

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: June 4, 2026

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit (CDP), Use Permit, and Design Review Permit, pursuant to Sections 8.252.050, 8.280.030, and 8.256.030, respectively, of the County Zoning Regulations, for the construction of a 1,750-sq. ft. building for boat building, repair, storage, and sales on an undeveloped 3,500-sq. ft. lot located on Stanford Avenue in the unincorporated Princeton area of San Mateo County. The CDP is appealable to the California Coastal Commission.

County File Number: PLN2023-00275 (Old Princeton Landing Corporation/Palmer)

PROPOSAL

The applicant is seeking a Coastal Development Permit, Use Permit, and Design Review Permit for the construction of a 1,750-sq. ft. metal building with a restroom (toilet and sink) and a 455-sq. ft. mezzanine that is intended for boat building, repair, storage, and sales on a legal undeveloped 3,500-sq. ft. lot located on Stanford Avenue in Princeton. Two onsite parking spaces will be provided to accommodate the use. The proposed hours of operation are Monday – Saturday from 9:00 a.m. to 5:00 p.m. with up to three employees.

RECOMMENDATION

That the Zoning Hearing Officer approve the Coastal Development Permit, Use Permit, and Design Review Permit, County File Number PLN2023-00275, by adopting the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Summer Burlison, Senior Planner; (650) 363-1815

Applicant: Colton Palmer

Owner: Old Princeton Landing Corporation

Public Notification: Ten-day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation on May 23, 2026.

Location: Stanford Avenue, Princeton

APN(s): 047-032-050

Size: 3,500 sq. ft.

Parcel Legality: The parcel qualifies for a Certificate of Compliance (Type A) based on a chain of title showing conveyance of the parcel on April 27, 1916.

Existing Zoning: W/DR/CD (Waterfront/Design Review/Coastal Development)

General Plan Designation: General Industrial

Local Coastal Plan Designation: Industrial

Sphere-of-Influence: Half Moon Bay

Williamson Act: Not applicable

Existing Land Use: Undeveloped

Water Supply: Coastside County Water District. As a marine-related use, the proposed use qualifies for priority water connection.

Sewage Disposal: Granada Community Services District.

Flood Zone: FEMA Flood Zone X (area of minimal flooding), Community Panel 06081C0138F, effective August 2, 2017.

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, for the location of new structures in an urbanized area with public utilities where the total building square footage will not exceed 2,500 sq. ft. and no hazardous substances are involved.

Setting: The project site is a flat 35-foot by 100-foot rectangular undeveloped parcel located along Stanford Avenue. Adjacent parcels to the north, south, and east consist of similarly developed lots as proposed. West of the parcel is the Granada Community Services District's pump station.

Chronology:

<u>Date</u>		<u>Action</u>
August 29, 2023	-	Subject application received.
September 26, 2023	-	Application deemed incomplete.
May 21, 2024 to March 4, 2026	-	Agency reviews.
March 4, 2026	-	Application deemed complete.
June 4, 2026	-	Zoning Hearing Officer meeting.

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

Staff has determined that the project complies with all applicable General Plan Policies, including:

a. Visual Quality

Policy 4.15 (*Appearance of New Development*) and Policy 4.36 (*Urban Area Design Concept*) seek to ensure that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality.

The proposed building will be constructed with solid gray/blue corrugated metal siding, accompanied by beige-colored trim, and a low-pitched standing seam metal roof. A roll-up door and pedestrian door are proposed along the front elevation, accompanied by downward-directed wall sconce light fixtures at these doors. The new building will be constructed between two existing corrugated metal buildings with low-pitched metal roofs on adjacent lots, and therefore, will blend in with the surrounding development.

b. Urban Land Use

Policy 8.36 (*Uses*), Policy 8.39 (*Height, Bulk, and Setbacks*), and Policy 8.40 (*Parking Requirements*) allow uses in zoning districts that are consistent with the overall land use designation; ensure that the size and scale of development are compatible with parcel size; and regulate minimum onsite parking requirements and standards to accommodate the parking needs of development.

The proposed project is located on a parcel in the Waterfront (W) Zoning District of Princeton. The W District prioritizes marine-related trades and services that support commercial fishing and water recreation uses, such as the proposed boat building, repair, storage, and sales use. The proposed 25-foot-tall, 1,750-sq. ft. building complies with the W District's maximum lot coverage of 50 percent and will be below the maximum building height standard of 30 feet, therefore, ensuring the development is sized and scaled appropriately for the 3,500-sq. ft. parcel. Two parking spaces will be provided on site to accommodate the use, as required by zoning (see Section A.3.c.).

c. Water Supply and Wastewater

Policy 10.10 (*Water Suppliers in Urban Areas*) and Policy 11.5 (*Wastewater Management in Urban Areas*) encourage public water and sewer services as the appropriate methods of service for development in urban areas.

The proposed marine-related use as boat building, repair, storage, and sales is a priority land use under the LCP and therefore qualifies for a priority water connection. A condition of approval has been included to require a deed restriction be recorded on the property that limits the permitted uses for the property to uses allowed by zoning and that are considered priority land uses under the LCP in exchange for receiving a priority water connection from Coastside County Water District to serve the property.

The Granada Community Services District has confirmed they have sufficient capacity to serve the project.

d. Man-Made Hazards

Policy 16.41 (*Regulate Land Uses to Assure Airport Safety*) regulates land uses surrounding airports to assure airport safety.

According to the City/County Association of Governments of San Mateo County (C/CAG) Airport Land Use Compatibility Plan (ALUCP) for the Half Moon Bay Airport, the project site is located in the Airport Influence Area (Runway Safety Zone 7). The Airport Influence Area does not prohibit boat repair and sales-type uses, as proposed, or require any special development restrictions for the proposed project.

2. Conformance with the Local Coastal Program

Staff has determined that the project complies with all applicable Local Coastal Program (LCP) policies, including:

a. Locating and Planning New Development

Policy 1.18 (*Location of New Development*) directs new development to urban areas to discourage urban sprawl and maximize the efficiency of public services.

The project site is an undeveloped urban lot surrounded by storage, warehouse, and low- to moderate-manufacturing development in the unincorporated Princeton community that will be served by public utility services.

b. Visual Resources

Policy 8.12 (*General Regulations*) requires the application of Section 8.256.170 (*Standards for Design in Other Areas*) of the Zoning Regulations and the design criteria set forth in the Community Design Manual for urban development in the coastal zone, as discussed below:

Design Review District Section 8.256.170 and Community Design Manual:

Colors and Materials. Materials and colors should blend with the natural setting and surrounding neighborhood, and structures should be in harmony with the shape, size, and scale of adjacent buildings in the community. Furthermore, LCP Policy 8.13.b. (*Special Design Guidelines for Coastal Communities*) applies supplemental design criteria for the Princeton-by-the-Sea community, including the use of subdued colors, textured building materials, and landscaping to add visual interest in industrial areas.

The exterior building is proposed to be gray/blue corrugated metal siding with a low-profile gabled roof that is appropriately scaled to the site and surrounding development. The area predominantly consists of similar, varying gray- to blue-shaded one- and two-story industrial and commercial buildings. A 4-foot-wide landscape area will be provided along the street frontage to help soften the appearance of the industrial feel of the proposed development.

c. Shoreline Access

Policy 10.1 (*Permit Conditions for Shoreline Access*), Policy 10.3 (*Definition of Shoreline Access*), and Policy 10.13 (*Commercial and Industrial Areas*) require some provision for shoreline access as a condition for granting development permits for private development located between the sea and the nearest road, and defines shoreline access as the provision of access for the general public from a public road to and along the shoreline.

The subject site is located between the ocean and Stanford Avenue, the nearest road from the sea, and is therefore subject to shoreline access policies. Following Stanford Avenue south from the project site leads to the nearest shoreline street-end of West Point Avenue, which is a relatively low bluff that currently provides vertical shoreline access to the Princeton shoreline. Therefore, the project complies with these policies.

3. Conformance with the Zoning Regulations

a. Permitted Use

The project site is located within the W Zoning District of Princeton, which prioritizes marine-related trades and services and permits boat building, repair, sales, and support establishments, subject to a Use Permit, which the applicant is seeking as part of the subject application.

b. Development Standards

The proposed project complies with the applicable development standards for a 3,500-sq. ft. lot in the W Zoning District, as shown below:

Standard	Allowed	Proposed
Maximum Building Height	30'	25'
Maximum Lot Coverage	50%	50%

c. Parking and Landscape

Pursuant to Chapter 8.344 (Parking) of the County Zoning Regulations, the proposed use would require one parking space for each two employees on the largest shift, but in no case less than one space per 2,000 sq. ft. of floor area. The project proposes a 1,750-sq. ft. boat building and repair shop with a 455-sq. ft. mezzanine and a maximum of up to three employees. Therefore, two onsite parking spaces are proposed. Additionally, a 4-foot-deep by 24.5-foot-wide landscape area is proposed along the front property line adjacent to the street to help soften the appearance of the proposed development.

d. Design Review

The project site is located in a Design Review District and, therefore, subject to design review. Non-residential development is required to comply with the design guidelines and criteria of the Community Design Manual and the LCP's Visual Resources and Special Communities Component. See Section A.2.b. (*Visual Resources*) for discussion on the project's compliance with the applicable design review standards of the Community Design Manual and Visual Resources and Special Communities Component of the LCP.

e. Use Permit

Pursuant to Section 8.98.030.A. of the W Zoning Regulations, a Use Permit is required for boat building, repair, sales, and support establishments. Pursuant to Section 8.280.030 of the Zoning Regulations, the Zoning Hearing Officer must make the following findings in order to grant a Use Permit:

That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The project proposes a marine supportive use that aligns with the objectives of the W Zoning District. The proposed development will be contained on the property and will be similar in appearance to adjacent and nearby development. The project has been reviewed by applicable agencies, which have provided conditional approval, including the County's Geotechnical Section, Drainage Section, County Parks (Arborist), and Department of Public Works; Coastside Fire Protection District; and sewer and water service providers. The

proposed development would not pose any significant adverse impacts to coastal resources, including visual quality or shoreline access. Subject to the recommended conditions of approval, the project is not expected to pose a detriment to the public welfare or cause injury to property or improvements in the area.

B. MIDCOAST COMMUNITY COUNCIL

A project referral was sent to the Midcoast Community Council, which expressed the following concerns: whether the use is for marine-related development, site drainage relative to paving improvements, whether deferral of a geotechnical study until the building permit phase is wise, that exterior lighting should be dark sky-compliant, and that adequate controls are in place for any hazardous materials.

The project proposes a boat building and repair business that aligns with the purpose of the W zoning district. The project includes installing an asphalt parking lot in the non-roofed areas of the parcel. A drainage plan and calculations have been reviewed and conditionally approved for the project that demonstrate post-development runoff will not exceed pre-development runoff using a surface water collection system that includes an onsite trench drain and detention basin with a sump pump. A preliminary geotechnical report was reviewed by the County's Geotechnical Section which determined that an updated geotechnical report may be deferred to the building permit phase. Additionally, as proposed and conditioned, exterior light fixtures will be downward-directed and dark sky-compliant, and no hazardous materials are intended to be stored or used on site.

C. CALIFORNIA COASTAL COMMISSION

The California Coastal Commission provided comment that the project needs to meet the impervious surface area requirements of the W zoning district, which requires the parcel area covered by impervious structures less than eighteen inches in height be limited to 10 percent of the parcel size, or an exception be allowed upon finding that off-site project drainage, i.e., runoff, will not exceed that amount equivalent to 10 percent of the parcel size. Approximately 47 percent of the parcel will be covered by non-structural impervious surface for parking improvements. As required under the County's Drainage Policy, the project's post-construction stormwater runoff will not exceed pre-construction runoff, and therefore, is more restrictive than the impervious surface exception from the W zoning standards.

D. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, for the location of new structures in an urbanized area with public utilities where the total building square footage will not exceed 2,500 sq. ft. and no hazardous substances are involved.

E. REVIEWING AGENCIES

County Geotechnical Section
County Drainage Section
County Parks (Arborist)
County Department of Public Works
Coastside Fire Protection District
Coastside County Water District
Granada Community Services District
Midcoast Community Council
California Coastal Commission

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Plans

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2023-00275

Hearing Date: June 4, 2026

Prepared By: Summer Burlison,
Senior Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, for the location of limited numbers of new structures in an urbanized area with public utilities where the total building square footage will not exceed 2,500 sq. ft. and no hazardous substances are involved.

For the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 8.252.080 of the Zoning Regulations and as conditioned in accordance with Section 8.252.160, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to Locating and Planning New Development, Visual Resources, and Shoreline Access. The project is in an urban area with public services, the proposed development is appropriately scaled to the site and surrounding development, and the project will not obstruct shoreline access along Stanford Avenue and West Point Avenue from the project site to the Princeton shoreline.
3. That the project is located between the nearest public road (Stanford Avenue) and the sea; thus, is subject to public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The adjacent street end of West Point Avenue is a relatively low bluff that currently provides vertical shoreline access to the Princeton shoreline from the project parcel via Stanford Avenue.
4. That the project conforms to the specific findings required by the policies of the San Mateo County LCP with regard to Locating and Planning New Development, Visual Resources, and Shoreline Access as discussed in detail in the staff report dated June 4, 2026.

For the Design Review Permit, Find:

5. That the project complies with the design guidelines and criteria of the Community Design Manual and the LCP's Visual Resources Component as the proposed development is compatible with surrounding development in the Princeton area and is appropriately scaled for the subject substandard-sized parcel.

For the Use Permit, Find:

6. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood as the project proposes a marine supportive use that aligns with the objectives of the Waterfront (W) Zoning District, the proposed development will be contained on the property and will be similar in appearance to adjacent and nearby development, and the project has been reviewed and conditionally approved by all applicable agencies.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and approved by the Zoning Hearing Officer on June 4, 2026. The Director of Planning and Building may approve minor revisions or modifications to the project if they are consistent with the intent of, and in substantial conformance with, this approval.
2. The Coastal Development Permit, Use Permit, and Design Review Permit approvals shall be valid for five years from the date of final approval in which time a building permit shall be issued, and a completed building inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. Any extension to these permits shall require submittal of a request for permit extension and payment of applicable extension fees, no less than 60 days prior to expiration.
3. Any change in use or intensity not already approved shall require an amendment to the Coastal Development Permit and Use Permit. An amendment requires an application for amendment, payment of applicable fees, and consideration at a public hearing.
4. These permit approvals do not authorize overnight use or stay on the property by any persons.

5. Any proposed onsite signage shall be submitted to the Planning and Building Department for review and approval prior to installation and may require the need for a building permit.
6. All garbage, debris, litter, and/or solid waste generated from the proposed use shall be picked up on a daily basis and properly disposed of.
7. All exterior lighting shall be designed and located so as to confine direct rays to the subject property and prevent glare in the surrounding area. All proposed and approved exterior lighting shall be reviewed and approved by the Planning Division (design manufacturer's "cut sheets") prior to the issuance of a building permit and inspected prior to the final building permit inspection.
8. The approved exterior colors and materials shall be implemented. Color and material verification shall occur in the field after the applicant has applied the approved materials and colors, but before a final building inspection has been scheduled.
9. The applicant shall include a copy of this letter on the top pages of the building plans.
10. Any new utilities shall be located underground from the nearest existing pole. No new poles are permitted to be installed.
11. A 4-foot-deep landscape area consisting of native plant species shall be provided and maintained in any areas not developed along the street frontage of the parcel (i.e., Stanford Avenue). The approved landscape plan, including size, species, and location, for all proposed landscaping shall be submitted as part of the building permit. No landscape species shall exceed 4 feet in height at full maturity. Prior to building inspection final and certificate of occupancy, the Planning Department shall verify that the approved landscaping has been installed. All approved landscaping shall be maintained in a healthy condition for the life of the use. Any dead or dying landscape shall be removed and replaced with the same or similar species.
12. This approval does not authorize the removal of any trees. Any tree removal or tree trimming will require a separate tree removal/trimming permit.
13. The approved use shall maintain compliance with the noise, odor, lighting, and vibration standards of the Waterfront Zoning District.
14. All activities related to the approved use shall be conducted in accordance with the County Noise Ordinance (San Mateo County Noise Ordinance, Title 4, Chapter 4.88). Noise levels produced by activities originating on the subject premises shall not exceed the levels established in the County Noise Ordinance and the performance standards of the Waterfront Zoning District.

15. A minimum of two onsite parking spaces, 9 feet by 19 feet, shall be maintained free and clear and available for vehicle parking at all times.
16. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
17. During project construction, the applicant shall, pursuant to Chapter 4.100 of the San Mateo County Ordinance Code, adhere to Best Management Practices to minimize the transport and discharge of stormwater runoff from the construction site by:
 - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater and watercourses.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges, to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles onsite, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth moving activities only during dry weather.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.

- k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instruction to all employees and subcontractors regarding the Construction Best Management Practices.
18. The approved tree protection plan and arborist report shall be included in the plans for building permit.
 19. Hazardous materials are prohibited from being used or stored onsite without prior approval by the County Planning and Building Department and, as applicable, the County Environmental Health Services.
 20. Prior to building permit final, a deed restriction shall be recorded on the property that limits the permitted uses for the property to those uses allowed by zoning and that are considered priority land uses under the LCP in exchange for receiving a priority water connection to serve the property. Prior to recordation, the owner shall submit a draft copy of the deed restriction to the Current Planning Section for review and approval.

Building Inspection Section

21. No site disturbance shall occur, including any tree/vegetation removal or grading, until a building permit has been issued.

County Drainage Section

22. The project shall comply with the County drainage policy to prevent stormwater from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the Building permit, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
23. A final C.3 and C.6 Development Review Checklist, a final drainage plan, and a final drainage analysis/drainage report will be provided at the time of building permit submittal.

24. The project shall demonstrate how it meets the County's Peak Flow and Volume Requirement of detaining/retaining a 10-year, 1-hour storm event.
25. The project shall ensure all drainage outlet devices and stormwater collection facilities are a minimum of 5 feet from property lines, a minimum of 10 feet from foundations, and a minimum of 2 feet from utilities.
26. The project shall comply with the San Mateo County Drainage Manual.
27. The project shall provide calculations in the drainage report that demonstrate that the post-development flow (flows exiting the sump pump) does not exceed the pre-development flow.
28. The project shall demonstrate how the stormwater management facility drains within three days.
29. The trench drain shall be traffic-grated and a minimum of 12 inches wide.
30. Advisory Comment: To avoid delays or additional plan review cycles, please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.

County Geotechnical Section

31. An updated geotechnical report shall be provided with the plans for the building permit. The updated report shall be prepared to the current locally adopted building code and include geotechnical recommendations for significant grading profiles, grading proposals, foundation design, retaining wall design, and basement design, if any, shall be provided in the geotechnical report. The geotechnical report shall provide sufficient subsurface investigation data to evaluate the potential hazards, for example, expansive soils, soil corrosivity, weak soil strength, slope stability, and liquefaction. This project is located in a state-mapped liquefaction hazard zone and will require a liquefaction analysis. If any hazards are found, mitigation shall be provided in the foundation design and grading proposal. Please include the Project File Number, PLN2023-00275, and Geotechnical File Number, GP2024-023-05, in all correspondence (e.g., email and report titles) with the Geotechnical Section of the Planning and Building Department.

Department of Public Works

32. Prior to the issuance of a planning or building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 percent) and to County Standards for

driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

33. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
34. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Coastside Fire Protection District

35. Buildings with setbacks of less than 3 feet will require rated wall assemblies.
36. Address Numbers: Building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address numbers shall be of 6-inch height with a minimum 1/2-inch stroke and of a color, which is contrasting with the background. Such letters/numerals shall be illuminated and facing the direction of access.

<u>Distance from Road</u>	<u>Address No. Size</u>
0-50 feet	6-inch
50-100 feet	8-inch
100-150 feet	10-inch
150 + feet	12-inch

with a corresponding increase in stroke width.

37. Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street, the numbers shall be visible from each direction of travel. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.
38. Approved Clow 2065 fire hydrants must be located within 500 feet measured by way of drivable access from the proposed project. The hydrant must have a minimum flow of 1,500 gallons per minute at 20 pounds per square inch residual pressure for a minimum of 2 hours.

39. Exit Doors: Exit doors shall be of the pivoted type or side-hinged swinging type. Exit doors shall swing in the direction of exit when serving an occupant load of 50 or more. Additional Doors: When additional doors are provided for egress purposes, they shall conform to all the provisions of CBC Chapter 10.
40. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge, or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating, "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1 inch in height.
41. Exit Signage, where required: When more exits from a story are required by Chapter 10 of the CBC, exit signs shall be installed at stair enclosures, horizontal exits and other required exits from the story. When two or more exits are required from a room or area, exit signs shall be installed at the required exits from the room or area and where otherwise necessary to clearly indicate the direction of egress. Exception: Main exit doors, which are obviously clearly identifiable as exits (glass door). Show exit plans on plans submitted to the San Mateo County Building Department or for review and approval.
42. Exit shall comply with Section 1006 and Table 1006.2.1 and Section 1006.3.3 of the 2022 CBC.
43. Accessible means of egress shall comply with Section 1009 and 1113A.1.1 of the 2022 CBC.
44. Accessible Continuity and components shall comply with Section 1009.2.
45. Exits sign and Egress Illumination shall meet the Section 1005, 1008, and 1013 of the CFC 2022.
46. Occupancy Load Sign: Any room having an occupant load of 50 or more where fixed seats are not installed, and which is used for classroom, assembly or similar purpose, shall have the capacity of the room posted in a conspicuous place.
47. Emergency Building Access: The proposed project will require the installation of "Knox Boxes". These emergency key boxes are required when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes. The Chief will determine the location for the key box and provide an authorized order form. All security gate systems controlling vehicular access shall be equipped with a "Knox"; key operated emergency entry device. For application and instructions, please email cfpdfiremarshal@fire.ca.gov.

48. Fire Extinguishers: There must be at least one 2A10BC fire extinguisher for each 3,000 square feet, travel distance not to exceed 75 feet with at least one extinguisher per floor per Title 19, California Code of Regulations.
49. Provide Penetration protection in all membranes through fire-rated assemblies (i.e., dampers, fire caulking).
50. LRA: Vegetation management required.
51. Building access roads shall comply with the requirements of this Section 503.1.1 of the CFC and shall extend to within 150 feet of all portions of the facility of the exterior walls of the first story as measured by an approved route around the exterior of the building.
52. Automatic Fire Sprinkler System: The proposed project must be equipped with an approved NFPA 13 fire sprinkler system and NFPA 72 approved fire alarm. If you have not already done so, please submit the required plans to the San Mateo County Building Division for the permitting phase. Please be advised that the sprinkler system design shall be based on classification and on stored commodities. Please provide information if any to the commodity being stored in the building. Please submit plans showing the location of all required fire sprinkler hardware and location along with the underground supply to the San Mateo County Building Division.
53. Your project requires a Fire Alarm system that meets NFPA 72. It will require a Central station monitoring system. Plans to be submitted separately.
54. All fire conditions and requirements shall be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.
55. Final acceptance is subject to field inspection and necessary tests.
56. NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.

Coastside County Water District

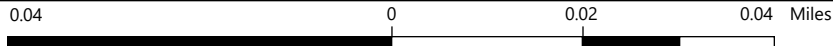
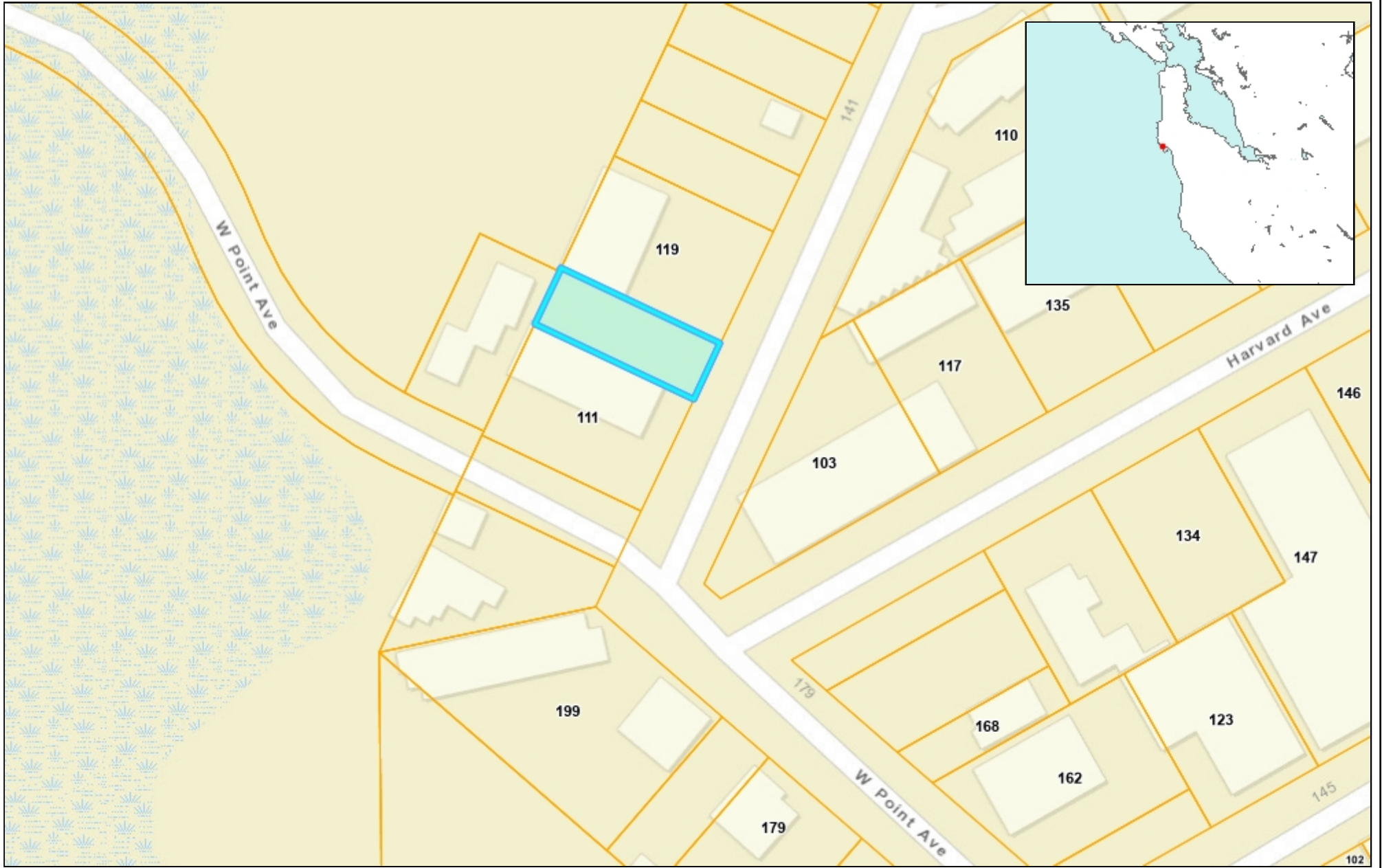
57. The project is required to comply with Coastside County Water District regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.

58. Fire sprinklers must be served from an independent and dedicated water service connection with a separate fire meter. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, and there shall be no cross-connections. Backflow protection will be required on the domestic water service. Meters are now allowed in driveways, driveway aprons, or parking spaces.




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:1,128 

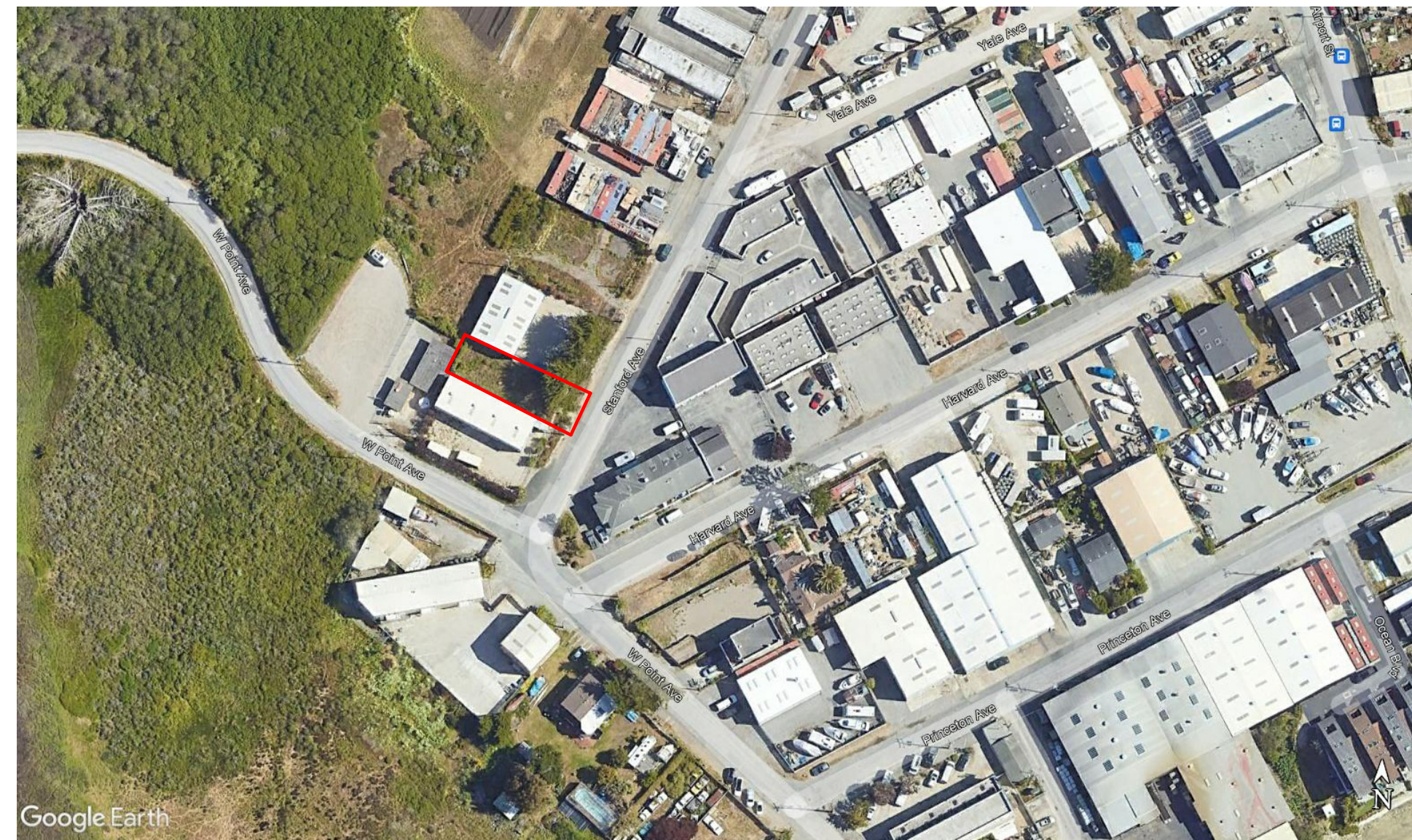
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



	EXISTIN		PROPOSE		TOTA		ALLOWE	
	AREA	%	AREA	%	AREA	%	AREA	%
LOT	3500							
LOT	0	0.0	1750	50.0	1750	50.0	1750	50.0
FLOOR			LEVEL 1	1750 SF	LEVEL 1	1750 SF		
			LEVEL 1	445 SF	LEVEL 1	445 SF		
Tota	0	0.0	Tota	2195	62.7	Tota	2195	62.7
							Tota	1750 50.0

GENERAL NOTES:

- NO USE MAY BE CONDUCTED IN A MANNER WHICH, IN THE DETERMINATION OF THE PLANNING DIRECTOR, DOES NOT MEET THE PERFORMANCE STANDARDS BELOW. MEASUREMENT, OBSERVATION, OR OTHER MEANS OF DETERMINATION SHALL BE MADE AT THE LIMITS OF THE PROPERTY, UNLESS OTHERWISE SPECIFIED. (SECTION 6289.1 SMCZR)

1. NOISE. NO USE WILL BE PERMITTED WHICH EXCEEDS THE FOLLOWING SOUND LEVELS MORE THAN THIRTY MINUTES IN ANY HOUR:

Time of Day	Level (in dBA) Not To Be Exceeded		
	More Than 30 Minutes In Any Hour	More Than 5 Minutes In Any Hour	At Any Moment
7:00 a.m. - 10:00 p.m.	60	70	80
10:00 p.m. - 7:00 a.m.	55	65	75

- 2. ODOR. NO USE WILL BE PERMITTED WHICH EMITS AN ODOR OR AIR POLLUTANT, DETECTABLE WITHOUT INSTRUMENTS, BEYOND THE BOUNDARIES OF THE "WATERFRONT" DISTRICT.
- 3. LIGHTING. ALL LIGHTING, EXTERIOR AND INTERIOR, MUST BE DESIGNED AND LOCATED SO AS TO CONFINE DIRECT RAYS TO THE PREMISES.
- 4. VIBRATION. NO USE WILL BE PERMITTED WHICH CAUSES VIBRATION PERCEPTIBLE WITHOUT INSTRUMENTS ON ADJOINING PROPERTY, EXCEPT FOR TEMPORARY CONSTRUCTION OPERATIONS.
- 5. NO HAZARDOUS MATERIALS TO BE STORED ONSITE

FIRE PROTECTION NOTES:

- 1. TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE.
- 2. "KNOX BOXES" OR EMERGENCY KEY BOXES ARE REQUIRED FOR LIFE SAVING OR FIRE-FIGHTING PURPOSES. THE CHIEF WILL DETERMINE THE LOCATION FOR THE KEY BOX AND PROVIDE AN AUTHORIZED ORDER FORM.
- 3. THIS PROJECT IS SHALL HAVE AN APPROVED NFPA 72 FIRE ALARM SYSTEM INSTALLED THROUGHOUT.
- 4. OCCUPANCY LOAD SIGNS SHALL BE POSTED WHERE REQUIRED BY 2022 CFC CHAPTER 10.



SITE DATA:

APN: 047-032-050
 ZONING: WDR/CD
 OCCUPANCY: GHOUJF-2
 TYPE OF CONSTRUCTION: 110V-B

PRE:
 PLN:
 BLD:

APPLICABLE CODES:

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES
 2022 CALIFORNIA RESIDENTIAL
 2022 CALIFORNIA BUILDING CODE
 2022 CALIFORNIA PLUMBING CODE
 2022 CALIFORNIA ELECTRICAL CODE
 2022 CALIFORNIA ENERGY CODE
 2022 CALIFORNIA FIRE CODE
 2022 CALIFORNIA GREEN BUILDING STANDARDS

Sheet List

Sheet Number	Sheet Name	Rev
A101	Cover Sheet	
SU-1	Survey	
C-1	Grading & Drainage Plan	
C-2	Erosion & Sediment Control Plan	
AR-1	Arborist Report	
AR-2	Arborist Report	
AR-3	Arborist Report	
A102	Site Plan	
A103	Floor & Roof Plan	
A201	Elevation North & South	
A202	Elevations East & West	
A301	Sectional Views	

SCOPE OF WORK

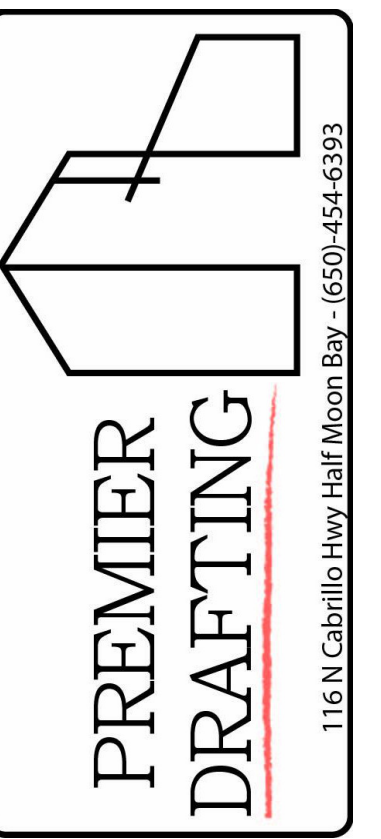
- CONSTRUCTION OF A 1750 SF BUILDING.

PROPOSED USE OF BUILDING

- BOAT BUILDING, REPAIR, STORAGE, SALES, & MANAGEMENT

REVISIONS

1	9/26/23
2	12/27/24
3	8/18/25



Owner Information
 Pete & Brian Overfelt
 Brian@optimb.com
 Pete@optimb.com

Proposed Building at
 115 Stanford Ave
 APN: 047-032-050

Cover Sheet

Drawn by JM

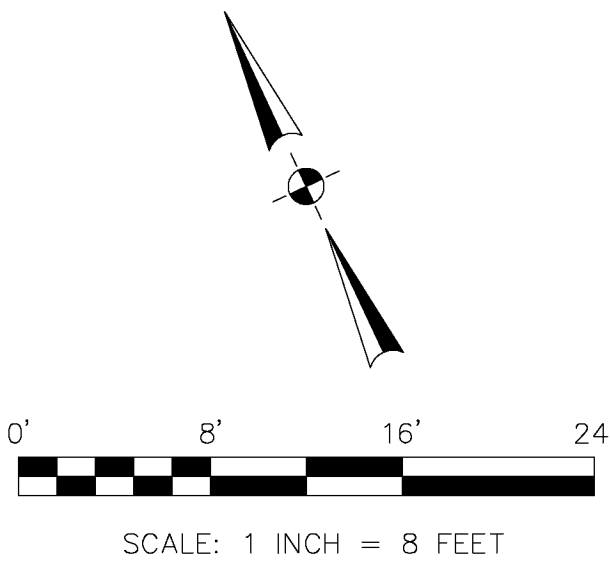
Designed By: Colton Palmer

Date 3/6/25

Sheet:

A101

Scale



BASIS OF BEARINGS

THE BEARING, SOUTH 25°00'00" WEST, OF STANFORD AVENUE, AS SHOWN ON THAT CERTAIN SUBDIVISION MAP ENTITLED, "PRINCETON BY THE SEA" WHICH WAS FILED FOR RECORD IN BOOK 6 OF MAPS PAGE 32, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

BENCHMARK

ELEVATIONS ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS "TIDAL 5" (PID HT0455) WITH A PUBLISHED ELEVATION OF 14.22 FEET. SITE BENCHMARK IS THE MACHINED CROSS ON THE EDGE OF GUTTER WITH AN ELEVATION OF 11.70 FEET.

NOTES:

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55903-21-02943, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

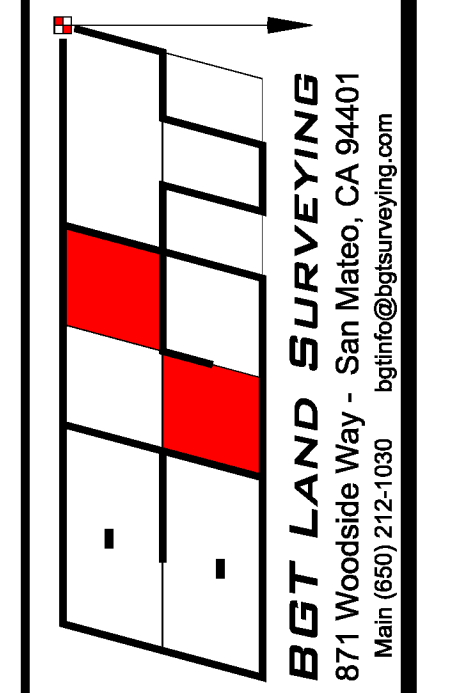
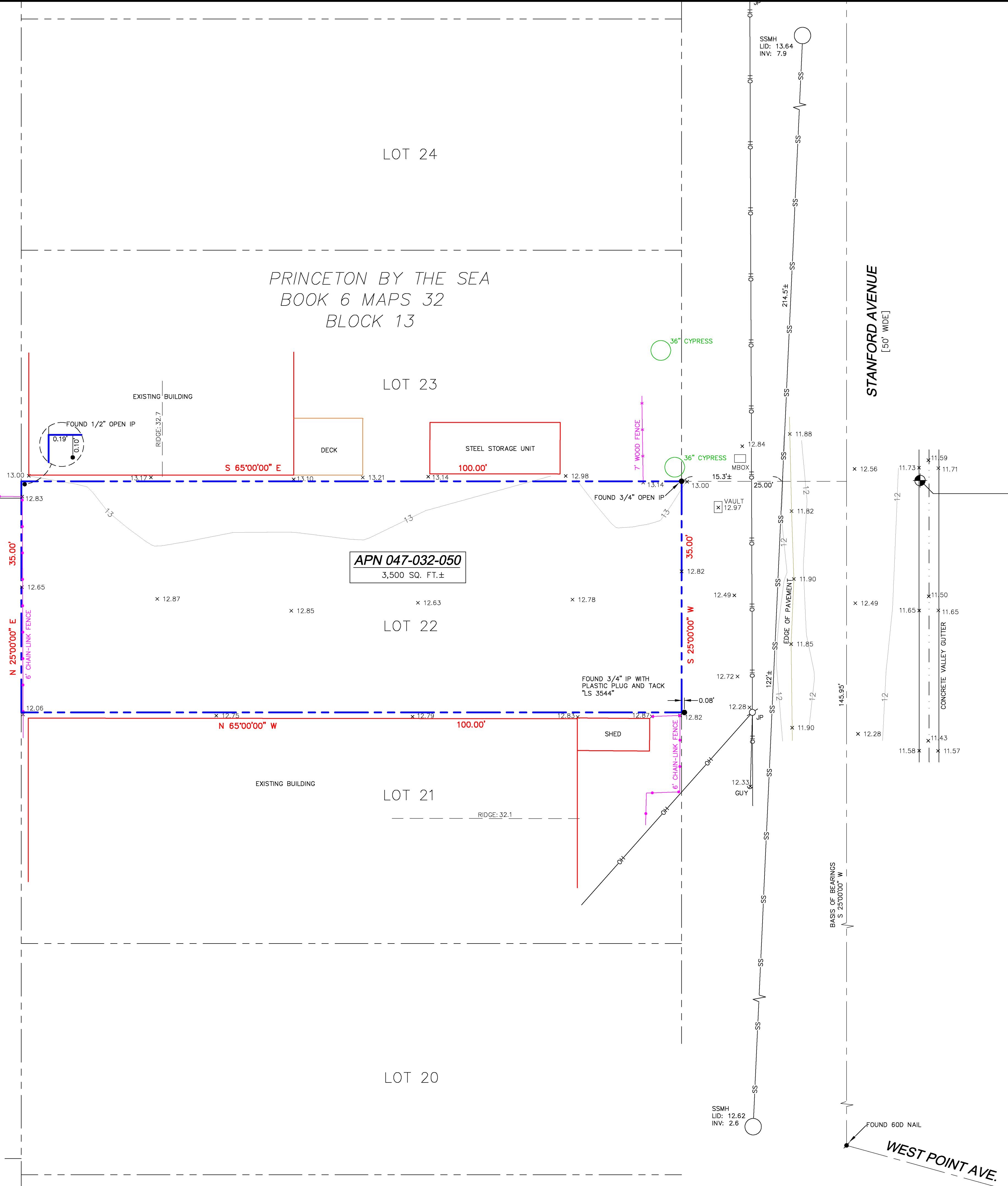
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELD CREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING
www.bgtsurveying.com

DATE OF FIELD SURVEY: MAY 17, 2023
JOB NUMBER: 23-065

LEGEND

- AC ASPHALT CONCRETE
- AD AREA DRAIN
- BW BACK OF WALK
- CB CATCH BASIN
- C/L CENTERLINE
- CMP CORRUGATED METAL PIPE
- CI CAST IRON PIPE
- CO CLEAN OUT BOX
- CPP CORRUGATED PLASTIC PIPE
- CTV CABLE TELEVISION VAULT
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GRD GROUND
- GUY GUY ANCHOR
- GV GAS VALVE
- HCR HANDICAP RAMP
- HVE HIGH-VOLT ELECTRIC
- INV. INVERT
- IP IRON PIPE
- JP JOINT POLE
- KV KILOVOLT
- LAT. LATERAL
- LG LIP OF GUTTER
- MH MH (TYPE UNKNOWN)
- MON-MON MONUMENT TO MONUMENT DISTANCE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- PVI POST INDICATOR VALVE
- PP POWER POLE
- SDMH STORM DRAIN MANHOLE
- SL STREET LIGHT
- SLV STREET LIGHT VAULT
- SSMH SANITARY SEWER MANHOLE
- SSV SANITARY SEWER VAULT
- TBC TOP BACK OF CURB
- TBM TEMPORARY BENCHMARK
- TS TRAFFIC SIGNAL
- TSB TRAFFIC SIGNAL BOX
- UNK UNKNOWN TYPE
- VCP VITRIFIED CLAY PIPE
- WBF WATER BACK FLOW VALVE
- WM WATER METER BOX
- WV WATER VALVE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- W- WATER LINE



BOUNDARY AND TOPOGRAPHIC SURVEY
LOT 22, BLOCK 13, "MAP OF PRINCETON BY THE SEA" (BOOK 6 MAPS 32)
VACANT LOT, STANFORD AVENUE
PRINCETON (UNINCORPORATED), COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number: 047-032-050
Prepared For: OLD PRINCETON LANDING PO BOX 1077 EL GRANADA, CA 94018
Date: MAY 2023
Scale: 1" = 8'
Contour Interval: 1'
Drawn by: BGT
Revisions:
SU-1
Job No. 23-065

LEGEND

- EXISTING CONTOUR
- PROPOSED CONTOUR
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- SURFACE DRAINAGE DIRECTION
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: BRIAN AND PETE OVERFELT, OWNERS
2. TOPOGRAPHY BY BGT LAND SURVEYING, SURVEYED 5-17-23.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM: NAVD88.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY:** BY SIGMA PRIME, DATED 1-10-24 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.
7. APPLICANT MUST OBTAIN ENCROACHMENT PERMIT FOR ALL WORK IN THE COUNTY RIGHT-OF-WAY. FAILURE TO HAVE APPROVED INSPECTIONS BY THE ROAD INSPECTOR MAY DELAY BUILDING PERMIT OCCUPANCY.
8. NO NET INCREASE IN STORMWATER RUN-OFF MAY DRAIN ONTO ADJACENT PROPERTIES.
9. THE OWNER SHALL ADEQUATELY MAINTAIN THE PROPERTY'S STORMWATER MANAGEMENT FACILITIES.

GRADING NOTES

CUT VOLUME : 65 CY (FOR FOUNDATION)
 FILL VOLUME: 0 CY

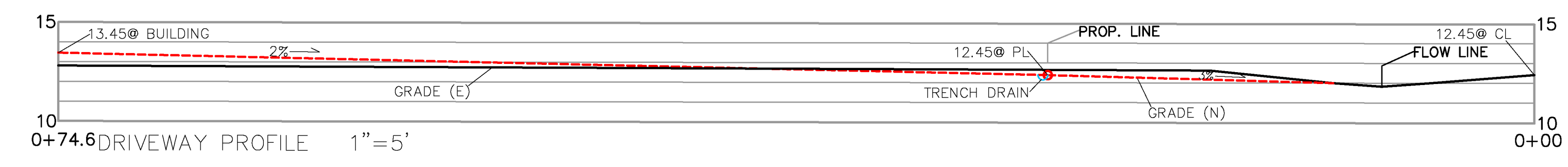
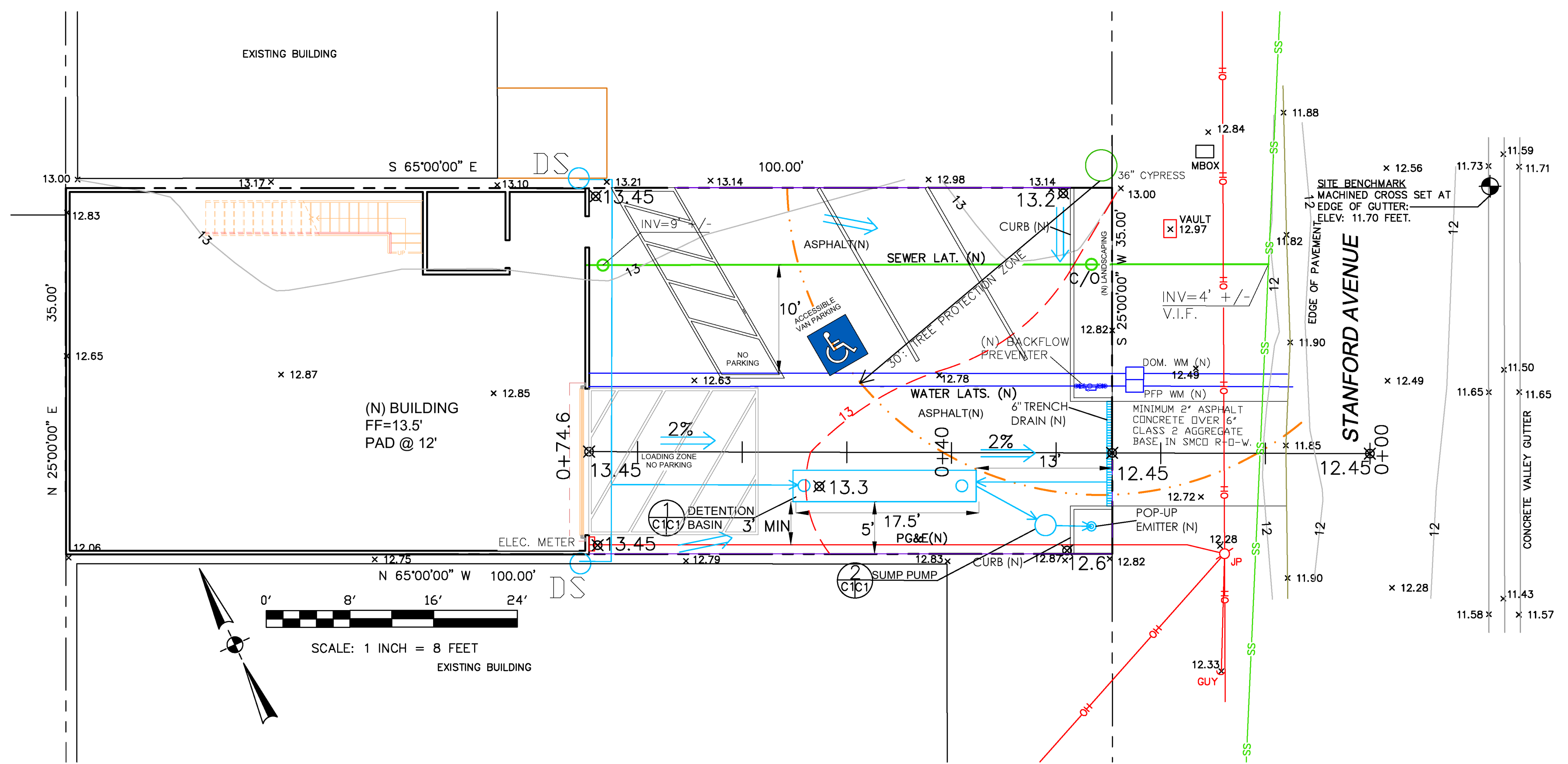
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

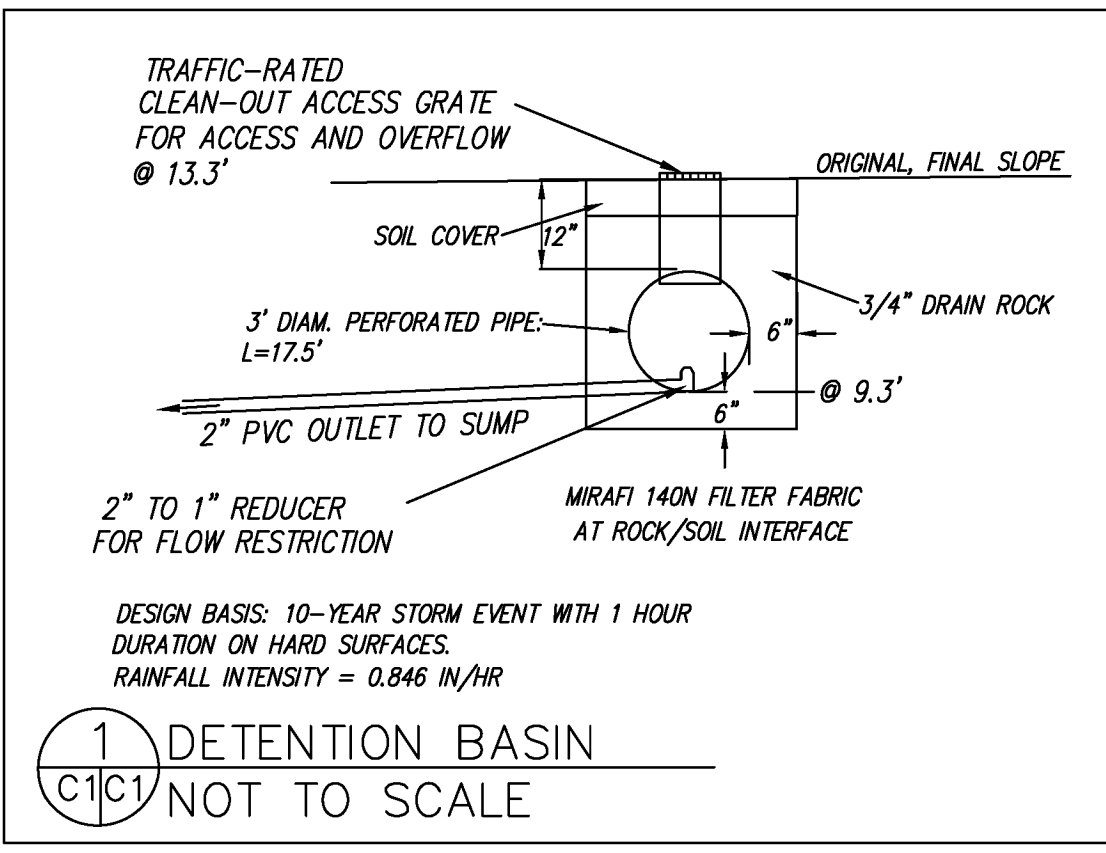
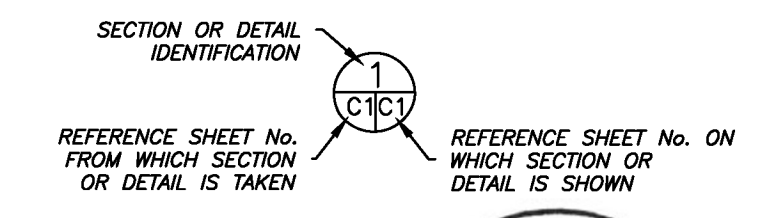
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

DRAINAGE NOTES

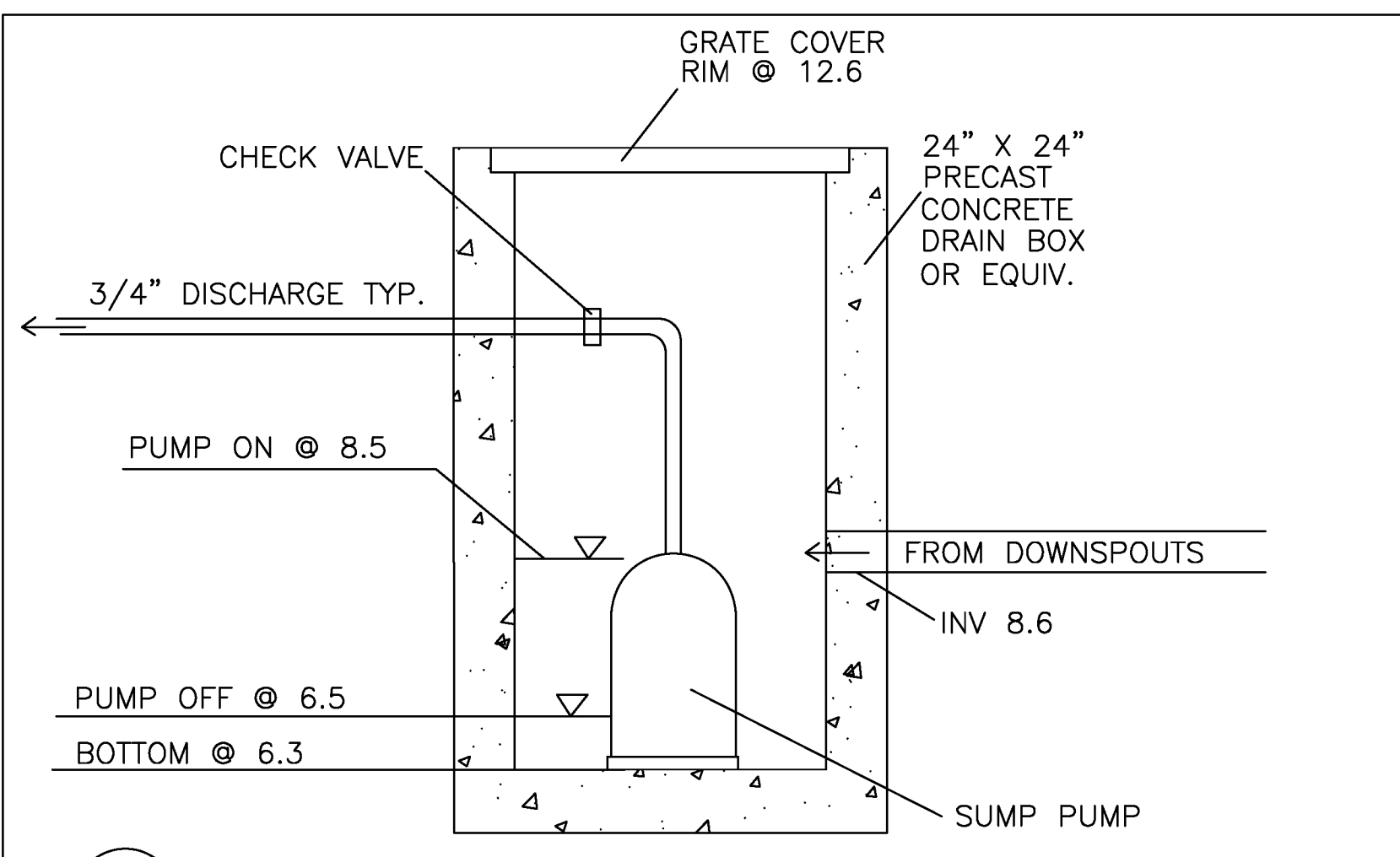
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, SUMP PUMP, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.



SECTION AND DETAIL CONVENTION



1 DETENTION BASIN
 C1C1 NOT TO SCALE

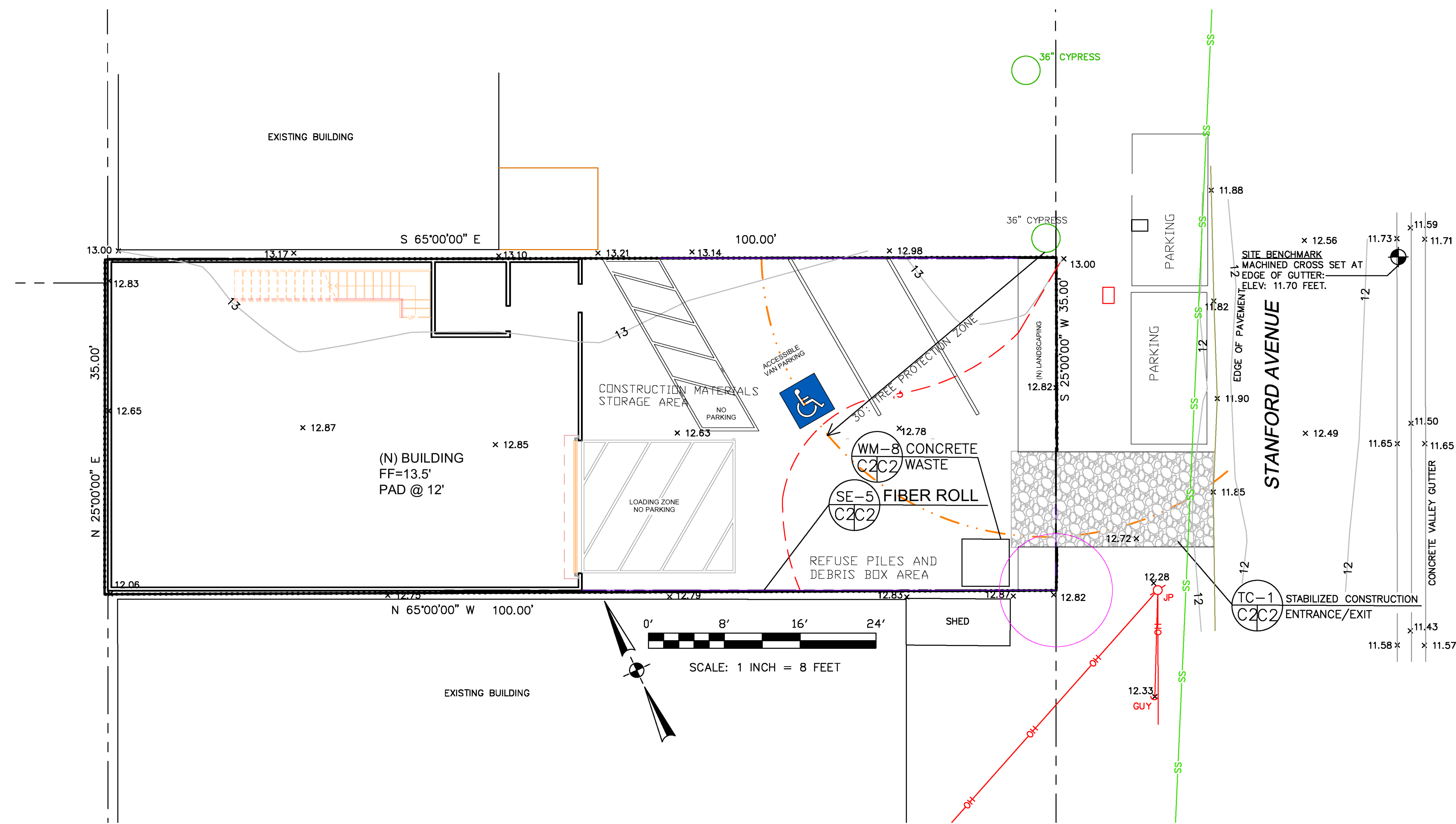


2 SUMP PUMP
 C1C1 NOT TO SCALE

Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 2-14-24	DRAWN BY: CMK	CHECKED BY: AZG	REV. DATE: 2-1-25	REV. DATE: 12-18-25	REV. DATE:	REV. DATE:
---------------	---------------	-----------------	-------------------	---------------------	------------	------------

PRESCRIPTIVE GRADING AND DRAINAGE PLAN
 OVERFELT PROPERTY
 STANFORD AVENUE
 PRINCETON
 APN 047-032-050



TREE PROTECTION NOTES

1. TREE PROTECTION ZONE BASED ON ARBORIST REPORT BY NED PATCHETT CONSULTING, DATED 6-27-24.
2. TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE PROJECT ARBORIST REPORT PREPARED BY NED PATCHETT CONSULTING.

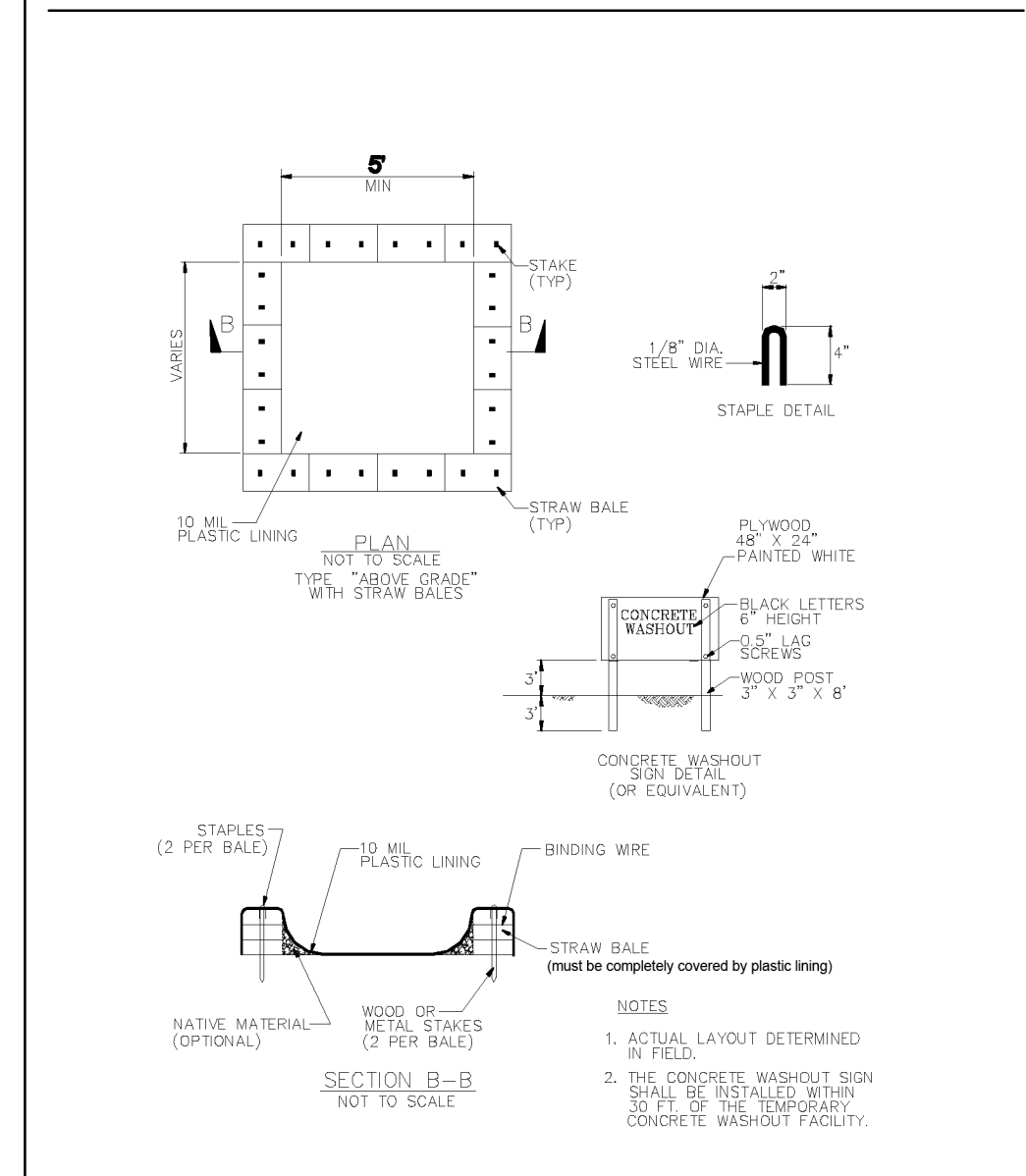
EROSION CONTROL NOTES

- FIBER ROLL**
INSTALL AT LOCATIONS SHOWN. AFIX AS SHOWN IN DETAIL SE-5
1. GRADING MAY TAKE PLACE DURING WET WEATHER AFTER OCTOBER 1 PROVIDED THE FOLLOWING PROVISIONS ARE FOLLOWED.
 2. NO GRADING SHALL TAKE PLACE DURING RAINY WEATHER OR FOR A PERIOD OF AT LEAST 24 HOURS FOLLOWING RAIN.
 3. ALL EXPOSED SOIL SHALL BE TEMPORARILY PROTECTED FROM EROSION WITH JUTE NETTING.
 4. ALL STOCKPILED SOIL SHALL BE COVERED AT ALL TIMES AND REMOVED FROM SITE AS SOON AS POSSIBLE, IF SCHEDULED FOR OFF-HAUL.
 5. ALL EXPOSED SURFACES SHALL BE PERMANENTLY PROTECTED FROM EROSION WITH SEEDING AND/OR LANDSCAPING. SEED MIX SHALL BE 75 LB PER ACRE ANNUAL RYGRASS OR APPROVED SUBSTITUTE. SEED SHALL BE COVERED WITH STRAW MULCH AT A RATE OF 2 TONS/ACRE.
 6. ROCKED CONSTRUCTION ENTRANCE SHALL BE 50 FEET LONG BY 15 FEET WIDE AND CONFORM TO THE FOLLOWING:
 - A. THE MATERIAL FOR THE PAD SHALL BE 3 TO 6 INCH STONE.
 - B. PAD SHALL BE NOT LESS THAN 12" THICK.
 - C. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY.
 - D. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA THAT DRAINS TO THE CONCRETE WASHOUT AREA.
 7. CONCRETE WASHOUT AREA SHALL BE SURROUNDED BY A SINGLE LAYER OF SAND BAGS TO CONTAIN FLUIDS. CHANNEL INTO AREA SHALL BE CLEARED TO ALLOW TIRE DEBRIS (SEE NOTE 6.D. ABOVE)

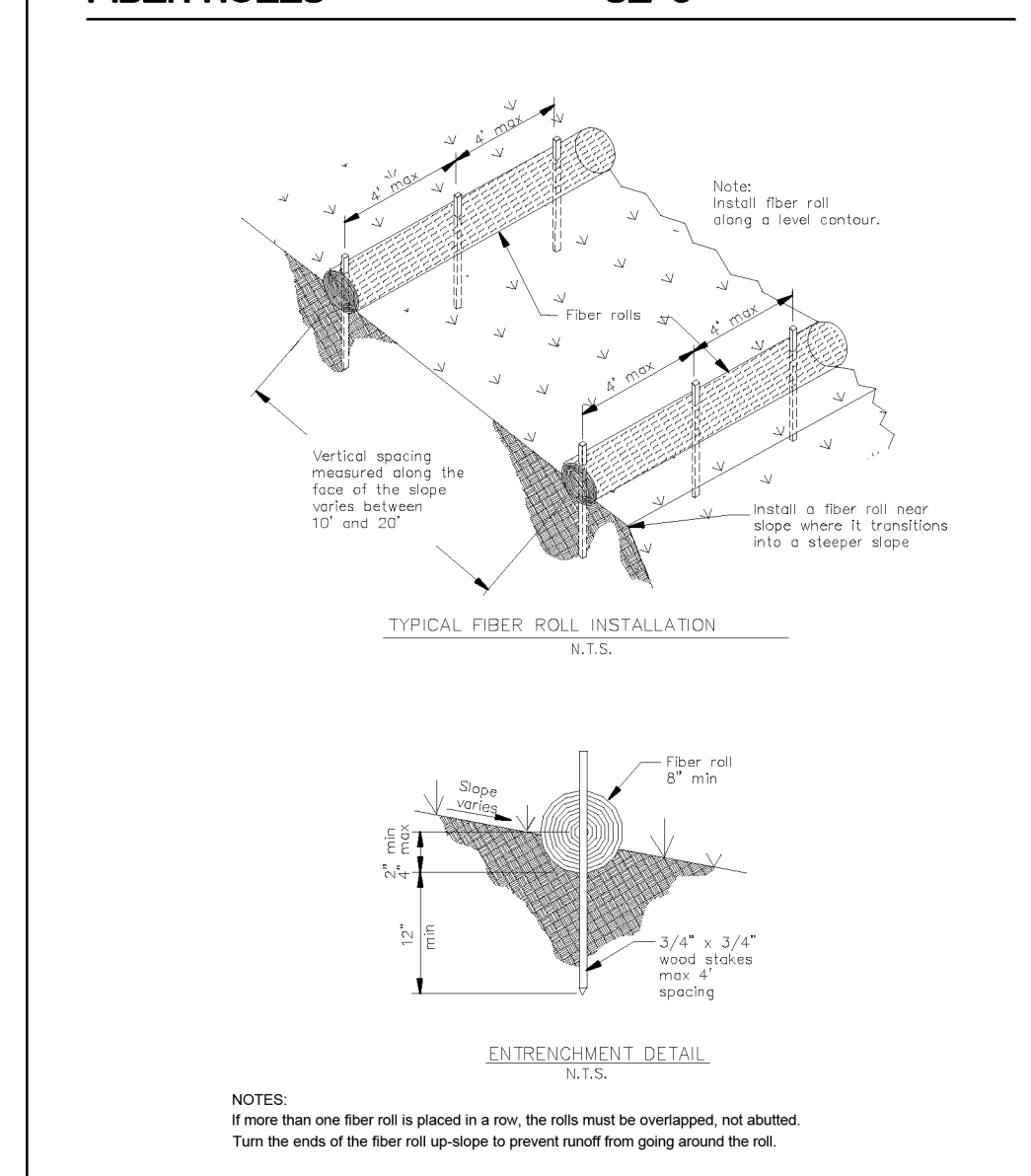
GENERAL EROSION AND SEDIMENT CONTROL NOTES

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site

CONCRETE WASTE MANAGEMENT WM-8



FIBER ROLLS SE-5



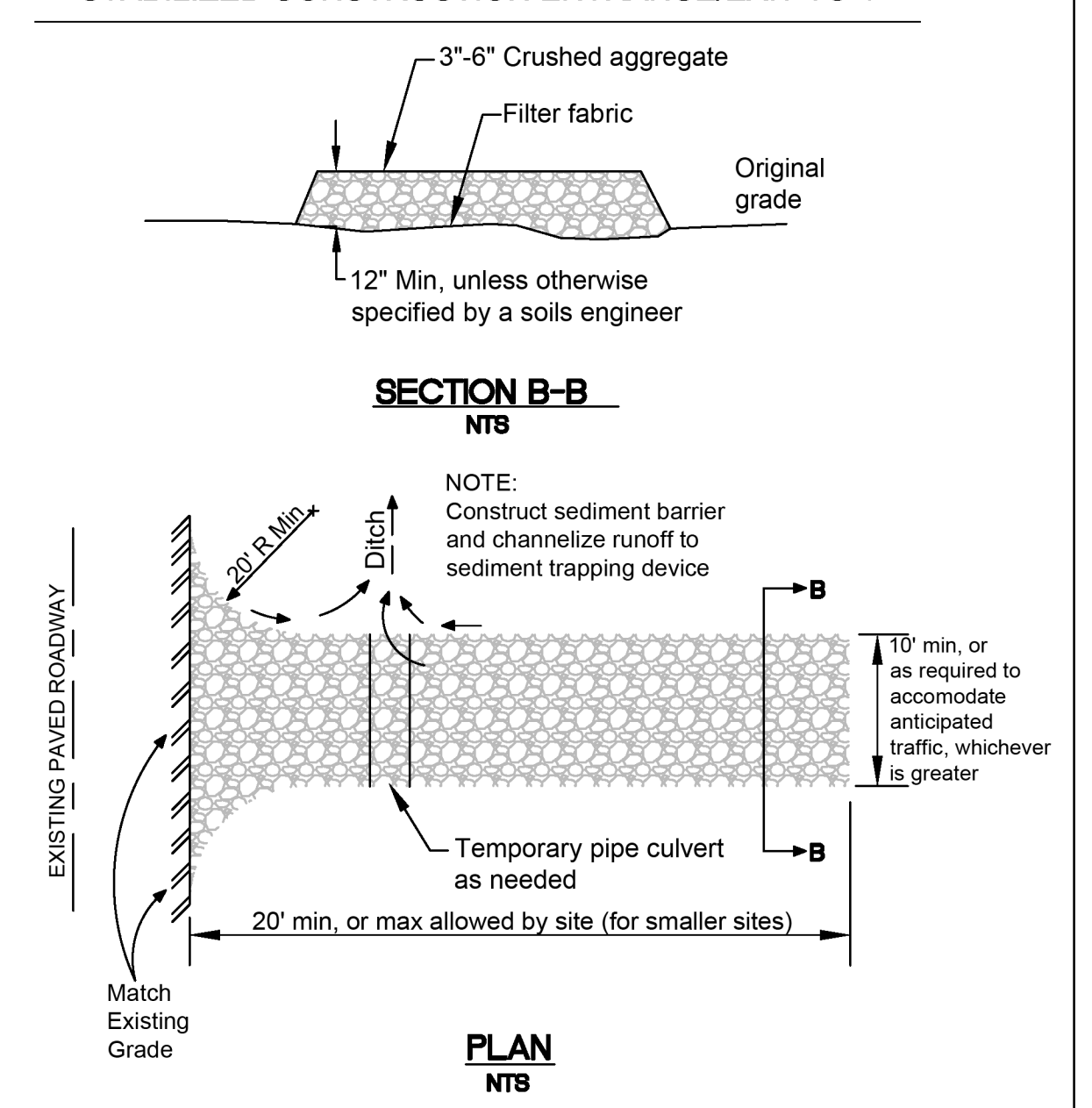
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: BRIAN OVERFELT
 TITLE/QUALIFICATION: OWNER
 PHONE: 650-888-4650
 PHONE:
 E-MAIL: BRIAN@OPLHMB.COM



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 2-14-24
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 2-1-25
 REV. DATE: 12-18-25
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 OVERFELT PROPERTY
 STANFORD AVENUE
 PRINCETON
 APN 047-032-050

SHEET C-2



Tree Inventory and Protection Report

For

Pete and Brian Overfelt

115 Stanford Avenue in Princeton, CA 94019

Submitted by
Ned Patchett
Certified Arborist WE-4597A
Date: June 27, 2024



Ned Patchett Consulting
971 Terminal Way San Carlos, CA 94070
Office 650-728-8308
ned@nedpatchettconsulting.com
www.nedpatchettconsulting.com

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3=Fair	Minor dead branches, early stages of decline	Corrective measures such as pruning or structural support systems may be needed
4=Fair to Good	Tree is in good health	No major structural issues
5=Good	Excellent health	No structural issues

County of San Mateo-Significant Tree Definition

The following is the definition of a Significant Tree in the County of San Mateo as defined in the County of San Mateo's Tree Ordinance:

Definition of a significant tree

- Any live woody plant rising above the ground with a single stem or trunk of a circumference of thirty-eight inches (38") or more measured at four and one-half feet (4 ½') vertically above the ground or immediately below the lowest branch, whichever is lower, and having the inherent capacity of naturally producing one main axis continuing to grow more vigorously than the lateral axes.

Suitability for Preservation

The goal of tree preservation is for the existing trees to remain assets to the site for years to come. Trees that are in poor condition and cannot tolerate construction impacts will become a liability and, therefore, should be removed. An assessment of a tree's suitability for preservation includes the following:

- Tree Health**-A healthy tree can tolerate construction impacts better than a tree in poor health and is more likely to adapt to new site conditions after development.
- Tree Structure**-Trees with structural defects such as decayed wood, weak branch attachments, and codominant stems are a liability and, therefore, should be removed.
- Tree Age**-Mature and over-mature trees are less able to tolerate construction impacts, while younger trees have more tolerance for construction impacts.
- Species Tolerance**-All trees require protection to avoid injury. However, certain tree species can tolerate construction impacts better than others.

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Tree Assessment Methods.....2

Limits of Assignment.....2

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Suitability for Preservation.....3

Observations.....4

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Observations

Site Description

The site is 115 Stanford Avenue in Princeton, CA 94019. An empty lot is currently located on the site. The proposed construction consists of:

- Constructing a new 1,750 SF building
- Grading and installing a new parking lot
- Various civil improvements (see Tree Maps in Appendix B).

Subject Trees

I have prepared a tree inventory with all the County's required information (see Tree Inventory in Appendix A).

Conclusion

The protection of Significant Trees during construction is a mandatory part of the construction process in the County of San Mateo. Arborist inspections can also be required, per the County of San Mateo's Tree Ordinance.

In addition, proposed construction within Tree Protection Zones requires the direct onsite supervision of a Project Arborist and can include specialized construction designs and methods to reduce tree impacts.

Tree Protection Fencing must be erected around these trees before any construction activities on the site commence. I have provided recommendations to protect all Significant Trees during the proposed construction process.

The subject tree is considered a Significant tree and, therefore, is protected by the San Mateo County Ordinance. The following construction plans were reviewed to prepare this report.

- C-1 Grading and Drainage Plan 2/14/24
- C-2 Erosion and Sediment Control Plan 2/14/24
- A102 Site Plan 2/26/24

Elements of the proposed construction are located within the Tree Protection Zone, and therefore, this work can impact this tree and cause decline. I have provided recommendations to reduce the potential for construction impacts on this tree to a less-than-significant level.

*Any Significant tree on-site to be retained and protected by the County's Municipal Code will require replacement according to its appraised value if it is damaged beyond repair due to construction.

Summary

Pete Overfelt retained my services to assess (1) Monterey cypress tree located on the neighbor's property of their property at 115 Stanford Avenue in Princeton, CA 94019. The purpose of my examination was to identify if the subject tree is considered a Significant tree as defined in the County of San Mateo's Tree Ordinance, to assess the health and condition of the tree, determine its potential for preservation during the proposed construction, and to provide recommendations to reduce the impacts of the proposed construction to a less than significant level.

The subject tree is considered a Significant tree and, therefore, is protected by the San Mateo County Ordinance. The following construction plans were reviewed to prepare this report.

- C-1 Grading and Drainage Plan 2/14/24
- C-2 Erosion and Sediment Control Plan 2/14/24
- A102 Site Plan 2/26/24

Elements of the proposed construction are located within the Tree Protection Zone, and therefore, this work can impact this tree and cause decline. I have provided recommendations to reduce the potential for construction impacts on this tree to a less-than-significant level.

*Any Significant tree on-site to be retained and protected by the County's Municipal Code will require replacement according to its appraised value if it is damaged beyond repair due to construction.

Protective Tree Fencing for Significant Trees

Fenced enclosures shall be erected around trees to protect them and establish the TPZ, in which no soil disturbance is permitted, and activities are restricted. Tree protection fencing shall be erected around the trees before any construction activities occur on the site.

Size and type of fence

All trees to be preserved shall be protected with a 6-foot high, minimum 12-gauge chain link fence. Fences are to be mounted on 2-inch diameter galvanized iron posts, driven into the ground to a depth of at least 2-feet at no more than 10-foot spacing. The Project Arborist shall supervise fence post installation when posts are within the Tree Protection Zone to ensure large roots are avoided. This work may require an air spade to be used. This detail shall appear in the grading, demolition, and building permit plans.

Signage

Signs stating "No Entry, Tree Protection Area" in English and Spanish are to be posted on fencing at 30-foot intervals.

Duration

Tree fencing shall be erected before any demolition, grading, or construction begins and shall remain in place until the project is completed.

Tree Protection Zones

Each Significant Tree to be protected, including those on neighboring properties, shall have a designated **Tree Protection Zone (TPZ)** identifying the area sufficiently large enough to protect the tree and roots from disturbance. According to Best Management Practices, the Tree Protection Zone "is the defined area within which certain activities are prohibited or restricted to prevent or minimize potential injury to designated trees." **The TPZ area can be determined by the formula: 10 inches per inch of diameter.** For example, a 20" diameter tree shall have a 16' radius from the perimeter of the trunk or a 16-foot TPZ.

I have calculated the optimal TPZ for each tree to be retained. This information can be found in the Tree Inventory (See Tree Inventory in Appendix A).

Activities prohibited within the TPZ include

- Storage or parking vehicles, building materials, refuse, excavated spoils, or dumping of poisonous materials, including but not limited to paint, petroleum products, concrete, stucco mix, or dirty water.
- The use of tree trunks as a winch support, anchorage, temporary power pole, signposts, or other similar functions.
- Cutting of tree roots by utility trenching, foundation digging, placement of curbs and trenches, and other miscellaneous excavation.

Introduction

Assignment

Pete and Brian Overfelt retained my services to perform the following tasks:

- Assess tree health, condition, and potential impacts for the significant tree located on the neighbor's property within the proposed construction zone at 115 Stanford Avenue in Princeton, CA.
- Identify which trees are considered Significant Trees as defined in the County of San Mateo's Tree Ordinance.
- Provide construction guidelines to be followed throughout all phases of a construction project.
- Document this information in a written report.

Tree Assessment Methods

Kevin Patchett, Certified Arborist WE-0438A, visited the site on June 19, 2024, to collect information for this report. A **Level 1 Visual Tree Assessment (VTA)** was performed on the subject tree. The following outlines the procedure for collecting information for this report:

- Identify tree species
- Measure the diameter of the trunk at 54 inches above grade **Diameter at Standard Height (DSH)**
- Identify if the tree is a Significant Tree, as defined in the County of San Mateo's Tree Ordinance.
- Assess the health and condition of each tree
- Assess the structural stability of each tree
- Inspect the trees for pests or diseases.

Limits of Assignment

I did not perform an **aerial inspection** of the upper crown or a detailed **root crown inspection** on the subject trees.

Health and Structure Rating System

The following table provides an overview of the rating system used when visually assessing the health and structure of the subject trees within this report.

Rating	Health	Structure
1=Poor	Dead, diseased or dying	Hazardous
2=Fair to Good	Declining with significant signs of dieback	Structural weakness or flaws that could lead to failure

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

- Soil Disturbance, Soil Compaction, or grade changes.

- Drainage changes.

Special Activities within the Tree Protection Zone

Work in this area (TPZ) requires the direct onsite supervision of the Project Arborist.

Tree Protection Zone Inspection

The Planning and Building Department shall complete a pre-construction site inspection to verify that all required tree protection and erosion control measures are in place per San Mateo County's Municipal Code.

Specific Tree Protection Recommendations

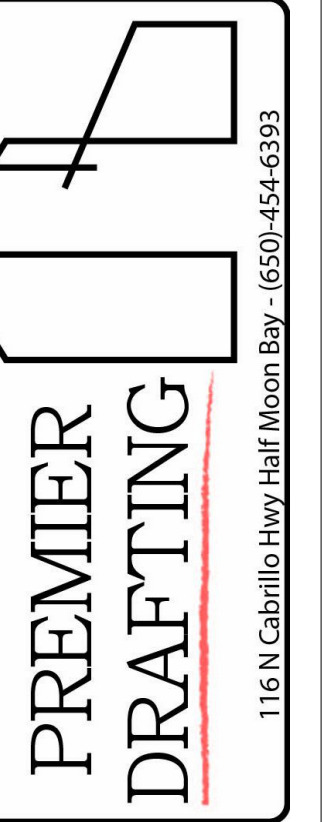
Portions of the proposed construction are located within the Tree Protection Zone of the subject tree. Therefore, this work could impact this tree and cause it to decline. The following outlines anticipated construction impacts and recommendations to reduce the potential for these impacts to a less-than-significant level. Tree protection fencing shall be erected around the tree before any construction activities occur on the site.

The construction activities within this tree's TPZ include but are not limited to, portions of a new asphalt parking lot, new sewer laterals, a sump pump, a concrete waste station, and a construction material storage area. This work can potentially impact approximately 24% of this tree's TPZ. The following outlines my recommendations for these trees:

- The grading and associated construction for the new parking lot is approximately 2 to 3 feet off the trunk of this tree at its closest point. The grading and sub-base for the portions closest to this tree should be minimized to limit the number of roots potentially affected by this work. Hand digging or an Air spade should be used for the portion of this work that is located within the TPZ of this tree. Any roots encountered during the grading and sub-base installation that are 1 inch in diameter and smaller can be cleanly cut at the edge of the excavation zone. If a root larger than 1 inch in diameter is encountered, it should be retained and wrapped in burlap that is kept moist daily until the project arborist can inspect the root to determine an appropriate course of action.
- The sewer lateral should be routed to the edge of the TPZ. Any required excavation within the TPZ of the significant tree should be performed by hand digging, directional boring, or with an air spade. Any roots encountered during these processes that are 1 inch in diameter and smaller can be cleanly cut at the edge of the excavation zone. If a root larger than 1 inch in diameter is encountered, it should be retained and wrapped in burlap that is kept moist daily until the project arborist can inspect the root to determine an appropriate course of action.

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

REVISIONS



Owner Information
Pete & Brian Overfelt
Brian@optimb.com
Pete@optimb.com

Proposed Building at
115 Stanford Ave
APN: 047-032-050

Arborist Report

Drawn by **JM**

Designed By: **Colton Palmer**

Date **3/6/25**

Sheet:

AR-1

Scale

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- The concrete waste station and construction material storage area should be moved outside of the TPZ of Tree 1. This will assist in reducing the potential impacts that may arise from having these items within the TPZ of this tree.
- Any plantings should be a minimum of 3-5 feet from the tree trunk. Any roots encountered during the installation that are 1 inch in diameter and smaller can be cleanly cut at the edge of the excavation zone. If a root larger than 1 inch in diameter is encountered, it should be retained and wrapped in burlap that is kept moist daily until the project arborist can inspect the root to determine an appropriate course of action. If significant roots are encountered, then the layout of the pavers may require adjustment.
- No irrigation should be within 3-5 feet of the tree's trunk.
- Fertilize the tree with NutriRoot now and again before construction begins. NutriRoot is a low-nitrogen, soil-injected fertilizer that has proved beneficial in offsetting the potential impacts of construction. This fertilizer helps with water management, introduces macro/micronutrients that may be lacking in the soil, increases root development, and assists in stressed conditions.
- Apply a 3 to 4-inch layer of mulch within the tree's TPZ. No mulch should be located within 2 feet of the trunk of this tree.

Continued Maintenance Of Significant Trees During and After Construction Recommendations

I recommend the following for continued maintenance after the completion of the construction process.

- Monthly arborist inspections for the duration of the construction activities.
- Quarterly arborist inspections for the first year after the completion of the construction project.

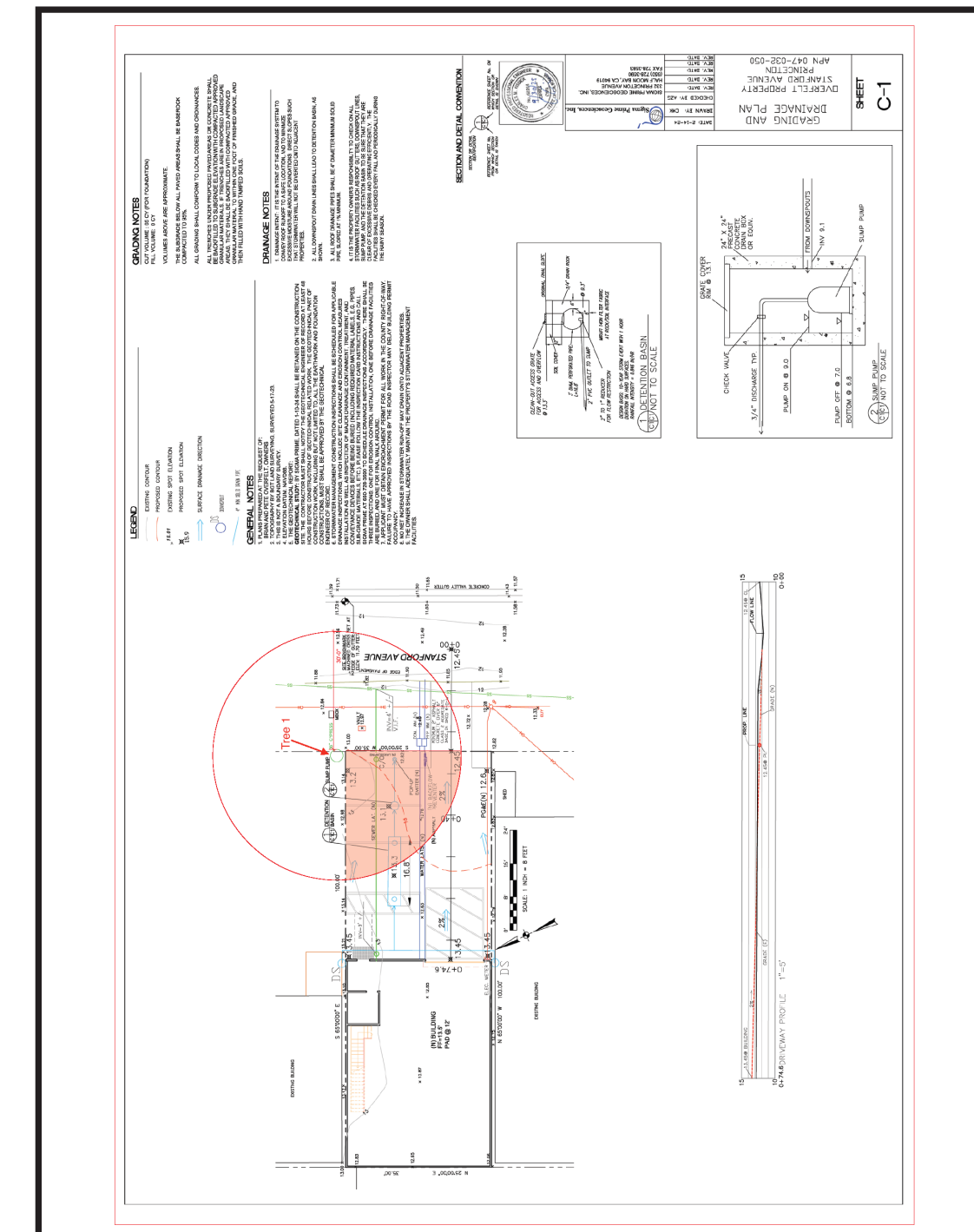
Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Appendix B – Tree Inventory Map



Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Appendix C – Tree Appraisal Calculations

Tree #	Species	DBH (inches)	Height (feet)	Canopy Spread (feet)	Health Rating	Structural Condition	Observation	Recommendations	Tree Protection Zone (TPZ)
1	Monterey cypress	36	36	36	2	2	This tree has a poor branch attachment between the two main stems with included bark present. The lateral branches of this tree have been heavily reduced back to the fence line. This tree has been topped in the past due to their proximity to the power lines. Areas of decay are present on the trunk of this tree.	Fertilization.	30

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Appendix D – Arborist Disclosure Statement

Arborists are tree specialists who use their education, knowledge, training, and experience to examine trees. They recommend measures to enhance the beauty and health of trees and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of the arborist or to seek additional advice.

Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. Trees are living organisms that fail in ways we do not fully understand. Conditions are often hidden within trees and below the ground. Arborists cannot guarantee that a tree will be healthy or safe under all circumstances or for a specified period of time. Likewise, remedial treatments like any medicine cannot be guaranteed.

Treatment, pruning, and removal of trees may involve considerations beyond the scope of the arborist's services, such as property boundaries, property ownership, site lines, disputes between neighbors, and other issues. Arborists cannot take such considerations into account unless complete and accurate information is disclosed to the arborist. An arborist should then be expected to reasonably rely upon the completeness and accuracy of the information provided.

Trees can be managed, but they cannot be controlled. To live near trees is to accept some degree of risk. The only way to eliminate all risk associated with trees is to eliminate all trees.

Ned Patchett
Ned Patchett
Certified Arborist WE-4597A

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Appendix E – Certification of Performance

I, Ned Patchett, certify:

- That I have personally inspected the tree and the property referred to in this report. I have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms of Assignment;
- That I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with the parties involved;
- That the analysis, opinions, and conclusions within this report are my own;
- That my analysis, opinions, and conclusions were developed, and this report has been prepared according to commonly accepted arboricultural practices;
- That no one provided significant professional assistance to the consultant, except as indicated within the report;
- That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party.

I further certify that I am an International Society of Arboriculture Certified Arborist and have been involved in the practice of arboriculture and the study of trees for over 31 years.

Signed: *Ned Patchett*
Date: _____

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

Glossary of Terms

- Aerial inspection** An inspection of the upper crown of the tree that requires climbing.
- Crown** Parts of the tree above the trunk, including leaves, branches and scaffold limbs. (Matheny and Clark, 1994)
- Diameter at standard height (DSH)** The diameter of a tree's trunk as measured at 4.5 feet from the ground. (Matheny and Clark, 1994)
- Windthrow** Tree Failure due to uprooting caused by wind. (Glossary of Arboriculture Terms, 2007)
- Root crown** Area where the main roots join the plant stem, usually at or near ground level. Root Collar. (Glossary of Arboriculture Terms, 2007)
- Root crown inspection** Process of removing soil to expose and assess the root crown of a tree. (Glossary of Arboriculture Terms, 2007)
- Visual Tree Assessment (VTA)** A method of visual assessing the condition of a tree that does not include a root crown inspection or an aerial inspection.

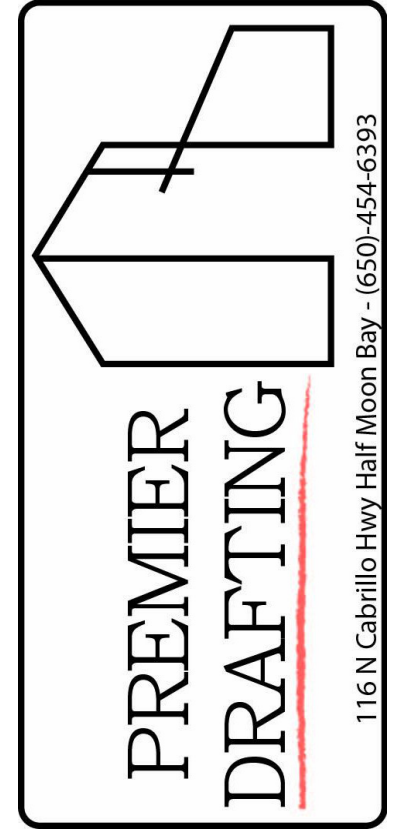
Bibliography

- Matheny, N.P. and J.R. Clark. *A Photographic Guide to the Evaluation of Hazard Trees in Urban Areas* (2nd Edition). Pleasanton, CA. HortScience Inc., 1994.
- Matheny, N.P. and J.R. Clark. *Trees and Development A Technical Guide to Preservation of Trees During Land Development*. Champaign, IL. International Society of Arboriculture, 1998
- Harris, R. *Arboriculture Integrated Management of Landscape Trees, Shrubs, and Vines*. Englewood Cliffs, NJ: Prentice-Hall, Inc., 1992
- International Society of Arboriculture. *Glossary of Arboriculture Terms*. Champaign, IL. Dixon Graphics, 2007
- Kelby Fite and E. Thomas Smiley. *Managing Trees During Construction*. Champaign, IL. Premier Print Group, 2008

Appendix A – Tree Inventory

Tree #	Species	Botanical Name	DSH (inches)	Significant Tree	Health Rating	Structural Condition	Observation	Recommendations	Tree Protection Zone (TPZ)
1	Monterey cypress	Cupressus macrocarpa	36 (taken from the survey)	Yes	2	2	This tree has a poor branch attachment between the two main stems with included bark present. The lateral branches of this tree have been heavily reduced back to the fence line. This tree has been topped in the past due to their proximity to the power lines. Areas of decay are present on the trunk of this tree.	Fertilization.	30

REVISIONS



Owner Information
Pete & Brian Overfelt
Brian@optimb.com
Pete@optimb.com

Proposed Building at
115 Stanford Ave
APN: 047-032-050

Arborist Report

Drawn by: JM
Designed By: Colton Palmer
Date: 3/6/25
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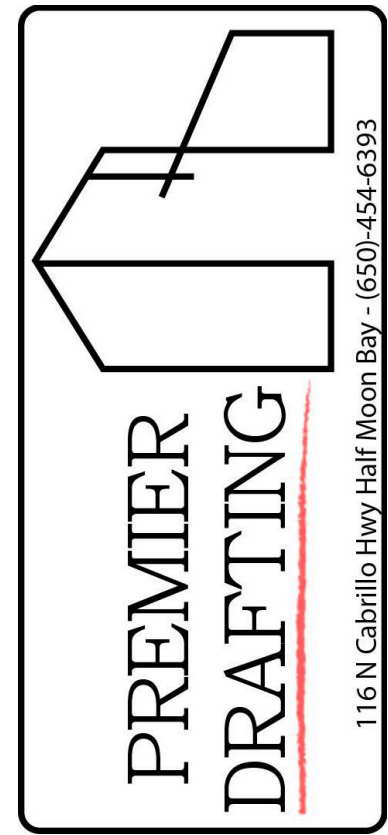
Appendix F – Terms and Conditions

The following terms and conditions apply to all oral and written reports and correspondence pertaining to the consultations, inspections and activities of Ned Patchett Consulting, Inc. hereinafter referred to as "Consultant".

1. Any legal description provided to the Consultant is assumed to be correct. No responsibility is assumed for matters legal in character nor is any opinion rendered as to the quality of any title.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by the Consultant, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the Consultant and the Client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. The Consultant assumes no liability for the failure of trees or parts of trees, either inspected or otherwise. The Consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. No tree described in this report was climbed, unless otherwise stated. The Consultant cannot take responsibility for any defects, which could only have been discovered by climbing. A full root crown examination (RCX), consisting of excavating the soil around the tree to uncover the root crown and major buttress roots was not performed unless otherwise stated. We cannot take responsibility for any root defects, which could only have been discovered by such an inspection.
6. The Consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. The Consultant offers no guarantees or warranties, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the Consultant, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphic material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by the Consultant as to the sufficiency or accuracy of that information.
10. This report has Eighteen (17) pages and shall be considered a whole, no sections are severable, and the report shall be considered incomplete if any pages are missing. The original report has color illustrations. If the reader has a black and white copy the report shall be considered incomplete, and any interpretation of the report may be incorrect in the absence of a full color copy. Ned Patchett Consulting, Inc. accepts no responsibility for any such misinterpretations.

Tree Inventory and Protection Report for 115 Stanford Avenue
Prepared By Ned Patchett Consulting, Inc.

REVISIONS



Owner Information
 Pete & Brian Overfelt
 Brian@optimb.com
 Pete@optimb.com

**Proposed Building at
 115 Stanford Ave
 APN: 047-032-050**

Arborist Report

Drawn by **JM**

Designed By: **Colton Palmer**


Date **3/6/25**

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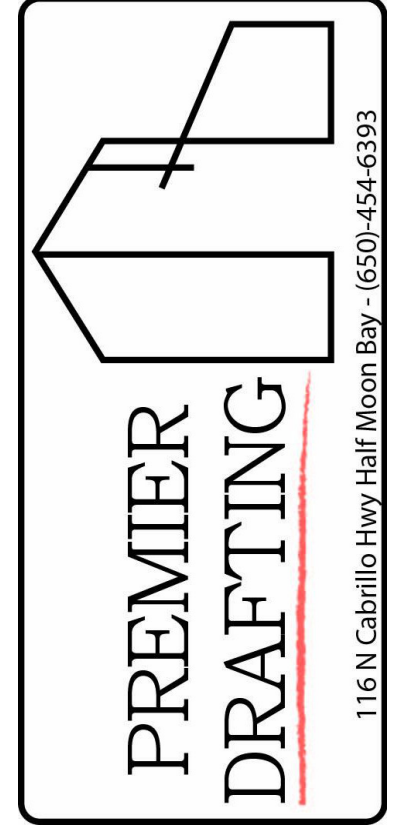
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REVISIONS	
2	12/27/24
3	8/18/25

PLANT LIST

No.	Botanical Name	Common Name	Qty.	Plant Type
ART SCH	Artemisia schmidtiana	Silver Mound	3	Perennials
FES OVI	Festuca ovina 'Glauca'	Festuca Grass	4	Clump Grass
PEN SET	Pennisetum setaceum	Fountain Grass	4	Accent Grass

LANDSCAPE NOTE: 1 2" OF ORGANIC MULCH TO COVER 1" OF TOPSOIL



Owner Information
 Pete & Brian Overfelt
 Brian@optimb.com
 Pete@optimb.com

Proposed Building at
 115 Stanford Ave
 APN: 047-032-050

Site Plan

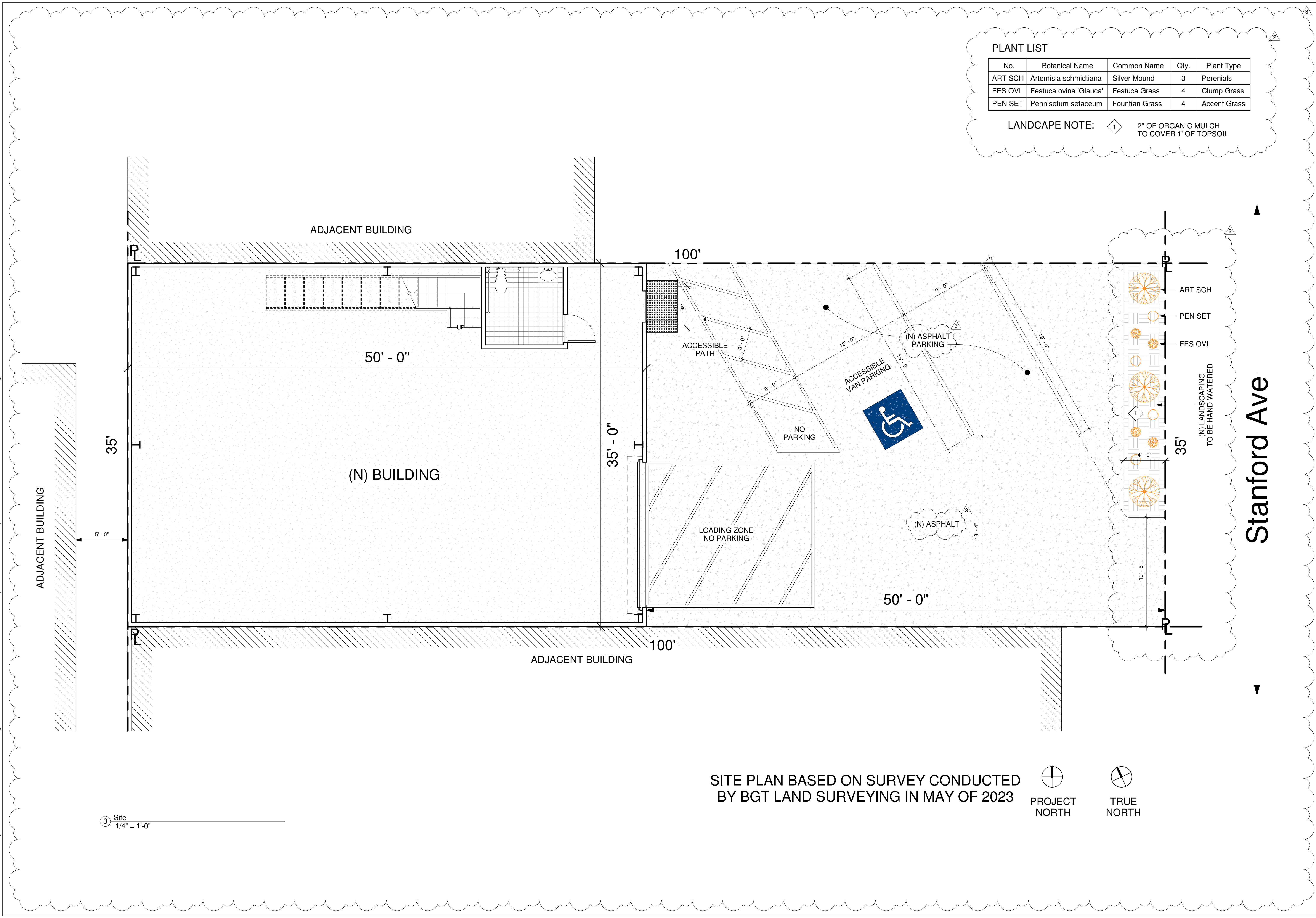
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Designed By: Colton Palmer

Date 3/6/25

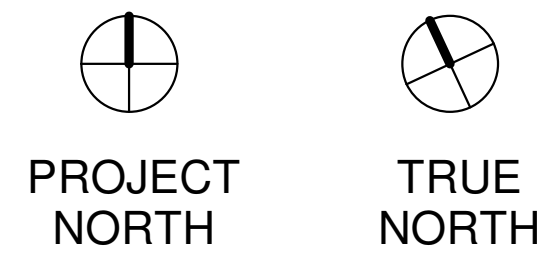
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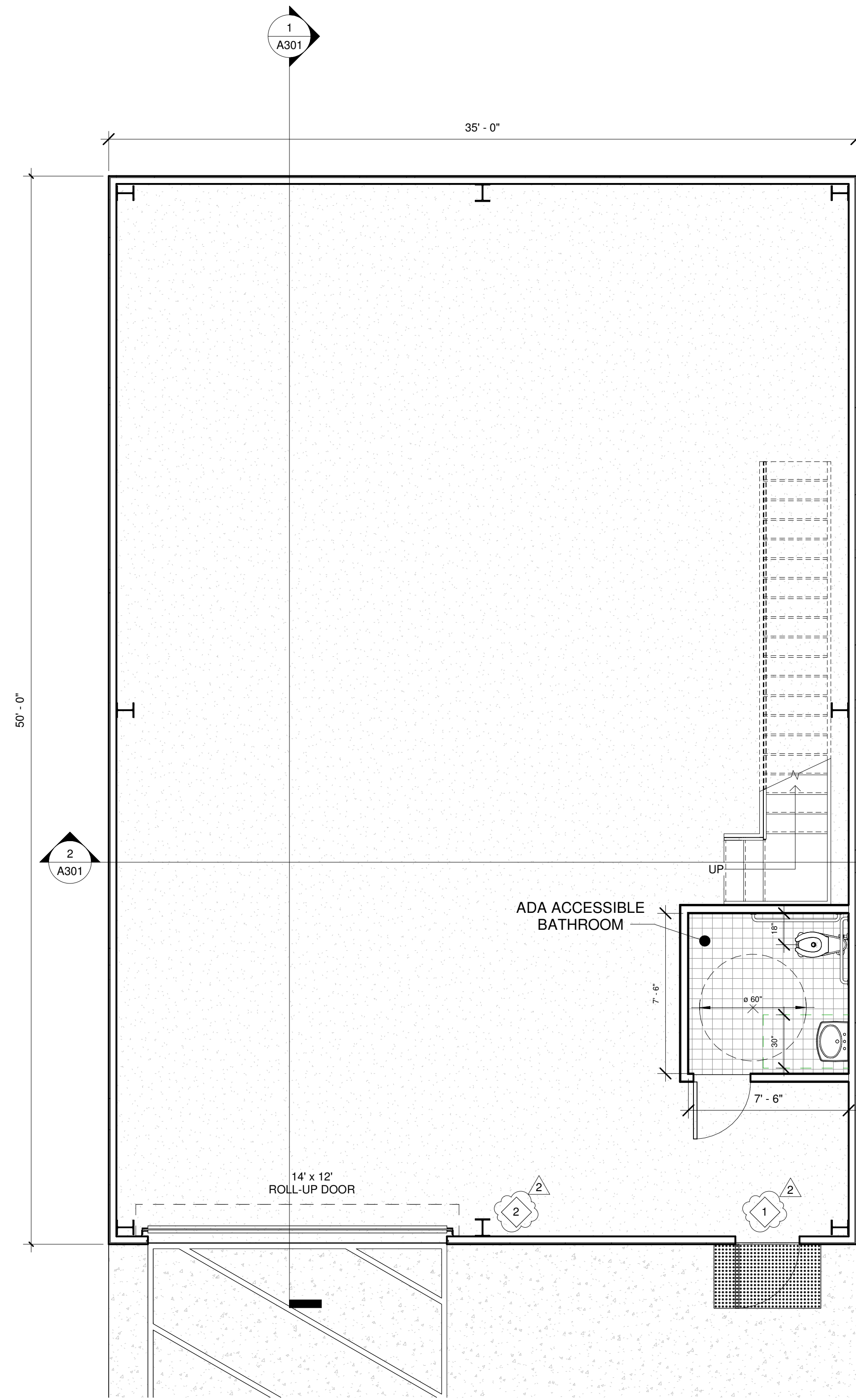


3 Site
 1/4" = 1'-0"

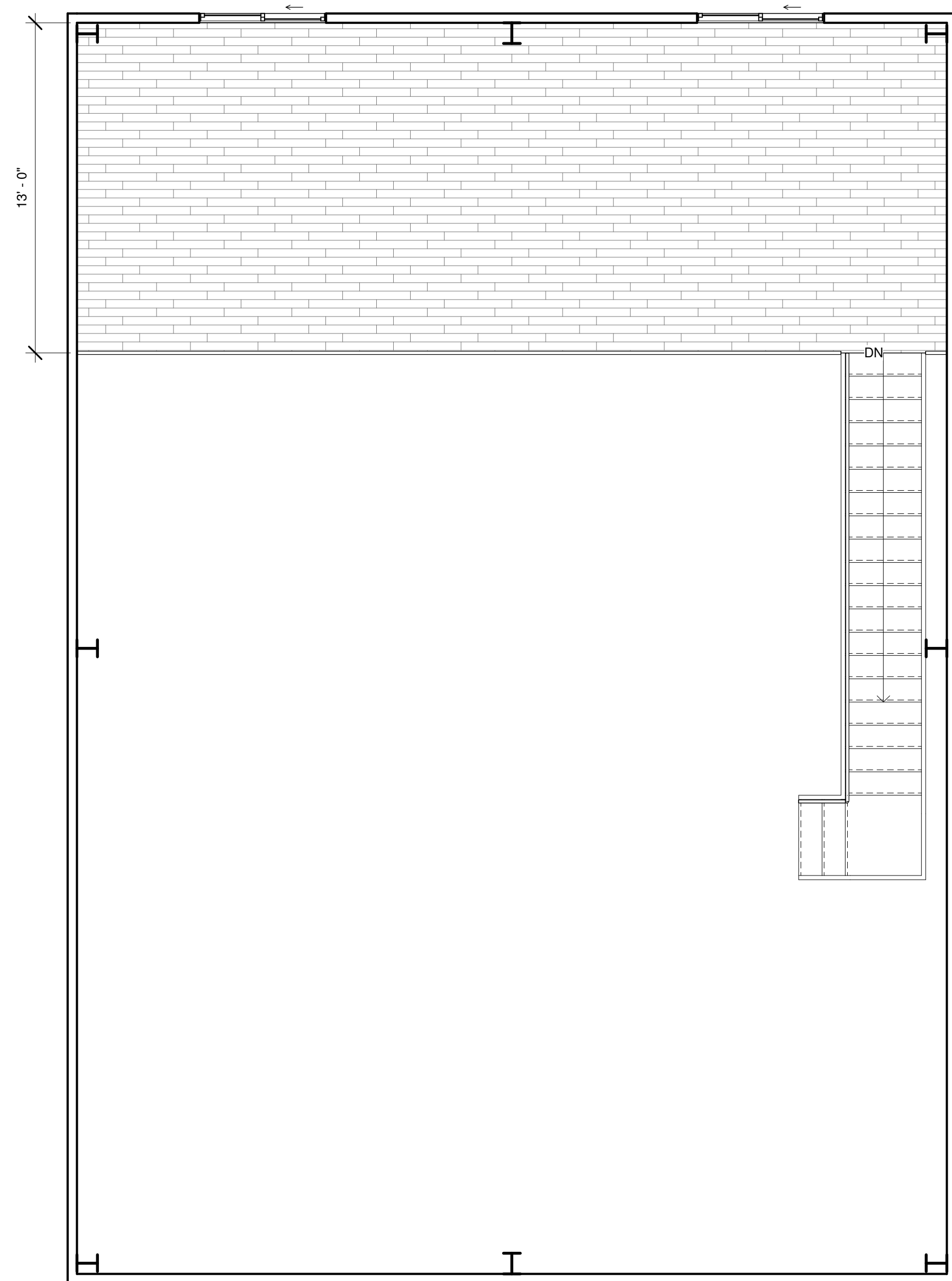
SITE PLAN BASED ON SURVEY CONDUCTED BY BGT LAND SURVEYING IN MAY OF 2023



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① Level 1
1/4" = 1'-0"

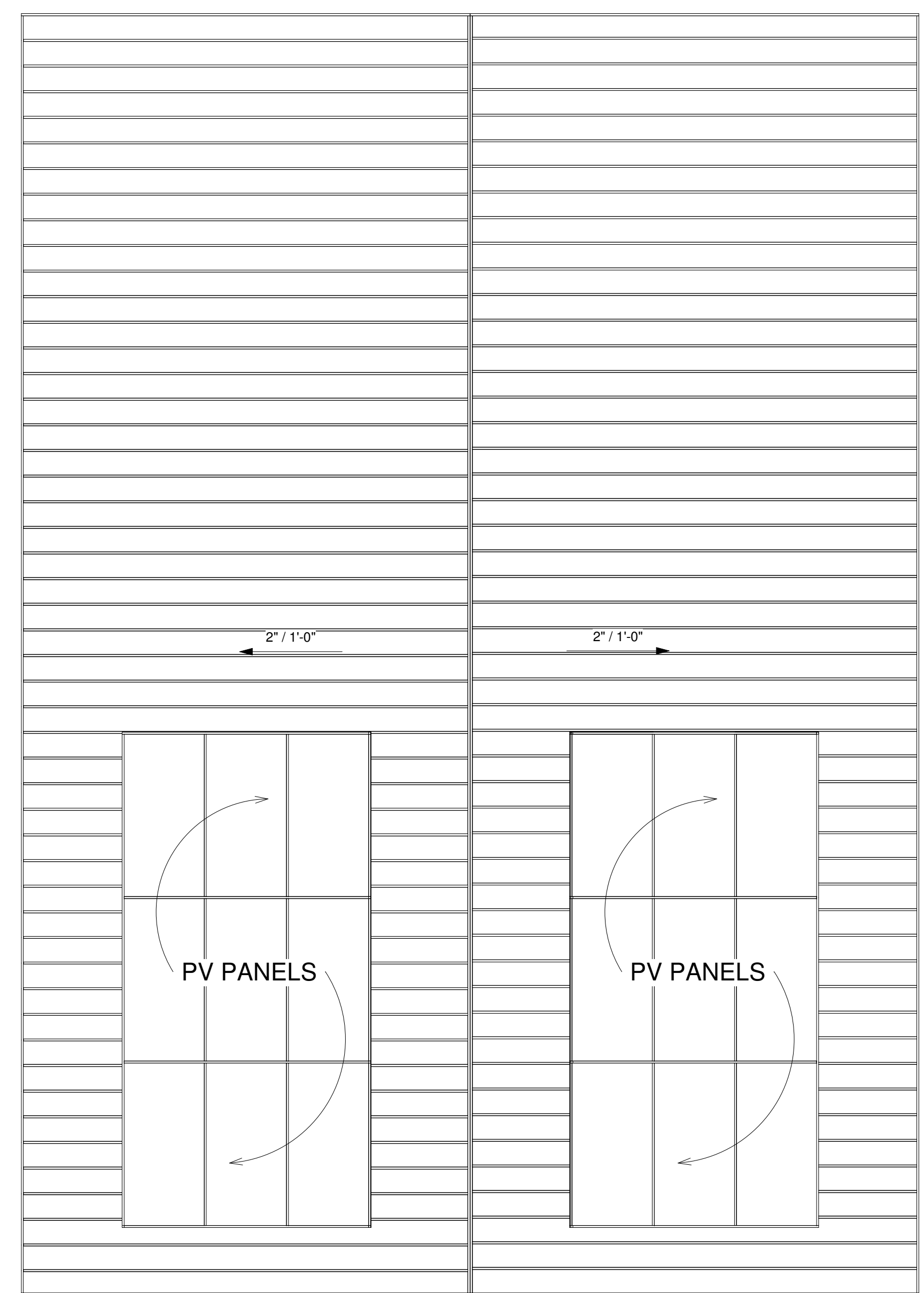


② Level 2
1/4" = 1'-0"

GENERAL KEYNOTES:

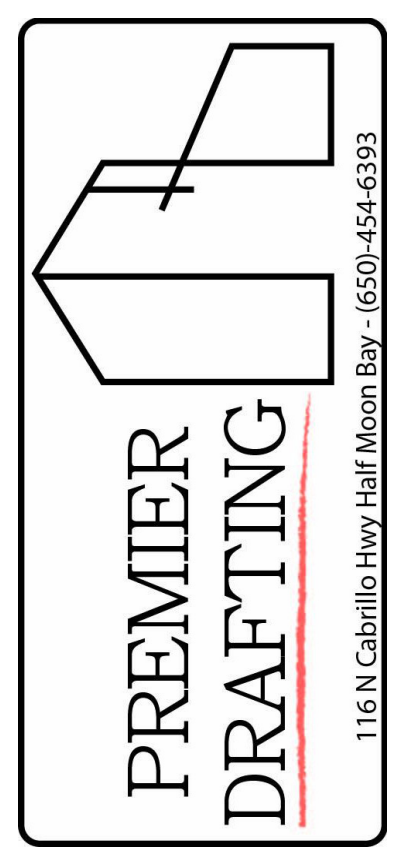
① EXIT DOOR(S) SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY, SPECIAL KNOWLEDGE OR EFFORT. EXCEPTION: MAIN EXIT DOORS MAY BE EQUIPPED WITH A KEYED-LOCKING DEVICE IF THERE IS A READILY VISIBLE SIGN ON OR ADJACENT TO THE DOOR STATING "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". THE LETTERS IN THE SIGN SHALL NOT BE LESS THAN 1-INCH IN HEIGHT.
- EXIT ILLUMINATION: SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED. BY TWO ELECTRIC LAMPS OR SHALL BE OF AN APPROVED SELF-LUMINOUS TYPE.

② 2A10BC FIRE EXTINGUISHER



③ Roof
1/4" = 1'-0"

REVISIONS	
②	12/27/24



Owner Information
Pete & Brian Overfelt
Brian@optimb.com
Pete@optimb.com

Proposed Building at
115 Standford Ave
APN: 047-032-050

Floor & Roof Plan

Drawn by JM

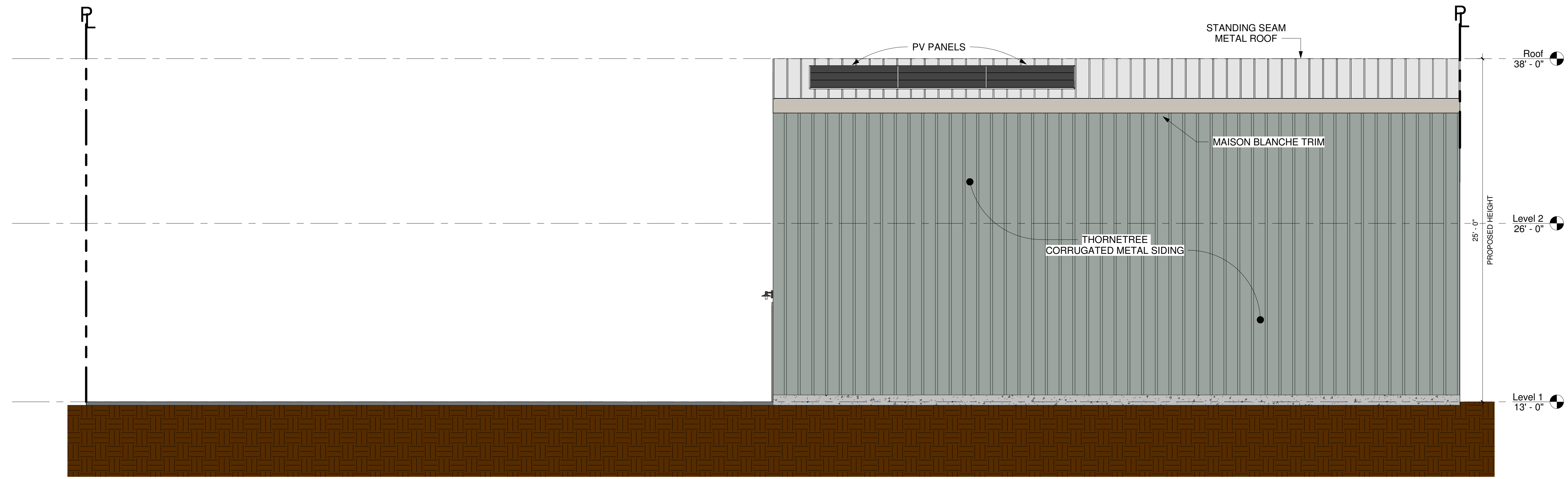
Designed By: Colton Palmer
Colton Palmer

Date 3/6/25

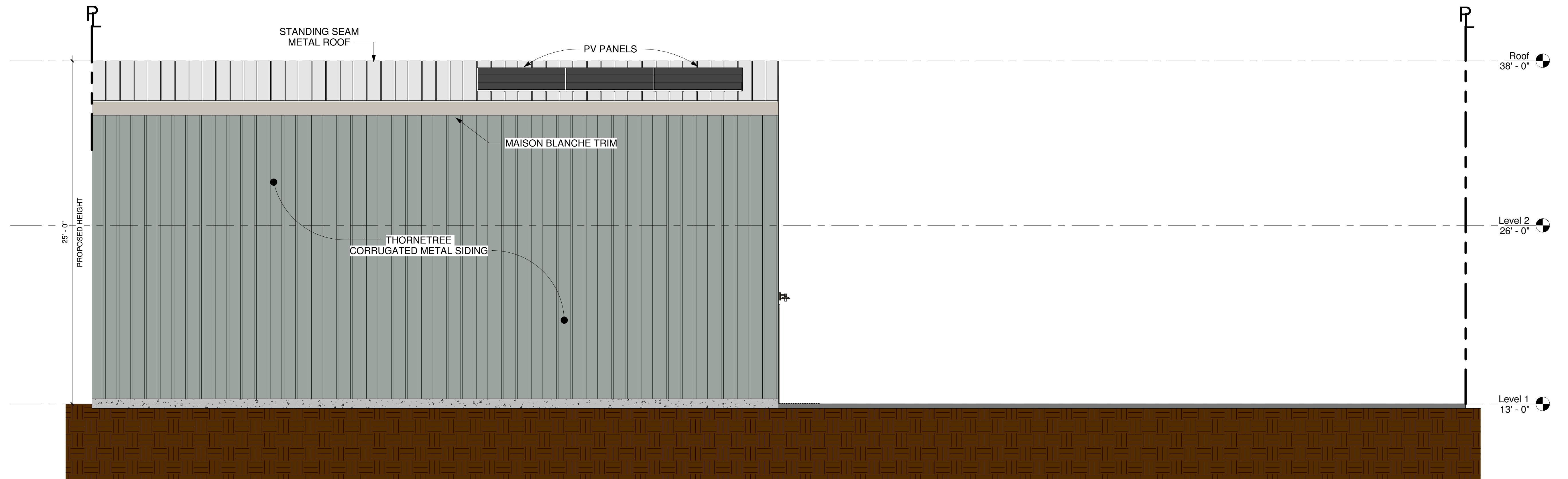
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1 North
1/4" = 1'-0"



2 South
1/4" = 1'-0"

REVISIONS



**PREMIER
DRAFTING**

116 N. Cabrillo Hwy. Half Moon Bay - (650)-454-6393

**Owner
Information**

Pete & Brian Overfelt
Brian@optimdb.com
Pete@optimdb.com

Proposed Building at
115 Standford Ave
APN: 047-032-050

**Elevation North &
South**

Drawn by JM

Designed By: Colton Palmer

Date 3/6/25

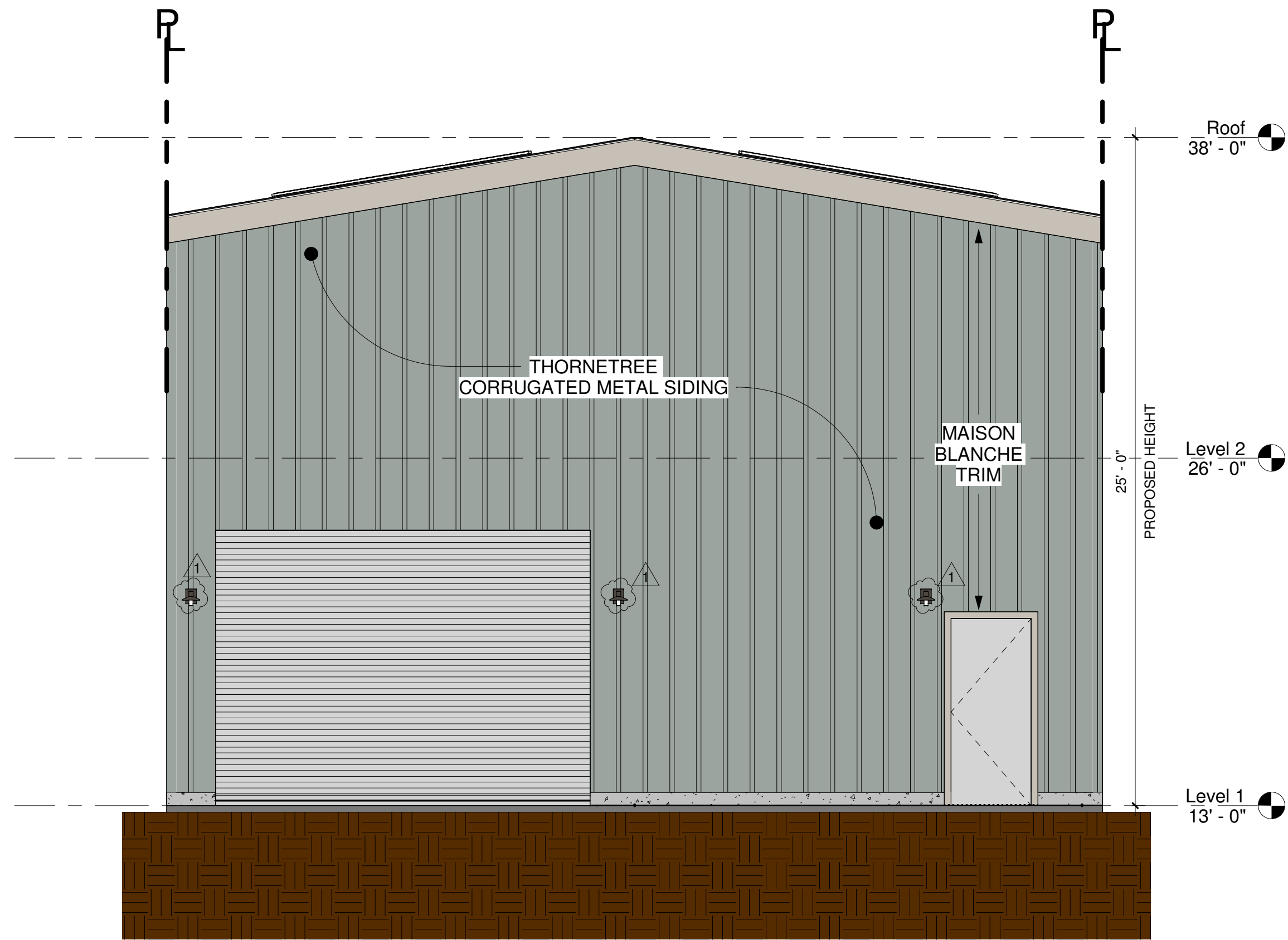
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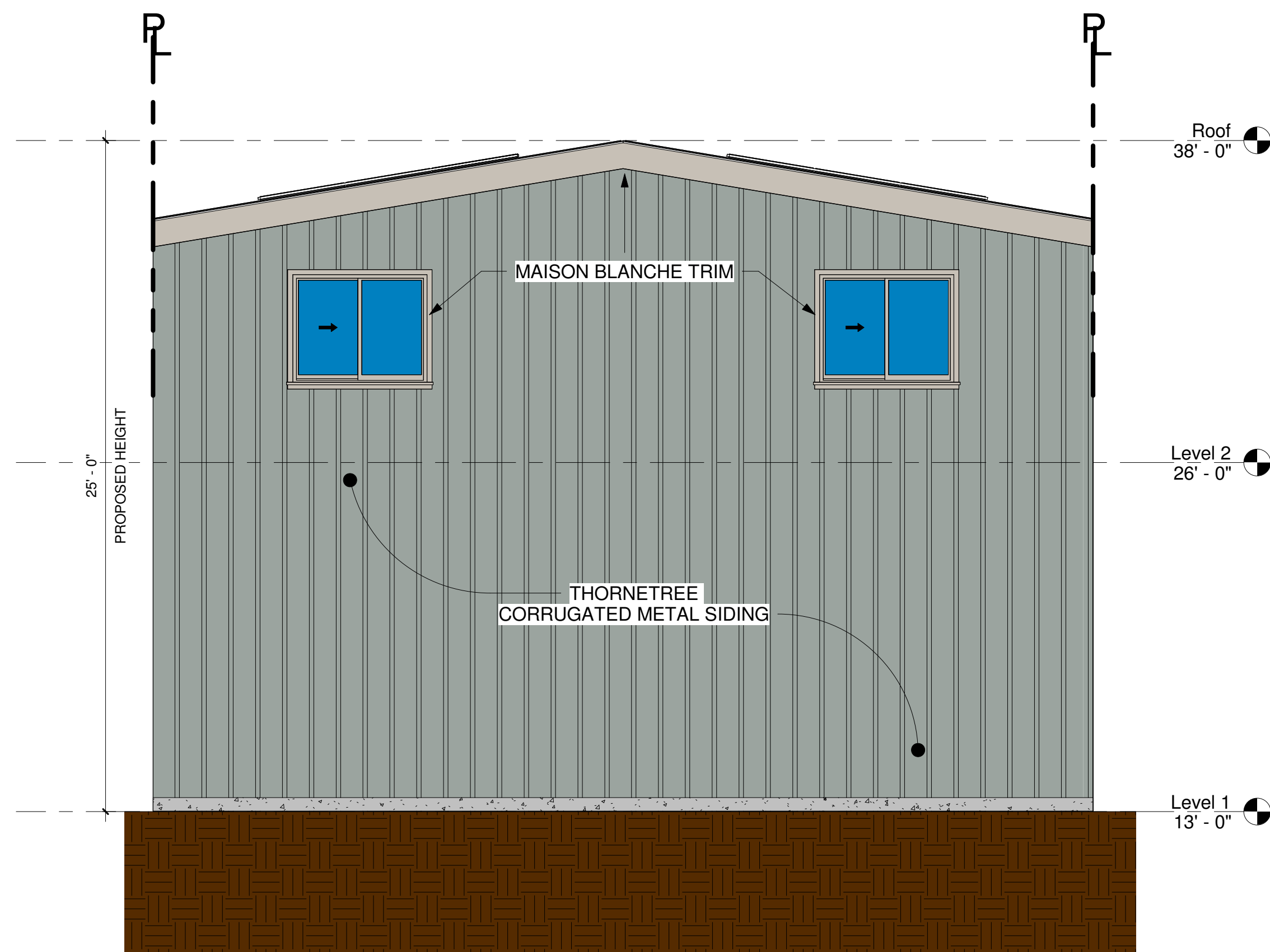
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① East
1/4" = 1'-0"



② West
1/4" = 1'-0"

*** THE LENSED VERSION OF THE ASH 8 WALL SCONCE WILL BE USED FOR THE EXTERIOR LIGHTING
- THE LIGHTS WILL BE CONTROLLED BY A PHOTOELECTRIC SWITCH**

ASH 8 WALL SCONCE | TECH LIGHTING

The Ash outdoor wall sconce is a modern take on the classic industrial-style light fixture. The Ash features a sleek metal shade and clear diffuser that creates a column of diffused light from under the shade. Ash wall sconces feature energy-efficient, fully dimmable integrated LED lighting. Available in two finishes, Bronze and Charcoal, and four sizes.

Outstanding protection against the elements:

- Powder coat finish
- Stainless Steel mounting hardware
- Impact resistant, UV stabilized acrylic lensing
- IP65 Rated

SPECIFICATIONS

COLLECTED LUMENS	510 or 1180 with clear cylinder
WATTS	6 or 8
VOLTAGE	Universal 120-277V, with integrated LED
DIMMING	0-10V, DALI
LIGHT DISTRIBUTION	Spotlight
MOUNTING OPTIONS	Wall
FINISHES/OPTIONS	Brushed Steel, Matte Black
CS	270K or 300K
CR	90
COLOR RENDERING	90
IKG RATING	IK1-100
SHOCK	IK10
WEIGHT	1.5 lbs
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	See listing for details. See listing for details. See listing for details.
UL LISTING	See listing for details. See listing for details. See listing for details.
CONSTRUCTION	Aluminum
FINISH	Powder Coat
LED LIFETIME	50,000 hours
WARRANTY	3 Year
WEIGHT	1.5 lbs

ORDERING INFORMATION

PROJECT	DATE	VERSION	USER	STATUS	APPROVAL
PRINCETON	08/22/2023	1.0	JMZ	REVISED	REVISED
PRINCETON	08/22/2023	1.0	JMZ	REVISED	REVISED
PRINCETON	08/22/2023	1.0	JMZ	REVISED	REVISED

ASH 8 WALL SCONCE | TECH LIGHTING

PHOTOMETRICS*

PROJECT INFO

PROJECT: _____ DATE: _____

QUANTITY: _____ DRAWN BY: _____

TECH LIGHTING
Visual Comfort & Co.
10000 S. 26th Street, Suite 1000
Portland, OR 97201
1-877-387-0000

EXTERIOR COLOR CHIP SAMPLES:

SW 7526
Maison Blanche
Interior / Exterior
Location Number: 388-C1

Thorn tree
HGSW 3284

DELTA RIB™

Delta Rib

Delta Rib panel is a light gauge, exposed fastener panel ideal for both roof and wall applications.

FEATURES AND BENEFITS

- Available in our Delta Tech™ "if paint system or our ZINCALUME™ Plus finish for unpainted applications.
- Limited lifetime warranty available on residential applications.
- Manufactured with high tensile steel for greater load capability.
- Polycarbonate skylight panels available.
- Economical standard and custom trim packages available with easy color.
- Product is UL Class A Fire Rated when installed in accordance with UL requirements.
- Building Code Approval Report #28-2005.

Customer Service Center
Sales, OR 503-292-7175, or 800-222-2022 | Spokane, WA 509-536-4097 or 800-716-8771 | www.ascbcp.com

commercial 2000

The 2000 Commercial Series is the traditional rolling steel door. Used in a variety of field applications, it provides an economical alternative to sectional or lift doors. Installation is quick and the cam action device allows for easy adjustment of the springs. Simultaneously backed by a one year warranty, the 2000 series is a solid investment for commercial door usage.

Maximum 12' x 16'

Light-Duty Application

Quality Guaranteed

Vision Panels Available

Features

- Pre-Lubricated Springs: During production, springs are factory lubricated and enclosed in a tube to protect them from the environmental elements.
- Dead Axle & Barrel Assembly: An enclosed spiral barrel houses the dead axle assembly and offers durability and smoother operation as weight is distributed throughout the barrel.
- 26-Gauge Corrugated Door Curtain: Manufactured from galvanized grade 60 steel and coated with super durable polyester paint in more than 30 color options.
- Insulated Version Available: Side and top draft stops included.

commercial 2000

IMPORTANT NOTES:

- Dimensions are referenced from edge of opening.
- Torsion and end drive end can be installed at either end of door assembly.
- FOR CRITICAL FITS DUE TO REDUCED AVAILABLE HEADROOM OR SIDEROOM CLEARANCES, CONSULT FACTORY.

SPECIFICATIONS

Guide Details

Head Room Requirements

Door Height	Head Room
12'	12' 6"
14'	14' 6"
16'	16' 6"

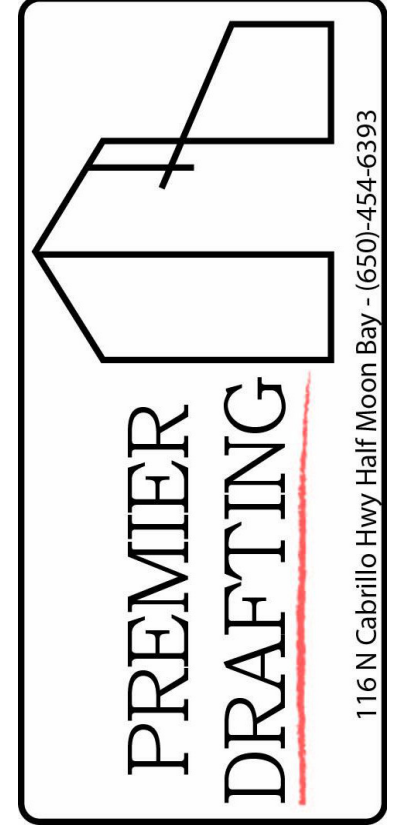
Side Room Requirements

Door Width	Side Room
12'	12' 6"
14'	14' 6"
16'	16' 6"

Roll Up Doors Direct
www.rollupdoorsdirect.com
1-877-387-0000(3487)

REVISIONS

1	9/26/23
2	12/27/24

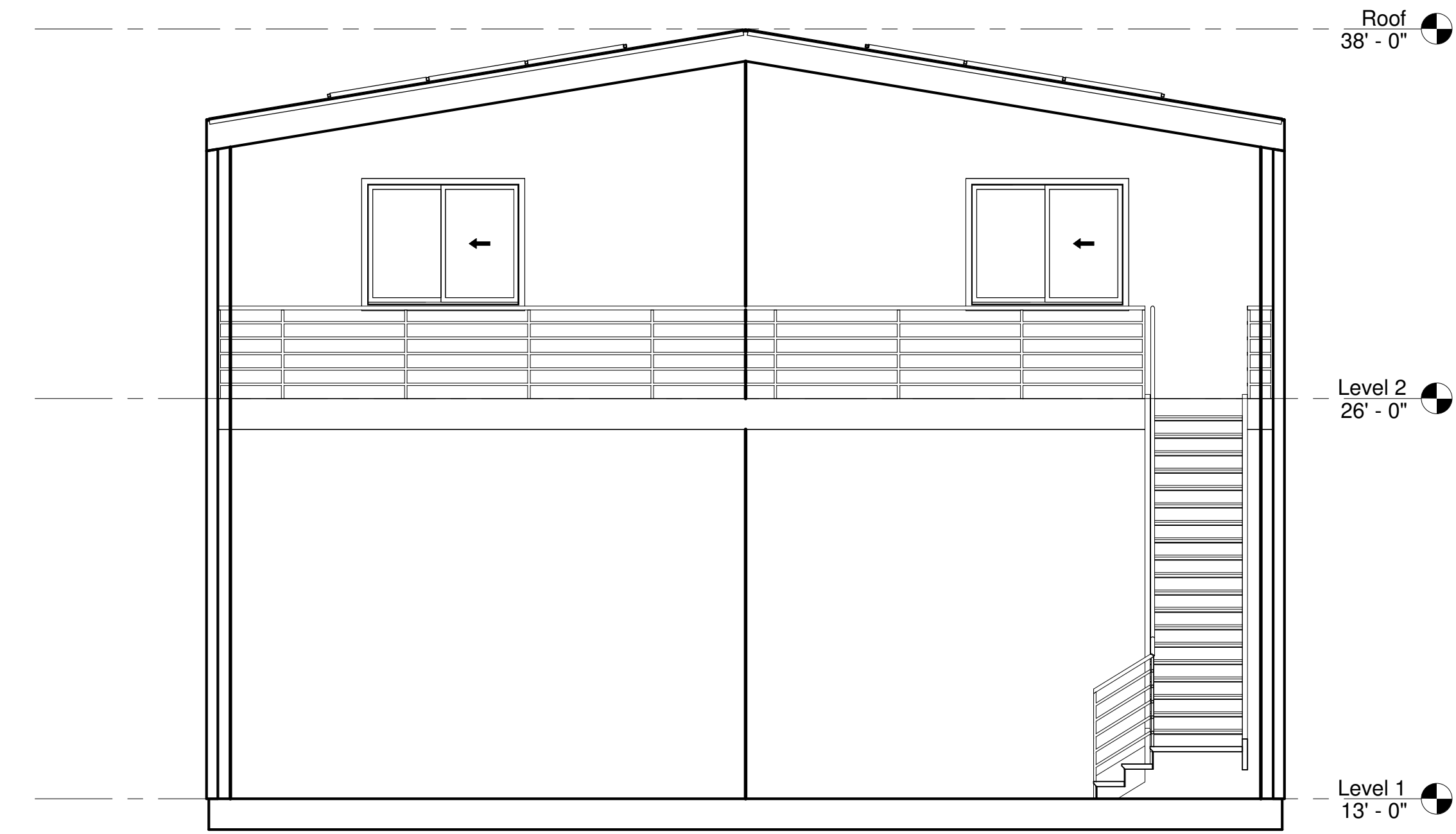


Owner Information
Pete & Brian Overfelt
Brian@optimb.com
Pete@optimb.com

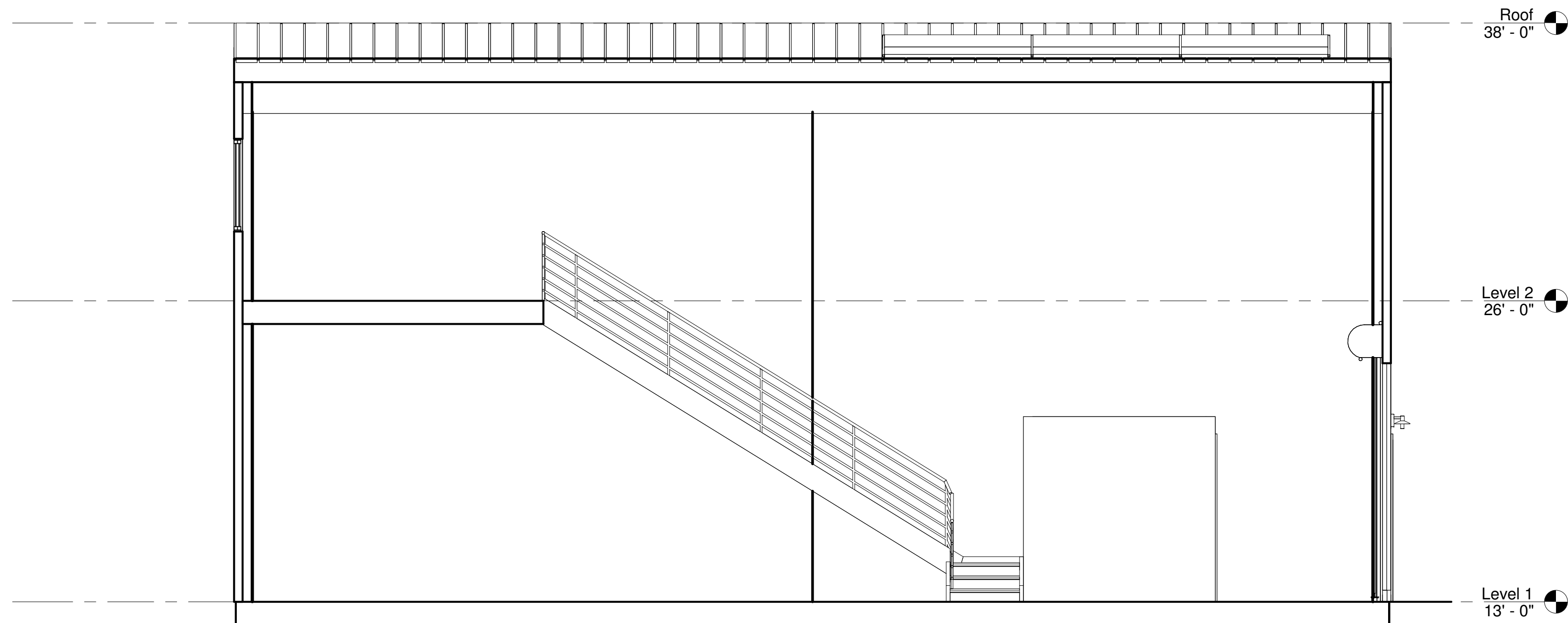
Proposed Building at
115 Standford Ave
APN: 047-032-050

Elevations East & West

Drawn by: JM
Designed By: Colton Palmer
Date: 3/6/25
Sheet: A202
Scale: 1/4" = 1'-0"
12/18/2025 4:12:14 PM

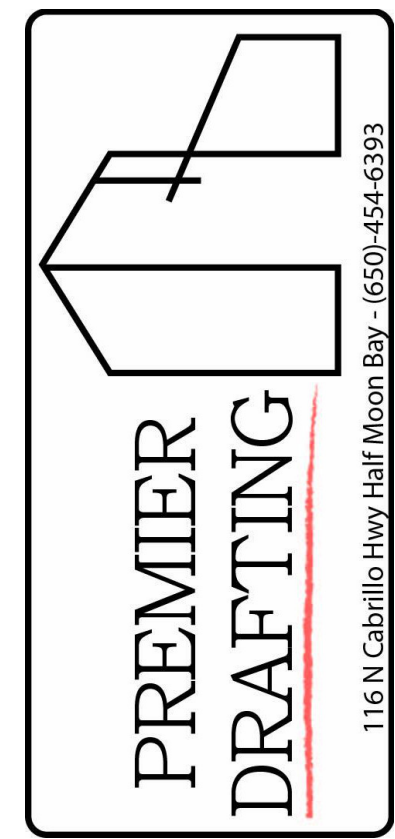


② Section 2
1/4" = 1'-0"



① Section 1
1/4" = 1'-0"

REVISIONS	
▲	9/26/23



Owner Information
 Pete & Brian Overfelt
 Brian@optimb.com
 Pete@optimb.com

Proposed Building at
 115 Standford Ave
 APN: 047-032-050

Sectional Views

Drawn by Author
 Designed By: Colton Palmer
Colton Palmer

Date 3/6/25

Sheet:
A301

Scale 1/4" = 1'-0"