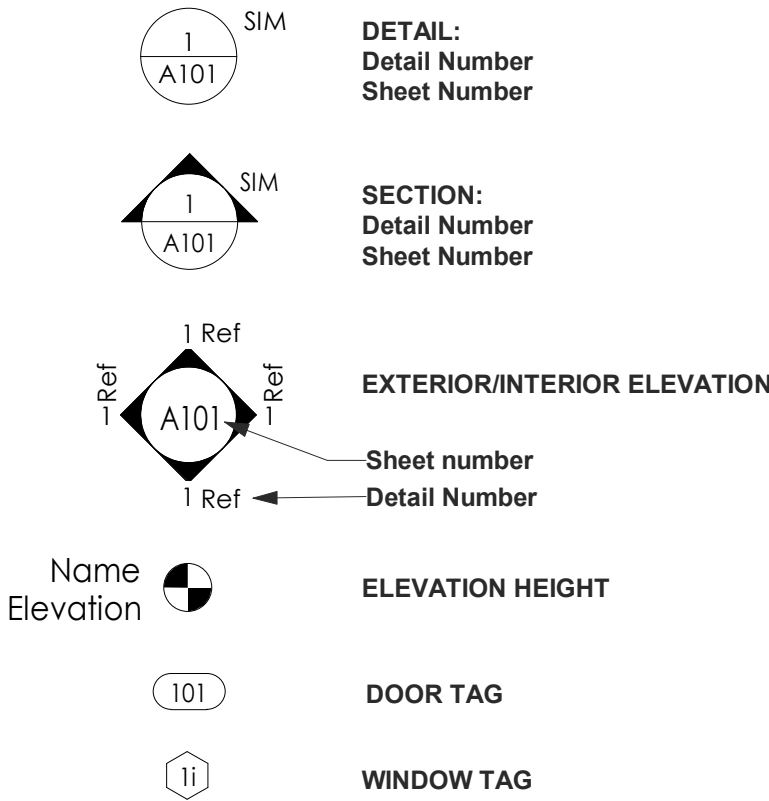


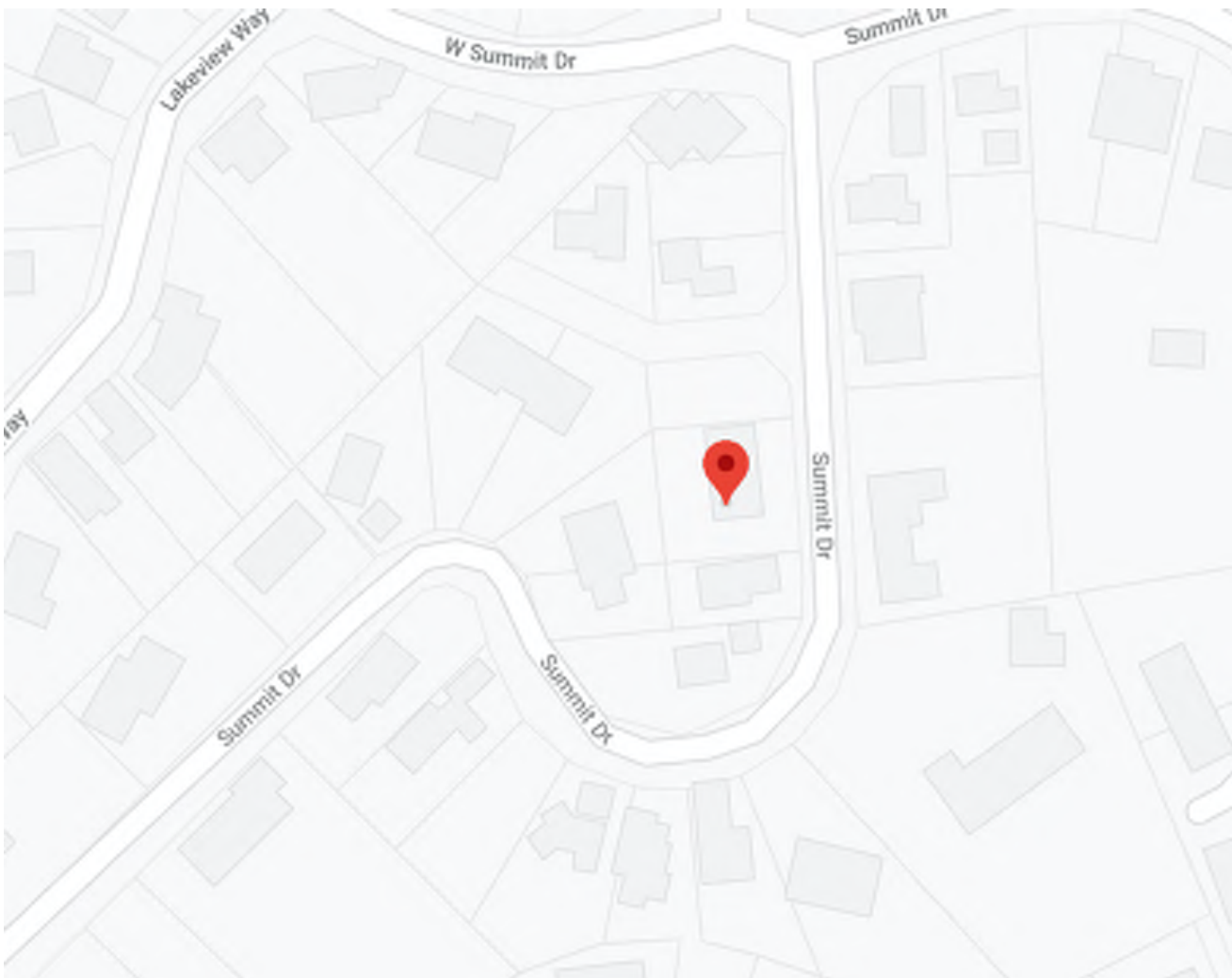
ABBREVIATIONS:

&	AND	HR	HOOR
<	ANGLE	I.D.	INSIDE DIAMETER
@	AT	INSUL	INSULATION
AB	ANCHOR BOLT	INT	INTERIOR
ABV	ABOVE	JAN	JANITOR
ACOUS	ACOUSTICAL	KIT	KITCHEN
AD	AREA DRAIN	LAM	LAMINATE
ADJ	ADJUSTABLE	LAV	LAVATORY
AFF	ABOVE FINISH FLOOR	LBS	POUNDS
AGGR	AGGREGATE	LTG	LIGHTING
ALT	ALTERNATE	M.D.F.	MEDIUM DENSITY FIBERBOARD
ALUM	ALUMINUM	MATL	MATERIAL
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECT	MECH	MECHANICAL
ASPH	ASPHALT	MFR	MANUFACTURER
B	BATHROOM	MH	MANHOLE
B.O.	BOTTOM OF	MIN	MINIMUM
B.U.	BUILT UP	MISC	MISCELLANEOUS
BD	BOARD	MTD	MOUNTED
BITUM	BITUMINOUS	MTL	METAL
BLDG	BUILDING	MUL	MULLION
BLK	BLOCKING	N	NEW
BM	BEAM	N	NORTH
BR	BEDROOM	N.I.C.	NOT IN CONTRACT
BTM	BOTTOM	N.T.S.	NOT TO SCALE
C.B.	CATCH BASIN	NO	NUMBER
C.G.	CORNER GUARD	NOM	NOMINAL
C.H.	CEILING HEIGHT	O.C.	ON CENTER
C.I.	CAST IRON	O.D.	OUTSIDE DIAMETER
C.J.	CONTROL JOINT	OFF	OFFICE
C.M.U.	CONCRETE MASONRY UNIT	OPER	OPERABLE
C.O.	CLEAN OUT	OPNG	OPENING
C.T.	CERAMIC TILE	OPP	OPPOSITE
C.W.	COLD WATER	P.LAM.	PLASTIC LAMINATE
CAB	CABINET	P.T.	PRESSURE TREATED
CARP	CARPET	PAV	PAVING
CHAN	CHANNEL	PERF	PERFORATED
CL	CENTER LINE	PERP	PERPENDICULAR
CLG	CEILING	PL	PLATE
CLKG	CAULKING	PL	PROPERTY LINE
CLO	CLOSET	PL	PLATE
CLR	CLEAR	PLYWD	PLYWOOD
COL	COLUMN	PROP	PROPERTY
CONC	CONCRETE	PT	PAINT
CONT	CONTINUOUS	PVC	POLYVINYL CHLORIDE
CTR	CENTER	QTY	QUANTITY
D.F.	DRINKING FOUNTAIN	R	RISER
DET	DETAIL	R.C.	RESILIENT CHANNEL
DH	DOUBLE HUNG	R.C.P	REFLECTED CEILING PLAN
DIA	DIAMETER	R.D.	ROOF DRAIN
DIM	DIMENSION	R.O.	ROUGH OPENING
DISP	DISPENSER	R.W/L	RAIN WATER LEADER
DN	DOWN	RAD	RADIUS
DS	DOWNSPOUT	REF	REFERENCE
DWG(S)	DRAWING(S)	REFR	REFRIGERATOR
E	EXISTING	REINF	REINFORCED
E.F.	EXHAUST FAN	REQ	REQUIRED
E.J.	EXPANSION JOINT	REV	REVISION
EL	ELEVATION	RGTR	REGISTER
ELEC	ELECTRICAL	RM	ROOM
ELEV	ELEVATOR	RWD	REDWOOD
EMER	EMERGENCY	S	SOUTH
ENG	ENGINEER	S.C.	SOLID CORE
EO	EQUAL	S.E.D	SEE ELECTRICAL DWGS
EQPT	EQUIPMENT	S.J	SEISMIC JOINT
EXT	EXTERIOR	S.S.	STAINLESS STEEL
F.A.	FIRE ALARM	S.S.D	SEE STRUCTURAL DWGS
F.C.O.	FLOOR CLEAN OUT	SCHED	SCHEDULE
F.D.	FLOOR DRAIN	SECT	SECTION
F.E.	FIRE EXTINGUISHER	SGHT	SHEATHING
F.E.C	FIRE EXTINGUISHER CABINET	SGT	SHEET
F.F&E	FURNITURE, FIXTURES AND EQUIPMENT	SIM	SIMILAR
F.F.	FINISH FLOOR	SL	SKY LIGHT
F.O.	FACE OF	SPEC	SPECIFICATION
F.S.	FIRE SPRINKLER	SPF	SPRAY FOAM INSULATION
FIN	FINISH	SQ	SQUARE
FIXT	FIXTURE	STD	STANDARD
FLR	FLOOR	STL	STEEL
FND	FOUNDATION	STOR	STORAGE
FPRF	FIREPROOF	STRUC	STRUCTURAL
FR	FRAME	SUSP	SUSPENDED
FT	FOOT OR FEET	T	TREAD
FTG	FOOTING	T.O.	TOP OF
G.B.	GRAB BAR	T.O.P.	TOP OF PLATE
GA	GAUGE	T.O.S.	TOP OF SLAB
GALV	GALVANIZED	T.O.W.	TOP OF WALL
GFI	GROUND FAULT INTERRUPTER	TEL	TELEPHONE
GL	GLASS	TEMP	TEMPERED
GND	GROUND	THK	THICK
GYP. BD.	GYP SUM BOARD	TYP	TYPICAL
H.B.	HOSE BIB	UNF	UNFINISHED
H.C.	HOLLOW CORE	UON	UNLESS OTHERWISE NOTED
H.M.	HOLLOW METAL	UR	URINAL
H.R.	HAND RAIL	V.C.T	VINYL COMPOSITION TILE
H.W.	HOT WATER	VAR	VARIES
HDR	HEADER	W	WEST
HGT	HEIGHT	W.C.	WATER CLOSET
		W.G.	WATER GLASS
		W.M.	WALL MOUNT
		W.O.	WHERE OCCURS
		W.R.	WATER RESISTANT
		W.W.F	WIRE WELDED FABRIC
		W.W.M	WOVEN WIRE MESH
		WID	WASHER / DRYER
		WIO	WITHOUT
		WD	WOOD
		WDW	WINDOW
		WP	WATERPROOFING
		WT	WEIGHT

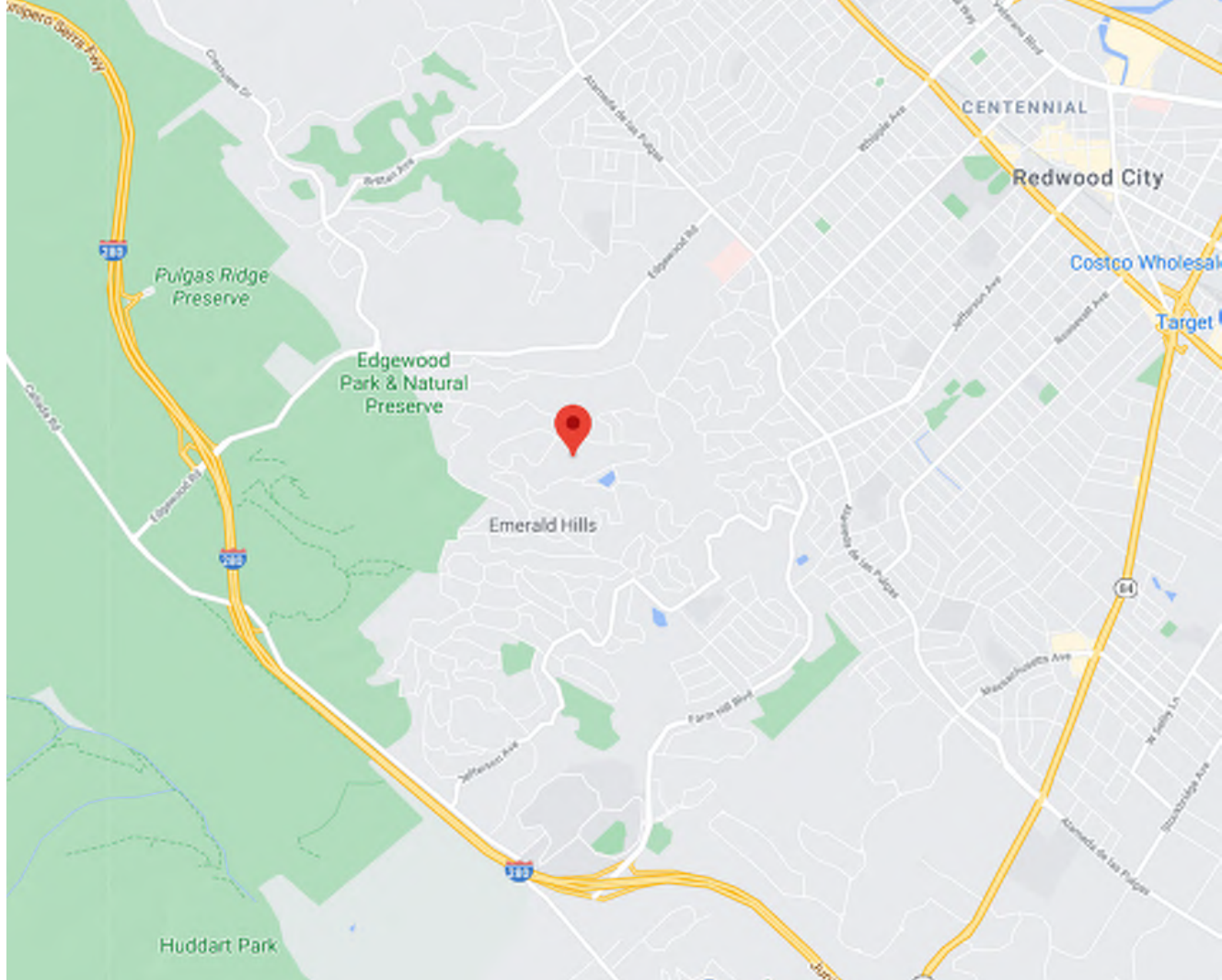
SYMBOLS:



AERIAL MAP



VICINITY MAP



379 SUMMIT DRIVE



PROJECT TEAM:

CLIENT:
GEDIS RAMANAUSKAS AND CHRISTINA HAAM
379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

ARCHITECT:
_EDIT
120 MANOR DRIVE
SAN FRANCISCO, CA 94127
TEL: 415 359 7504
EMAIL: JAMES@EDITARCH.COM

CIVIL ENGINEER & SURVEYOR:
NNR ENGINEERING SERVICES CO.
535 WEYBRIDGE DRIVE
SAN JOSE, CA 95123
TEL: 408 348 7813
EMAIL: NNRENGINEERING@YAHOO.COM

GEOTECHNICAL ENGINEER
WAYNETING & ASSOCIATES
42329 OSGOOD ROAD, UNIT A
FREMONT, CA 94539
TEL: 510 623 7768
EMAIL: TYLER@WAYNETING.NET

APPLICABLE CODES:

2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS
SAN MATEO COUNTY MUNICIPAL CODE

SAN MATEO COUNTY ZONING REGULATIONS ANALYSIS

SECTION	REQUIRED	EXISTING	PROPOSED
6807 BUILDING SITE WIDTH	50 FEET	150 FEET	150 FEET
6803 BUILDING SITE AREA	12,000 SF MIN. (0-17% AVERAGE SLOPE)	14,865 SQ. FT.	14,865 SQ. FT.
6804 BUILDING SETBACKS			
FRONT	20 FEET	48'-9"	21'-1 1/2"
SIDE	20 FEET COMBINATION, 7'-6" MIN.	EAST 26'-2 1/2", WEST 20'-3"	EAST 10'-2", WEST 20'-3"
REAR	20 FEET	14'-1"	14'-1"
6806 BUILDING SITE COVERAGE AREA RATIO	3,716 SF (25% OF 14,865 SF.)	2,865 SF, 19.3%	3,695 SF, 24.9%
6808 BUILDING FLOOR AREA	4,459 SF MAX (30% OF 14,865 SF)	3,632 SF, 24.4%	4,458 SF, 30%
GARAGE		1,033 SF	1,033 SF
1ST FLOOR		2,599 SF	2,599 SF
ADDITION			826 SF
6805 BUILDING HEIGHT	28 FEET MAX	24'-6" FEET	24'-6" FEET

SHEET LIST

Sheet No.	Sheet Name
G010	PROJECT DATA
1	TOPOGRAPHICAL SURVEY
C-1	MINOR GRADING AND DRAINAGE
C-2	CROSS SECTIONS/MISCELLANEOUS DETAILS
C-3	EROSION CONTROL
C-4	CONSTRUCTION BEST MANAGEMENT PRACTICES
A100	SITE PLAN
A101	GARAGE FLOOR PLAN - EXISTING
A102A	FIRST FLOOR PLAN - EXISTING
A102	FIRST FLOOR PLAN - PROPOSED
A103A	ROOF PLAN - EXISTING
A103	ROOF PLAN - PROPOSED
A104	BUILDING AREA CALCULATIONS
A200	ELEVATIONS EAST - SIDE
A201	ELEVATIONS WEST - REAR
A202	ELEVATIONS SOUTH - SIDE
A203	ELEVATIONS NORTH - FRONT
A300	SECTIONS
A999	EXTERIOR MATERIALS BOARD

TREE PROTECTION NOTES:

NO TREES WILL BE REMOVED AND NO WORK IS BEING DONE WITHIN EXISTING DRIP LINES.

MATERIALS NOTES:

BUILDING IS LOCATED IN AN SRA VERY HIGH FIRE HAZARD SEVERITY ZONE. ALL EXTERIOR MATERIALS AND CONSTRUCTION METHODS SHALL MEET EXTERIOR WILDFIRE EXPOSURE STANDARDS, CBC 7A. CLASS A ROOF IS REQUIRED.

WILDLAND-URBAN INTERFACE FIRE ZONE NOTES:

PRIOR TO BUILDING PERMIT FINAL APPROVAL, THE PROPERTY SHALL BE IN COMPLIANCE WITH THE VEGETATION MANAGEMENT REQUIREMENTS PRESCRIBED IN CALIFORNIA FIRE CODE SECTION 4906, INCLUDING CALIFORNIA PUBLIC RESOURCES CODE 4291 OR CALIFORNIA GOVERNMENT CODE SECTION 51182 PER CRC R337.1.5.

BUILDING IS LOCATED IN AN SRA VERY HIGH FIRE HAZARD SEVERITY ZONE. BUILDING MEETS CBC 7A 701.A.3 APPLICATION EXCEPTION 4 AND IS EXEMPT FROM WORKSHEET R337.

DEFENSIBLE SPACE REQUIREMENTS

ALL EMERGENCY ACCESS ROADS SHALL HAVE A 13 1/2 FEET OF VERTICAL CLEARANCE AND HAVE AN UNOBSTRUCTED MINIMUM WIDTH OF 20 FEET. WHERE FIRE HYDRANTS ARE LOCATED, THE ROAD SHALL BE A MINIMUM OF 26 FEET WIDE FOR A LENGTH OF 20 FEET ON EACH SIDE OF THE HYDRANT.

A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.

TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNDED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THEN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

REMOVE THAT PORTION OF ANY EXISTING TREES WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT OT OR OVERHANGING A BUILDING FREE OR DEAD OR DYING WOOD.

THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS, EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12 GAUGE USA STANDARD WIRE HAVING OPENING NOT EXCEEDING 1/2"

RAMANAUSKAS HAAM

379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

04/25/2025
Date

DESIGN REVIEW
Description

A
Rev

379 SUMMIT DRIVE

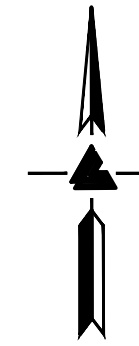
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Scale: As indicated

Sheet Title

PROJECT DATA

G010



REDWOOD CITY BENCHMARK
CITY BM 76
HANDLEY TRAIL AT HADLEY ROCK -
SET BRASS DISC STAMPED CITY OF
REDWOOD CITY BENCHMARK ON
CONCRETE RETAINING WALL, NE SIDE
OF STREET, 35' NORTH OF UTILITY
POLE, 40 SE OF FIRE HYDRANT.
ELEVATION = 511.5'
(NAVD 88 DATUM)

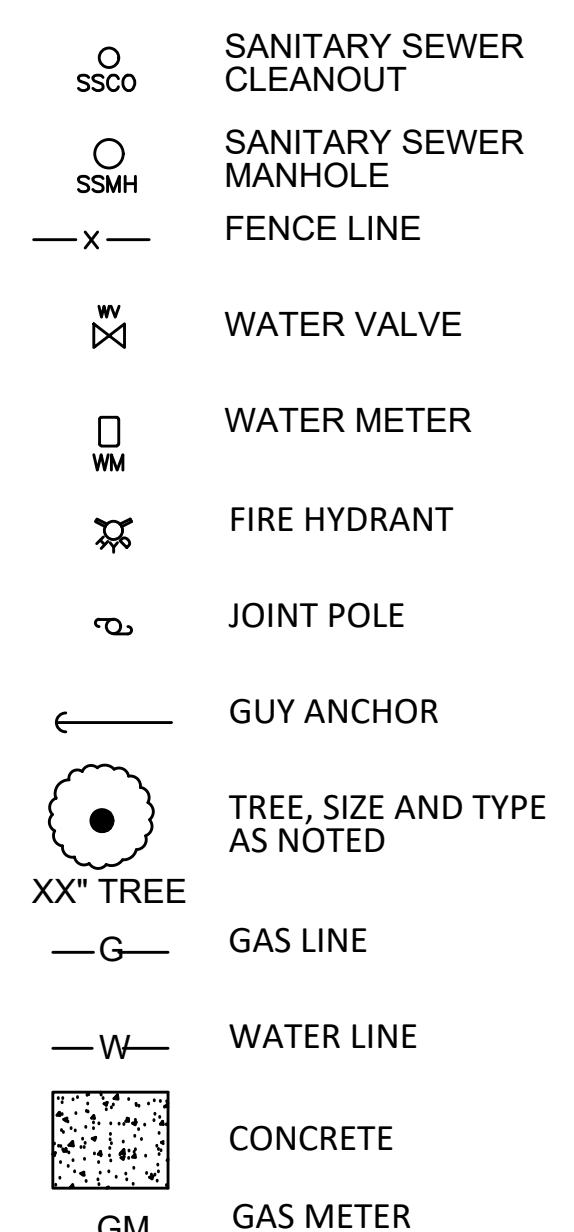
PROPERTY COMPLETELY OUT OF
SPECIAL FLOOD HAZARD AREA (SFHA)
PER CURRENT FLOOD INSURANCE
RATE MAP.

THERE ARE NO RECORD EASEMENTS
PER PRELIMINARY TITLE REPORT
ISSUED BY PACIFIC COAST TITLE
COMPANY, ORDER NO. 10162209,
DATED AS OF JUNE 17, 2020

SURVEY CONTROL POINT
MAG AND SHINER SET IN ASPHALT
ELEVATION = 405.92'
(NAVD 88 DATUM)

1. UTILITIES FOUND ARE BASED UPON SURFACE EVIDENT FINDINGS. RECORDS OF UTILITIES WERE NOT UTILIZED FOR THIS SURVEY
2. TREES SHOWN ARE THOSE OF SIZE SIGNIFICANCE. THE SITE CONTAINS OTHER TREES UNDER 6" AND ARE NOT SHOWN FOR MAP CLARITY. TREE CLASSIFICATIONS ARE TO THE BEST KNOWLEDGE OF THE SURVEYOR. AN ARBORIST MUST SPECIFY ACTUAL TREE TYPE. TREE TRUNK LOCATIONS ARE APPROXIMATE. TREES THAT CROSS A PROPERTY LINE AT GROUND LEVEL SHOULD BE CONSIDERED TO BE JOINTLY OWNED BY THE RESPECTIVE PROPERTY OWNERS. CONSULT AN ARBORIST FOR DETAILS.
3. MAIN STRUCTURE AND APPURTENANT STRUCTURES ARE BASED UPON THE BEST EFFORTS OF THE SURVEY CREW. SOME ELEMENTS MAY BE MISSING AND CHECKS BY THE ARCHITECTS OFFICE WILL BE NECESSARY BEFORE DESIGN WORK.
4. PHYSICAL ITEMS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SURFACE ITEMS VISIBLE AS OF THE DATE OF THIS SURVEY AND FROM AVAILABLE RECORD DATA. SUBSURFACE OBJECTS, IF ANY, MAY NOT BE SHOWN. SAID SUBSURFACE OBJECTS MAY INCLUDE, BUT ARE NOT LIMITED TO, UNDERGROUND UTILITY LINES, UTILITY VAULTS, CONCRETE FOOTINGS, SLABS, SHORING, STRUCTURAL PILES, PIPING, UNDERGROUND TANKS, AND ANY OTHER SUBSURFACE STRUCTURES NOT REVEALED BY A SURFACE INSPECTION.

LOT 22
11 MAPS 7



A horizontal number line is shown with tick marks at 0, 10, 20, and 30. The word "FEET" is written at the end of the line. A thick black bar is drawn above the line, starting at the 5-foot mark and ending at the 20-foot mark.

THIS MAP CORRECTLY REPRESENTS A TOPOGRAPHIC
SURVEY MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF THE LAND
SURVEYOR ACT



REDWOOD CITY

	DATE	MK	SHEET REVISIONS	BY	CK	SCALE 1"=10'
JOB NO.						DATE
SUMMIT DRIVE						3-17-2025
CAD FILE:						DRAWN BY
						NH
						CHECKED
						B. STOCKINGER
						PROJECT MANAGER
						(Signature)

SHEET NO. **1**

____ SHEETS

GRADING AND DRAINAGE CONSTRUCTION NOTES:

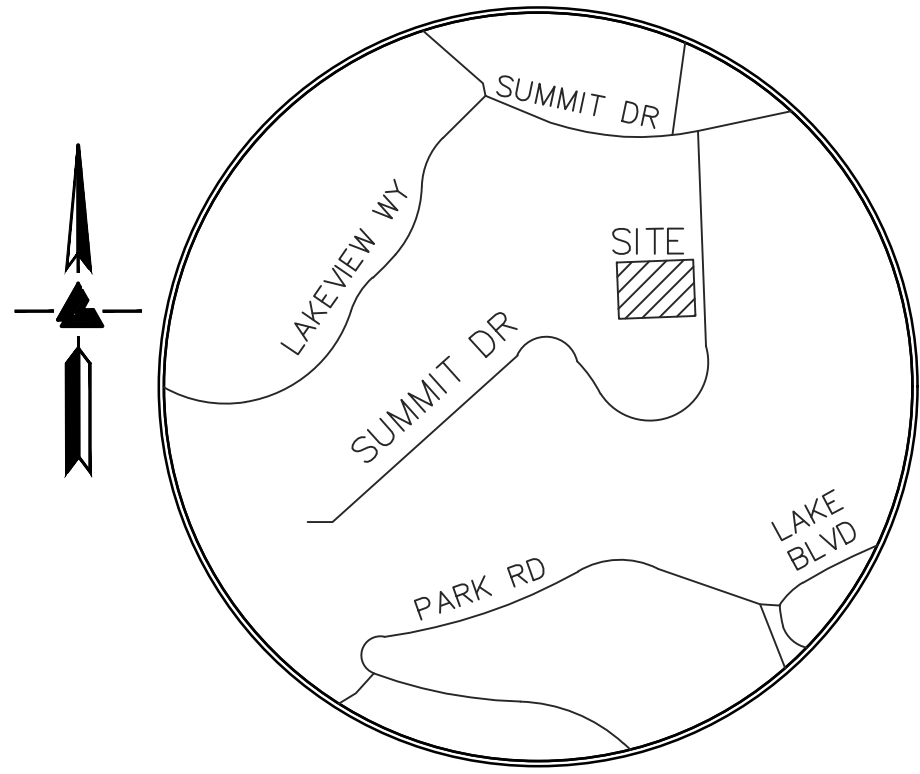
- 1
- APPROXIMATE LOCATION OF EXISTING WATER SERVICE LINE.
- 2
- DIRECT SURFACE FLOW DRAINAGE AWAY FROM BUILDING AT 2% SLOPE FOR PAVED AREAS AND SLOPE 5% FOR AT LEAST 10 FEET, FOR NON-PAVED (DIRT & LANDSCAPE) AREAS.
- 3
- EARTH SWALE @ S=0.7%. SEE DETAIL ON C-2.
- 4
- APPROXIMATE LOCATION OF 4" PERFORATED PIPE @ S=1% MIN. FOOTING DRAIN- TYP. SEE DETAIL ON SHEET C-2.
- 5
- 4" PVC (SDR-35) @ S=1% MIN.
- 6
- BUBBLER- (CHRISTY V-24) WITHOUT BOTTOM.SEE DETAIL ON C-2.
- 7
- FOOTING DRAIN CLEAN-OUT- TYP.
- 8
- APPROXIMATE LOCATION OF EXISTING 4" SDR-26 SS. LATERAL.

DRAINAGE NOTES

- 1
- SURFACE WATER SHALL BE DIRECTED AWAY FROM ALL BUILDINGS INTO DRAINAGE SWALES, GUTTERS OR PAVED SURFACES.
- 2
- ALL ROOF DOWNSPOUTS SHALL DISCHARGE ONTO PAVED SURFACES, SPLASH BLOCKS, POP-UP EMITTERS OR OTHER FACILITIES THAT WILL PREVENT WATER FROM COLLECTING IN THE SOIL ADJACENT TO THE FOUNDATIONS.
- 3
- THIS PROJECT PROPOSES TO MAXIMIZE THE PERVIOUS AREAS AND SELF-RETAINING DISCHARGE AREAS AS FOLLOWS:
PERVIOUS AREAS, INCLUDES LANDSCAPING AREAS, TURF, LAWN AND UNIT PAVERS ON SAND. RUNOFF FROM IMPERVIOUS AREAS (ROOFS, WALKS, PATIOS, ETC) ARE ROUTED TO PERVIOUS AREAS, PLANTER BOXES, LANDSCAPING AREAS, ETC.
GRASSY SWALES, VEGETATED CHANNELS THAT CONVEY AND INFILTRATE THE STORM WATER AND REMOVE POLLUTANTS.

GENERAL NOTE

- 1
- "UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEET FLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10 YEAR STORM."
- 2
- "GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER 1804.A3 OF THE CALIFORNIA BUILDING CODE (CBC)."
- 3
- DISTURBED AREAS = MULCH
MINIMUM AND LANDSCAPE PLAN
TO BE ON SEPARATE PERMIT.



VICINITY MAP
NO SCALE



NNR ENGINEERING

SERVICES CO.
633 WEYERBROCK DRIVE
SAN JOSE, CALIFORNIA 95023
(408) 948-7883

CALIFORNIA

320/379 SUMMIT DRIVE

REDWOOD CITY

APN 057-162-460
APN 057-162-470

SAN MATEO COUNTY

MINOR GRADING
AND
DRAINAGE PLAN

UNDERGROUND NOTES

- 1
- CONTRACTORS SHALL EXPOSE AND VERIFY PIPE MATERIAL, LINE SIZE, LOCATION AND ELEVATION OF EXISTING UTILITIES, INCLUDING SANITARY SEWERS, STORM DRAINS, AND WATER LINES AT ALL TIE-INS AND CROSSINGS PRIOR TO CONSTRUCTING NEW FACILITIES.
- 2
- UNLESS OTHERWISE NOTED, ALL STORM DRAINS, SANITARY SEWERS, MANHOLES AND INLETS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE CITY OF LOS ALTOS STANDARD SPECIFICATIONS AND STANDARD PLAN DETAILS AS DESIGNATED AND TO DETAILS AS SHOWN ON THE PLAN.
- 3
- ALL TRENCH EXCAVATION, BACKFILL AND BEDDING FOR STORM DRAINS AND SANITARY SEWERS SHALL CONFORM TO COUNTY OF SAN MATEO STANDARD SPECIFICATIONS, AND DETAILS.
- 4
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- 5
- ALL GAS, ELECTRICAL, TELEPHONE AND CABLE T.V. UTILITIES, WILL BE DESIGNED AND CONSTRUCTED BY OTHERS UNDER SEPARATE CONTRACTS AND PLANS.

STANDARD GRADING AND DRAINAGE NOTES:

- A
- ALL GRADING DURING THE RAINY SEASON (OCTOBER 15TH THROUGH APRIL 15TH) REQUIRES AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE COUNTY. STORMWATER POLLUTION PREVENTION MEASURES SHALL BE IMPLEMENTED THROUGHOUT THE YEAR, TO THE SATISFACTION OF THE CONSTRUCTION SUPERVISOR.
- B
- ALL CHANGES TO THE APPROVED GRADING AND DRAINAGE PLAN REQUIRE A PLAN MODIFICATION APPROVAL BY THE COUNTY IN ADVANCE OF CONSTRUCTION THE CHANGE. THE PROPOSED PLAN CHANGE MUST BE GENERATED FROM THE ENGINEER/ARCHITECT WHO ORIGINALLY PREPARED THE PLAN.
- C
- ANY DEVIATION FROM THE APPROVED PLAN AND/OR FAILURE TO OBTAIN GRADING AND DRAINAGE INSPECTION MAY AFFECT THE PUBLIC WORKS SIGNOFF FOR BUILDING FINAL AND/OR OCCUPANCY.
- D
- PROVIDE DIMENSIONS ON THE GRADING PLAN TO SHOW THE NEAREST EDGES OF THE GRAVEL BASINS WITH BE 10 FEET MINIMUM TO ALL PROPERTY LINES.
- E
- THE STORM RUNOFF GENERATED BY THE NEW PROJECT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE

EARTH WORK NOTE:

THE CONTRACTOR SHALL STRICTLY ADHERE TO THE SOILS ENGINEER'S RECOMMENDATIONS ON STRIPPING AND SITE PREPARATION FOR ALL PERTINENT GRADING, PAVING AND TRENCH BACKFILL ON THIS SITE.

MAINTENANCE NOTES

MAINTENANCE NOTE: IT SHALL BE THE OWNER 'S RESPONSIBILITY TO ENSURE THAT ALL DRAINAGE IMPROVEMENTS SHOWN HEREON ARE MAINTAINED IN GOOD WORKING ORDER. THIS INCLUDES PERIODICALLY INSPECTING THE STORM DRAIN PIPES FOR SEDIMENT AS WELL AS THE DRAIN INLETS, SEDIMENT BASINS AND PERMEABLE PAVEMENT FOR SEDIMENT. ANY BUILT UP SEDIMENT SHOULD BE PERIODICALLY CLEANED TO ENSURE THE DRAINAGE FEATURES FUNCTION AS INTENDED.

ABBREVIATION	DESCRIPTION
AD	AREA DRAIN
CO	CLEANOUT
(E)	EXISTING
FG	FINISH GRADE
FL	FLOW LINE
FS	FINISH SLAB
PROPERTY LINE	-----
CENTERLINE	-----
FOOTING DRAIN LINE	----- S&B
STORM DRAIN LINE	-----
DRAINAGE FLOW	→
RETAINING WALL	▨

TRAFFIC CONTROL NOTE

CONTRACTORS TO MANAGE EQUIPMENT, STAFF PARKING, HAULING, EXCAVATION WORK ETC.

SHEET INDEX

GRADING AND DRAINAGE PLAN	C-1
MISC. DETAILS	C-2
EROSION CONTROL	C-3
CONSTRUCTION BEST MANAGEMENT PRACTICES	C-4

ENCROACHMENT PERMIT

ENCROACHMENT PERMIT IS REQUIRED PRIOR TO START OF ANY CONSTRUCTION ACTIVITIES WITHIN STREET RIGHT-OF-WAY.

NOTE:

THE QUANTITIES ARE SHOWN FOR THE PURPOSE OF GRADING PERMIT APPROVAL FROM THE COUNTY OF SAN MATEO AND ARE NOT TO BE USED FOR PAYMENT TO THE CONTRACTOR . CONTRACTOR SHALL ESTABLISH HIS OWN QUANTITIES.

EARTHWORK QUANTITY

WITHIN BUILDING FOOTPRINT APPROXIMATE CUT REQUIRED	100± CY
OUTSIDE BUILDING FOOTPRINT APPROXIMATE CUT REQUIRED	100± CY
FILL REQUIRED	0± CY
EXPORT	200± CY

JOB NO:

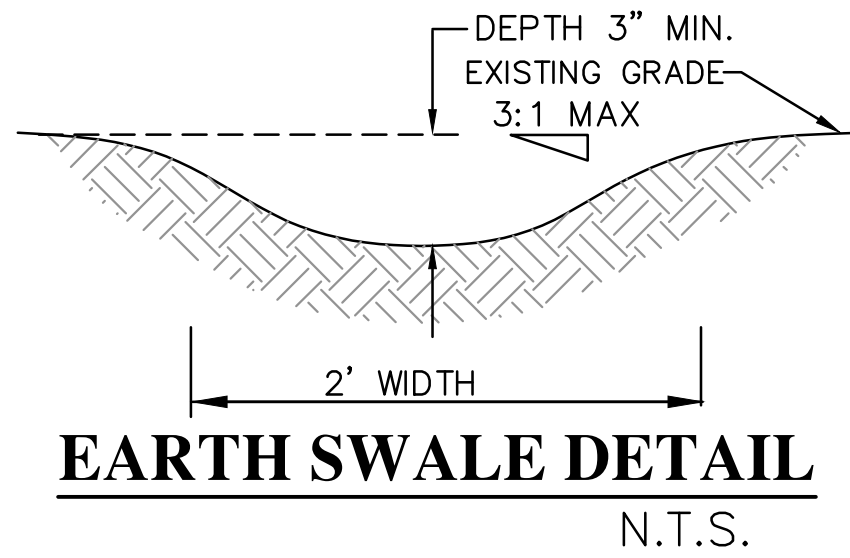
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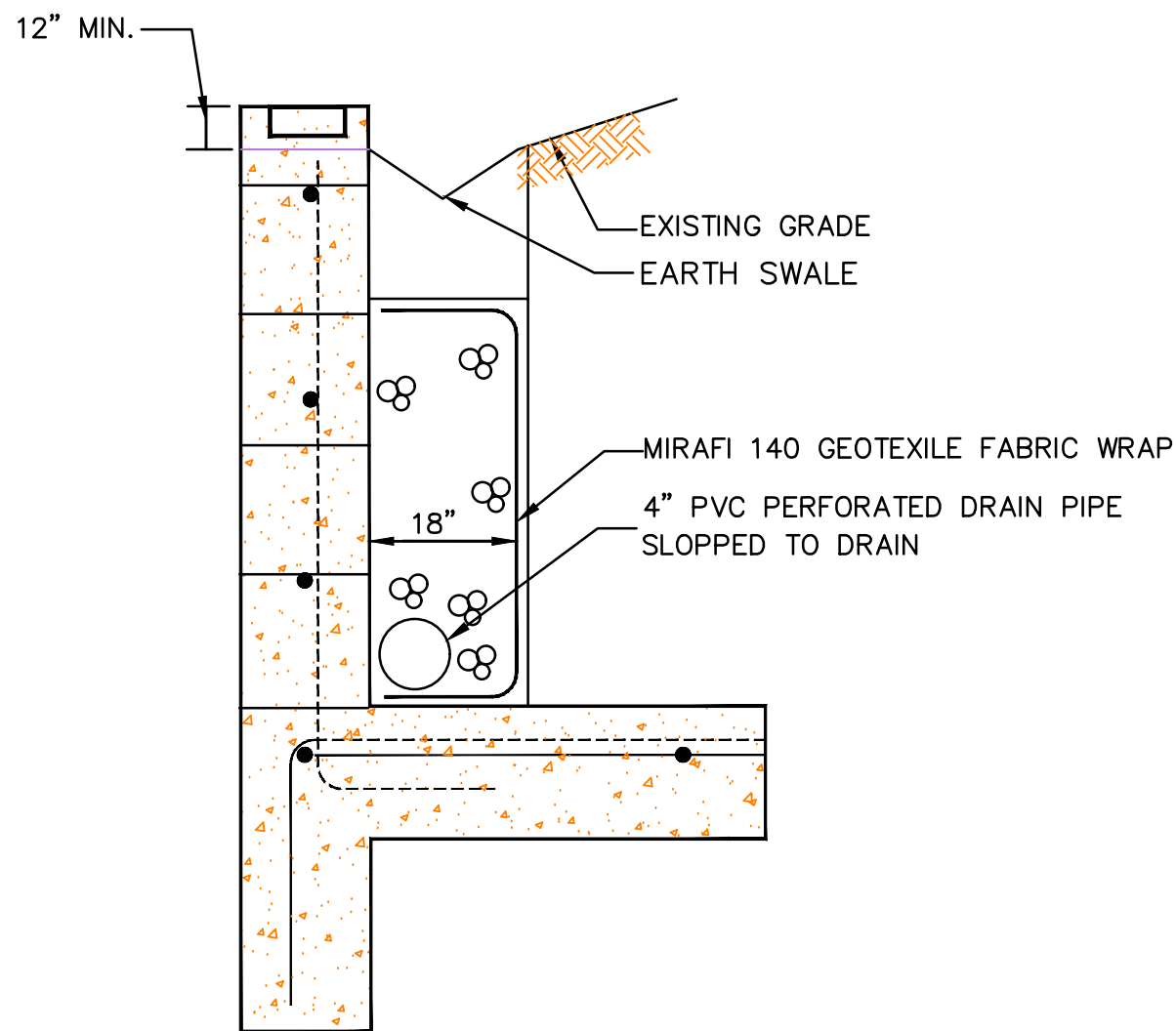
C-1

OF 4 SHEETS

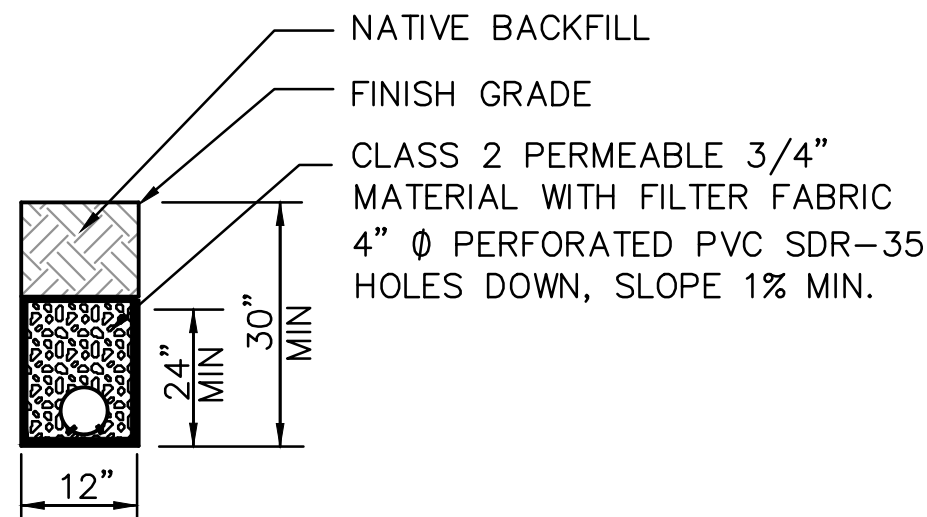


MAINTENANCE NOTES

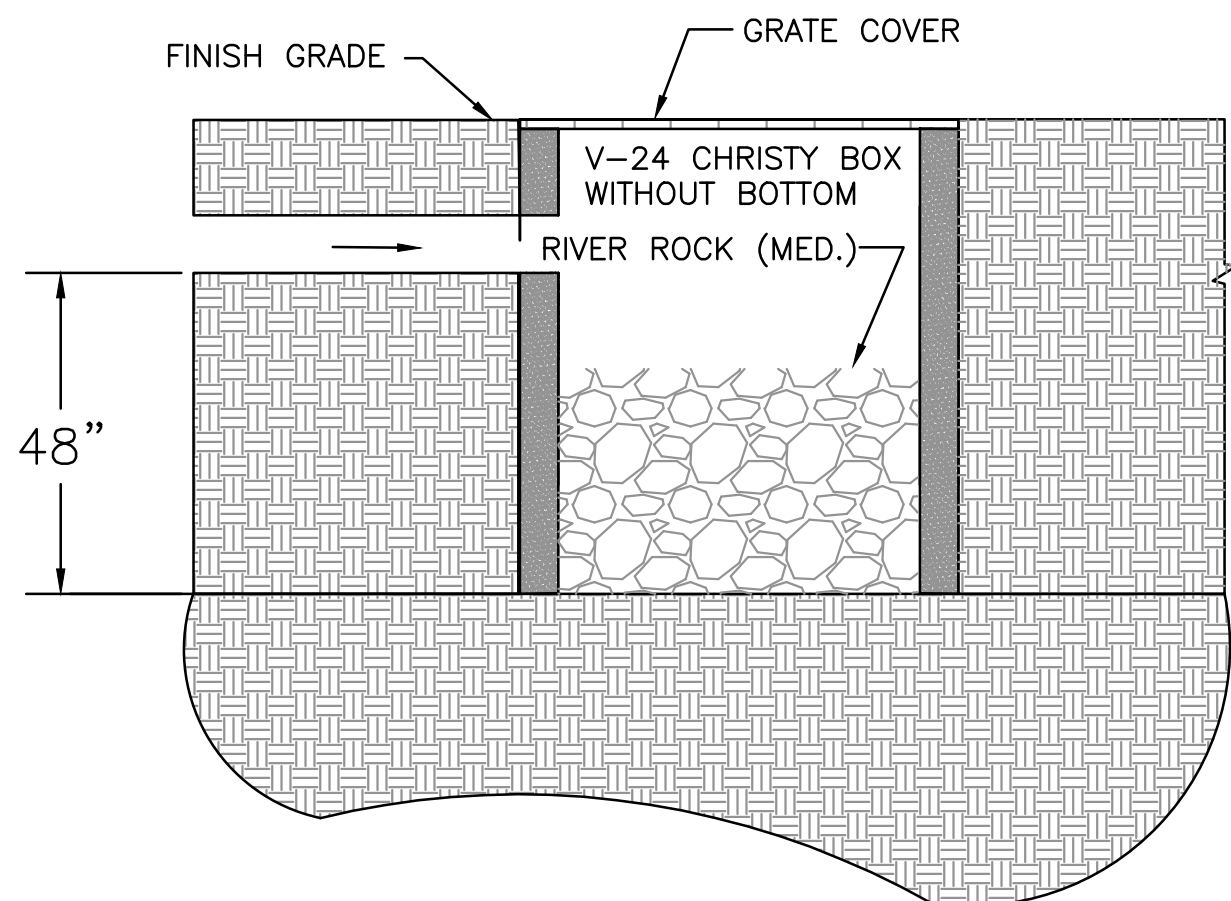
- 1. OWNER IS RESPONSIBLE FOR MAINTAINING ALL INLETS, RETENTION SYSTEM AND INFILTRATION DEVICE FROM TRASH, DEBRIS & SEDIMENTS.
- 2. THE REGULAR CLEARING OF SILT AND DEBRIS IS ESPECIALLY IMPORTANT PRIOR TO EACH RAINY SEASON.



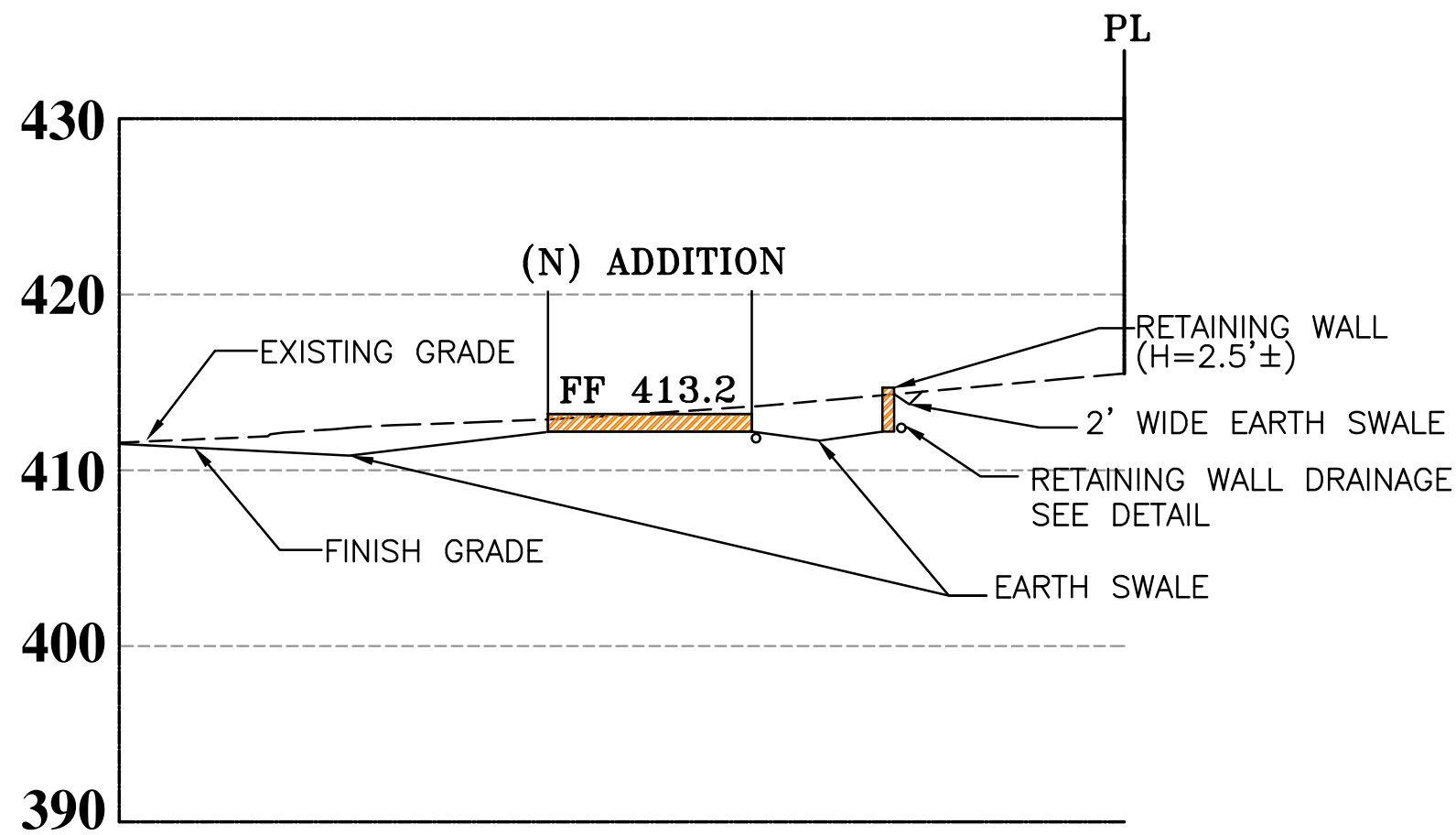
RETAINING WALL- TYPICAL DRAINAGE DETAIL
N.T.S.



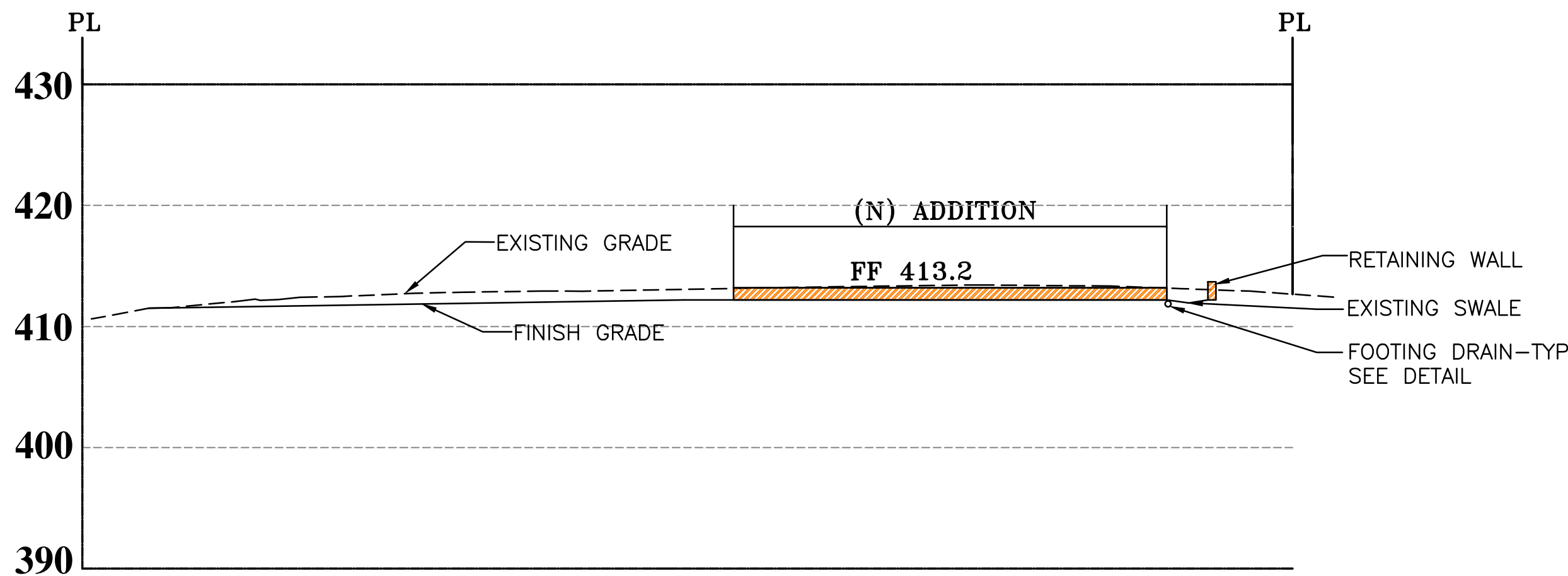
FOOTING DRAN DETAIL
N.T.S.



BUBBLER
N.T.S.



SECTION B-B
SCALE: H 1"=10'
V 1"=10'



SECTION A-A
SCALE: H 1"=10'
V 1"=10'



NR ENGINEERING
SERVICES CO.
635 WETTERIDGE DRIVE
SAN JOSE, CALIFORNIA 95023
(408) 948-7815

320/379 SUMMIT DRIVE

REDWOOD CITY

APN 057-662-460

APN 057-662-470

SAN MATEO COUNTY

CALIFORNIA

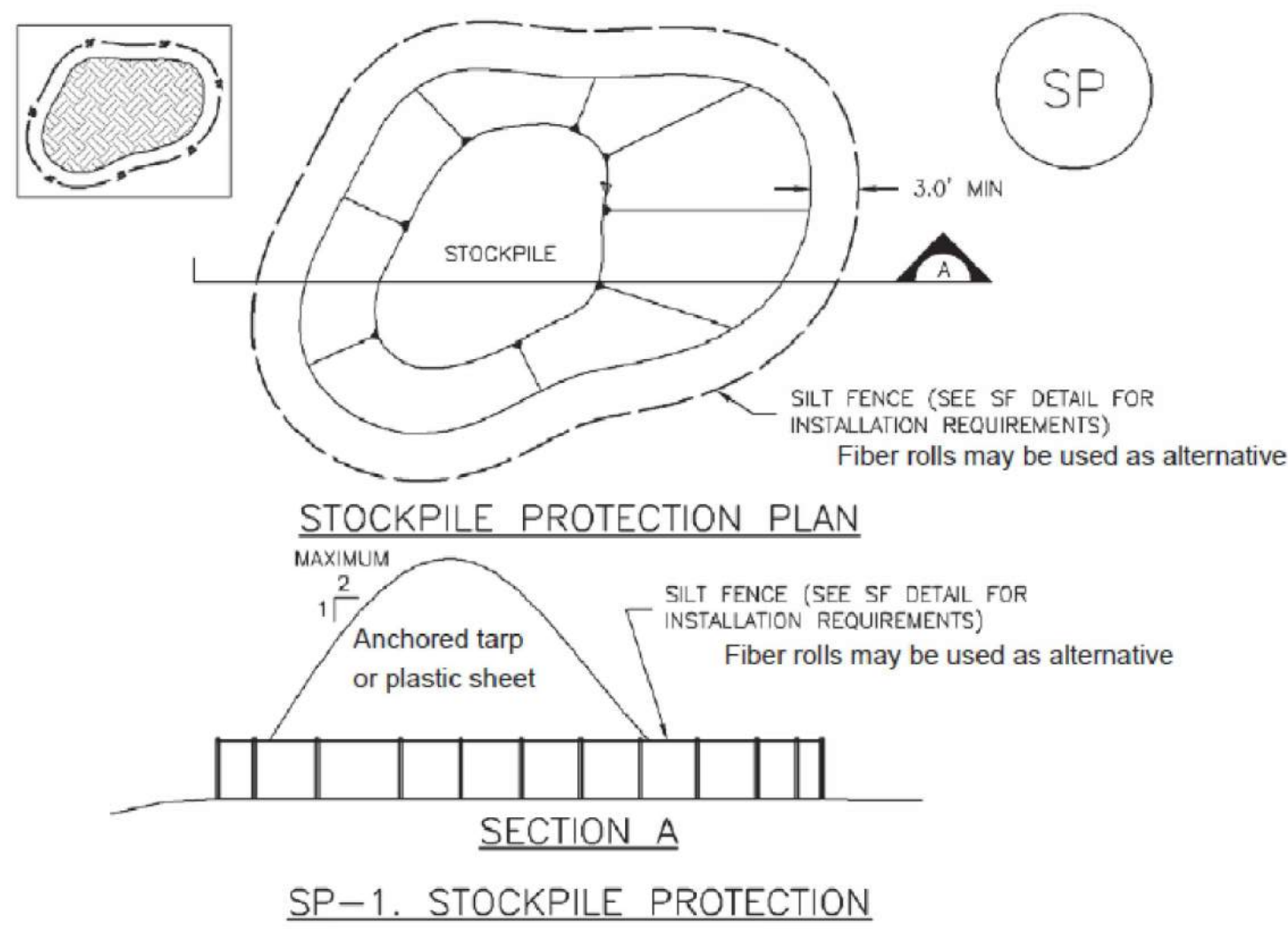
CROSS SECTIONS/
MISCELLANEOUS
DETAILS

-	-
-	-
-	-
-	-
-	-

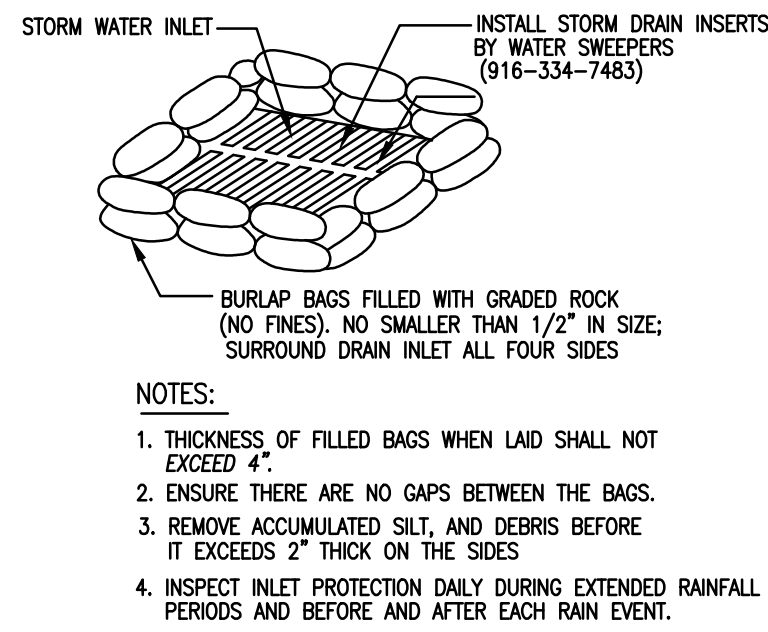
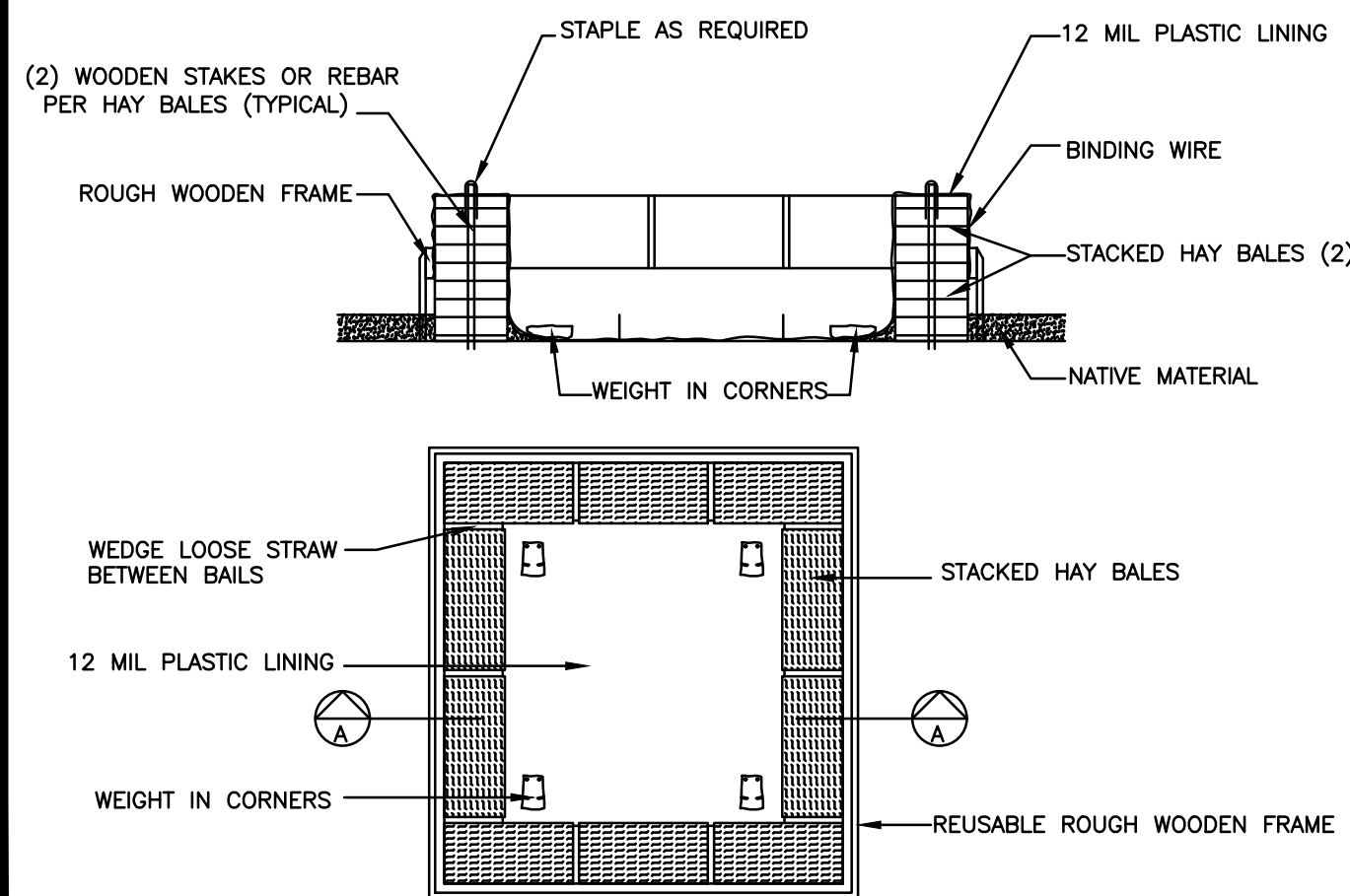
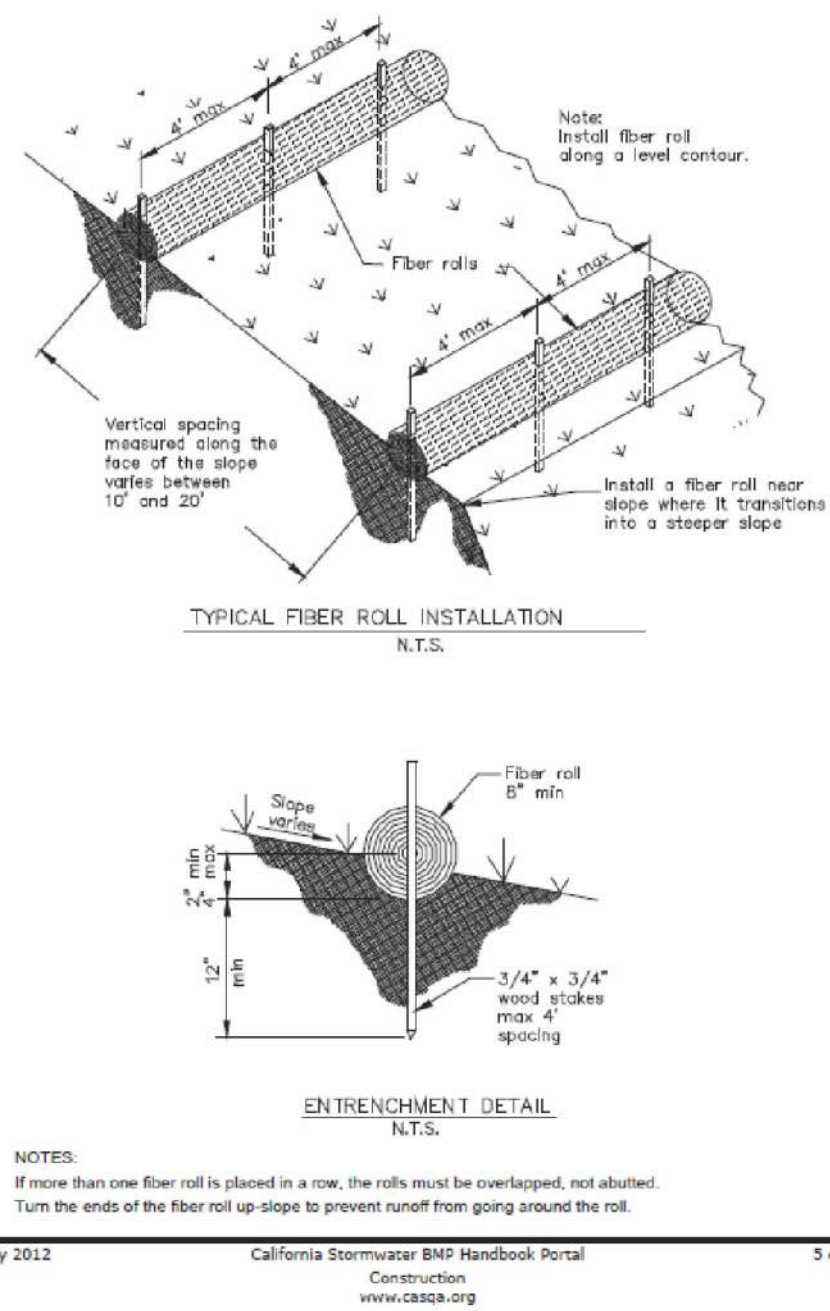
REVISIONS	BY
JOB NO:	
DATE:	4-2-2025
SCALE:	AS SHOWN
DRAWN BY:	NR
SHEET NO:	

C-2

Stockpile Management (SP)



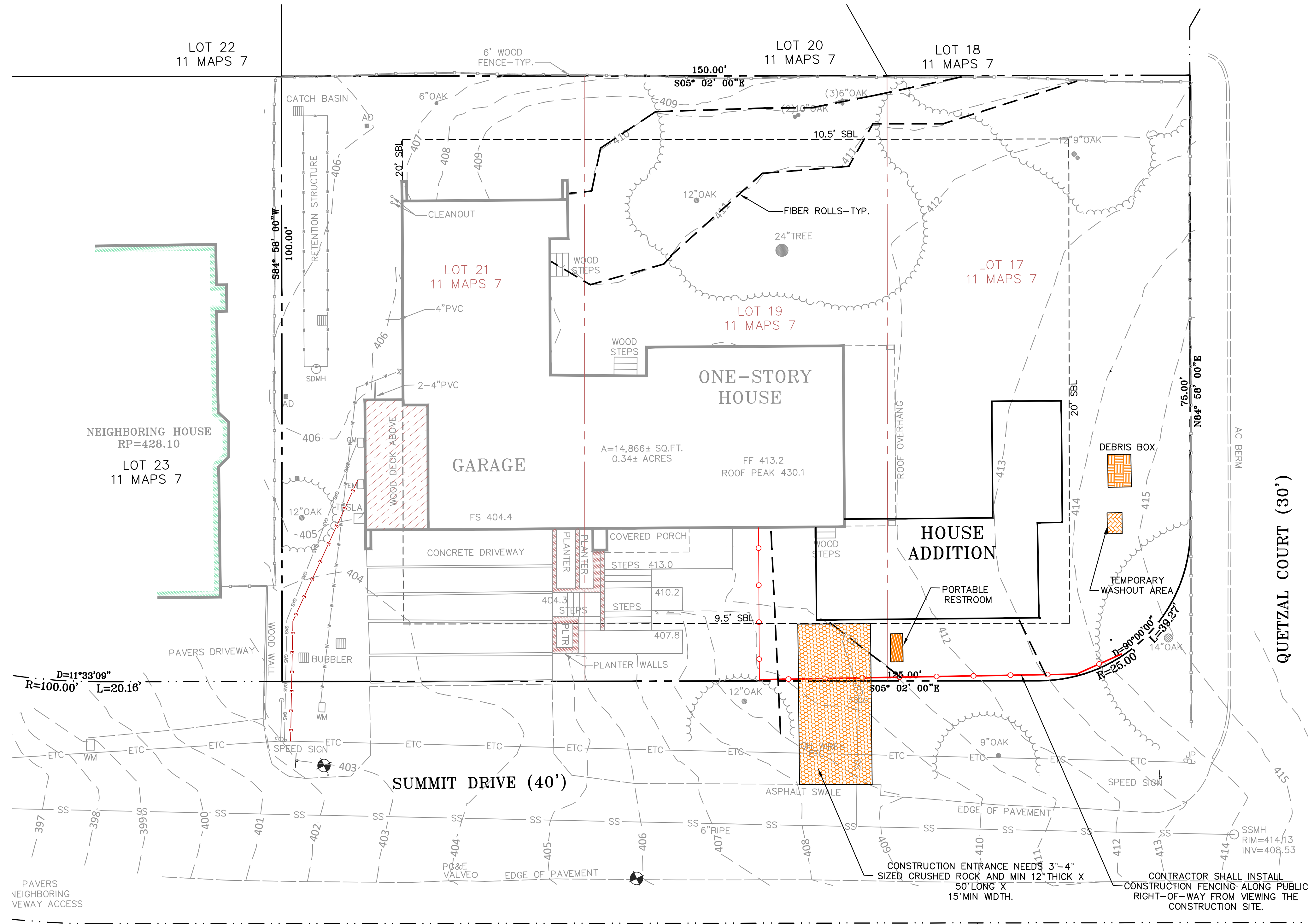
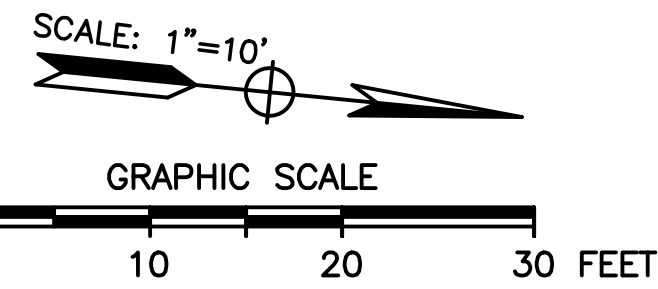
Fiber Rolls SE-5



BURLAP SACK DRAIN INLET (D.I.)
SEDIMENT FILTER DETAIL

MAINTENANCE NOTES

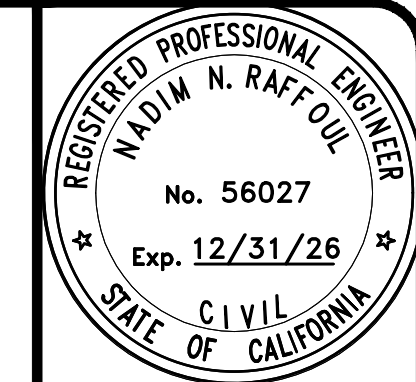
1. MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - A. REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - B. SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - C. SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - D. SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - E. SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - F. RILLS AND GULLIES MUST BE REPAIRED.



COUNTY STANDARD NOTES:

PROJECT EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AS NECESSARY THROUGHOUT THE DURATION OF THE PERMIT TO BE EFFECTIVE. IF SIGNIFICANT FIELD CHANGES ARE MADE, REVISED PLANS MUST BE SUBMITTED FOR APPROVAL. THE BUILDING INSPECTOR HAS THE AUTHORITY TO REQUIRE ADDITIONAL MEASURES AT ANY TIME, AND MAY CANCEL ANY REQUESTED INSPECTION IF ANY MEASURES ARE FOUND TO BE DEFICIENT. A STOP WORK NOTICE MAY BE ISSUED PURSUANT TO THE COUNTY'S STORMWATER ENFORCEMENT RESPONSE PLAN UNTIL CORRECTIONS HAVE BEEN MADE AND APPLICABLE FEES PAID FOR STAFF ENFORCEMENT TIME. THE PROPERTY OWNER SHALL DEMONSTRATE VIA BUILDING INSPECTION, THAT THE SITE IS STABILIZED EITHER WITH ADEQUATE EROSION CONTROL OR LANDSCAPING, PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

NOTE:
DISTURBED AREAS = MULCH MINIMUM AND LANDSCAPE PLAN
TO BE ON SEPARATE PERMIT.



NMR ENGINEERING
SERVICES CO.
585 WEBSTER DRIVE
SAN JOSE, CALIFORNIA 95023
(408) 948-7893

320/379 SUMMIT DRIVE

REDWOOD CITY

APN 057-182-480
APN 057-182-470

EROSION CONTROL
PLAN

REVISIONS	BY
JOB NO:	
DATE:	4-2-2025
SCALE:	1" = 10'
DRAWN BY:	NR
SHEET NO:	

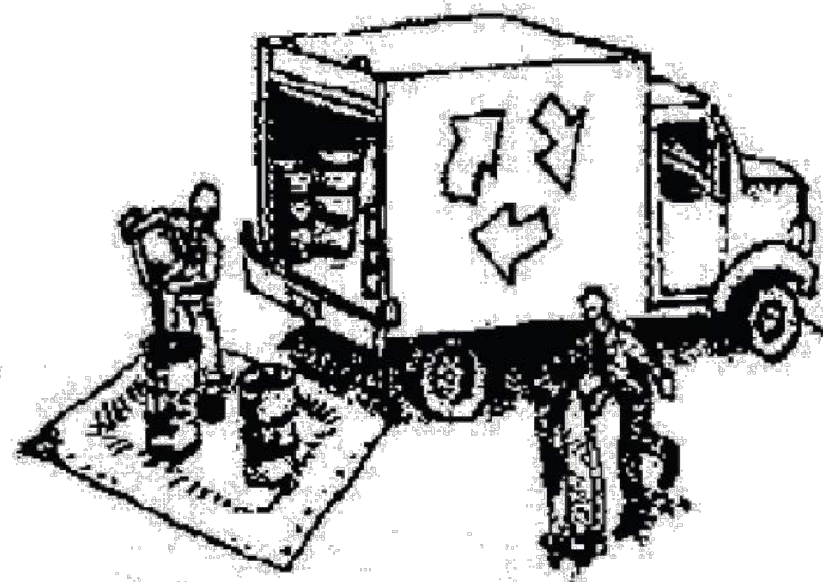
C-3

OF 4 SHEETS

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



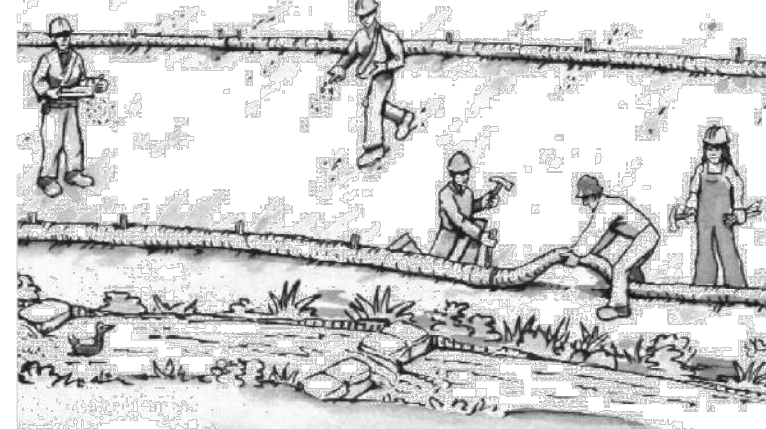
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

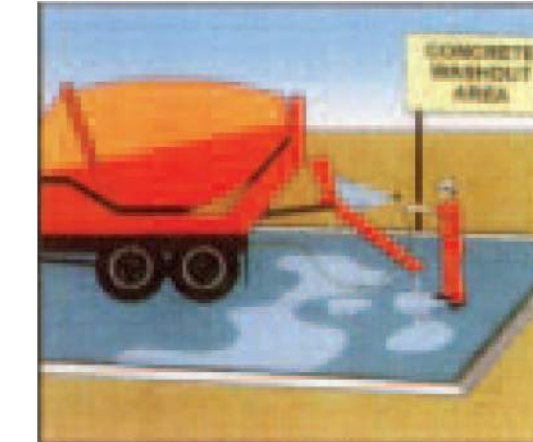


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

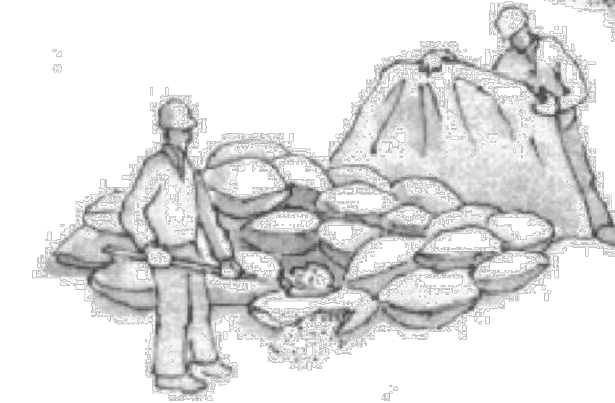
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



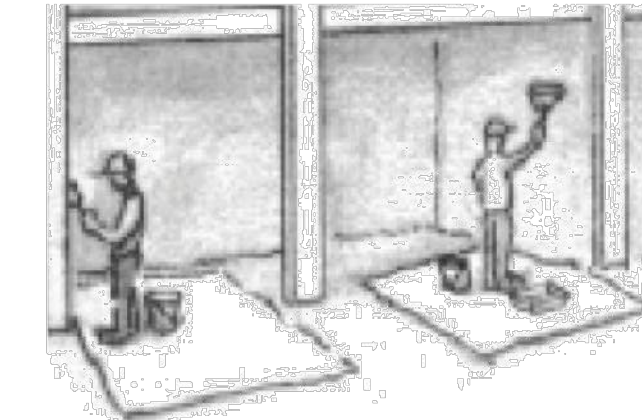
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

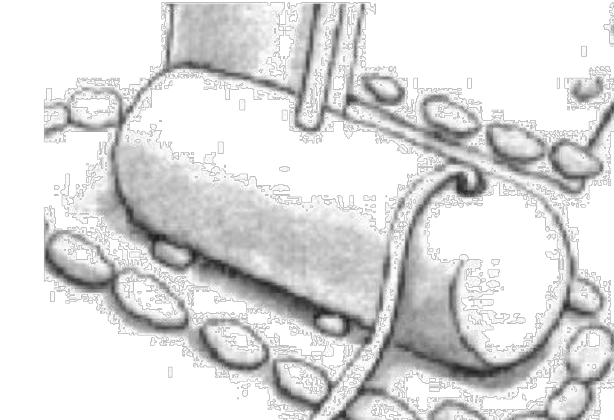
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!



NNR ENGINEERING

SERVICES CO.
555 WEVERIDGE DRIVE
SAN JOSE, CALIFORNIA 95123
(408) 348-7893

320/379 SUMMIT DRIVE

REDWOOD CITY

SAN MATEO COUNTY

APN: 057-162-460

APN: 057-162-470

**CONSTRUCTION BEST
MANAGEMENT
PRACTICES (BMPs)**

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-	-
-	-
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REVISIONS BY

JOB NO:

DATE: 4-2-2025

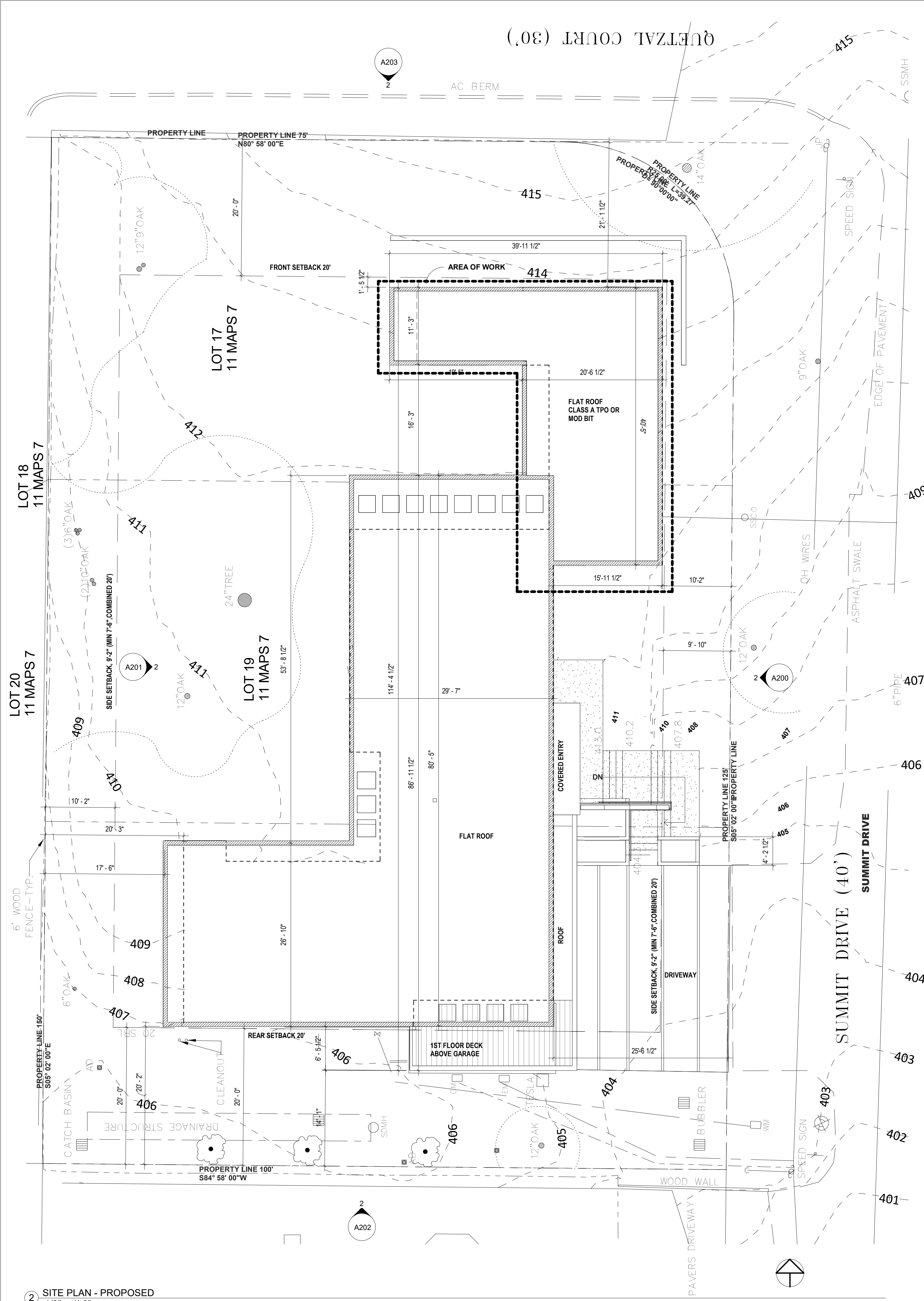
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DRAWN BY: NR

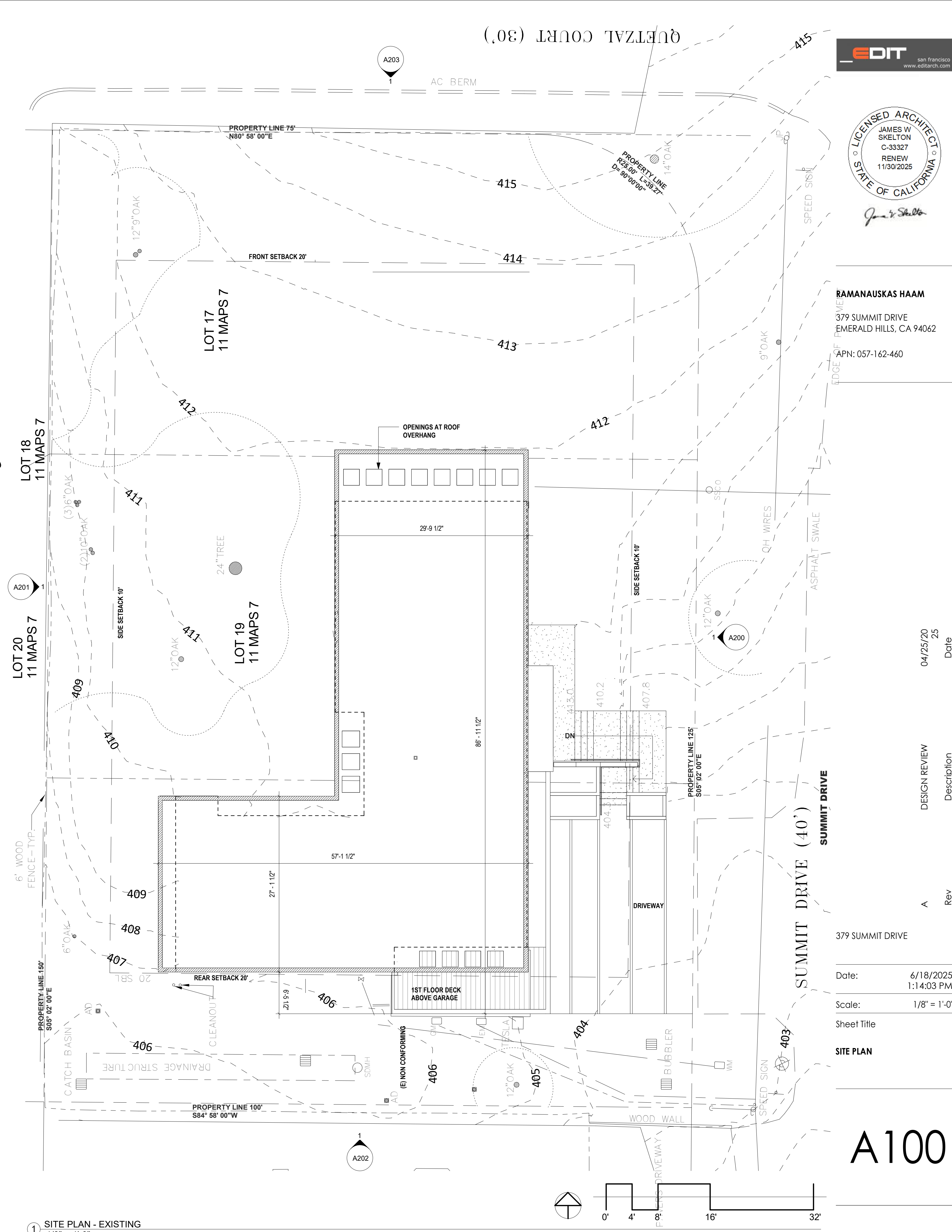
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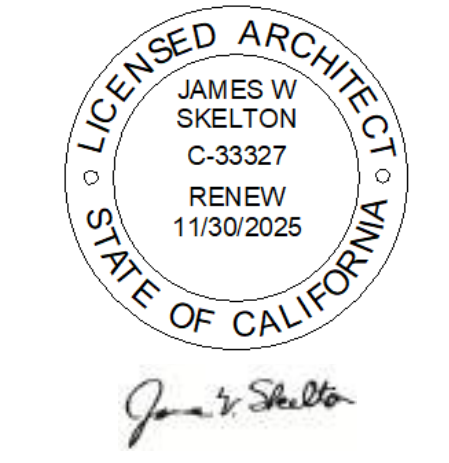
OF 4 SHEETS



2 SITE PLAN - PROPOSED
1/8" = 1'-0"



1 SITE PLAN - EXISTING
1/8" = 1'-0"



RAMANAUSKAS HAAM
379 SUMMIT DRIVE
EMERALD HILLS, CA 94062
APN: 057-162-460

Rev	Description	Date
A	DESIGN REVIEW	04/25/2025

379 SUMMIT DRIVE

Date: 6/18/2025 1:14:03 PM

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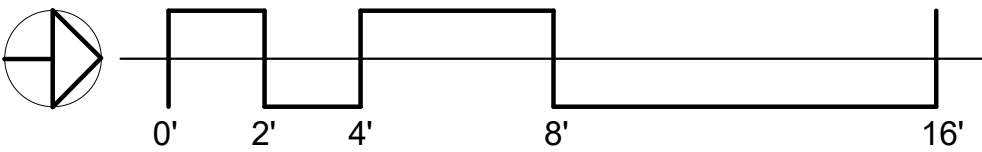
Sheet Title

SITE PLAN

A100



A101



James W. Skelton

RAMANAUSKAS HAAM

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EMERALD HILLS, CA 94062

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Description

A
Rev

379 SUMMIT DRIVE

Date: 6/18/2025
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Scale: 1/4" = 1'-0"

Sheet Title

FIRST FLOOR PLAN - EXISTING

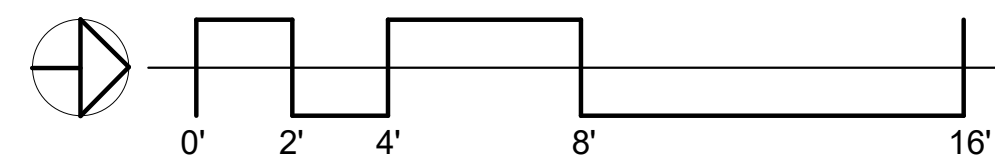
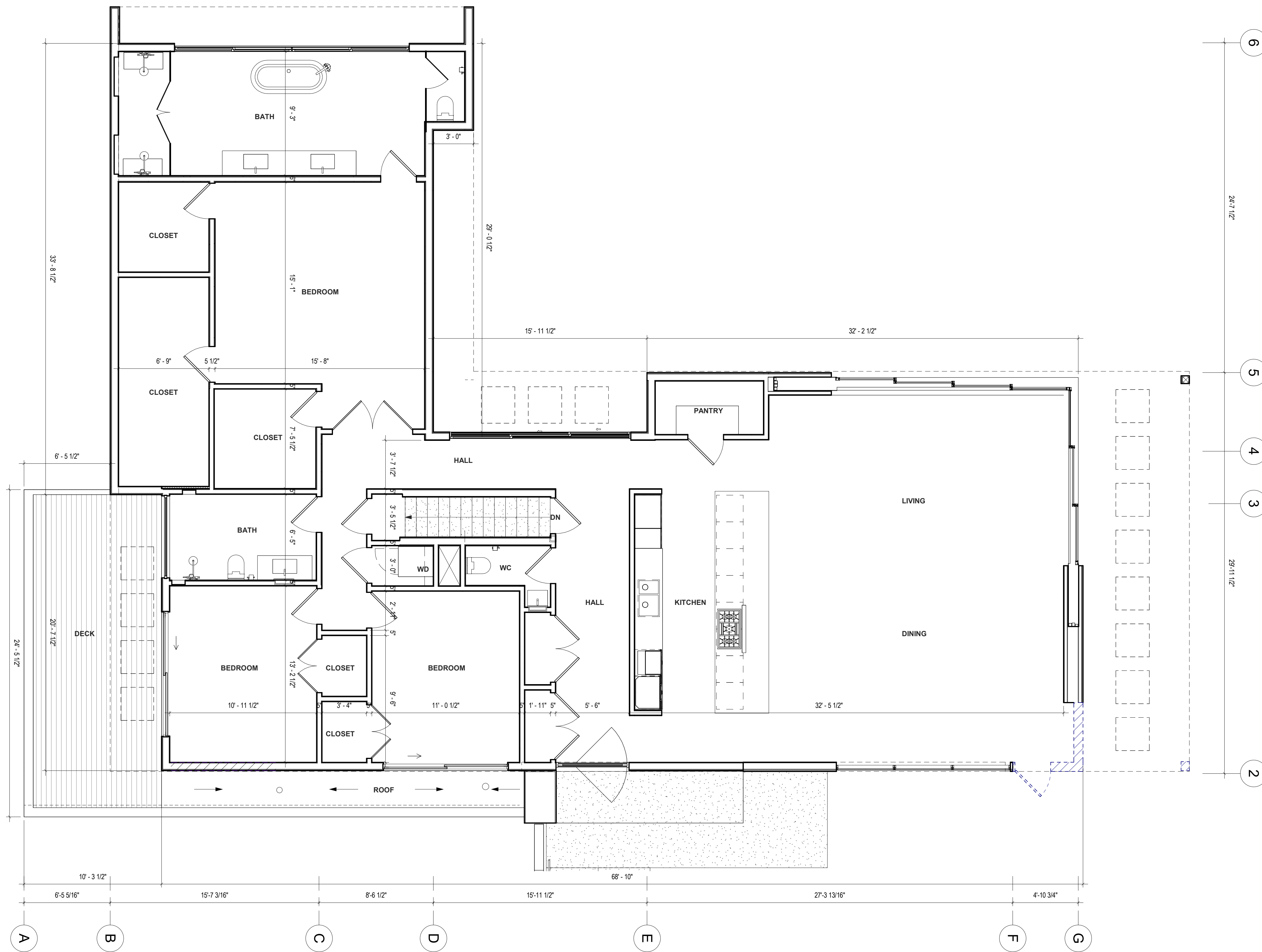
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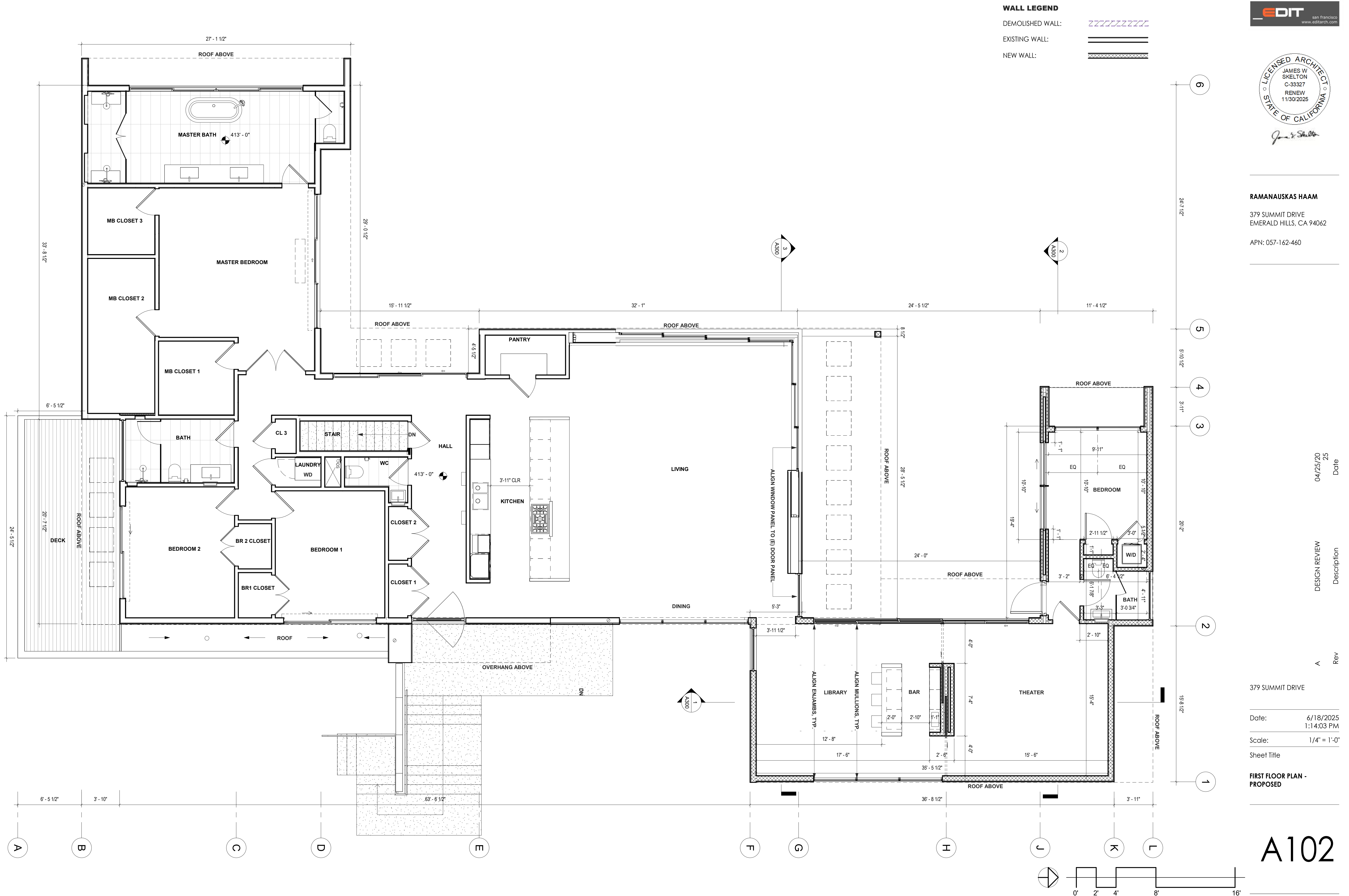
WALL LEGEND

DEMOLISHED WALL: 

EXISTING WALL: 

NEW WALL: 







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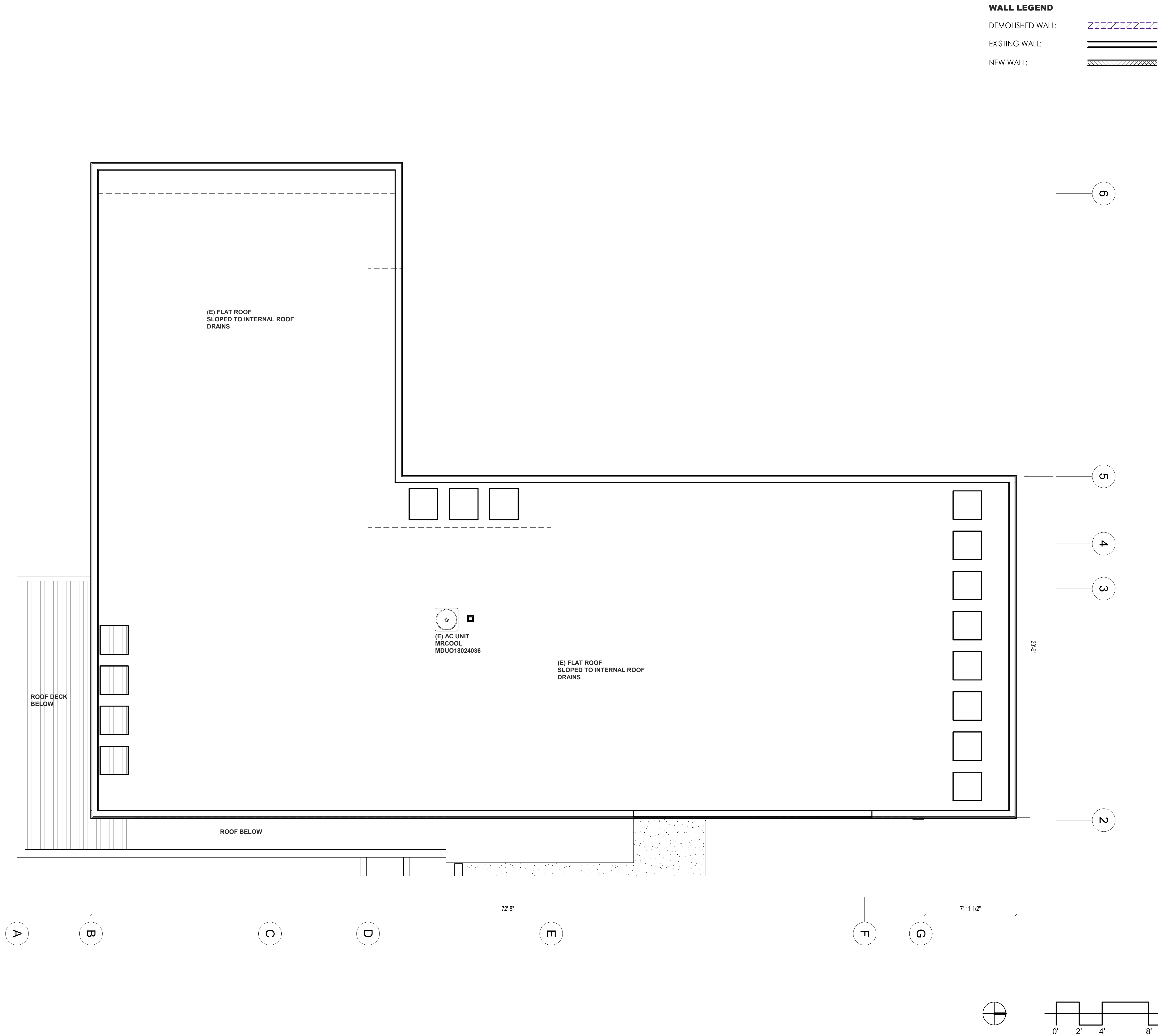
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Sheet Title

ROOF PLAN - EXISTING

A103A



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Date: 6/18/2025
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Sheet Title

ROOF PLAN - PROPOSED

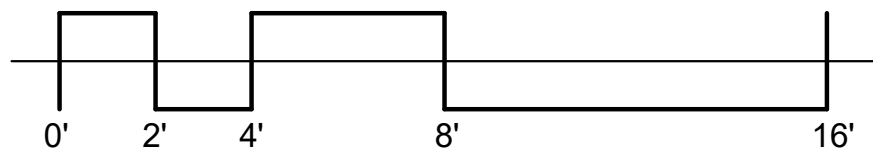
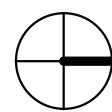
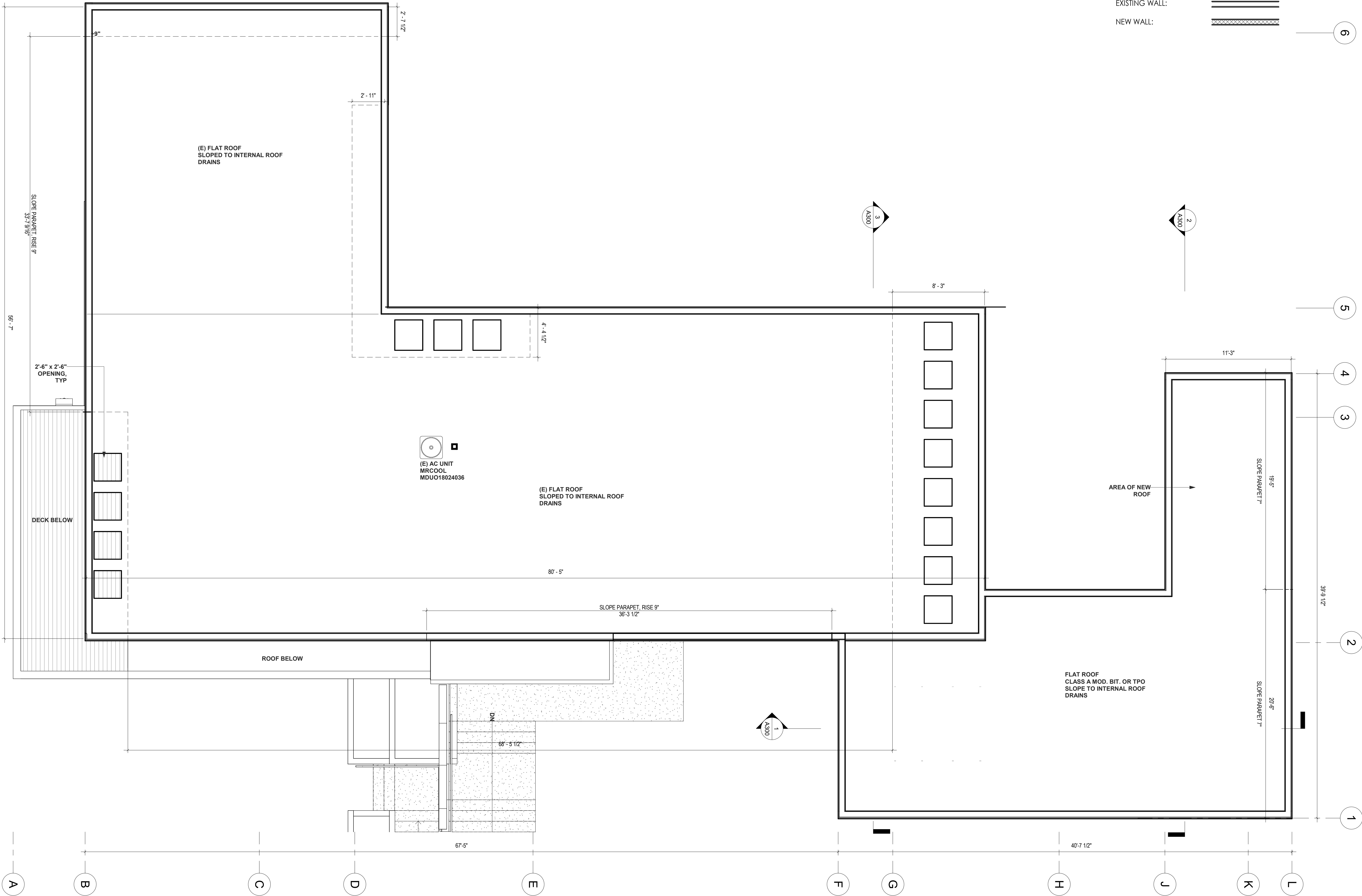
A103

WALL LEGEND

DEMOLISHED WALL: 

EXISTING WALL: 

NEW WALL: 



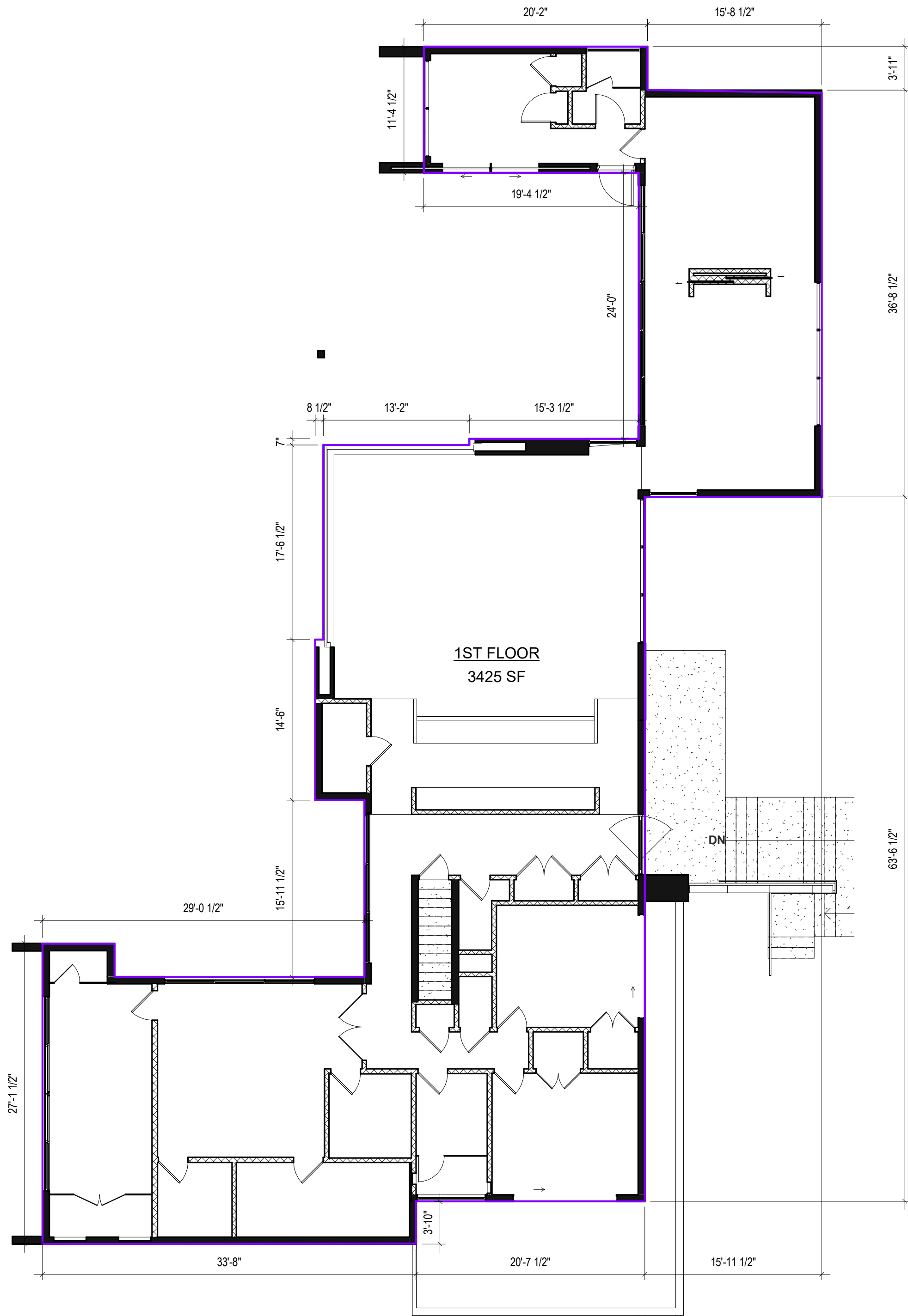


RAMANAUSKAS HAAM

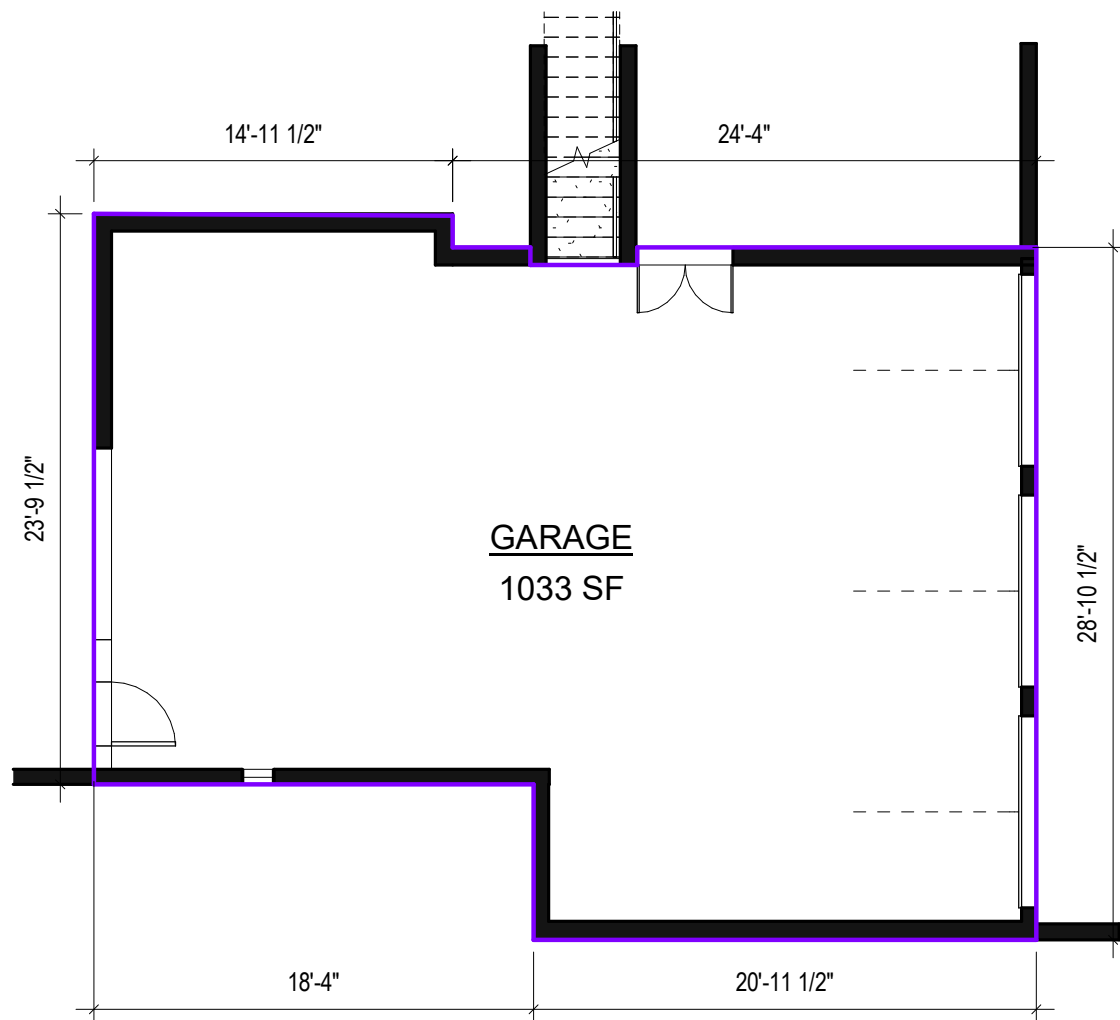
379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

Area Schedule (Gross Building)	
Level	Area
1ST FLOOR	3425 SF
GARAGE	1033 SF
TOTAL: 2	4458 SF



② 1ST FLOOR PROPOSED
1/8" = 1'-0"



① GARAGE PROPOSED
1/8" = 1'-0"

04/25/2025
Date

DESIGN REVIEW
Description

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379 SUMMIT DRIVE

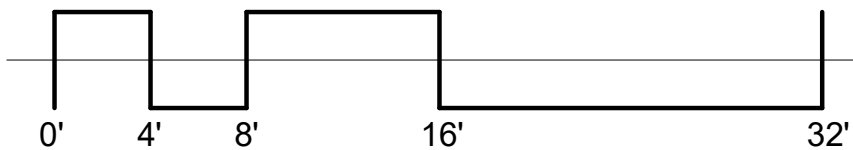
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Sheet Title

BUILDING AREA
CALCULATIONS

A104



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379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

04/25/2025
Date

DESIGN REVIEW
Description

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379 SUMMIT DRIVE

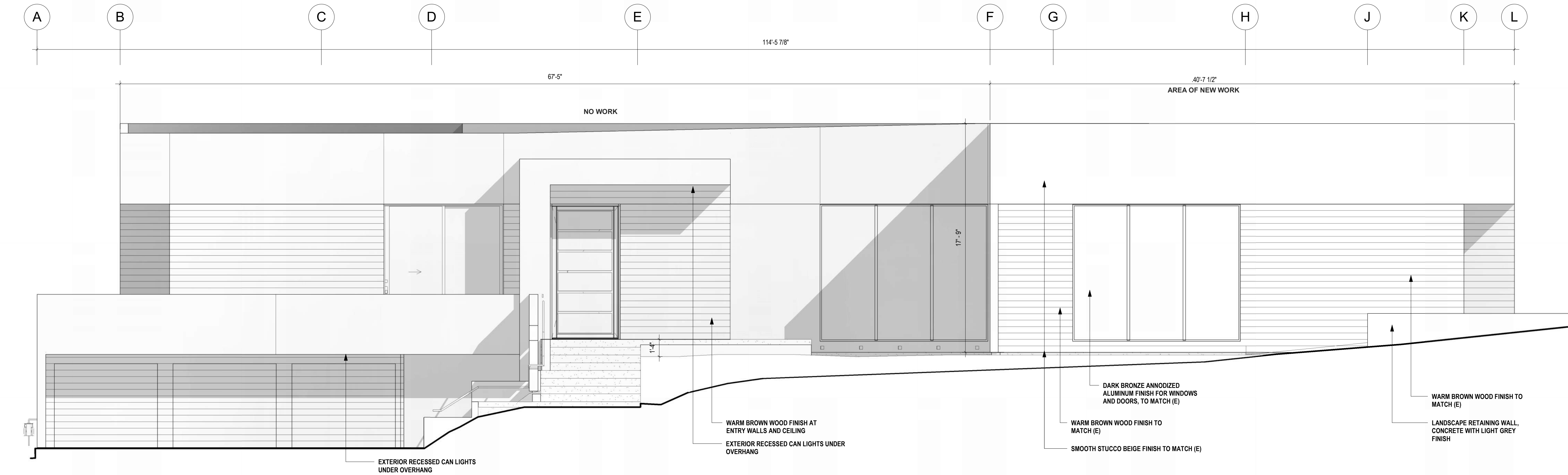
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Sheet Title

ELEVATIONS EAST - SIDE

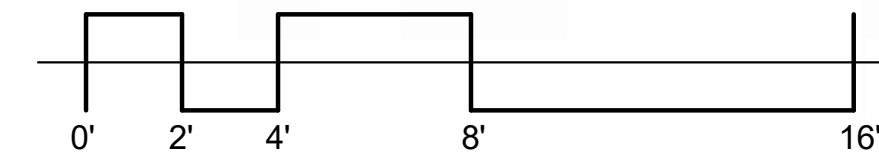
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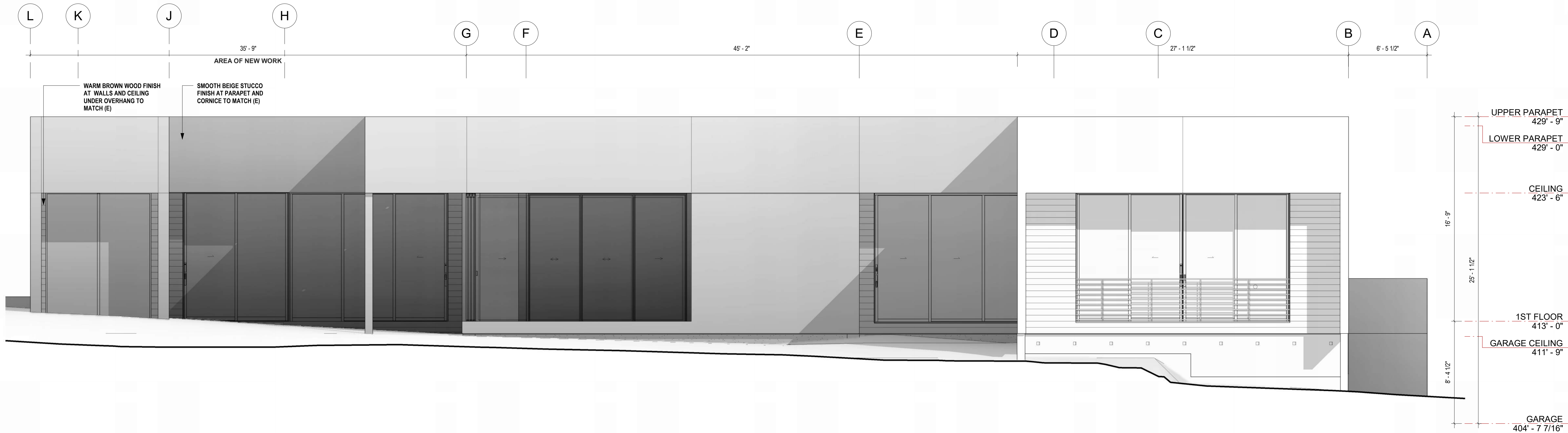


② EAST ELEVATION - PROPOSED
1/4" = 1'-0"

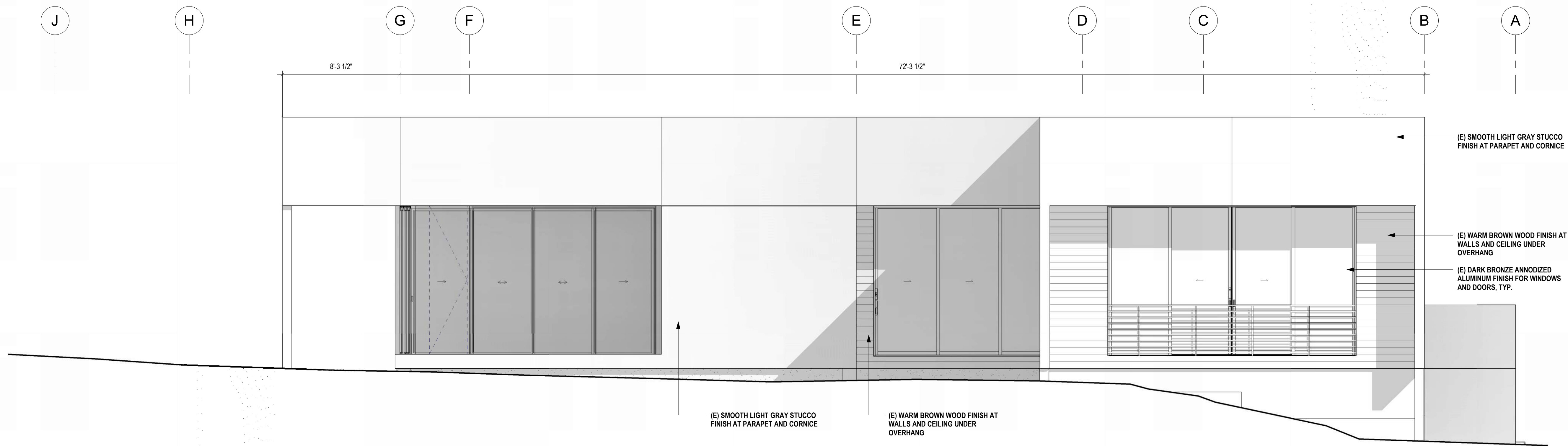


① EAST ELEVATION - EXISTING
1/4" = 1'-0"





② WEST ELEVATION - PROPOSED
1/4" = 1'-0"



① WEST ELEVATION - EXISTING
1/4" = 1'-0"

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Date

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Description

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379 SUMMIT DRIVE

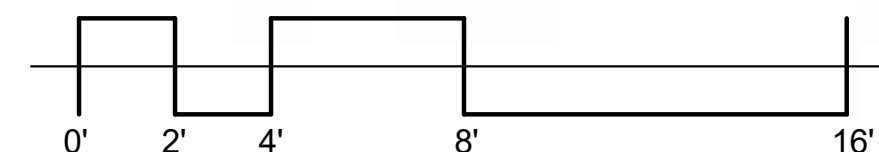
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Scale: 1/4" = 1'-0"

Sheet Title

ELEVATIONS WEST - REAR

A201



James W. Skelton

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379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

04/25/2025
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DESIGN REVIEW
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379 SUMMIT DRIVE

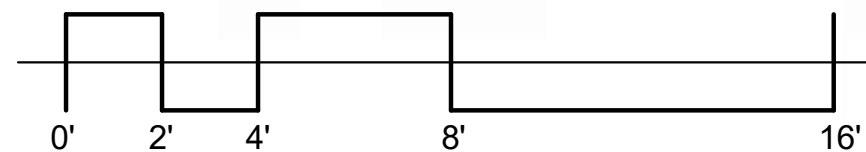
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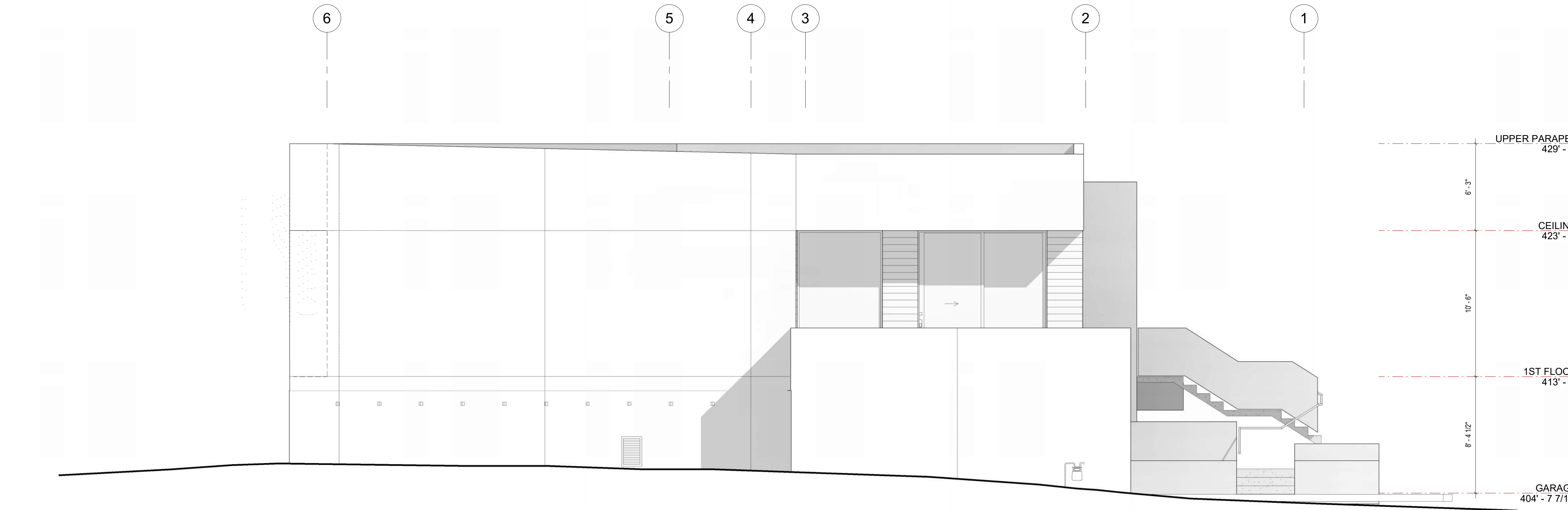
Sheet Title

ELEVATIONS SOUTH - SIDE

A202



2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



1 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

James W. Skelton

RAMANAUSKAS HAAM

379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

04/25/2025
Date

DESIGN REVIEW
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Rev

379 SUMMIT DRIVE

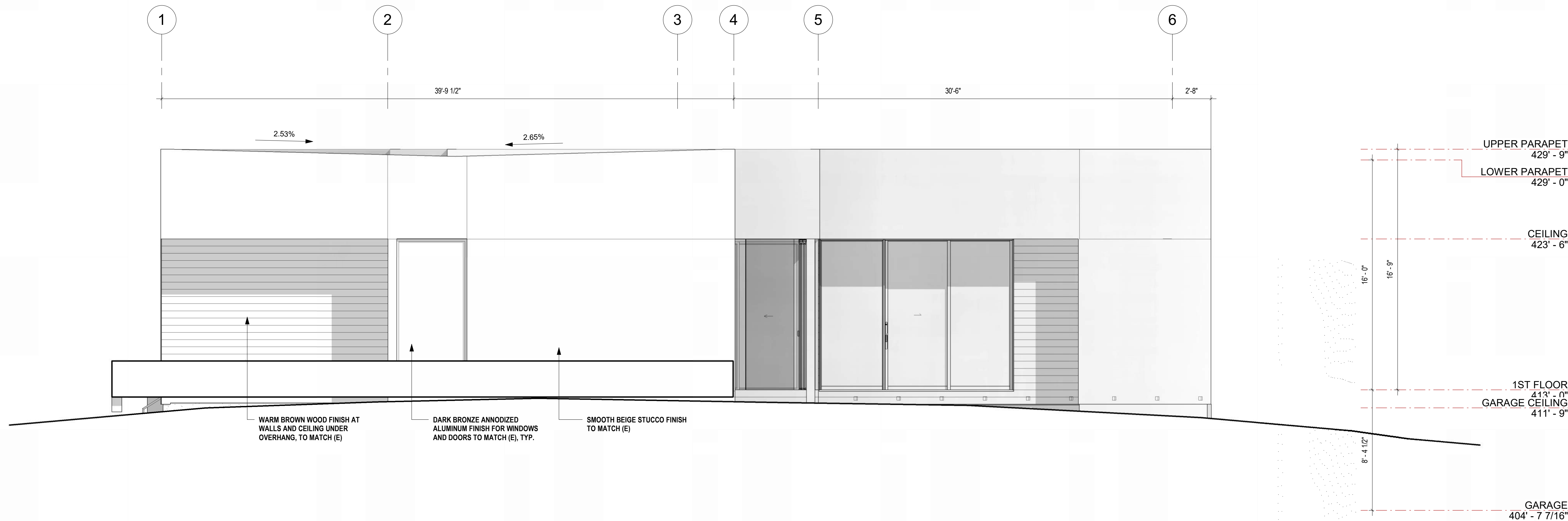
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Sheet Title

ELEVATIONS NORTH - FRONT

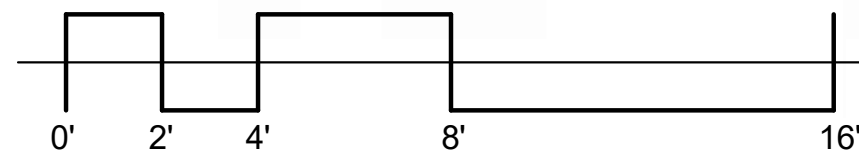
A203



② NORTH ELEVATION - PROPOSED
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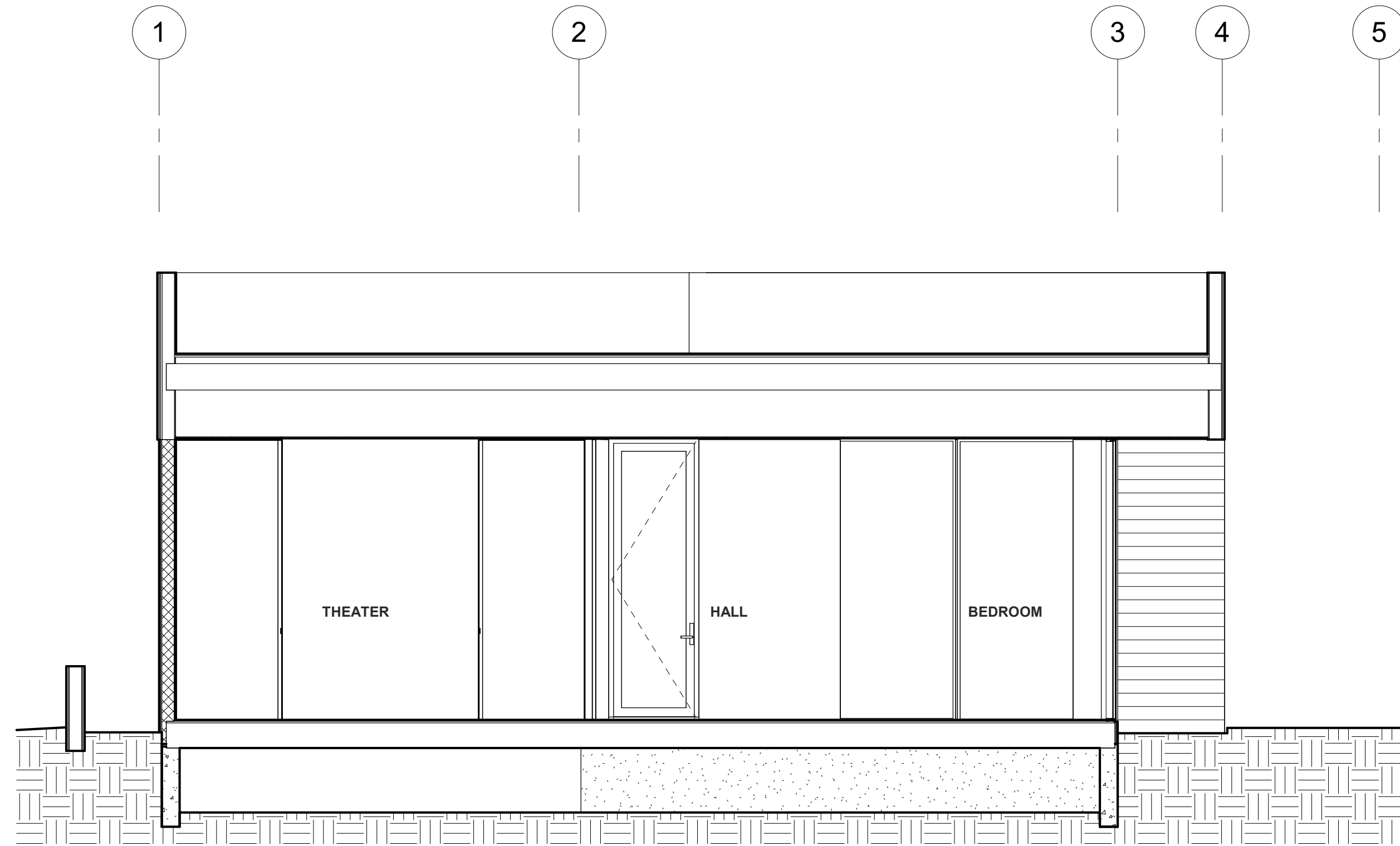
① NORTH ELEVATION - EXISTING
1/4" = 1'-0"



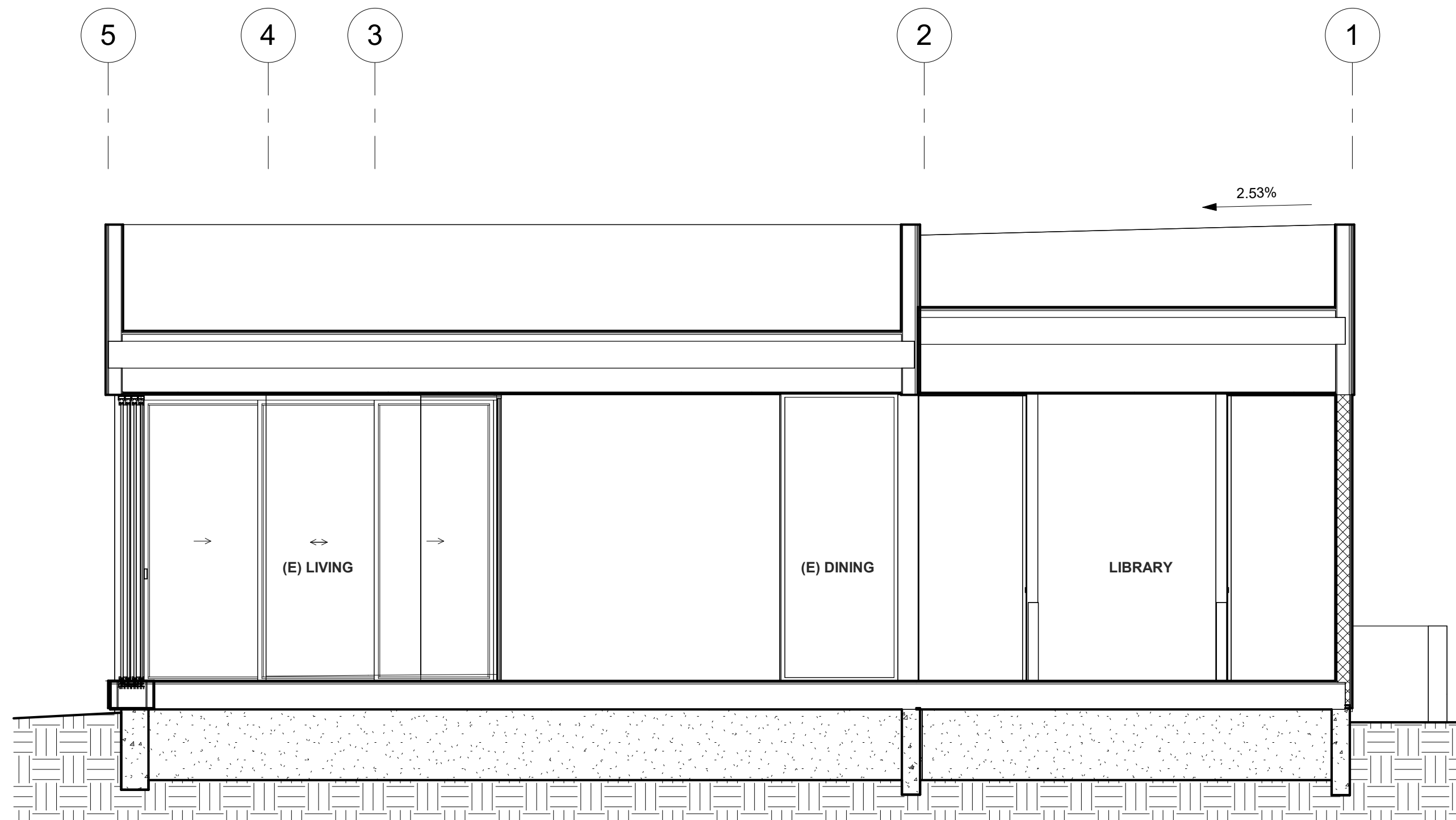
RAMANAUSKAS HAAM

379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

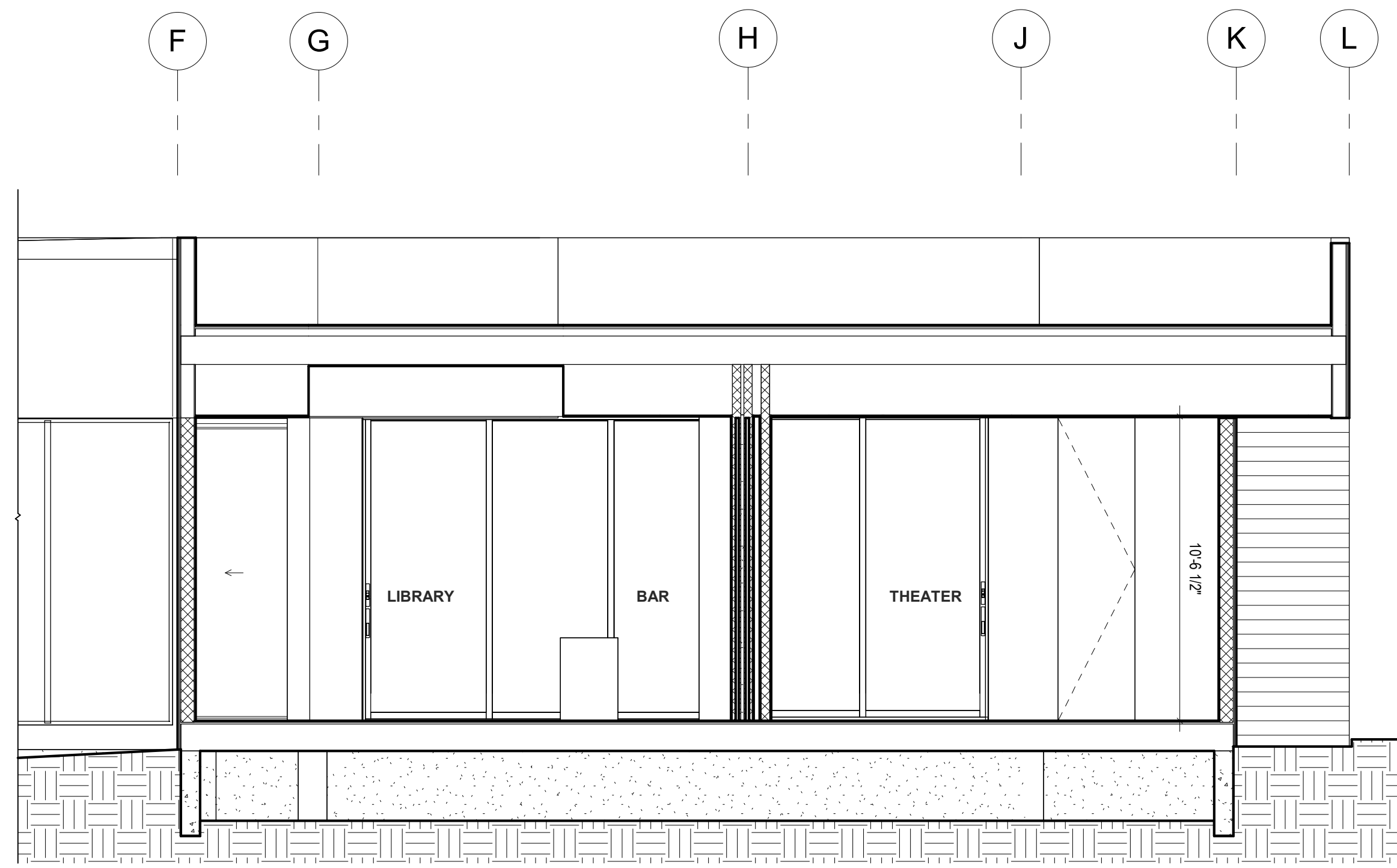
APN: 057-162-460



② SECTION A
1/4" = 1'-0"



③ SECTION B
1/4" = 1'-0"



① SECTION C
1/4" = 1'-0"

04/25/2025
Date

DESIGN REVIEW
Description

A
Rev

379 SUMMIT DRIVE

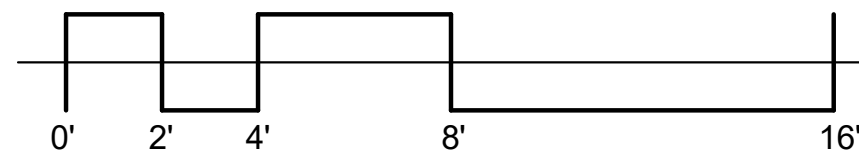
Date: 6/18/2025
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Scale: 1/4" = 1'-0"

Sheet Title

SECTIONS

A300



RAMANAUSKAS HAAM

379 SUMMIT DRIVE
EMERALD HILLS, CA 94062

APN: 057-162-460

04/25/2025
Date

DESIGN REVIEW
Description

A
Rev

379 SUMMIT DRIVE

Date: 6/18/2025
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Scale: 1/4" = 1'-0"

Sheet Title

EXTERIOR MATERIALS BOARD

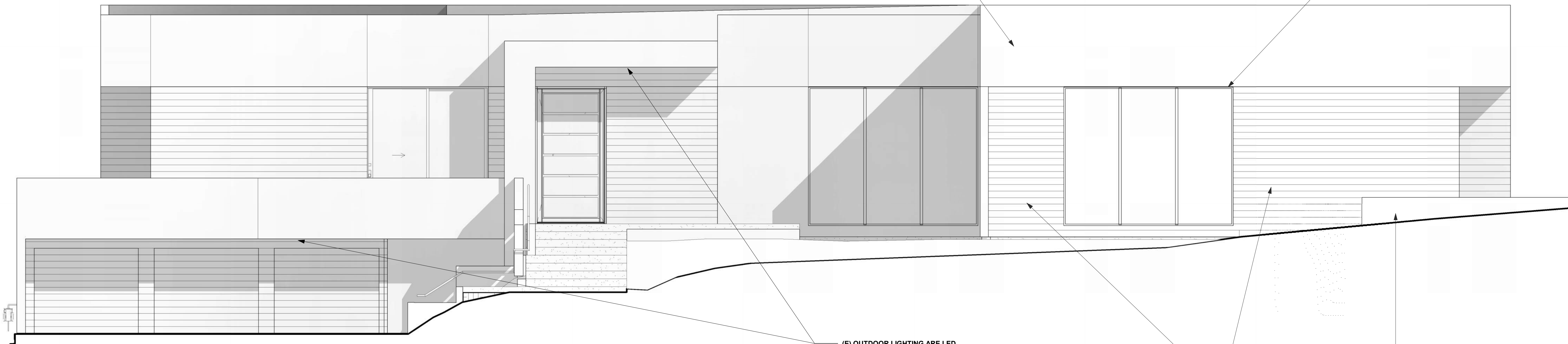
NOTE:
MATERIAL AND METHOD OF CONSTRUCTION
TO CONFORM WITH CBC 7A, HIGH WILDFIRE
EXPOSURE



BEIGE STUCCO, BENJAMIN MOORE OC-24, WINDS
BREATH, SMOOTH SURFACE FOR FINISHED
WALLS AND AS EDGING, TO MATCH (E)



DARK BRONZE FINISH FOR
ALL METAL DOORS AND
WINDOWS, TO MATCH (E)



(E) OUTDOOR LIGHTING ARE LED
RECESSED CANS UNDER SOFFITS,
TYP.

WARM BROWN WOOD
FINISH, TO MATCH (E)



CONCRETE WALL - LIGHT GRAY,
TO MATCH EXISTING



A999