

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** March 11, 2026

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Design Review (DR) Permit and Non-Conforming Use Permit (NCUP) pursuant to Sections 6565.3 and 6137.1, respectively, of the San Mateo County Zoning Regulations, to allow for a 33 sq. ft. first-floor expansion, 332 sq. ft. garage addition, and new 574 sq. ft. second story addition above the existing garage of an existing one-story, 861 sq. ft. single-family residence with an attached one-car garage on a developed 4,434 sq. ft. parcel at 662 San Carlos Avenue in the unincorporated community of El Granada. A NCUP is required to expand the non-conforming residence with a combined side yard setback of approximately 10 feet-3½ inches where 15 feet is required. The project involves only minor grading and no tree removal. The project qualifies for a Coastal Development Permit Exemption and is not appealable to the California Coastal Commission.

County File Number: PLN2025-00296 (Fielding/Ruiz)

**PROPOSAL**

The applicant proposes an addition of a total of 939 sq. ft. to an existing one-story, 861 sq. ft. single-family residence with an attached legal, non-conforming 181 sq. ft. one-car garage. The project proposes a 33 sq. ft. first-floor expansion, 332 sq. ft. garage addition, and new 574 sq. ft. second story addition above the existing garage. The required combined side yard setback is 15 feet, and the existing combined side yard setback is 11 feet -3½ inches. The NCUP is required to expand the legal, non-conforming residence with a combined side yard setback of approximately 10 feet-3½ inches where 15 feet is required. The project would result in a conforming two-car garage. The 4,434 sq. ft. project site is legal, non-conforming where 5,000 sq. ft. is required. The property is located northeast of Highway 1 within an existing residential neighborhood of El Granada on the east side of San Carlos Avenue between Paloma Avenue and Carmel Avenue. The property is accessed from San Carlos Avenue.

## **RECOMMENDATION**

That the Planning Commission approve the DR Permit and NCUP, County File Number PLN2025-00296, by adopting the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Luis Topete, Planner III

Applicant: Dinesh Perera, EKVA

Owner: Nathan Fielding and Vanessa Ruiz

Public Notification: Ten (10) day advanced notification for the hearing was mailed to all property owners within 300 feet of the perimeter of the project parcels and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 662 San Carlos Avenue, El Granada, CA 94018

APN: 047-113-110

Parcel Size: 4,434 sq. ft.

Existing Zoning: R-1/S-17/DR/CD (One Family Residential District/Residential Density District 17/Design Review District/Coastal Development District)

General Plan Designation: Medium Density Residential

Local Coastal Plan Designation: Medium Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Single-Family Residential

Water Supply: Coastside County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: The parcel is located within Zone X, areas of minimal flood hazard; FEMA Community Panel 06081C0138F, effective August 2, 2017.

Environmental Evaluation: This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15301(e) (Class 1, Existing Facilities).

Setting: The 4,434 sq. ft. project site is located northeast of Highway 1 within an existing residential neighborhood in the unincorporated community of El Granada on the east side of San Carlos Avenue between Paloma Avenue and Carmel Avenue. The property is accessed from San Carlos Avenue. The property is relatively flat, not within a scenic corridor, and within the urban coastal area.

Chronology:

<u>Date</u>	<u>Action</u>
1936	- House constructed.
September 2, 2025	- Application submitted.
December 4, 2025	- Agency reviews completed.
December 9, 2025	- Application deemed complete.
January 8, 2026	- Coastside Design Review Committee (CDRC) meeting. Project conditionally recommended for approval (see Attachment E). Public comment primarily centered on neighbor concerns related to the project's bulk and height.
March 11, 2026	- Planning Commission hearing.

**DISCUSSION**

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project complies with all applicable General Plan Policies, including the following:

a. Visual Quality

Policy 4.15 (*Appearance of New Development*) seeks to regulate development to promote and enhance good design, site relationships and other aesthetic considerations and Policy 4.36 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensures that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The design review standards implement these policies within Design Review Zoning Districts of the County,

including the Midcoast area. The CDRC reviewed the project and found that the project complies with the applicable design review standards.

b. Urban Land Use

Policy 8.39 (*Height, Bulk and Setbacks*) regulates the height, bulk and setback requirements in zoning districts to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety. The project meets the zoning district height standards and is compatible in design, scale and size with other residences located in the neighborhood. The house has an existing non-conforming combined side yard setback of 11 feet-3½ inches where 15 feet is required, and an existing non-conforming side setback on the right side of 4 feet-2¼ inches where five feet is required. No change to the right-side setback is proposed. The left-side setback would be reduced from 7 feet-1¼ inches to 6 feet-1¼ inches, thus reducing the combined side yard setback to 10 feet-3½ inches where 15 feet is required. The appearance of mass and bulk of the project is reduced by articulation of the exterior façades. The design and materials of the project are complementary to other homes in the neighborhood, as supported by the CDRC's review and recommendation.

Policy 8.40 (*Parking Requirements*) requires that minimum on-site parking requirements be regulated to (1) accommodate the parking needs of the development, (2) provide convenient and safe access, (3) prevent congestion of public streets, (4) establish orderly development patterns, and (5) discourage an over-reliance on auto travel to the exclusion of other travel modes. The parcel is regulated by Chapter 3 of the San Mateo County Zoning Regulations. This section requires two covered spaces for each dwelling unit having two or more bedrooms. Section 6118 of the Zoning Regulations requires each off-street parking space to be a minimum of 171 sq. ft. in size. The existing two-bedroom dwelling is served by a one-car, 181 sq. ft. garage, where a minimum of two covered parking spaces is required. The proposed garage expansion would increase the garage floor area to 513 sq. ft., sufficient to accommodate three vehicles, thereby exceeding the minimum parking requirement of two spaces.

2. Conformance with the Zoning Regulations

a. Conformance with S-17 District Development Standards

The property is located in the One Family Residential District/Residential Density District 17/Design Review District/Coastal Development District (R-1/S-17/DR/CD). A one-family dwelling is a permitted use in the R-1 zoning district.

In the S-17 combining district, the minimum building site area is 5,000 sq. ft. The project parcel is non-conforming in size with an area of 4,434 sq. ft. The parcel is developed with a house that has an existing non-conforming combined side yard setback of 11 feet-3½ inches where 15 feet is required, and an existing non-conforming side setback on the right side of 4 feet-2¼ inches where five feet is required. No change to the right-side setback is proposed. The left-side setback will be reduced from 7 feet-1¼ inches to 6 feet-1¼ inches, thus reducing the combined side yard setback to 10 feet-3½ inches where 15 feet is required. The applicant is requesting an NCUP to allow for the 10-foot-3½-inch non-conforming combined side yard setback proposed.

	<b>S-17 Development Standards</b>	<b>Proposed</b>	<b>Complies? Yes/No</b>
Minimum Building Site Width	50 feet	50 feet	Yes
Minimum Building Site Area	5,000 sq. ft.	4,434 sq. ft. (developed)	No, legal non-conforming parcel
Minimum Front Setback	20 feet	20 feet	Yes
Minimum Rear Setback	20 feet	23 ft.-4¼ in.	Yes
Minimum Right-Side Setback	5 feet	4 ft.-2¼ in. (existing)	No, legal non-conforming structure
Minimum Left-Side Setback	5 feet	6 ft.-1¼ in.	Yes
Minimum Combined Side Setback	15 feet	10 ft.-3½ in.	No, needs NCUP
Maximum Parcel Coverage	1,552 sq. ft. (35%)	1,412 sq. ft. (32%)	Yes
Maximum Building Floor Area	2,128 sq. ft. (48%)	1,981 sq. ft. (45%)	Yes

Maximum Building Height	28 feet	21 ft.-1 in.	Yes
Minimum Parking Spaces	2 covered spaces	3 covered spaces	Yes

b. Conformance with Design Review Standards

At its meeting on January 8, 2026, the CDRC received comments and reviewed the project. Comments, summarized below, are also included in Attachment E.

The CDRC found that the project proposes dark-sky friendly lighting through the use of downward-facing, shielded fixtures that reduce glare and off-site light spill, and that the use of mixed materials and a muted, warm color palette blends well with the surrounding environment. Public comment primarily centered on neighbor concerns related to the project's bulk and height. The CDRC recommended conditioning the project to require: 1) lowering the height of the addition by 1-foot by lowering the ceiling in the garage; 2) adjusting the roof above the stairwell to be a flat roof and tie into the high wall of the addition rather than the roof of the addition; and 3) removing the exterior walls at the balcony to allow light to travel through the two-story addition massing.

The CDRC adopted findings to recommend project approval, pursuant to the DR Standards for One-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:

- (1) *Section 6565.20(F)4 LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; Lighting: The plan should prevent direct light and glare from extending in any direction, including upward, beyond the boundaries of the site. In general, low-level lighting directed toward the ground is preferred.*

The project proposes dark-sky friendly lighting through the use of downward-facing, shielded fixtures that reduce glare and off-site light spill.

- (2) *Section 6565.20(D)4a ELEMENTS OF DESIGN; Exterior Materials and Colors: Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance.*

The use of mixed materials and a muted, warm color palette blends well with the surrounding environment.

The CDRC proposed the following conditions of approval, which have been incorporated as Conditions 11-13:

- (1) Lower the height of the addition by 1-foot by lowering the ceiling in the garage.
- (2) Adjust the roof above the stairwell to be a flat roof and tie into the high wall of the addition rather than the roof of the addition.
- (3) Remove the exterior walls at the balcony to allow light to travel through the two-story addition massing.

c. Conformance with Non-Conforming Use Permit Standards

Section 6133.3 allows development of an improved non-conforming parcel may occur without requiring the issuance of a Use Permit provided that the proposed development conforms with the zoning and building code regulations currently in effect. Proposed development on an improved non-conforming parcel that does not conform with the zoning regulations currently in effect, shall require the issuance of a Use Permit.

In the S-17 combining district, the minimum building site area is 5,000 sq. ft. The project parcel is non-conforming in size with an area of 4,434 sq. ft. The parcel is developed with a house that has an existing non-conforming combined side yard setback of 11 feet-3½ inches where 15 feet is required, and an existing non-conforming side setback on the right side of 4 feet-2¼ inches where five feet is required. No change to the right-side setback is proposed. The left-side setback will be reduced from 7 feet-1¼ inches to 6 feet-1¼ inches, thus reducing the combined side yard setback to 10 feet-3½ inches where 15 feet is required.

Section 6137 (Exceptions) allows for the Planning Commission, at a public hearing, to grant a Use Permit to except any provision in this Chapter which restricts the continuation, enlargement, re-establishment or replacement of a non-conforming use, structure or situation. In accordance with Section 6137, a Non-Conforming Use Permit is being requested in order to allow a combined side yard setback to 10 feet-3½ inches where 15 feet is required.

As required by Section 6503, a Use Permit for development of a non-conforming parcel may only be issued upon making the following findings:

- a. *The proposed development is proportioned to the size of the parcel on which it is being built.*

The proposed development for a 33 sq. ft. first-floor expansion, 332 sq. ft. garage addition, and 574 sq. ft. second-story addition above the existing garage, is limited to a total addition of 939 sq. ft. on a 4,434 sq. ft. parcel that already contains an existing one-story 861 sq. ft. single-family residence with attached 181 sq. ft. one-car garage. The addition has been designed to respect the parcel size, with only minor grading and no tree removal, thus demonstrating that the project is scaled appropriately relative to the size of the parcel.

- b. *All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.*

Upon review, it was determined that no additional contiguous land is available for acquisition which would allow full conformity with the current zoning regulations. The parcel is located in an established residential neighborhood where the parcel pattern is fixed and there are no adjoining vacant parcels or options for consolidation that would enable the 15-foot combined side-yard setback to be achieved. Thus, the opportunity to acquire contiguous land to achieve full conformity has been investigated and proven infeasible in this particular case.

- c. *The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.*

Although the existing combined side yard setback is non-conforming at approximately 11 feet-3½ inches (where 15 feet is required) and is further proposed to be reduced to approximately 10 feet-3½ inches, the project has been carefully designed to minimize further setback encroachment and to provide articulation in the massing and façade to reduce bulk and visual prominence. No change is proposed to the right-side setback (which remains 4 feet-2¼ inches where 5 feet is required). The design modifications and articulation reduce the apparent mass, and the project meets current height and bulk requirements. In this way the proposal is as nearly in conformance with the zoning regulations currently in

effect as is reasonably possible, given the non-conforming lot and existing structure condition.

- d. *The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.*

The project site is located within an established residential neighborhood in the unincorporated community of El Granada and is already developed with an existing single-family residence. The site is not located within an area identified as sensitive habitat in the Local Coastal Program, and no tree removal is proposed. The project involves only minor grading, and the proposed additions are consistent with the surrounding pattern of development. The addition complies with applicable height and bulk requirements, provides adequate parking, and has been reviewed by the CDRC, which determined that the project meets the applicable design standards and is compatible with the neighborhood. Therefore, the proposed development will not result in a significant adverse impact to coastal resources, will not be detrimental to the public welfare, and will not be injurious to property or improvements in the surrounding area.

- e. *Use permit approval does not constitute a granting of special privileges.*

The approval of this NCUP does not constitute the granting of special privileges inconsistent with the limitations upon other properties in the zoning district. The parcel was developed under prior conditions and is non-conforming due to its lot size and side yard setbacks. The requested permit only allows a tailored expansion under the NCUP mechanism specifically provided in the Zoning Regulations. The use remains a single-family residence in the same use district, and the design review process ensures appropriate context and compatibility; therefore, the permit does not provide a benefit or privilege beyond what the regulatory framework allows.

In conformance with Section 6503 of the Zoning Regulations regarding the Midcoast, this project does not propose to exceed maximum floor area, height, or parcel coverage.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review, pursuant to the CEQA Guidelines Section 15301(e) (Class 1, Existing Facilities), which includes additions to existing structures provided that the addition will not result in an increase of more than: (1) 50 % of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less; or (2) 10,000 sq. ft., if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive. The project will not result in an increase of more than 10,000 sq. ft., all public services and facilities are available to serve the project, and the area in which the project is located is not environmentally sensitive.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

A project referral was sent to the Midcoast Community Council (MCC) on September 5, 2025. The MCC responded on September 12, 2025, indicating that they had no comments. The MCC has also been notified of the Planning Commission's review of the project.

D. REVIEWING AGENCIES

Building Inspection Section  
Coastside County Water District  
Coastside Fire Protection District  
Drainage Section  
Granada Community Services District  
Midcoast Community Council

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Vicinity Map
- D. Plans
- E. Coastside Design Review Committee Recommendation Letter

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN2025-00296

Hearing Date: March 11, 2026

Prepared By: Luis Topete, Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That this project is exempt from environmental review, pursuant to the CEQA Guidelines Section 15301(e) (Class 1, Existing Facilities), which includes additions to existing structures provided that the addition will not result in an increase of more than: (1) 50% of the floor area of the structures before the addition, or 2,500 sq. ft., whichever is less; or (2) 10,000 sq. ft., if: (A) The project is in an area where all public services and facilities are available to allow for maximum development permissible in the General Plan and (B) the area in which the project is located is not environmentally sensitive. The project will not result in an increase of more than 10,000 sq. ft., all public services and facilities are available to serve the project, and the area in which the project is located is not environmentally sensitive.

Regarding the Design Review, Find:

2. That the project has been reviewed by the CDRC, and as conditioned, has been found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations, specifically elaborated as follows:
  - a. Section 6565.20(F)4 LANDSCAPING, PAVED AREAS, FENCES, LIGHTING AND NOISE; Lighting.

The project proposes dark-sky friendly lighting through the use of downward-facing, shielded fixtures that reduce glare and off-site light spill.

- b. Section 6565.20(D)4a ELEMENTS OF DESIGN; Exterior Materials and Colors.

The use of mixed materials and a muted, warm color palette blends well with the surrounding environment.

Regarding the Non-Conforming Use Permit, Find:

3. That pursuant to Section 6503 of the San Mateo County Zoning Regulations, the project meets the following required findings for issuance of a Use Permit for development of a non-conforming parcel: a) The proposed development is proportioned to the size of the parcel on which it is being built; b) All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible; c) The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible; d) The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood; and e) Use permit approval does not constitute a granting of special privileges. See Section A.3.c of the staff report for the supporting analysis.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. The project shall be constructed in compliance with the plans reviewed and approved by the Planning Commission on March 11, 2026. Any changes or revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor adjustments to the project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the CDRC, with applicable fees to be paid.
2. The final approval of the subject permits shall be valid for five (5) years from the date of final approval, in which time a valid building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within 180 days of its issuance. This approval may be extended by one-year increments with submittal of an application for permit extension and payment of applicable extension fees sixty (60) days prior to the expiration date.

3. The applicant shall provide “finished floor elevation verification” to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
  - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
  - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
  - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
  - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
  - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.
  - f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Director of Planning and Building.
  - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.

4. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
5. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into water bodies by adhering to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," below.
  - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - b. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - c. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
  - d. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
  - e. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - f. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - g. Performing clearing and earth-moving activities only during dry weather.
  - h. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.

- i. Limiting construction access routes and stabilizing designated access points.
  - j. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - k. The contractor shall train and provide instruction to all employees and subcontractors regarding the construction best management practices.
7. To reduce the impact of construction activities on neighboring properties, comply with the following:
  - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
  - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
  - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.
8. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
9. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
10. The exterior colors and materials as approved by the Planning Commission shall be implemented. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

### Coastside Design Review Committee (CDRC)

11. The applicant shall demonstrate project compliance with the following requirements at the time of building permit application:
  - a. Lower the height of the addition by 1 foot by lowering the ceiling in the garage.
  - b. Adjust the roof above the stairwell to be a flat roof and tie into the high wall of the addition rather than the roof of the addition.
  - c. Remove the exterior walls at the balcony to allow light to travel through the two-story addition massing.

### Building Inspection Section

12. A building permit is required for this project. No site disturbance shall occur, including any grading, until a building permit has been issued.

### Drainage Section

13. The project will be reviewed by the Drainage Section at the time of application for a building permit.

### Department of Public Works

14. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.
15. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

### Coastside County Water District (District)

16. The project is required to comply with Coastside County Water District's regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.
17. Existing domestic 5/8-inch water meter.

18. Please note that District does not allow passive purge systems to be installed on fire protection services. Fire protection services are dedicated and authorized for the sole purpose of fire protection and there shall be no cross connections.
19. Project must comply with Coastside County Water District's Cross Connection Control Program and Plan.
  - a. Fire sprinkler water services require an approved backflow prevention assembly.
  - b. A hazard assessment must be completed for the premises to determine if a backflow prevention assembly is required on the domestic water service.
20. A full set of the most recent plans and drawings for the project, (fire sprinkler, architectural, plumbing, mechanical, green building, structural, civil, utility, and landscape/irrigation) must be submitted to the District for review and approval. Existing and new utilities must be clearly marked on the drawings.
21. The District requires the completion and submittal of a water demand worksheet.

#### Coastside Fire Protection District

22. CFC 2022 Section 505.1.1 - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.

Temporary address numbers shall be posted prior to combustible materials being placed on site.

23. CFC 2022 Section 907.2.11.2 - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
  - a. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
  - b. In each room used for sleeping purposes.
  - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with

split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

- d. In Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.

Smoke Detectors shall be hardwired and interconnected.

24. CFC 2022 Section 1031.3.1 - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m<sup>2</sup>).

Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m<sup>2</sup>).

25. CFC 2022 Section 1031.3.2 - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
26. CFC 2022 Section 1031.3.3 - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.

This property is located in the LRA Very High Fire Severity Zone.

27. CBC 2022 Section 705A.1 - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.
28. CFC 2022 Section 304.1.2 - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.

29. CFC 2022 Section 4907.2 - Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:
  - a. All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA).
  - b. Land designated as a Very High Fire Hazard Severity Zone by the Director.
  - c. Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.
30. CFC 2022 Section 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
31. CFC 2022 Section B105.1 - The minimum fire-flow and flow duration requirements for one- and two-family dwellings, Group R-3 and R-4 buildings and townhouses shall be as specified in Tables B105.1(1) and B105.1(2). Required Fire Flow: 500 GPM
32. CFC 2022 Section B105.3 - For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:
  - a. The automatic sprinkler system demand, including hose stream allowance.
  - b. The required fire flow.
33. Remodel meets the definition of a “substantial alteration.” Fire sprinklers shall be required. New fire sprinkler lines shall be equipped with a backflow device according to the District’s policy.
34. CFPD DI-005 - An underground flush is required for any project that requires addition or alteration to underground fire sprinkler piping. Underground systems will not be allowed to be connected to the overhead fire sprinkler system without a flush witnessed by the Fire Code Official.
35. All fire conditions and requirements above must be incorporated into your building plans prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT B**



0.66 0 0.33 0.66 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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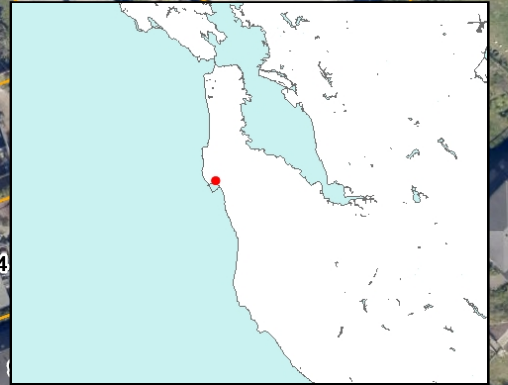
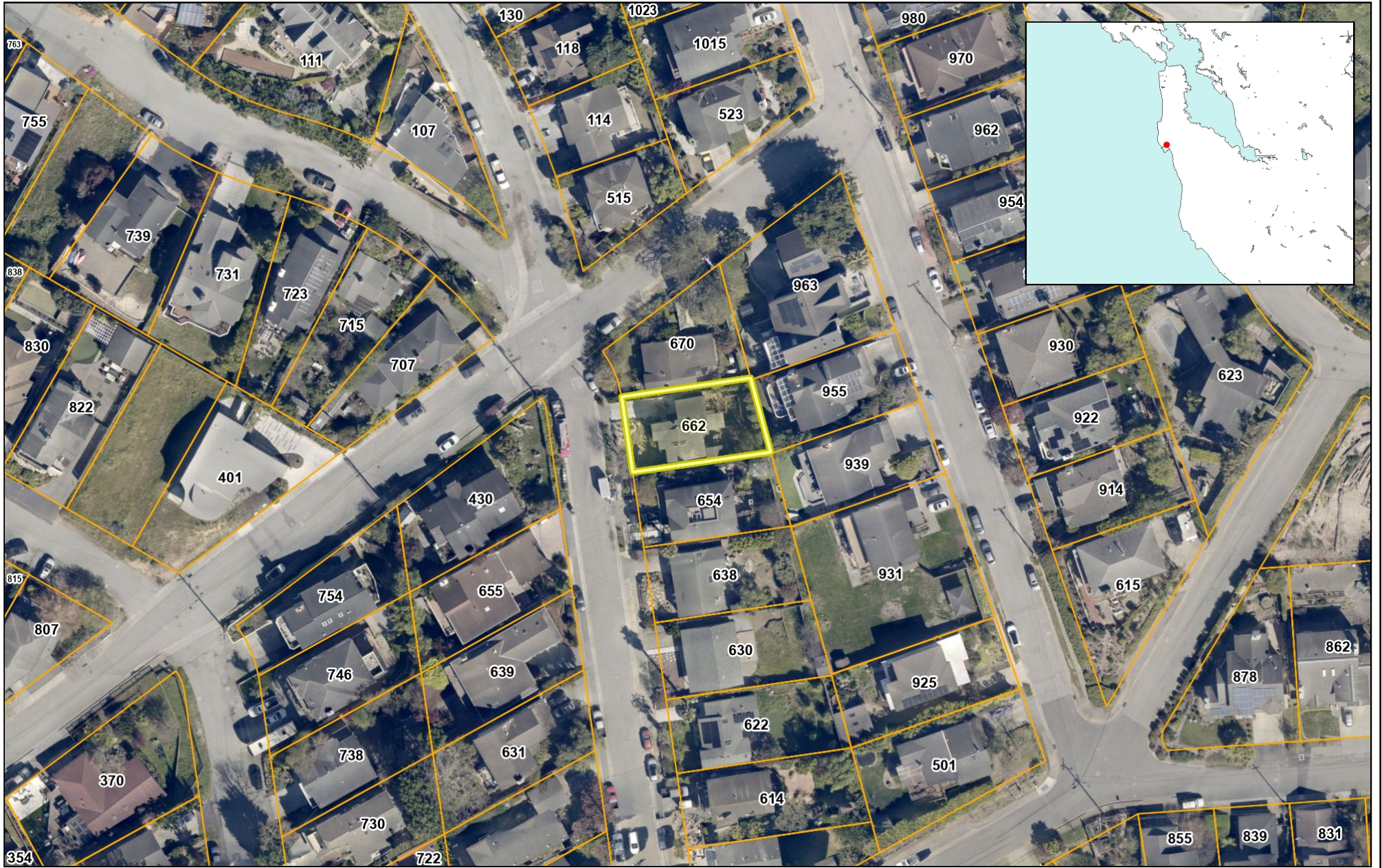
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

# ATTACHMENT C



0.04 0 0.02 0.04 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
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1:1,310 

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**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

# ATTACHMENT D

# SAN CARLOS RESIDENCE

662 SAN CARLOS AVE. EL GRANADA, CA 94018

## DESIGN REVIEW SUBMITTAL

OCTOBER 15th, 2025



330 17TH STREET | UNIT 1811  
OAKLAND | CA 94612  
(818) 314-7301 | www.ekua.arch

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK	COMMENT RESPONSE	10/02/2025
	DESIGN REVIEW	SUBMITTAL	08/22/2025

### GENERAL NOTES

- ALL CONSTRUCTION SHALL CONFORM TO THE 2022 CALIFORNIA BUILDING CODE, AS AMENDED BY THE COUNTY OF SAN MATEO AND OTHER GOVERNING CODES, RULES, REGULATIONS, ORDINANCES, LAWS, ORDERS, APPROVALS, ETC. THAT ARE REQUIRED BY PUBLIC AUTHORITIES. IN THE EVENT OF CONFLICT, THE MOST STRINGENT REQUIREMENTS SHALL APPLY.
- ANY ERRORS, OMISSIONS, OR CONFLICTS FOUND IN THE VARIOUS PARTS OF THE DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE DRAWINGS.
- DIMENSIONS ARE TO THE FACE OF FINISH, UNLESS OTHERWISE NOTED.
- DIMENSIONS ARE TO TOP OF PLATE OR TOP OF FINISH FLOOR IN SECTION OR ELEVATION UNLESS OTHERWISE NOTED OR INDICATED.
- VERIFY ALL EXISTING CONDITIONS AT JOB SITE.
- ALL MATERIALS, APPLIANCES, & EQUIPMENT SHALL BE INSTALLED PER INSTRUCTIONS.
- DETAILS SHOWN ARE TYPICAL. SIMILAR DETAILS APPLY IN SIMILAR CONDITIONS.
- VERIFY BOTH EXISTING AND FINISH GRADE WITH THE SITE PLAN, IF APPLICABLE.
- VERIFY ALL ARCHITECTURAL DETAILS WITH THE STRUCTURAL DRAWINGS BEFORE THE ORDERING OR INSTALLATION OF ANY ITEM OR WORK.
- COORDINATE ALL DETAILS WITH SHEAR WALLS, HOLD-DOWNS, STRUCTURAL STEEL, AND POSTS. ENCASE STRUCTURAL POSTS AS REQUIRED BY THE STRUCTURAL DRAWINGS.
- WINDOW SIZES & DOOR HEAD HTS ARE UNIT FRAME DIMS. REFER TO MANUFACTURER FOR ACTUAL ROUGH OPENINGS SIZES. VERIFY OPENINGS AND DOOR WINDOW DETAILS PRIOR TO ORDERING
- WHERE LOCATIONS OF WINDOWS & DOORS ARE NOT DIMENSIONED THEY SHALL BE CENTERED ON THE WALL OR AS INDICATED ON THE DRAWINGS. VERIFY DOOR AND WINDOW LOCATIONS WITH DETAILS.
- ALL CHANGES IN FLOOR MATERIALS ALIGN W/ FRAMED OPENING OR UNDER CENTER OF DOOR.
- DOORS, WINDOWS, KEYINGS, LIGHTING, LIGHT FIXTURES, EXIT DEVICES, AND NUMBERING SHALL COMPLY WITH STATE AND LOCAL BUILDING CODES.
- PROVIDE BLOCKING FOR HAND RAILS, CABINETS, EOPT, SHELVES, TOILET ACCESSORIES, FIXTURES, ETC.
- INSTALL INSULATION BETWEEN STUDS & JOISTS AT ALL OPEN CAVITIES AT WALLS, CEILINGS AND FLOORS BETWEEN CONDITIONED & UNCONDITIONED SPACE. VENTILATE AS REQUIRED.
- CONTRACTOR TO PERFORM A HAZARDOUS MATERIALS SURVEY PRIOR TO DEMOLITION.
- ALL BUILDING WATERPROOFING (INTERIOR & EXTERIOR) INCLUDING FOUNDATIONS & SLAB ON GRADE & WINDOW & DOOR INSTALLATIONS ARE ASSUMED TO BE DESIGN BUILT BY GENERAL CONTRACTOR. DETAILS ARE PROVIDED FOR DESIGN INTENT ONLY. ARCHITECT IS NEITHER LIABLE NOR RESPONSIBLE.
- VERIFY DETAILS (BY SKETCHES/SHOP DRAWINGS OR IN MEETINGS) AND FIELD DIMENSIONS FOR SKYLIGHTS, WINDOWS, EXTERIOR DOORS, CABINETS, TILE INSTALLATION, FIXTURE INSTALLATION AND STAIRS PRIOR TO ORDERING/FABRICATION/INSTALLATION.
- COORDINATE FRAMING W/ LIGHTING LAYOUT ON EMP, INTERIOR ELEVATIONS AND DETAILS.
- INSTALL ACOUSTIC BATT INSULATION AT BATHROOMS AND BEDROOMS.

### CALGREEN MANDATORY CONSTRUCTION MEASURES

- CONSTRUCTION AND DEMOLITION DEBRIS: GENERAL CONTRACTOR TO TRANSPORT 100% OF MIXED DEBRIS BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN MATEO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE.
- RECYCLING BY OCCUPANTS: PROVIDE ADEQUATE SPACE AND EQUAL ACCESS FOR STORAGE, COLLECTION AND LOADING OF COMPOSTABLE, RECYCLABLE AND LANDFILL MATERIALS.
- INDOOR WATER EFFICIENCY: INSTALL WATER-EFFICIENT FIXTURES AND FITTINGS AS SUMMARIZED IN CALGREEN 4.505.3 (SEE "INDOOR WATER EFFICIENCY" AT LEFT). REPLACE ALL NONCOMPLIANT FIXTURES IN PROJECT AREA. (CALGREEN 3.205.1.1)
- PEST PROTECTIONS: GENERAL CONTRACTOR TO ENSURE ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING WITH CEMENT MORTAR, CONCRETE MASONRY.
- MOISTURE CONTENT OF BUILDING MATERIALS: GENERAL CONTRACTOR TO VERIFY WALL AND FLOOR FRAMING SHALL NOT EXCEED 19% MOISTURE CONTENT PRIOR TO ENCLOSURE AND TEST PER CALGREEN 4.505.3. MATERIALS WITH VISIBLE SIGNS OF MOISTURE DAMAGE SHALL NOT BE INSTALLED. MOISTURE CONTENT SHALL BE VERIFIED IN COMPLIANCE WITH THE FOLLOWING: (CALGREEN 4.505.3)
  - MOISTURE CONTENT SHALL BE DETERMINED WITH EITHER A PROBE-TYPE OR A CONTACT-TYPE MOISTURE METER. EQUIVALENT MOISTURE VERIFICATION METHODS MAY BE APPROVED BY THE ENFORCING AGENCY AND SHALL SATISFY REQUIREMENTS IN SECTION 101.8.
  - MOISTURE READINGS SHALL BE TAKEN AT A POINT 2 FEET (610 MM) TO 4 FEET (1219 MM) FROM THE GRADE-STAMPED END OF EACH PIECE TO BE VERIFIED.
  - AT LEAST THREE RANDOM MOISTURE READINGS SHALL BE PERFORMED ON WALL AND FLOOR FRAMING WITH DOCUMENTATION ACCEPTABLE TO THE ENFORCING AGENCY PROVIDED AT THE TIME OF APPROVAL TO ENCLOSE THE WALL AND FLOOR FRAMING. INSULATION PRODUCTS WHICH ARE VISIBLY WET OR HAVE A HIGH MOISTURE CONTENT SHALL BE REPLACED OR ALLOWED TO DRY PRIOR TO ENCLOSURE IN WALL OR FLOOR CAVITIES. MANUFACTURERS' DRYING RECOMMENDATIONS SHALL BE FOLLOWED FOR WET-APPLIED INSULATION PRODUCTS PRIOR TO ENCLOSURE.
- CAPILLARY BREAK FOR CONCRETE SLAB ON GRADE: CONCRETE SLAB ON GRADE FOUNDATIONS REQUIRED TO HAVE A VAPOR RETARDER MUST ALSO HAVE A CAPILLARY BREAK, INCLUDING AT LEAST ONE OF THE FOLLOWING: (CALGREEN 4.505.2)
  - A 4-INCH (101.6 MM) THICK BASE OF 1/2-INCH (12.7 MM) OR LARGER CLEAN AGGREGATE SHALL BE PROVIDED WITH A VAPOR RETARDER IN DIRECT CONTACT WITH CONCRETE AND A CONCRETE MIX DESIGN WHICH WILL ADDRESS BLEEDING, SHRINKAGE AND CURLING SHALL BE USED. FOR ADDITIONAL INFORMATION, SEE AMERICAN CONCRETE INSTITUTE, ACI 302.2R-06.
  - A SLAB DESIGN SPECIFIED BY A LICENSED DESIGN PROFESSIONAL.
- FIREPLACES AND WOODSTOVES: INSTALL ONLY DIRECT-VENT OR SEALED-COMBUSTION APPLIANCES; COMPLY WITH US EPA PHASE II LIMITS. (CALGREEN 4.503.1)
- DESIGN AND INSTALL HVAC SYSTEM TO ACCA MANUAL J, D, AND S. (CALGREEN 4.507.2)
- HVAC INSTALLER QUALIFICATIONS: HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS, SUCH AS VIA A STATE CERTIFIED APPRENTICESHIP PROGRAM, PUBLIC UTILITY TRAINING PROGRAM (WITH CERTIFICATION AS INSTALLER QUALIFICATION), OR OTHER PROGRAM ACCEPTABLE TO THE DEPARTMENT OF BUILDING INSPECTION. (CALGREEN 702.1)
- COVERING DUCT OPENINGS AND PROTECTING MECHANICAL EQUIPMENT DURING CONSTRUCTION: DUCT OPENINGS AND OTHER AIR DISTRIBUTION OPENINGS SHALL BE COVERED DURING ALL PHASES OF CONSTRUCTION WITH TAPE, PLASTIC, SHEETMETAL, OR OTHER ACCEPTABLE METHODS TO REDUCE THE AMOUNT OF WATER, DUST, AND DEBRIS ENTERING THE SYSTEM. (CALGREEN 4.504.1)
- BATHROOM EXHAUST FANS: MUST BE ENERGY STAR COMPLIANT, DUCTED TO TERMINATE OUTSIDE THE BUILDING, AND CONTROLLED BY HUMIDISTAT CAPABLE OF ADJUSTMENT BETWEEN RELATIVE HUMIDITY OF LESS THAN 50% TO MAXIMUM OF 80%. HUMIDITY CONTROL MAY BE A SEPARATE COMPONENT FROM THE EXHAUST FAN.
- COMPOSITE WOOD PRODUCTS: GENERAL CONTRACTOR TO SELECT HARDWOOD PLYWOOD, PARTICLEBOARD, AND MEDIUM DENSITY FIBERBOARD COMPOSITE WOOD PRODUCTS USED ON INTERIOR OR EXTERIOR TO MEET CARB AIR TOXICS CONTROL MEASURE FOR COMPOSITE WOOD. SEE CALGREEN TABLE 4.504.5.
- INTERIOR PAINTS AND COATINGS: GENERAL CONTRACTOR TO SELECT ALL INTERIOR PAINTS AND COATINGS TO BE SELECTED TO COMPLY WITH VOC LIMITS IN THE AIR RESOURCES BOARD ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE AND CALIFORNIA CODE OF REGULATIONS TITLE 17 FOR AEROSOL PAINTS. SEE CALGREEN TABLE 4.504.3.
- LOW-VOC AEROSOL PAINTS AND COATINGS: GENERAL CONTRACTOR TO SELECT ALL AEROSOL PAINTS & COATINGS SHOULD BE SELECTED TO MEET BAAQMD VOC LIMITS (REGULATION 8, RULE 49) AND PRODUCT-WEIGHTED MIR LIMITS FOR ROC. (CALGREEN 4.504.2.3.)
- LOW VOC CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS: GENERAL CONTRACTOR TO SELECT ALL CAULKS, CONSTRUCTION ADHESIVES, AND SEALANTS TO MEET SCAQMD RULE 1168.

### CONTACTS

**OWNER**  
VANESSA & NATE FIELDING  
662 SAN CARLOS AVE  
EL GRANADA, CA 94018

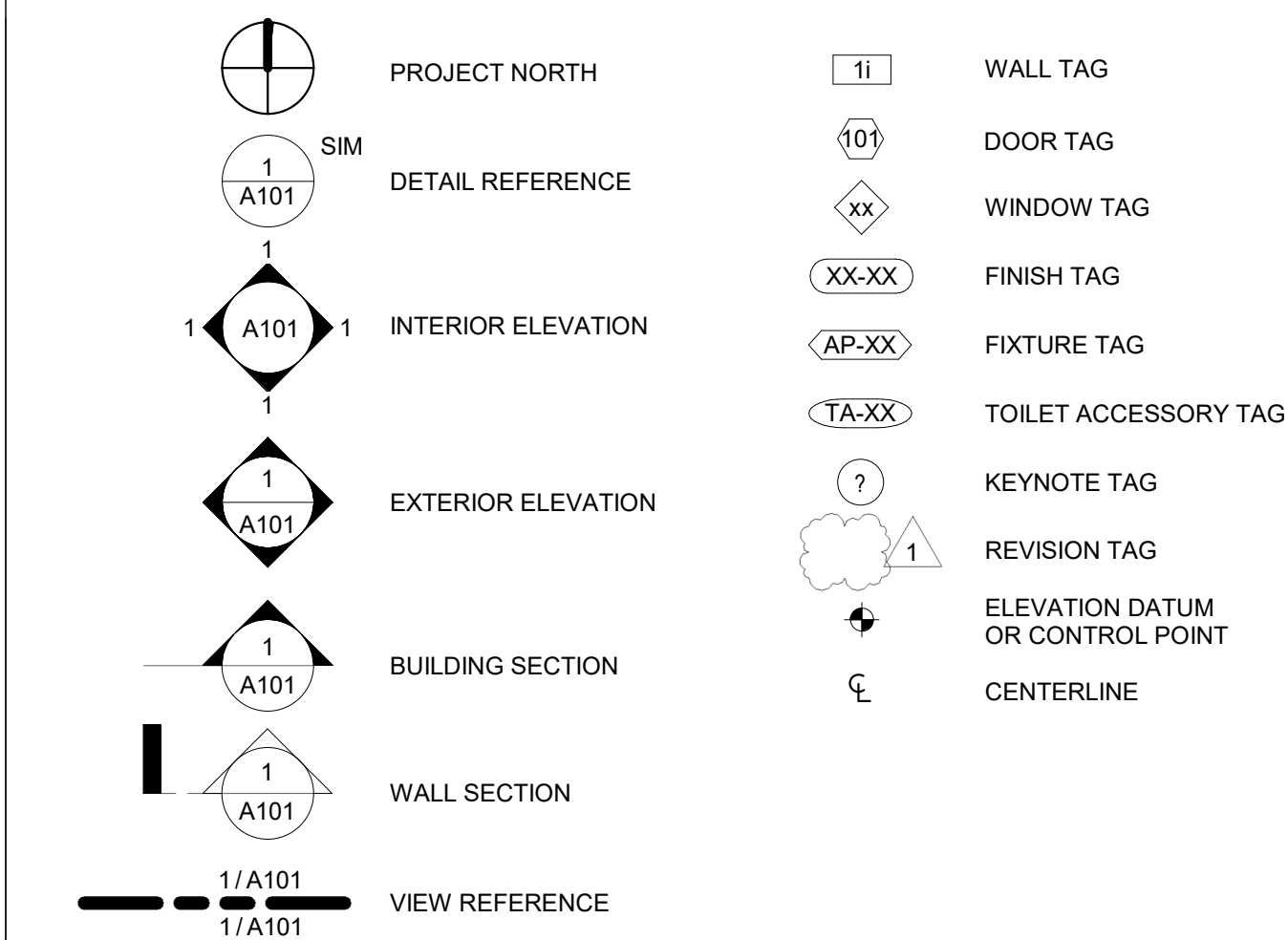
**LAND SURVEYOR**  
LEA & BRAZE ENGINEERING, INC.  
2456 INDUSTRIAL PKWY WEST  
HAYWARD, CA 94545  
(510) 887-4086

**ARCHITECT**  
EKVA  
330 17TH STREET  
UNIT 1811  
OAKLAND, CA 94612  
(818) 314-7301

### SCOPE OF WORK

THIS PROJECT IS A REMODEL / ADDITION OF AN EXISTING ONE-STORY SINGLE FAMILY RESIDENCE. THE FIRST FLOOR WILL BE REMODELED AND EXPANDED, INCLUDING A GARAGE REMODEL. THE SECOND STORY ADDITION EXPANDS ABOVE THE GARAGE AND INCLUDES TWO BEDROOMS, ONE BATH, A LAUNDRY CLOSET AND A COVERED BALCONY.

### SYMBOLS



### DRAWING INDEX

GENERAL	
A0.0	COVER SHEET
A0.1	EXISTING/ PROPOSED SITE & ROOF PLAN
A0.2	ACCESS & DRAINAGE PLAN
A0.3	TREE PLAN
A0.4	BEST MANAGEMENT PRACTICES
SU1	TOPOGRAPHIC SURVEY

ARCHITECTURAL	
A1.1	EXISTING/ DEMO FLOOR PLAN
A2.1	PROPOSED FLOOR PLAN
A2.2	PROPOSED UPPER FLOOR PLAN
A3.1	EXISTING/ PROPOSED ELEVATIONS
A3.2	EXISTING/ PROPOSED ELEVATIONS
A3.3	EXISTING/ PROPOSED ELEVATIONS
A3.4	EXISTING/ PROPOSED ELEVATIONS
A3.5	BUILDING SECTIONS

### ABBREVIATIONS

&	AND	D.	DRIVER	H.B.	HOSE BIB	P.	POLE	SS.	STAINLESS STEEL
<	ANGLE	DET.	DETAIL	H.C.	HOLLOW CORE	PART.	PARTITION	STD.	STANDARD
@	AT	DIAM.	DIAMETER	HDWD.	HARDWOOD	PL.	PLATE	STL.	STEEL
Ø	CENTERLINE	DM.	DIMENSION	HW.	HARDWARE	P.LAM.	PLASTIC LAMINATE	STOR.	STORAGE
∅	DIAMETER	D.W.	DISH WASHER	HORIZ.	HORIZONTAL	PLAS.	PLASTER	STRUCT.	STRUCTURAL
⊥	PERPENDICULAR	DR.	DOOR	HR.	HOUR	PLAS.	PLASTER	SYM.	SYMMETRICAL
#	POUND OR NUMBER	DWG.	DRAWING	HT.	HEIGHT	P.W.D.	PLYWOOD	T.B.	TOWEL BAR
		(E)	EXISTING	I.A.	INSIDE DIAMETER	P.O.E.	POINT OF ENTRY	T.D.	TOWEL DISPENSER
ACCESS.	ACCESSIBLE	E.A.	EACH	INSUL.	INSULATION	PR.	POINT	TEL.	TELEPHONE
ACOUS.	ACOUSTICAL	E.A.	EXISTING GRADE	INT.	INTERIOR	P.T.	TREATED	T.A.G.	TONGUE AND GROOVE
A.D.	AREA DRAIN	E.B.	EXISTING GRADE	JT.	JOINT	PTD.	PAINTED		
ADJ.	ADJUSTIBLE	E.C.	ELECTRICAL	KIT	KITCHEN	R.	RISER	THK.	THICK
A.F.F.	ABOVE FINISHED FLOOR	ELEV.	ELEVATION	LD.	LAMINATE	RAD.	RADIUS	THRESH.	THRESHOLD
AGGR.	AGGREGATE	EQ.	EQUAL	LAM.	LAMINATE	R.D.	ROOF DRAIN	T.O.P.	TOP OF
AL.	ALUMINUM	EQT.	EQUIPMENT	LAV.	LAVATORY	REF.	REFERENCE	T.O.W.	TOP OF WALL
APPROX.	APPROXIMATE	EXT.	EXTERIOR	LT.	LIGHT	REIN.	REINFORCED	TPO	THERMOPLASTIC
ARCH.	ARCHITECTURAL	F.D.	FLOOR DRAIN	MAX.	MAXIMUM	REQ.	REQUIRED	TVF.	TELEVISION
ASPH.	ASPHALT	F.F.	FINISH FLOOR	M.C.	MEDICINE CABINET	R.D.	ROOF DRAIN	UNF.	UNFINISHED
BATT.	BATTING	F.F.	FINISH FLOOR	M.D.	MOTION DETECTOR	R.W.L.	RAIN WATER LEADER	U.O.N.	UNLESS OTHERWISE NOTED
BD.	BOARD	FR.	FINISH	MCH.	MECHANICAL MEMBRANE	R.W.L.	RAIN WATER LEADER		
BDO.	BUILDING	FL.	FLOOR	MCH.	MECHANICAL MEMBRANE	R.W.L.	RAIN WATER LEADER		
BLK.	BLOCK	FL.	FLOOR	MCH.	MECHANICAL MEMBRANE	R.W.L.	RAIN WATER LEADER		
BLKG.	BLOCKING	FL.	FLOOR	MCH.	MECHANICAL MEMBRANE	R.W.L.	RAIN WATER LEADER		
BN.	BEAM	F.L.	FLOOR	MCH.	MECHANICAL MEMBRANE	R.W.L.	RAIN WATER LEADER		
B.O.	BOTTOM OF	FLOOR.	FLOURESCENT	MFR.	MANUFACTURER	S.E.D.	SEE ELECTRICAL DRAWINGS	VERT.	VERTICAL
CAB.	CABINET	F.O.F.	FACE OF FINISH	MIN.	MINIMUM	S.M.D.	SEE MECHANICAL DRAWINGS	VEST.	VESTIBULE
CALC.	CALCULATION	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	S.D.	SEE DRAWINGS	V.F.F.	VERIFY IN FIELD
C.B.	CATCH BASIN	F.F.	FINISH FLOOR	MISC.	MISCELLANEOUS	S.D.	SEE DRAWINGS		
CER.	CERAMIC	FRF.	FIBERPROOF	MTD.	MOUNTED	S.S.D.	SEE STRUCTURAL DRAWINGS	W.	WASHER
C.I.	CAST IRON	FT.	FOOT OR FEET	MTL.	METAL			W/D	WASHER/DRYER
C.I.G.	CONTROL JOINT	FTS.	FOOTING	MUL.	MULLION			W/H	WATER HEATER
C.L.G.	CLEAR ANOZIDED	FX.	FIXED	INT.	NEW CONTRACT	S.A.	SMOKE ALARM	W/C	WATER CLOSET
CLOS.	CLOSET	G.A.	GAUGE	N.C.	NOT IN CONTRACT	S.C.	SOLID CORE	W.D.	WATER DRAIN
CUR.	CLEAR	G.B.	GRAB BAR	NOM.	NOMINAL	SCHED.	SCHEDULE	W/O	WITHOUT
COL.	COLUMN	G.V.	GALVANIZED	N.T.S.	NOT TO SCALE	SECT.	SECTION	W.D.	WHERE OCCURS
CONC.	CONCRETE	GL.	GLASS	O.A.	ON CENTER	S.	SHELF	W.P.	WATER PROOF
CONSTR.	CONSTRUCTION	GRD.	GROUND	O.C.	ON CENTER	SHW.	SHOWER	WSCT.	WASHER/DRYER
CONT.	CONTINUOUS	GR.	GRADE	O.D.	OUTSIDE	SHT.	SHEET	WT.	WEIGHT
CNTR.	COUNTER	G.S.M.	GALVANIZED SHEET METAL	OPNG.	OPENING	SM.	SIMILAR SPECIFICATION		
CTR.	CENTER	GYP. BD.	GYP. BOARD	OPP.	OPPOSITE	SQ.	SQUARE		

### LOCATION MAP



### PROJECT DATA

**BUILDING CODES:**  
2022 CALIFORNIA BUILDING CODE (CBC)  
2022 CALIFORNIA RESIDENTIAL CODE (CRC)  
2022 CALIFORNIA PLUMBING CODE (CPC)  
2022 CALIFORNIA MECHANICAL CODE (CMC)  
2022 CALIFORNIA ELECTRICAL CODE (CEC)  
2022 CALIFORNIA ENERGY CODE  
2022 CALIFORNIA FIRE CODE  
2022 CALIFORNIA GREEN BUILDING CODE

**APN:** 047113110

**ZONING:** R-1/S-17/DR/CD

**LOT SIZE:** 4,434 SF

**OCCUPANCY:** R-3

**CONSTRUCTION:** TYPE VB, NON-SPRINKLERED

GROSS FLOOR AREA:	EXISTING	PROPOSED
FIRST FLOOR	861 SF	894 SF
SECOND FLOOR	0 SF	574 SF
GARAGE	181 SF	513 SF
<b>TOTAL</b>	<b>1,042 SF</b>	<b>1,981 SF</b>

**FAR:** 1,981 SF / 4,434 SF = 0.45 (<0.48 MAXIMUM FAR)

**LOT COVERAGE:** 1,412 SF / 4,434 SF = 32% (<0.35 MAXIMUM LOT COVERAGE)

**BUILDING HEIGHT:** 21'-1"

**PROJECT NORTH**

**TRUE NORTH**

**PROJECT NORTH**

**TRUE NORTH**

**PROJECT NORTH**

**TRUE NORTH**

SAN CARLOS  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW SUBMITTAL

COVER SHEET

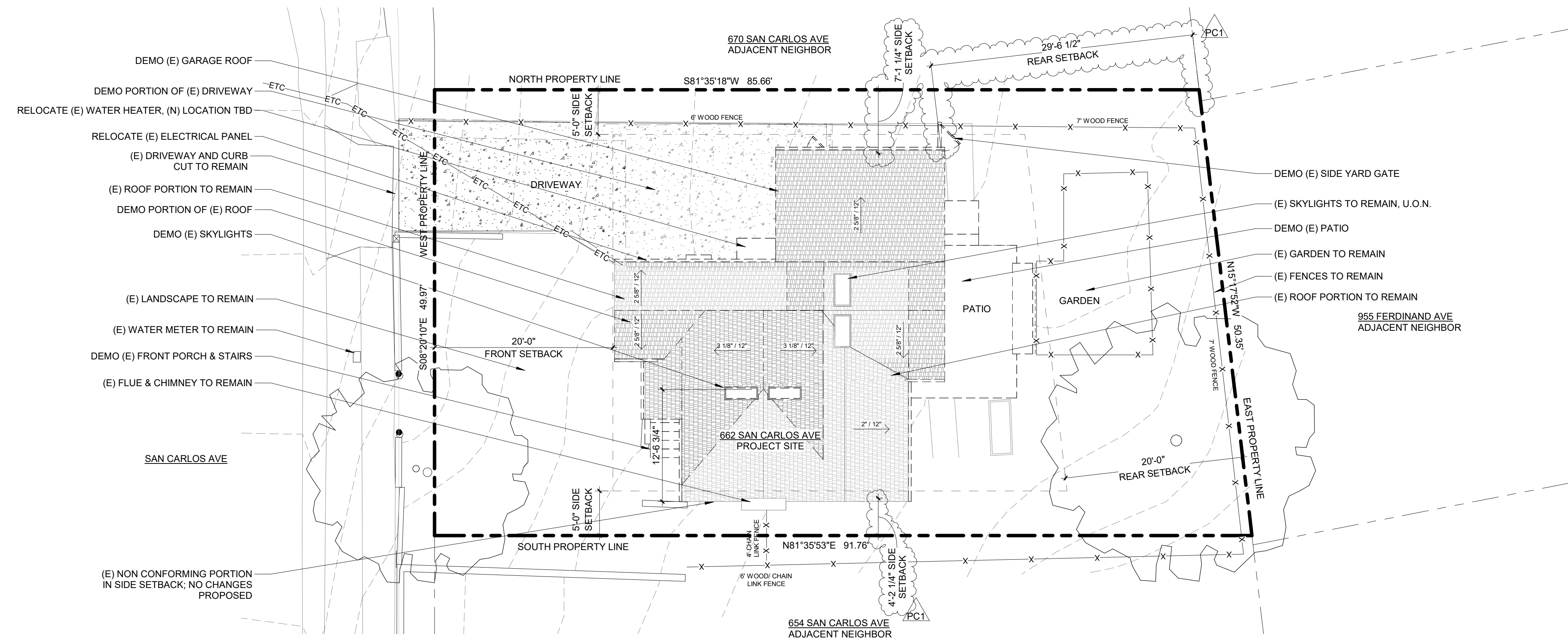
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SAN CARLOS

**SCALE**  
MB

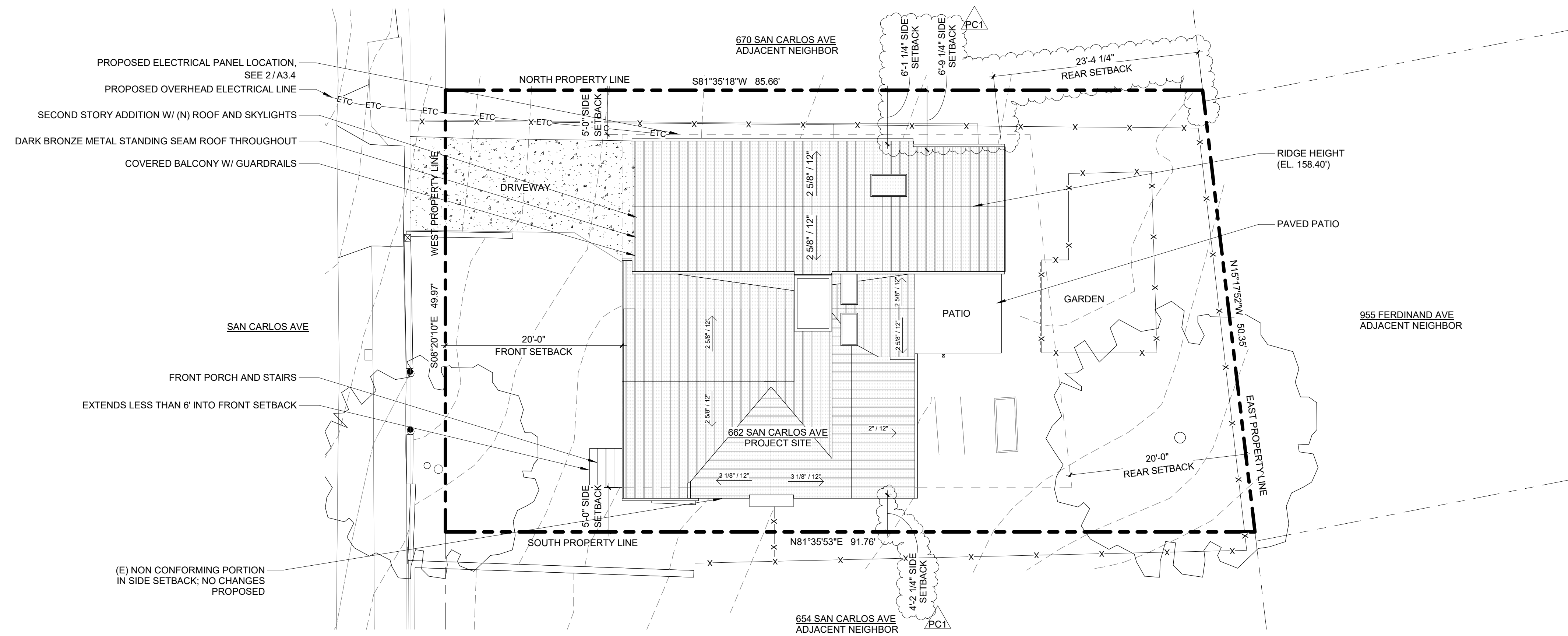
**DRAWN BY**  
MB

**SHEET**  
A0.0

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK	COMMENT RESPONSE	10/02/2025
	DESIGN REVIEW	08/22/2025	
	SUBMITTAL		



**1** EXISTING/ DEMO SITE PLAN/ ROOF PLAN  
A0.1 1/8" = 1'-0"



**2** PROPOSED SITE PLAN/ ROOF PLAN  
A0.1 1/8" = 1'-0"

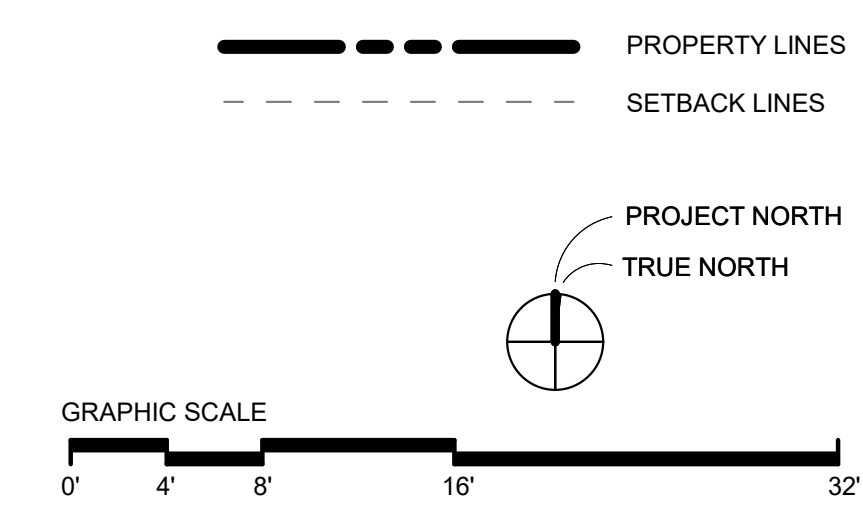
**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



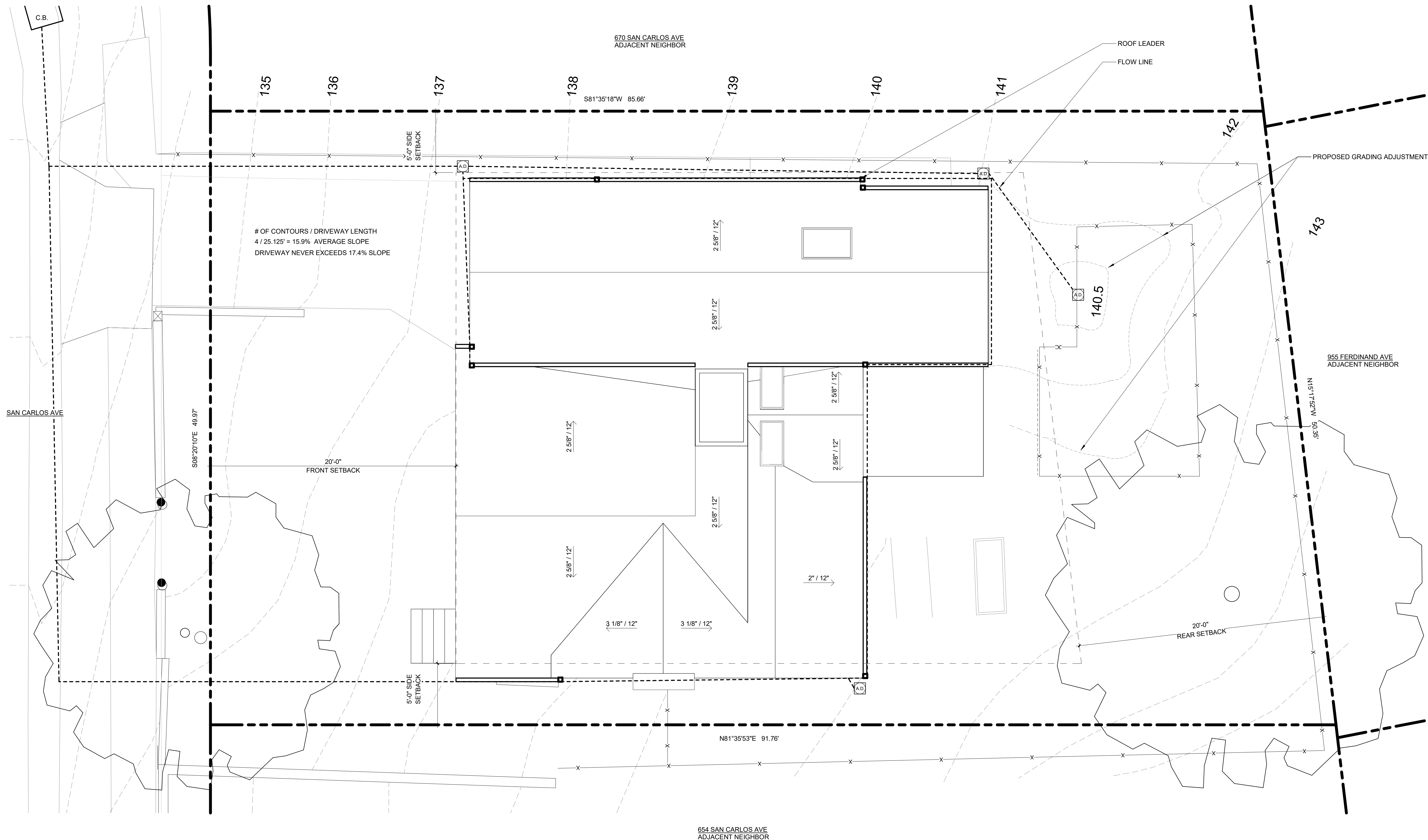
DESIGN REVIEW  
SUBMITTAL

EXISTING/  
PROPOSED SITE &  
ROOF PLAN

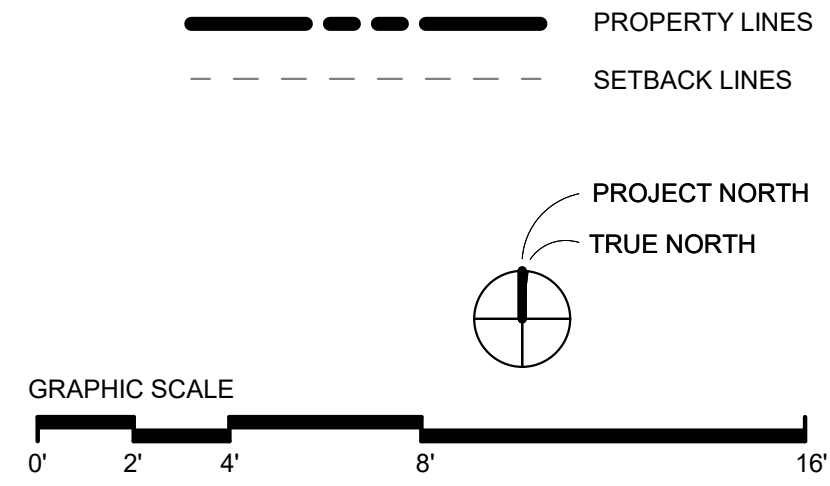
JOB NAME	SAN CARLOS	
SCALE	1/8" = 1'-0"	DRAWN BY
		MB, JY
SHEET	A0.1	



ISSUANCES	NO.	DESCRIPTION	DATE
		DESIGN REVIEW	08/22/2025
		SUBMITTAL	



# OF CONTOURS / DRIVEWAY LENGTH  
4 / 25.125' = 15.9% AVERAGE SLOPE  
DRIVEWAY NEVER EXCEEDS 17.4% SLOPE



**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW  
SUBMITTAL

ACCESS &  
DRAINAGE PLAN

JOB NAME  
SAN CARLOS

SCALE 1/4" = 1'-0" DRAWN BY MB

SHEET  
**A0.2**

10/16/2025 10:40:04 AM

**GENERAL NOTES**

- NO EXISTING TREES TO BE REMOVED.
- NO EXISTING TREES ARE LOCATED NEAR WHERE EXCAVATION WORK IS BEING DONE.

TREE TABLE		
LABEL	1	2
DBH	9"	15"
GENUS	BETULA	PRUNUS
SPECIES	B. UTILIS VAR. JACQUEMONTII	PRUNUS SPP.
COMMON NAME	HIMALAYAN BIRCH	WILD PLUM



ISSUANCES		
NO.	DESCRIPTION	DATE
	DESIGN REVIEW	08/22/2025
	SUBMITTAL	

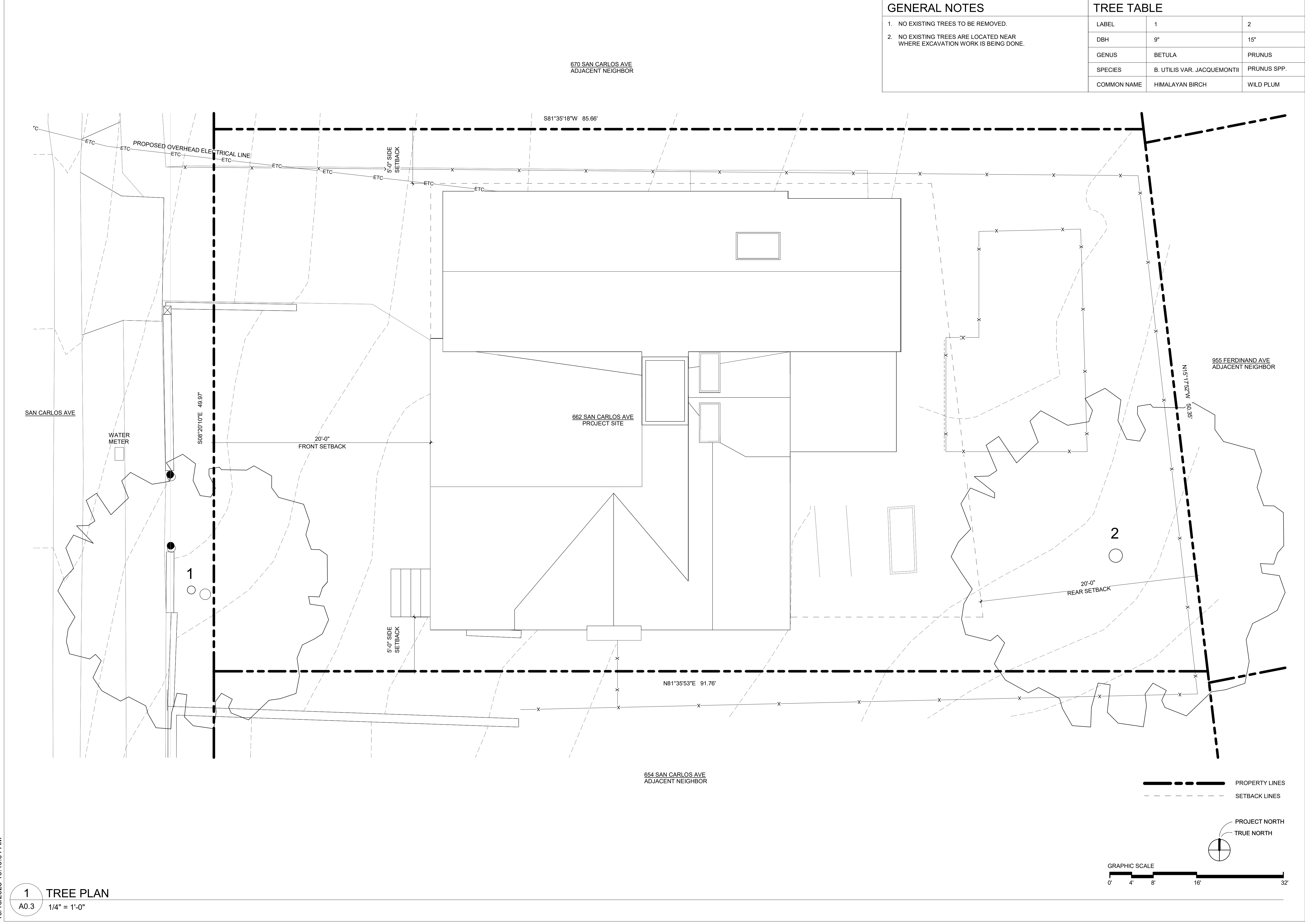
**SAN CARLOS**  
 662 SAN CARLOS AVE. EL GRANADA, CA 94018



**TREE PLAN**

JOB NAME: SAN CARLOS  
 SCALE: 1/4" = 1'-0" DRAWN BY: MB

SHEET: **A0.3**



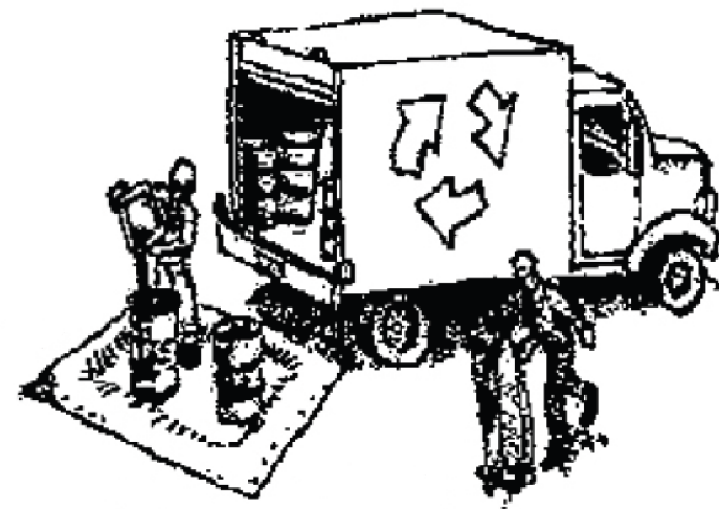
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**1** TREE PLAN  
 A0.3 1/4" = 1'-0"

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

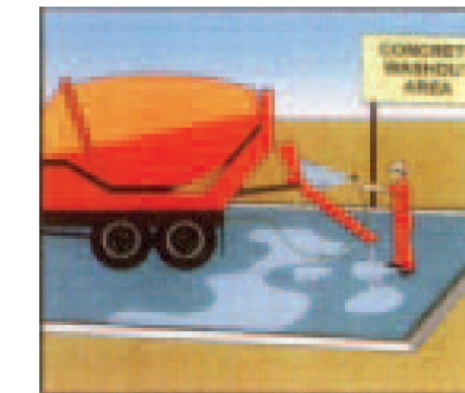


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

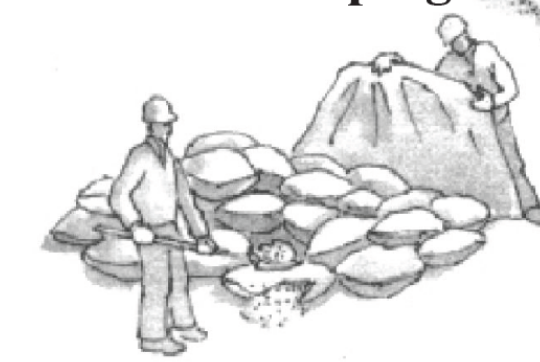
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



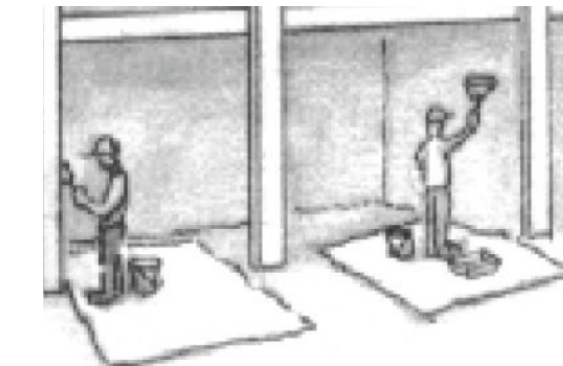
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

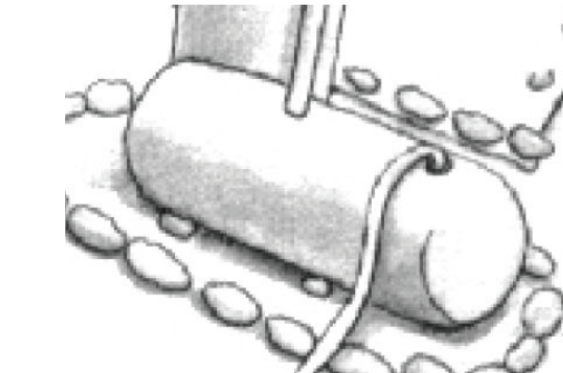
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

ISSUANCES	NO.	DESCRIPTION	DATE
DESIGN REVIEW			08/22/2025
SUBMITTAL			

**SAN CARLOS**  
 662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW  
SUBMITTAL

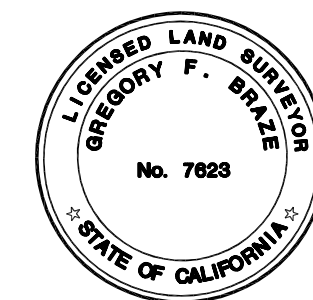
BEST  
MANAGEMENT  
PRACTICES

JOB NAME  
SAN CARLOS

SCALE  
DRAWN BY  
MB, JY

SHEET

A0.4



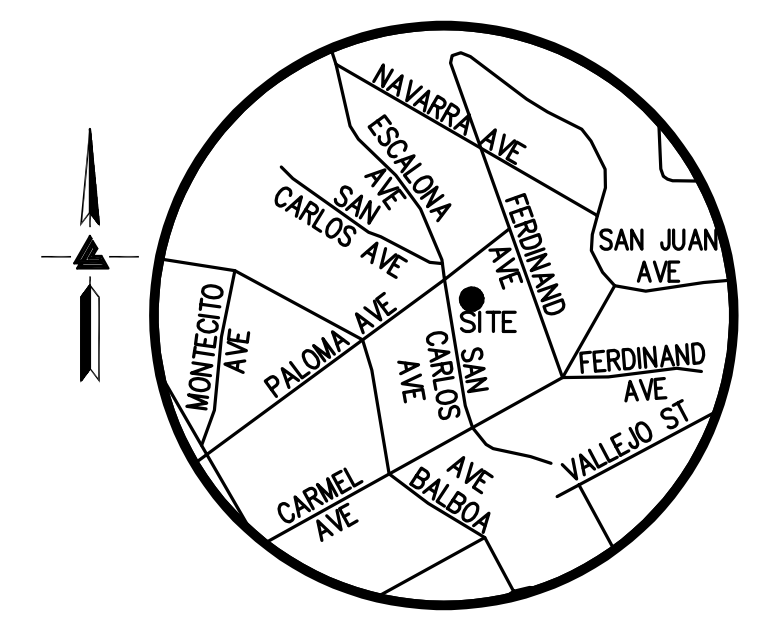
**LEA & BRAZE ENGINEERING, INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 REGIONAL OFFICES:  
 ROSEVILLE  
 LEAKSON  
 SAN JOSE  
 SAN LUIS OBISPO  
 WWW.LEABRAZE.COM

662 SAN CARLOS AVENUE  
 EL GRANADA  
 CALIFORNIA

TOPOGRAPHIC SURVEY

REVISIONS	BY
JOB NO:	2250188
DATE:	3-17-25
SCALE:	1"=8'
BNDY BY:	KR
FIELD BY:	JC
DRAWN BY:	KF
SHEET NO:	

**SU1**  
 1 OF 1 SHEETS



VICINITY MAP  
 NO SCALE

**LEGEND AND NOTES**

- BOUNDARY LINE
- BUILDING OVERHANG LINE
- ETC --- ELECTRICAL/TELEPHONE/CABLE TV OVERHEAD LINE
- x- FENCE LINE
- FLOW LINE
- SANITARY SEWER LINE
- ⊕ BENCHMARK
- ⊙ BW BOTTOM RETAINING WALL
- ▣ CB CATCH BASIN
- EM ELECTRICAL METER
- FF FINISH FLOOR
- FL FLOW LINE
- ⊕ FIRE HYDRANT
- ∩ INV INVERT
- ⊕ JOINT POLE
- M- MULTI-TRUNK TREE
- RP ROOF PEAK
- SSMH SANITARY SEWER MAINTENANCE HOLE
- TC TOP OF CURB
- TOS TOP OF SLAB
- TW TOP OF RETAINING WALL
- WM WATER METER
- xxx.xx SPOTGRADE
- ASPHALT
- CONCRETE
- PAVERS
- STONE
- WOOD

**FEMA FLOOD NOTE**

PROPERTY COMPLETELY OUT OF SPECIAL FLOOD HAZARD AREA (SFHA)  
 FLOOD INSURANCE RATE MAP No.: 06081C0138F  
 EFFECTIVE DATE: AUGUST 2, 2017

**EASEMENT NOTE**

NO EASEMENTS ARE LISTED IN PRELIMINARY TITLE REPORT ISSUED BY OLD REPUBLIC TITLE COMPANY ORDER NO. 0373008023-MW DATED SEPTEMBER 4, 2019

**UTILITY NOTE**

ALL UNDERGROUND PIPE TYPES, SIZES AND LOCATION SHOWN ON THIS SURVEY ARE BASED ON VISUAL OBSERVATION. ANY USE OF THIS INFORMATION SHOULD BE VERIFIED, BEFORE ITS USE, WITH THE CONTROLLING MUNICIPALITY OR UTILITY PROVIDER. THIS SURVEY MAKES NO GUARANTEE OF THE INSTALLED ACTUAL LOCATION, DEPTHS OR SIZE.

**SITE BENCHMARK**

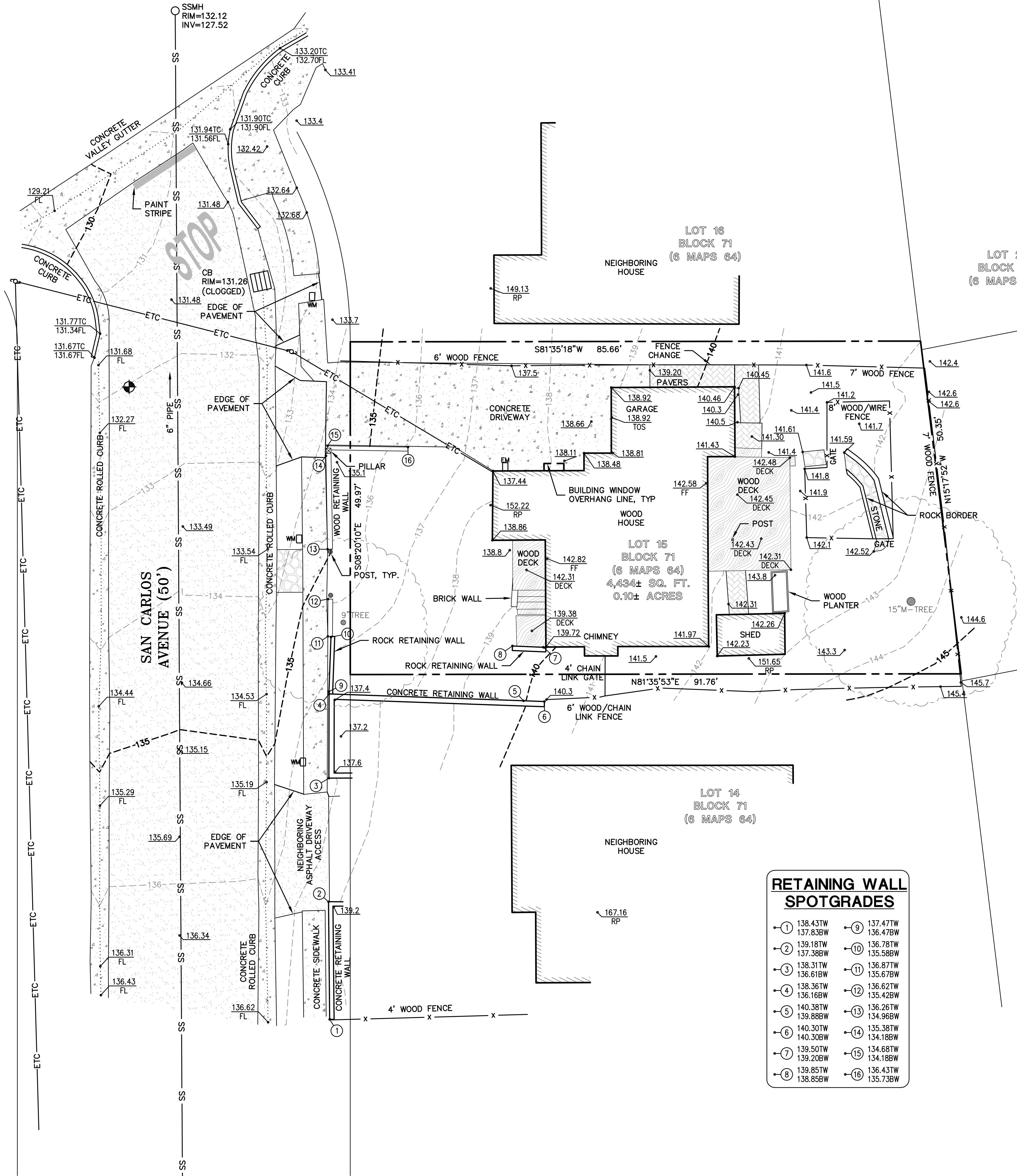
SURVEY CONTROL POINT  
 MAG AND SHINER SET IN ASPHALT  
 ELEVATION = 132.18'  
 (ASSUMED)

**TREE NOTE**

TREE SIZE, TYPE AND DRIFLINES ARE BASED ON A VISUAL OBSERVATION. FINAL DETERMINATION SHOULD BE MADE BY THE PROJECT ARBORIST.

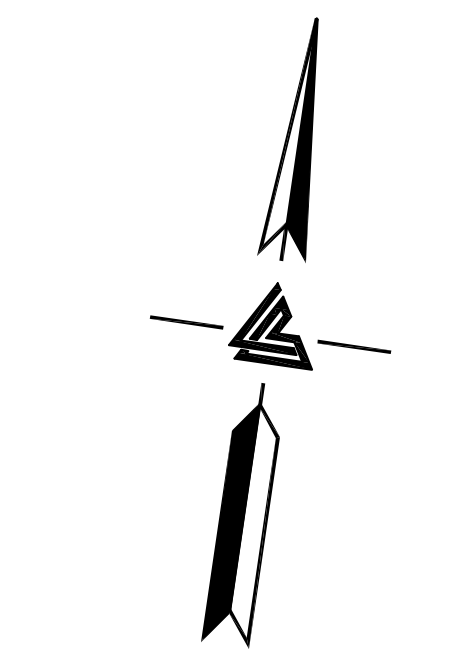
**NOTES**

ALL DISTANCES AND DIMENSIONS ARE IN FEET AND DECIMALS.  
 BUILDING FOOTPRINTS ARE SHOWN TO FINISHED MATERIAL (STUCCO/SIDING).  
 FINISH FLOOR ELEVATIONS ARE TAKEN AT DOOR THRESHOLD (EXTERIOR).  
 THE AREA OF THE SURVEYED LOT IS 4,434± SQUARE FEET / 0.10± ACRES



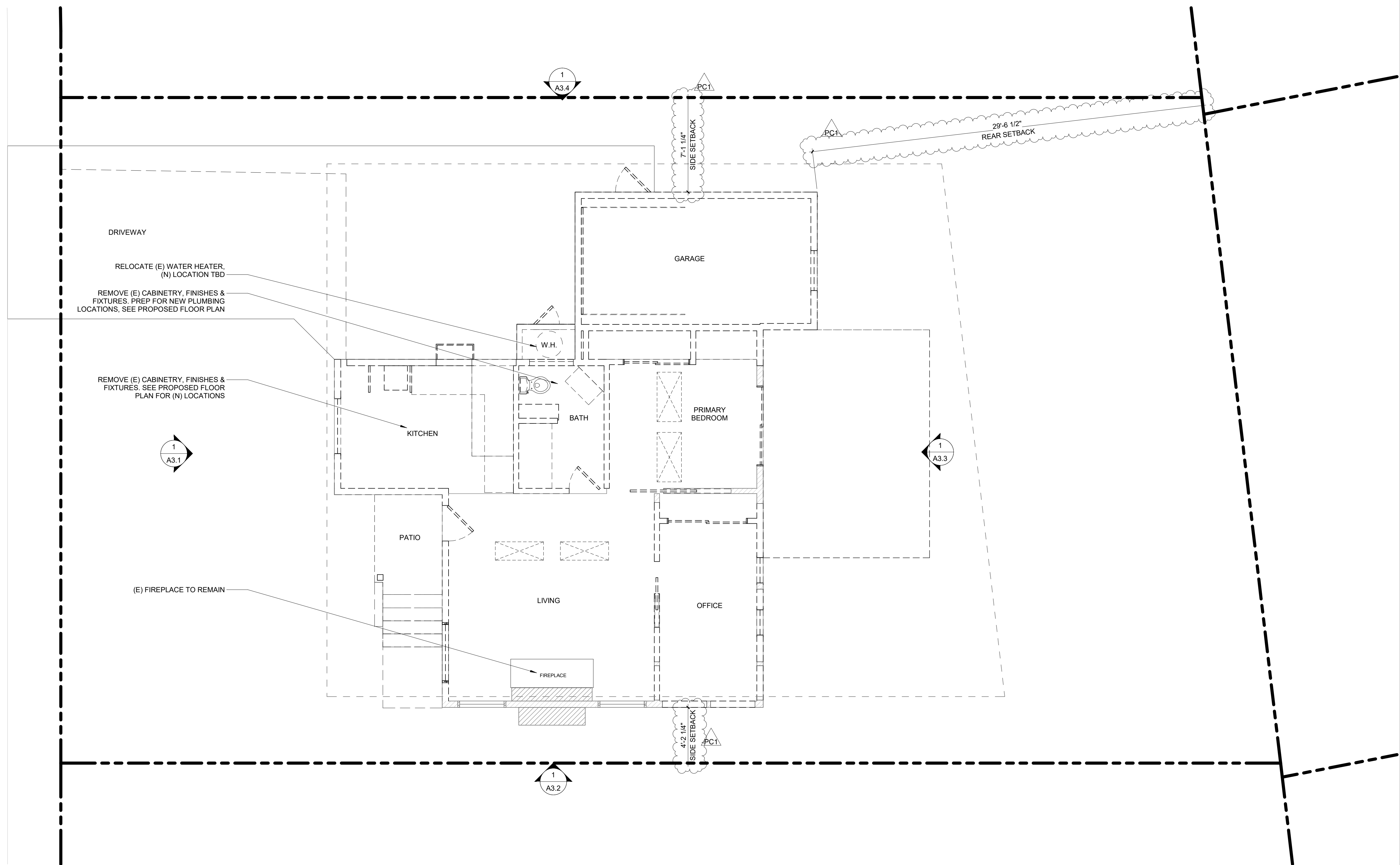
**RETAINING WALL SPOTGRADES**

- ① 138.43TW
- ② 139.18TW
- ③ 138.31TW
- ④ 138.36TW
- ⑤ 140.38TW
- ⑥ 140.30TW
- ⑦ 139.50TW
- ⑧ 139.85TW
- ⑨ 137.47TW
- ⑩ 136.78TW
- ⑪ 136.87TW
- ⑫ 136.62TW
- ⑬ 136.26TW
- ⑭ 135.38TW
- ⑮ 134.68TW
- ⑯ 136.43TW



0 4 8 16  
 SCALE: 1" = 8'

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK		10/02/2025
	COMMENT RESPONSE		
	DESIGN REVIEW		08/22/2025
	SUBMITTAL		



DRIVEWAY

RELOCATE (E) WATER HEATER,  
(N) LOCATION TBD

REMOVE (E) CABINETRY, FINISHES &  
FIXTURES. PREP FOR NEW PLUMBING  
LOCATIONS, SEE PROPOSED FLOOR PLAN

REMOVE (E) CABINETRY, FINISHES &  
FIXTURES. SEE PROPOSED FLOOR  
PLAN FOR (N) LOCATIONS

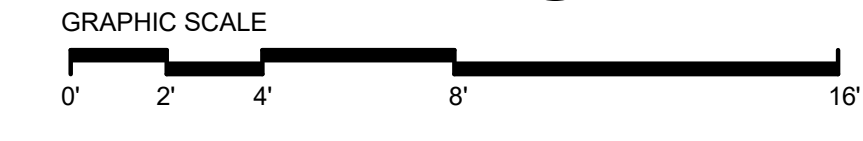
(E) FIREPLACE TO REMAIN

**LEGEND**

(E) WALL

DEMO WALL

PROJECT NORTH  
TRUE NORTH



**SAN CARLOS**  
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94018



DESIGN REVIEW  
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EXISTING/ DEMO  
FLOOR PLAN

JOB NAME  
**SAN CARLOS**

SCALE 1/4" = 1'-0" DRAWN BY  
MB, JY

SHEET  
**A1.1**

**GENERAL NOTES**

1. REFER TO COVER SHEET FOR FLOOR AREA CALCULATIONS



330 17TH STREET | UNIT 1811  
OAKLAND | CA 94612  
(818) 314-7301 | www.ekva.archi

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK		10/02/2025
	COMMENT RESPONSE		
	DESIGN REVIEW		08/22/2025
	SUBMITTAL		

**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW SUBMITTAL

PROPOSED FLOOR PLAN

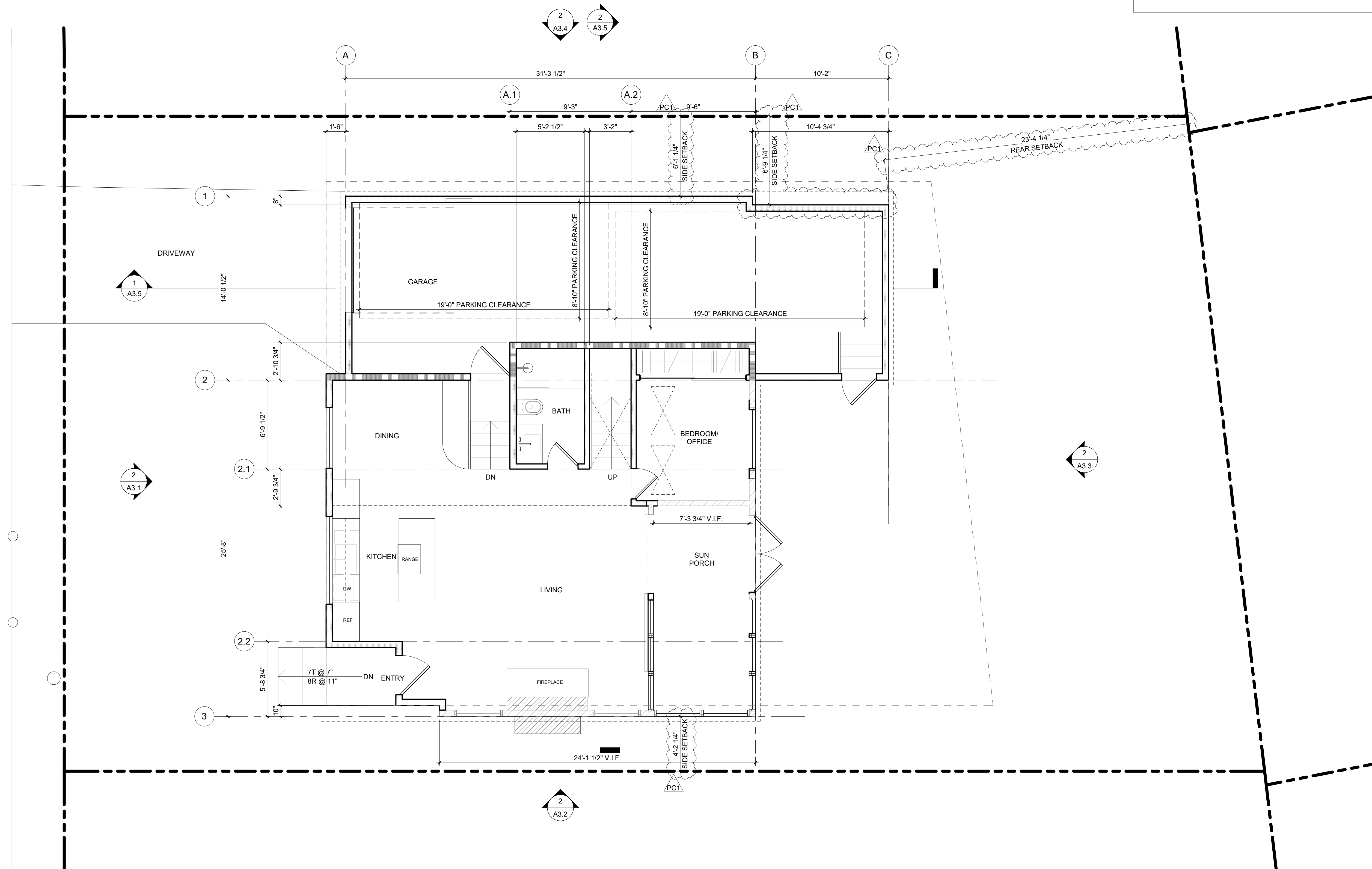
JOB NAME  
SAN CARLOS

SCALE  
1/4" = 1'-0"

DRAWN BY  
MB, JY

SHEET

**A2.1**



**LEGEND**

- (E) WALL
- PROPOSED WALL
- 1-HOUR RATED WALL
- PROJECT NORTH
- TRUE NORTH



10/16/2025 10:40:05 AM

**1** PROPOSED FLOOR PLAN - ENTRY LEVEL  
A2.1 1/4" = 1'-0"

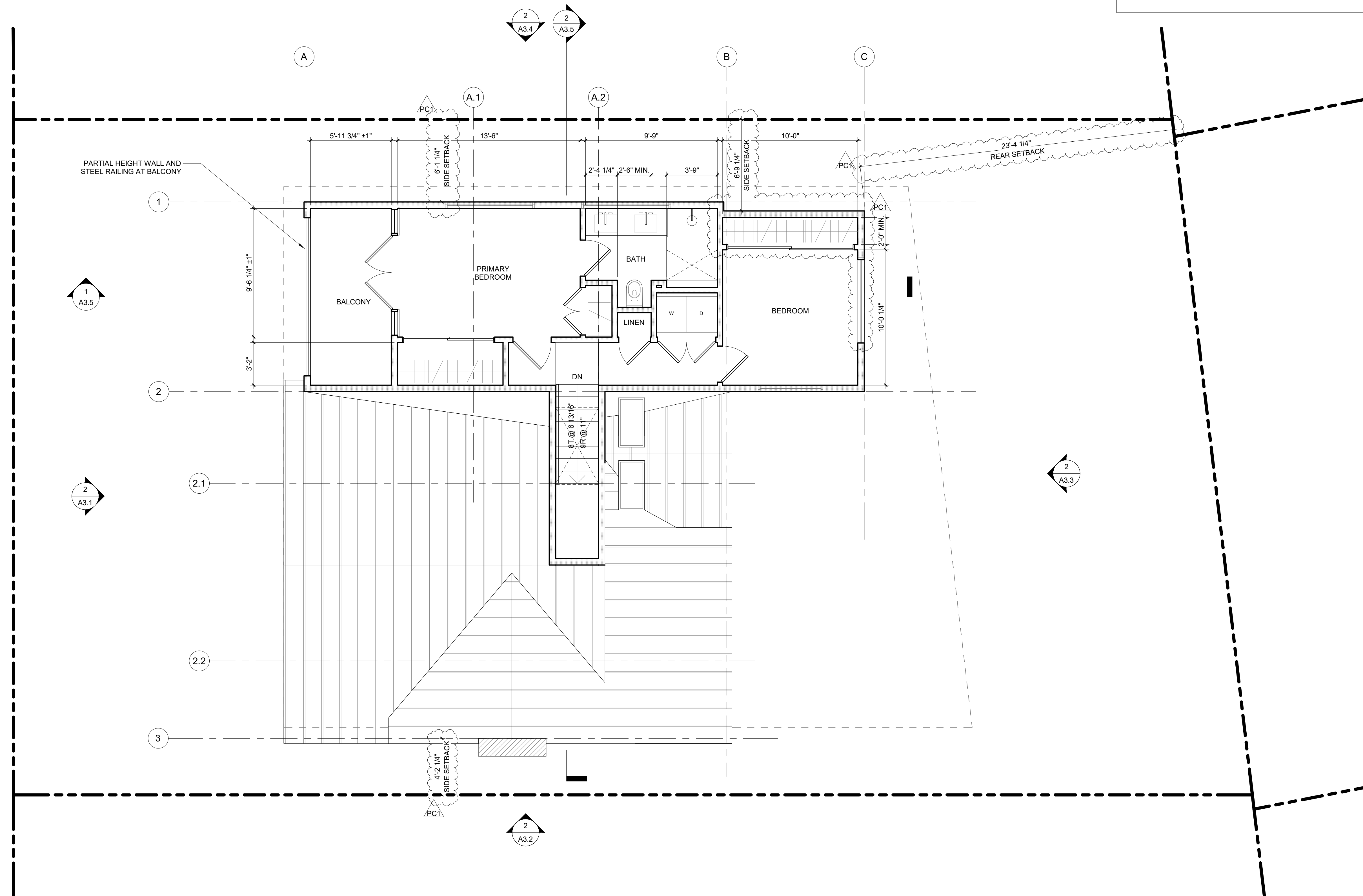
**GENERAL NOTES**

1. REFER TO COVER SHEET FOR FLOOR AREA CALCULATIONS



330 17TH STREET | UNIT 1811  
OAKLAND | CA 94612  
(818) 314-7301 | www.ekva.archi

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	SUBMITTAL		



**SAN CARLOS**  
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DESIGN REVIEW SUBMITTAL

**PROPOSED UPPER FLOOR PLAN**

JOB NAME  
**SAN CARLOS**

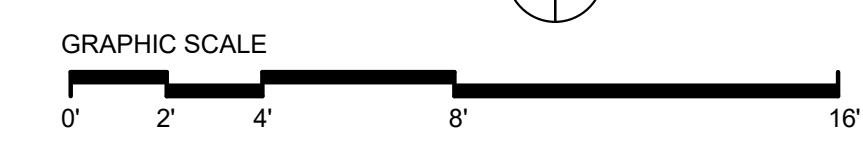
SCALE  
1/4" = 1'-0"

DRAWN BY  
MB, JY

SHEET  
**A2.2**

**LEGEND**

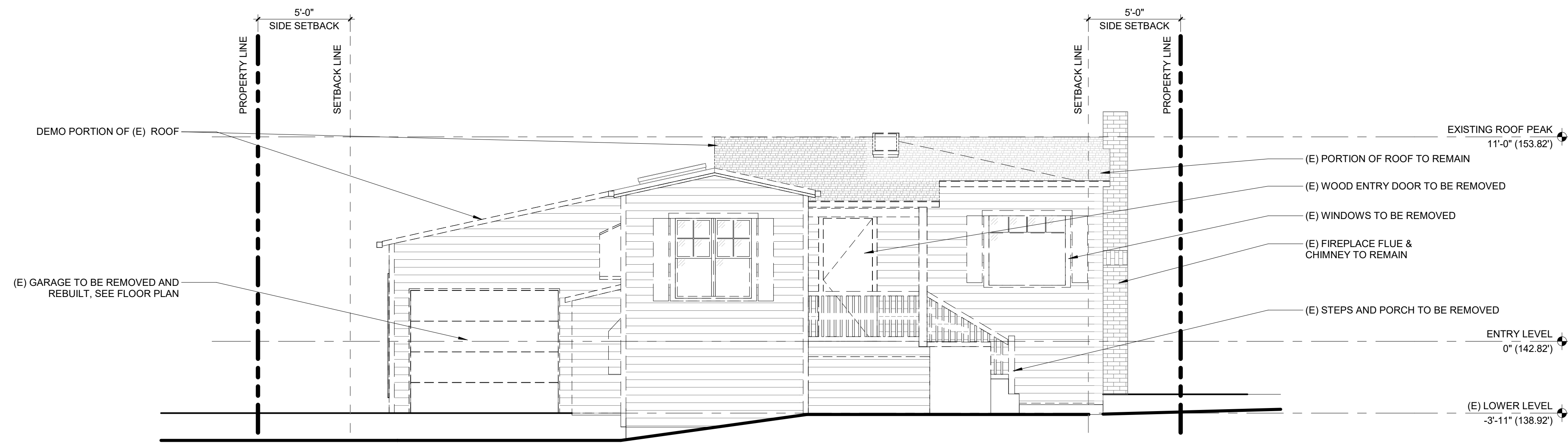
- (E) WALL
- PROPOSED WALL
- 1-HOUR RATED WALL
- PROJECT NORTH
- TRUE NORTH



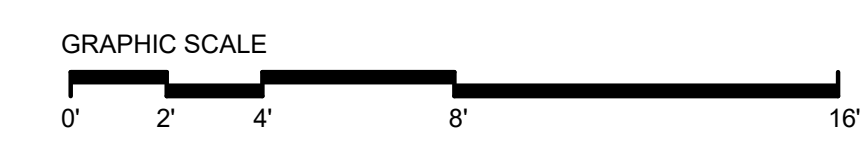
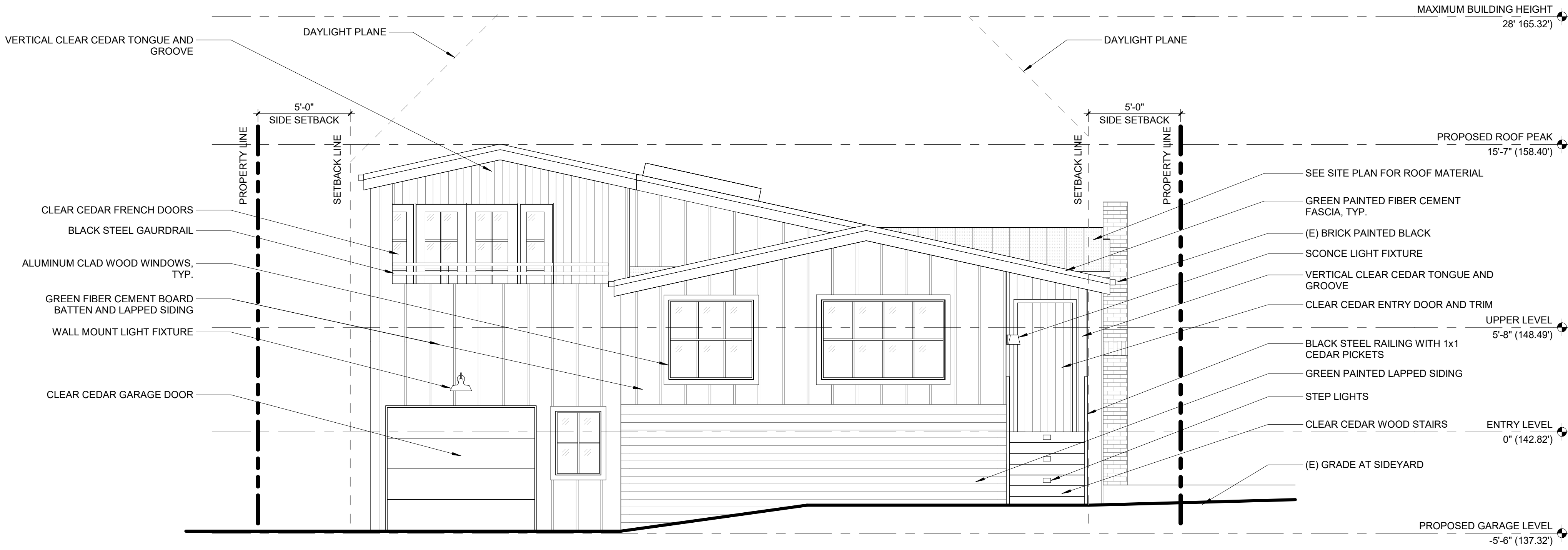
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**1** PROPOSED FLOOR PLAN - UPPER LEVEL  
A2.2 1/4" = 1'-0"

ISSUANCES	NO.	DESCRIPTION	DATE
DESIGN REVIEW			08/22/2025
SUBMITTAL			



**1** EXISTING EXTERIOR ELEVATION - WEST  
A3.1 1/4" = 1'-0"



**2** EXTERIOR ELEVATION - WEST  
A3.1 1/4" = 1'-0"

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SUBMITTAL

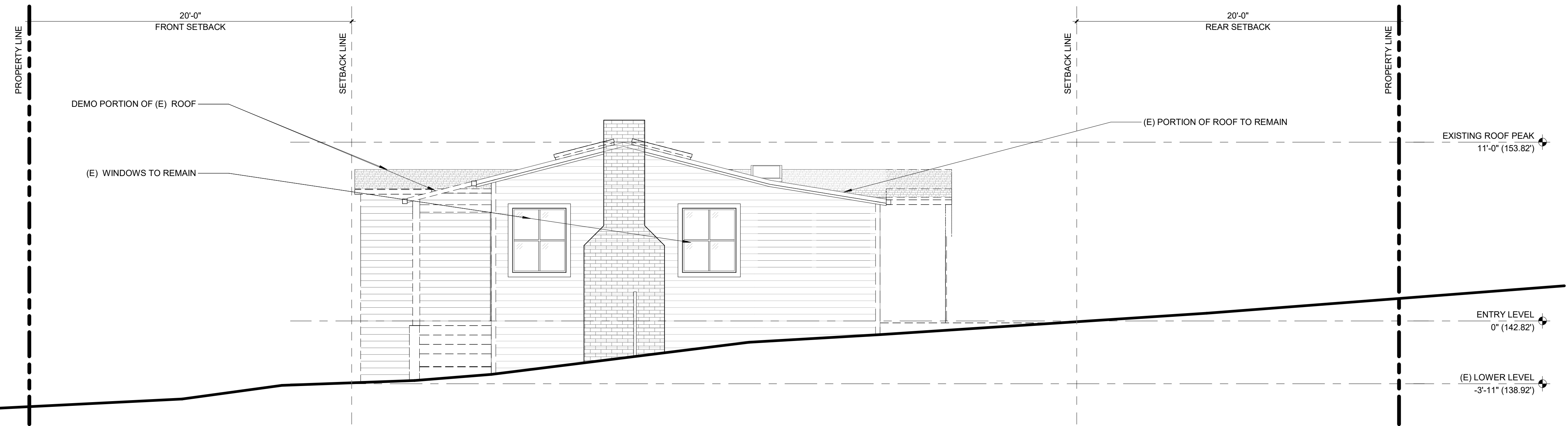
EXISTING/  
PROPOSED  
ELEVATIONS

JOB NAME  
SAN CARLOS

SCALE 1/4" = 1'-0" DRAWN BY MB

SHEET  
**A3.1**

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK	COMMENT RESPONSE	10/02/2025
	DESIGN REVIEW	08/22/2025	
	SUBMITTAL		



**1** EXISTING EXTERIOR ELEVATION - SOUTH  
A3.2 1/4" = 1'-0"



**2** EXTERIOR ELEVATION - SOUTH  
A3.2 1/4" = 1'-0"

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662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW  
SUBMITTAL

EXISTING/  
PROPOSED  
ELEVATIONS

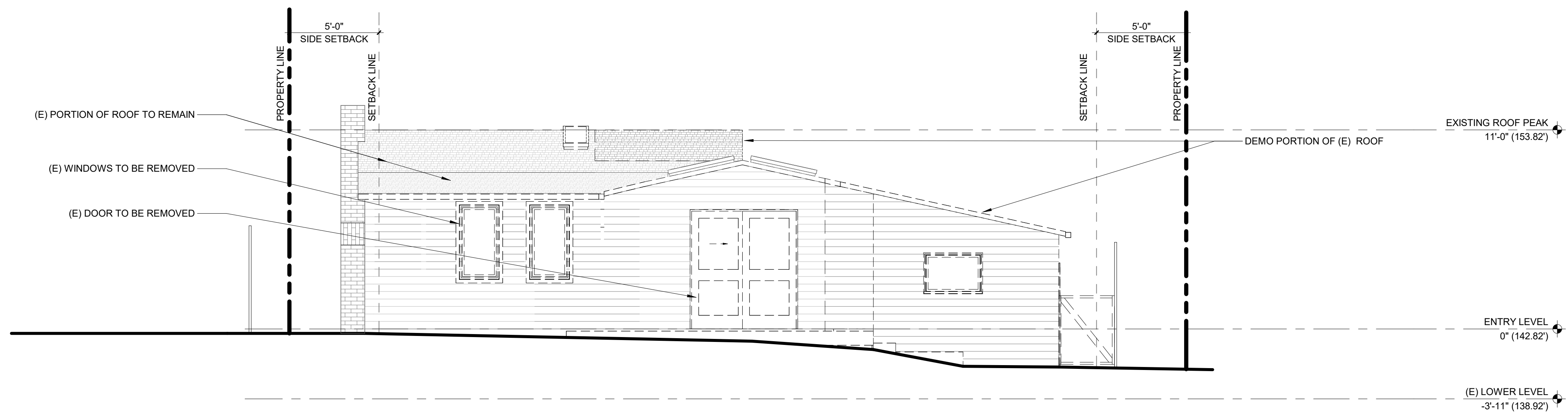
JOB NAME  
SAN CARLOS

SCALE 1/4" = 1'-0" DRAWN BY MB

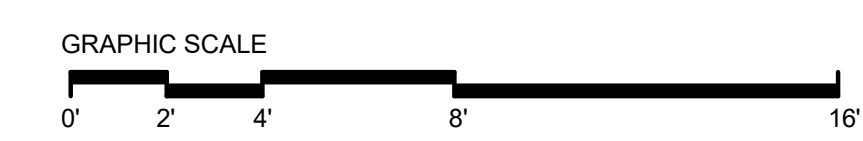
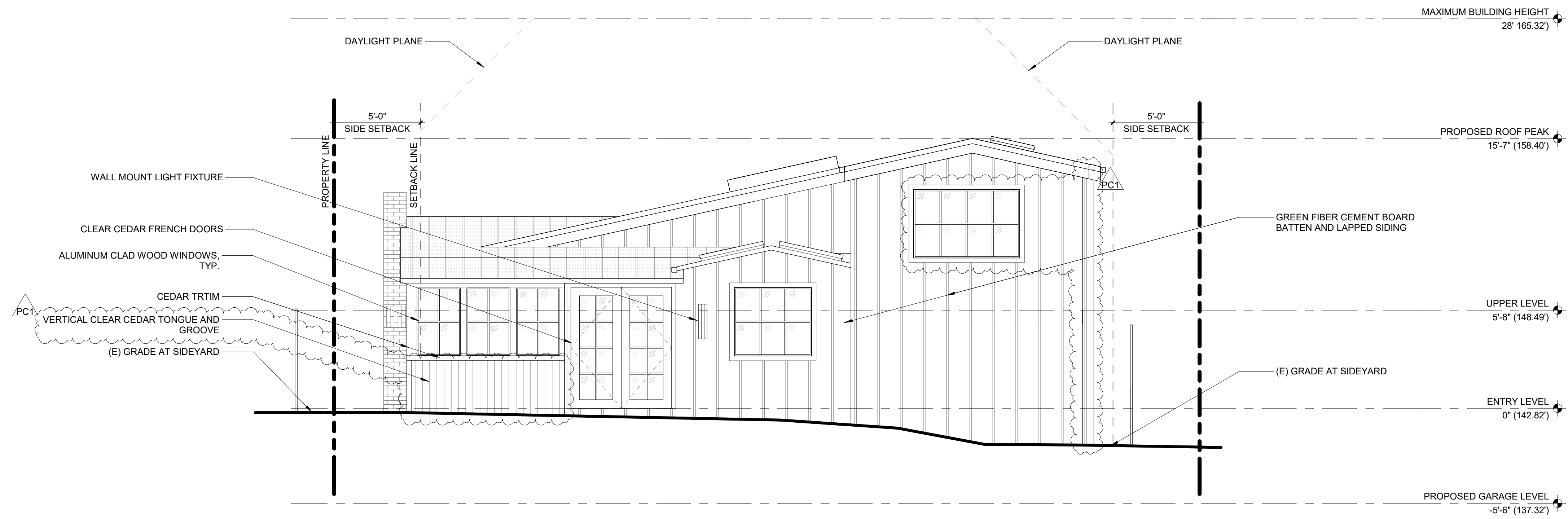
SHEET  
**A3.2**

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ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK	COMMENT RESPONSE	10/02/2025
	DESIGN REVIEW		08/22/2025
	SUBMITTAL		



**1** EXISTING EXTERIOR ELEVATION - EAST  
A3.3 1/4" = 1'-0"



**2** EXTERIOR ELEVATION - EAST  
A3.3 1/4" = 1'-0"

**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



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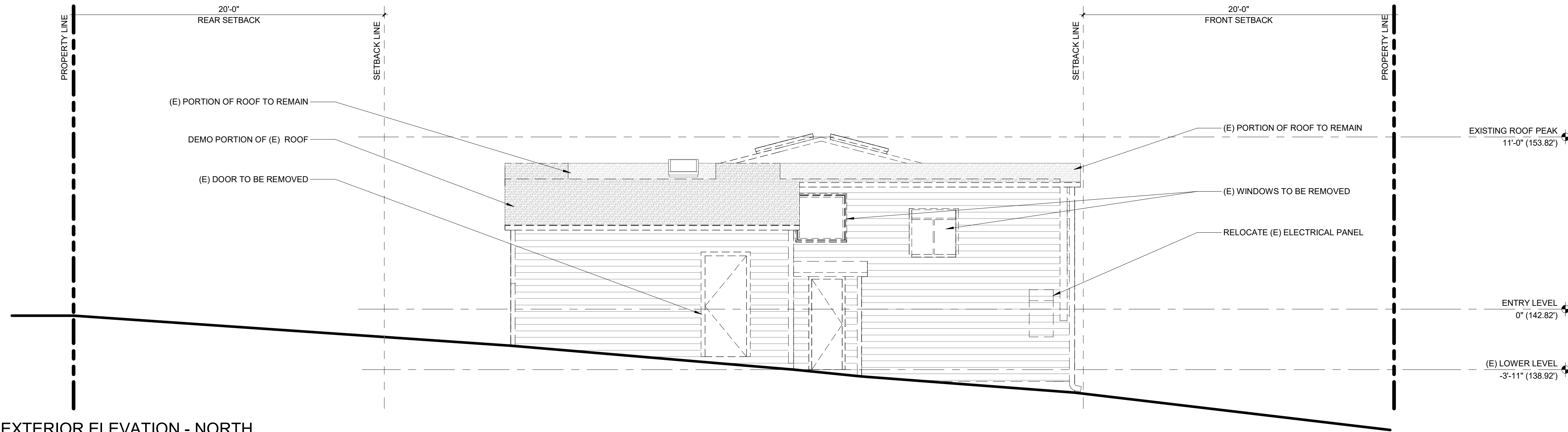
EXISTING/  
PROPOSED  
ELEVATIONS

JOB NAME  
SAN CARLOS

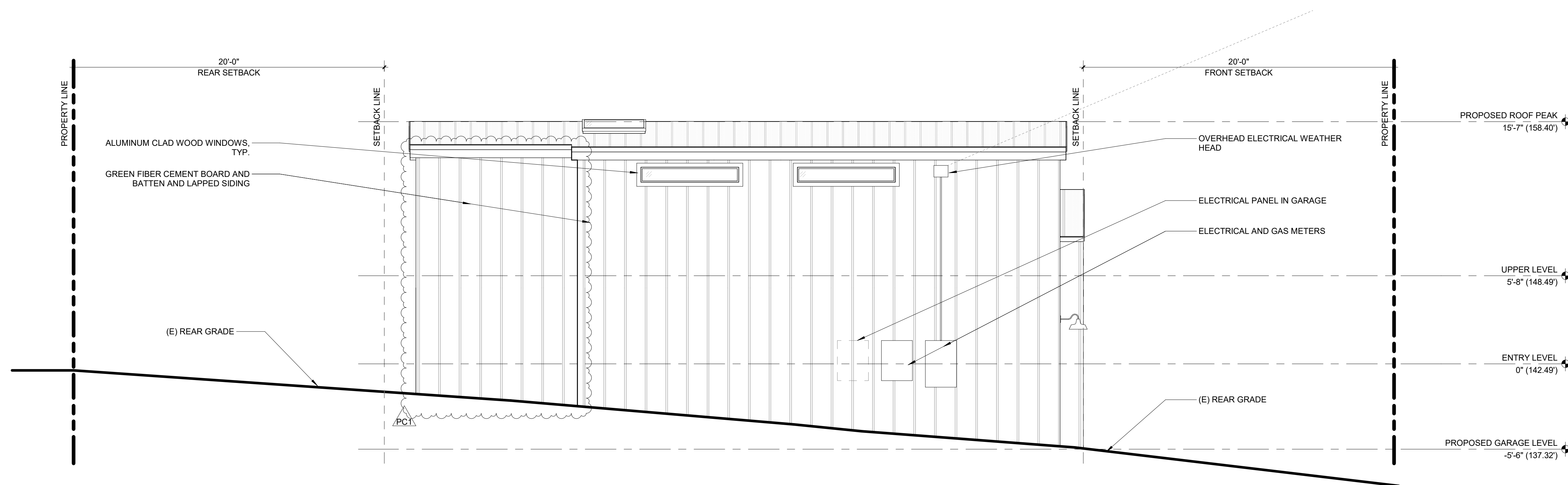
SCALE 1/4" = 1'-0" DRAWN BY MB

SHEET  
**A3.3**

ISSUANCES	NO.	DESCRIPTION	DATE
PC1	PLAN CHECK	COMMENT RESPONSE	10/02/2025
	DESIGN REVIEW	08/22/2025	
	SUBMITTAL		



**1** EXISTING EXTERIOR ELEVATION - NORTH  
A3.4 1/4" = 1'-0"



**2** EXTERIOR ELEVATION - NORTH  
A3.4 1/4" = 1'-0"

**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



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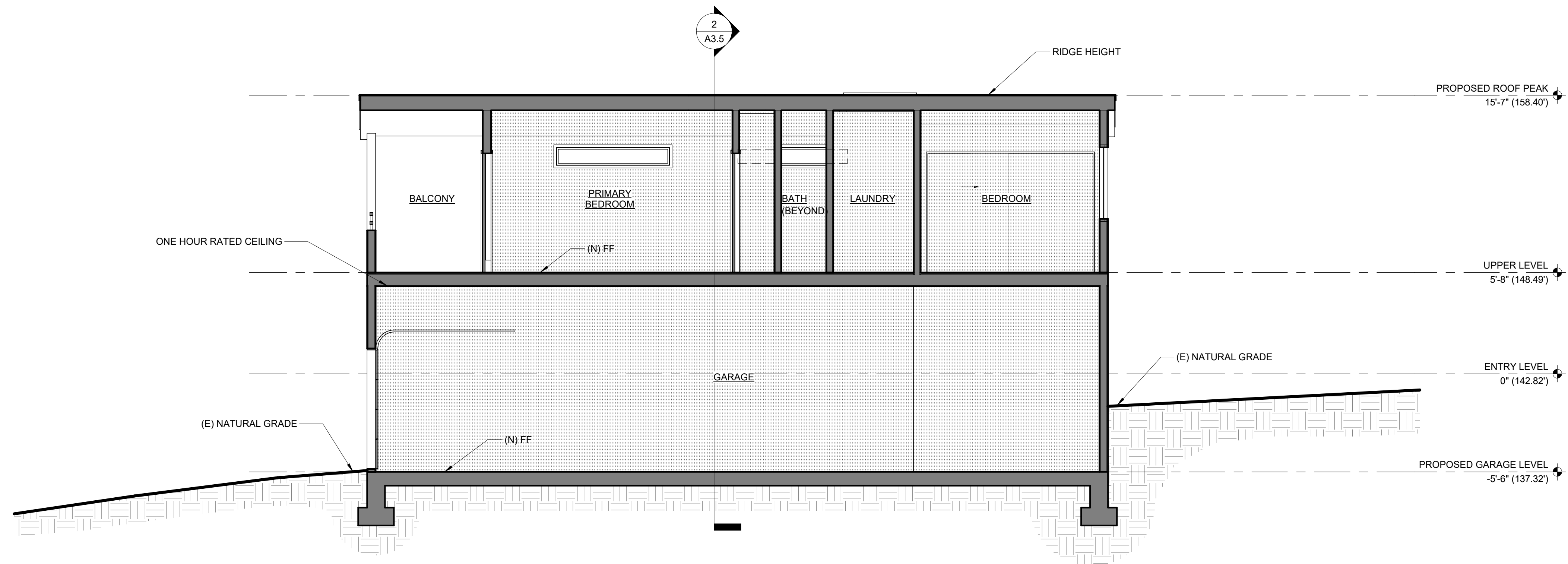
EXISTING/  
PROPOSED  
ELEVATIONS

JOB NAME  
SAN CARLOS

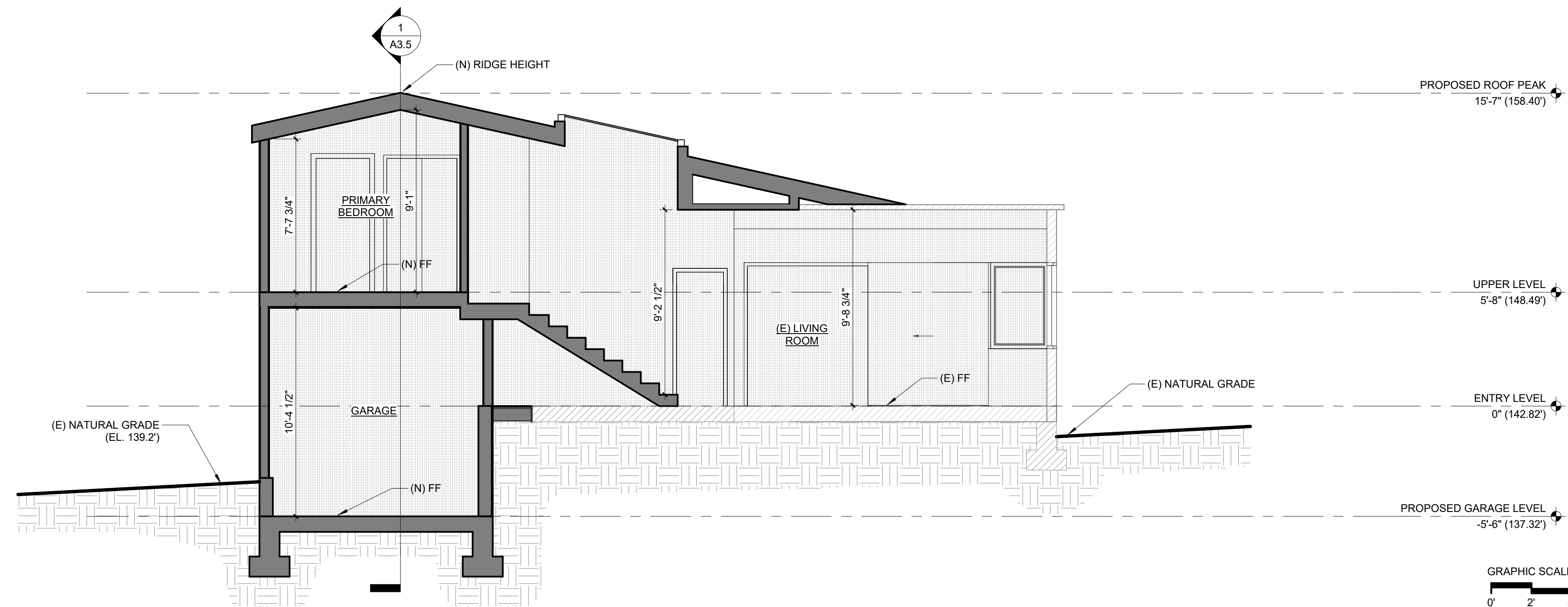
SCALE 1/4" = 1'-0" DRAWN BY MB

SHEET  
**A3.4**

ISSUANCES	NO.	DESCRIPTION	DATE
DESIGN REVIEW			08/22/2025
SUBMITTAL			



**1** BUILDING SECTION - EAST-WEST  
A3.5 1/4" = 1'-0"



**2** BUILDING SECTION - NORTH-SOUTH  
A3.5 1/4" = 1'-0"

**SAN CARLOS**  
662 SAN CARLOS AVE. EL GRANADA, CA 94018



DESIGN REVIEW  
SUBMITTAL

BUILDING  
SECTIONS

JOB NAME  
SAN CARLOS

SCALE 1/4" = 1'-0" DRAWN BY MB

SHEET  
**A3.5**



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

# ATTACHMENT E

January 8, 2026

Owner / Applicant: Nathan Fielding and Vanessa Ruiz / Dinesh Perera, EKVA  
File No: PLN2025-00296  
Location: 662 San Carlos Avenue, El Granada  
APN: 047-113-110

### **Coastside Design Review Permit**

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations October 2023, Chapter 28.1, Section 6565.20.

### **CDRC Recommends Approval of Project PLN2025-00296.**

#### **Findings that satisfy the Standards:**

1. Section 6565.20(F)4 Lighting: the plan should prevent direct light and glare from extending in any direction, including upward, beyond the boundaries of the site. In general, low level lighting directed toward the ground is preferred.

#### **Project proposed dark-sky compliant, downward facing lights.**

2. Section 6565.20(D)4a ELEMENTS OF DESIGN Exterior Materials and Colors: Use warm, muted colors and natural appearing materials on the house that blend with the surrounding natural features when viewed from a distance.

**The mixed materials as well as a mute, warm palette blends in well with surrounding environment.**

**Additional Requires for compliance with the Standards:**

1. Section 6565.20(D)1b ELEMENTS OF DESIGN Neighborhood Scale:  
Neighborhood scale refers to the appearance of a home in relation to other homes in the neighborhood;

**The CRDC requires lowering the height of the addition by 1 foot by lowering the ceiling in the garage.**

**The CDRC requires adjusting the roof above the stairwell to be a flat roof and tie into the high wall of the addition rather than the roof of the addition.**

**The CDRC requires removing the exterior walls at the balcony to allow light to travel through the 2 story addition massing.**