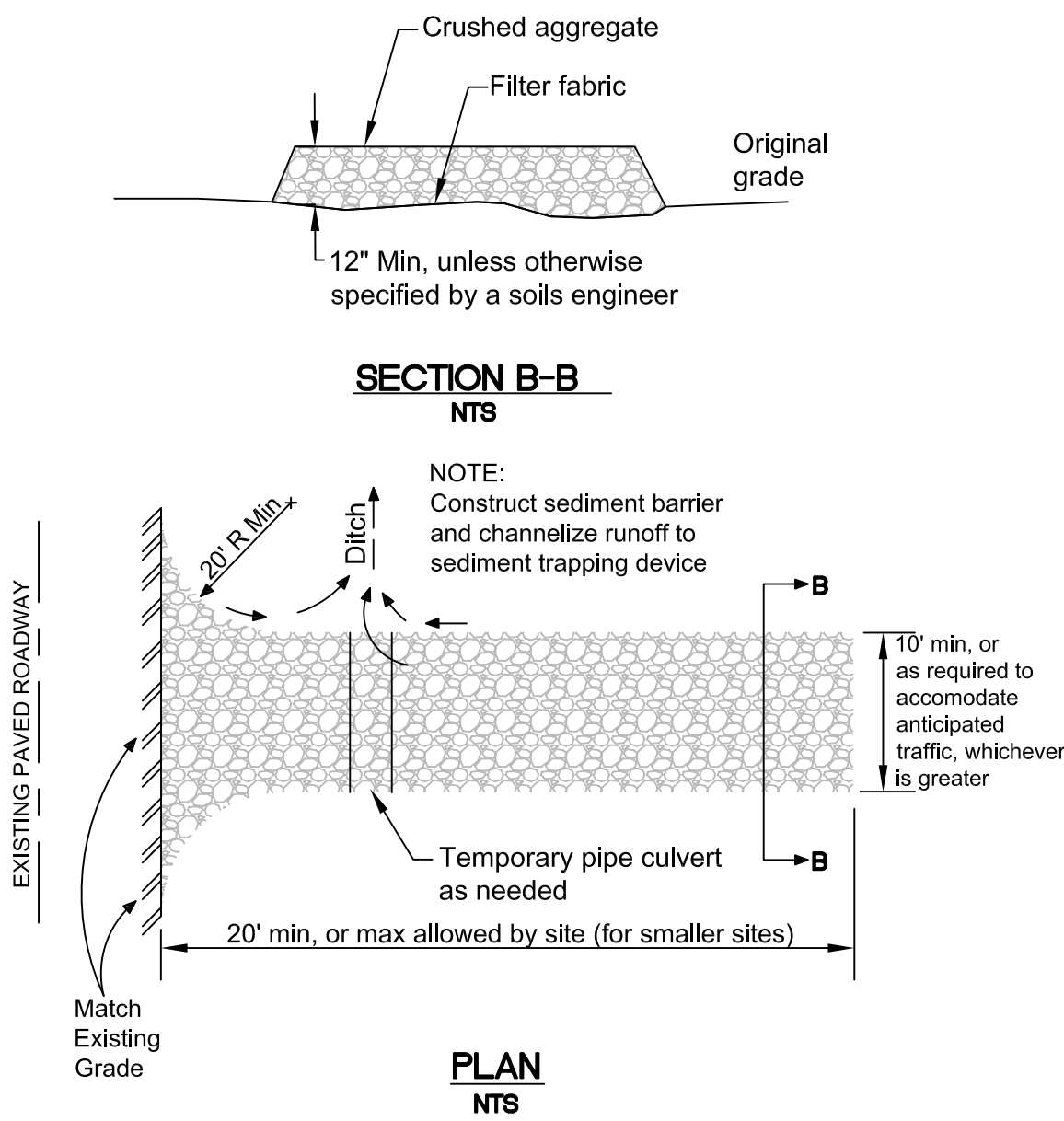
CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1





LANDSCAPE BOULDER ACCENT: GONZALEZ COASTAL GRANITE



SEATWALL, LANDING AND STEPS, AND BUILDING WAINSCOTTING OPTION: TUMBLLED DESERT WIND



PERMEABLE GRAVEL: CALIFORNIA GOLD 1/4"



PERMEABLE PAVERS: TECO-BLOC PURE IN CHESTNUT BROWN



(P) ADU PERMEABLE
PAVER PATIO

ROOF LINE TYP.

(P) STONE SLAB FOR
RINSE OFF AREA

(P) 6'HT STEEL FENCE
3X3 STEEL POSTS W/ 4X4 WELDED WIRE
PANELS

PERMEABLE GRAVEL SURFACE TYP.

VINE STARTS IN ADJACENT PLANTING AREA

(P) SEATWALL 16" HT
STONE FASCIA TO MATCH RESIDENCE
INTEGRATED COASTAL GRANITE BOULDERS
(P) STEPPING STONE PATH W/ GRAVEL
SURROUND

NATIVE MEADOW

PERMEABLE GRAVEL

EDGE OF PAVEMENT

PRECITA AVE.

ADU SCREEN PLANTING

GARAGE VEHICLE
INGRESS/EGRESS

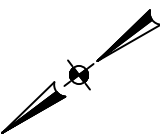
(P) PERMEABLE PAVER
PATH

(P) RAIN GARDEN

(P) CEDAR DECKING
BRIDGE
(P) DRIVEWAY
CAR TRACK
PERMEABLE PAVERS W/
GRAVEL SURROUND

LEGEND

- (P) PROPOSED
(E) EXISTING
(W) WATER METER
RL PROPERTY LINE



APN: 037-278-130



REVISIONS	
DATE	BY

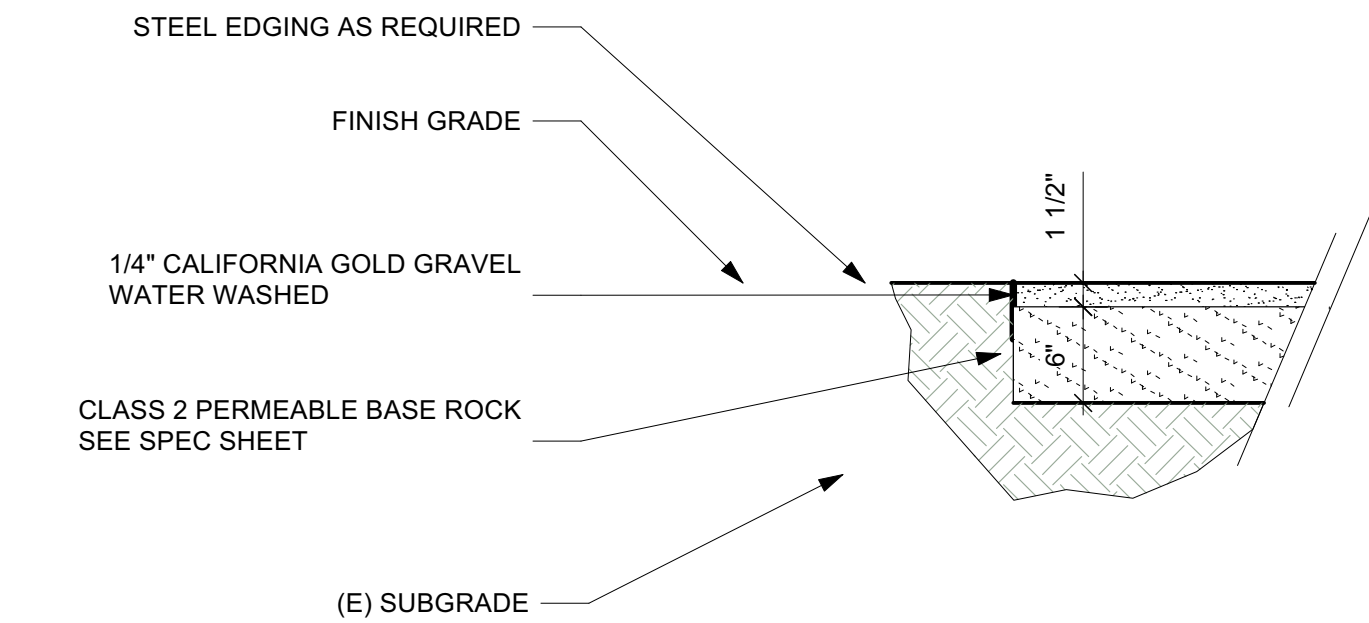
COWGILL RESIDENCE
0 PRECITA AVE.,
MOSS BEACH, CA 94038

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CHECKED K.C.
DATE 4/17/2026
SCALE 1/8" = 1'
DRAWN K.C.
TITLE

SITE PLAN

DWG. NO. L-1
SHEET 1 OF 3
JOB COWGILL



NOTES:
ALL PERMEABLE GRAVEL SURFACES TO HAVE MINIMUM 2% SLOPE
AND MAXIMUM SLOPE OF 5%

This material complies with Section 68 of the Caltrans standard specifications.
The typical physical properties of the aggregates are summarized below.

CLASS II PERMEABLE BASE ROCK

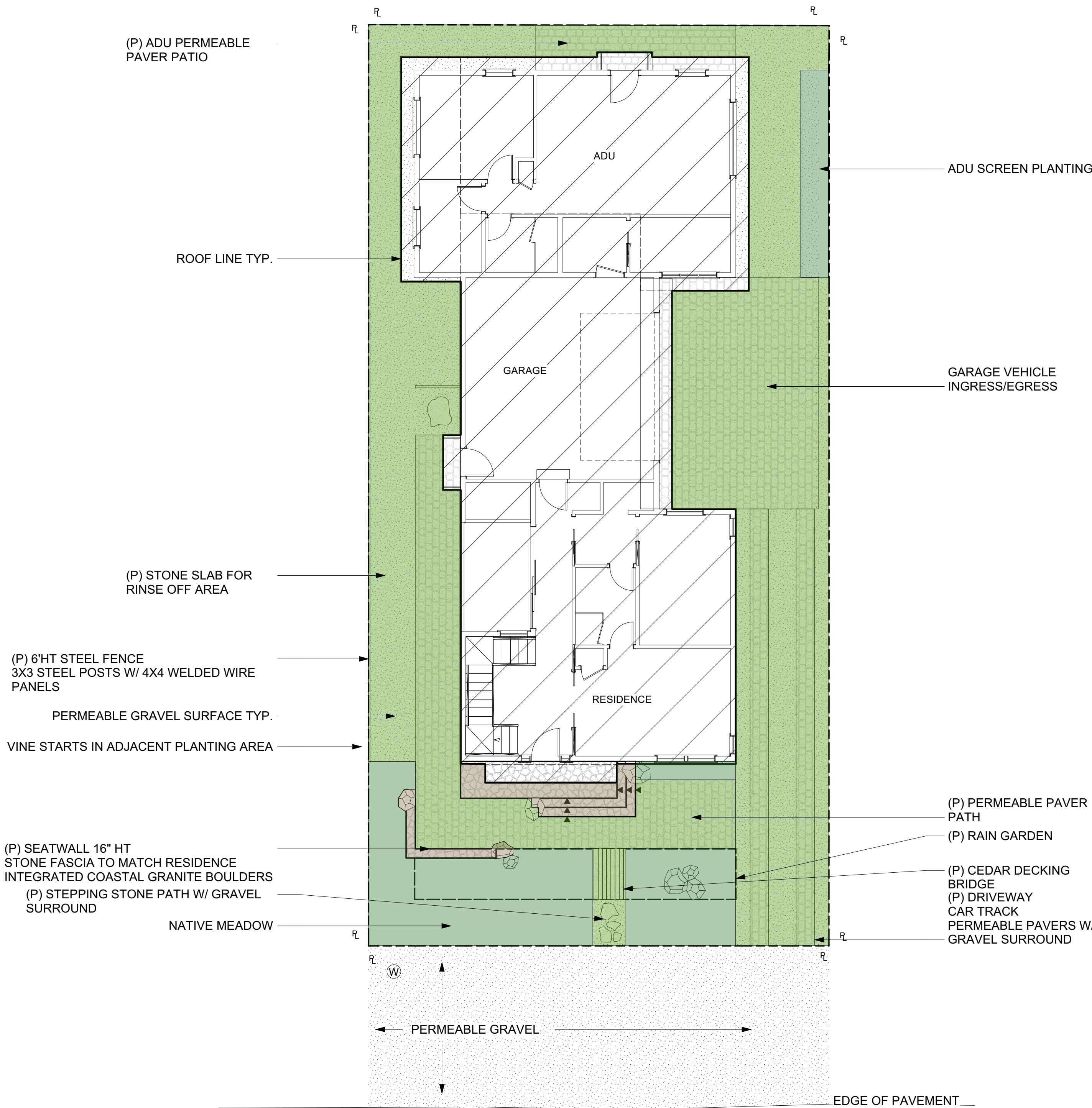
GRADATION		
SIEVE SIZE	PERCENT PASSING	Caltrans Section 68
1" (25.0 mm)	100	100
3/4" (19.0 mm)	93	90-100
1/2" (12.5 mm)	67	
3/8" (9.5 mm)	54	40-100
No. 4 (4.75 mm)	32	25-40
No. 8 (2.36 mm)	24	18-33
No. 16 (1.18 mm)	16	
No. 30 (600 µm)	10	5-15
No. 50 (300 µm)	5	0-7
No. 100 (150 µm)	2	
No. 200 (75 µm)	1.6	0-3

PHYSICAL PROPERTIES

TEST METHOD	TEST RESULT
Sand Equivalent	72
Fine Durability Index	68

P-1 PERMEABLE GRAVEL SURFACE
Scale: 1" = 1'

Pervious and Impervious Surfaces		
Pervious Area	2512	SF
Roof Impervious Area	2404	SF
Flat Impervious Area	84	SF
total area	5000	SF

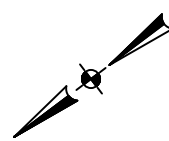


LEGEND

(P) PROPOSED
(E) EXISTING

PERVIOUS/IMPERVIOUS SURFACES

- LANDSCAPE AREA (PERVIOUS) 500sf
- PEARMABLE GRAVEL OR PAVER SURFACE (PERVIOUS) 2012sf
- STONE ON CONCRETE (IMPERVIOUS) 84sf
- ROOF IMPERVIOUS AREA 2404sf



Blue Sky
DESIGNS
LANDSCAPE ARCHITECTS

CERT. LANDSCAPE ARCHITECTS
LANDSCAPE CONTRACTOR'S LICENSE #C274236094
GENERAL CONTRACTOR'S LICENSE #B-426094
LANDSCAPE ARCHITECT'S LICENSE #LA-4205
405 PURISHA WAY, HALF MOON BAY, CA 94019
(650) 726-5990 FAX (650) 726-2353

REVISIONS	
DATE	BY

COWGILL RESIDENCE

0 PRECITA AVE.,
MOSS BEACH, CA 94038

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CHECKED	K.C.
DATE	4/17/2026
SCALE	1/8" = 1'
DRAWN	K.C.
TITLE	PERVIOUS/IMPERVIOUS PLAN
DWG. NO.	L-2
SHEET	2 OF 3
JOB	COWGILL

PLANT LIST					
SHRUBS:					
Key	Qty.	Size	Name	Common Name	WUCOLS
Al	6	1gal	Abronia latifolia	Coastal Sand Verbena	L 0.2
A	10	1gal	Achillea millefolium	Yarrow	L 0.2
Aa	3	5gal	Agave attenuata	Fox glove Agave	VL 0.1
Ch	2	1gal	Ceanothus heartstiorum	San Simeon ceanothus	L 0.2
Cj	3	1gal	Ceanothus 'Joyce Coulter'	Joyce Coulter ceanothus	M 0.5
D	6	3gal	Dudleya brittonii	Giant Chalk Dudleya	VL 0.1
Eg	4	1gal	Erigeron glaucus	Seaside Daisy	L 0.2
Ei	2	1gal	Eriogonum latifolium	Coastal Buckwheat	L 0.2
Mc	3	5gal	Myrica californica	Pacific Wax Myrtle	M 0.5
Rc	5	5gal	Rhamnus californica	Coffeeberry	L 0.2
Sbb	3	1gal	Salvia 'Bees Bliss'	Island Pink Yarrow	L 0.2
Ss	9	1gal	Salvia spathecea	Hummingbird Sage	L 0.2
Sc	5	1gal	Symphotrichum chilense	Pacific Aster	L 0.2
Grasses:					
Key	Qty.	Size	Name	Common Name	WUCOLS
Cp	5	1gal	Carex praegracilis	California field sedge	L 0.2
Ct	7	1gal	Carex tumulicola	Berkeley sedge	L 0.2
F	7	1gal	Festuca californica and cvs.	California Fescue	L 0.2
Fr	7	1gal	Festuca rubra	Red Fescue	L 0.2
Lc	8	1gal	Leymus condensatus	Wild Rye	L 0.2
Vines:					
Key	Qty.	Size	Name	Common Name	WUCOLS
Pl	1	5gal	Passiflora incarnata	Purple Passion Vine	M 0.5
				Total Species	19
				Total Average Plant Factor:	0.24
				Note: Residential average WUCOLS plant factor .3 for 75% of plants.	

Contact Information:	
Owner:	Amy and Todd Cowgill
Address:	0 Precita Ave., Moss Beach 94038
Parcel Number:	APN: 037-278-130
Parcel Area	5,000sf
Email:	atcowgill@gmail.com
Landscape Architect:	Kenneth Coverdell
Company:	Blue Sky Designs, Inc.
License:	LA-4205, B-436094, C27-436094
Phone Number:	(650) 726-5990
Email:	info@blueskydesignsinc.com
MWEL0 Information:	
Total Landscape Area:	492sf
Non Turf Irrigated Area:	492sf
Turf Irrigated Area:	0sf
Document Package:	
Site Plan:	Blue Sky Designs, Inc.
Pervious/Impervious Plan:	Blue Sky Designs, Inc.
Planting Plan:	Blue Sky Designs, Inc.
Applicant Statement:	
"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN."	
Kenneth Coverdell	4/7/2026
Applicant Signature	Date
Landscape Architect	
Title	

LEGEND

- (P) PROPOSED
(E) EXISTING
(W) WATER METER
RL PROPERTY LINE

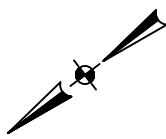
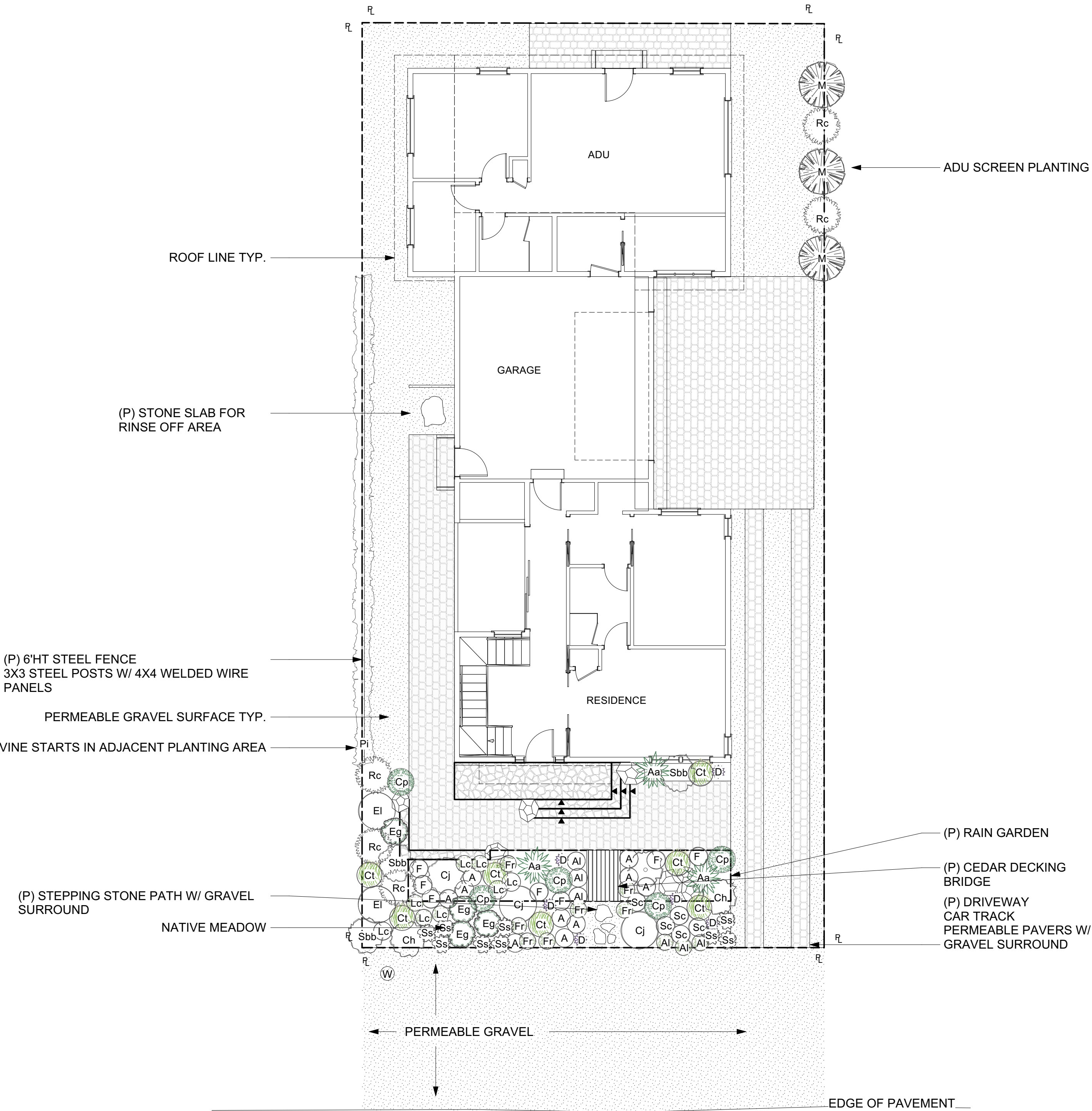
NOTES

TOTAL LANDSCAPE AREA 492SF. PLANTING DESIGNED TO BE CLIMATE ADAPTING AND THUS NOT NEEDING IRRIGAITON. PLANT HEALTH WILL BE MONITORED BY OWNER AND SUPPLEMENTAL WATERING WILL BE SUPPLIED BY HOSE.

A minimum 3-inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.

Unless contradicted by a soils test, compost at a rate of a minimum of four cubic yards per 1,000 sq. ft. of permeable area shall be incorporated to a depth of six inches into the soil.

"I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPING ORDINANCE AND APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN PLAN"



Blue Sky
DESIGNS, INC.
LANDSCAPE CONTRACTOR'S LICENSE #C27-436094
GENERAL CONTRACTOR'S LICENSE #B-436094
LANDSCAPE ARCHITECT'S LICENSE #LA-4205
405 PURISHA WAY, HALF MOON BAY, CA 94019
(650) 726-5990 FAX (650) 726-5353

REVISIONS

DATE	BY

COWGILL RESIDENCE

0 PRECITA AVE.,
MOSS BEACH, CA 94038

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CHECKED K.C.
DATE 4/17/2026
SCALE 1/8" = 1'
DRAWN K.C.
TITLE

PLANTING PLAN

DWG. NO. L-3
SHEET 3 OF 3
JOB COWGILL

APN: 037-278-130

BASIS OF BEARINGS

BEARINGS/LOT LINES SHOWN WERE TAKEN FROM RECORD OF SURVEY NO. 3518 WHICH WAS FILED FOR RECORD IN VOLUME 48 OF LLS MAPS PAGE 94 ON NOVEMBER 05, 2020, SAN MATEO COUNTY RECORDS.

BENCHMARK

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "S 1240" (PID HT1812), LOCATED ON TOP AND 1.2 FEET NORTHWEST OF THE SOUTHEAST END OF THE CONCRETE HEADWALL AT THE JUNCTION OF HIGHWAY 1 AND ETHELDORE STREET. ELEVATION = 60.91 FEET. SITE BENCHMARK IS THE SANITARY SEWER MANHOLE LID WITH AN ELEVATION OF 111.00 FEET.

NOTES:

BGT RELIED UPON A LAWYERS TITLE PRELIMINARY TITLE REPORT, NO. 0052300686, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

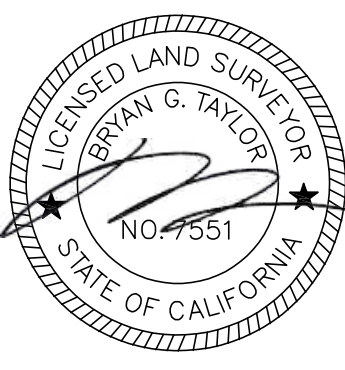
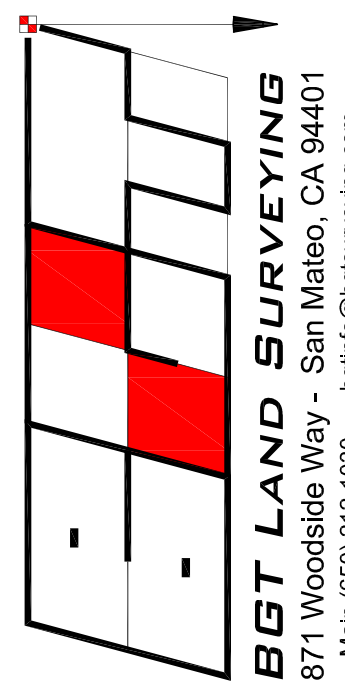
UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: AUGUST 05, 2024
JOB NUMBER: 24-084

LEGEND

- AC ASPHALT CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CP SURVEY CONTROL POINT
- OPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION LINE
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PGE PG&E VAULT
- PIV POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE



BOUNDARY AND TOPOGRAPHIC SURVEY
LOTS 14-15, BLOCK 23, "MAP OF RIVERA OCEAN VILLA TRACT" (BOOK 6 MAPS 20)
VACANT LOT, 0 PRECITA AVENUE
MOSS BEACH, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:
037-278-130
Prepared For:
AMY COWGILL
50 HILLTOP DRIVE
SAN CARLOS, CA 94070
Date: AUG. 2024
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: BGT
Revisions:

SU-1
Job No. 24-084