





SAN MATEO COUNTYWIDE

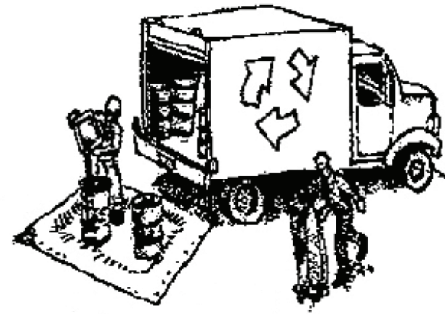
# Water Pollution Prevention Program

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



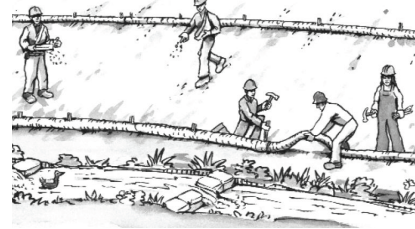
### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

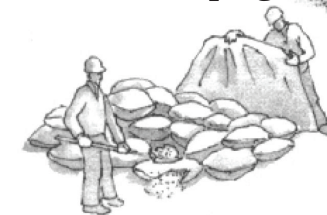
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



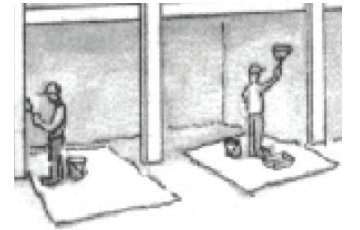
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

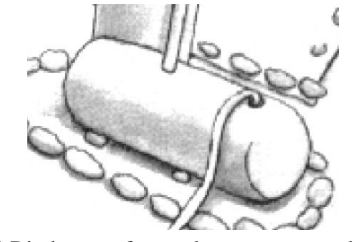
## Painting & Paint Removal



### Painting Cleanup and Removal

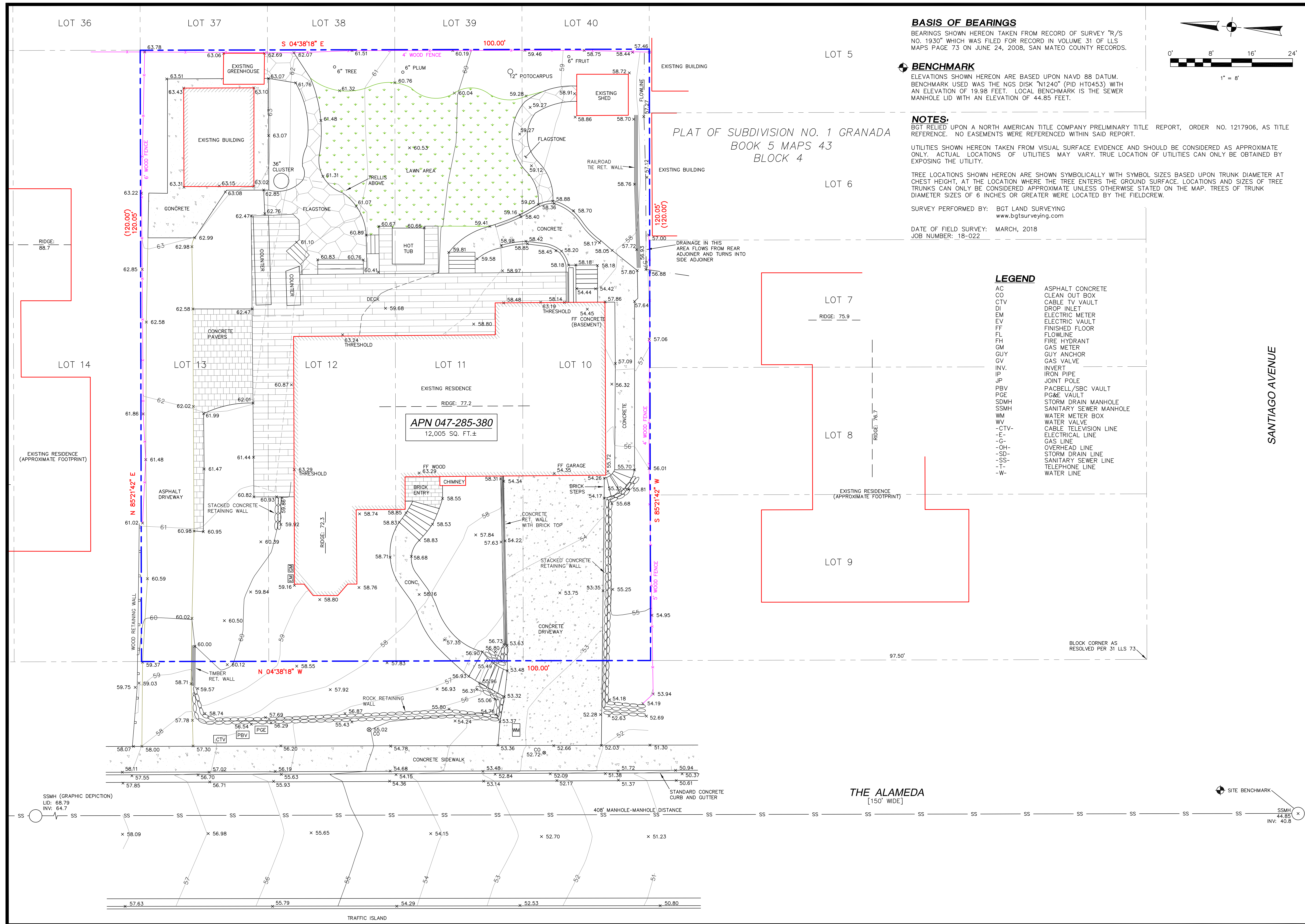
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



**BASIS OF BEARINGS**

BEARINGS SHOWN HEREON TAKEN FROM RECORD OF SURVEY "R/S NO. 1930" WHICH WAS FILED FOR RECORD IN VOLUME 31 OF LLS MAPS PAGE 73 ON JUNE 24, 2008, SAN MATEO COUNTY RECORDS.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NAVD 88 DATUM. BENCHMARK USED WAS THE NGS DISK "N1240" (PID HT0453) WITH AN ELEVATION OF 19.98 FEET. LOCAL BENCHMARK IS THE SEWER MANHOLE LID WITH AN ELEVATION OF 44.85 FEET.

**NOTES:**

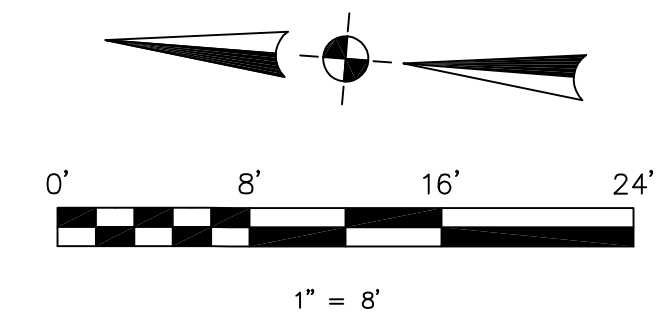
BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 1217906, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

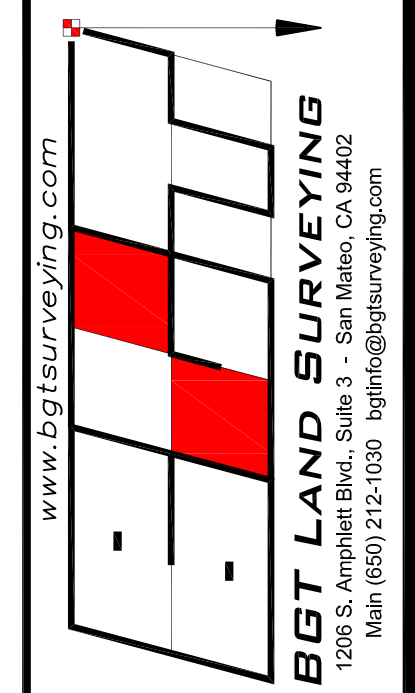
SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtssurveying.com

DATE OF FIELD SURVEY: MARCH, 2018  
JOB NUMBER: 18-022



**LEGEND**

- AC ASPHALT CONCRETE
- CO CLEAN OUT BOX
- CTV CABLE TV VAULT
- DI DROP INLET
- EM ELECTRIC METER
- EV ELECTRIC VAULT
- FF FINISHED FLOOR
- FL FLOWLINE
- FH FIRE HYDRANT
- GM GAS METER
- GUY GUY ANCHOR
- GV GAS VALVE
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- PBV PACBELL/SBC VAULT
- PGE PG&E VAULT
- SDMH STORM DRAIN MANHOLE
- SSMH SANITARY SEWER MANHOLE
- WM WATER METER BOX
- WV WATER VALVE
- CTV- CABLE TELEVISION LINE
- E- ELECTRICAL LINE
- G- GAS LINE
- OH- OVERHEAD LINE
- SD- STORM DRAIN LINE
- SS- SANITARY SEWER LINE
- T- TELEPHONE LINE
- W- WATER LINE



**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOTS 10-13, BLOCK 4, "PLAT OF SUBDIVISION NO. 1 OF GRANADA" (BOOK 5 MAPS 43)

**987 THE ALAMEDA**  
 EL GRANADA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:  
047-285-380

Prepared For:  
MINA FARR  
987 THE ALAMEDA  
HALF MOON BAY, CA 94019

Date: MARCH 2018  
Scale: 1" = 8'  
Contour Interval: 1'  
Drawn by: LHL  
Revisions:

**SU-1**

Job No. 18-022

Project Address:  
987 The Alameda  
El Granada CA  
APN 047285380

Owner:  
Mina Farr  
987 The Alameda  
El Granada CA 94018  
415.706.5885

Designer: Tim Pond  
Tim Pond Design & Construction  
Ponne: 650-576-7177  
email: timcpond@gmail.com

Structural Engineering:  
SF Bay Engineering  
Marcus Yan, P.E.  
650.302.0862  
Website: www.sfbayengineering.com  
Phone: (415) 801-6515  
Email: info@sfbayengineering.com

Revisions	Date:
PLANNING SUBMITTAL	1.9.25
DRAINAGE PLAN	A1.1

SCALE: 1"=10'

Impervious Surface < 18" AFG Analysis.

Existing impervious surface < 18 AFG =4325 sf  
Proposed (after addition) =3679sf  
The project will reduce the impervious surface by addition of permeable pavers and reduction of driveway area.

DRAINAGE COMPLIANCE PER SMC  
PRESCRIPTIVE DRAINAGE MANUAL

Contributing Area (sq. ft.)	Pervious Pavement Area - 1ft Gravel Subbase (sq. ft.)	Pervious Pavement Area - 2ft Gravel Subbase (sq. ft.)
<500	90	45
500 - 1,000	180	90
1,001 - 1,500	270	135
1,501 - 2,000	360	180
2,001 - 2,500*	450	225

749 sf of new roof area  
135 sf of permeable pavement (2' depth of sub-base)  
(This exceeds the prescriptive requirement)

Plant Legend

Mark	Botanical Name	Common Name	Water Use	Type <sup>1</sup>	Quantity
①	Achillea 'Terra Cotta'	yarrow	Low .03	Ground Cover	18 total
②	Achillea borealis	island pink yarrow	Low .03	Ground Cover	
③	Achillea millefolium	yarrow	Low .03	Ground Cover	

Drainage Narrative:  
Stormwater from added impervious surfaces will divert to rain water storage provided by permeable paver system installed in driveway

Model Water Efficient Landscape Ordinance Prescriptive Compliance Option  
(Required Information and Signature, and prescriptive measures)

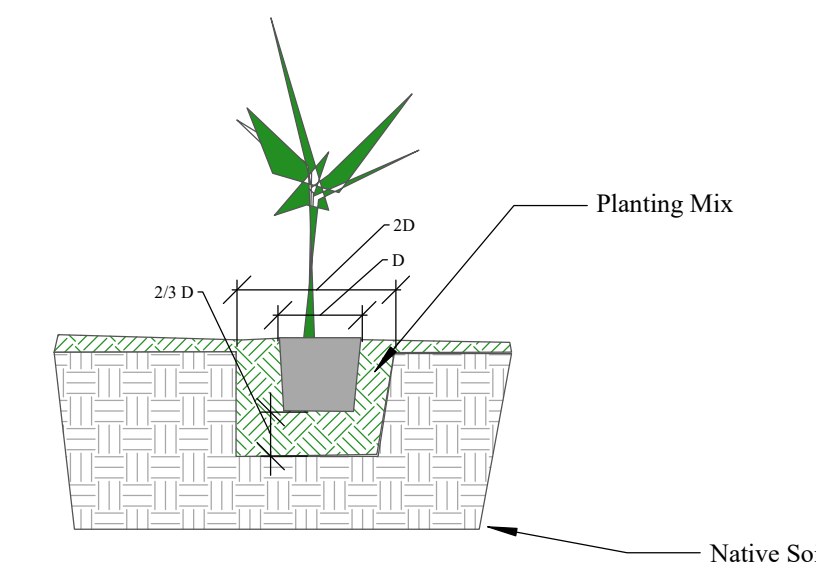
Mandatory Measures:  
Incorporate compost at a rate of at least four cubic yards per 1,000 square feet to a depth of six inches into landscape area (unless contra-indicated by a soil test);  
Plant material shall comply with all of the following:  
For residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water; For non-residential areas, install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water;  
(8) A minimum three inch (3") layer of mulch shall be applied on all exposed soil surfaces of planting areas except in turf areas, creeping or rooting groundcovers, or direct seeding applications where mulch is contraindicated.  
\*I agree to comply with the requirements of the prescriptive compliance option to the MWELDO.  
Signature

Symbol Legend

○ 1 gallon plant

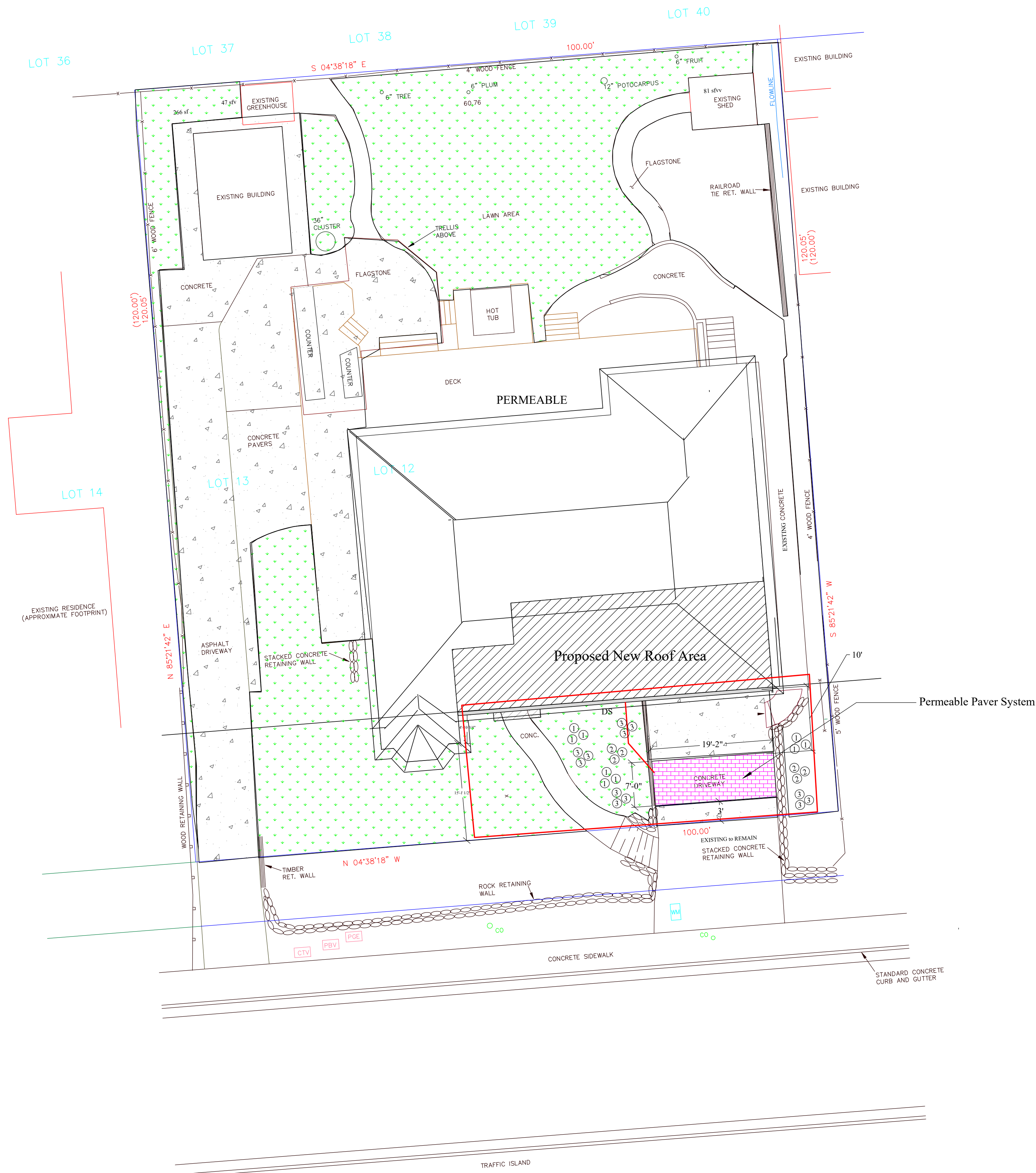
↓ Direction of surface flow of water (Direct water away from buildings and neighboring properties)  
DS Down Spout

— 4" SDR 35 piping for rainwater



Typical Planting Detail

Area of Disturbance



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email: timepond@gmail.com

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Revisions	Date:
PLANNING SUBMITTAL	1.9.25

Erosion Control Plan  
A1.2

SCALE: 1"=10'

### Erosion Control Narrative and Responsible Person Contact Info

Access to the site will be stabilized construction entrance  
Mulch should be spread on exposed soils if work is proceeding during wet weather. Refer to BMP sheet and additional EC notes this page for more details on stockpiles, storage of materials etc.  
Erosion control should be checked weekly and before and after storms, and particular attention should be given to the front property line, where runoff naturally flows into the swale at the pavement edge.


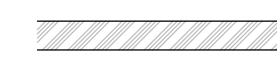





Responsible person:

Tim Pond  
650 576-1777

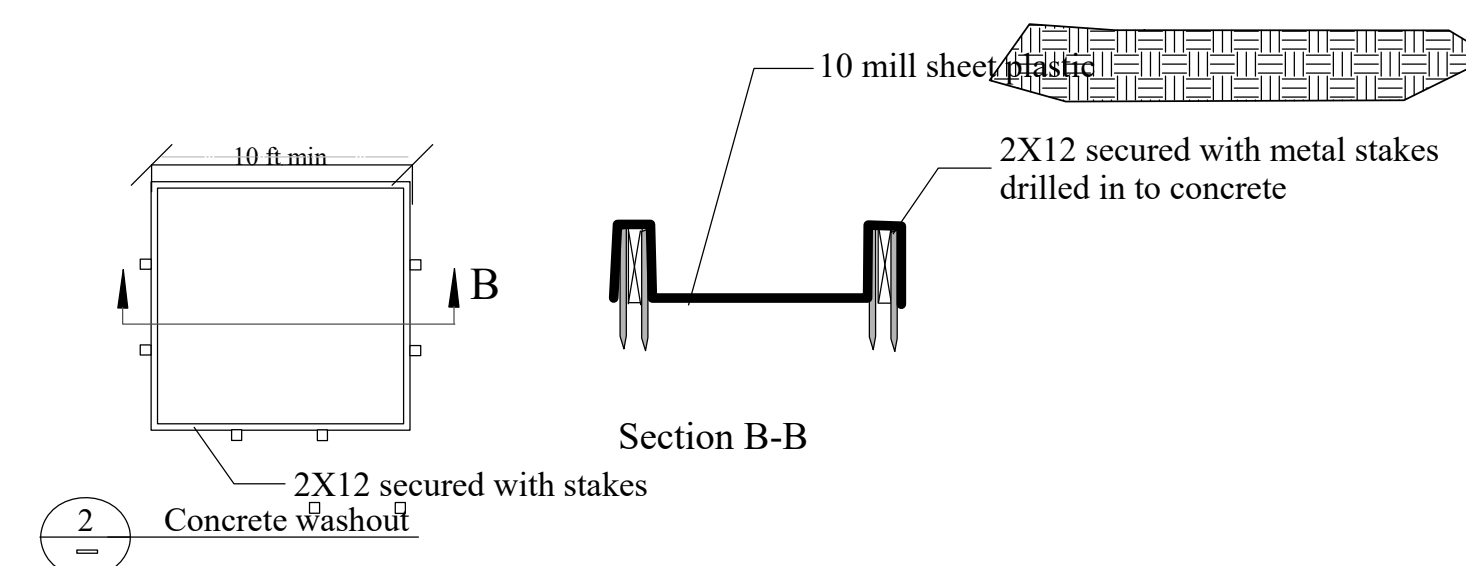
### Erosion Control Notes

1. Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
2. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
3. Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
4. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
5. Limit construction access routes to stabilized, designated access points.
6. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
7. Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
8. Store erosion materials on site as required on weekends and during rain events at the front of the property for easy access.
9. The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over." Construction sites are required to have erosion control materials on-site during the "off-season."
10. Dust control is required year-round.
11. Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile. Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.

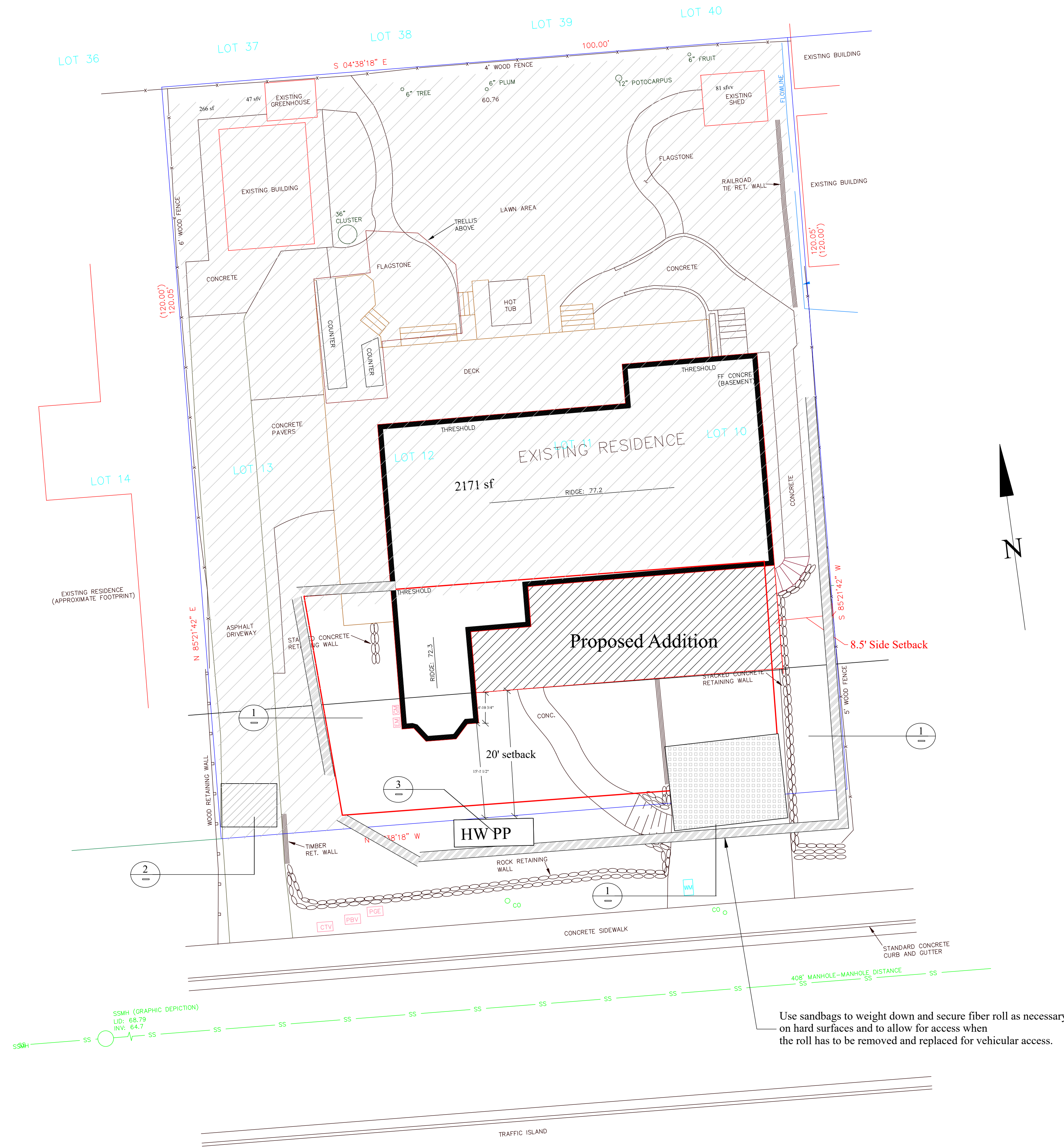
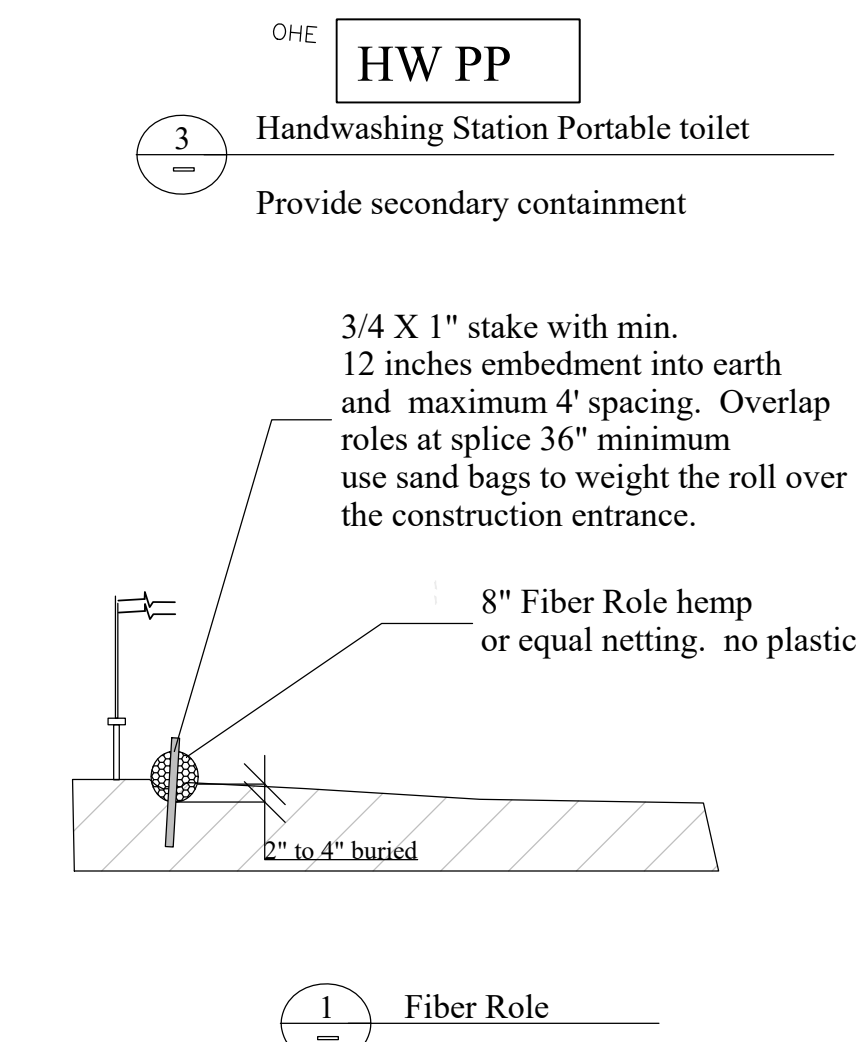
### Erosion Control Symbol Key

-  Area of Disturbance
-  Straw Fiber Wattle Installation (See Detail 1)
-  Undisturbed Area
-  Construction Entrance (Utilize existing driveway)
-  Straw Fiber Roll. see detail 1 for more information
-  Tree Protection 6' chainlink fence on driven 1.5" galv. poles or 2X4 < 8' oc or stands where utilities or existing hardscape precludes driven poles
-  Post signs on fence indicating "this tree protection fencing shall remain in place for the duration of the project and no work shall be undertaken within the limits of the area prescribed by this fence"

See BMP sheet for more information



Note: Most concrete trucks will provide washout back into truck and this is preferable using this wash out



Use sandbags to weight down and secure fiber roll as necessary on hard surfaces and to allow for access when the roll has to be removed and replaced for vehicular access.

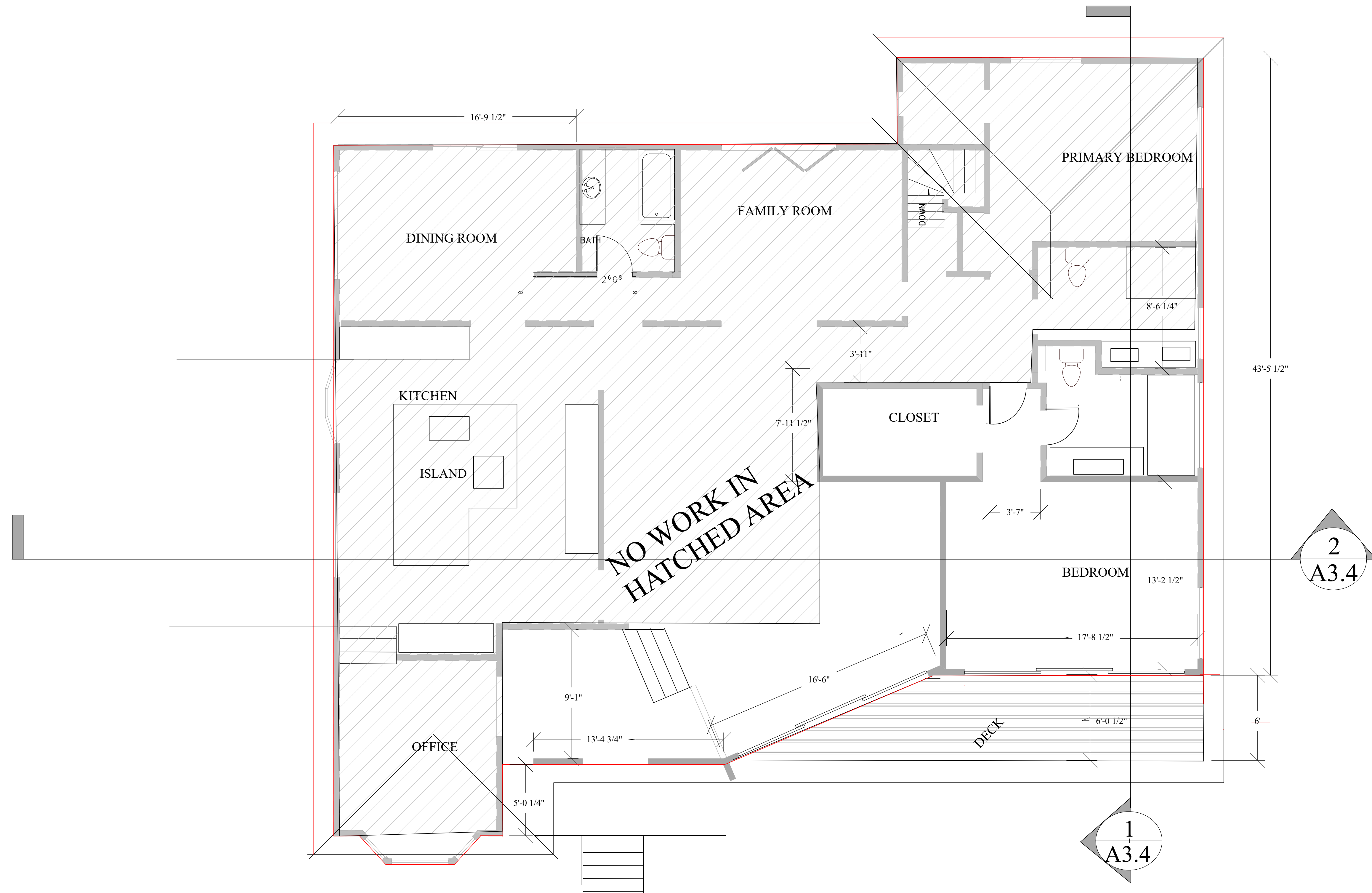
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Revisions	Date:
PLANNING SUBMITTAL	1.9.25
Main Level Proposed Floor Plans	A2.1



## Proposed Main Level Floor Plans

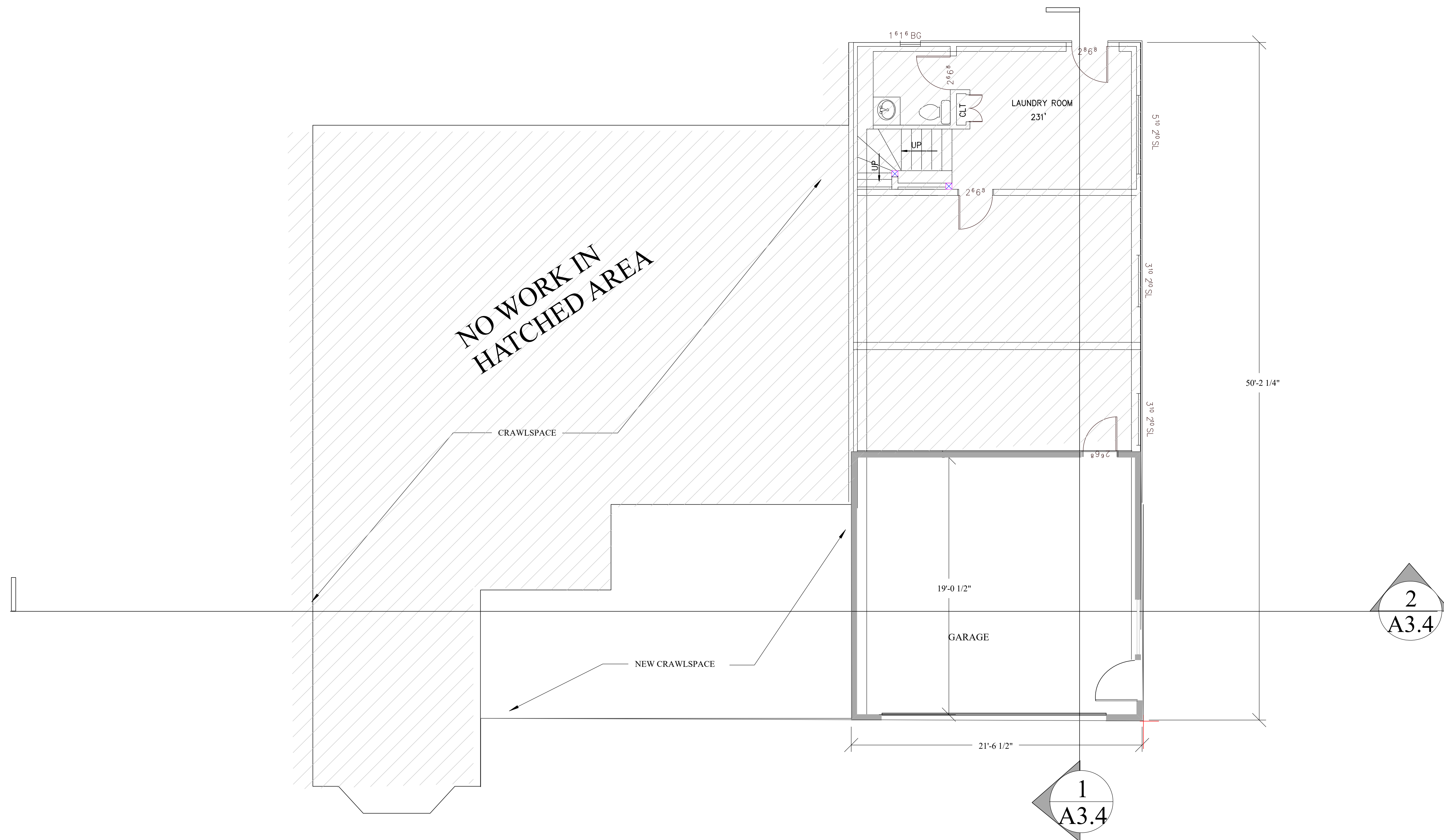
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Revisions	Date:
PLANNING SUBMITTAL	1.9.25
PROPOSED LOWER FLOOR PLANS	A2.2



# PROPOSED LOWER FLOOR PLAN

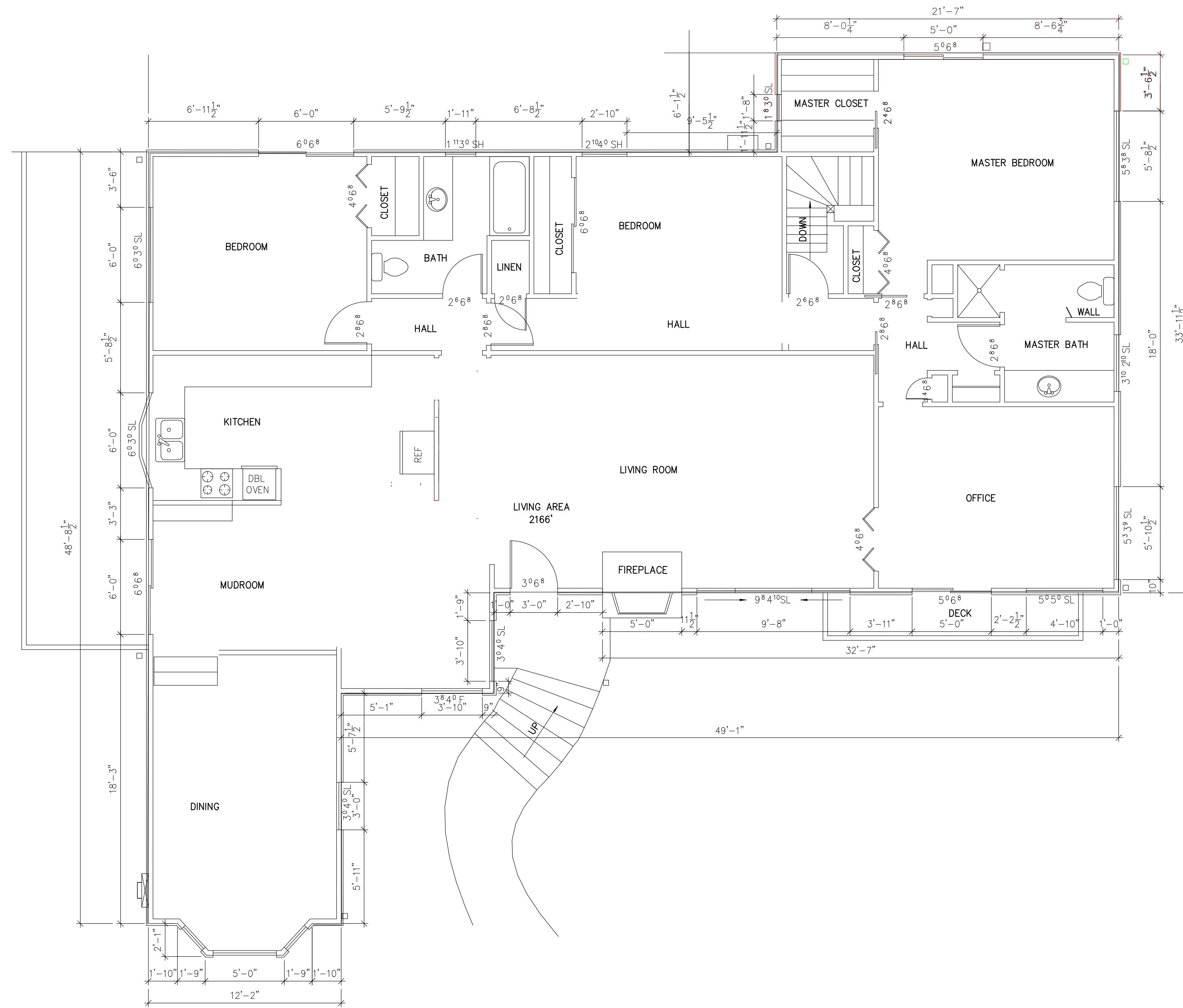
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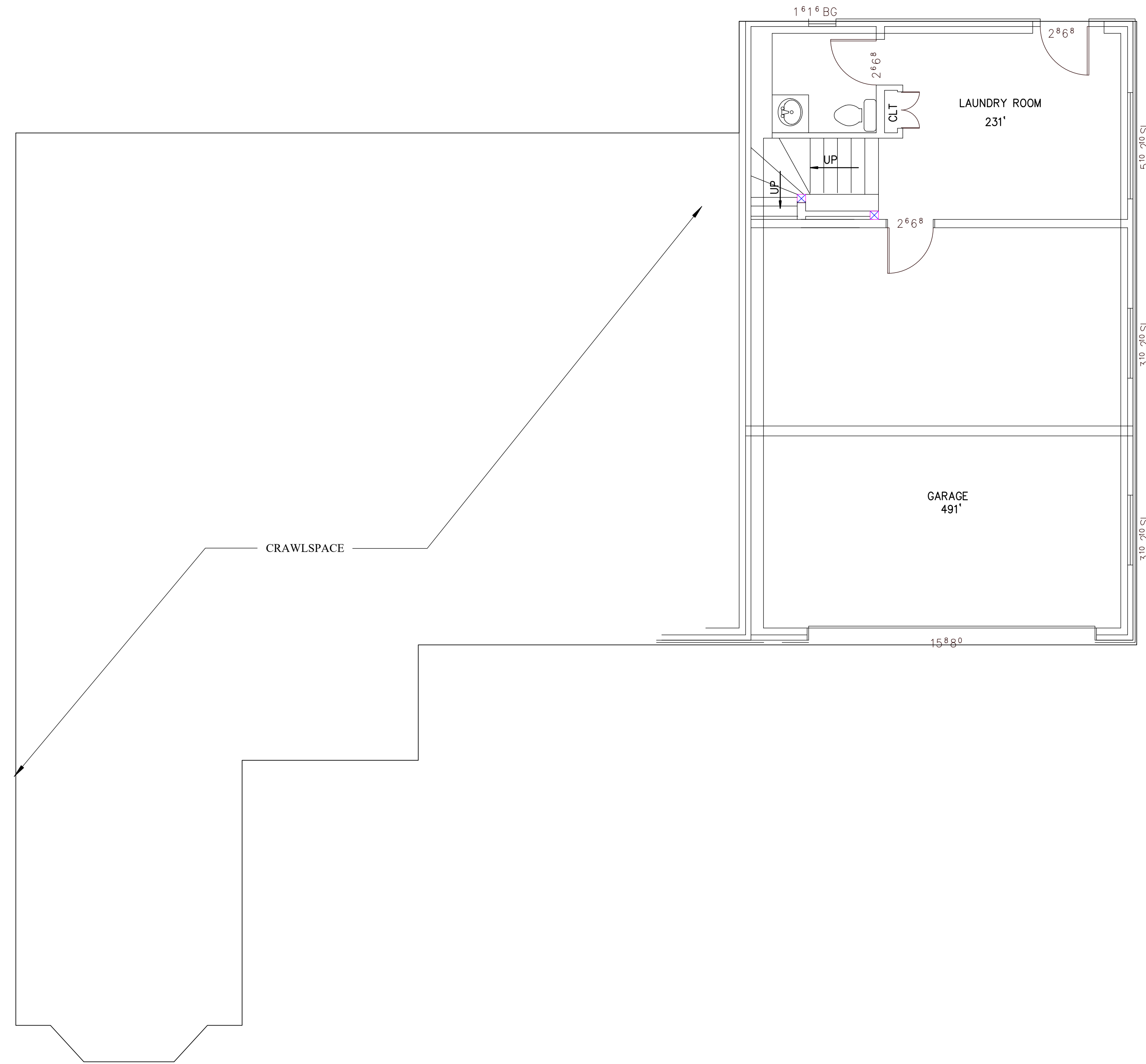
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Revisions	Date:
PLANNING SUBMITTAL	1.9.25
Main Level	A2.3
Existing Floor Plans	





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Revisions	Date:
PLANNING SUBMITTAL	9.1.25
EXISTING LOWER FLOOR PLAN	A2.4

# EXISTING LOWER FLOOR PLAN

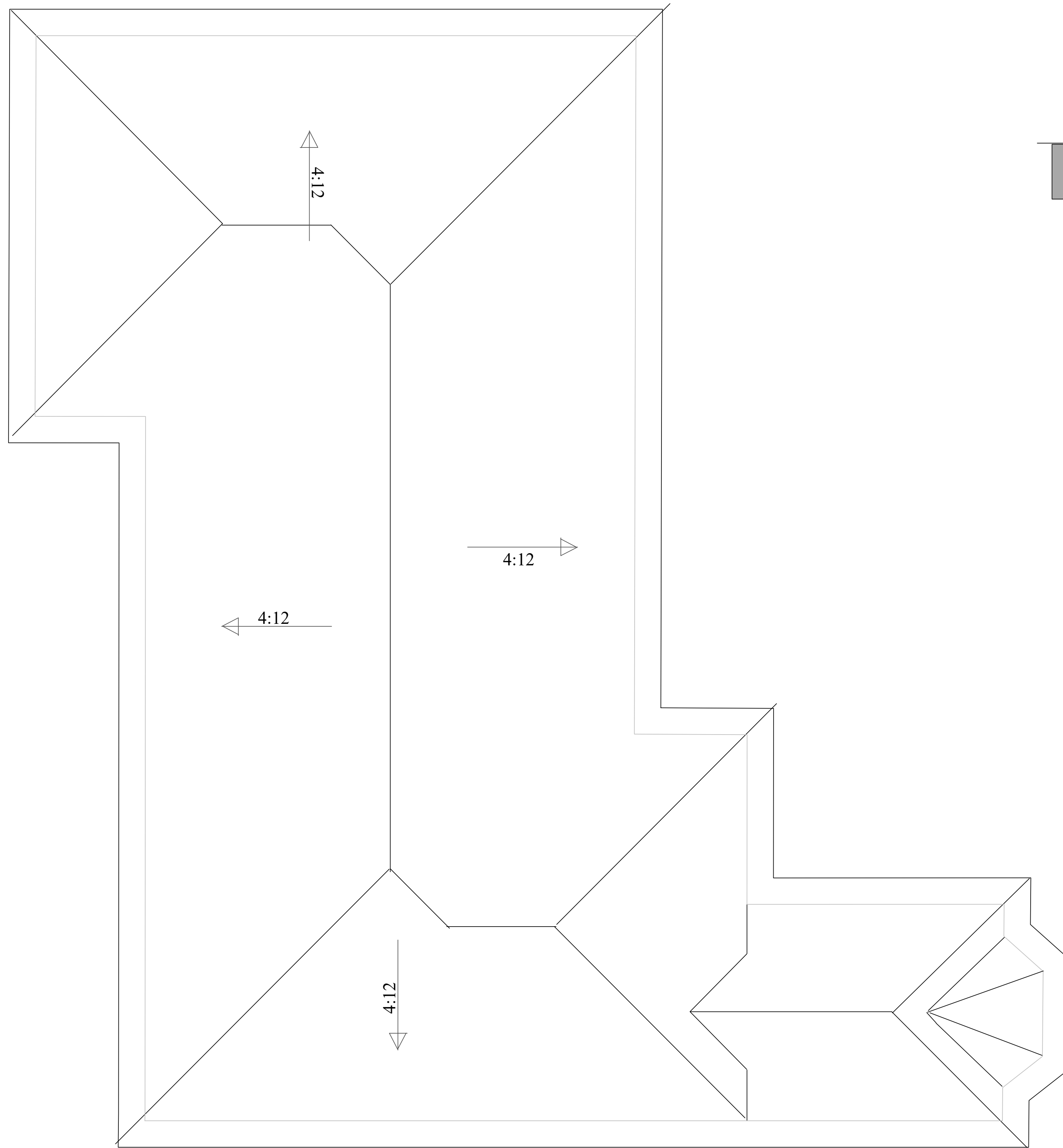
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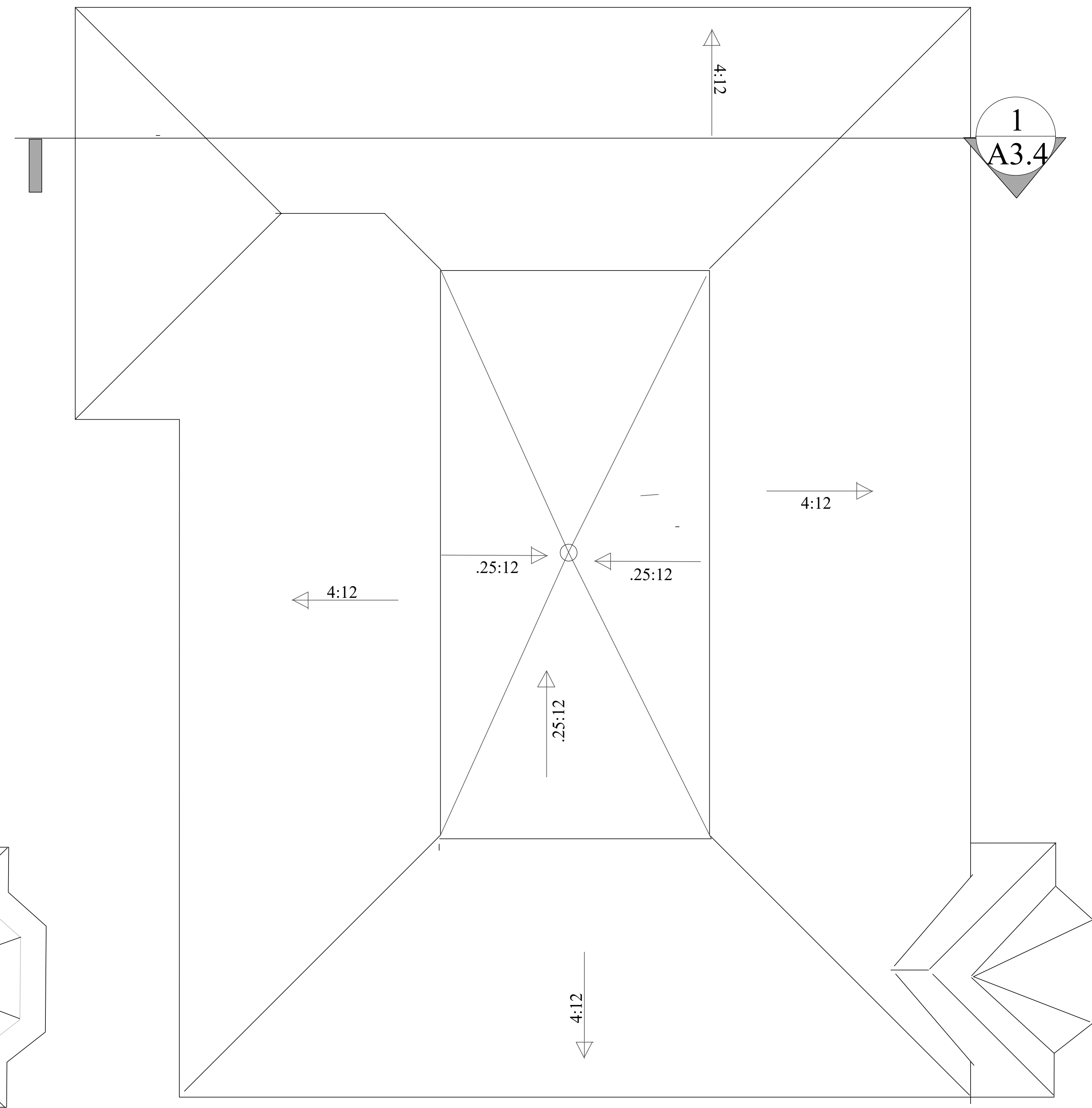
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PLANNING SUBMITTAL	1.9.25
EXISTING AND PROPOSED ROOF PLANS	A2.5



EXISTING ROOF PLAN



PROPOSED ROOF PLAN

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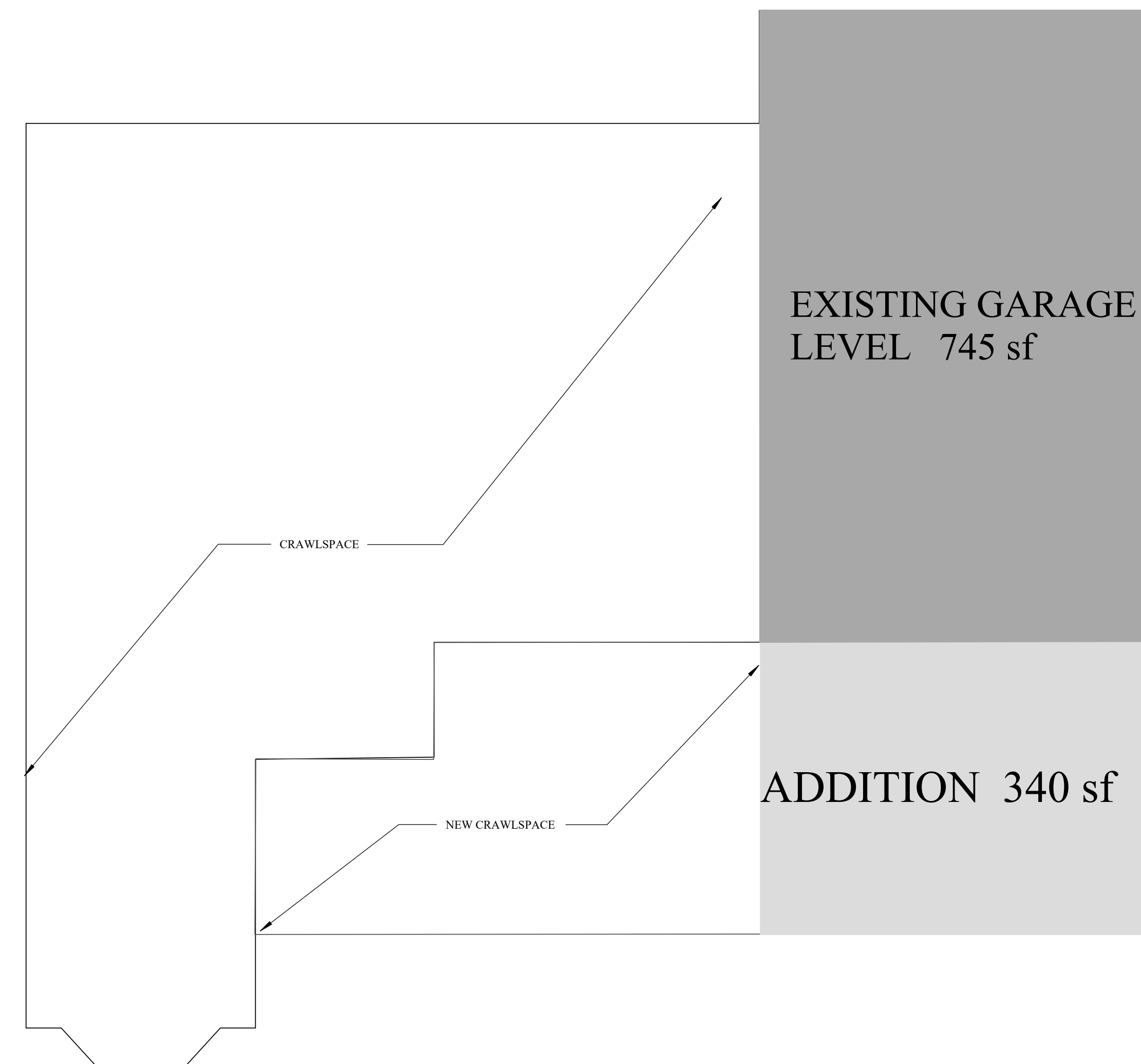
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PLANNING SUBMITTAL	1.9.25

FLOOR AREA DIAGRAM A2.6  
SCALE : 3/16" = 1'



Proposed Main Level Floor Areas



Proposed Lower Level Floor Areas

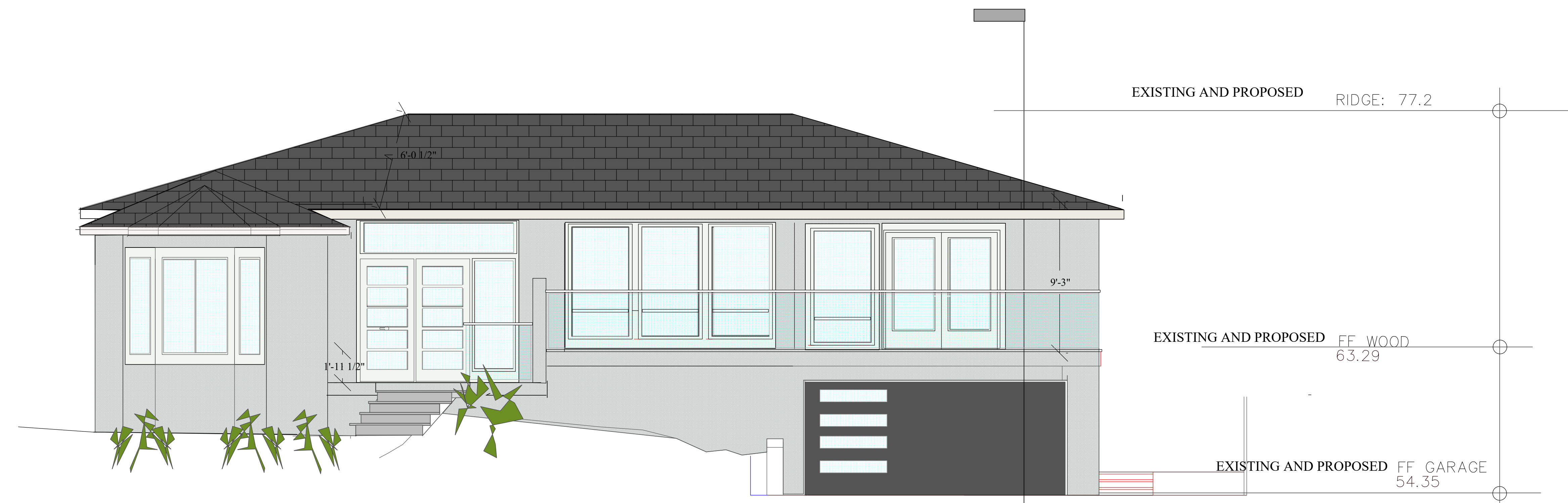
Project Address:  
 987 The Alameda  
 El Granada CA  
 APN 047285380

Owner:  
 Mina Farr  
 987 The Alameda  
 El Granada CA 94018  
 415.706.5885

Designer: Tim Pond  
 Tim Pond Design & Construction  
 Ponne: 650-576-7177  
 email: timpond@gmail.com

Structural Engineering:  
 SF Bay Engineering  
 Marcus Yan, P.E.  
 650.302.0862  
 Website: www.sfbayengineering.com  
 Phone: (415) 801-6515  
 Email: info@sfbayengineering.com

Revisions	Date:
PLANNING SUBMITTAL Proposed Elevations	1.25.25 A3.1



**PROPOSED WEST ELEVATION**

1  
A3.4



2  
A3.4

**PROPOSED SOUTH ELEVATION**

Benjamin Moore  
**Mount Saint Anne**  
 1565

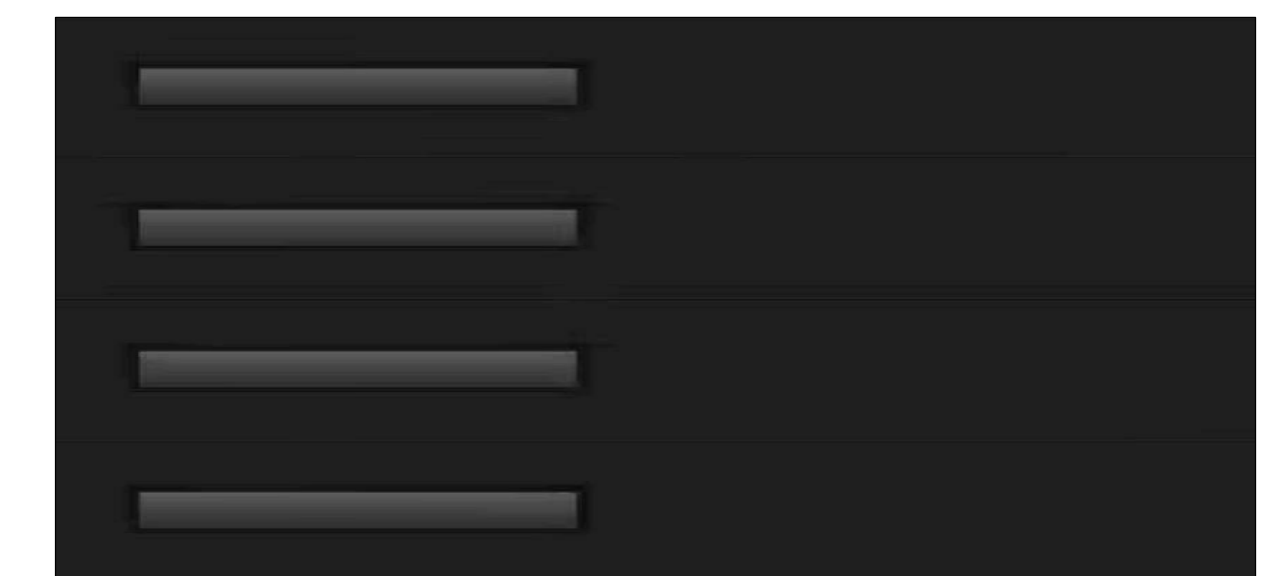
STUCCO

Benjamin Moore  
**Snow White**  
 2122-70

FACIA AND TRIM

ROOF: BLACK TESLA PV TILE  
 GUTTER: TRIM COLOR  
 DOORS AND WINDOWS: V300 Trinsic Series / Milgard

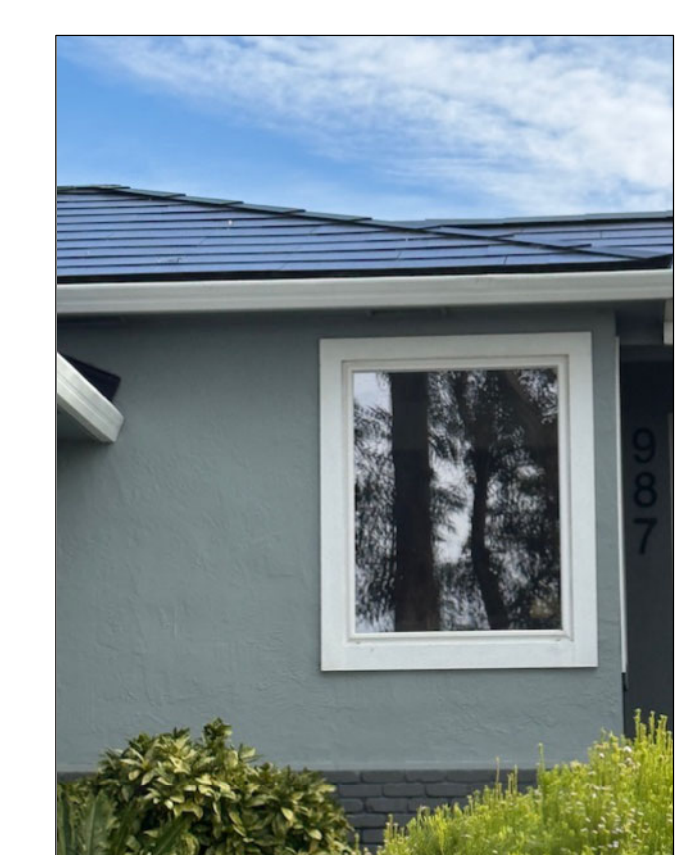
Clopay  
 Modern Steel  
 18.4 R-Value Insulated  
 Matte Lustra Black Garage  
 Door with Slim Windows



GARAGE DOOR



PATIO DOOR



WINDOW WITH STUCCO COLOR AND TRIM TYPICAL AT DOORS AND WINDOWS



TESLA ROOF TILES



DECK RAILING

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Revisions	Date:
PLANNING SUBMITTAL	9.1.25
Existing Elevations	A3.2



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION

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APN 047285380

Owner:  
Mina Farr  
987 The Alameda  
El Granada CA 94018  
415.706.5885

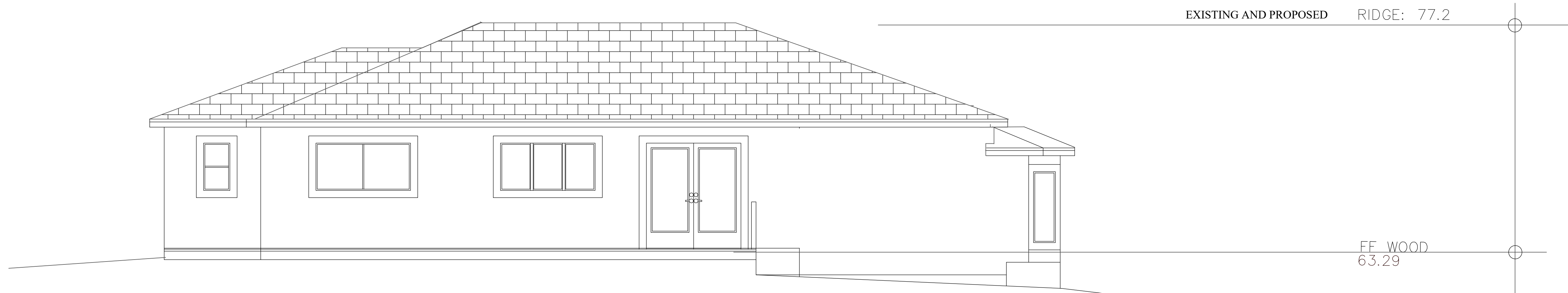
Designer: Tim Pond  
Tim Pond Design & Construction  
Ponne: 650-576-7177  
email: timcpond@gmail.com

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Revisions	Date:
PLANNING SUBMITTAL	1.9.25
Proposed And Existing North and East Elevations	<b>A3.3</b>



**EXISTING NORTH ELEVATION**



**PROPOSED NORTH ELEVATION**



**PROPOSED AND EXISTING EAST ELEVATION**

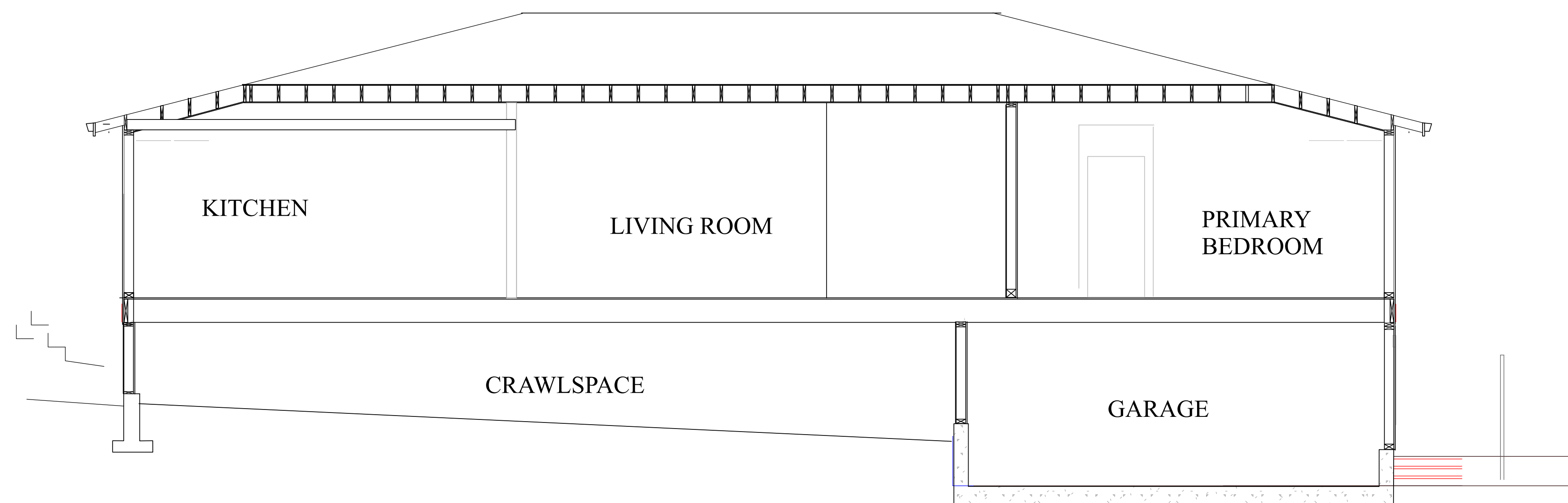
Project Address:  
 987 The Alameda  
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 APN 047285380

Owner:  
 Mina Farr  
 987 The Alameda  
 El Granada CA 94018  
 415.706.5885

Designer: Tim Pond  
 Tim Pond Design & Construction  
 Ponne: 650-576-7177  
 email: timepond@gmail.com

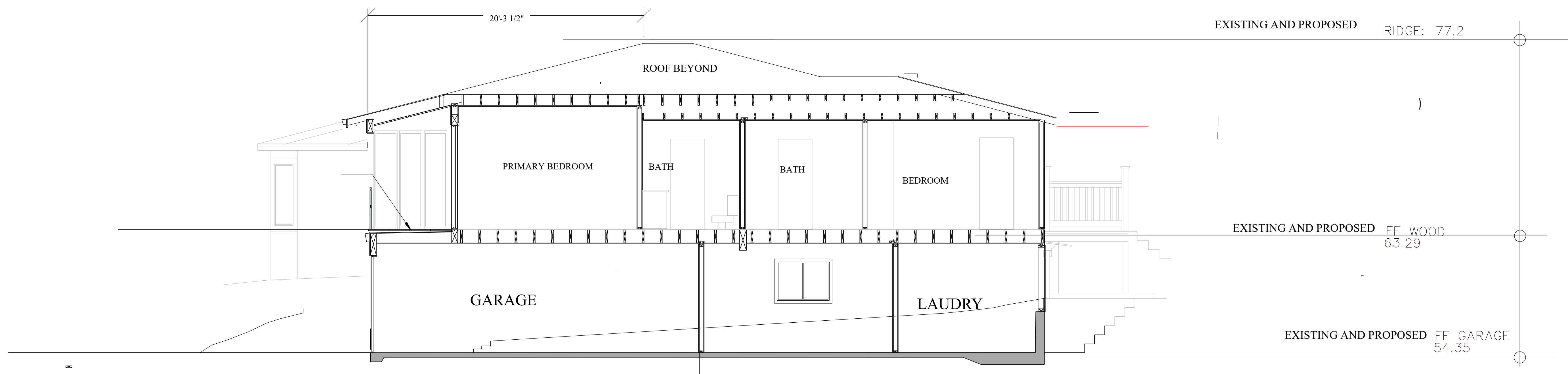
Structural Engineering:  
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Revisions	Date:
PLANNING SUBMITTAL Sections	9.1.25 A3.4



PROPOSED WEST ELEVATION

2  
A3.4



1  
A3.4

2025 CALGREEN RESIDENTIAL OCCUPANCIES APPLICATION CHECKLIST  
SECTION A4.602  
Effective January 1, 2026

FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
<b>PLANNING AND DESIGN</b>						
<b>Site Selection</b>						
<b>A4.103.1</b> A site which complies with at least one of the following characteristics is selected: 1. An infill site is selected. 2. A grey field site is selected. 3. An EPA-recognized Brownfield site is selected		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.103.2</b> Facilitate community connectivity by one of the following methods: 1. Locate project within a 1/4-mile true walking distance of at least 4 basic services. 2. Locate project within 1/2-mile true walking distance of at least 7 basic services. 3. Other methods increasing access to additional resources.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Site Preservation</b>						
<b>A4.104.1</b> An individual with oversight responsibility for the project has participated in an educational program promoting environmentally friendly design or development and has provided training or instruction to appropriate entities.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Deconstruction and Reuse of Existing Materials</b>						
<b>A4.105.2</b> Existing buildings are disassembled for reuse or recycling of building materials. The proposed structure utilizes at least one of the following materials which can be easily reused: 1. Light fixtures 2. Plumbing fixtures 3. Doors and trim 4. Masonry 5. Electrical devices 6. Appliances 7. Foundations or portions of foundations		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Site Development</b>						
<b>4.106.2</b> A plan is developed and implemented to manage storm water drainage during construction.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.106.3</b> Construction plans shall indicate how site grading, or a drainage system will manage all surface water flows to keep water from entering buildings.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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<b>4.106.4.1</b> Provide capability for electric vehicle charging for one- and two-family dwellings, townhouses with attached private garages, in accordance with Section 4.106.4.1.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.106.4.2</b> Provide capability for electric vehicle charging for multifamily dwellings and hotel/motels in accordance with Section 4.106.4.2.2 and 4.106.4.2.6	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.106.4.3</b> Provide capability for electric vehicle charging for existing parking lots or new parking lots for existing residential buildings, hotels and motels in accordance with Section 4.106.4.3, as applicable.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.106.4.4</b> Provide bicycle parking facilities as noted below or meet a local ordinance, whichever is more stringent. Number of bicycle parking spaces may be reduced, as approved by the enforcing agency, due to building site characteristics, including but not limited to, isolation from other development. 1. Provide short-term bicycle parking for multifamily buildings, hotels and motels, per Section 4.106.4.4.1. 2. Provide long-term bicycle parking for multifamily buildings, per Section 4.106.4.4.2. 3. Provide long-term bicycle parking for hotel and motel buildings, per Section 4.106.4.4.3.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.1 Reserved.</b>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.2.1</b> Soil analysis is performed by a licensed design professional and the findings are utilized in the structural design of the building.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.2.2</b> Soil disturbance and erosion are minimized by at least one of the following: 1. Natural drainage patterns are evaluated, and erosion controls are implemented to minimize erosion during construction and after occupancy. 2. Site access is accomplished by minimizing the amount of cut and fill needed to install access roads and driveways. 3. Underground construction activities are coordinated to utilize the same trench, minimize the amount of time the disturbed soil is exposed, and the soil is replaced using accepted compaction methods.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>A4.106.2.3</b> Topsoil shall be protected or saved for reuse as specified in this section. <b>Tier 1.</b> Displaced topsoil shall be stockpiled for reuse in a designated area and covered or protected from erosion. <b>Tier 2.</b> The construction area shall be identified and delineated by fencing or flagging to limit construction activity to the construction area.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.3</b> Postconstruction landscape designs accomplish one or more of the following: 1. Areas disrupted during construction are restored to be consistent with native vegetation species and patterns. 2. Utilize at least 75% native California or drought tolerant plant and tree species appropriate for the climate zone region.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.4</b> Permeable paving is utilized for the parking, walking or patio surfaces in compliance with the following: <b>Tier 1.</b> Not less than 20% of the total parking, walking or patio surfaces shall be permeable. <b>Tier 2.</b> Not less than 30% of the total parking, walking or patio surfaces shall be permeable.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.5</b> Roofing materials shall have a minimum 3-year aged solar reflectance and thermal emittance or a minimum Solar Reflectance Index (SRI) equal to or greater than the values specified in the applicable tables. <b>Low-Rise Residential</b> <b>Tier 1.</b> roof covering shall meet or exceed the values contained in Table A4.106.5.1(1). <b>Tier 2.</b> roof covering shall meet or exceed the values contained in Table A4.106.5.1(2). <b>High-Rise Residential, Hotels and Motels</b> <b>Tier 1.</b> roof covering shall meet or exceed the values contained in Table A4.106.5.1(3). <b>Tier 2.</b> roof covering shall meet or exceed the values contained in Table A4.106.5.1(4).		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.6</b> Install a vegetated roof for at least 50 percent of the roof area. Vegetated roofs shall comply with requirements for roof gardens and landscaped roofs in the California Building Code, Chapters 15 and 16.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.106.7</b> Reduce nonroof heat islands for 50 percent of sidewalks, patios, driveways or other paved areas by using one or more of the methods listed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
<b>A4.106.8.1</b> Tier 1 and Tier 2 for one- and two-family dwellings and townhouses with attached private garages. Install a dedicated 208/240-volt branch circuit, including an overcurrent protective device rated at 40 amperes minimum per dwelling unit.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
<b>A4.106.8.2.1</b> Provide capability for electric vehicle charging in new multifamily dwellings, hotels and motels as specified. <b>Tier 1.</b> New multifamily dwellings, hotels and motels. 1. <b>EV ready parking spaces with receptacles.</b> a. <b>Hotels and motels.</b> Sixty (60) percent of the total number of parking spaces shall be equipped with low power Level 2 EV charging receptacles. b. <b>Raceway capacity requirements.</b> To allow for future upgrades to the electrical conductors serving low power Level 2 EV charging receptacles, the listed raceway serving such receptacles shall be sized to allow the installation of a dedicated 208/240-volt 40-ampere branch circuit. Where no raceway is used, the conductors shall be sized to accommodate a 208/240-volt 40-ampere receptacle. <b>Exception:</b> Hotels and motels may substitute Level 2 EV chargers for some or all of the required EV charging receptacles. 2. <b>EV ready parking spaces with EV chargers.</b> a. <b>Hotels and motels.</b> Forty (40) percent of the total number of parking spaces for hotels and motels shall be equipped with Level 2 EV chargers. b. <b>Multifamily parking facilities with unassigned or common use parking.</b> In addition to the low power Level 2 EV charging receptacle requirements of Section A4.106.8 (Tier 1, subsection 1), forty (40) percent of the total number of parking spaces shall be equipped with Level 2 EV chargers and shall be made available for use by all residents or guests. <b>Exception:</b> Areas of parking facilities served by parking lifts, including but not limited to automated mechanical access open parking garages as defined in the California Building Code, or parking facilities otherwise incapable of supporting electric vehicle charging.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>Innovative Concepts and Local Environmental Conditions</b>						
<b>A4.108.1</b> Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>ENERGY EFFICIENCY (LOW-RISE RESIDENTIAL)</b>						
<b>General</b>						
<b>4.201.1</b> Building meets or exceeds the requirements of the California Building Energy Efficiency Standards <sup>2</sup> .	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Performance Approach for Newly Constructed Buildings</b>						
<b>A4.203.1.1. Long-term system cost (LSC).</b> LSC ratings for building design shall be computed by Energy Compliant software and shall reduce the LSC required by the software by the compliance margins specified in Table A4.203.1.1.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.203.1.2 Prerequisite options.</b> In addition, a minimum of two of the efficiency measures specified in Sections A4.203.1.2.1 through A4.203.1.2.7 will be required to be met: • Roof Deck Insulation or Ducts in Conditioned Space. • High performance Walls. • Compact Hot Water Distribution System. • Drain Water Heat Recovery. • High Performance Vertical Fenestration. • Heat Pump Water Heater Demand Management. • Battery Storage System Controls.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.203.1.3</b> Consultation with local electric service provider. Local jurisdictions considering adoption of reduced LSC targets based on using solar photovoltaic (PV) systems larger than required by the California Energy Code shall consult with the local electric service provider to ensure that that PV system sizing required to comply with the LSC targets will be acceptable to the local electric service provider.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>WATER EFFICIENCY AND CONSERVATION</b>						
<b>Indoor Water Use</b>						

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	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency	Installer or Designer	Third-Party
		Tier 1	Tier 2			
<b>4.303.1</b> Plumbing fixtures (water closets and urinals) and fittings (showerheads, faucets and pre-rinse spray valves) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.5.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.303.2</b> Submeters for multi-family building and dwelling units in mixed-use residential/commercial buildings. Submeters shall be installed to measure water usage of individual rental dwelling units in accordance with the California Plumbing Code.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.303.3</b> Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code and shall meet the applicable referenced standards.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.303.1</b> The maximum flow rate of kitchen faucets shall not exceed 1.5 gallons per minute at 60 psi. Kitchen faucets may temporarily increase the flow above the maximum rate, but not to exceed 2.2 gallons per minute at 60 psi and must default to a maximum flow rate of 1.5 gallons per minute at 60 psi. <b>Note:</b> Where complying faucets are unavailable, aerators or other means may be used to achieve reduction.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.303.1.4.3</b> Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.303.2</b> Alternate water source for nonpotable applications. Alternate nonpotable water sources are used for indoor potable water reduction. Alternate nonpotable water sources shall be installed in accordance with the California Plumbing Code.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.303.3</b> Install at least one qualified ENERGY STAR dishwasher or clothes washer.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.303.4</b> Nonwater urinals or waterless toilets are installed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.303.5</b> One- and two-family dwellings shall be equipped with a demand hot water recirculation system.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Outdoor Water Use</b>						
<b>4.304.1</b> Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MVELO), whichever is more stringent.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.304.1</b> A rainwater capture, storage and re-use system is designed and installed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.304.2</b> A landscape design is installed, which does not utilize potable water.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>A4.304.3</b> For new water service connections, landscaped irrigated areas less than 5,000 square feet shall be provided with separate submeters or metering devices for outdoor potable water use.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Water Reuse Systems</b>						
<b>A4.305.1</b> Piping is installed to permit future use of a graywater irrigation system served by the clothes washer or other fixtures.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.305.2</b> Recycled water piping is installed.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.305.3</b> Recycled water is used for landscape irrigation.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>Material Sources</b>						
<b>A4.405.1</b> One or more of the following building materials, that do not require additional resources for finishing are used: 1. Exterior trim not requiring paint or stain. 2. Windows not requiring paint or stain. 3. Siding or exterior wall coverings which do not require paint or stain.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.405.2</b> Floors that do not require additional coverings are used including but not limited to stained, natural or stamped concrete floors.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.405.3</b> Postconsumer or preconsumer recycled content value (RCV) materials are used on the project. <b>Tier 1.</b> Not less than a 10% RCV. <b>Tier 2.</b> Not less than a 15% RCV.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.405.4</b> Renewable source building products are used.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Enhanced Durability and Reduced Maintenance</b>						
<b>4.406.1</b> Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or a similar method acceptable to the enforcing agency.	<input checked="" type="checkbox"/>			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Water Resistance and Moisture Management</b>						
<b>A4.407.1</b> Install foundation and landscape drains.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.407.2</b> Install gutter and downspout systems to route water at least 5 feet away from the foundation or connect to landscape drains which discharge to a dry well, sump, bioswale, rainwater capture system or other approved on-site location.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.407.3</b> Provide flashing details on the building plans and comply with accepted industry standards or manufacturer's instructions.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.407.4</b> Protect building materials delivered to the construction site from rain and other sources of moisture.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.407.5</b> In Climate Zone 16, an ice/water barrier is installed at roof valleys, eaves and wall to roof intersections.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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FEATURE OR MEASURE	LEVELS APPLICANT TO SELECT ELECTIVE MEASURES			VERIFICATIONS ENFORCING AGENCY TO SPECIFY VERIFICATION METHOD		
	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency <input type="checkbox"/> All	Installer or Designer <input type="checkbox"/> All	Third-Party <input type="checkbox"/> All
		Tier 1	Tier 2			
<b>A4.407.6</b> Exterior doors to the dwelling are protected to prevent water intrusion.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.407.7</b> A permanent overhang or awning at least 2 feet in depth is provided at all exterior walls.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Construction Waste Reduction, Disposal and Recycling</b>						
<b>4.408.1</b> Recycle and/or salvage for reuse a minimum of 65% of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance, or 2. A construction waste management plan, per Section 4.408.2, or 3. A waste management company, per Section 4.408.3, or 4. The waste stream reduction alternative, per Section 4.408.4.				<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.408.1</b> Construction waste generated at the site is diverted to recycle or salvage in compliance with one of the following: <b>Tier 1.</b> At least a 65% reduction with a third-party verification. <b>Tier 2.</b> At least a 75% reduction with a third-party verification. <b>Exception:</b> Equivalent waste reduction methods are developed by working with local agencies.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Building Maintenance and Operation</b>						
<b>4.410.1</b> An operation and maintenance manual shall be provided to the building occupant or owner.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.410.2</b> Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. <b>Exception:</b> Rural jurisdictions that meet and apply for the exemption in Public Resources Code Section 42649.82(a)(2)(A) et seq. will also be exempt from the organic waste portion of this section.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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		Tier 1	Tier 2			
<b>Innovative Concepts and Local Environmental Conditions</b>						
<b>A4.411.1</b> Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>ENVIRONMENTAL QUALITY</b>						
<b>Fireplaces</b>						
<b>4.503.1</b> Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with U.S. EPA New Source Performance Standards (NSPS) emission limits as applicable and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Pollutant Control</b>						
<b>4.504.1</b> Duct openings and other related air distribution component openings shall be covered during construction.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.2.1</b> Adhesives, sealants and caulks shall be compliant with VOC and other toxic compound limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.2.2</b> Paints, stains and other coatings shall be compliant with VOC limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.2.3</b> Aerosol paints and coatings shall be compliant with product-weighted MIR Limits for ROC and other toxic compounds.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.2.4</b> Documentation shall be provided to verify that compliant VOC limit finish materials have been used.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.3</b> Carpet and carpet systems shall be compliant with VOC limits.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.4</b> 80% of floor area receiving resilient flooring shall comply with specified VOC criteria.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.504.5</b> Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior or exterior finish systems shall comply with low formaldehyde emission standards.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency <input type="checkbox"/> All	Installer or Designer <input type="checkbox"/> All	Third-Party <input type="checkbox"/> All
		Tier 1	Tier 2			
<b>A4.504.1</b> Use composite wood products made with either California Air Resources Board approved no-added formaldehyde (NAF) resins or ultra-low emitting formaldehyde (ULEF) resins.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.504.2</b> Install VOC compliant resilient flooring systems. <b>Tier 1.</b> At least 90% of the resilient flooring installed shall comply. <b>Tier 2.</b> 100% of the resilient flooring installed shall comply.		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.504.3</b> Thermal insulation installed in the building shall meet the following requirements: <b>Tier 1.</b> Install thermal insulation in compliance with VOC limits. <b>Tier 2.</b> Install insulation which contains no-added formaldehyde (NAF) and is in compliance with Tier 1		<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Interior Moisture Control</b>						
<b>4.505.2</b> Vapor retarder and capillary break is installed at slab-on-grade foundations.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>4.505.3</b> Moisture content of building materials used in wall and floor framing is checked before enclosure.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Indoor Air Quality and Exhaust</b>						
<b>4.506.1</b> Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside the building. 2. Fans must be controlled by a humidity control (separate or built-in), OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ± 50% to a maximum of 80%.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.506.1 Reserved.</b>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.506.2 [HR]</b> Provide filters on return air openings rated MERV 8 or higher during construction when it is necessary to use HVAC equipment.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>A4.506.3</b> Direct-vent appliances shall be used when equipment is located in conditioned space, or the equipment must be installed in an isolated mechanical room.		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

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	Mandatory	Prerequisites and Electives <sup>1</sup>		Enforcing Agency <input type="checkbox"/> All	Installer or Designer <input type="checkbox"/> All	Third-Party <input type="checkbox"/> All
		Tier 1	Tier 2			
<b>Environmental Comfort</b>						
<b>4.507.2</b> Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J - 2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D - 2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 or equivalent.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Outdoor Air Quality Reserved</b>						
<b>Innovative Concepts and Local Environmental Conditions</b>						
<b>A4.509.1</b> Items in this section are necessary to address innovative concepts or local environmental conditions.						
Item 1		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 2		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Item 3		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>INSTALLER AND SPECIAL INSPECTOR QUALIFICATIONS</b>						
<b>Qualifications</b>						
<b>702.1</b> HVAC system installers are trained and certified in the proper installation of HVAC systems.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>702.2</b> Special inspectors employed by the owner or owner's agent must be qualified and able to demonstrate competence in the discipline they are inspecting.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
<b>Verifications</b>						
<b>703.1</b> Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.		<input checked="" type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

<sup>1</sup>Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7  
<sup>2</sup> Required prerequisite for this Tier.