

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: May 21, 2026

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Coastal Development Permit (CDP), Home Improvement Exception (HIE), and Design Review (DR) Permit Exemption, pursuant to Sections 8.252.050, 8.320.020, and 8.256.040, respectively, of the County Zoning Regulations, to allow for the replacement of the existing 517-sq. ft. wood deck, the addition of 279 sq. ft. of new deck area, and a 91-sq. ft. expansion of the existing roof cover, for an existing single-family residence on a developed 7,377-sq. ft. parcel. Existing development on the subject property exceeds the maximum permitted lot coverage limit of 2,582 sq. ft. by 349 sq. ft., and the proposed project would further increase lot coverage by 279 sq. ft. The project site is located at 8701 Cabrillo Highway in the unincorporated Moss Beach area of San Mateo County. The project includes minor grading and no tree removal. It is recommended that the Zoning Hearing Officer find that the project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301(e) (Class 1, Existing Facilities). The project is appealable to the California Coastal Commission.

County File Number: PLN2025-00293 (Viotti Architects)

PROPOSAL

The applicant proposes the replacement of the existing 517 sq. ft. wood deck at the rear and north side yard of the single-family residential property, the addition of 279 sq. ft. of new deck area with an integrated hot tub, and a 91 sq. ft. expansion of the existing roof cover to increase the covered deck space on a developed 7,377 sq. ft. parcel. Maximum permitted lot coverage is 35% (2,582 sq. ft.). The existing development, including a 2,563 sq. ft. house, exceeds this limit at 39.7% (2,931 sq. ft.), and the proposed project would further increase lot coverage to 43.5% (3,210 sq. ft.). The project involves approximately 5 cubic yards (c.y.) of grading, consisting of approximately 5 c.y. of cut and 0 c.y. of fill. No tree removal is proposed. The project site is situated above a relatively steep north-facing slope (seacliff) between two existing residences to the north and south. It is accessed from, and located on, the west side of Cabrillo Highway, with the Pacific Ocean immediately to the west.

RECOMMENDATION

That the Zoning Hearing Officer approve the Coastal Development Permit, Home Improvement Exception, and Design Review Permit Exemption, County File Number PLN2025-00293, by adopting the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Luis Topete, Planner III, Project Planner

Applicant: Pablo Valle, Viotti Architects

Owners: Bert Ellis and Kerry Ellis

Public Notification: Ten-day advanced notification for the hearing was mailed to all property owners within 300 feet and residents within 100 feet of the perimeter of the project parcel and a notice for the hearing was posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 8701 Cabrillo Highway, Moss Beach

APN: 037-011-100

Parcel Size: 7,377 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (One Family Residential District/Residential Density District 17/Design Review District/Coastal Development District)

General Plan/ Local Coastal Plan Designation: Medium Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Single-family Residential

Water Supply/Sewage Disposal: Montara Water and Sanitary District

Flood Zone: Zone X (Areas of Minimal Flood Hazard); FEMA Community Panel 06081C0117F; Effective Date: August 2, 2017

Environmental Evaluation: This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to minor alterations of private structures involving negligible or no expansion of the existing or former use. Additions to existing structures are exempt from CEQA review provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less.

The project would result in the addition of 279 sq. ft. of new deck area and a 91 sq. ft. expansion of the existing roof cover, constituting less than 50% of the floor area of the structures before the addition.

Setting: The project site is situated above a relatively steep north-facing slope (seacliff) between two existing residences to the north and south. It is accessed from, and located on, the west side of Cabrillo Highway, with the Pacific Ocean immediately to the west. Site elevations range from approximately 73 to 84 feet above mean sea level. The property is primarily covered by non-native, invasive, and ornamental vegetation typical of coastal areas that have experienced varying degrees of disturbance or where fill has been placed from prior development. Existing improvements on the property include a 1,828 sq. ft. house with an attached 586 sq. ft. two-car garage, a 517 sq. ft. deck, driveway, and landscaping.

Chronology:

<u>Date</u>	<u>Action</u>
1964	- House constructed.
August 28, 2025	- Application submitted.
March 19, 2026	- Agency reviews completed.
March 19, 2026	- Application deemed complete.
May 21, 2026	- Zoning Hearing Officer hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

a. Visual Quality

Policy 4.22 (*Scenic Corridors*) seeks to protect and enhance the visual quality of scenic corridors by managing the location and appearance of structural development. The project site is within the Cabrillo Highway (SR 1) County Scenic Corridor. All proposed project activities would occur at the rear of the residence. The existing structure, landscaping, and fencing would screen the new expanded deck from

public views along Cabrillo Highway. As a result, the project would not be visible from the roadway and would not result in any visual impacts to the scenic corridor.

2. Conformance with the Local Coastal Program (LCP)

A Coastal Development Permit is required pursuant to LCP Policies 1.1 (*Coastal Development Permits*) and 1.2 (*Definition of Development*), as the site is located outside of the Single-Family Residence Categorical Exclusion Area and is within 50 feet of the edge of a coastal bluff. Staff has determined that the project is in compliance with applicable LCP Policies discussed below:

a. Sensitive Habitats Component

Policy 7.3 (*Protection of Sensitive Habitats*) prohibits any land use or development which would have a significant adverse impact on sensitive habitat areas and requires development in areas adjacent to sensitive habitats to be sited and designed to prevent impacts that could significantly degrade the sensitive habitats. Based on the Coastal Biological Resources Evaluation provided, the project site does not contain any sensitive habitat areas. Additional discussion is provided in Section A.1.a.

b. Visual Resources Component

Policy 8.4 (*Cliffs and Bluffs*) requires bluff top development and landscaping to be set back from the bluff edge (i.e., decks, patios, structures, trees, shrubs, etc.) sufficiently far to ensure it is not visually obtrusive when viewed from the shoreline except in highly developed areas where adjoining development is nearer the bluff edge. The reconstruction of the existing portion of the deck would occur in the same footprint. The property is situated within an area characterized by residential development along the bluff-top to both the north and south. The proposed improvements are sufficiently set back from the bluff edge to avoid visual obtrusiveness when viewed from the shoreline and would not increase visibility compared to existing conditions.

c. Hazards Component

Policy 9.8 (*Regulation of Development on Coastal Bluff Tops*) permits bluff and cliff top development only if design and setback provisions are adequate to assure stability and structural integrity for the expected economic life span of the development (at least 50 years) and if the development (including storm runoff, foot traffic, grading, irrigation, and septic tanks) will neither create nor contribute significantly to erosion

problems or geologic instability of the site or surrounding area, and requires the submittal of a site stability evaluation report for an area of stability demonstration prepared by a soils engineer or a certified engineering geologist, as appropriate, acting within their areas of expertise, based on an on-site evaluation.

A Geotechnical Study, prepared by Sigma Prime Geosciences, Inc., dated July 23, 2025, was submitted for the project. The study includes an on-site subsurface investigation, laboratory testing, and engineering analysis. The investigation determined that the proposed deck extension would be constructed on generally level ground approximately 50 feet from the sea cliff, underlain by dense marine terrace deposits over competent granitic bedrock. No groundwater was encountered, and the site soils are not susceptible to liquefaction, differential compaction, or other seismically induced ground failure. The study concludes that the sea cliff in this area exhibits a very slow rate of retreat, attributed to the presence of granodiorite at the lower portion of the cliff, and that the slope is vegetated and stable, with minimal to no erosion observed over recent decades. The cliffs in the vicinity are not prone to landslide activity due to the competent terrace deposits and underlying bedrock. Based on these conditions, the likelihood of damage to the proposed improvements resulting from coastal erosion or slope instability over the development's expected economic life span is considered very low.

The recommended foundation design, shallow drilled concrete piers founded in dense soil, provides adequate vertical and lateral support. The project involves minimal grading and does not alter drainage patterns in a manner that would contribute to erosion or geologic instability. The reconstructed portion of the deck remains in its existing footprint, and the new deck addition is located entirely outside of the required 50-foot bluff-top setback. Based on the submitted geotechnical evaluation, the project's limited scope and siting, and the Geotechnical Section's review and preliminary approval with conditions, the proposed development is likely to maintain stability and structural integrity for at least 50 years and would not create or significantly contribute to erosion or geologic instability of the site or surrounding area.

3. Conformance with the Zoning Regulations

a. Conformance with S-17 District Development Standards

The property is located in the One Family Residential District/Residential Density District 17/Design Review District/Coastal Development District (R-1/S-17/DR/CD). As shown in table below, the

proposal complies with the S-17 district development standards.

Table 1 Compliance with the S-17 Development Standards			
	<i>Required</i>	<i>Proposed</i>	<i>Complies?</i>
Minimum Side Setback	5 ft. (each side) 15 ft. (combined)	Right – 7 ft. Left – 1 ft. 4 ¾ in. Combined – 8 ft. 4 ¾ in.	No (existing)
Minimum Front Setback	20 ft.	20 ft.	Yes
Minimum Rear Setback	20 ft.	19 ft. 9 ¾ in.	No (existing)
Maximum Building Height	28 ft.	17 ft. 8 in.	Yes
Maximum Floor Area Ratio	53% (3,910 sq. ft.)	36% (2,654 sq. ft.)	Yes
Maximum Lot Coverage Ratio	35% (2,582 sq. ft.)	43.5% (3,210 sq. ft.)	No, HIE required
Minimum Average Lot Width	50 ft.	52 ft.	Yes
Minimum Lot Size	5,000 sq. ft.	7,377 sq. ft.	Yes

The existing non-conforming rear and side setbacks will remain unchanged and will not be intensified as part of this project. The current development covers 39.7% of the lot (2,931 sq. ft.), exceeding the maximum permitted lot coverage of 35% (2,582 sq. ft.). The proposed project would further increase lot coverage to 43.5% (3,210 sq. ft.). Accordingly, the applicant has submitted a Home Improvement Exception request.

b. Conformance with Design Review Standards

The project conforms with the Midcoast Design Review Standards (Section 8.256.200) because it consists of minor improvements located entirely at the rear of the residence, resulting in no change to building height, massing, or the home’s appearance from the street or scenic corridor. Grading and site disturbance are minimal, no trees will be removed, and all work occurs within previously developed areas, consistent with site-planning standards to preserve natural features. The deck replacement, new deck area, and small roof-cover extension proposes materials and architectural elements that would match the existing residence and maintain neighborhood compatibility without introducing privacy, view, noise, or lighting impacts. No new utility or ancillary structures are proposed. As designed, the project maintains

the coastal character of Moss Beach and complies with all applicable siting, design, and visual standards, qualifying it for a Design Review Permit Exemption.

c. Conformance with the Home Improvement Exception Findings

The purpose of a Home Improvement Exception (HIE) is to allow, under special circumstances, relief from the requirements of the Zoning Regulations where it is desirable to sustain the integrity or enhance an existing residential design concept or the neighborhood character. The current development covers 39.7% of the lot (2,931 sq. ft.), exceeding the maximum permitted lot coverage of 35% (2,582 sq. ft.). The proposed project would further increase lot coverage to 43.5% (3,210 sq. ft.). Accordingly, the applicant has submitted a HIE request.

Home Improvement Exceptions may be approved to grant relief from the strict provisions of the Zoning Regulations for yards, lot coverage, daylight planes, and floor area ratio. To qualify for a HIE, the following requirements must be met: (1) the HIE is for an addition to an existing residential dwelling unit or a detached garage in the R-1, R-2, RE, RH, RM, and combining districts; (2) the HIE is for addition to an existing one-family residential unit, an existing two-family residential unit, or a detached garage in the R-3 district; (3) the addition will not result in the creation of a new story; (4) at least 75% of the existing exterior walls (in linear feet) will remain; (5) at least 50% of the existing roof (in square feet) will remain; (6) the addition will be located at least three feet from a property line; (7) the existing structure is located in an area with an average slope of less than 20%; (8) development on the parcel does not exceed maximum floor area, if located in the Mid-Coast; and (9) the total floor area approved through HIEs on a given parcel shall not be greater than 250 sq. ft. and no more than 100 sq. ft. may extend into a side yard. Based on these criteria, the project qualifies for a Home Improvement Exception.

In order to approve an application for a HIE, the approving authority must make all of the findings in writing:

- (1) **The existing structure has a design or there are conditions applicable to the property such that the proposed project would result in only minor exterior changes.**

The existing structure is a single-family residence with an established design, and the proposed deck replacement, new deck area, and minor roof cover expansion constitute only minor exterior changes to the property. The improvements are located entirely at the rear of the residence and do not alter the

building's height, massing, or appearance from the street or scenic corridor.

- (2) The home improvement exception sustains the integrity or enhances an existing design concept or the neighborhood character.

The project sustains the integrity of the existing residence and enhances the overall design by providing compatible materials and architectural elements. The improvements are consistent with the character of the surrounding neighborhood, maintaining visual harmony with adjacent residences and preserving the coastal Midcoast community aesthetic.

- (3) The granting of the application will not be detrimental or injurious to property or improvements in the vicinity and will not be detrimental to the public health, safety, general welfare, or convenience.

The project would not be detrimental or injurious to nearby properties or improvements, nor to public health, safety, or welfare. The proposed additions maintain existing setbacks where required, do not increase hazards related to coastal bluff stability, and are screened from public views along Cabrillo Highway, ensuring no adverse impacts on neighboring properties or scenic resources.

- (4) **The home improvement exception authorizes only uses or activities which are permitted by the zoning district.**

The HIE authorizes only uses that are permitted within the R-1/S-17/DR/CD zoning district, including residential additions, deck improvements, and minor roof expansions associated with an existing single-family dwelling. No new uses or unpermitted activities are proposed.

- (5) The home improvement exception is consistent with the objectives of the General Plan and the Zoning Regulations.

The HIE is consistent with the objectives of the General Plan and the Zoning Regulations. The project complies with LCP Policy 7.3 by avoiding impacts to sensitive habitats; the Coastal Biological Resources Evaluation confirms the site contains no sensitive vegetation, wetlands, or special-status species. The project also meets Policies 4.15, 4.17, and 4.22, as it preserves visual quality, maintains setbacks from coastal bluff edges,

avoids significant alterations to the slope, and is located at the rear of the residence, screened from public views along Cabrillo Highway. A Geotechnical Study, prepared by Sigma Prime Geosciences, Inc., dated July 23, 2025, was submitted for the project. The study indicates that the slope characteristics of the cliff at the project site, combined with dense vegetative cover, have resulted in minimal to no erosion over recent decades and the sea cliffs in the vicinity are not prone to landslide activity due to the relatively competent terrace deposits and underlying bedrock. The project supports the County's goals for environmental protection, design compatibility, and the character of the neighborhood and scenic corridor, while providing minor improvements to an existing residential dwelling and limited relief from lot coverage restrictions.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to minor alterations of private structures involving negligible or no expansion of the existing or former use. Additions to existing structures are exempt from CEQA review provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less. The project proposes a 91 sq. ft. (3.55%) increase in floor area resulting from the expansion of the existing roof cover to increase the covered deck space.

C. REVIEWING AGENCIES

Building Inspection Section
California Coastal Commission
Coastside Fire Protection District
Drainage Section
Geotechnical Section
Midcoast Community Council

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Vicinity Map
- D. Plans

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2025-00293

Hearing Date: May 21, 2026

Prepared By: Luis Topete, Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301, Class 1(e), relating to minor alterations of private structures involving negligible or no expansion of the existing or former use.

Regarding the Coastal Development Permit (CDP), Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP) with regards to the Sensitive Habitats, Visual Resources, and Hazards Components. See Section A.2 of the staff report for the supporting analysis demonstrating conformance with the Local Coastal Program.
3. That the project is located between the nearest public road and the sea and conforms with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The project will not obstruct existing public bluff-top access provided by the 10-foot-wide coastal access easement, which is recorded approximately at the center of the abandoned 13th Street right-of-way north of the project parcel. Additionally, it will not impede access to any existing beaches, bluffs, or trails in the vicinity.
4. That the project conforms to specific findings required by policies of the San Mateo County LCP as discussed in Section A.2 of this staff report with regards to the Sensitive Habitats, Visual Resources, and Hazards Components.

5. That, with the approval of this project, the number of building permits for the construction of single-family residences issued in the calendar year would not exceed the limit established by LCP Policy 1.23. No new dwelling unit is proposed. The project involves replacing the existing deck and expanding the roof cover to increase the area of the covered deck space.

Regarding the Home Improvement Exception (HIE), Find:

6. That the existing structure has a design or there are conditions applicable to the property such that the proposed project would result in only minor exterior changes.
7. That the HIE sustains the integrity or enhances an existing design concept or the neighborhood character.
8. That the granting of the application will not be detrimental or injurious to property or improvements in the vicinity and will not be detrimental to the public health, safety, general welfare, or convenience.
9. That the HIE authorizes only uses or activities which are permitted by the zoning district.
10. That the HIE is consistent with the objectives of the General Plan and the Zoning Regulations.

See Section A.3.c of the staff report for the supporting analysis of the HIE findings.

Regarding the Design Review (DR) Permit Exemption, Find:

11. That, as designed, the project maintains the coastal character of Moss Beach and complies with all applicable siting, design, and visual standards, qualifying it for a DR Permit Exemption. See Section A.3.b of the staff report for the supporting analysis.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on May 21, 2026. The Director of Planning and Building may approve minor revisions or modifications to the project if they are consistent with the intent of and in substantial conformance with this approval.

2. The subject permits shall be valid for one year from the date of final approval, in which time a valid building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within 180 days of its issuance. This approval may be extended by one-year increments with submittal of an application for permit extension and payment of applicable extension fees 60 days prior to the expiration date.
3. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
4. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
5. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.

- h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.

7. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
8. The exterior colors and materials as approved by the Zoning Hearing Officer shall be implemented. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

Building Inspection Section

9. A building permit is required for this project. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, Geotechnical Section, Drainage Section, and Coastside Fire Protection District. No site disturbance shall occur, including any grading, until a building permit has been issued.

Drainage Section

10. Project will comply with County drainage policy to prevent stormwater from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the building permit or planning permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
11. A final C.3 and C.6 Development Review Checklist, a final drainage plan, and a drainage analysis/drainage report/prescriptive sizing handout will be provided at the time of building permit submittal.
12. The project parcel is near a FEMA flood zone. At the time of the review, the project site is not in a FEMA flood zone. During the building permit submittal, if the FEMA flood maps get updated where they show the project site is in a FEMA flood zone, then the project will be subject to FEMA regulations and must comply with FEMA standards in the building code and ASCE 24.

13. An erosion control plan shall be provided at the time of the building permit submittal.
14. At the time of the building permit submittal, project shall provide a detail of the deck to demonstrate whether deck is considered a pervious or impervious surface.
15. At the time of the building permit submittal, project shall provide a detail of the stairs to demonstrate whether stairs are considered a pervious or impervious surface.
16. If project proposes to use landscaping to meet County's Peak Flow and Volume Requirements, project shall outline the landscaped area proposed to manage flows and provide the slope and area of landscaping in square feet.
17. If slope of landscape area is more than 10%, County will make final determination whether 4:1 ratio of landscaped area to impervious area is acceptable during building permit submittal. If County does not find 4:1 ratio acceptable, project shall demonstrate how it complies with the County's Peak Flow and Volume Requirements.
18. Project is located within Area of Special Biological Significance (ASBS). Project thus shall comply with all requirements of the Municipal Regional Stormwater NPDES Permit (MRP) provision C.6. Sites in the Fitzgerald Marine Reserve ASBS Watershed are subject to weekly inspections during period(s) of land disturbance by County Staff from October 1 to April 30. Please refer to the most recent edition of the MRP for C.6 as well as C.6.e.ii.
19. Advisory Comment: Based on the information received, this project is classified as a "Basic" or "Prescriptive" drainage project. It is possible that new or additional information provided upon the next submittal could advance the project classification. To avoid delays or additional plan review cycles, please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.

Geotechnical Section

20. At building permit submittal, the Geotechnical Consultant shall provide an updated report, if necessary, that includes any updates to the site conditions, foundation recommendations, or grading recommendations to accommodate changed conditions. The updated report shall include current building code references and requirements.

21. At building permit submittal, the Geotechnical Consultant shall provide a “plan review” that confirms that the recommendations made in the geotechnical report are carried through in the structural plans, grading plans, calculations, and any other permit documents.

Coastal Commission

22. Coastal Hazards. By acceptance of this CDP, the Permittee acknowledges and agrees, on behalf of itself and all successors and assigns, that:
 - a. Coastal Hazards. This site is subject to coastal hazards including but not limited to episodic and long-term shoreline/bluff retreat and coastal erosion, storms, tsunami, tidal scour, landslides, and their interaction, all of which may be exacerbated by sea level rise.
 - b. Coastal Development Permit Intent. The intent of this CDP is to allow for the approved project to be constructed and used consistent with the terms and conditions of this CDP for only as long as the development remains safe for occupancy, use, and access, without additional substantive measures beyond ordinary repair or maintenance to protect the development from coastal hazards.
 - c. No Future Armoring. No new shoreline armoring (including but not limited to seawalls, revetments, retaining walls, gabion baskets, tie backs, piers, groins, caissons/grade beam systems, etc.) shall be constructed to protect the development approved pursuant to this CDP in the event that the approved development is threatened with damage or destruction from coastal hazards in the future. Any rights to construct such armoring that may exist under Coastal Act Section 30235, the San Mateo County LCP, or any other applicable law, shall be waived, and no portion of the approved development is an “existing structure” for purposes of Section 30235.
 - d. Public Trust. This CDP does not allow encroachment onto public trust lands, and any future encroachment must be removed unless the Coastal Commission determines that the encroachment is legally permissible pursuant to the Coastal Act and authorizes it to remain. Any future encroachment would also be subject to the State Lands Commission’s (or other designated trustee agency’s) leasing approval.
 - e. Assume Risks. (1) All risks to the Permittee and to the property that is the subject of this CDP are assumed by the Permittee, including any injury and/or damage from coastal hazards in connection with this permitted development; (2) any claim of damage or liability against San Mateo County, its officers, agents, and employees for injury or damage from coastal hazards are unconditionally waived; (3) San Mateo County, its officers, agents, and employees are indemnified and held harmless by the

Permittee with respect to San Mateo County's approval of the CDP against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to coastal hazards; and (4) all responsibility for any adverse effects to property caused by the permitted project is assumed by the Permittee.

23. Coastal Hazard Response. The Permittee is required to remove and/or relocate all or a portion of the development authorized by this CDP, and to restore the affected portion of the site, if any of the following occur:
 - a. Unsafe Conditions. San Mateo County or any other government agency with legal jurisdiction has issued a final order, not overturned through any appeal or writ proceedings, determining that some or all of the approved development is currently and permanently unsafe for occupancy or use due to damage or destruction from coastal hazards, and that there are no feasible measures that could make such development suitable for occupancy or use without the use of shoreline armoring.
 - b. Lack of Services. Essential services to the site (e.g., utilities, roads) can no longer feasibly be maintained due to coastal hazards, including due to the degradation and/or failure of nearby roadways, and/or degradation and/or failure of utilities serving the site. San Mateo County and any other providers shall not be required to maintain access and/or utility infrastructure to serve the approved development in such circumstances.
 - c. Adaptation Planning. Removal and/or relocation is required pursuant to LCP policies for sea level rise adaptation planning. Required removal and/or relocation shall require San Mateo County approval of a plan to accommodate same prior to any such activities. In the event that portions of the approved development fall into the bay or to the ground before they are removed and/or relocated pursuant to the above criteria, the Permittee shall remove all recoverable debris associated with the development from such areas, and lawfully dispose of the material in an approved disposal site, all subject to San Mateo County approval.
24. Future Permitting. All future proposed development related to this CDP shall require a new CDP or a CDP amendment.
25. Real Estate Disclosure. Disclosure documents related to any future marketing and/or sale of the site/residence, including but not limited to marketing materials, sales contracts and similar documents, shall notify potential buyers of the terms and conditions of this CDP, including explicitly the coastal hazard requirements of Condition 22. A copy of this CDP shall be provided in all real estate disclosures.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.17 0 0.08 0.17 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:5,242



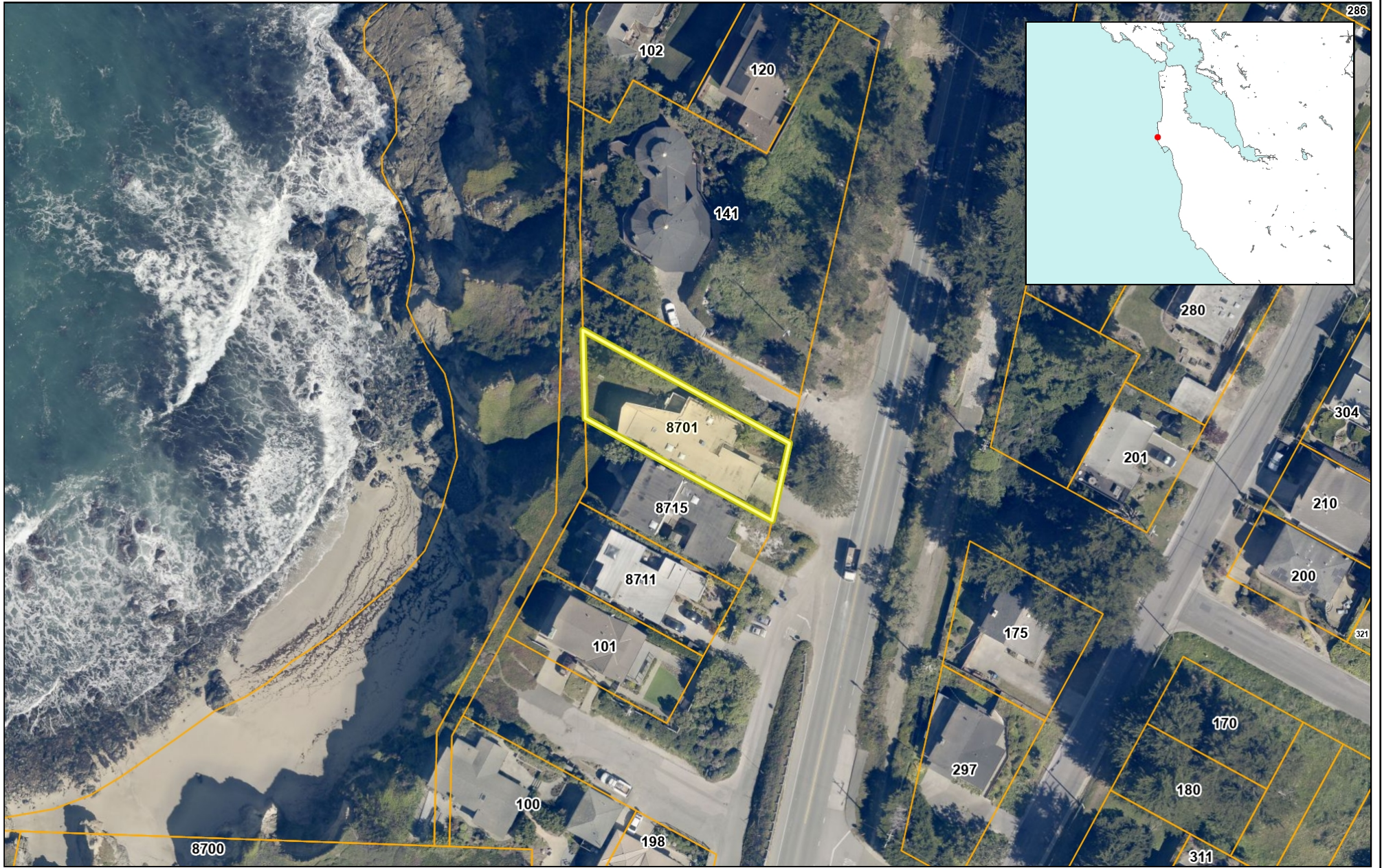
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THIS MAP IS NOT TO BE USED FOR NAVIGATION




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



0.04 0 0.02 0.04 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:1,310 

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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

DECK EXPANSION FOR: THE ELLIS RESIDENCE

REVISIONS

NO.	DATE
11/24/25	PLNG SUB

SYMBOLS LEGEND/ ABBREVIATIONS

<p>FINISHED FLOOR ELEVATION (LESS THAN 1/2" DIFF.)</p> <p>DETAIL NUMBER SHEET NUMBER DETAIL REFERENCE</p>	<p># AT</p> <p>A.D. ADDN</p> <p>ADJ ADJUSTABLE</p> <p>ALT ABOVE FINISH FLOOR</p> <p>ALUM ALUMINUM</p> <p>AND ARCH</p> <p>BD BOARD</p> <p>BLDG BUILDING</p> <p>BLKG BLOCKING</p> <p>BM BEAM</p> <p>B.O. BY OWNER/OTHERS</p> <p>CAB CABINET</p> <p>C.J. CEILING JOIST</p> <p>CLG CEILING</p> <p>CLR CLEAR</p> <p>CLO CLOSET</p> <p>C.O. CLEAN OUT</p> <p>CONG CONCRETE</p> <p>CONT CONTINUOUS</p> <p>DBL DOUBLE</p> <p>DF DOUGLAS FIR</p> <p>DIA DIAMETER</p> <p>DIM DIMENSION</p> <p>D.J. DECK JOIST</p> <p>DN DOWN</p> <p>DS DOWNSPOUT</p> <p>DN DRAWING</p> <p>DWG DRAWING</p> <p>(E) EXISTING</p> <p>EA EACH</p> <p>ELEC ELECTRIC</p> <p>ELEV ELEVATION</p> <p>EQM EQUIPMENT</p> <p>EXT EXTERIOR</p> <p>FDN FOUNDATION</p> <p>FIN FINISH</p> <p>FIXT FIXTURE</p> <p>F.J. FLOOR JOIST</p> <p>FLR FLOOR</p> <p>F.O.C. FACE OF CONCRETE</p> <p>F.O.F. FACE OF FINISH</p> <p>F.O.S. FACE OF STUDS</p> <p>FT FEET</p> <p>FTG FOOTING</p> <p>FURN FURNITURE</p> <p>GA GAS</p> <p>GA GALVANIZED</p> <p>GFI GROUND FAULT INTERRUPT</p> <p>GLB GLUE LAMINATED BEAM</p> <p>GSM GALVANIZED SHEET METAL</p> <p>GYP. BD. GYPSUM BOARD</p> <p>HB HOSE BIB</p> <p>HDR HEADER</p> <p>HT HEIGHT</p> <p>INC INCANDESCENT</p> <p>INSUL INSULATION</p> <p>LT LIGHT</p> <p>MAX MAXIMUM</p> <p>MECH MECHANICAL</p> <p>MFR MANUFACTURER</p> <p>MIN MINIMUM</p> <p>MTD MOUNTED</p> <p>MTL METAL</p> <p>(N) NEW</p> <p>N.T.S. NOT TO SCALE</p> <p>O.C. ON CENTER</p> <p>O/HANG OVERHANG</p> <p>O/ PARTIAL</p> <p>PLYND PLYWOOD</p> <p>PTD PAINTED</p> <p>PT. GR. PAINT GRADE</p> <p>P.T. PRESSURE TREATED</p> <p>R RADIUS/RISER</p> <p>R.D. ROOF DRAIN</p> <p>RDWD REDWOOD</p> <p>REFR REFRIGERATOR</p> <p>REIN REINFORCED</p> <p>REQD REQUIRED</p> <p>RM ROOM</p> <p>R.O. ROUGH OPENING</p> <p>SCHED SCHEDULE</p> <p>S.D. SMOKE DETECTOR</p> <p>SECT SECTION</p> <p>SHT SHEET</p> <p>SHTG SHEATHING</p> <p>SIM SIMILAR</p> <p>SKYLT SKYLIGHT</p> <p>S.L.D. SEE LANDSCAPE DRAWINGS</p> <p>S.O.G. SLAB ON GRADE</p> <p>SPEC SPECIFICATIONS</p> <p>S.S.D. SEE STRUCTURAL DRAWINGS</p> <p>ST. GR. STAIN GRADE</p> <p>STL STEEL</p> <p>T&G TONGUE & GROOVE</p> <p>TEMP TEMPERED</p> <p>T.O.C. TOP OF CONCRETE</p> <p>T.O.P. TOP OF PLATE</p> <p>TR TREAD</p> <p>TYP TYPICAL</p> <p>U.O.N. UNLESS OTHERWISE NOTED</p> <p>V.I.F. VERIFY IN FIELD</p> <p>V.B. VAPOR BARRIER</p> <p>W/ WITHOUT</p> <p>WH WATER HEATER</p> <p>W.P. WATER PROOF</p> <p>W.I.C. WALK-IN CLOSET</p>
<p>WALL SECTION NUMBER SHEET NUMBER WALL SECTION REFERENCE</p>	
<p>BUILDING SECTION NUMBER SHEET NUMBER BUILDING SECTION REFERENCE</p>	
<p>ENLARGE ELEVATION NUMBER SHEET NUMBER ENLARGED ELEVATION REFERENCE</p>	
<p>PLAN DETAIL NUMBER SHEET NUMBER DETAIL REFERENCE</p>	
<p>DOOR NUMBER DOOR REFERENCE</p>	
<p>ROOM NUMBER ROOM REFERENCE</p>	
<p>WINDOW LETTER WINDOW REFERENCE</p>	
<p>WALL TYPE DESIGNATION WALL TYPE REFERENCE</p>	
<p>GRID IDENTIFIER</p>	
<p>ELEVATED ELEMENT EL: 116.00 ELEVATION OF ELEMENT DATUM REFERENCE</p>	

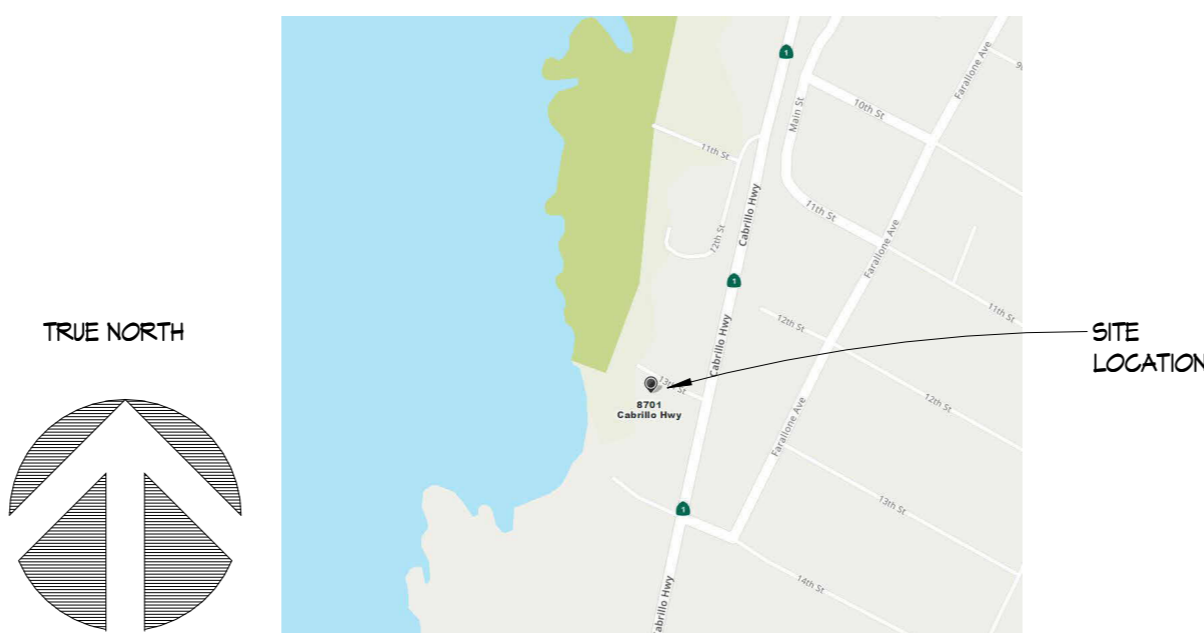
SECTION 1

SCALE: 1/4" = 1'-0"

GENERAL NOTES

- CODES**
THE WORK SHALL CONFORM TO THE CALIFORNIA TITLE 24:
PART 2 2022 CALIFORNIA BUILDING CODE
PART 2.5 2022 CALIFORNIA RESIDENTIAL CODE
PART 3 2022 CALIFORNIA ELECTRICAL CODE
PART 4 2022 CALIFORNIA MECHANICAL CODE
PART 5 2022 CALIFORNIA PLUMBING CODE
PART 6 2022 CALIFORNIA ENERGY CODE
PART 7 2022 CALIFORNIA FIRE CODE
PART 11 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE
AND THE COUNTY OF SAN MATEO MUNICIPAL CODE
- DRAWINGS**
1. GENERAL CONDITIONS, THE STANDARD A.I.A. GENERAL CONDITIONS ARE HEREBY MADE A PART OF THESE DRAWINGS.
2. DIMENSIONS, WRITTEN DIMENSIONS SHALL GOVERN, DO NOT SCALE THE DRAWINGS.
3. DIMENSIONS, ALL DIMENSIONS ARE TO THE FACE OF STUD OR FACE OF CONCRETE, OR TO THE CENTERLINE OF GRIDS, COLUMNS, WINDOWS, DOORS, AND FIXTURES, UNLESS OTHERWISE NOTED.
4. DIMENSIONS, CLR DENOTES MEASUREMENT FROM FINISH SURFACES, TYP.
5. COMPLETION, THESE DRAWINGS INCLUDE THE GENERAL EXTENT OF NEW CONSTRUCTION NECESSARY FOR THE WORK, BUT ARE NOT INTENDED TO BE ALL-INCLUSIVE.
- GENERAL CONTRACTOR'S RESPONSIBILITIES**
6. PLANS ON SITE, THE GENERAL CONTRACTOR (HEREAFTER G.C.) SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE BY ALL TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DRAWINGS.
7. DISCREPANCIES, G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THESE DOCUMENTS AND EXISTING FIELD CONDITIONS PRIOR TO THE COMMENCEMENT OF ANY WORK. ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND ARE TO BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT IN WRITING FOR CLARIFICATION.
8. SUBSTITUTIONS, THE G.C. IS REQUIRED TO NOTIFY ARCHITECT IN WRITING OF ANY SUBSTITUTION, REVISION OR PROPOSED ALTERNATE AT LEAST TWO WEEKS PRIOR TO THE ORDER OR INSTALLATION OF SAID ALTERNATE IN ORDER TO ALLOW FOR NECESSARY COORDINATION AND APPROVALS.
9. INSPECTIONS, THE G.C. IS RESPONSIBLE FOR THOROUGH REVIEW OF THE ARCHITECTURAL AND STRUCTURAL DRAWINGS, GEOTECHNICAL REPORT, AND THE ENERGY AND GREEN COMPLIANCE MANDATORY MEASURES AND IS RESPONSIBLE FOR SCHEDULING AND BEING PRESENT FOR ANY INSPECTIONS OR OBSERVATIONS REQUIRED, (MIN. 48 HOURS NOTICE FOR SITE VISITS).
10. SAFETY, THE G.C. SHALL BE SOLELY RESPONSIBLE FOR SAFETY ON THE JOB SITE AND ADHERE TO ALL FEDERAL, STATE, LOCAL AND OSHA SAFETY REGULATIONS.
11. DEFERRED SUBMITTALS, DEFERRED SUBMITTAL DOCUMENTATION SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE PROJECT. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
12. WORKMANSHIP, ALL WORKMANSHIP IN ALL TRADES SHALL BE OF THE HIGHEST QUALITY, BY PERSONS ESPECIALLY SKILLED AT ASSIGNED TASKS, AND SHALL RESULT IN A NEAT AND CLEAN INSTALLATION. ALL WORK SHALL BE INSTALLED TRUE, PLUMB, LEVEL, SQUARE, AND IN PROPER ALIGNMENT. NOTIFY ARCHITECT AND OWNER OF EXISTING CONDITIONS WHICH DO NOT MEET THESE EXPECTATIONS.
13. MANUFACTURER'S REQUIREMENTS, THE G.C. SHALL INSTALL ALL MATERIALS, EQUIPMENT, AND FIXTURES IN CONFORMANCE WITH THE REQUIREMENTS OF THE MANUFACTURER.
14. BRACING AND SHORING, DESIGN AND INSTALLATION OF ALL TEMPORARY BRACING AND SHORING IS THE SOLE RESPONSIBILITY OF THE G.C.
- CALGREEN NOTES**
1. FOR GREEN BUILDING CHECKLIST AND REQUIREMENTS, SEE SHEET GB.1.
2. THE G.C. SHALL PROVIDE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER PER CALGREEN SEC. 4.410.1.
3. A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE IS TO BE RECYCLED OR SALVAGED, CALGREEN SEC. 4.408.1. VERIFY IN LOCAL JURISDICTION IF HIGHER PERCENTAGE REQ.
4. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS, OPENINGS, CAL ENERGY CODE SEC. 4.406.1
5. INTERIOR MOISTURE CONTENT PER SEC. 4.505
6. INDOOR AIR QUALITY AND EXHAUST: EACH BATHROOM SHALL BE MECHANICALLY VENTILATED AND SHALL COMPLY WITH SEC. 4.506.1
7. LANDSCAPING
8. OUTDOOR AIR QUALITY

VICINITY MAP



PROJECT DATA

APN#	031-011-100 & 031-011-180
ZONE	R1/S-11/DR/CD
OCCUPANCY	R-3/ U
CONSTRUCTION TYPE	V-B
AUTOMATIC SPRINKLERS	NO
STORIES	1

SITE AREA	
SITE AREA OF APN 031-011-180	7,371 SF

FLOOR AREA		
MAX ALLOWED (1,371 SF x 0.53 OF PARCEL SIZE)		3,909.81 SF
EXISTING	1,828 SF	1,828 SF
PROPOSED	586 SF	586 SF
EXISTING - HOUSE (CONDITIONED)	1,828 SF	1,828 SF
EXISTING - GARAGE, LAUNDRY & STORAGE - (UNCONDITIONED)	586 SF	586 SF
EXISTING - COVERED PORCHES GREATER THAN 4FT O/H	144 SF	144 SF
PROPOSED - COVERED PORCHES GREATER THAN 4FT O/H	-	91 SF
TOTAL FLOOR AREA	2,568 SF	2,654 SF

SITE COVERAGE		
MAX ALLOWED (85% x SITE AREA) 1' IF GREATER THAN 16FT TALL		2,502 SF
EXISTING	2,414 SF	2,414 SF
EXISTING - MAIN HOUSE FOOTPRINT INCLUDING GARAGE	511 SF	511 SF
EXISTING - DECKS O/ 18" TALL	-	271 SF
PROPOSED - DECK ADDITION > 18" TALL (INCLUDES HOT TUB)	-	271 SF
TOTAL SITE COVERAGE	2,481 SF	3,210 SF

IMPERVIOUS SURFACES (LESS THAN 18" ABOVE GRADE)		
MAX ALLOWED (10% x SITE AREA)		738 SF
EXISTING	403 SF	403 SF
EXISTING - FRONT HARDSCAPE INCLUDING DRIVEWAY	-	403 SF
TOTAL IMPERVIOUS SURFACES LESS THAN 18" TALL	403 SF	403 SF

SHEET INDEX

TO	TITLE SHEET
---	BOUNDARY AND TOPOGRAPHIC SURVEY
G-1	BASIC GRADING AND DRAINAGE PLAN
G-2	EROSION AND SEDIMENT CONTROL PLAN
G-3	CONSTRUCTION BEST MANAGEMENT PRACTICE
DAO.1	DECK - SITE PLAN
DA1.0	DECK - (E)/DEMO & PROPOSED FLOOR PLAN
DA2.0	DECK - EXISTING ELEVATIONS
DA2.1	DECK - PROPOSED ELEVATIONS
DA2.2	DECK - 3D VIEWS

DEFERRED SUBMITTALS

NONE

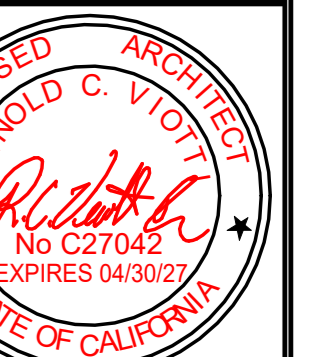
SCOPE OF WORK

- REMOVE & REPLACE (E) WD. DECKING @ REAR AND SIDE DECK
- EXPAND (E) DECK SUPPORTED IV 12-16 PIERS MIN. 48" DEEP INTO NATIVE SOIL VERIFY IV STRUCT. ENG.
- (N) HOT TUB ATTACHED TO (N) DECK AREA
- SQUARE OFF (E) COVERED PORCH O/ EXISTING DECK

CONSULTANTS

ARCHITECT:	VIOTTI ARCHITECTS 1500 INDUSTRIAL ROAD - SUITE 14 SAN CARLOS, CA 94070 T: 650-545-2455 F: 650-545-2450
STRUCTURAL ENG.:	MORRIS SHAFFER ENGINEERING 1500 INDUSTRIAL ROAD - SUITE 14 SAN CARLOS, CA 94070 T: 650-545-2413 F: 650-545-2450
GEOTECHNICAL ENG.:	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA. 94019 T: 650-128-3540
CIVIL ENG.:	SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA. 94019 T: 650-128-3540
LAND SURVEYOR:	PACIFIC CREST SURVEYING 915 13TH STREET MODESTO, CA. 95350 EMAIL: CURT@PC-SURVEYS.COM
BIOLOGIST:	SOL ECOLOGY P.O. BOX 5214 PETALUMA, CA. 94455 T: 707-241-7718
INTERIOR DESIGNER:	LISA FAHRBACH INTERIOR STYLE (650) 218-6319 LISA@INTERIORSTYLEHMB.COM

DECK EXPANSION FOR:
THE ELLIS RESIDENCE
8701 CABRILLO HIGHWAY
MOSS BEACH, CA. 94038



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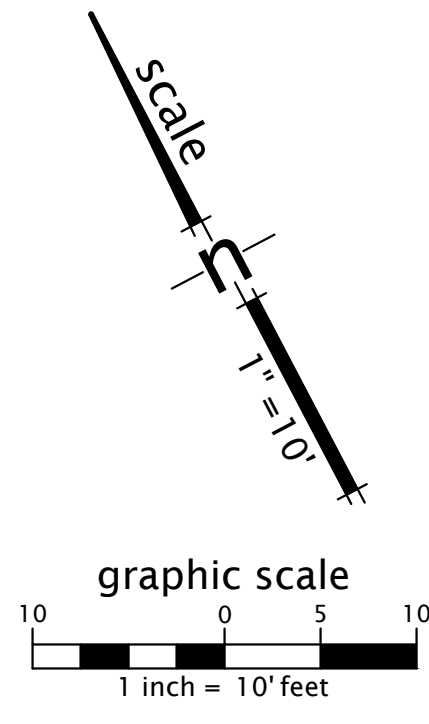
TITLE SHEET

DATE: 2/12/2025

DRAWN BY: PV

JOB#: 2502

TO



SYMBOLS

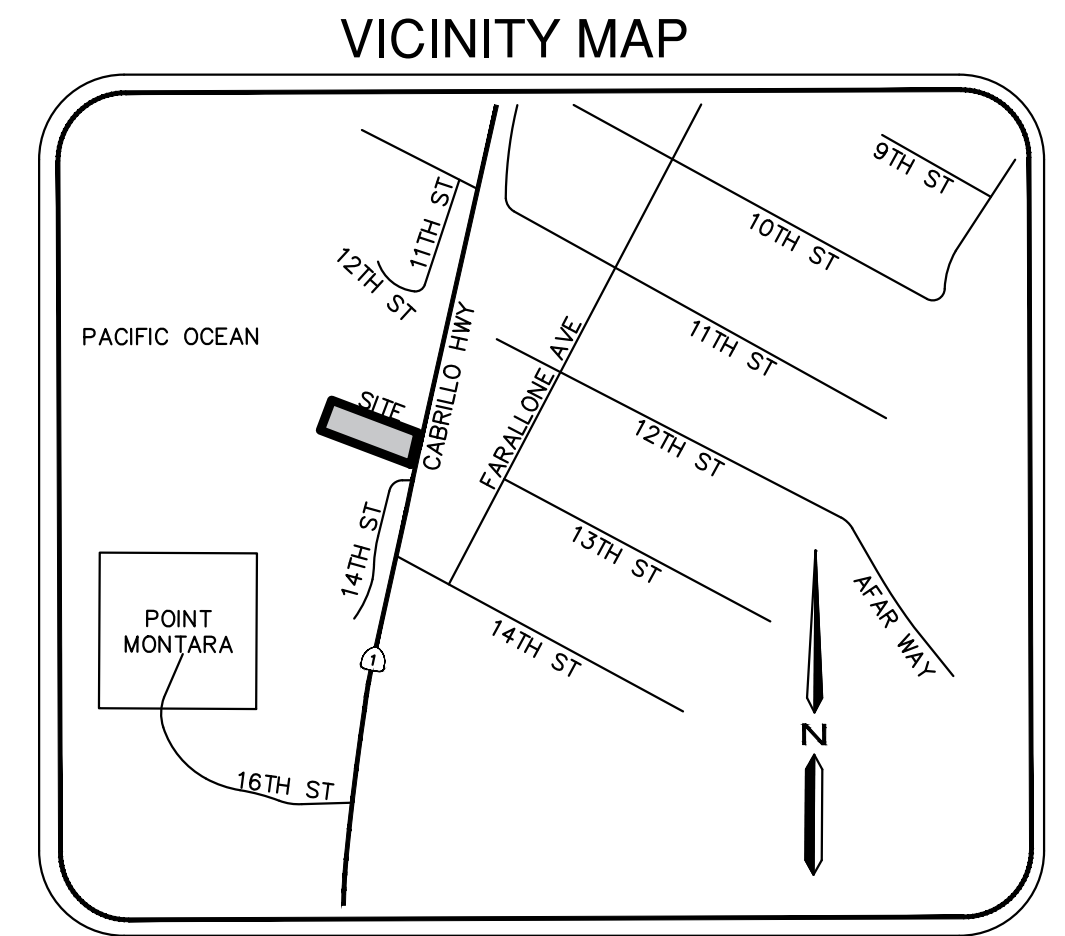
- BENCHMARK
- GAS METER
- IRRIGATION CONTROL BOX
- SEWER MANHOLE
- WATER METER
- SURVEY POINT W/ DESCRIPTION AND GRADE
- SURVEY CONTROL POINT
- SURVEY MONUMENTS FOUND
- TREE WITH DRIPLINE
- PAVERS

LEGEND

- APN ASSESSOR'S PARCEL NUMBER
- AC ASPHALTIC CONCRETE
- BRK BRICK
- BRW BRICK RETAINING WALL
- C CONCRETE
- CRN CROWN OF PAVEMENT
- CRW CONCRETE RETAINING WALL
- DOC. DOCUMENT NUMBER
- EP EDGE OF ASPHALT PAVEMENT
- FF FINISHED FLOOR ELEVATION
- FL FLOW LINE
- FNC FENCE—HEIGHT & TYPE NOTED
- GM GAS METER
- H&T HUB AND TACK
- HBIB HOSE BIB
- ICV IRRIGATION CONTROL VALVE
- IP IRON PIPE
- MS MAG AND SHINER
- PP PLASTIC PLUG
- NG NATURAL GROUND
- SSMH SANITARY SEWER MANHOLE
- SQ. FT. SQUARE FEET
- T 22" TREE W/ 22" DIAMETER TRUNK
- TC TOP OF CURB AT FACE
- TOB TOP OF BANK
- TRW TOP OF RETAINING WALL AT FACE
- WM WATER METER
- WRW WOOD RETAINING WALL

LINE TYPES

- BOUNDARY LINES
- CENTERLINE
- EASEMENT
- PROPERTY LINE
- STREET RIGHT-OF-WAY
- SUBJECT PROPERTY BOUNDARY
- MISCELLANEOUS LINES
- FENCE LINE — HEIGHT NOTED
- CURB AND GUTTER
- STRIPING
- WALL
- CONTOUR LINE — MAJOR INTERVAL
- CONTOUR LINE — MINOR INTERVAL
- BUILDING FOOTPRINT
- BUILDING ROOF DRIPLINE
- CONCRETE



TOPOGRAPHIC SURVEY NOTES

- ALL DISTANCES SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY. SUBSURFACE OBJECTS NOT SHOWN MAY INCLUDE, BUT ARE NOT LIMITED TO, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, UTILITY VAULTS, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION OR PER SITE IMPROVEMENT PLANS.
- DIMENSIONAL TIES TO IMPROVEMENTS ARE 90° TO THE PROPERTY LINES UNLESS NOTED OTHERWISE.
- THE FIELD DATA FOR THIS SURVEY WAS COLLECTED USING A LEICA BLK360 LASER SCANNER AND A TRIMBLE TOTAL STATION.
- THE TOPOGRAPHIC POINTS AND LINE WORK SHOWN HEREON WERE MAPPED FROM THE LASER SCAN POINT CLOUD.
- POINT ELEVATIONS ARE FOR THE FEATURE DESCRIBED AND DO NOT CORRESPOND PRECISELY TO THE ADJACENT HORIZONTAL LOCATION. PRECISE LINE WORK WAS DERIVED FROM THE LASER SCAN POINT CLOUD.

UTILITY NOTES

- NO UNDERGROUND UTILITIES ARE SHOWN.
- CONTRACTORS AND OTHER PERFORMING WORK SHALL VERIFY THE EXACT LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES WITHIN CONSTRUCTION AREA.
- SPRINKLER HEADS AND IRRIGATION LATERAL LINES ARE NOT SHOWN HEREON.
- ADDITIONAL UNDETECTED UTILITIES MAY EXIST WITHIN THE LIMIT OF THIS SURVEY.
- CALL UNDERGROUND SERVICE ALERT (USA) 48 HOURS PRIOR TO ANY UNDERGROUND WORK.

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TREE NOTE

TREE TYPES AND SIZE ARE FOR INFORMATIONAL PURPOSES ONLY. ACTUAL TYPE OF TREE, TREE SHAPE, AND GROVE CONFIGURATION MAY VARY FROM ACTUAL FIELD CONDITIONS. NO WARRANTIES ARE IMPLIED WITH REGARD TO TREE INFORMATION.

TITLE NOTE

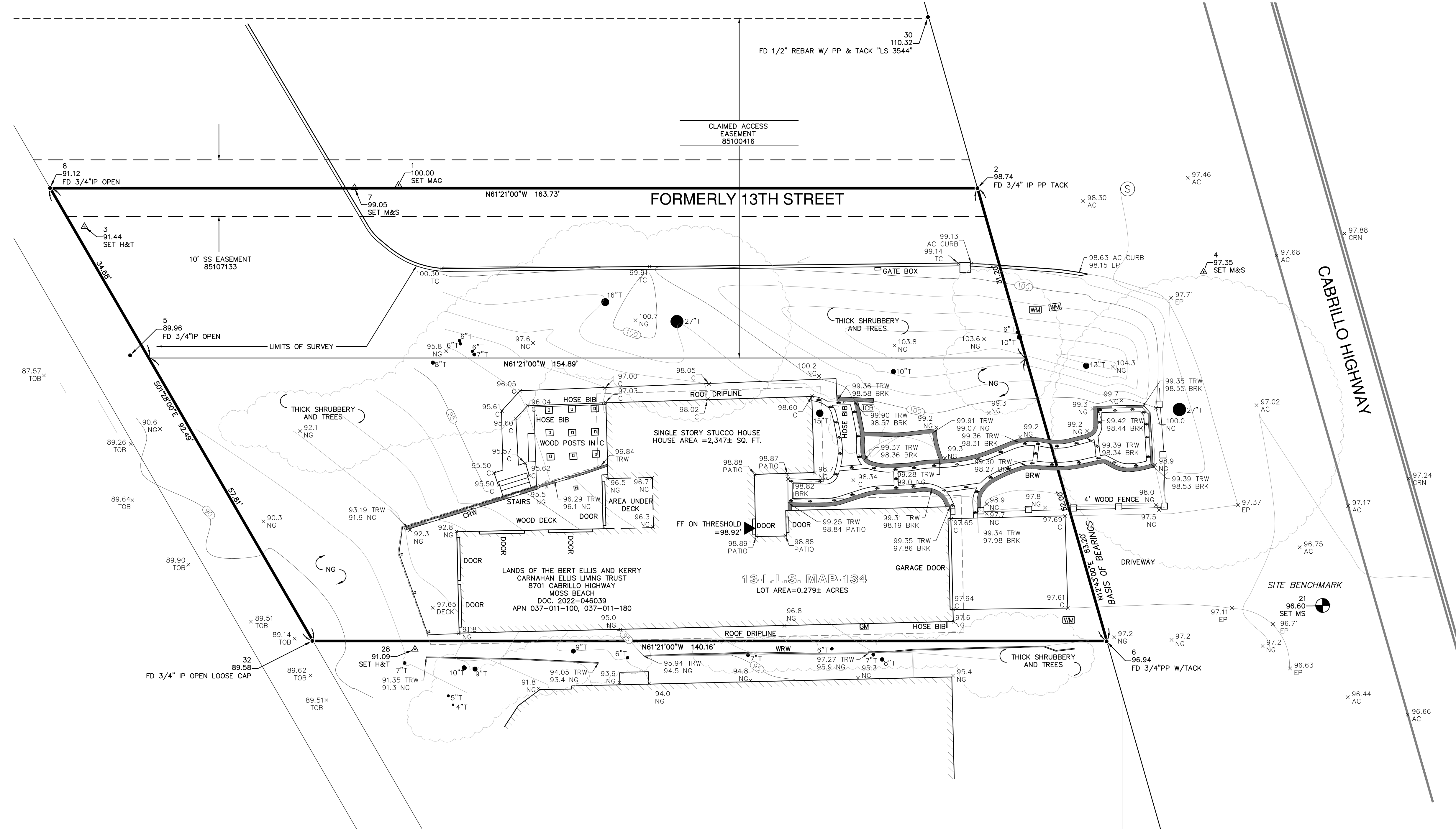
NO ABSTRACT OF TITLE, TITLE COMMITMENT, NOR RESULTS OF A TITLE SEARCH WERE FURNISHED TO CHAPPELL SURVEYING, INC. THERE MAY EXIST DOCUMENTS OF RECORD THAT MAY AFFECT THIS SURVEYED PARCEL.

BASIS OF BEARINGS

THE BEARING N12°43'00"E BEING THE WESTERLY LINE OF CABRILLO HIGHWAY AS SHOWN ON THE RECORD OF SURVEY FILED FOR RECORD ON NOVEMBER 5, 1991 IN BOOK VOLUME 13 OF L.L.S. MAP AT PAGE 134 IN THE OFFICE OF THE RECORDER FOR THE COUNTY OF SAN MATEO, STATE OF CALIFORNIA, WAS USED AS THE BASIS FOR ALL BEARING SHOWN HEREON.

SITE BENCHMARK

ELEVATION: 96.60 FEET
DATUM: LOCAL
POINT I.D.: 21
DESCRIPTION: SET MS
LOCATION: SEE MAP HEREON

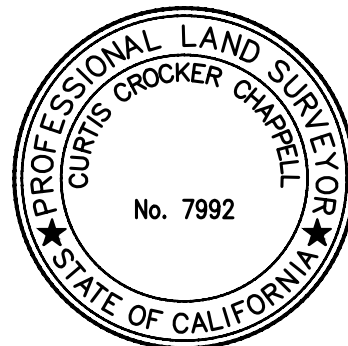


SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION.

[Signature]





CURTIS C. CHAPPELL, PROFESSIONAL LAND SURVEYOR
LICENSE NUMBER 7992
EXPIRATION DATE: DECEMBER 31, 2022



AUGUST 19, 2022
DATE

No.	Revisions
08/19/2022	1"=10'
	Field CW/NC
	Mapping NC
	Approved CCC
	Job No. 2022058
Drawing: 2022058 MASTER	
1 OF 1	

LEGEND

-  D S DOWNSPOUT
-  4" SOLID DRAIN PIPE
-  DIRECTION OF SURFACE DRAINAGE
-  ENERGY DISSIPATER - PER DETAIL 1

GENERAL NOTES

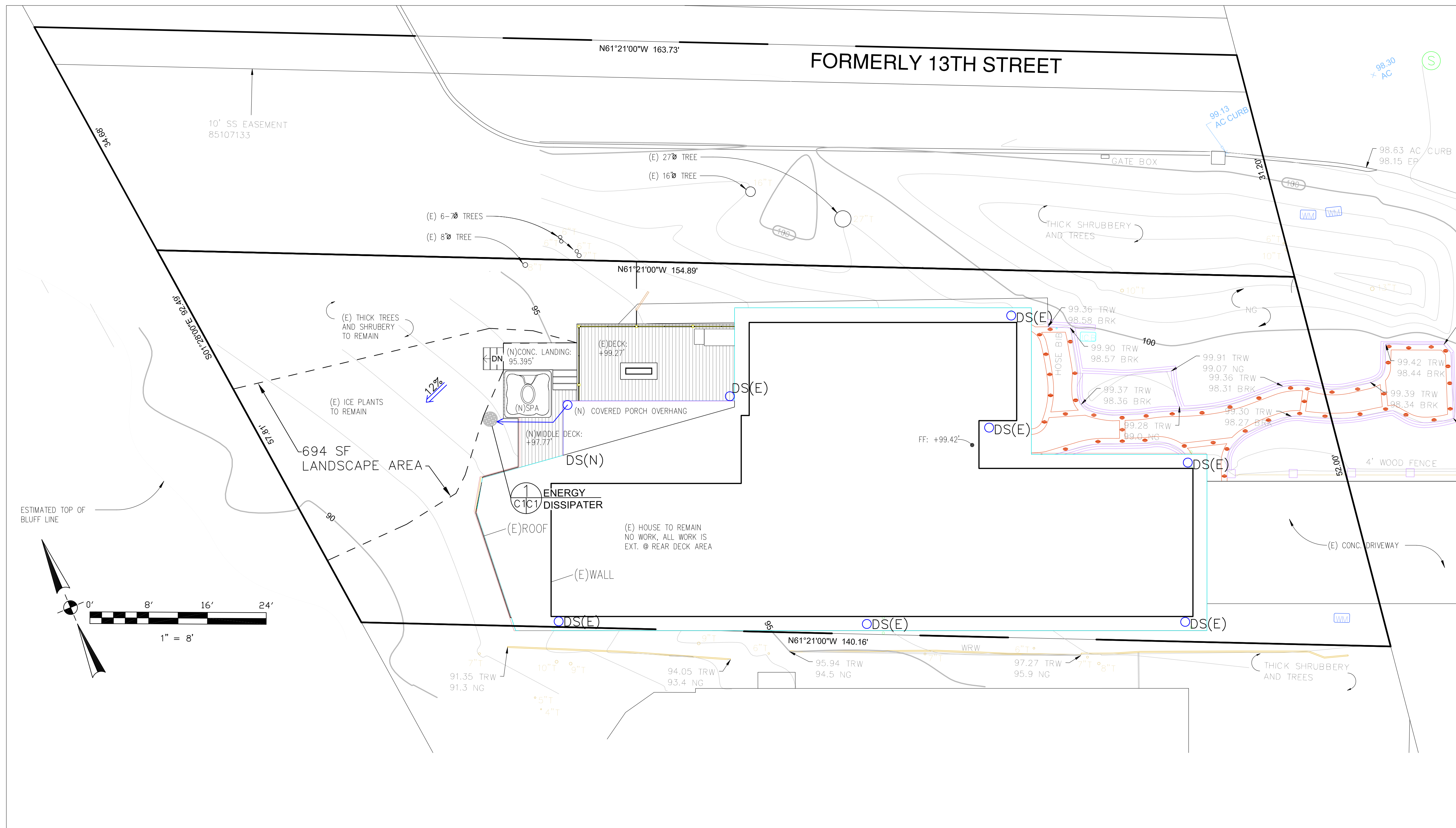
1. PLANS PREPARED AT THE REQUEST OF: BERT ELLIS, OWNER
2. TOPOGRAPHY BY PACIFIC CREST SURVEYING, SURVEYED AUGUST, 2022.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.

DRAINAGE NOTES

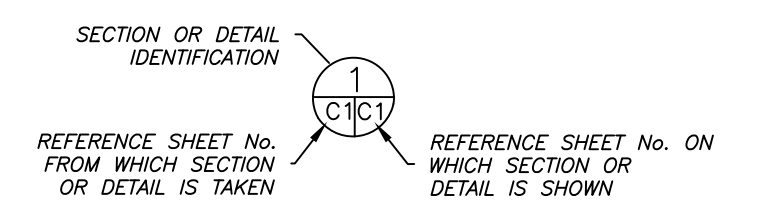
1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. NEW DOWNSPOUT DRAIN LINE SHALL LEAD TO ENERGY DISSIPATER, AS SHOWN.
3. NEW ROOF DRAINAGE PIPE SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINE, AND THE ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.
5. 173 SF OF IMPERVIOUS AREAS WILL BE ADDED. PROPOSED DOWNSPOUT AND ENERGY DISSIPATER ARE LOCATED TO CREATE AT LEAST 692 SF OF LANDSCAPING ON A 12% SLOPE, FOUR TIMES THE IMPERVIOUS AREA.

GRADING NOTES

CUT VOLUME : 5 CY (FOR DECK POSTS, LANDING, SPA)
 FILL VOLUME: 0 CY
 VOLUMES ABOVE ARE APPROXIMATE.



SECTION AND DETAIL CONVENTION

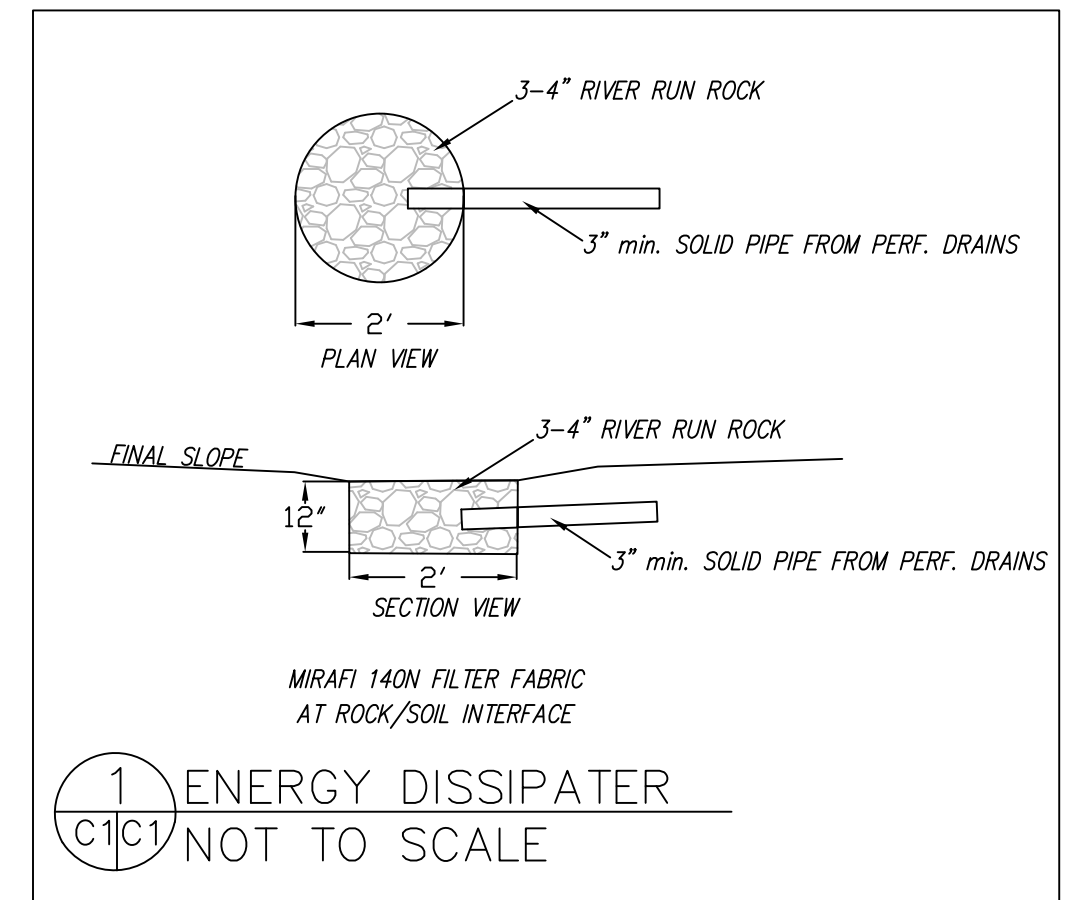


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 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

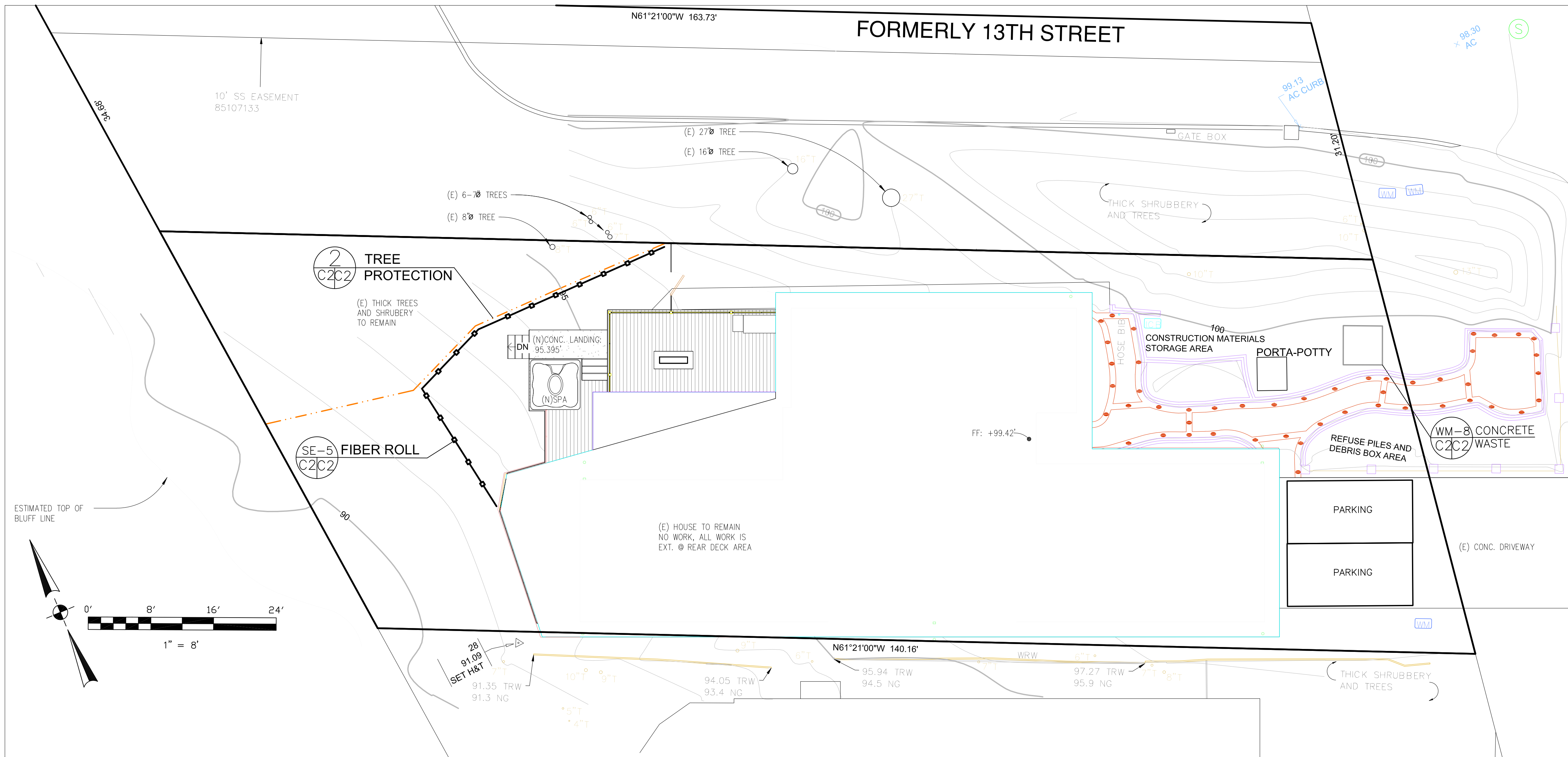
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BASIC GRADING AND DRAINAGE PLAN
 ELLIS PROPERTY
 8701 CABRILLO HIGHWAY
 MONTARA

SHEET
C-1



1
C1C1 ENERGY DISSIPATER
 NOT TO SCALE

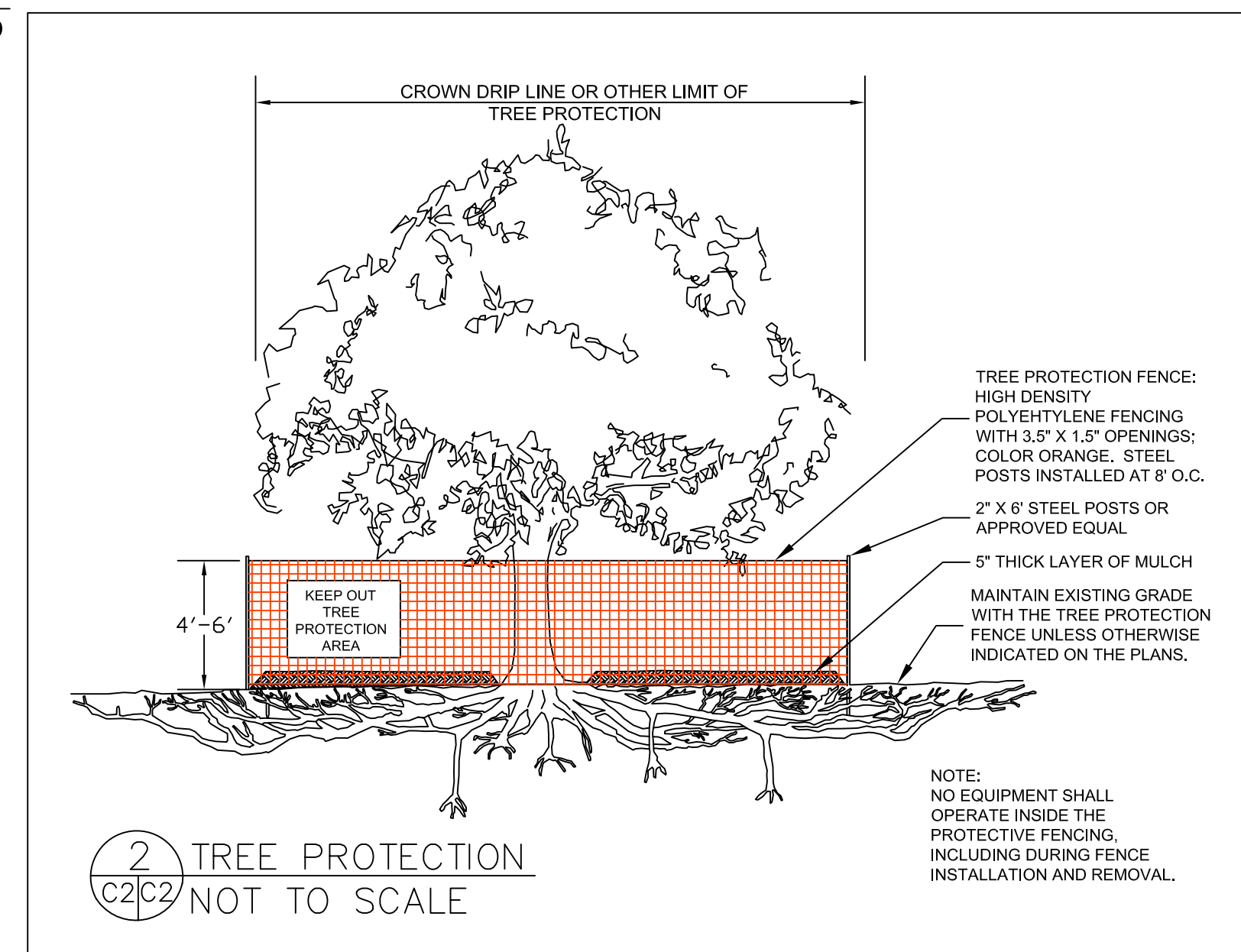


GENERAL EROSION AND SEDIMENT CONTROL NOTES

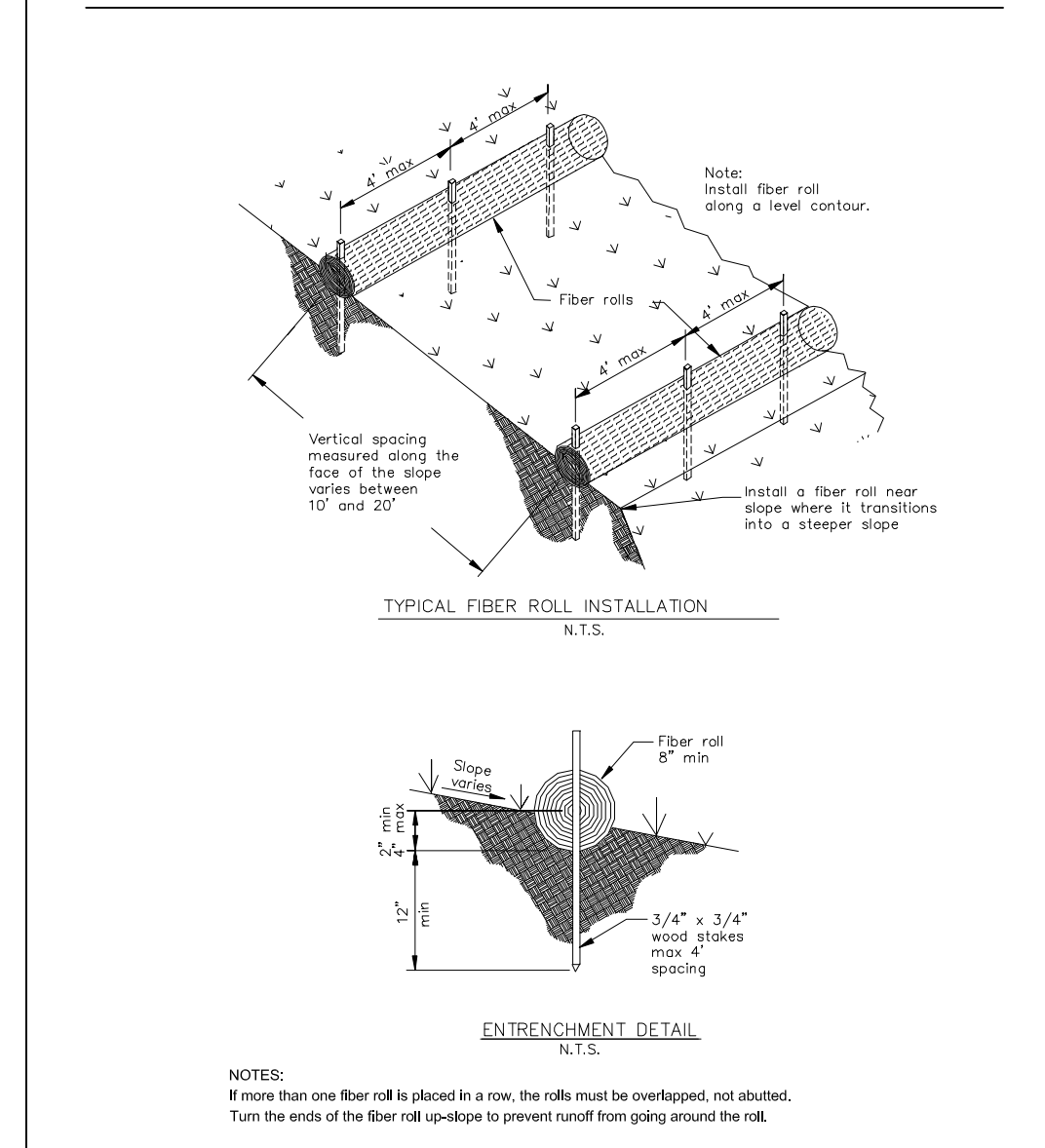
- FIBER ROLL
INSTALL AT LOCATIONS SHOWN.
AFIX AS SHOWN IN DETAIL SE-5
- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
 - Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
 - Erosion control materials to be on-site during off-season.
 - Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
 - Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
 - Limit construction access routes to stabilized, designated access points
 - Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
 - Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - Placement of erosion materials is required on weekends and during rain events.
 - The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
 - Dust control is required year-round.
 - Erosion control materials shall be stored on-site.

TREE PROTECTION NOTES

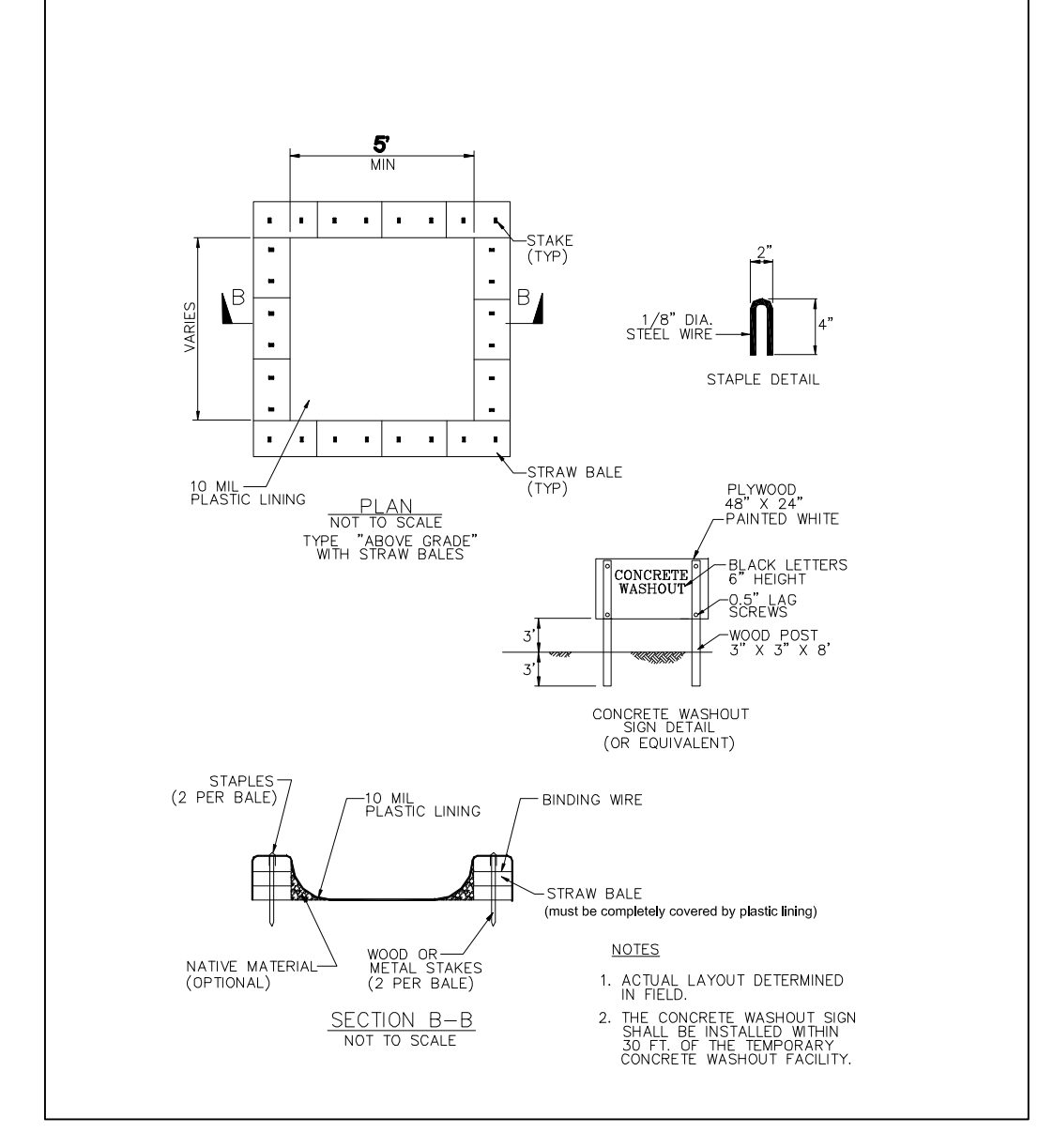
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



FIBER ROLLS SE-5



CONCRETE WASTE MANAGEMENT WM-8



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EROSION AND SEDIMENT CONTROL PLAN
 ELLIS PROPERTY
 8701 CABRILLO HIGHWAY
 MONTANA

SHEET C-2



SAN MATEO COUNTYWIDE

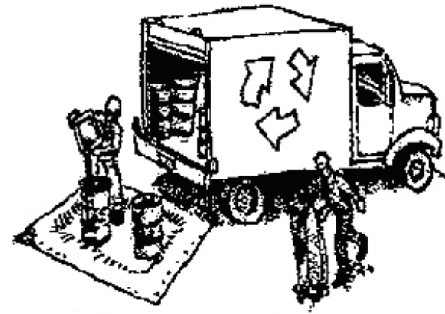
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



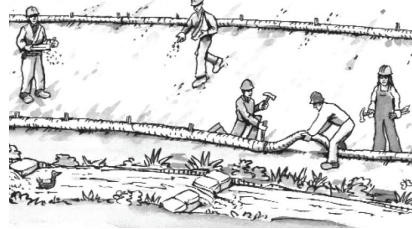
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

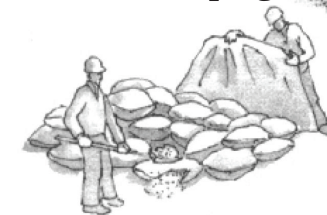
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



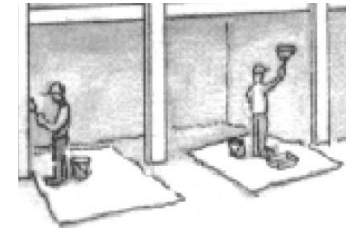
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

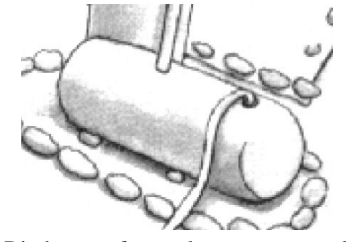
Painting & Paint Removal



Painting Cleanup and Removal

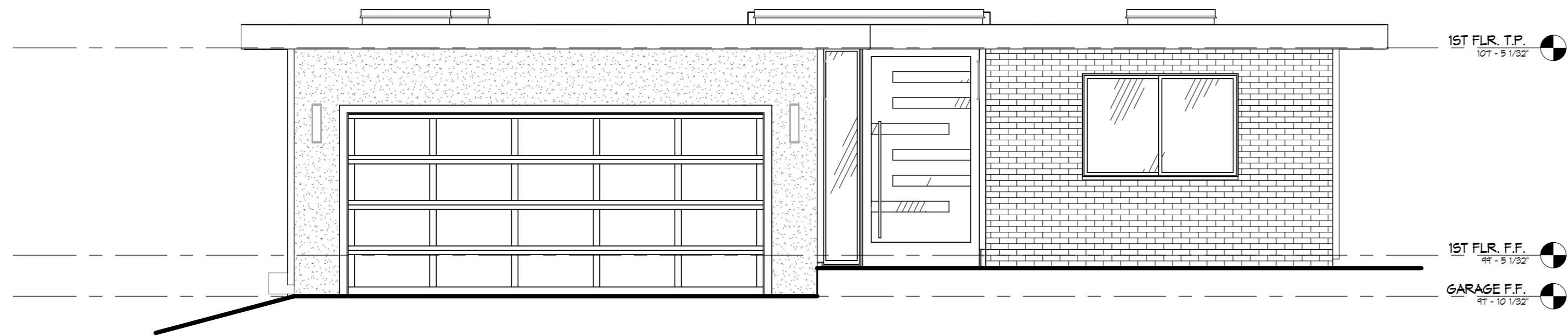
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



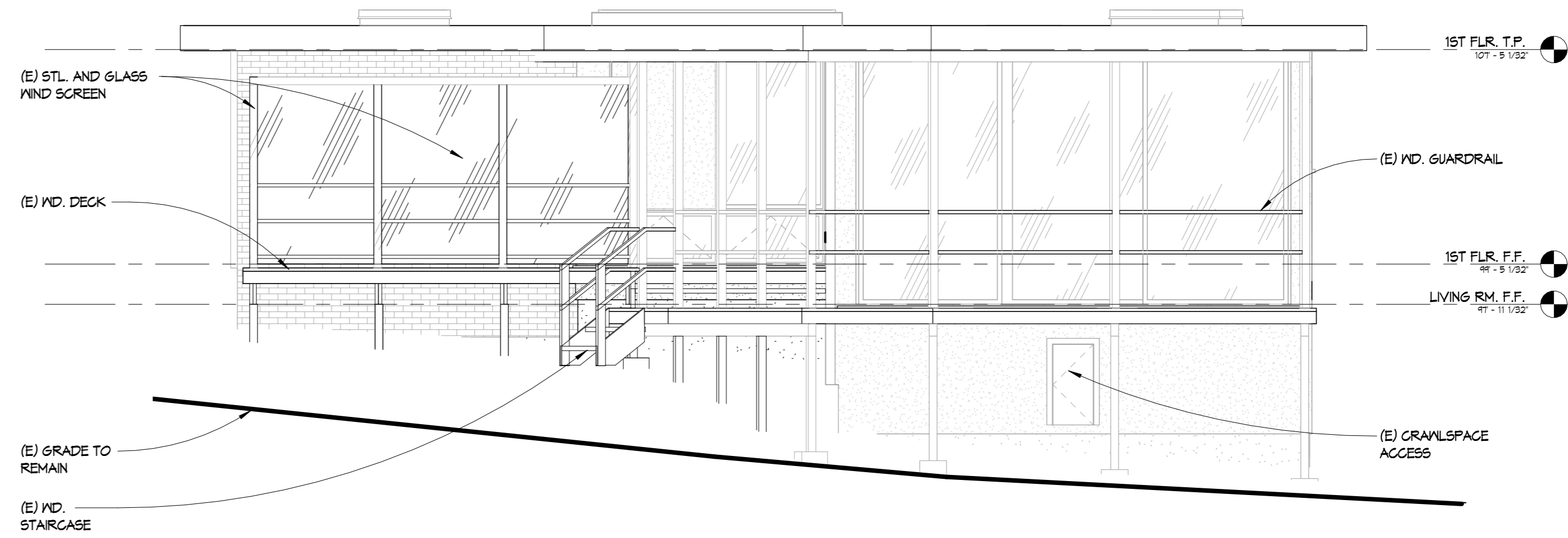
- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



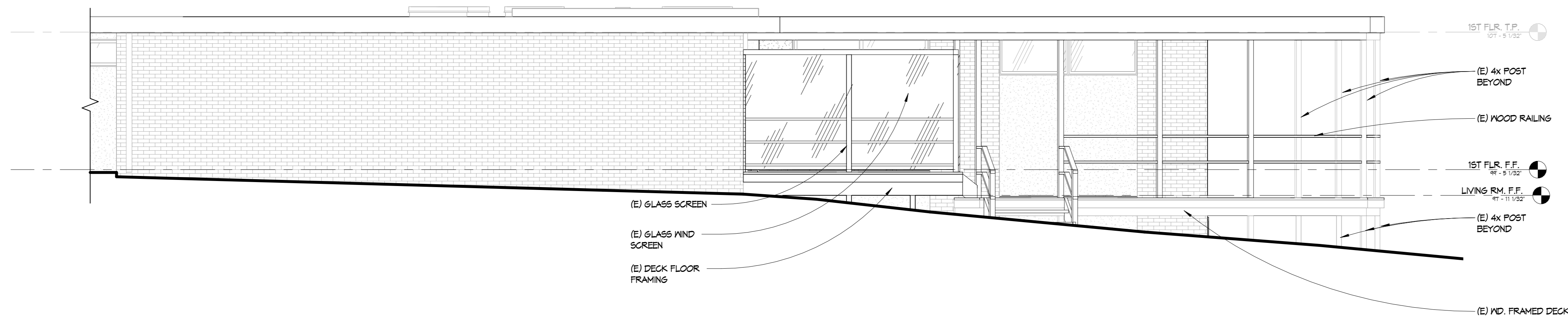
DECK - EXISTING EAST (FRONT) ELEVATION

1/4" = 1'-0"



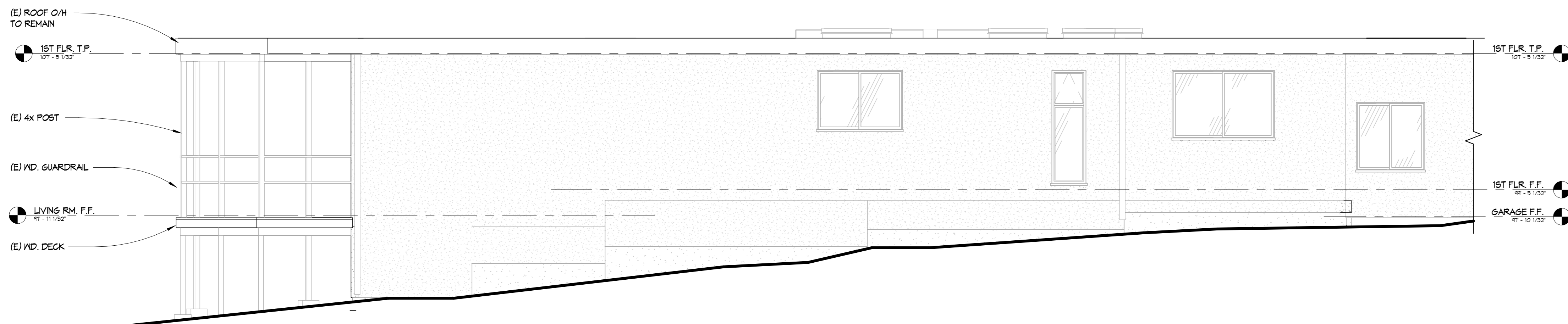
DECK - EXISTING WEST (REAR) ELEVATION

1/4" = 1'-0"



DECK - EXISTING NORTH (RIGHT) ELEVATION

1/4" = 1'-0"

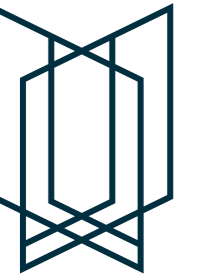


DECK - EXISTING SOUTH (LEFT) ELEVATION

1/4" = 1'-0"

REVISIONS

NO.	DATE
1	11/24/25 PLNG SUB



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 650.595.2955 F
 650.595.2900 F
 1500 INDUSTRIAL RD, SUITE 14
 SAN CARLOS, CA 94070
 VIOTTIARCHITECTS.COM

DECK EXPANSION FOR:

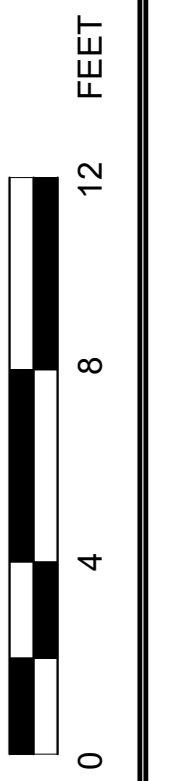
THE ELLIS RESIDENCE

8701 CABRILLO HIGHWAY
 MOSS BEACH, CA. 94038



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DECK - EXISTING ELEVATIONS

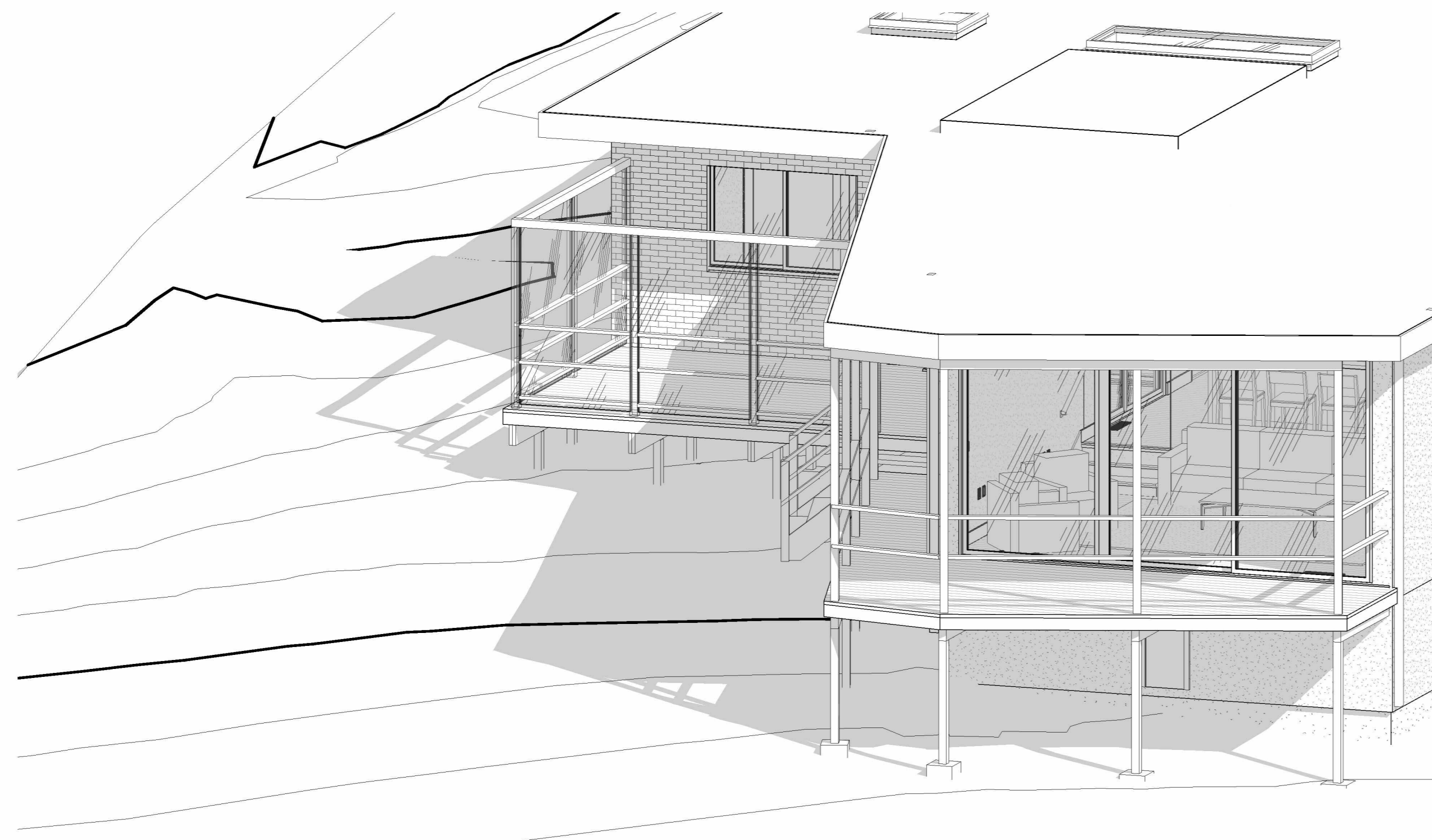


DATE: 2/12/2025

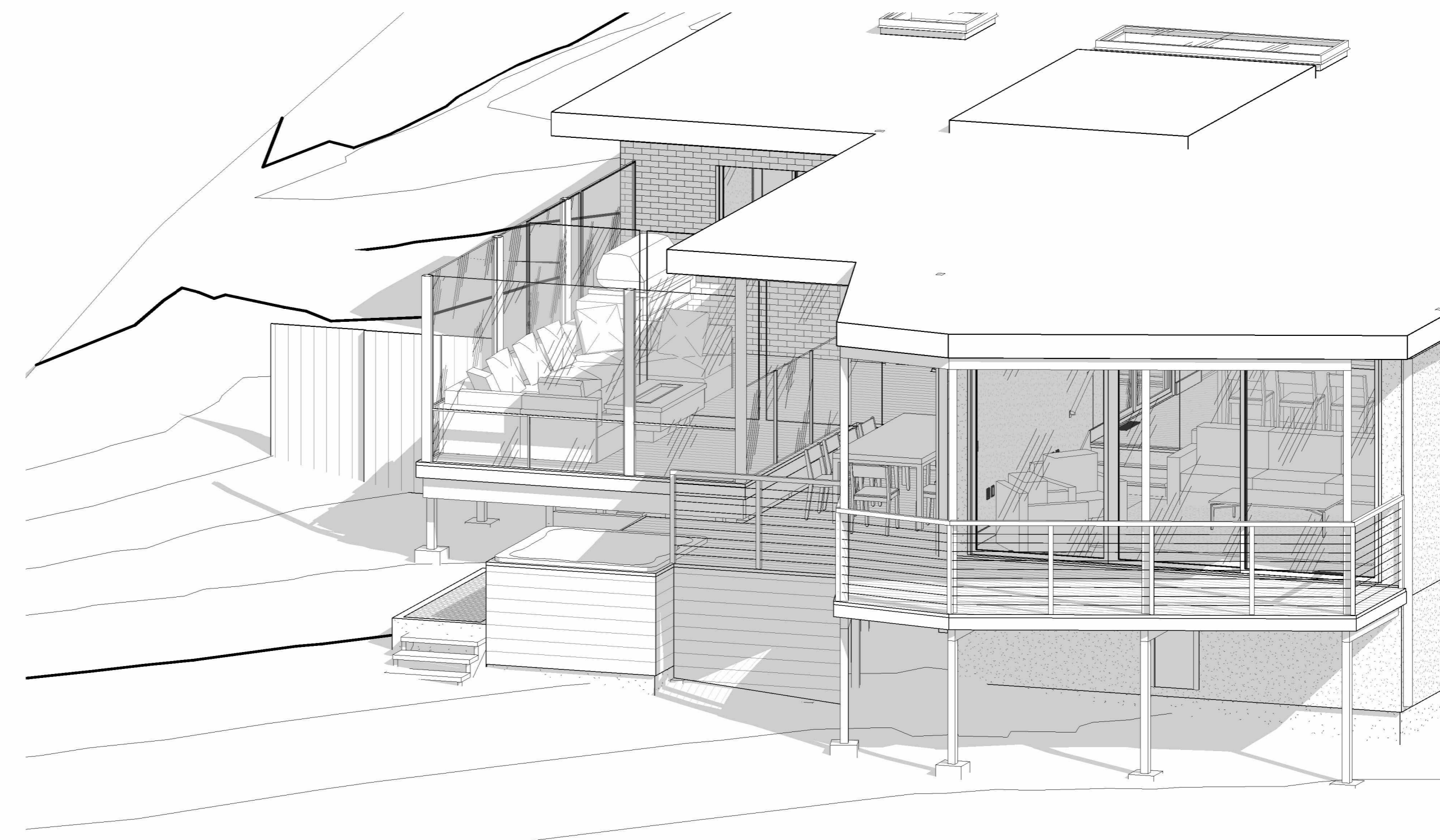
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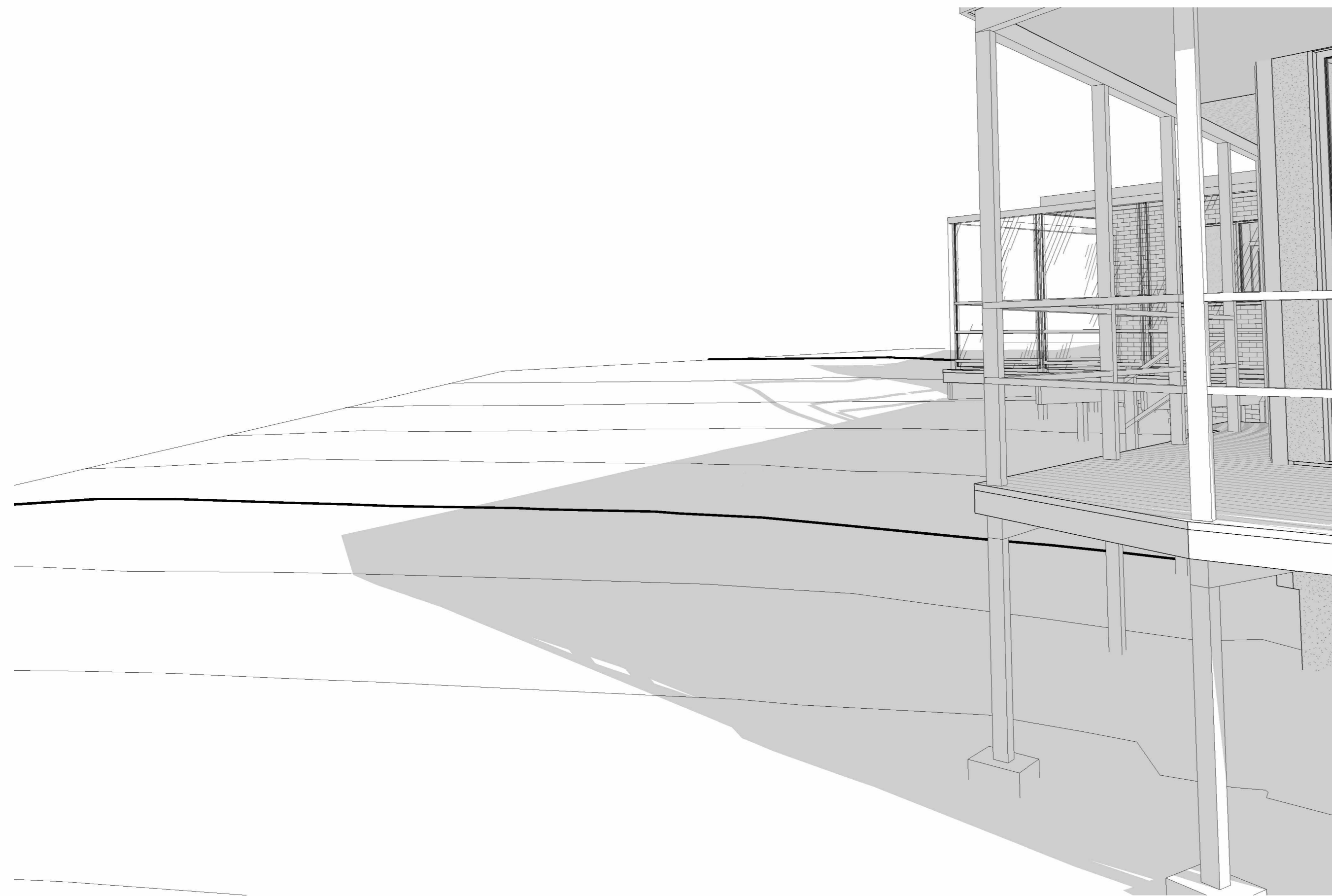
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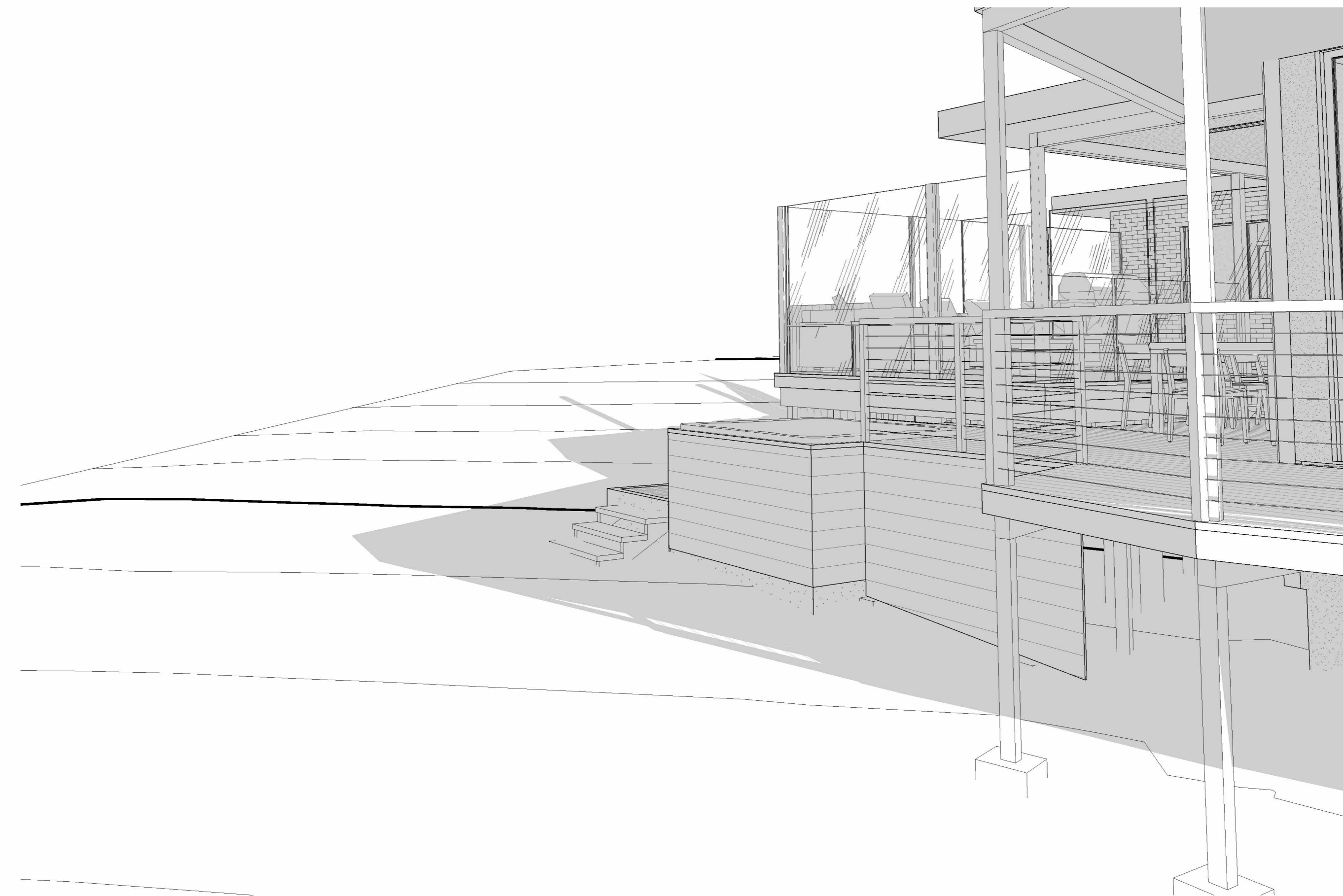
DECK - BIRVIEW 02 - EXISTING



DECK - BIRVIEW 02 - PROPOSED



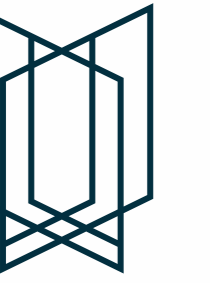
DECK - LOWER DECK - EXISTING



DECK - LOWER DECK - PROPOSED

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DECK - 3D VIEWS

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DA2.2