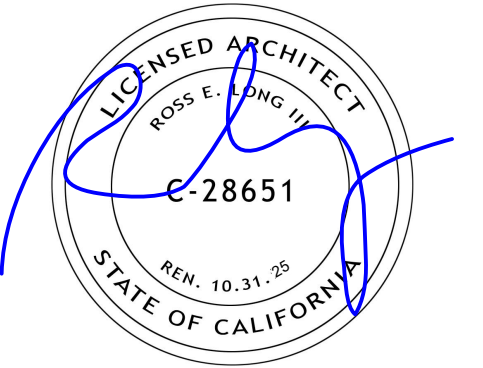


THE NOLAN-STEVAUX RESIDENCE

PESCADERO CREEK ROAD PESCADERO CA 94060



ISSUE	DATE
CDP & PAD PLANNING SUBM. V1	07/22/24
CDP & PAD PLANNING SUBM. V2	05/30/25
CDP & PAD PLAN. SUBM. CYCLE 2	09/18/25

ARCHITECT

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 prefab evolved
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 TOBY LONG, AIA - 415.365.3650 - TLD@CHXTLD.COM

MODULAR FABRICATOR

APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
 PESCADERO CREEK ROAD
 PESCADERO, CA
 94060
 APN: 088-090-030

COVER AND MATERIALS

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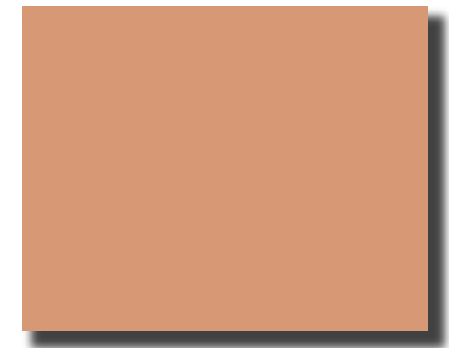
PAINTED (BEHR TRICK OR TREAT) WOOD SIDING (MAIN HOUSE)



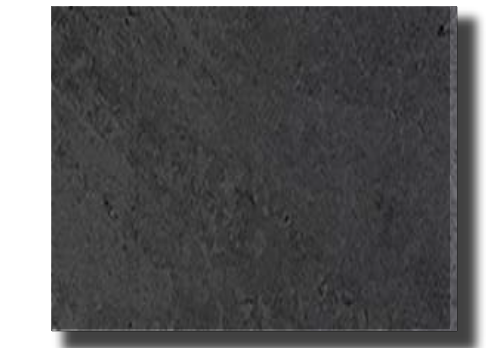
BEHR CANYON DUST STUCCO (MAIN HOUSE)



BEHR CANDIED YAMS STUCCO (POOL HOUSE)



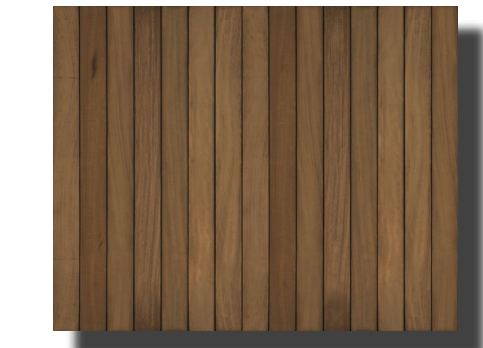
PAINTED METAL BEHR BLACK ACCENTS, TRIM AND FASCIA



FIBERGLASS OR ALUMINUM WINDOWS (DARK BRONZE MARVIN)



STAINED CEDAR EAVES AND SIDING (BEHR- CEDAR NATURAL TONE)



SIMPSON WOOD ENTRY DOOR W/ SIDE LIGHTS (OR SIMILAR)



GREYISH/BROWN FRONT PAVERS (TECO-BLOC)



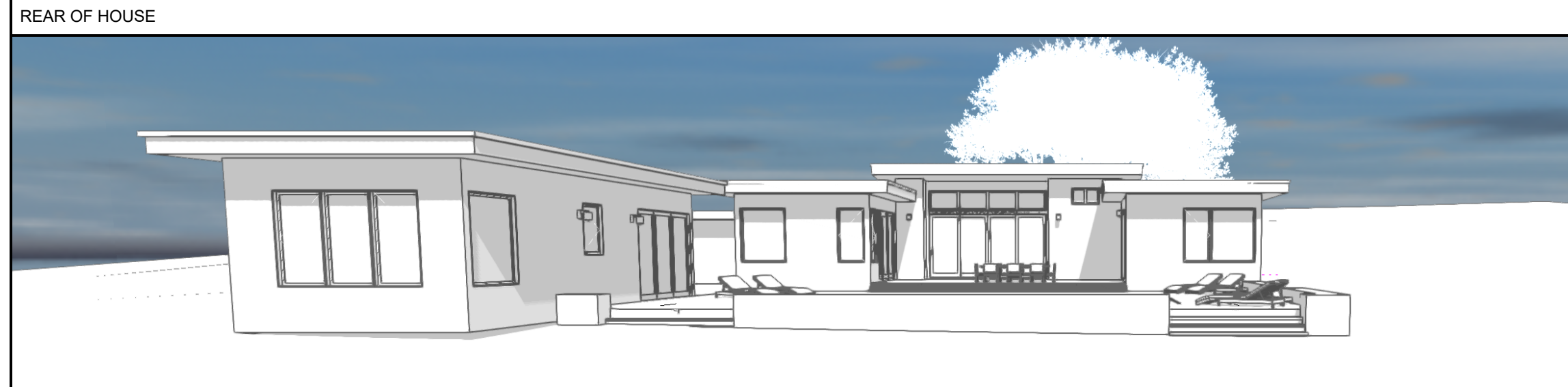
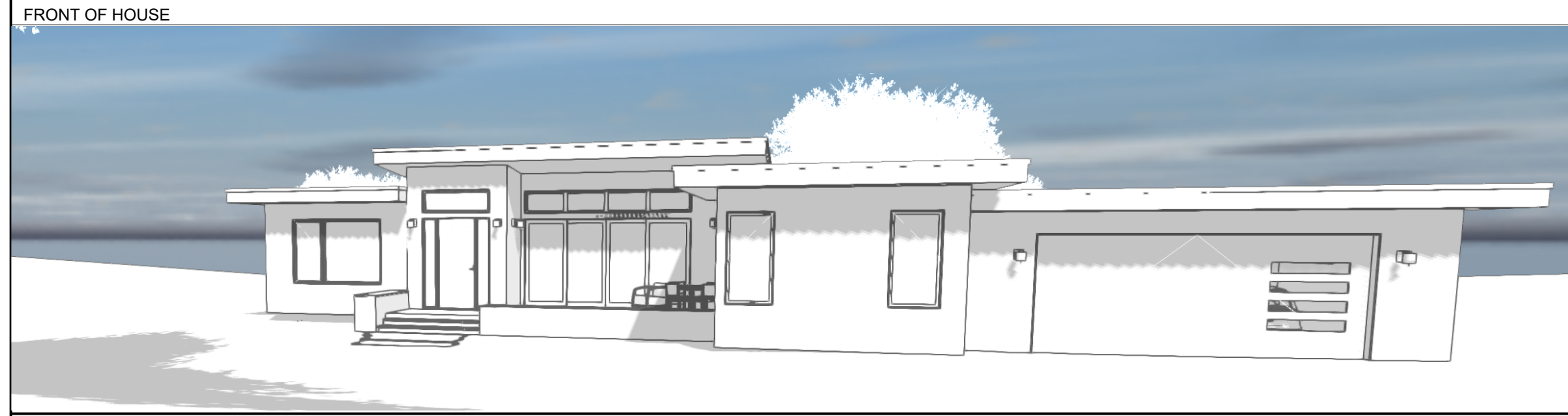
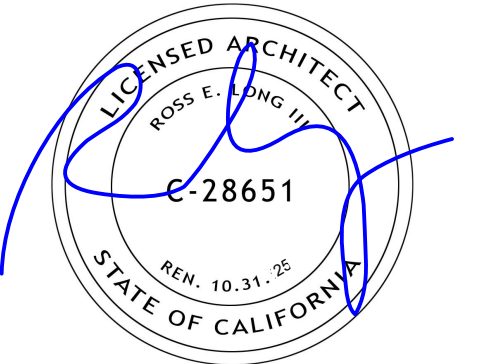
BASALT COLOR ASPHALT (MAIN DRIVEWAY) (CHEM SYSTEMS INC)



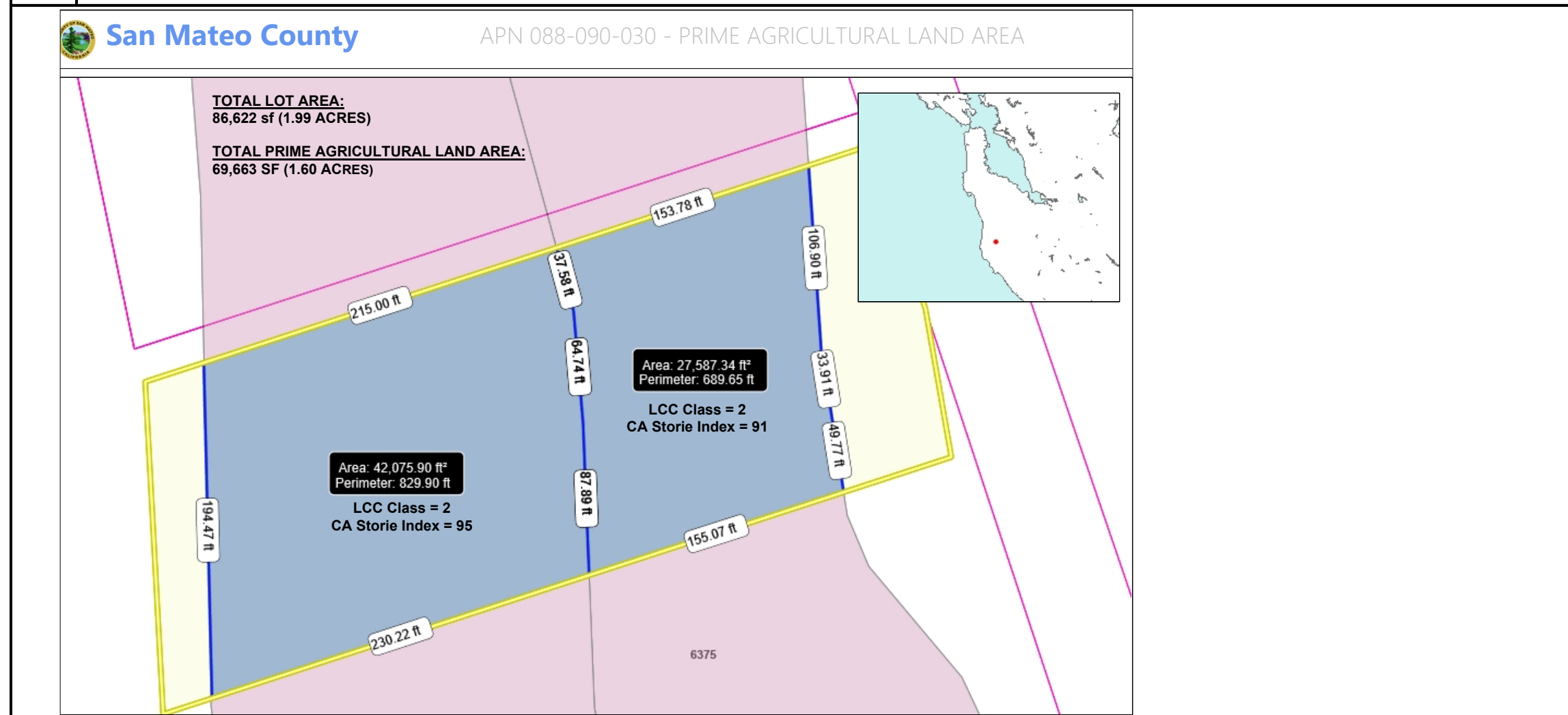
a prefab construction project in pescadero, ca

THE NOLAN-STEVAUX RESIDENCE

PESCADERO CREEK ROAD PESCADERO CA 94060



1 CONCEPTUAL RENDERINGS



2 PRIME AGRICULTURAL SOILS AREA CALCULATION

ARCHITECTURAL	STRUCTURAL	MECHANICAL	PLUMBING	FIRE PROTECTION
X A-0.0 COVER AND MATERIALS X A-0.1 PROJECT INFO X A-0.5.1 COC APPROVAL DOCS X A-0.5.2 COC APPROVAL DOCS X A-0.6.1 MASSING DIAGRAMS X A-0.6.2 PERSPECTIVE VIEW STUDY X A-0.7 MODULAR DIAGRAMS X A-1.1 SURVEY X TM-1 TREE MITIGATION PLAN X A-1.2 SITE PLAN X A-1.2.1 SITE SECTION X A-2.1 LEVEL 1 PLAN X A-2.2 ROOF PLAN X A-3.0 BUILDING SECTIONS X A-4.0 EXTERIOR ELEVATIONS X A-4.1 EXTERIOR ELEVATIONS X A-4.2 EXTERIOR ELEVATIONS X A-7.0 EXTERIOR LIGHTING SCHED.				
X C1 GRADING & DRAINAGE PLAN X C2 EROSION & SEDIMENT CONTROL X OWS-1 SEPTIC SYSTEM PLAN X OWS-2 SEPTIC SYSTEM DETAILS X BMP CONSTUC. BEST MANAG. PRAC.				

CAL GREEN COMPLIANCE

A) WATER CLOSETS. THE EFFECTIVE FLUSH VOLUME OF ALL WATER CLOSETS SHALL NOT EXCEED 1.28 GALLONS PER FLUSH. TANK-TYPE WATER CLOSETS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR TANK-TYPE TOILETS.

B) SINGLE SHOWERHEAD. SHOWERHEADS SHALL HAVE A MAXIMUM FLOW RATE OF NOT MORE THAN 1.8 GALLONS PER MINUTE AT 80 PSI. SHOWERHEADS SHALL BE CERTIFIED TO THE PERFORMANCE CRITERIA OF THE US EPA WATERSENSE SPECIFICATION FOR SHOWERHEADS.

C) MULTIPLE SHOWERHEADS SERVING ONE SHOWER. WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS AND/OR OTHER SHOWER OUTLETS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.

D) RESIDENTIAL LAVATORY FAUCETS. THE MAXIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT EXCEED 1.5 GALLONS PER MINUTE AT 60 PSI. THE MINIMUM FLOW RATE OF RESIDENTIAL LAVATORY FAUCETS SHALL NOT BE LESS THAN 0.8 GALLONS PER MINUTE AT 20 PSI.

E) KITCHEN FAUCETS. THE MAXIMUM FLOW RATE OF KITCHEN FAUCETS SHALL NOT EXCEED 1.8 GALLONS PER MINUTE AT 60 PSI. KITCHEN FAUCETS MAY TEMPORARILY INCREASE THE FLOW ABOVE THE MAXIMUM RATE, BUT NOT TO EXCEED 2.2 GALLONS PER MINUTE AT 60 PSI, AND MUST DEFAULT TO A MAXIMUM FLOW RATE OF 1.8 GALLONS PER MINUTE AT 60 PSI. NOTE: WHERE COMPLYING FAUCETS ARE UNAVAILABLE, AERATORS OR OTHER MEANS MAY BE USED TO ACHIEVE REDUCTION.

F) STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.

G) IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.

H) OPERATION AND MAINTENANCE MANUAL. AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING:

- DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE.
- OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE FOLLOWING:
 - EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT.
 - ROOF AND YARD DRAINAGE, INCLUDING GUTTERS AND DOWNSPOUTS.
 - SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS.
 - LANDSCAPE IRRIGATION SYSTEMS.
 - WATER REUSE SYSTEMS.
- INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS.
- PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA.
- EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE.
- INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE WATER.
- INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST 5 FEET AWAY FROM THE FOUNDATION.
- INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC.
- INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE.
- A COPY OF ALL SPECIAL INSPECTION VERIFICATIONS REQUIRED BY THE ENFORCING AGENCY OR THIS CODE.

I) INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS.

J) SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING.

K) DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS, BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL COMPLIANCE.

3 INTERNATIONAL WILDLAND URBAN INTERFACE

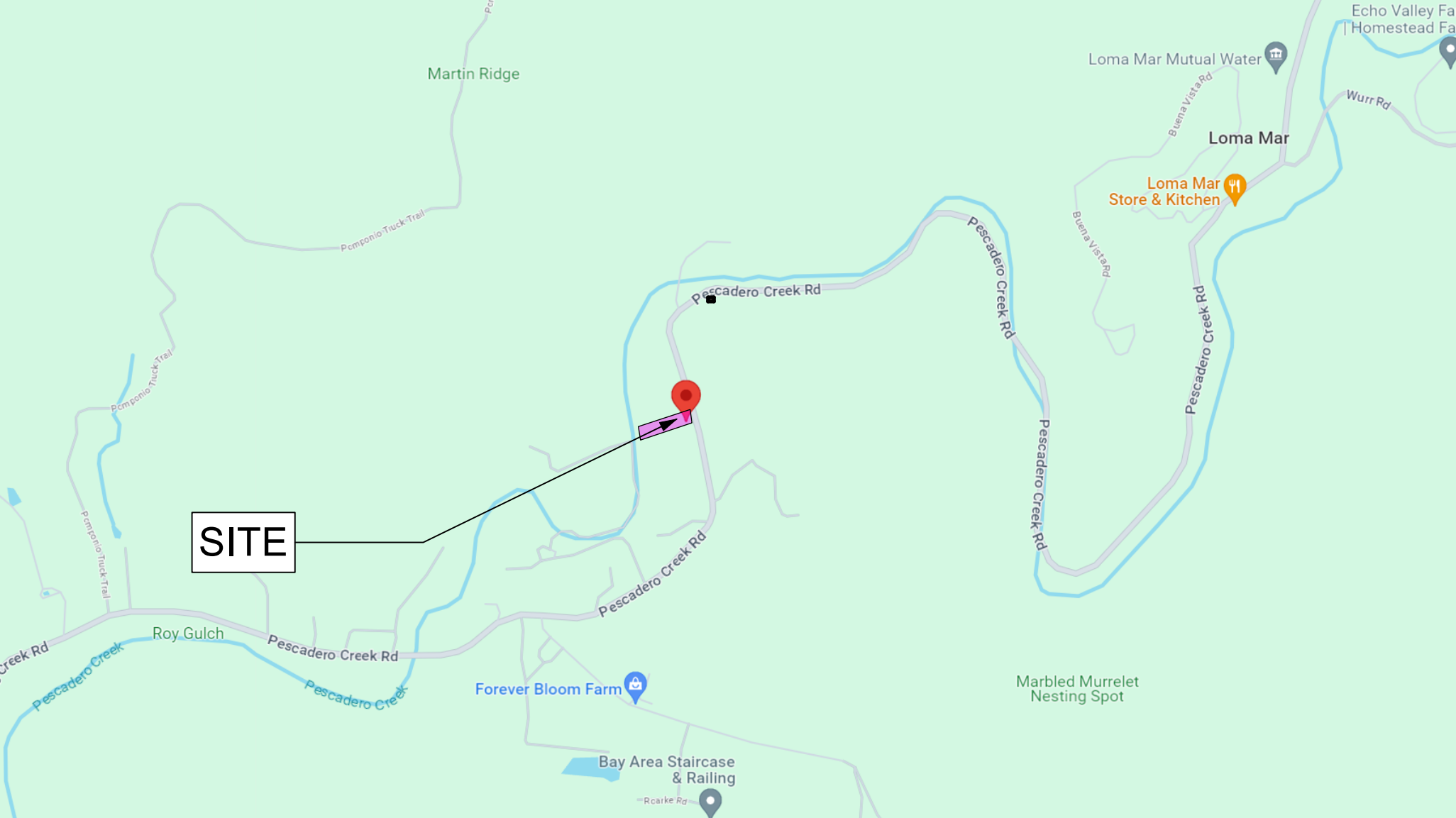
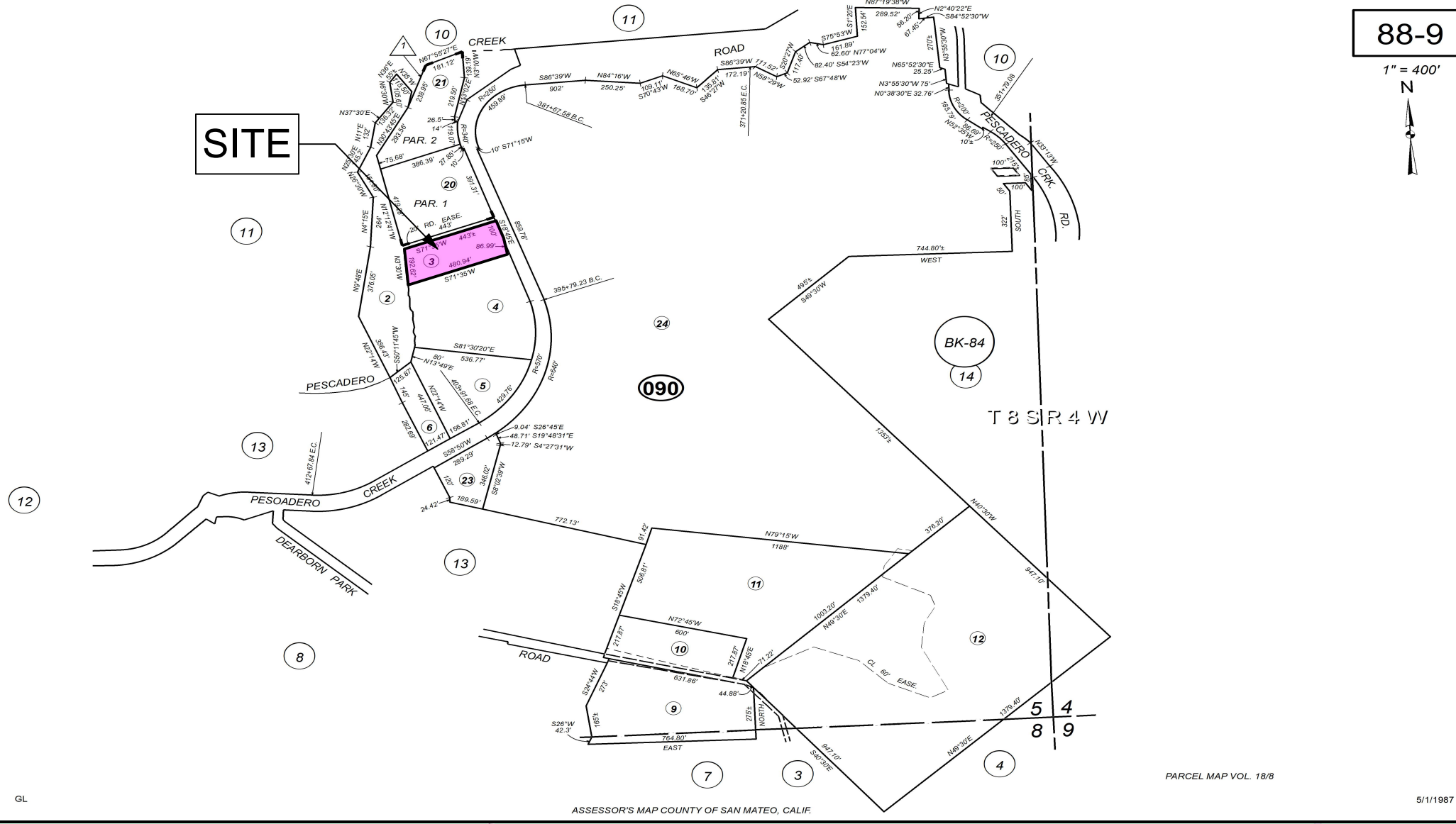
THIS PROJECT CONSISTS OF THE CONSTRUCTION OF A NEW SINGLE FAMILY HOME WITH ATTACHED GARAGE AND DETACHED POOL HOUSE

7 PROJECT DESCRIPTION

2022 CA BUILDING CODE	2022 CA MECHANICAL CODE	2022 CA RESIDENTIAL CODE
2022 CA ENERGY CODE	2022 CA PLUMBING CODE	2022 CALIFORNIA FIRE CODE
2022 CA GREEN CODE	2022 CA ELECTRICAL CODE	

8 CODE REFERENCE

WINDOW SCHEDULE REFERENCE	REVISION REFERENCE	FLR #	FLOOR / CEILING ASSEMBLY REFERENCE	Elev. No.	ELEVATION / SECTION REFERENCE
DOOR SCHEDULE REFERENCE	ALIGN	ALIGN FINISH SURFACES	ELEVATION REFERENCE	Detail No.	DETAIL REFERENCE
WALL ASSEMBLY REFERENCE			Plan No.		



4 VICINITY MAP / PARCEL MAP

OWNER	ARCHITECT	STRUCTURAL	MECHANICAL	CIVIL
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GEOTECH SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 T: 650.728.3590 CONTACT: CHARLES KISSICK, P.E. E: SIGMAPRM@GMAIL.COM	SURVEY ALPHA LAND SURVEYS, INC 4444 SCOTTS VALLEY DRIVE #7 SCOTTS VALLEY, CA 95066 T: 831.438.4453 CONTACT: BRODIE FRENCH, PLS 9301 E: BRODIE@ALPHA-SURVEYORS.COM	ARBORIST INSIDEOUT DESIGN 6000 HARWOOD AVENUE OAKLAND, CA 94618 T: 510.655.7674 CONTACT: PENN PHILLIPS E: PENN@ABOUTINSIDEOUT.COM	MODULAR FABRICATOR BIOLOGIST SOL ECOLOGY P.O. BOX 5214 PETALUMA, CA 94955 T: 707.241.7718 CONTACT: DANA RIGGS E: DRIGGS@SOLECOLOGY.COM	GENERAL CONTRACTOR SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 T: 650.728.3590 CONTACT: CHARLES KISSICK, P.E. E: SIGMAPRM@GMAIL.COM

5 TABLE OF CONTENTS

6 SITE AND BUILDING INFORMATION

9 SYMBOLS

10 CONTACT INFO

ISSUE	DATE
CDP & PAD PLANNING SUBM. V1	071224
CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091025

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 prefab evolved

6114 LA SALLE AVENUE #552, OAKLAND CA 94611
 TOBY LONG, AIA - 415.905.9030 - toby@chxtld.com

MODULAR FABRICATOR

APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
PESCADERO CREEK ROAD
PESCADERO, CA
94060
APN: 088-090-030

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Date 7/30/2024
 SUBJECT: PLN2024-00210, 0 Pescadero Creek Road SFD

This is a preliminary design review of your planning case for fire department requirements at time of submittal. When this design is submitted for a building permit, there may be additional requirements according to the actual design submitted and the current codes at time of building permit submittal. This review is neither permission nor approval for final plan check for a permit. Submit the following information to the planner with the Planning & Building Division of County of San Mateo under the above permit. I offer the following comments/conditions, which will be applied to this project:

Fire Department Access

- CFC 2022 Section 505.1 [Amended]** - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the San Mateo County Fire Department. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.
 Temporary address numbers shall be posted prior to combustible materials being placed on site.
- CFC 2022 Section 503.1.1 [Amended]** - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
Exceptions: The fire code official is authorized to increase the dimension of 150 feet (45 720 mm) where any of the following conditions occur:
 - The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
 - Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
 - There are not more than two Group R-3 or Group U occupancies.

- SMCFD Standard CFS-002** – Water Storage for One- and Two-Family Dwellings up to 3,600 ft² shall be 7,500 gallons reserved for Fire, in addition to any domestic use. If larger than 3600 ft² single family dwelling, use NFPA 1142.
- SMCFD Standard CFS-002** - Fire flow requirements for multiple structures shall be calculated based on the structure requiring the largest Fire Flow per NFPA 1142.
- SMCFD Standard CFS-002** - Water tanks shall be interconnected by using a minimum 4-inch pipe diameter. Interconnection piping and valves must be protected, or of a material not damaged by UV exposure. The cross connection shall also have an appropriately sized control valve located at each tank.
- NFPA 22 Section 4.2.1.2** - Where the water supply from a public service main is not adequate in quality, quantity, or pressure, an alternative water source shall be provided.
- NFPA 22 Section 4.2.1.4** - The water supply shall be capable of filling the minimum required fire protection volume within the tank in a maximum of 8 hours.
- NFPA 22 Section 4.15.2** - A vent pipe shall have a cross-sectional area equal to a minimum of one-half the area of the discharge pipe(s) or fill pipe, whichever is the larger.
- NFPA 24 Section 4.2.1** - Installation work shall be done by fully experienced and responsible contractors. Contractors shall be appropriately licensed in the State of California to install private fire service mains and their appurtenances.
- NFPA 24 Section 10.9.1** - Backfill shall be well tamped in layers or puddle under and around pipes to prevent settlement or lateral movement. Backfill shall consist of clean fill sand or pea gravel to a minimum 6 inches below and to a minimum of 12 inches above the pipe and shall contain no ashes, cinders, refuse, organic matter or other corrosive materials. Other backfill materials and methods are permitted where designed by a registered professional engineer and approved by the enforcing agency.
- SMCFD Standard CFS-002** - Water tanks located closer than 30 feet of structures or flammable vegetation shall be constructed of non-combustible materials.

Fire Hydrants

- CFC 2022 Section 507.5.1** - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.
Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).
- SMCFD Standard CFS-002** - Hydrants shall be located no closer than 50 feet to any building, no further away than 150 feet of the protected structure, and be located on the fire department access side of the building.
- SMCFD Standard CFS-002** - Hydrants shall be placed in a concrete pad 4 inches deep, and 2 ft. by 2 ft. minimum at base.

- Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities and unmanned cellular sites.
- CFC 2022 Section 503.2.3** - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
- CFC 2022 Section 503.2.5** - Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within San Mateo County Fire jurisdiction must comply with CFC 2022 Appendix D.
- CFC 2022 Section 503.2.7** - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004.
- Provide driveway profile that shows grade and turn radius.**

Smoke Alarms and Egress

- CFC 2022 Section 907.2.11.2** - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.
 - In each room used for sleeping purposes.
 - In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - In a Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.
 Smoke Detectors shall be hardwired and interconnected.
- CFC 2022 Section 1031.3.1** - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).
Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m²).
- CFC 2022 Section 1031.3.2** - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
- CFC 2022 Section 1031.3.3** - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
- CFC 2022 Section 1031.4** - Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.

Wildland-Urban Interface

- SMCFD Standard CFS-002** - Hydrants shall be positioned so the center of the discharge is 30 inches to 36 inches above grade and be within 5 feet of the fire department access roadway.
- SMCFD Standard CFC 2022 Section 507.5.5** - A 3-foot (914 mm) clear space shall be maintained around the circumference of fire hydrants, except as otherwise required or approved.
- SMCFD Standard CFC 2022 Section 507.5.6** - Where fire hydrants are subject to impact by a motor vehicle, guard posts or other approved means shall comply with Section 312.
- SMCFD Standard CFS-002** - Hydrant supply pipe shall be listed and approved for fire protection service for underground pipe, such as AWWA C900. Pipe shall be buried a minimum of 30 inch below grade (36 inch if the pipe passes under a road or is subject to heavy loads).
- SMCFD Standard CFS-002** - Concrete thrust blocks shall be sized in accordance with national standards and shall be provided at all changes in pipe direction.
- SMCFD Standard CFS-002** - The hydrant riser and elbow shall be steel. All above ground piping used for fire hydrant water supply shall be metallic.
- SMCFD Standard CFS-002** - Rural hydrants used for drafting shall have at least one 4½" outlet with National Hose thread and shall have a removable metallic cap. Wharf hydrants that are gravity or pump fed may use a single discharge that has a 2½" outlet with National Hose thread.
- SMCFD Standard CFS-002** - Hydrants shall have a permanent sign affixed, red in color with white 1-inch letters stating "Wet Draft Hydrant, # gallons", with the gallons of water available for the hydrant provided.

All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.

Our review is not construed as encompassing the structural integrity of the facility, nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.

NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.

For additional information or to schedule an inspection you may contact the San Mateo County Fire Department Fire Marshal's Office at SMCFDFiremarshal@fire.ca.gov.

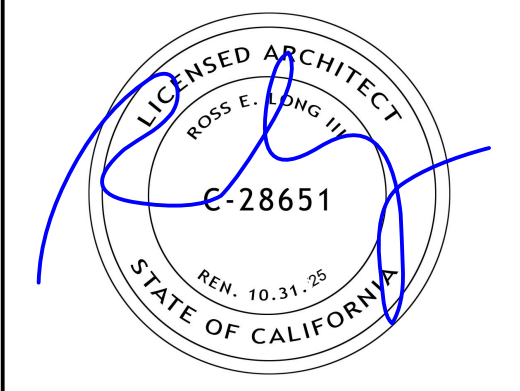
Clinton Dyer
 Deputy Fire Marshal

This property is located in the SRA Very High Fire Severity Zone.

- CBC 2022 Section 705A.1** - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be **Class A** rating when tested in accordance with ASTM E108 or UL790.
- CFC 2022 Section 304.1.2** - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
- CFC 2022 Section 4907.1** - Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations.
 - Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.
- CFC 2022 Section 4907.2** - Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:
 - All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA).
 - Land designated as a Very High Fire Hazard Severity Zone by the Director.
 - Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.
- CFC 2022 Section 507.1** - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
- CFC 2022 Section 507.2.1** - Private fire service mains and appurtenances shall be installed in accordance with NFPA 24 as amended in Chapter 80.
- CFC 2022 Section 507.2.2** - Water tanks for private fire protection shall be installed in accordance with NFPA 22.
- CFC 2022 Section B105.1** - The minimum fire-flow and flow duration requirements for one- and two-family dwellings, Group R-3 and R-4 buildings and townhouses shall be as specified in Tables B105.1(1) and B105.1(2).
 Required Fire Flow: **500 GPM**
- CFC 2022 Section B105.3** - For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:
 - The automatic sprinkler system demand, including hose stream allowance.
 - The required fire flow.

Water Tanks or Sources

21. Fire Sprinklers required. New residential structures shall be equipped with a fire sprinkler system that is compliant with NFPA 13D and San Mateo County Ordinance.



ISSUE	DATE
CDP & PAD PLANNING SUBM. V1	071224
CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091925



MODULAR FABRICATOR

APPROVAL STAMP

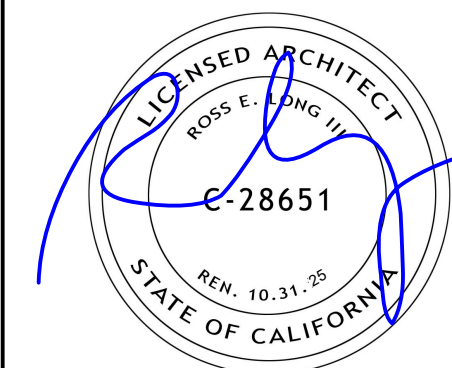
THE NOLAN-STEVAUX RESIDENCE
 PESCADERO CREEK ROAD
 PESCADERO, CA
 94060
 APN: 088-090-030

COC APPROVAL

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ARCHITECT



MODULAR FABRICATOR

APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
 PESCADERO CREEK ROAD
 PESCADERO, CA
 94060
 APN: 088-090-030

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Drainage Conditions Pescadero Creek Rd - PLN2024-00210 07/09/25

Conditions:

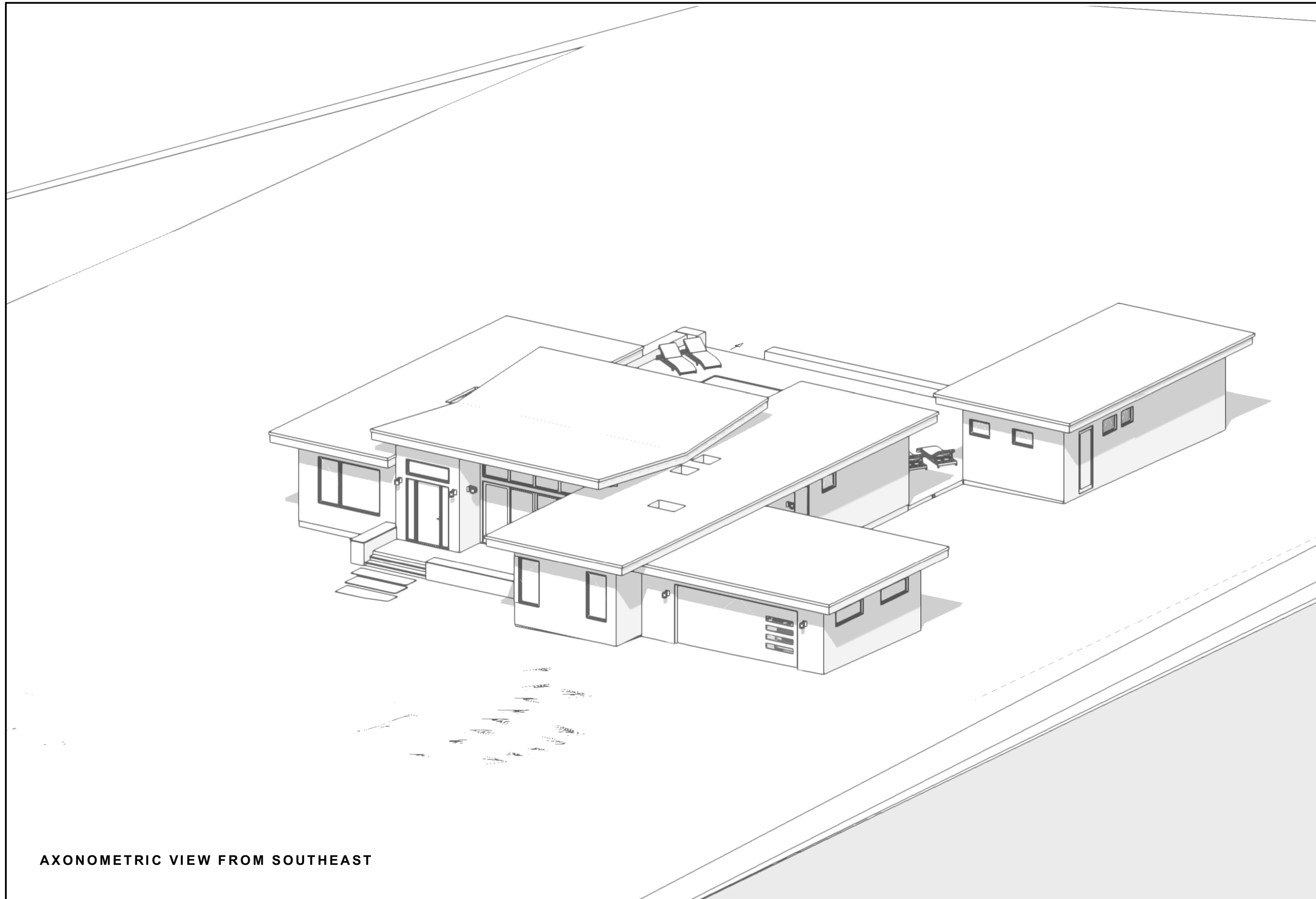
- DRA 1. Per the State Water Board Municipal Regional Permit (MRP), if project creates and/or replaces 10,000 square feet or more of impervious surface, then project will be classified as a C3 Regulated Project and would be subject to C3 Regulations. If during the building permit phase, project creates and/or replace 10,000 or more of impervious surface, then project will be subject to the C.3 Requirements under the State Water Board Municipal Regional Permit (MRP).
- DRA 2. A **pervious pavement** detail shall be provided at the building permit phase. To determine whether pervious pavement is counted as an impervious or pervious surface, please refer to the San Mateo County Drainage Manual and the C.3 Regulated Projects Guide.
- DRA 3. Project will comply with County drainage policy to prevent stormwater from development from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the Building permit or Planning permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
- DRA 4. A final C.3 and C.6 Development Review Checklist, drainage analysis/drainage report, and drainage plan prepared by a registered Civil Engineer will be provided at the time of building permit submittal.
- DRA 5. Project will provide a detail of the deck which will include the spacing between boards and the type of surface underneath the deck. To determine whether deck is counted as a pervious surface, please refer to the San Mateo County Drainage Manual.
- DRA 6. Final Drainage Report will have information and provide calculations showing that the drainage/stormwater facilities meet the County's Peak Flow and Volume Requirement.
- DRA 7. Drainage/Stormwater Facilities shall meet the horizontal and vertical setbacks from foundations, utilities, groundwater table, property lines, septic systems, etc. as described in the San Mateo County Drainage Manual and the C3 Regulated Project Guide.
- DRA 8. Advisory Comment: Based on the information received, this project is classified as a "Standard" drainage project. It is possible that new or additional information provided upon the next submittal could advance the project classification. To avoid delays or additional plan review cycles please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.

Drainage Conditions Pescadero Creek Rd - PLN2024-00210 07/09/25

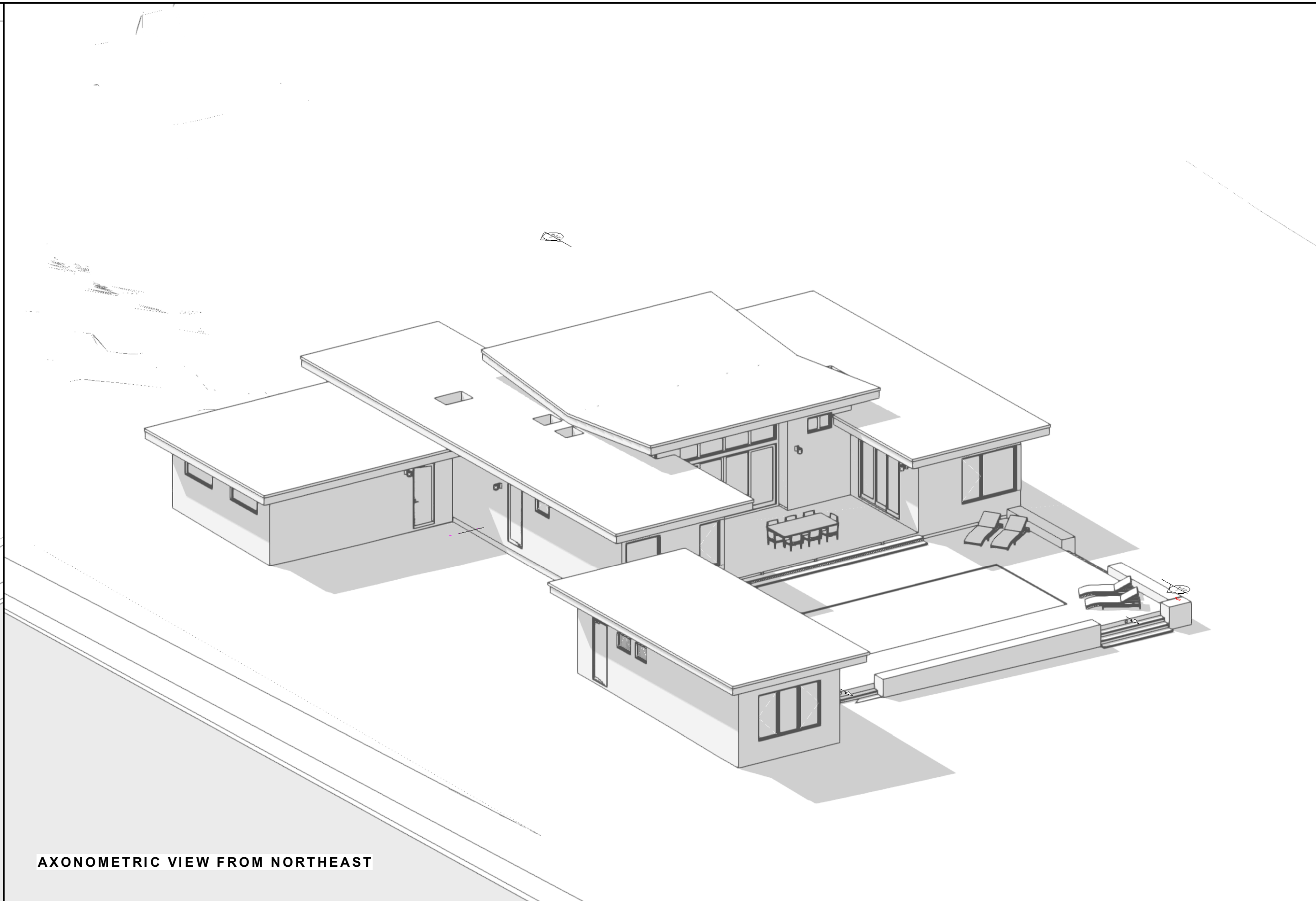
- DRA 9. Advisory note: The project parcel is near a FEMA flood zone. At the time of the review, the project site is not in a FEMA flood zone. During the building permit phase, if the FEMA flood maps get updated where they show the project site is in a FEMA flood zone, then the project will be subject to FEMA regulations and must comply with FEMA standards in the building code and ASCE 24.
- DRA 10. If project is classified as a C3 Regulated Project, no treatment measures (other than properly sealed and screened cisterns or rain barrels) shall have standing water more than five (5) days for vector control.
- DRA 11. If project is classified as a C3 Regulated Project, prior to the final of the building permit for the project, the property owner shall coordinate with the Project Planner to enter into an Operation and Maintenance Agreement (O&M Agreement) with the County (executed by the Community Development Director) to ensure long-term maintenance and servicing by the property owner of stormwater site design and treatment control and HM measures according to the approved Maintenance Plan(s), for the life of the project. The O&M Agreement shall provide County access to the property for inspection. The Maintenance Agreement(s) shall be recorded for the property and/or made part of the CC&Rs.
- DRA 12. If project is classified as a C3 Regulated Project, property owner shall be responsible for conducting all servicing and maintenance as described and required by the treatment measure(s) Maintenance Plan(s). Maintenance of all site design and treatment control measures shall be the owner's responsibility.
- DRA 13. If project is classified as a C3 Regulated Project, the property owner is responsible for submitting an Annual Report accompanied by a review fee to the County by December 31 of each year, as required by the O&M Agreement. The property owner is also responsible for the payment of an inspection fee for County inspections of the stormwater facility, conducted as required by the NPDES Municipal Regional Permit.
- DRA 14. If project is classified as a C3 Regulated Project, approved Maintenance Plan(s) shall be kept on-site and made readily available to maintenance crews. Maintenance Plan(s) shall be strictly adhered to.
- DRA 15. If project is classified as a C3 Regulated Project, site access shall be granted to representatives of the County, the San Mateo County Mosquito and Vector Control District, and the Water Board, at any time, for the sole purpose of performing operation and maintenance inspections of the installed stormwater treatment systems and runoff controls. A statement to that effect shall be made a part of the Maintenance Agreement and/or CC&Rs recorded for the property.
- DRA 16. If project is classified as a C3 Regulated Project, property owner shall be required to pay for all County inspections of installed stormwater treatment systems as required by the Regional Water Quality Control Board or the County.

Drainage Conditions Pescadero Creek Rd - PLN2024-00210 07/09/25

- DRA 17. Per County's definition of SWRS sites, sites that situate more than 10,000 sq ft of project area and are on a slope of less than 50% will be classified as a SWRS site and are subject to the State Water Board MRP provision C.3. Projects subject to MRP provision C.3 are subject to monthly inspections from October 1 to April 30. Please refer to the most recent edition of the MRP for C.3 as well as C.6.e.ii.



AXONOMETRIC VIEW FROM SOUTHEAST



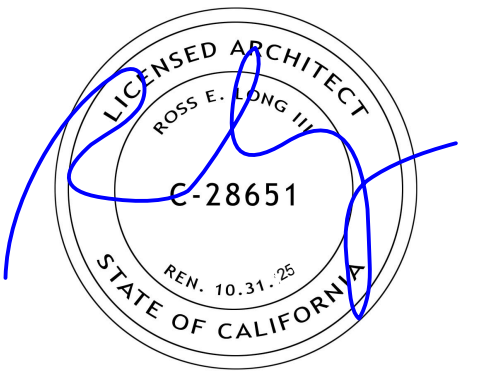
AXONOMETRIC VIEW FROM NORTHEAST



AXONOMETRIC VIEW FROM NORTHWEST



AXONOMETRIC VIEW FROM SOUTHWEST



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MODULAR FABRICATOR

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94060
APN: 088-090-030

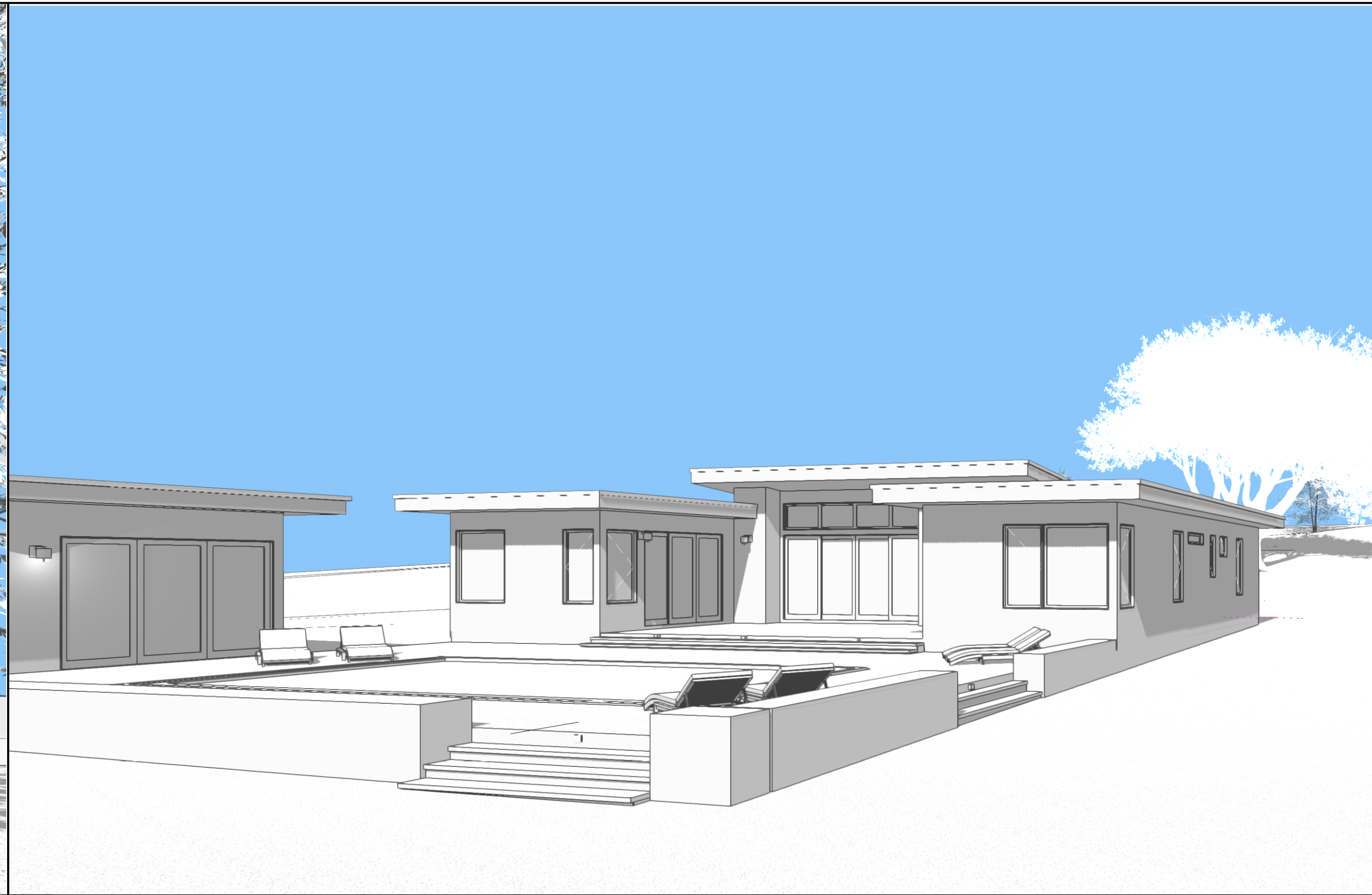
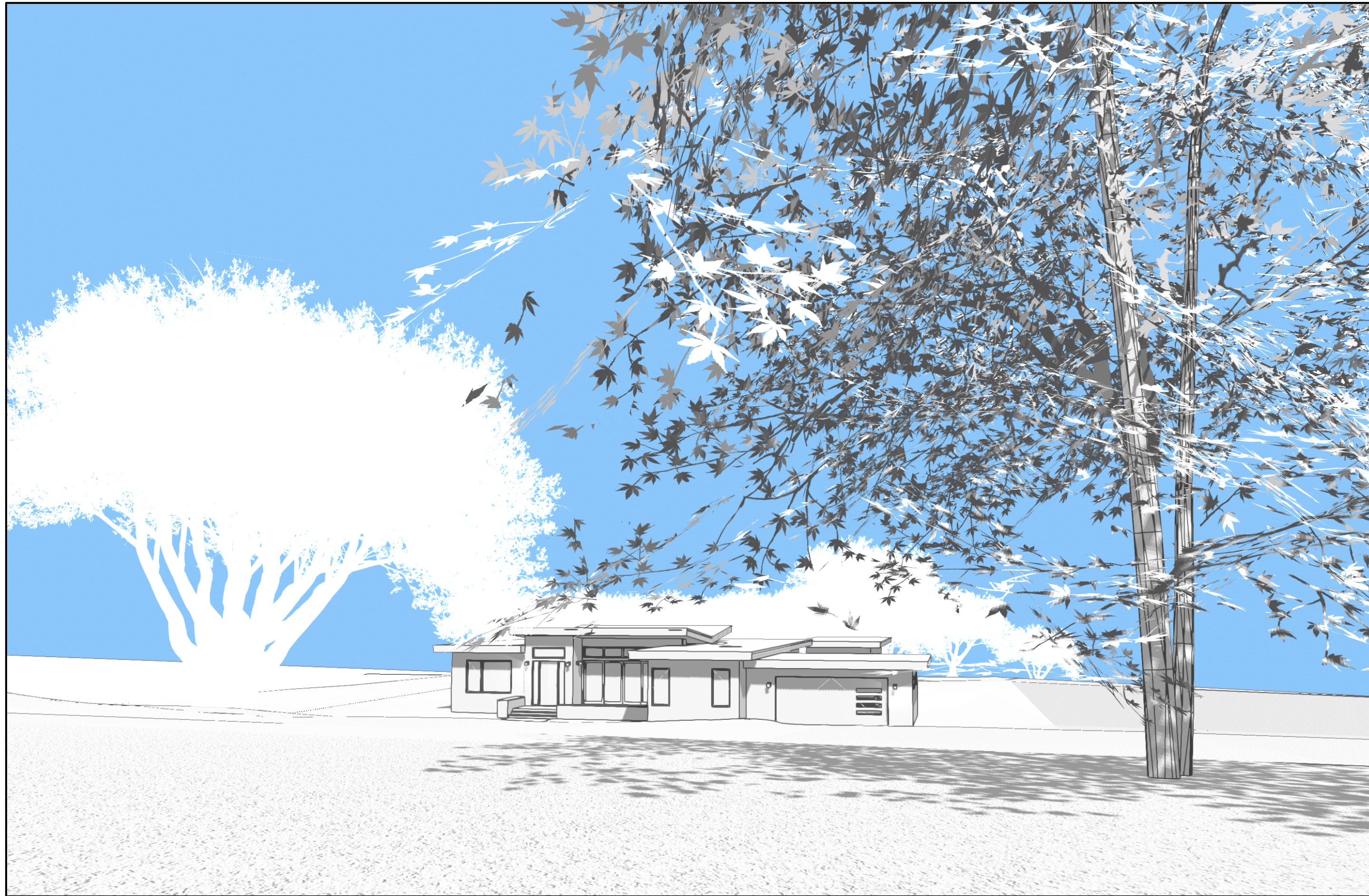
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DIAGRAMS

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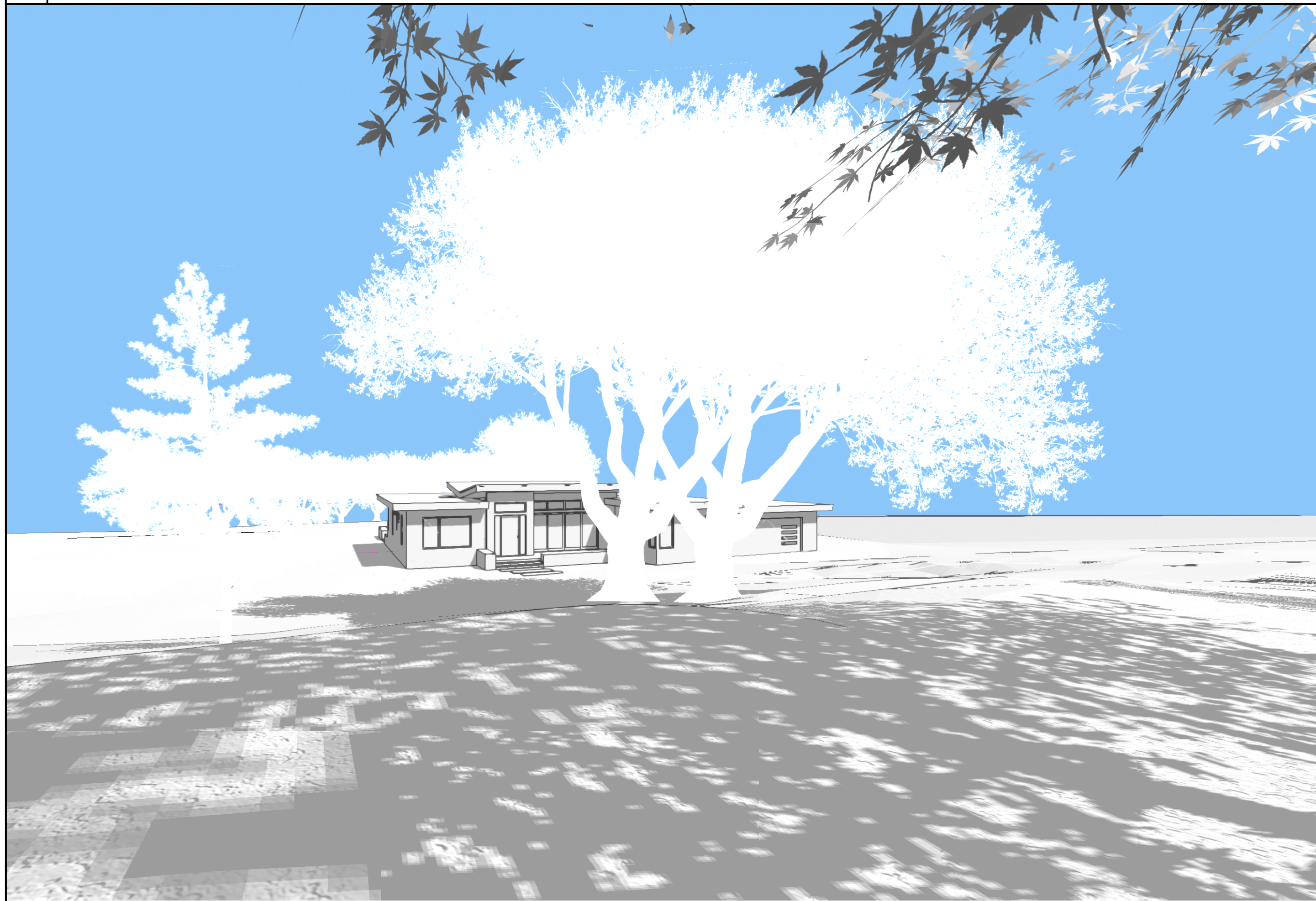
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3 PERSPECTIVE VIEW STUDY FROM NORTHEAST OF PROPERTY

4 PERSPECTIVE VIEW STUDY FROM SOUTHWEST OF PROPERTY



1 PERSPECTIVE VIEW STUDY FROM SOUTHEAST OF PROPERTY

2 PERSPECTIVE VIEW STUDY FROM NORTHWEST OF PROPERTY



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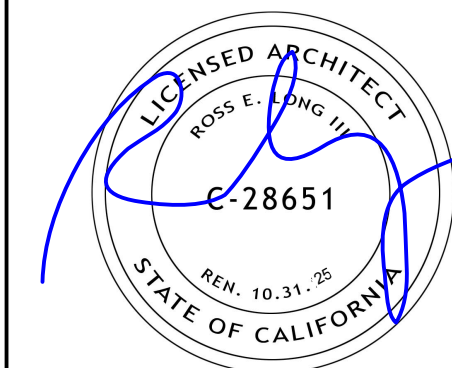
PERSPECTIVE VIEW STUDY

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THE NOLAN-STEVAUX RESIDENCE
PESCADERO CREEK ROAD
PESCADERO, CA
94060
APN: 088-090-030

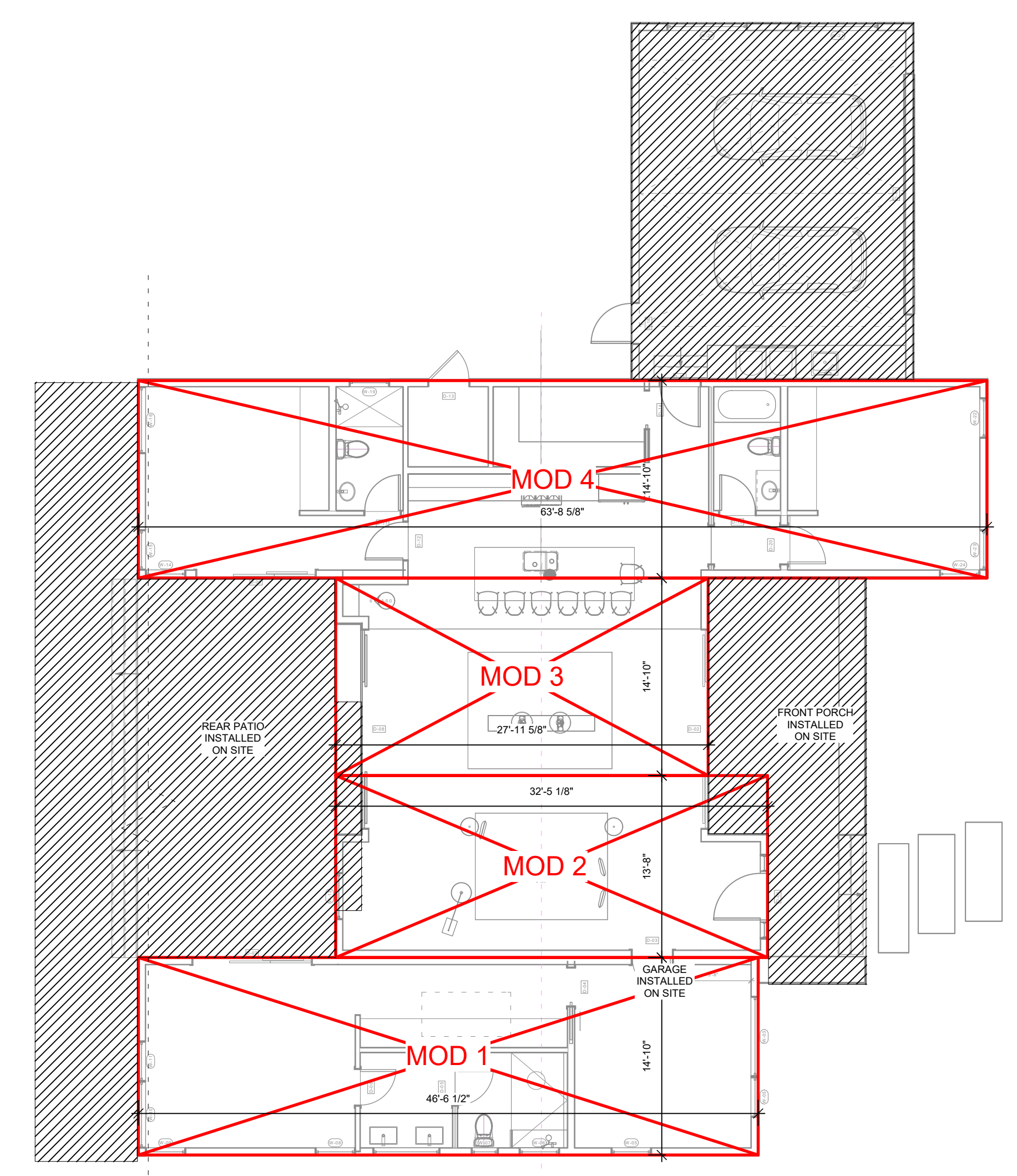
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DIAGRAMS

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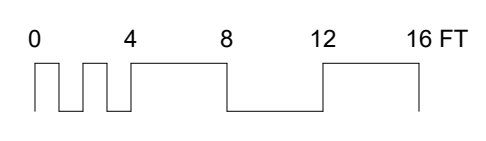
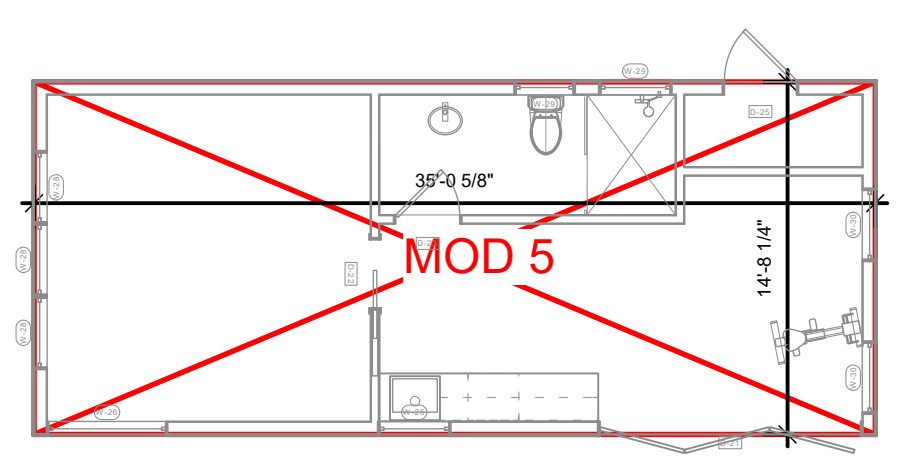
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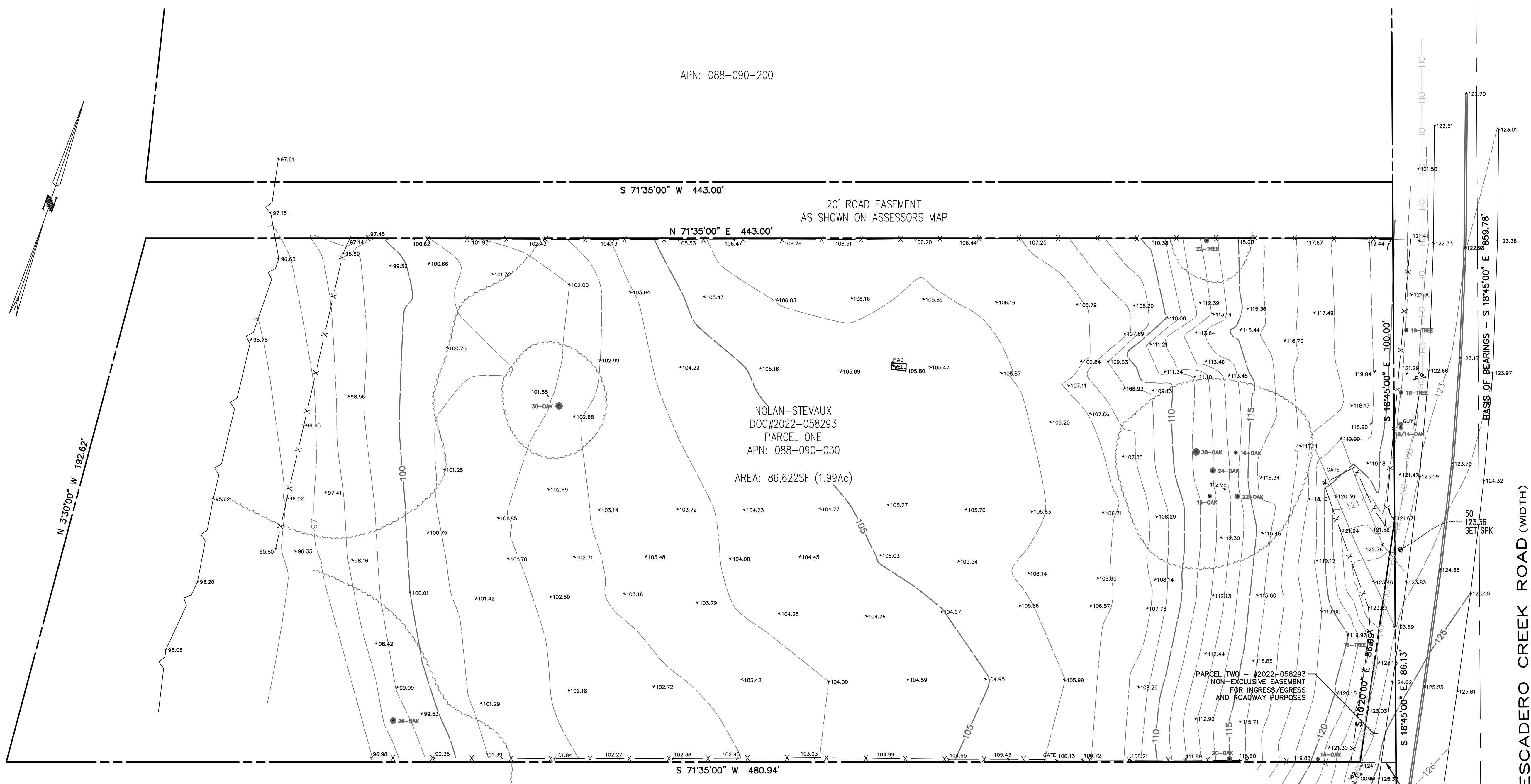
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FIRST FLOOR



APN: 088-090-200



BASIS OF BEARINGS

BEARINGS FOR THIS SURVEY ARE BASED ON THE CENTERLINE OF PESCADERO CREEK ROAD AS SHOWN ON THAT MAP FILED IN VOLUME 18 OF PARCEL MAPS AT PAGE 8, SAN MATEO COUNTY RECORDS.

SOUTH 18°45' EAST

BASIS OF ELEVATIONS

ELEVATIONS FOR THIS SURVEY ARE SHOWN IN THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AND WERE ESTABLISHED WITH A REALTIME KINEMATIC (RTK) GPS TIE TO CONTROL SET AS A PART OF THIS PROJECT. SITE BENCHMARK IS CONTROL POINT #50 AS SHOWN HEREON.

ELEVATION #50 = 123.36' (NAVD88)

TREE NOTE

TREE DIAMETERS ARE MEASURED AT APPROXIMATELY CHEST HEIGHT. USE CAUTION WHEN DESIGNING CLOSELY TO TREE TRUNKS BY TAKING INTO CONSIDERATION THE POSSIBLE "SPREAD" OR "LEAN" OF TREES.

UTILITY NOTE

UTILITY LOCATIONS ARE APPROXIMATE. UTILITIES SHOWN ON THIS MAP WERE DETERMINED FROM SURFACE EVIDENCE OF UNDERGROUND LOCATIONS, DURING A SURVEY BY ALPHA LAND SURVEYS IN OCTOBER 2023.

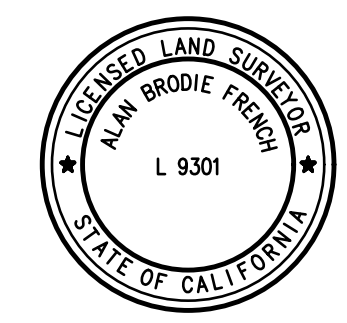
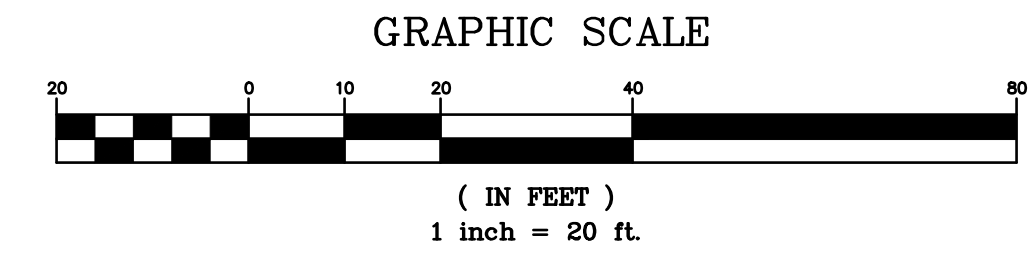
LEGEND

- PROPERTY LINE
- - - EASEMENT LINE
- CONTOUR INTERVAL, MAJOR
- CONTOUR INTERVAL, MINOR
- DRIP LINE
- X X X FENCE LINE
- OH OH OH OH OVERHEAD UTILITY LINE
- TOP OF CREEK BANK
- TIE LINE
- DISTANCE MEASURED
- RECORD DATA
- FOUND MONUMENT, AS NOTED
- ◆ RANDOM CONTROL POINT
- TREE, AS NOTED
- SPOT ELEVATION

CONTOUR INTERVAL = 1 FOOT
DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF

RECORD BOUNDARY NOTE

THE RECORD BOUNDARY SHOWN IS BASED ON FOUND MONUMENTS. A TITLE REPORT WAS NOT PROVIDED FOR THE PREPARATION OF THIS MAP. EASEMENTS SHOWN ARE PER RECORD DATA AS NOTED HEREON. PARCELS MAY BE SUBJECT TO EASEMENTS AND RIGHT OF WAYS OF RECORD THAT ARE NOT SHOWN ON THIS MAP.



Alan Brodie French

SAN MATEO COUNTY APN: 088-090-030

ALPHA LAND SURVEYS, INC.

4444 SCOTTS VALLEY DR. #7 SCOTTS VALLEY, CA 95066 (831) 438-4453	P.O. BOX 1146 MORGAN HILL, CA 95038 (831) 438-4453	TOPOGRAPHIC MAP VACANT PARCEL APN: 088-090-030 PESCADERO CREEK ROAD COUNTY OF SAN MATEO	SHEET 1 OF ONE
--	--	---	----------------------

1" = 20' DATE: 1/10/2024

JOB#: 2023-197



ISSUES:
 10.22.2024 County Review
 03.05.2025 County Review revised

PLANT LIST

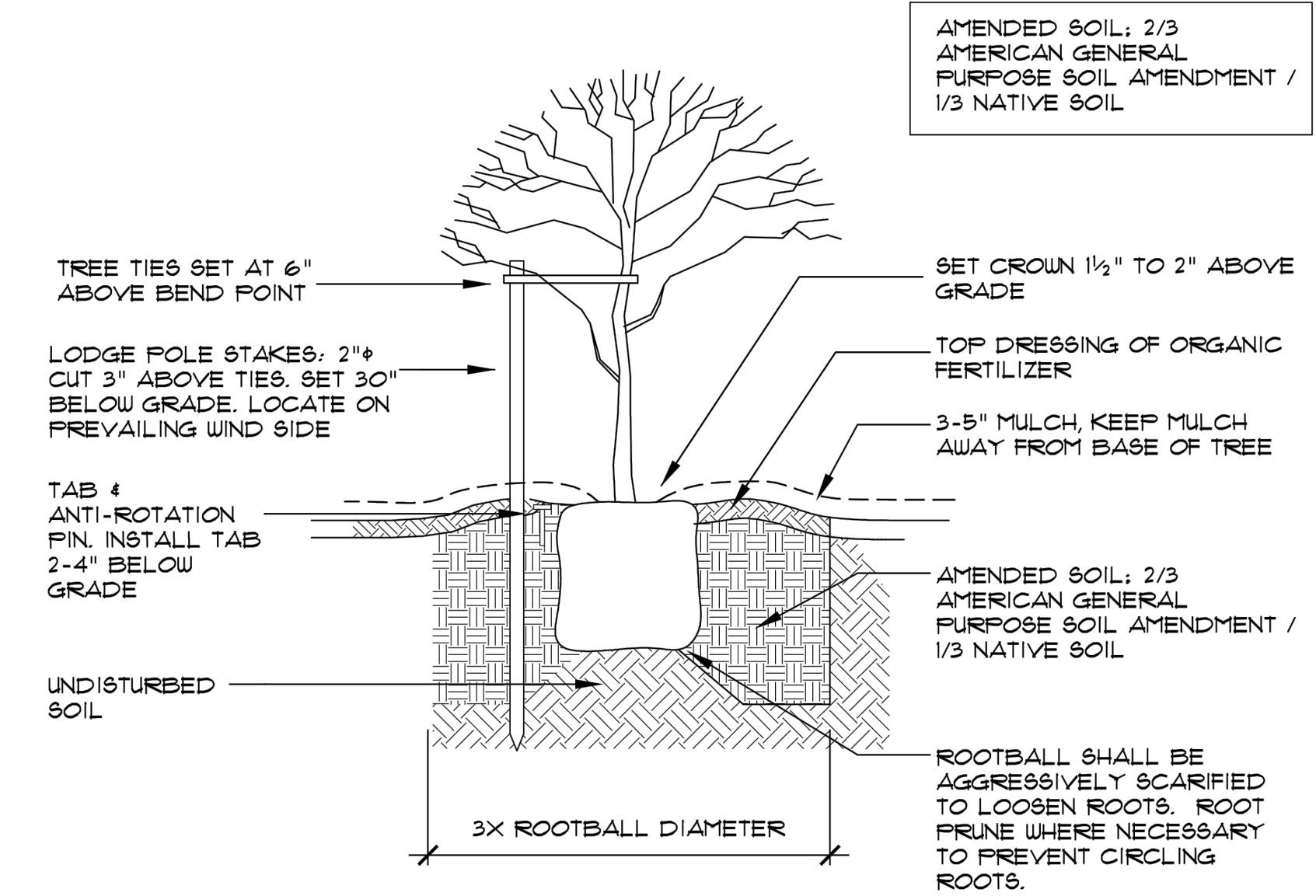
TREES	Symbol	Latin name	Common name	Size	Int. Ht.	Height	Width	Spacing	Quantity	WUCOLS
CO		Cercis occidentalis	Western redbud	24" box	7'	18'	18'	As shown	5	VL

*Int. Ht. = approximate height of plant when installed

NOTE: TREES TO BE WATERED BY BUBBLER SYSTEM (WELO COMPLIANT) AND SHALL BE WATERED WITH A WATER-EFFICIENT IRRIGATION SYSTEM PER COUNTY CODE

Notes:

- Five (5) 24" box Western redbuds proposed to replace the removal of four (4) black walnuts; and one (1) fruit tree.
- See Arborist Report, dated June 19, 2024, for existing tree information and tree protection measures.



1 TREE PLANTING and STAKING
 NTS



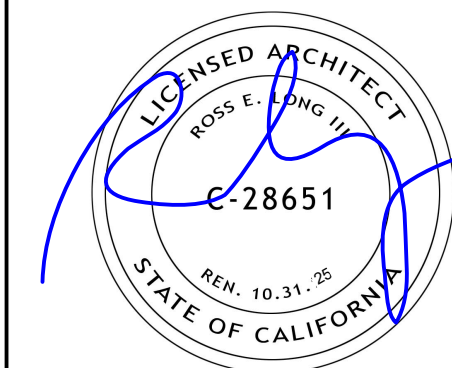
FOR REVIEW ONLY: NOT FOR CONSTRUCTION

Nolan-Stevau Residence
 Pescadero Creek Rd
 Pescadero, CA
 APN 088-090-030

TITLE:
Proposed Mitigation Plan

SCALE: 1/8"=1'-0"
 DATE: 22 OCT 2024

DRAWING NO:
TM 1



ISSUE	DATE
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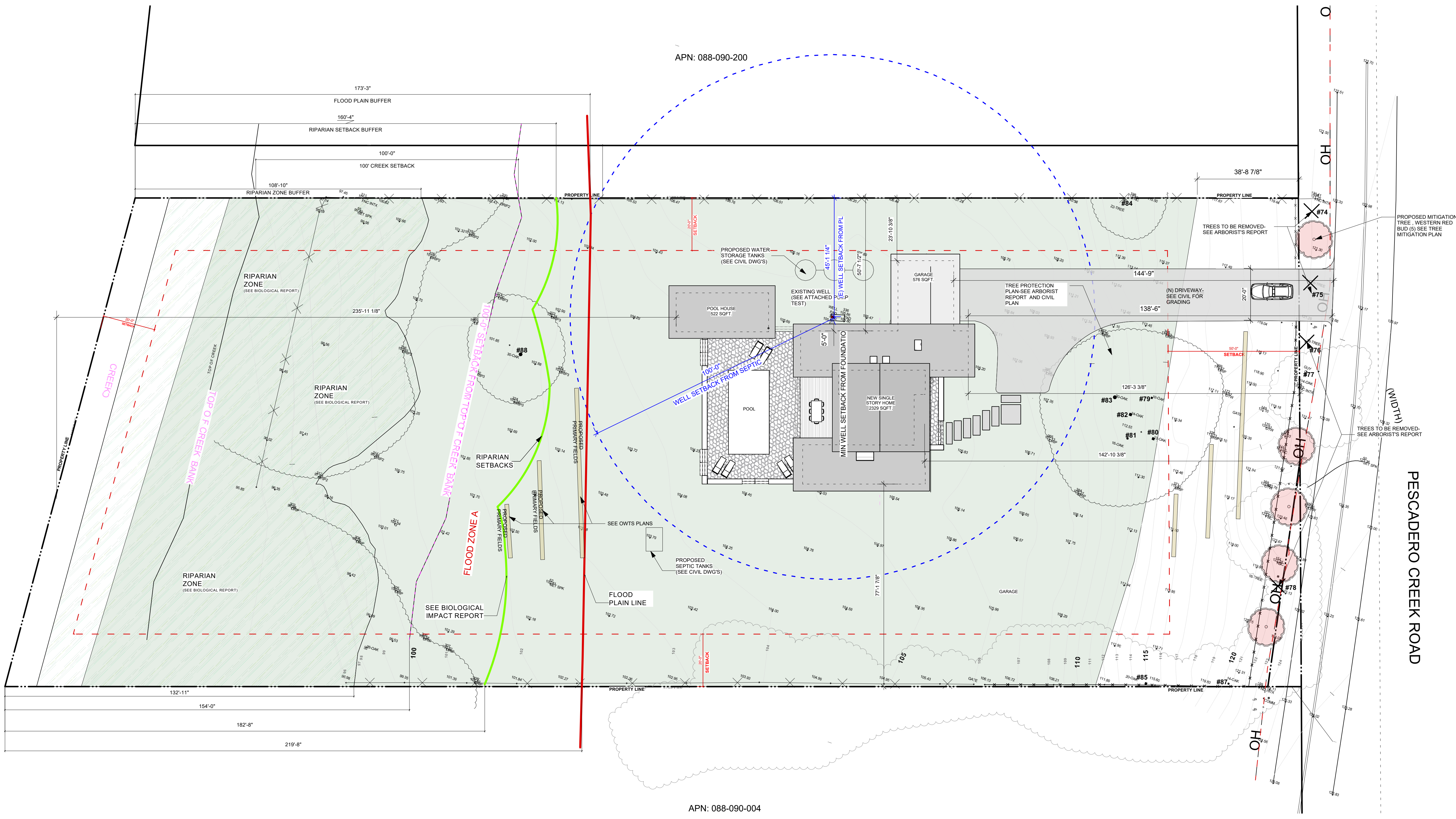
SITE PLAN

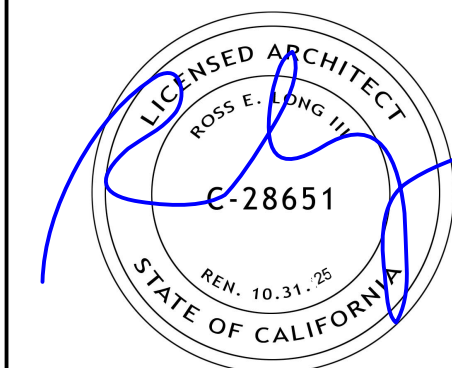
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scale
1" = 20'-0"

sheet
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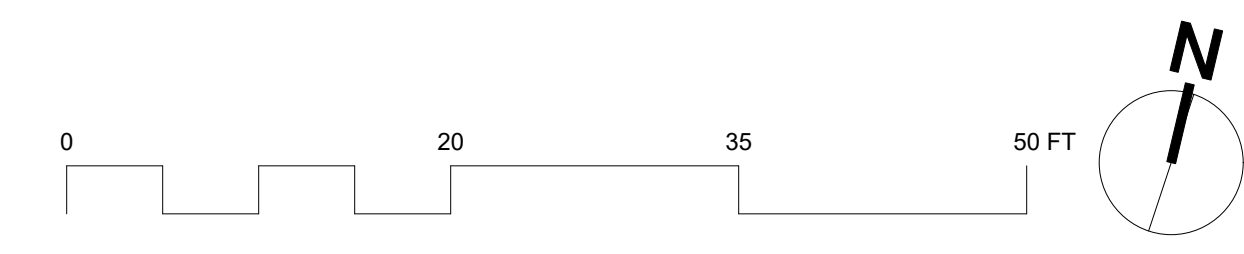
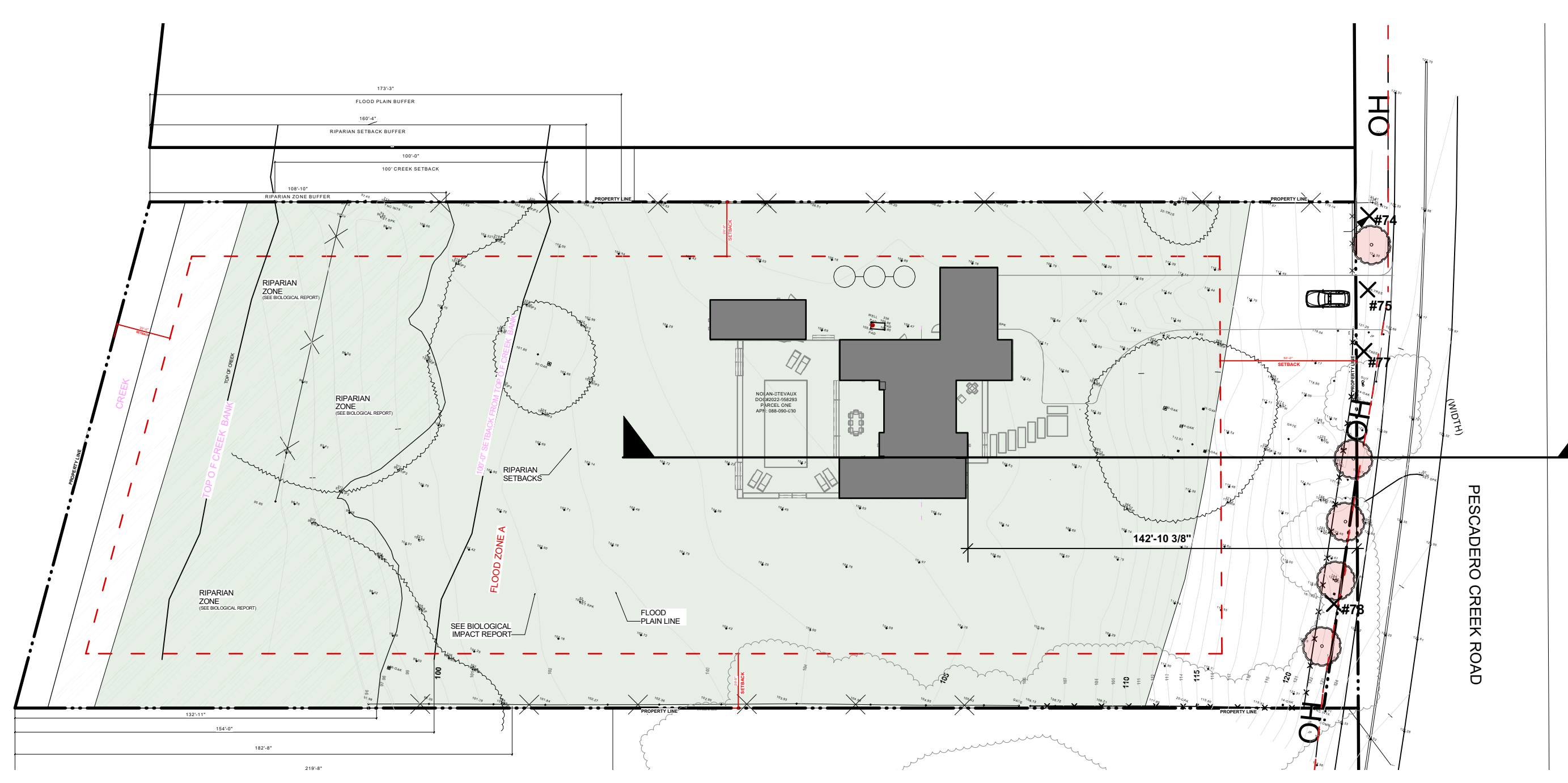
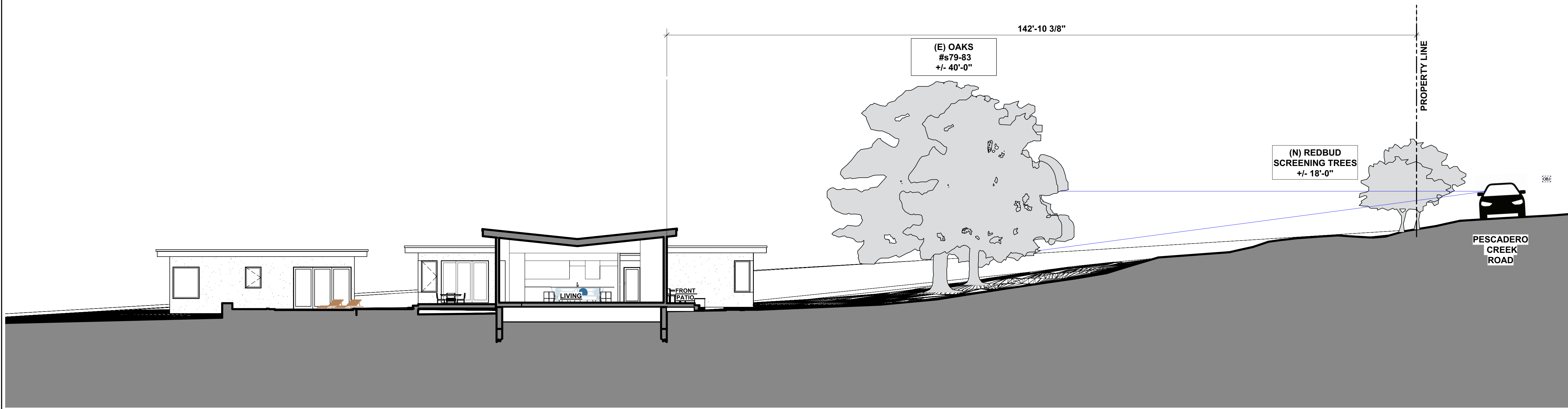
SITE SECTION

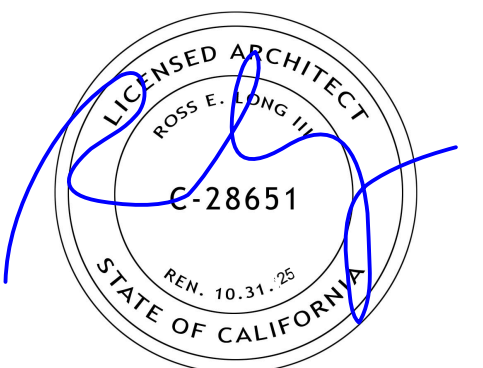
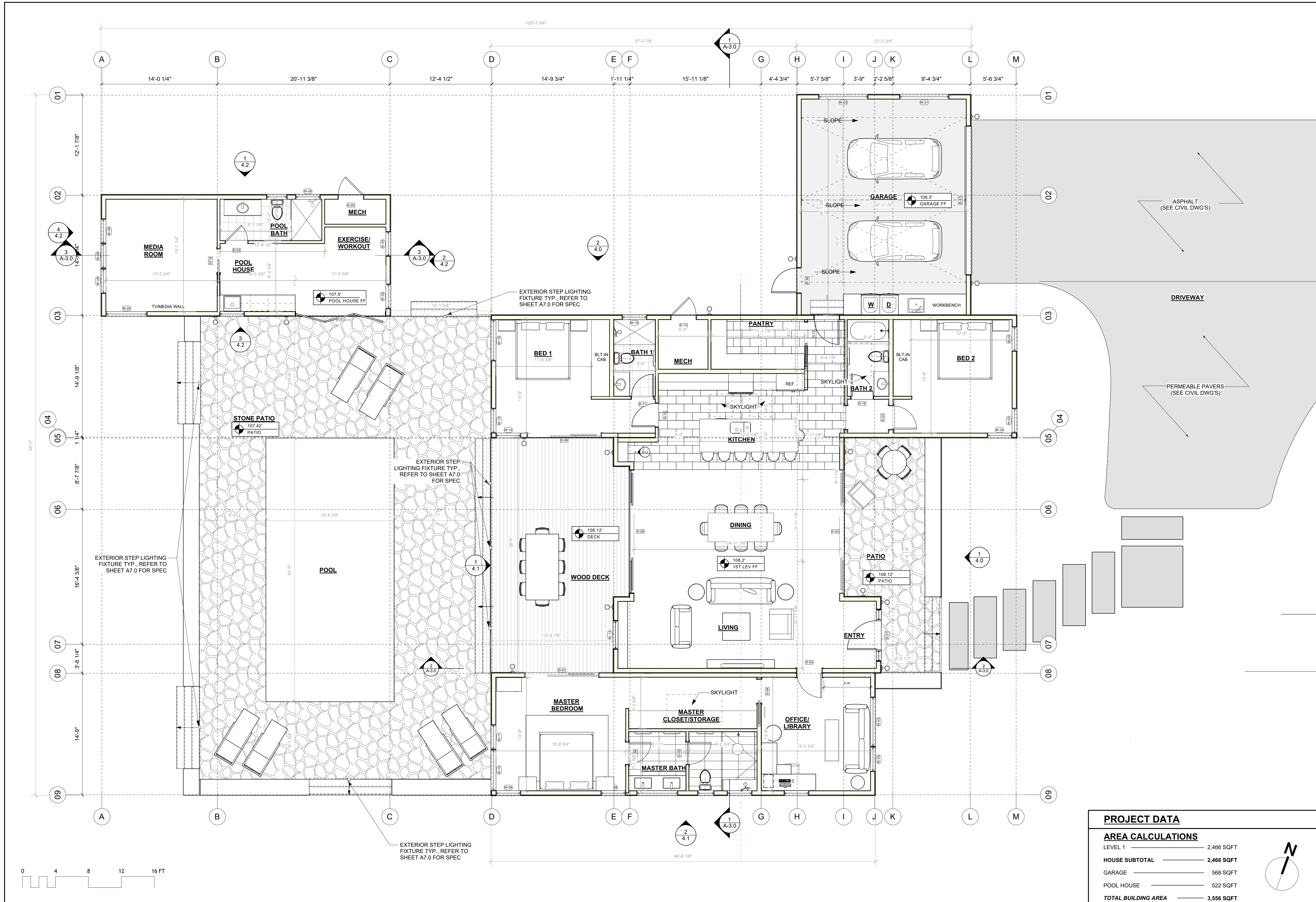
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scale
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94060
APN: 088-090-030

LEVEL 1 PLAN

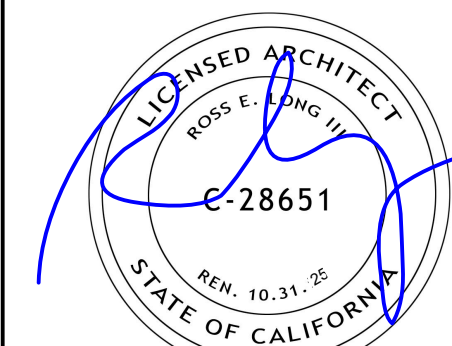
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PROJECT DATA	
AREA CALCULATIONS	
LEVEL 1	2,466 SQFT
HOUSE SUBTOTAL	2,466 SQFT
GARAGE	588 SQFT
POOL HOUSE	522 SQFT
TOTAL BUILDING AREA	3,556 SQFT

scale
3/16"=1'-0"

sheet
A 2.1

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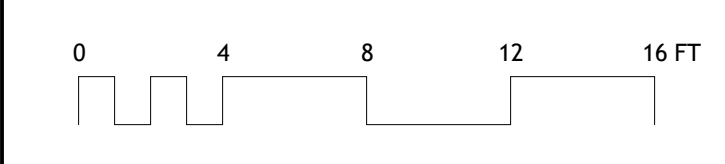
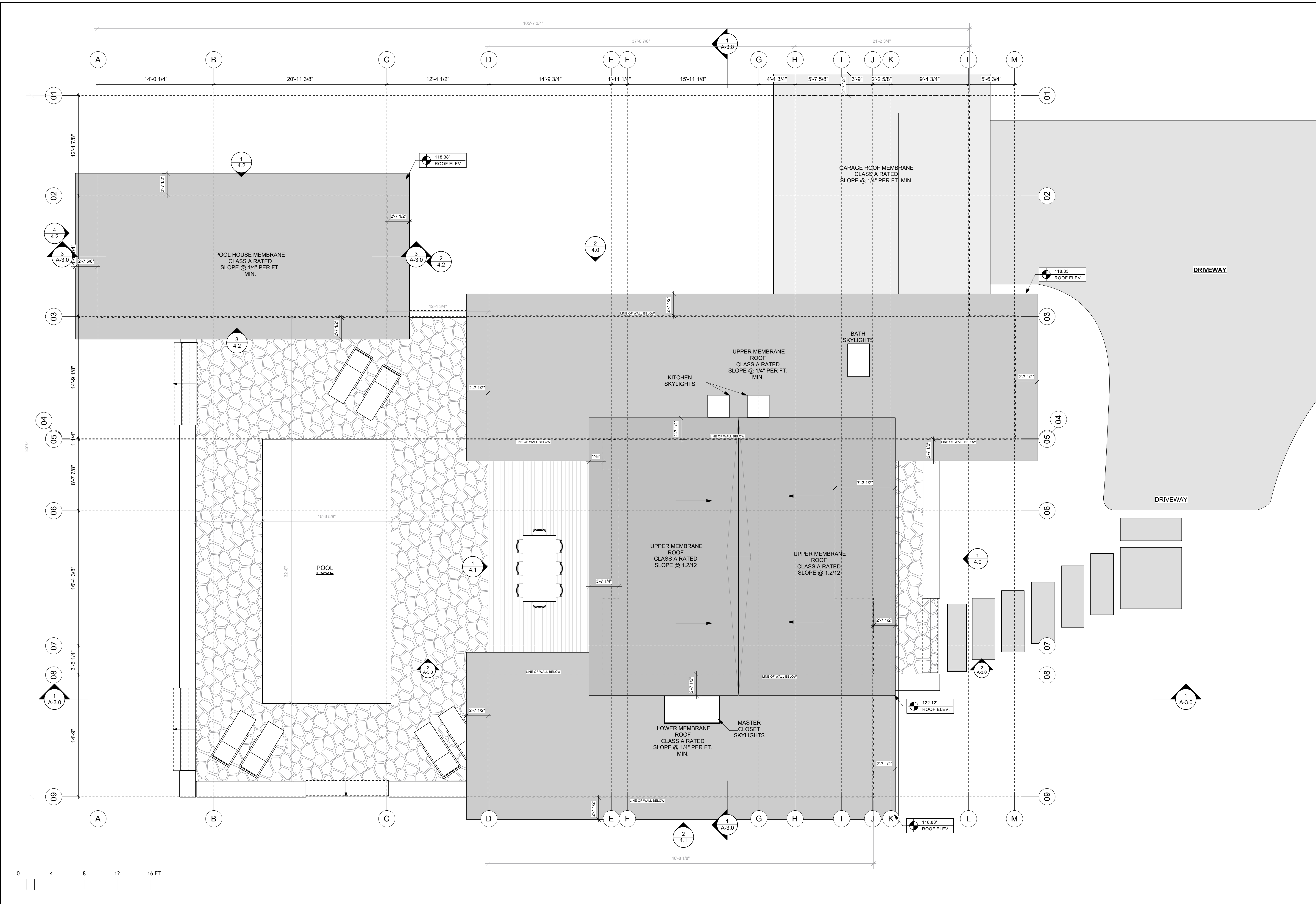
ROOF PLAN

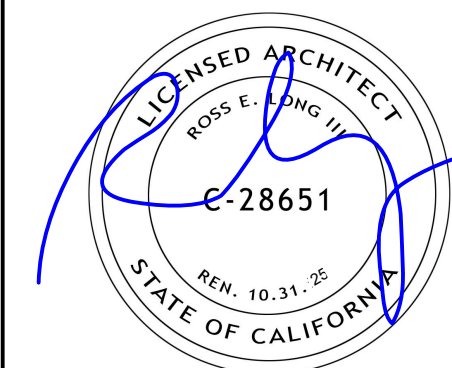
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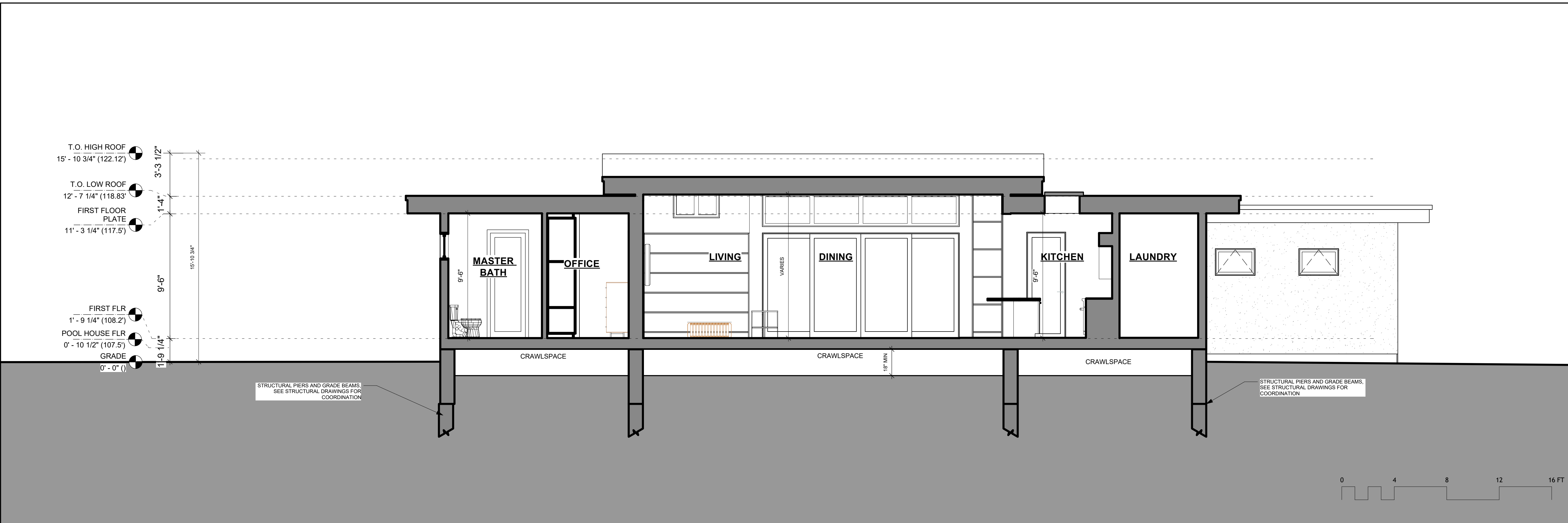


ISSUE	DATE
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CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091925

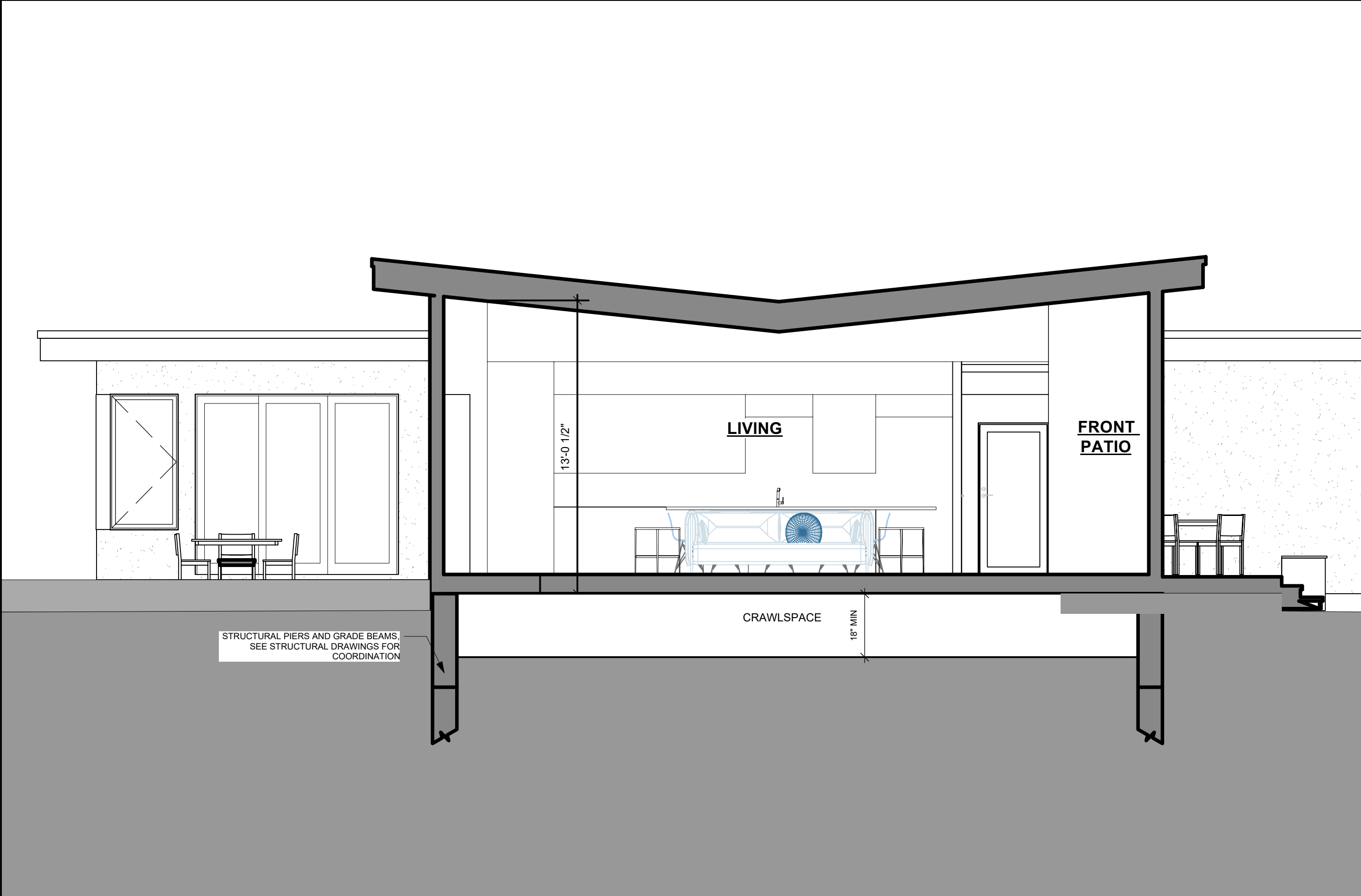
ARCHITECT

ch x tld
 prefab evolved
 6114 LASALLE AVENUE #652, OAKLAND CA 94611
 TOBY LONG, AIA - 415.365.3659 - TLD@CHXTLD.COM

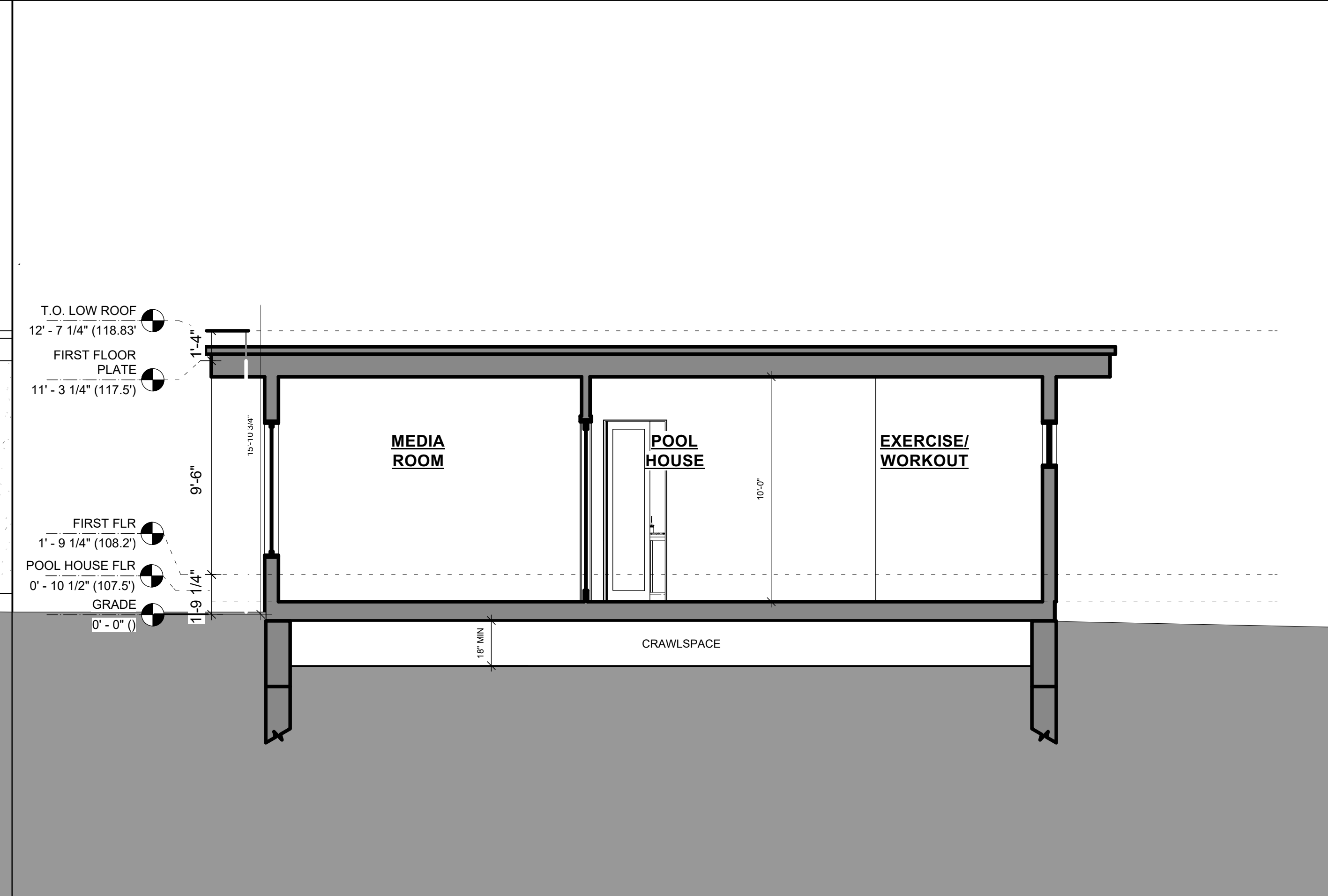
MODULAR FABRICATOR



1 BUILDING CROSS SECTION (MAIN HOUSE) 1/4"=1'-0"



2 BUILDING CROSS SECTION (MAIN HOUSE) 1/4"=1'-0"



3 BUILDING CROSS SECTION (POOL HOUSE) 1/4"=1'-0"

APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
 PESCADERO CREEK ROAD
 PESCADERO, CA
 94060
 APN: 088-090-030

BUILDING SECTIONS

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scale
 1/4"=1'-0"

sheet
A 3.0

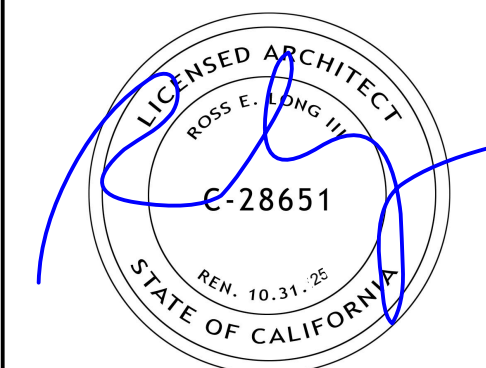
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1 EAST ELEVATION (FRONT) 1/4"=1'-0"



2 SOUTH ELEVATION 1/4"=1'-0"



ISSUE	DATE
CDP & PAD PLANNING SUBM. V1	071224
CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091925

ARCHITECT

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MODULAR FABRICATOR

APPROVAL STAMP

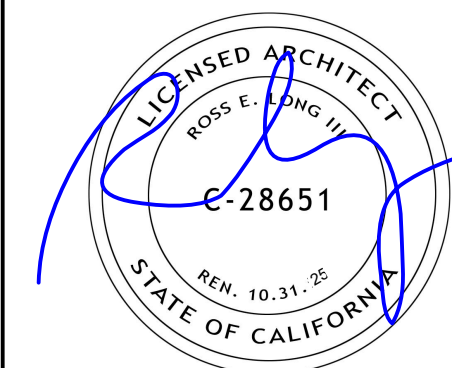
THE NOLAN-STEVAUX RESIDENCE
PESCADERO CREEK ROAD
PESCADERO, CA
94060
APN: 088-090-030

BUILDING ELEVATIONS

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scale
1/4"=1'-0"

sheet
A 4.0



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CDP & PAD PLAN. SUBM. CYCLE 2	091925

ARCHITECT

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MODULAR FABRICATOR

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PESCADERO, CA
94060
APN: 088-090-030

BUILDING ELEVATIONS

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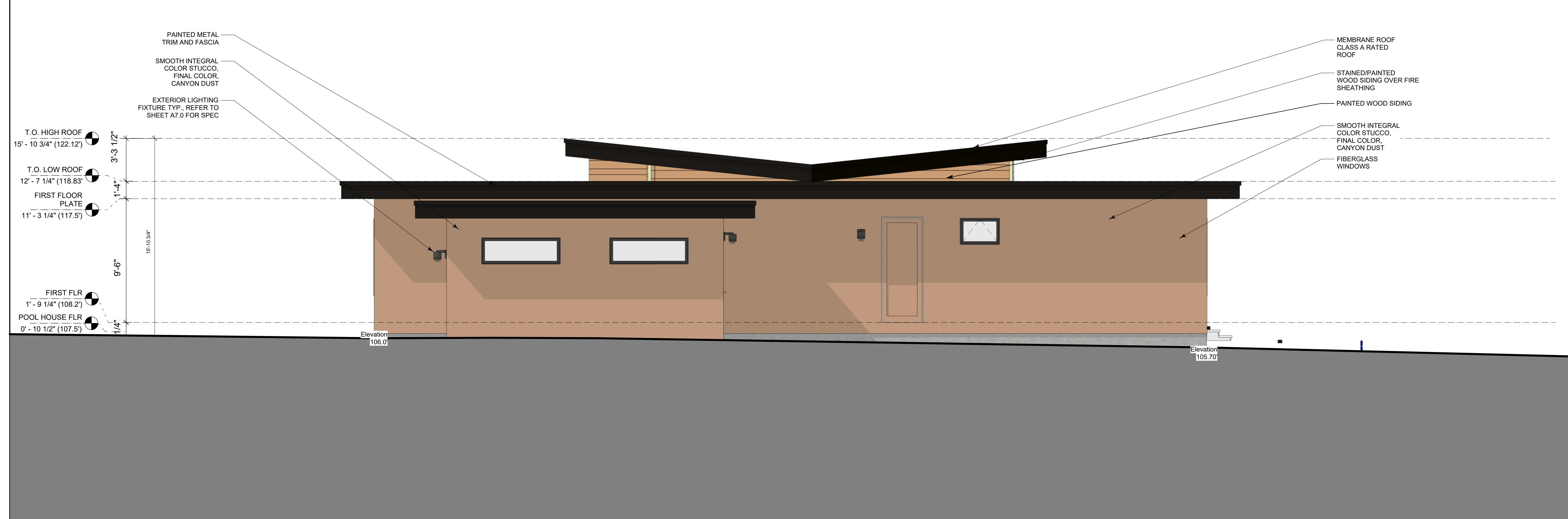
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sheet
A 4.1

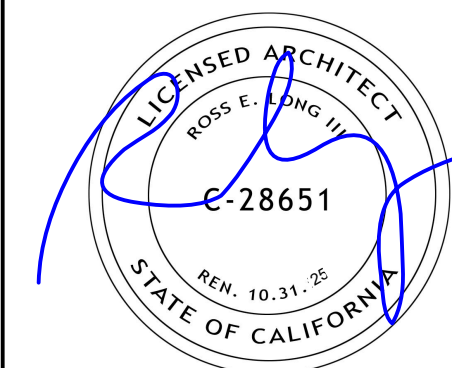
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1 WEST ELEVATION (BACK) 1/4"=1'-0"



2 NORTH ELEVATION 1/4"=1'-0"



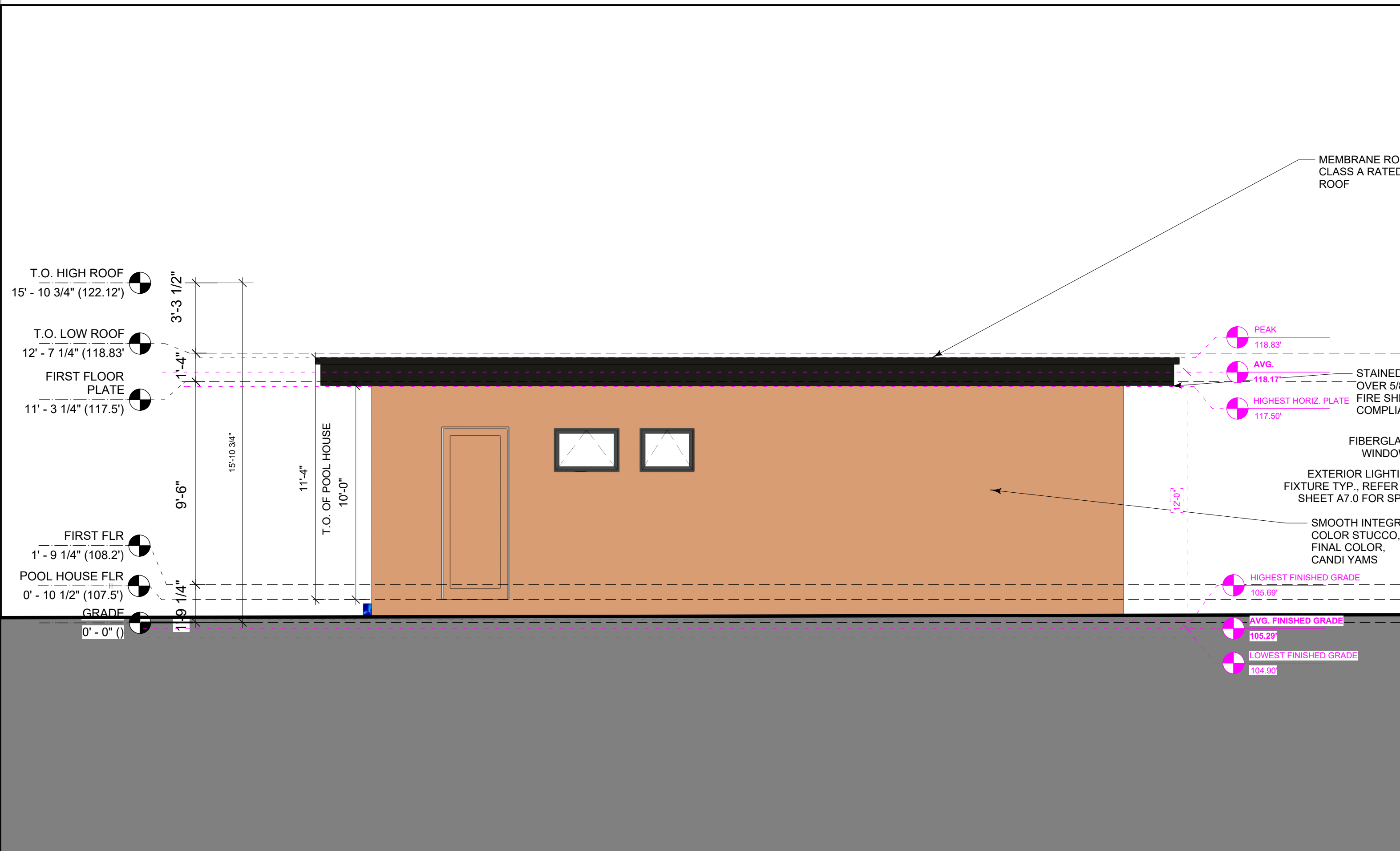
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CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091925

ARCHITECT

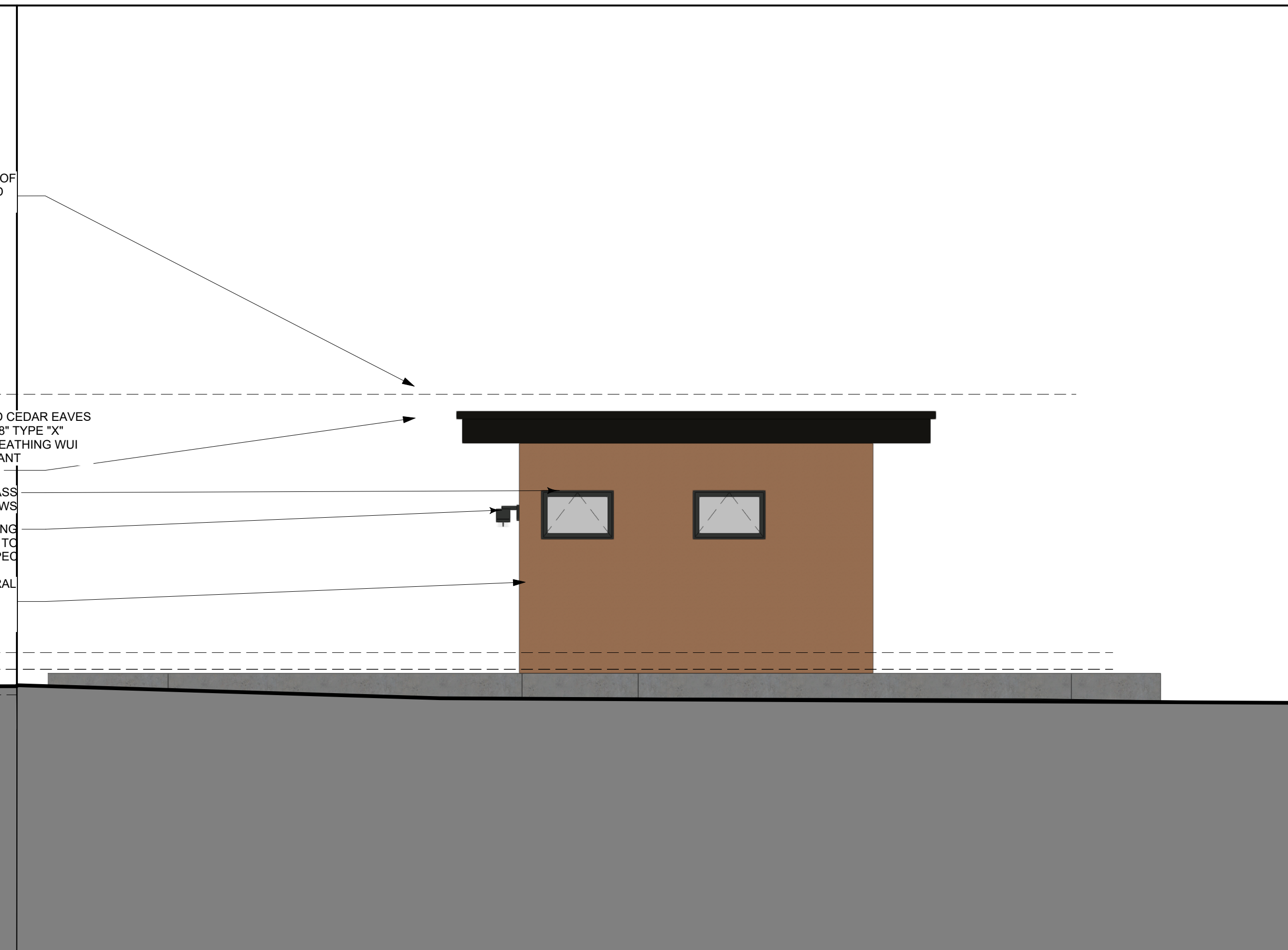
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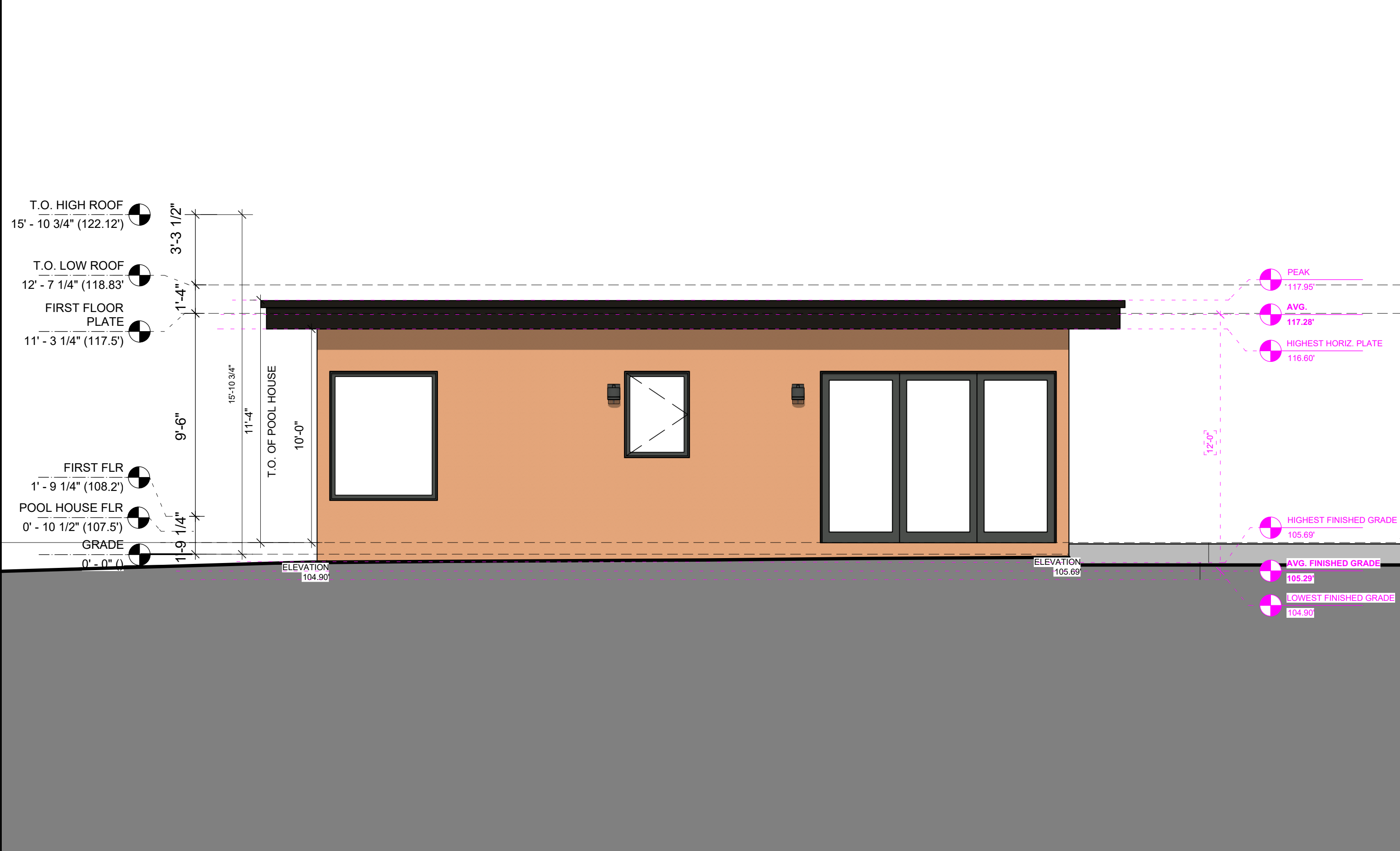
MODULAR FABRICATOR



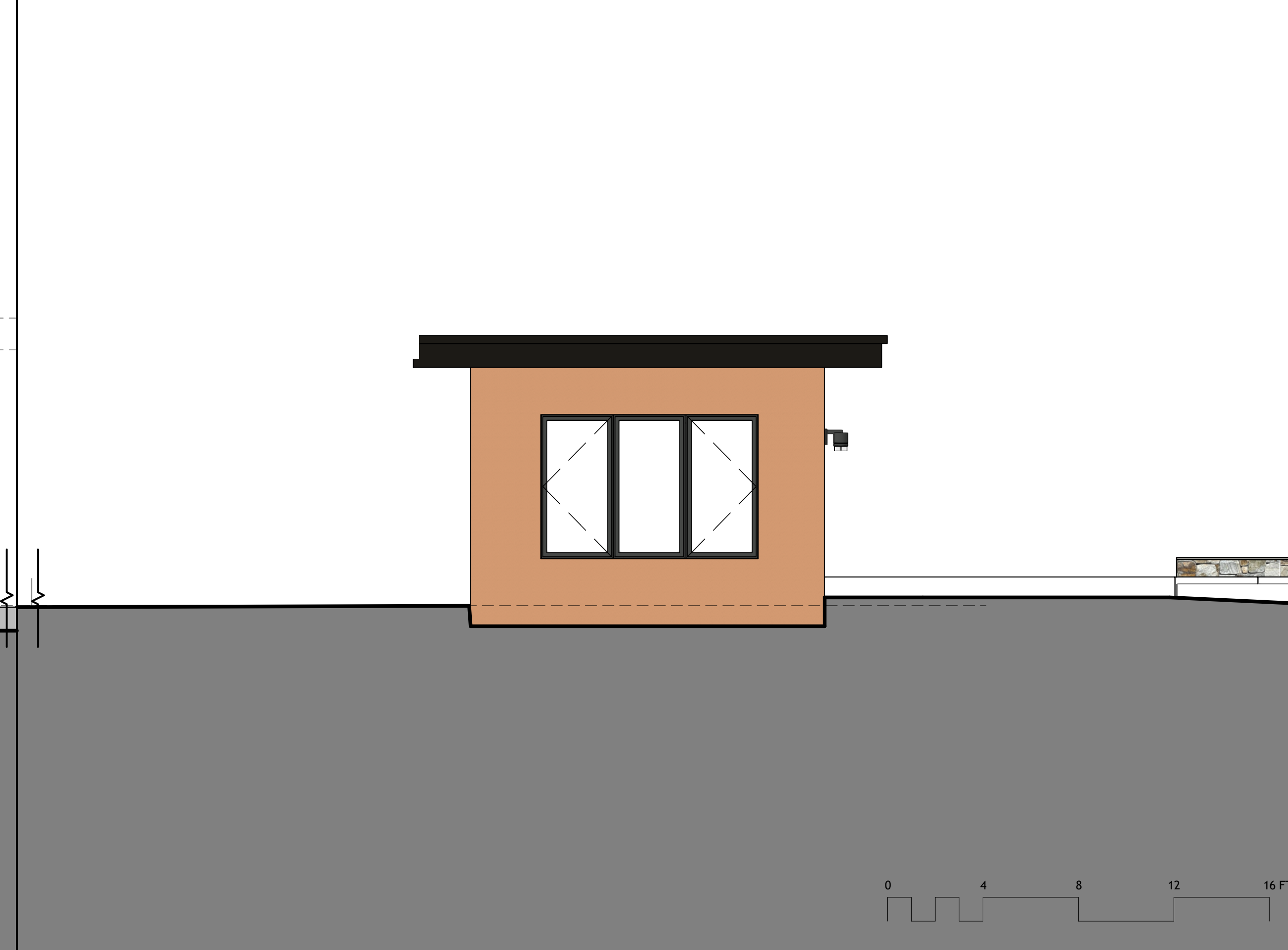
1 POOL HOUSE - NORTH ELEVATION (REAR) 1/4"=1'-0"



2 POOL HOUSE- EAST ELEVATION 1/4"=1'-0"



3 POOL HOUSE - SOUTH ELEVATION (FRONT) 1/4"=1'-0"



4 POOL HOUSE - WEST ELEVATION 1/4"=1'-0"

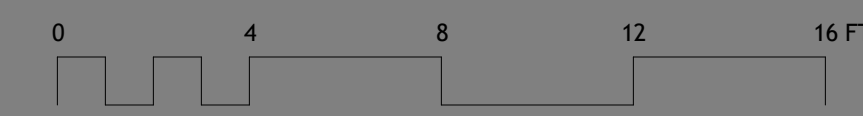
APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
PESCADERO CREEK ROAD
PESCADERO, CA
94060
APN: 088-090-030

BUILDING (POOL HOUSE)
ELEVATIONS

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scale
1/4"=1'-0"



sheet
A 4.2

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Silo Outdoor Downlight Wall Sconce

By Hinkley



Product Options

Finish: Architectural Bronze , Black , Satin White

Details

- Material: Composite
- Shade Material: Etched Glass
- Dimmable when used with a Electronic low voltage (ELV) Dimmer (Not Included)
- Dark Sky compliant
- UL Listed Wet
- Warranty: Limited 5 years for finish, 3 years for LED bulb
- Made In China

Dimensions

Backplate: Width 4.5", Height 4.75"

Fixture: Width 4.5", Height 8", Depth 5.75", Weight 1.3Lbs

Lighting

- One 5.5 Watt (420 Lumens) 120 Volt GU10 Twist & Lock Base LED Lamp(s) (Included)

Additional Details

Product URL:

<https://www.ylighting.com/silo-outdoor-downlight-wall-light-by-hinkley-HKYP370194.html>

Rating: UL Listed Wet

Product ID: HKYP370194

Prepared by: Ryan Prat
CH X TLD

Prepared for: BOHN NOTO
Project: BOHN NOTO
Room: COVERED PORCH/ COVERED DECK
Placement: EXTERIOR
Approval:



Notes:



TAPER DECK SCONCE

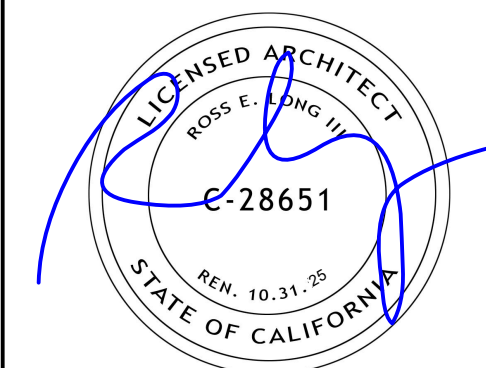
1563SK

TAPER STEP 12V HORIZONTAL
Seamlessly blending into architectural elements inside or outside the home, the Taper series beautifully illuminates stairs, walkways, or patio spaces, enhancing the outdoor lighting experience. Made of aluminum and featuring an etched lens, this 4 1/4 in x 3 1/4 in rectangle recessed step and deck mount includes an integrated LED light for over 40,000 hrs of light. This low-voltage fixture is practical and safer, especially in an outdoor setting. Expand time spent in outdoor living spaces and increase safety and security. Available in three classic finishes: Bronze, Satin Black, and Satin White.

DETAILS	
FINISH:	Satin Black
MATERIAL:	Aluminum
GLASS:	Etched Lens

DIMENSIONS	
WIDTH:	4.5"
HEIGHT:	3.3"
DEPTH:	1"

LIGHT SOURCE	
LIGHT SOURCE:	Integrated LED
LED NAME:	ETP15
VOLTAGE:	12v
COLOR TEMP:	2700
CRI:	90
INCANDESCENT EQUIVALENCY:	1 x 15w
DIMMABLE:	Yes - MLV On Transformer Primary



ISSUE	DATE
CDP & PAD PLANNING SUBM. V1	071224
CDP & PAD PLANNING SUBM. V2	053025
CDP & PAD PLAN. SUBM. CYCLE 2	091825

ARCHITECT

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MODULAR FABRICATOR

APPROVAL STAMP

THE NOLAN-STEVAUX RESIDENCE
PESCADERO CREEK ROAD
PESCADERO, CA
94060
APN: 088-090-030

LIGHTING SCHEDULE

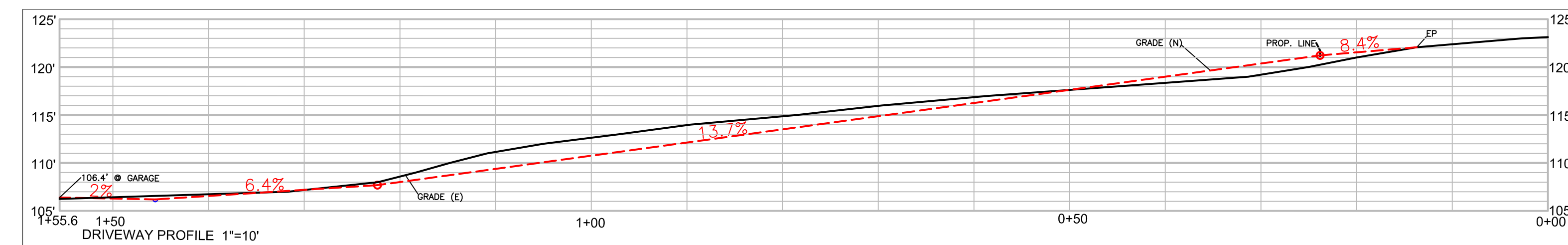
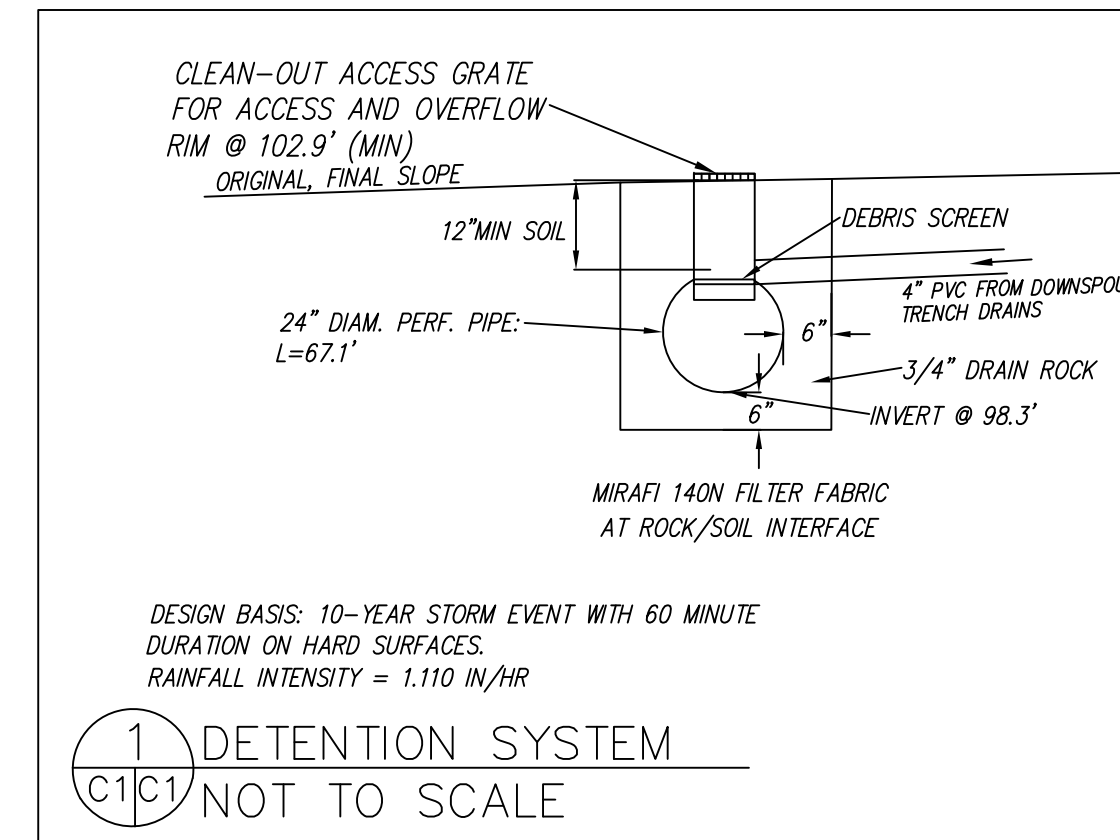
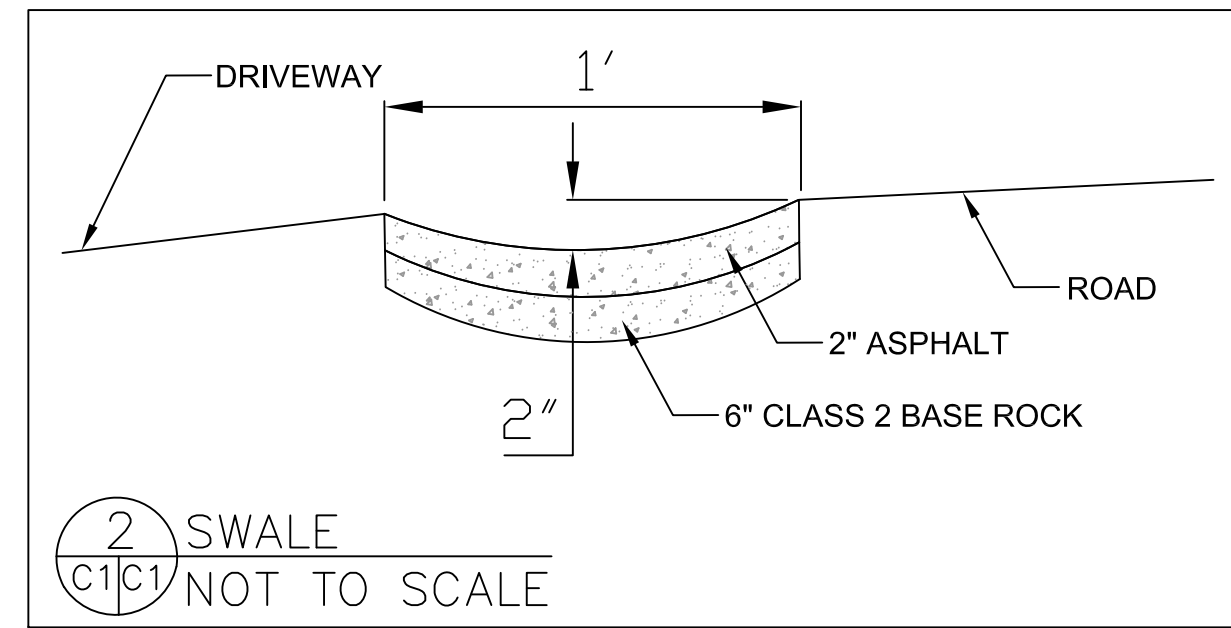
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scale

sheet

A 7.0

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DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF, DRIVEWAY, AND PATIO RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT AND TRENCH DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND DETENTION BASIN, TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME (ORGANICS ONLY, UPPER 4 INCHES) : 125 CY
 CUT VOLUME (SOIL BELOW ORGANIC LAYER, DRIVEWAY) : 120 CY
 CUT VOLUME, POOL : 50 CY
 FILL VOLUME: 90 CY
 TOTAL CUT/FILL: 385 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

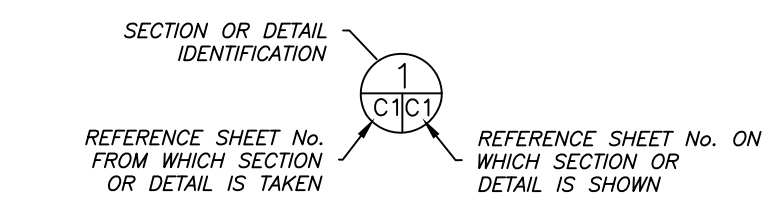
LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS
- 107.5 PROPOSED SPOT ELEVATION
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- PRIME SOILS
- RIPARIAN ZONE

GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: OLIVIER-NOLAN STEVAUX, OWNER
2. TOPOGRAPHY BY ALPHA LAND SURVEYS, SURVEYED JAN., 2024.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM NAVD88.
5. THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: STEVAUX PROPERTY, PESCADERO CREEK ROAD, APN 088-090-030**; DATE: 1-5-24, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 23-238 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.
7. AN ENCROACHMENT PERMIT IS REQUIRED PRIOR TO START OF WORK IN THE PUBLIC R.O.W.

SECTION AND DETAIL CONVENTION

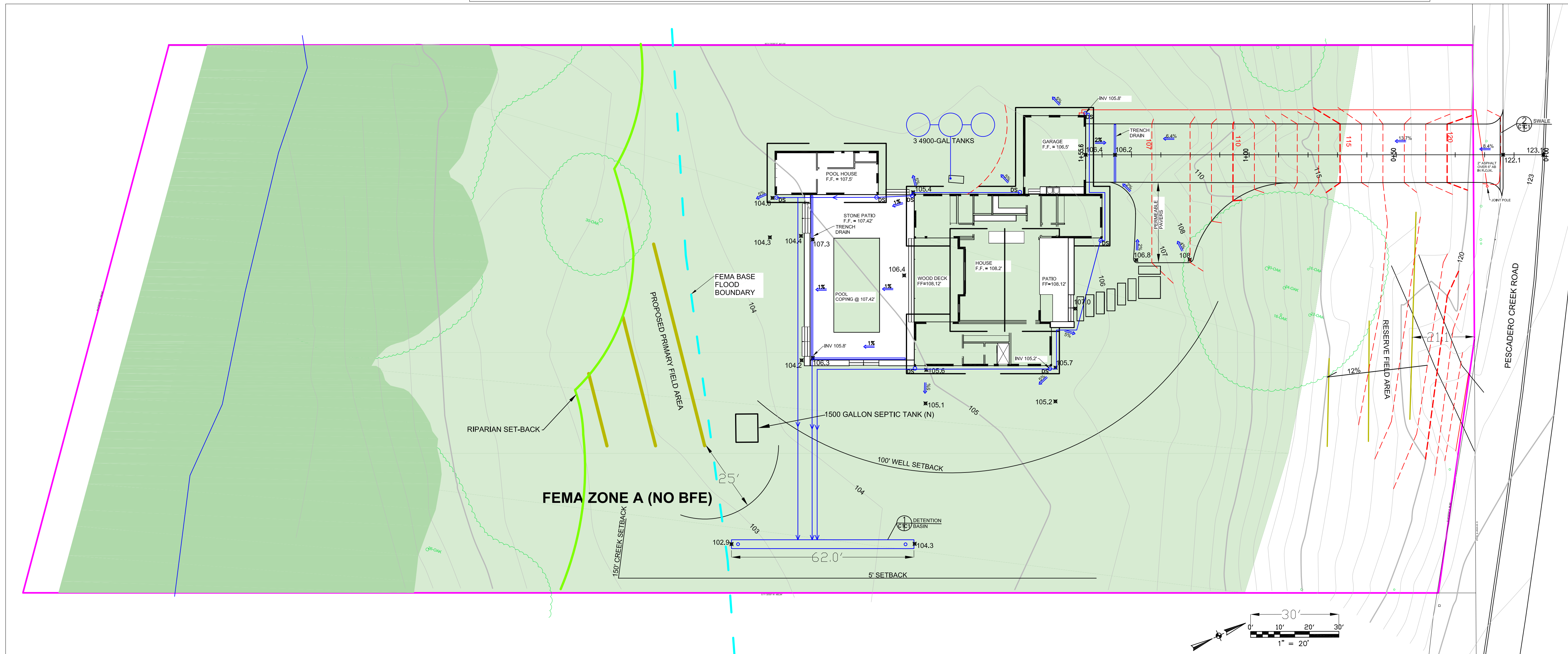


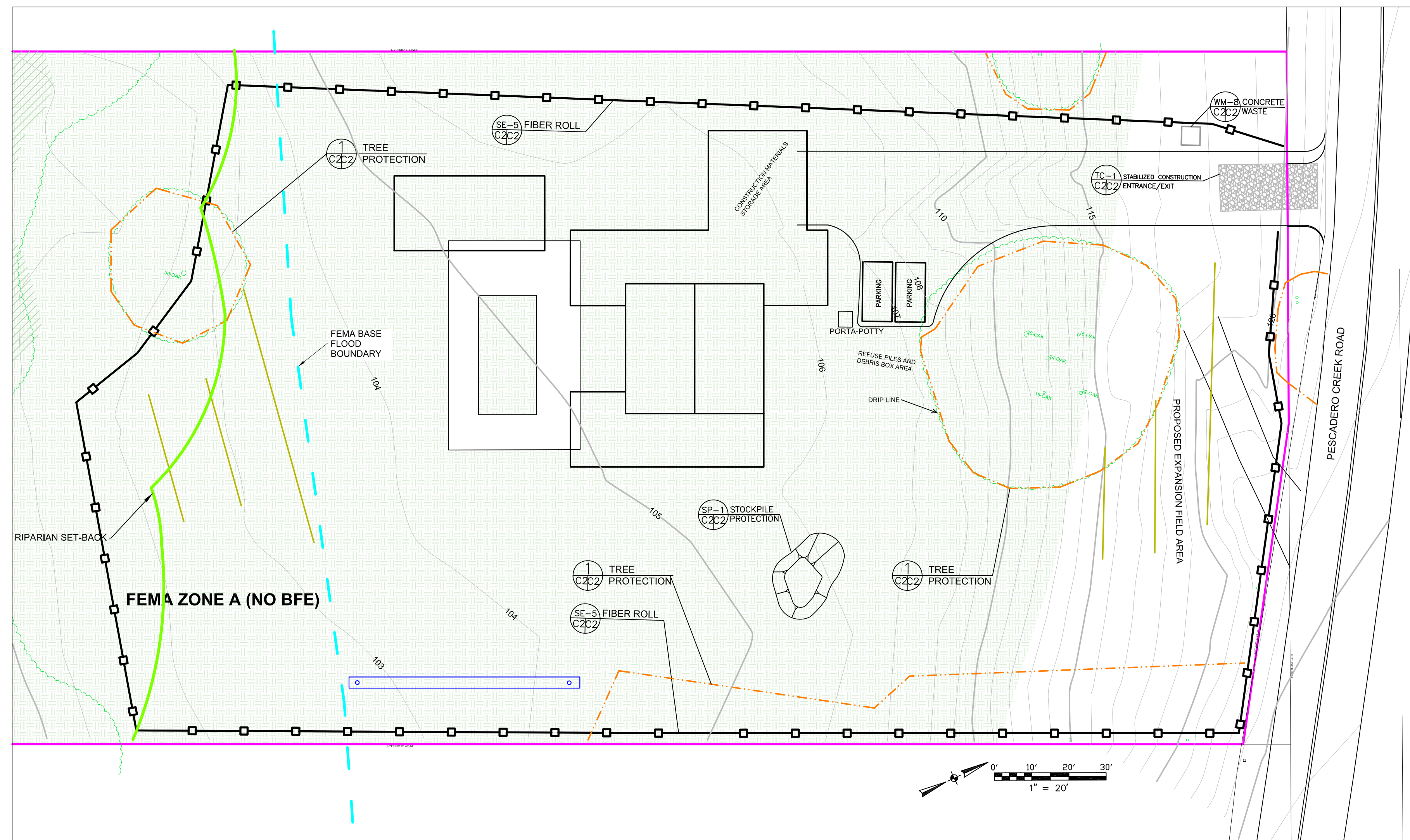
Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 5-31-24
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 5-27-25
 REV. DATE: 7-21-25
 REV. DATE:

GRADING AND DRAINAGE PLAN
 STEVAUX PROPERTY
 PESCADERO CREEK ROAD
 PESCADERO
 APN 088-090-030

SHEET
C-1

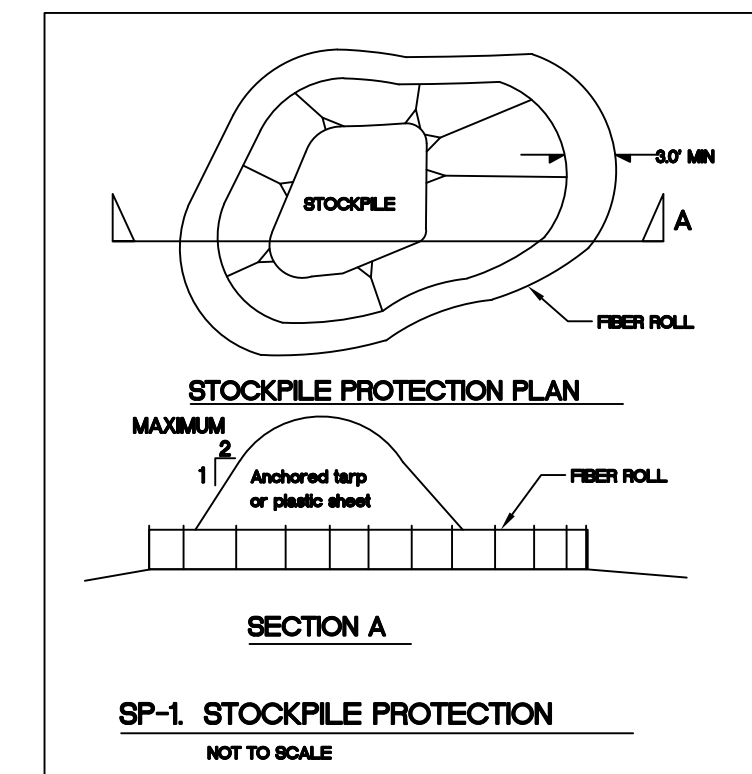




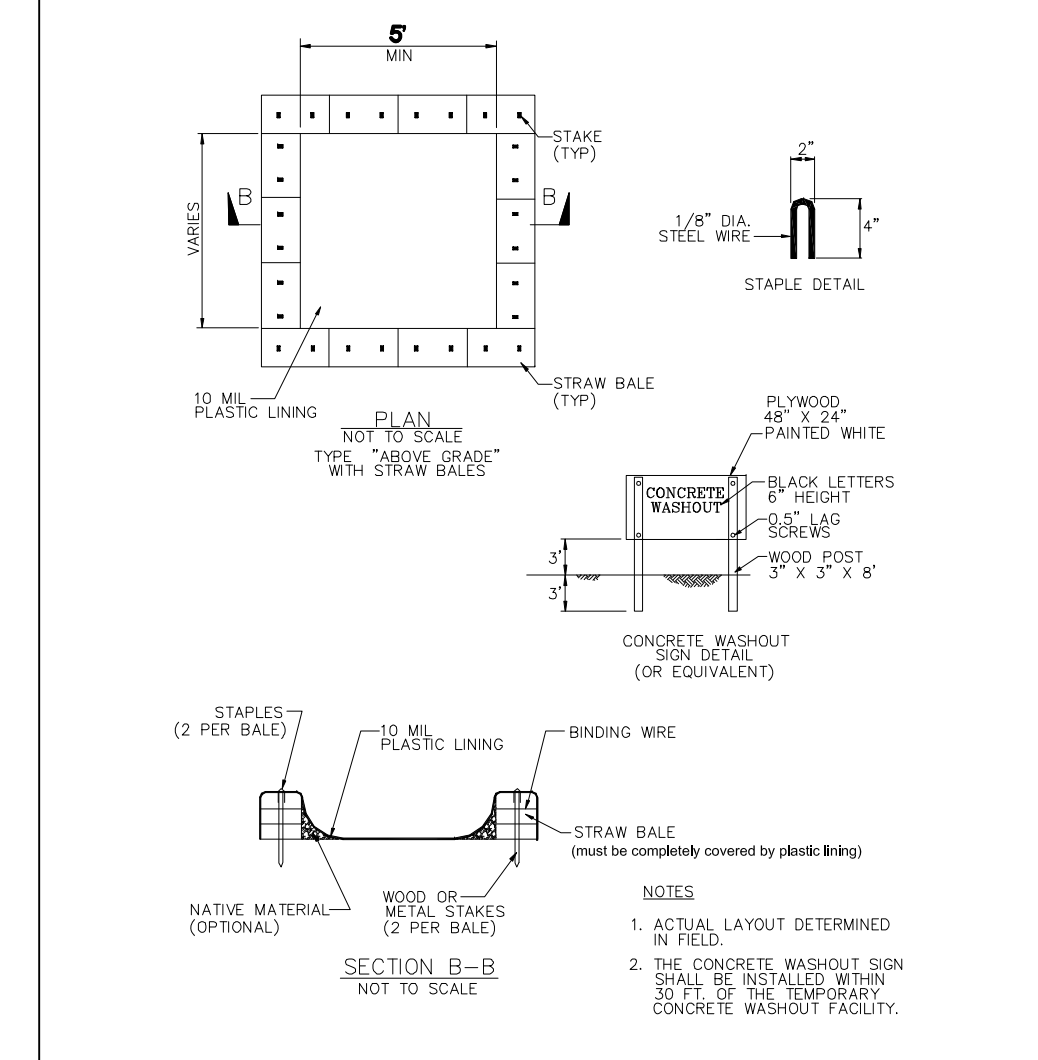
GENERAL EROSION AND SEDIMENT CONTROL NOTES



- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- An encroachment permit is required prior to start of work in the public R.O.W.

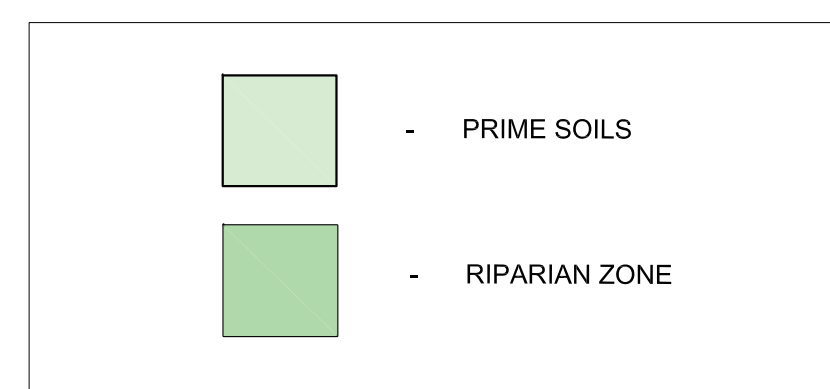
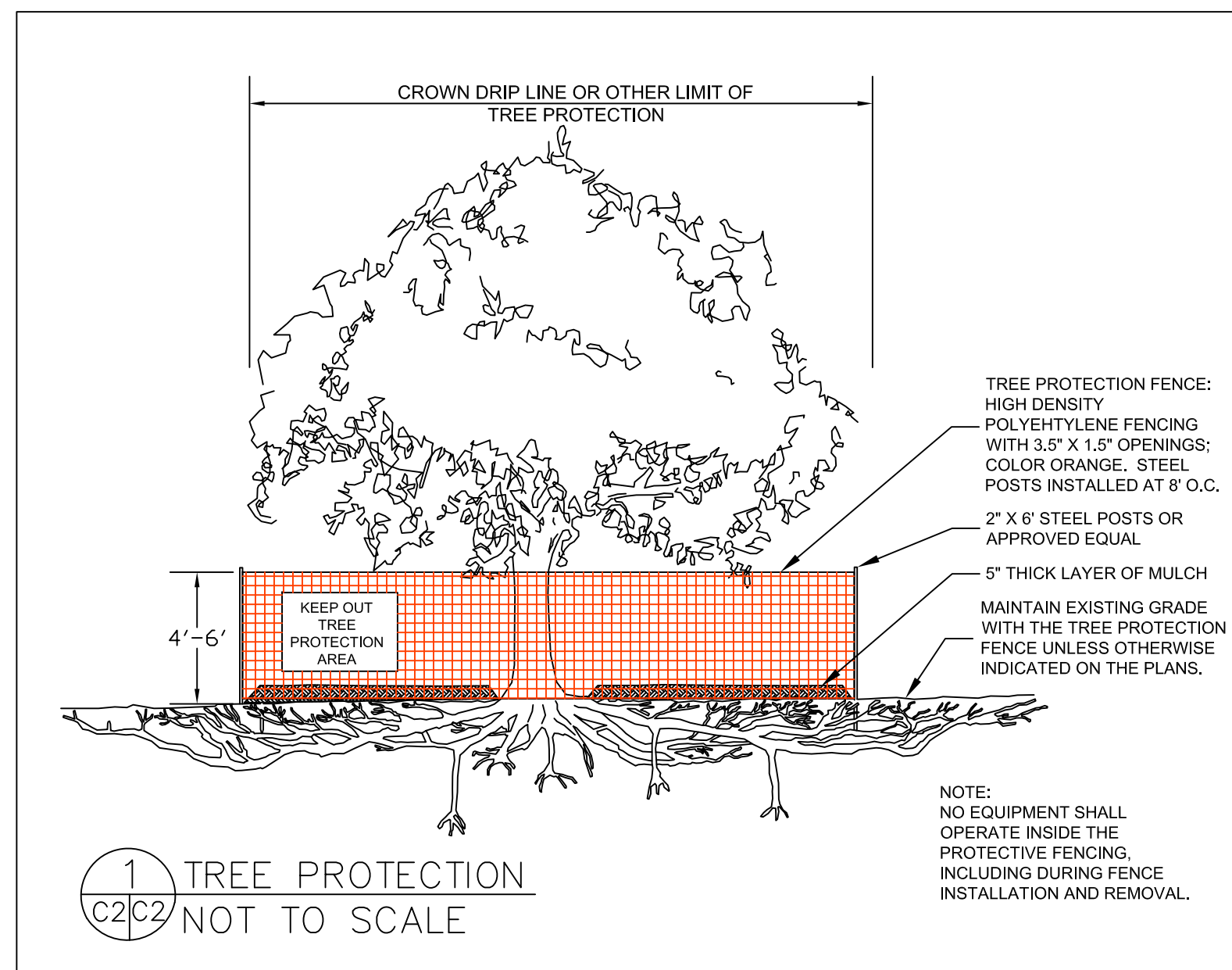


CONCRETE WASTE MANAGEMENT WM-8

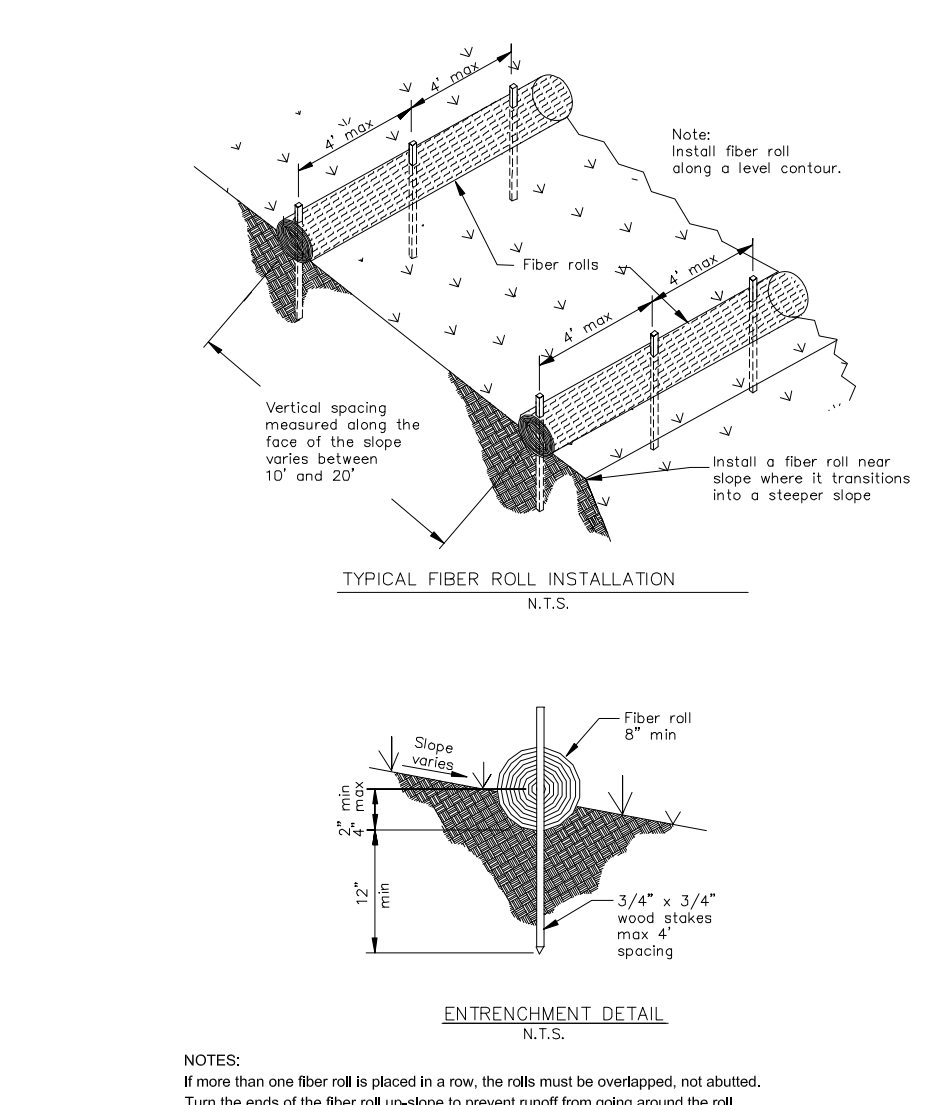


TREE PROTECTION NOTES

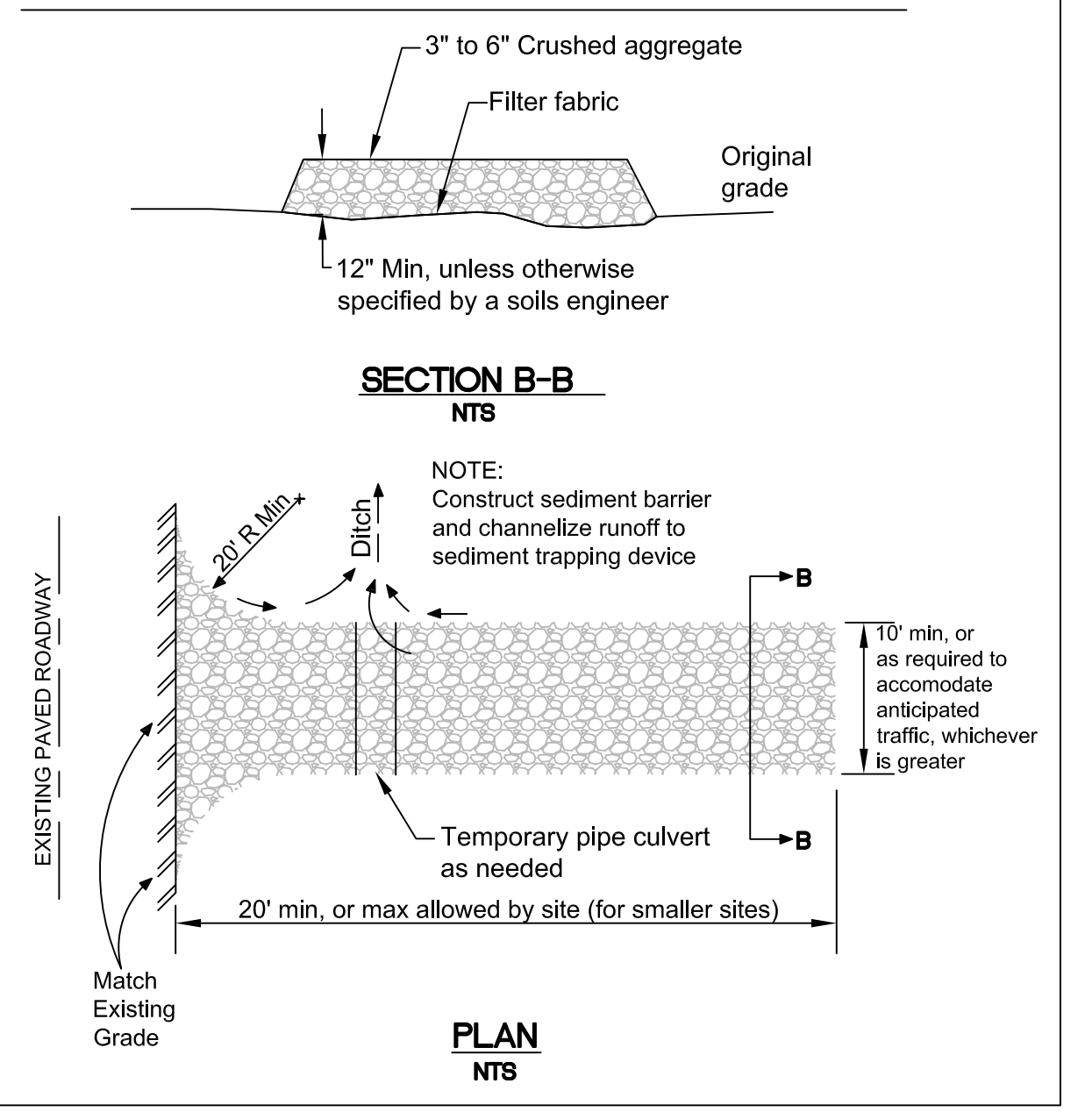
1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE THROUGHOUT CONSTRUCTION PROCESS.
2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS.
4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.
6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT.



FIBER ROLLS SE-5



STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1



Sigma Prime Geosciences, Inc.
 SIGMA PRIME GEOSCIENCES, INC.
 332 PRINCETON AVENUE
 HALF MOON BAY, CA 94019
 (650) 728-3590
 FAX 728-3593

DATE: 5-31-24
 DRAWN BY: CMK
 CHECKED BY: AZG
 REV. DATE: 5-5-25
 REV. DATE:
 REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN
 STEVAUX PROPERTY
 PESCADERO CREEK ROAD
 PESCADERO
 APN 088-090-030

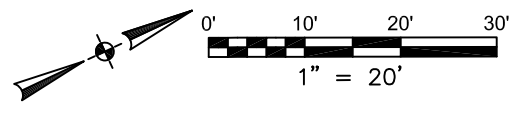
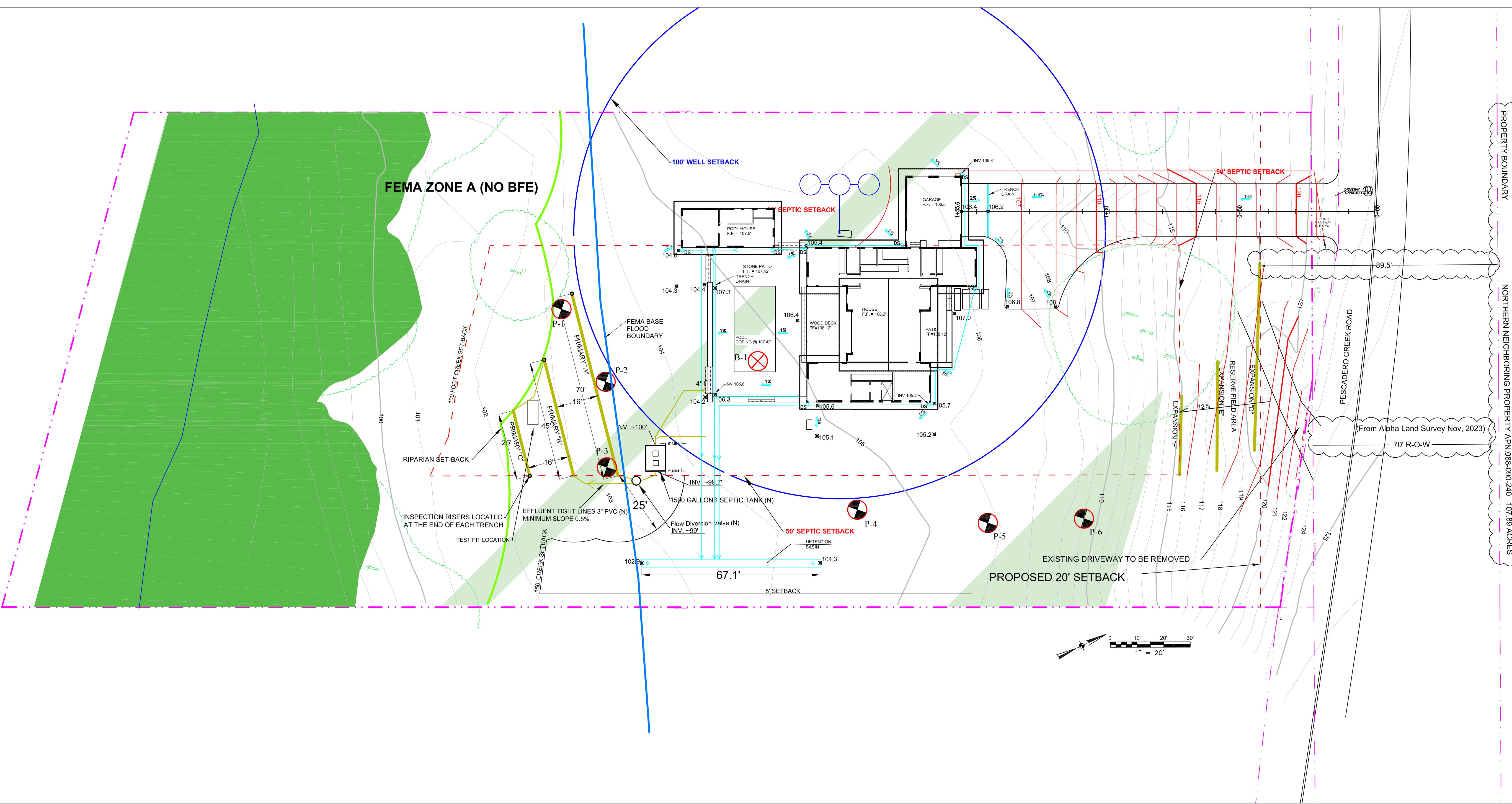
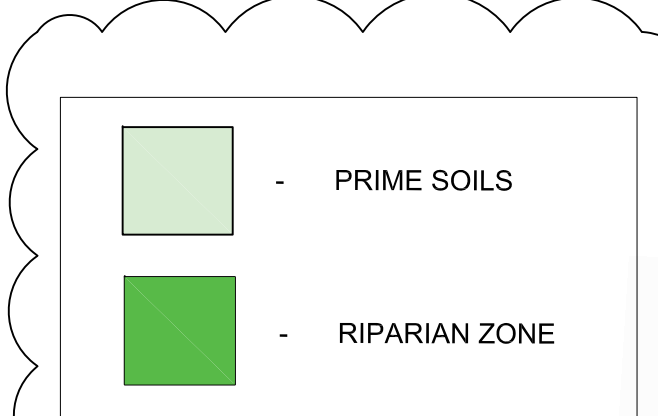
SHEET C-2



LOCATION MAP (Not to Scale)

LEGEND

- B-1 GEOTECHNICAL BORING LOCATIONS
- P-1 PERCOLATION TEST LOCATIONS
- E EXISTING
- N NEW OR PROPOSED
- X 1.37 EXISTING GRADE
- X 1.32 PROPOSED GRADE
- EXISTING CONTOURS
- PROPOSED CONTOURS
- FF FINISHED FLOOR ELEVATION
- R-O-W RIGHT OF WAY
- DS DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE
- SURFACE FLOW DIRECTION



GENERAL NOTES

1. PLANS PREPARED AT THE REQUEST OF: OLIVER-NOLAN STEVAUX, OWNERS.
2. SURVEY AND TOPOGRAPHY BY ALPHA LAND SURVEYS, INC. JANUARY 2024.
3. ELEVATION DATUM NAVD 88.
4. THIS IS NOT A BOUNDARY SURVEY.

PROJECT DESCRIPTION

1. New septic system to serve proposed single family home.
2. A percolation test was performed on July 6, 2006 by Janice Moody.
3. Results show an "A" Percolation Rate.
4. OWTS design is for a 3 bedroom single family home, 140 linear feet of drain-field will be necessary for Primary and Expansion Fields with a 1,500 gallon septic tank. Six leach fields are required, three fields "A", "B" and "C" will be installed as the Primary leach fields. Three fields "D", "E" and "F" are shown on the plan as Expansion leach fields. This area must be protected and land in this area dedicated for future use when necessary. The area of the proposed septic fields are generally flat with no steep slopes nearby.

SCOPE OF WORK

1. Install new 1,500 gallon Don Chapin Pre-Cast septic tank as shown.
2. Install new primary leach trenches.
3. Install a new flow diversion valve and effluent filter (NSF/ANSI 46).
4. Connect new septic tank to diversion valve and valve to tight lines and leach trenches as shown.
5. Connect new sewer lateral to inlet of new tank.

All material and methods shall comply with San Mateo County Environmental Health regulations, San Mateo County Building codes, and 2022 CBC. All work must be inspected and approved before back-filling.

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 332 PRINCETON AVENUE
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 FAX: 728-3593

DATE: 5-31-2024
DRAWN BY: AZG
CHECKED BY: CMK
REV. DATE: 4-17-25
REV. DATE: 4-30-25

SEPTIC SYSTEM PLAN
 STEVAUX PROPERTY
 PESCADERO CREEK ROAD
 PESCADERO, CALIFORNIA
 APN 088-090-030



SAN MATEO COUNTY
ENVIRONMENTAL HEALTH SERVICES DIVISION

MEASUREMENTS

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
8:30	FINISH START DIFF.	9 1/2 8 6/16 1 1/2	13 8 1/16 4 5/16	10 1/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	10 8/16 8 2/16 2 1/16	14 7 1/16 6 2/16
9:00	FINISH START DIFF.	8 3/16 8 2/16 1/16	8 1/16 8 1/16 0	7 6 2/16 1/16	8 4/16 8 2/16 2/16	4 8/16 4 8/16 0	7 1/16 7 1/16 0
9:30	FINISH START DIFF.	9 4/16 8 6/16 1 1/16	12 7/16 8 1/16 4 6/16	10 2/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	12 4/16 7 1/16 4 3/16
10:00	FINISH START DIFF.	8 12/16 8 6/16 1 1/16	12 1/16 8 1/16 4 1/16	10 5/16 8 2/16 2 3/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	12 5/16 7 1/16 4 4/16
10:30	FINISH START DIFF.	8 4/16 7 12/16 1 1/16	12 1/16 8 1/16 4 1/16	10 2/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	11 7/16 7 1/16 4 6/16
11:00	FINISH START DIFF.	8 7 8/16 1 1/16	12 8 1/16 4 1/16	10 2/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	11 8/16 7 1/16 4 7/16
11:30	FINISH START DIFF.	8 3/16 7 8/16 1 1/16	12 1/16 8 1/16 4 1/16	10 2/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	11 13/16 7 1/16 4 6/16
12:00	FINISH START DIFF.	8 1/16 7 4/16 1 1/16	12 8 1/16 4 1/16	10 2/16 8 2/16 2 1/16	14 8/16 8 2/16 6 2/16	8 8/16 8 2/16 6 2/16	10 1/16 7 1/16 4 1/16

SITE INFORMATION

Site Address: West East of 6375 Pescadero Rd APN: 088-090-030
 Size Of Parcel: 1.7 acres Moz Subdivision Number: _____
 Soil Log: Sandy/silt - Brown soil Water Source: Well
 Depth To Ground Water: 11 ft. - dry
 Wet Weather Testing Required? YES NO
 Tested By: Janice Moody Tester #: _____
 Observed in Field By: Janice Moody Date: 7/5/09

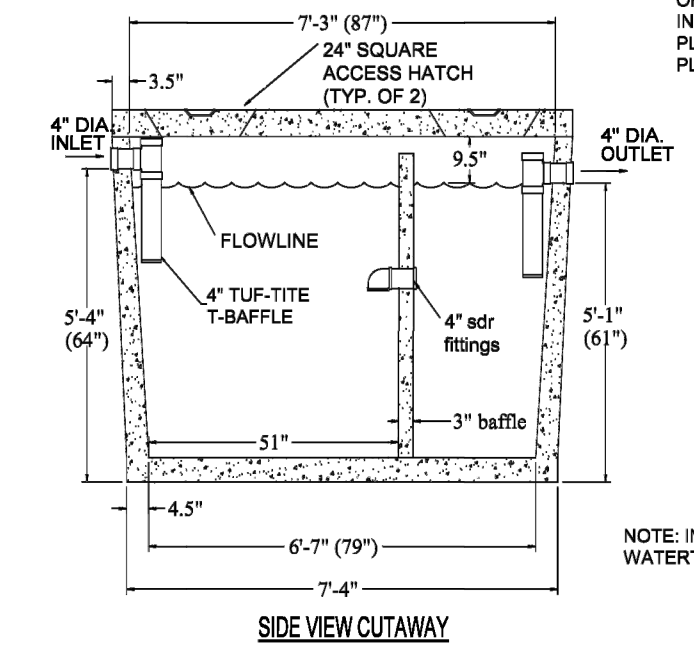
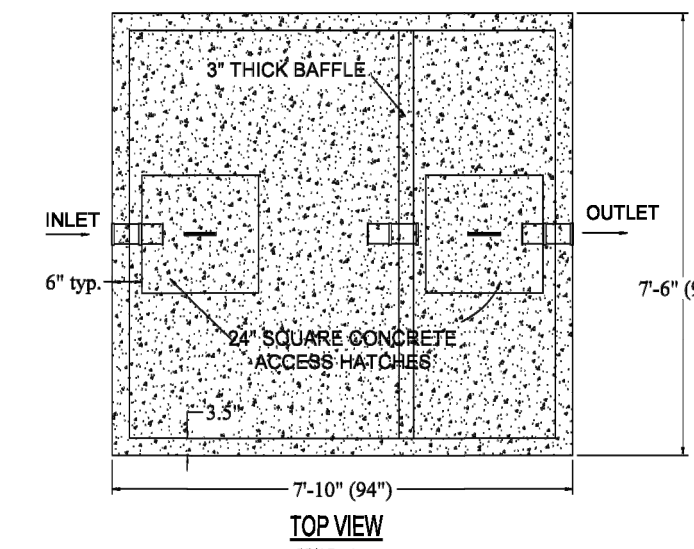
ENVIRONMENTAL HEALTH SERVICES DIVISION
LAND USE FIELD & DATA REPORT

455 County Center, Redwood City, CA 94063 • (650) 383-4305 • Fax (650) 383-7882
www.smhealth.org/enviro

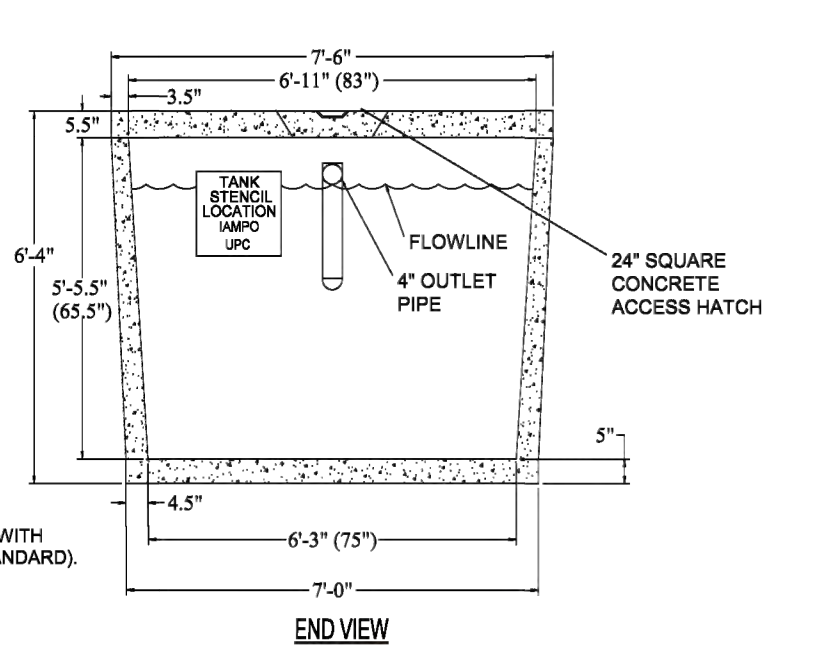
APN # 088-090-030 Record ID _____ Date 7/5/09
 Site Address West of 6375 Pescadero Creek Rd Owner _____
 City Pescadero ZIP _____ Contractor Janice Moody
Residential site exam
Observed (6) holes dug approx. 5' in depth
Installed and OK'd Mr. Moody for present
water on 7/4/09.
Site exam - Maintain 10' setback from well on
property and from creek 50' setback from
property lines required. Slope relatively flat.
Soil profile - 11' deep hole, top 1-11' light brown tan
& deepshale. red color sands (silt) soil w/ river rocks bottom.
Pescadero Creek

6375 Pescadero Creek Rd
Pescadero Creek Rd

RECEIVED BY Janice Moody owner



- NOTES:
- EXCAVATION SPECIFICATIONS:
LENGTH 9' - 0"
WIDTH 9' - 0"
DEPTH BELOW INLET 5' - 4"
DON CHAPIN PRE-CAST MAY MAKE CHANGES TO THE DESIGN AND OR TO THE DIMENSIONS WITHOUT NOTICE. PLEASE CONTACT DON CHAPIN PRE-CAST WHENEVER NECESSARY TO CONFIRM DESIGN CRITERIA.
 - CERTIFIED ENGINEERING IS AVAILABLE UPON REQUEST.
 - THIS IS ALSO AVAILABLE AS AN HD0 RATED ASSEMBLY
 - INTEGRAL TOP TO BODY DESIGN



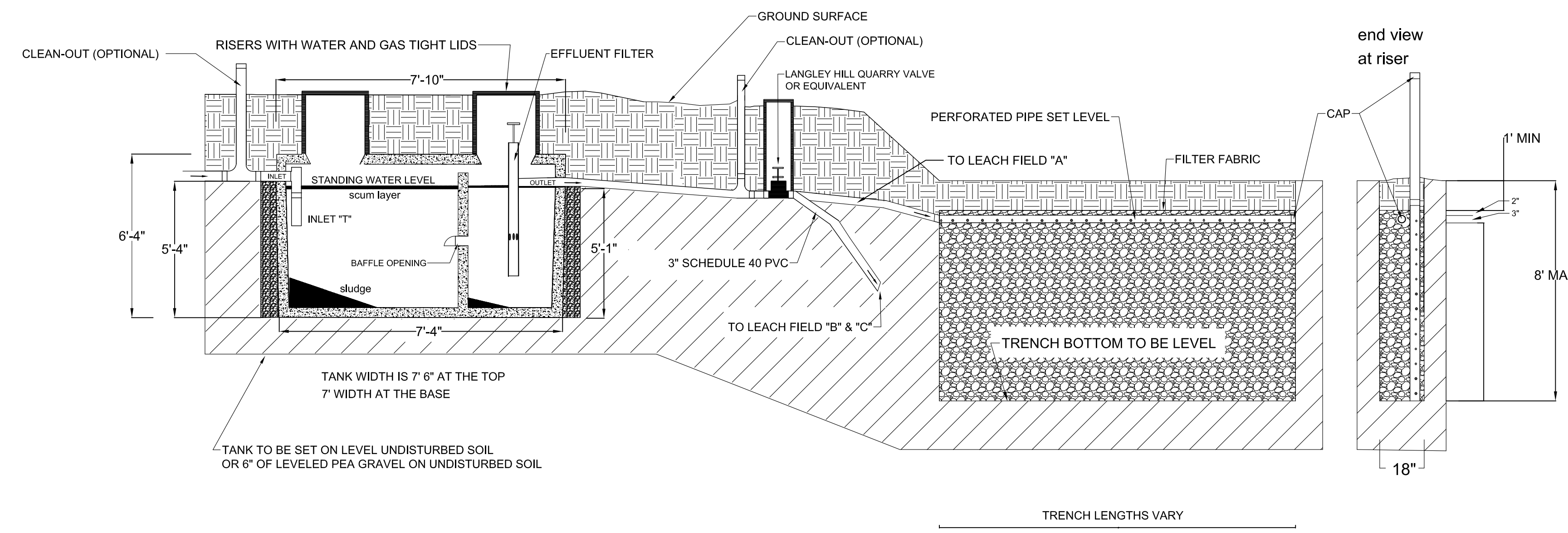
THE DON CHAPIN COMPANY
PRE-CAST DIVISION
2735 BOLSA RD.
HOLLISTER, CA 95023
831-630-1042
831-630-5763 FAX

PRE-CAST CONCRETE WATER TIGHT SEPTIC TANK
CAPACITY 1500 GALLONS
MODEL IPS1500

2/12/09

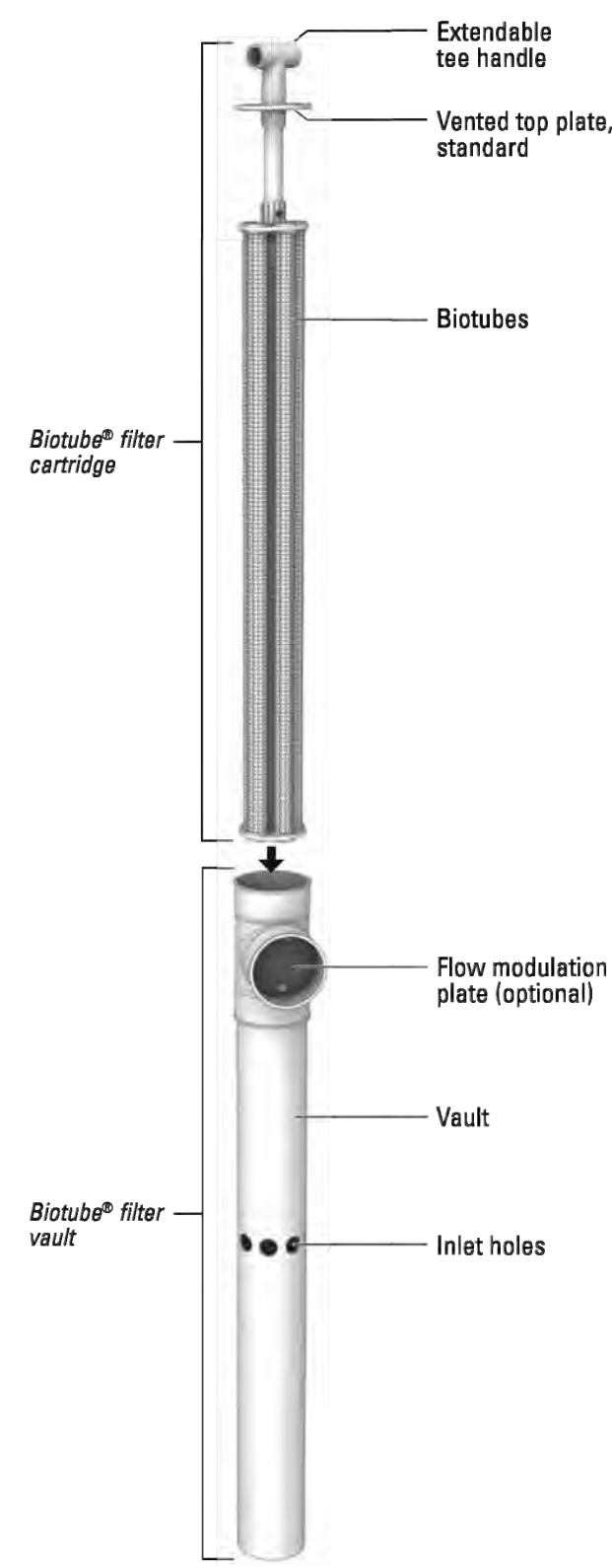


1500 GALLON SEPTIC TANK AND STANDARD LEACH FIELD DETAILS



- Back Fill - Native Soil
- undisturbed soil
- 3/4 Drain Rock or Compacted Fill
- Steel Reinforced Concrete
- 3/4 to 1 1/2" Washed Rock

Orencia Technical Data Sheet
4-inch (100-mm) Biotube® Effluent Filters



Applications
Orencia 4-inch Biotube® Effluent Filters are designed to remove solids from effluent leaving residential septic tanks. They can be used in new and existing tanks at flows of up to 1200 gpd.

General
Orencia 4-inch Biotube Effluent Filters (U.S. Patents No. 4,439,323 and 5,492,635) are used to improve the quality of effluent exiting a septic tank in a residential septic system. Increased effluent quality improves system performance and extends drainfield life. The Biotube cartridge fits tightly in the vault and is removable for maintenance, and the tee handle can be extended for easy removal of the cartridge.

Standard Models
FTS0444-36, FTS0444-36M, FTW0436-28, FTW0436-28M
FTW0444-36, FTW0444-36M

Nomenclature
FT 04 - - -
Flow modulator and float switch bracket options:
Blank = no options selected
W = flow modulator plate installed
A = float switch bracket installed
Cartridge height, ft. (mm):
28 = 28 (11), standard
30 = 30 (12), standard
44 = 44 (17), standard
Filter housing height, in. (mm):
Blank = 14-in. (355mm) filter mesh
P = 14-in. (355mm) filter mesh
Biotube® effluent filter

Materials of Construction
Vault: PVC
Biotube® cartridge: Polypropylene and polyethylene
Handle components: PVC, polyethylene, stainless steel

Sigma Prime Geosciences, Inc.
SIGMA PRIME GEOSCIENCES, INC.
392 PRINCETON AVENUE
HALF MOON BAY, CA 94019
(650) 728-3590
FAX: 728-3593

DATE: 5-31-2024
DRAWN BY: AZG
CHECKED BY: CMK
REV. DATE:
REV. DATE:

SEPTIC SYSTEM DETAILS
STEVAX PROPERTY
PESCADERO CREEK ROAD
PESCADERO, CALIFORNIA
APN 088-090-030

SHEET
OWTS-2



SAN MATEO COUNTYWIDE

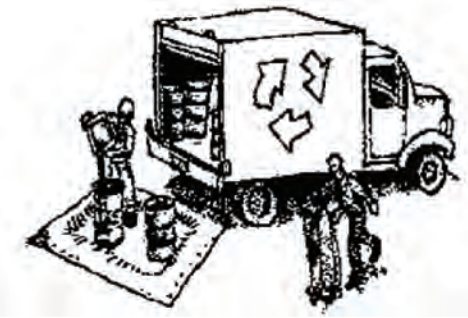
Water Pollution Prevention Program

Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



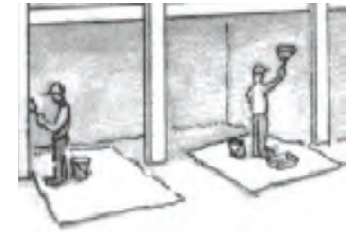
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

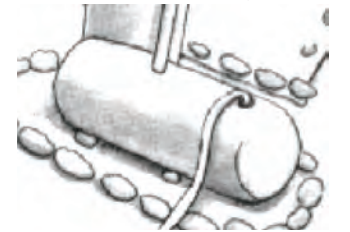
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!