

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: September 10, 2025

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Design Review Permit and Coastal Development Permit, pursuant to Sections 6565.3 and 6328.4 of the County Zoning Regulations, and a Grading Permit, pursuant to Section 9283 of the County Ordinance Code, to allow for the construction of a new two-story, 3,434-sq. ft. single-family residence with an attached two-car garage on a legal 11,000-sq. ft. parcel. The project involves a total of 430 cubic yards (c.y.) of grading, consisting of approximately 260 c.y. of cut and 170 c.y. of fill. No tree removal is proposed. The project is not appealable to the California Coastal Commission. In conjunction with the requested permits, it is recommended that the Planning Commission determine that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303.

County File Number: PLN2025-00127 (Mid Coast Custom Homes, Inc.)

PROPOSAL

The applicant proposes to construct a new two-story, 3,434-sq. ft. single-family residence with an attached two-car garage on a legal 11,000-sq. ft. parcel. The project involves a total of 430 c.y. of grading, consisting of approximately 260 c.y. of cut and 170 c.y. of fill. No tree removal is proposed. Proposed landscaping will be hand irrigated.

RECOMMENDATION

That the Planning Commission approve the Design Review Permit, Coastal Development Permit, and Grading Permit, County File Number PLN2025-00127, by adopting the required findings and conditions of approval listed in Attachment A.

BACKGROUND

Report Prepared By: Luis Topete, Planner III, Project Planner

Applicant: John Steadman, Mid Coast Custom Homes, Inc.

Owners: Mid Coast Custom Homes, Inc. and Realsmart Group, Inc.

Public Notification: Ten-day advanced notification for the hearing was mailed to all property owners and residents within 300 feet of the perimeter of the project parcel and a notice for the hearing was posted in a newspaper (San Mateo County Times) of general public circulation.

Location: Coronado Avenue, Miramar

APN: 048-024-420

Parcel Size: 11,000 sq. ft.

Existing Zoning: R-1/S-94/DR/CD (One-Family Residential District/Residential Density District 94(Mid-Coast)/Design Review District/Coastal Development District)

General Plan Designation: Medium Low Density Residential

Local Coastal Plan Designation: Medium Low Density Residential

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Undeveloped

Water Supply: Coastsides County Water District

Sewage Disposal: Granada Community Services District

Flood Zone: Zone X (areas of minimal flood hazard); FEMA Community Panel 06081C0252F; Effective Date: August 2, 2017

Environmental Evaluation: This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone. The project proposes the construction of one single-family residence, is located in the One-Family Residential District, and is within the urban coastal zone.

Setting: The project site is undeveloped and located in the unincorporated community of Miramar approximately 0.23 miles northeast of State Route 1 on the north side of Coronado Avenue. The project site is in a residential neighborhood with developed lots on all sides. The property has an average slope of 11% and slopes moderately to the southwest. The site is vegetated with weeds and grasses. No trees are onsite.

Chronology:

<u>Date</u>	<u>Action</u>
February 3, 2000	- Legal creation of parcel through recordation of Parcel Map (Vol. 72; Pg. 43).
May 1, 2025	- Application submitted.
June 11, 2025	- Agency reviews completed.
June 27, 2025	- Application deemed complete.
July 10, 2025	- Coastside Design Review Committee (CDRC) meeting. Project recommended for approval. The Coastside Design Review Committee provided no recommended conditions of approval, and no public comments were received.
September 10, 2025	- Planning Commission hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Upon review of the applicable provisions of the General Plan, staff has determined that the project is in compliance with all applicable General Plan Policies, including the following:

a. Visual Quality

Policy 4.15 (*Appearance of New Development*) seeks to regulate development to promote and enhance good design, site relationships and other aesthetic considerations and Policy 4.36 (*Urban Area Design Concept*) calls for new development to maintain and, where possible, improve upon the appearance and visual character of development in urban areas, and ensures that new development in urban areas is designed and constructed to contribute to the orderly and harmonious development of the locality. The design review standards implement these policies within Design Review Zoning Districts of the County, including the Midcoast area. The CDRC reviewed the project and found that the project complies with the applicable design review standards.

b. Urban Land Use

Policy 8.39 (*Height, Bulk and Setbacks*) regulates the height, bulk, and setback requirements in zoning districts to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety. The project meets the zoning district setbacks, parcel coverage, building floor area, height, and daylight plane standards and is compatible in design, scale and size with other residences located in the neighborhood. In addition to meeting the daylight plane requirements, the appearance of mass and bulk of the project is reduced by articulation of the exterior façades. The design and materials of the project are complementary to other homes in the neighborhood, as supported by the CDRC's review and recommendation.

2. Conformance with the Local Coastal Program (LCP)

A Coastal Development Permit is required pursuant to LCP Policies 1.1 (*Coastal Development Permits*) and 1.2 (*Definition of Development*), as the site is located outside of the Single-Family Residence Categorical Exclusion Area. Staff has determined that the project is in compliance with applicable LCP Policies discussed below:

a. Locating and Planning New Development Component

Policy 1.18 (*Location of New Development*) directs new development to existing urban areas in order to discourage urban sprawl and maximize the efficiency of public facilities, services, and utilities. Also, the policy requires new development to be concentrated in urban areas by requiring the "infilling" of existing residential subdivisions. The project is in the urban coastal zone and within an existing residential neighborhood.

Policy 1.20 (*Definition of Infill*) defines infill as the development of vacant land in urban areas that is subdivided and zoned for development at densities greater than one dwelling unit per 5 acres, and/or served by sewer and water. The subject parcel is designated by the General Plan for Medium Low Density Residential use, at a density of 2.4 to 6 dwelling units per acre. The proposed density is 4 dwelling units per acre. As proposed and conditioned, the project will be served by the Coastside County Water District (CCWD) for water service and GCSD for sewer service. Therefore, the project is considered an infill project.

Policy 1.19.a.b. (*Ensure Adequate Public Services and Infrastructure for New Development in Urban Areas*) prohibits the approval of development permits in the urban area unless it can be demonstrated that, among other things, it will be served with an adequate municipal water supply. The CCWD has provided confirmation that there are 1.5 (3/4-inch meter equivalency) water connections assigned to this parcel and the project is within a high-pressure area of the water distribution system. Therefore, pressure regulation will be required before water enters the structure.

Policy 1.23 (*Timing of New Housing Development in the Midcoast*) limits the construction of new residential units in the Midcoast to no more than 40 per year. Although building permits issued for new dwelling units are well under the maximum in the current 2025 calendar year as of the print date of this report, the Department has received building permit applications to construct the 71-unit Cypress Point affordable housing project in Moss Beach. It is likely that these permits will be issued before the end of the calendar year. Section d. of Policy 1.23 states that, "If the number of issued building permits for any given year has reached the 40-unit maximum, building permits for affordable housing, including second dwelling units, may still be issued under the following circumstances: (1) the units are "affordable" as defined by Section 6102.48.6 of the certified zoning regulations and subject to income and cost/rent restrictions for the life of the development; and (2) the growth rate average over the three-year period, that includes the year of building permit issuance and the following two years, does not exceed 40 units/year." Therefore, the issuance of building permits for the Cypress Point project and the subject project will be timed to comply with Policy 1.23.

b. Sensitive Habitats Component

Policy 7.2 (*Designation of Sensitive Habitats*) designates sensitive habitats as including, but not limited to, those shown on the Sensitive Habitats Map for the Coastal Zone. The project is not mapped within a sensitive habitat as designated on the Sensitive Habitats Map for the Coastal Zone.

c. Visual Resources Component

Policy 8.12(a) (*General Regulations*) and Policy 8.32 (*Regulation of Scenic Corridors in Urban Areas*) apply the Design Review Zoning District standards to one and two-family developments in the Midcoast and/or within scenic corridors, which includes Miramar. This project is, therefore, subject to the standards for design for one-family and two-family residential development in the Midcoast as identified in Section

6565.20 of the Zoning Regulations. The site is located within the Cabrillo Highway County Scenic Corridor in the urban coastal zone. The site is located in a developed area of Miramar located east and uphill of Highway 1, where the development would be minimally visible from Highway 1 due to existing residential development. The proposed residence would be located within a larger developed residential area. Views of the area from Highway 1 would remain largely the same.

As discussed in Section A.3.b of this report, the CDRC considered this project at their regularly scheduled meeting on July 10, 2025. The CDRC determined that the project is in compliance with applicable Design Review Standards, and recommended approval.

Policy 8.13.a (*Special Design Guidelines for Coastal Communities*) establishes design guidelines for Montara, Moss Beach, El Granada, and Miramar. The proposed home complies with these guidelines as follows:

- (1) The design of the structure fits the topography of the site and does not require extensive cutting, grading, or filling for construction.
- (2) Proposed materials include the use of earth-toned colors and natural-appearing materials to provide a more natural appearance.
- (3) The project proposes pitched roofs that are surfaced with non-reflective materials.
- (4) The structure is designed so that its size and scale are in character with surrounding development.
- (5) The design minimizes the height of the building, and its design is compatible with the varied architectural styles in the Miramar community.

3. Conformance with the Zoning Regulations

a. Conformance with S-94 District Development Standards

The property is located in the One-Family Residential District/Residential Density District 94 (Mid-Coast)/Design Review District/Coastal Development District (R-1/S-94/DR/CD). A one-family dwelling and detached garage are permitted uses in the R-1 zoning district. As shown in table below, the proposal complies with the S-94 district development standards.

Table 1			
Compliance with the S-94 Development Standards			
	Required	Proposed	Complies?
Min. Building Site Width	50 ft.	100 ft. (existing)	Yes
Min. Building Site Area	10,000 sq. ft.	11,000 sq. ft. (legal site)	Yes
Min. Front Setback	20 ft.	20 ft.	Yes
Min. Rear Setback	20 ft.	30 ft.-2 $\frac{3}{8}$ -in.	Yes
Min. Side Yard Setback	10 ft.	Right: 21ft.- 9 $\frac{7}{8}$ -in. Left: 32ft.- 8 $\frac{1}{8}$ -in.	Right: Yes Left: Yes
Max. Parcel Coverage	3,300 sq. ft. (30%)	2,456 sq. ft. (22.3%)	Yes
Max. Building Floor Area	5,830 sq. ft. (53%)	3,434 sq. ft. (31.2%)	Yes
Max. Building Height	32 ft.	26'-1"	Yes
Minimum Parking Spaces	2 covered spaces	2 covered spaces	Yes

Additionally, the proposed residence was also found to comply with the daylight plane requirements of the S-94 district.

b. Conformance with Design Review Standards

At its meeting of July 10, 2025, the CDRC reviewed the project for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations, Chapter 28.1, Section 6565.20. No public comments were received. The CDRC found that the project is consistent with the design standards set forth for development in the Midcoast. No conditions of approval or additional design recommendations were made. The CDRC letter recommending project approval is provided as Attachment E.

4. Conformance with the Grading Ordinance

The project proposes 430 c.y. of grading, consisting of approximately 260 c.y. of cut and 170 c.y. of fill. Planning and Geotechnical staff have reviewed the proposal and submitted documents and determined that the project conforms to the criteria for review contained in the Regulations for Excavating, Grading, Filling and Clearing on Lands in Unincorporated San Mateo County (referred to in this report as "Grading Ordinance"). The

following findings must be made pursuant to Section 9290 of the San Mateo County Grading Ordinance to approve the grading permit:

- a. *That the granting of the permit will not have a significant adverse effect on the environment.*

The project is in conformance with the applicable General Plan, LCP, and Zoning District policies and standards that seek to minimize impacts to sensitive habitats, soils, visual quality, and hazards.

Further, this project has been reviewed and recommended for conditional approval by the Building Inspection Section, Drainage Section, Geotechnical Section, Department of Public Works, and the Coastside Fire Protection District. Implementation of the proposed grading plans prepared by a licensed civil engineer, including the erosion and sediment control plan, and associated conditions of approval will ensure the project will not have a significant adverse effect on the environment.

- b. *That the project conforms to the criteria of Chapter 5, Division VII, of the San Mateo County Ordinance Code, including the standards referenced in Section 9296.*

The project will conform to standards in the Grading Ordinance, including those relative to an erosion and sediment control plan, geotechnical reports, dust control, fire safety, and the timing of grading. The project plans have been reviewed and recommended for conditional approval by the Building Inspection Section, Drainage Section, Geotechnical Section, Department of Public Works, and the Coastside Fire Protection District.

- c. *The project is consistent with the General Plan.*

The project has been reviewed against the applicable policies of the San Mateo County General Plan and found to be consistent with its goals and objectives. See Section A.1 of this report for a detailed discussion regarding the project's compliance with the applicable General Plan policies.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone. The project proposes the construction of one single-family residence, is located in the One-Family Residential District, and is within the urban coastal zone.

C. REVIEW BY THE MIDCOAST COMMUNITY COUNCIL

The Midcoast Community Council (MCC) submitted comments requesting grading and drainage plan sheets that were not included in the initial referral. They also raised concerns about potential additional exterior lighting not identified in the plans and recommended substituting Perez's sea lavender from the proposed plantings due to its classification as an invasive species in California.

In response, the requested grading and drainage plans were provided. The applicant confirmed that no landscape or other exterior lighting is proposed. Any future lighting would be subject to the appropriate level of design review and compliance with design review lighting standards. Additionally, the applicant submitted a revised landscape plan replacing Perez's sea lavender with California sea lavender, a native, drought-tolerant, and non-invasive species. The MCC was notified of these updates and offered no further comments.

D. REVIEWING AGENCIES

Building Inspection Section
California Coastal Commission
Coastside County Water District
Coastside Fire Protection District
Department of Public Works
Drainage Section
Geotechnical Section
Granada Community Services District
Midcoast Community Council

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Vicinity Map
- D. Plans
- E. CDRC Recommendation Letter

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2025-00127 Hearing Date: September 10, 2025

Prepared By: Luis Topete, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. This project is exempt from environmental review, pursuant to the California Environmental Quality Act (CEQA) Guidelines Section 15303, Class 3(a), relating to the construction of one single-family residence in an urban, residential zone. The project proposes the construction of one single-family residence, is located in the One-Family Residential District, and is within the urban coastal zone.

Regarding the Coastal Development Permit (CDP), Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 and as conditioned in accordance with Section 6328.14, conforms with the plans, policies, requirements and standards of the San Mateo County LCP with regards to the Locating and Planning New Development, Sensitive Habitats, and Visual Resources Components. See Section A.2 of the staff report for the supporting analysis demonstrating conformance with the Local Coastal Program.
3. That the project is not subject to the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code) since the project is not located between the nearest public road and the sea, or the shoreline of Pescadero Marsh.
4. That the project conforms to specific findings required by policies of the San Mateo County LCP as discussed in Section A.2 of this staff report with regards to the Locating and Planning New Development, Sensitive Habitats, and Visual Resources Components.

5. That, with the approval of this project, the number of building permits for the construction of single-family residences issued in the calendar year would not exceed the limit established by LCP Policy 1.23. Although building permits issued for new dwelling units are well under the maximum in the current 2025 calendar year as of the print date of this report, the Department has received building permit applications to construct the 71-unit Cypress Point affordable housing project in Moss Beach. However, the issuance of building permits for the Cypress Point project and the subject project will be timed to comply with Policy 1.23.

Regarding the Design Review, Find:

6. That the project has been reviewed by the CDRC and has been found to be in compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, Section 6565.20 of the San Mateo County Zoning Regulations

Regarding the Grading Permit, Find:

7. That the granting of the permit will not have a significant adverse effect on the environment as the project conforms with the applicable General Plan, LCP, and Zoning District policies and standards that seek to minimize impacts to sensitive habitats, soils, visual quality, and hazards. Further, this project has been reviewed and recommended for conditional approval by the Building Inspection Section, Drainage Section, Geotechnical Section, Department of Public Works, and the Coastside Fire Protection District. Implementation of the proposed grading plans prepared by a licensed civil engineer, including the erosion and sediment control plan, and associated conditions of approval will ensure the project will not have a significant adverse effect on the environment.
8. That the project conforms to the criteria of Chapter 5, Division VII, of the San Mateo County Ordinance Code, including those relative to an erosion and sediment control plan, geotechnical reports, dust control, fire safety, and the timing of grading. The project plans have been reviewed and recommended for conditional approval by the Building Inspection Section, Drainage Section, Geotechnical Section, Department of Public Works, and the Coastside Fire Protection District.
9. That the project is consistent with the goals and objectives of the General Plan as discussed in Section A.1 of the staff report.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans reviewed and approved by the Planning Commission on September 10, 2025. Any changes or

revisions to the approved plans shall be submitted to the Design Review Officer for review and approval prior to implementation. Minor modifications to the project may be approved by the Director of Planning and Building if they are consistent with the intent of, and in substantial conformance with, this approval. Minor adjustments to project design may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Alternatively, the Design Review Officer may refer consideration of the revisions to the CDRC, with applicable fees to be paid.

2. The subject permits shall be valid for five years from the date of final approval, in which time a valid a building permit shall be issued for the work and a completed inspection (to the satisfaction of the Building Official) shall have occurred within 180 days of its issuance. This approval may be extended by one-year increments with submittal of an application for permit extension and payment of applicable extension fees 60 days prior to the expiration date.
3. The applicant shall provide “finished floor elevation verification” to certify that the structure is constructed at the height shown on the approved plans. The applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point near the construction site.
 - a. The applicant shall maintain the datum point so that it will not be disturbed by the proposed construction activities until final approval of the building permit.
 - b. This datum point and its elevation shall be shown on the submitted site plan. This datum point shall be used during construction to verify the elevation of the finished floors relative to the existing natural or to the grade of the site (finished grade).
 - c. Prior to Planning approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners (at least four) of the footprint of the proposed structure on the submitted site plan, and (2) the elevations of proposed finished grades.
 - d. In addition, (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
 - e. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor

in the approved plans. Similarly, certifications on the garage slab and the topmost elevation of the roof are required.

- f. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Director of Planning and Building.
 - g. A survey verification letter will be required during the construction phase of this project. Once the building permit has been issued and the forms have been set, the surveyor of record shall field measure the setback dimensions of the set forms from applicable property lines and compose a survey verification letter, with stamp and signature, of the field measurements to be submitted to the Planning and Building Department for review and approval.
- 4. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
- 5. Approved erosion and sediment control measures shall be installed prior to beginning any work and maintained throughout the term of the building permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
- 6. The property owner shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.

- f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Removing spoils promptly, and avoiding stockpiling of fill materials, when rain is forecast. If rain threatens, stockpiled soils and other materials shall be covered with a tarp or other waterproof material.
 - n. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - o. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
7. It shall be the responsibility of the engineer of record to regularly inspect the erosion control measures for the duration of all grading remediation activities, especially after major storm events, and determine that they are functioning as designed and that proper maintenance is being performed. Deficiencies shall be immediately corrected, as determined by and implemented under the observation of the engineer of record.

8. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along the right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way. There shall be no storage of construction vehicles in the public right-of-way.
9. Add notes to plans submitted for a building permit with the following minimum dust control measures:
 - a. Water all construction and grading areas at least twice daily.
 - b. Cover all trucks hauling soil, sand, and other loose materials, or require all trucks to maintain at least 2 feet of freeboard.
 - c. Apply water two times daily or apply (non-toxic) soil on all unpaved access roads, parking areas, and staging areas at the project site.
 - d. Sweep streets daily (with water sweepers) if visible soil material is carried onto adjacent public streets.
 - e. Enclose, cover, water twice daily, or apply (non-toxic) soil binders to exposed stockpiles (dirt, sand, etc.).
10. No grading shall be allowed during the winter season (October 1 to April 30) to avoid potential soil erosion, unless the applicant applies for an Exception to the Winter Grading Moratorium and the Director of Planning and Building grants the exception. Exceptions will only be granted if the associated building permit is a week or less from being issued, dry weather is forecasted during scheduled grading operations, and the erosion control plan includes adequate winterization measures (amongst other determining factors).

11. An applicant-completed and County-issued grading permit "hard card" is required prior to the start of any land disturbance/grading operations. Along with the "hard card" application, the applicant shall submit a letter to the Current Planning Section, at least two weeks prior to commencement of grading, stating the date when grading operations will begin, anticipated end date of grading operations, including dates of revegetation and estimated date of establishment of newly planted vegetation. The "hard card" shall not be issued until a Building Permit for the residence has been issued.
12. All excavated materials shall be off hauled to an approved disposal location.
13. For the final approval of the grading permit, the property owner shall ensure the performance of the following activities within 30 days of the completion of grading at the project site: (a) the engineer shall submit written certification, that all grading has been completed in conformance with the approved plans, conditions of approval/mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Engineer, and (b) the geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and the Current Planning Section.
14. All new power and telephone utility lines from the street or nearest existing utility pole to the main dwelling and/or any other structure on the property shall be placed underground.
15. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).
16. The exterior colors and materials as approved by the Planning Commission shall be implemented. Color verification shall occur in the field after the applicant has applied the approved materials and colors but before a final inspection has been scheduled.

Building Inspection Section

17. A building permit is required for this project. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, Geotechnical Section, Drainage Section, Department of Public Works, and Coastside Fire Protection District. No site disturbance shall occur, including any grading, until a building permit has been issued.

Drainage Section

18. Project will comply with County drainage policy to prevent stormwater from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the Building Permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
19. A final C.3 and C.6 Development Review Checklist, a final drainage plan, and a drainage analysis/drainage report/prescriptive sizing handout will be provided at the time of building permit submittal.
20. Provide a site-specific erosion control plan (e.g., straw wattle locations and appropriate details). Details available at: <https://planning.smcgov.org/erosion-and-sediment-control-plan-requirements>.
21. Advisory Comment: Based on the information received, this project is classified as a "Prescriptive" drainage project. It is possible that new or additional information provided upon the next submittal could advance the project classification. To avoid delays or additional plan review cycles, please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.

Geotechnical Section

22. Prior to building permit submittal, the project geotechnical engineer shall submit a design level report with any site or project updates if needed as well as a project specific plan review letter of all relevant project plans and calculations.
23. It should be noted that in the submitted iteration of the plans, there appears to be a significant amount of grading to be performed, as shown on GP-1, with roughly 260 c.y. of cut and 170 c.y. of fill. Compaction and grading shall be addressed in the design level geotechnical report.

Department of Public Works

24. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile" to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 %) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
25. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
26. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

Coastside County Water District (District)

27. New backflow (California Cross Connection Control Policy Handbook) regulations, effective July 1, 2024, will be applied to existing and new construction. Approved backflow protection will be required on all new water services, including fire services.
28. The project is required to comply with Coastside County Water District regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.
29. Fire sprinklers are served from an independent and dedicated water service connection with a separate fire meter. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, and there shall be no cross connections.
30. There are 1.5 (3/4-inch meter equivalency) water connections assigned to this APN.
31. This is a high-pressure area of the water distributions system, so pressure regulation will be required before water enters the structure.

32. A full set of the most recent plans and drawings for the project, (fire sprinkler, architectural, plumbing, mechanical, green building, structural, civil, utility site plan, and landscape/irrigation) must be submitted to the District for review and approval. Existing and new utilities must be clearly marked on the drawings.
33. The District requires the completion and submittal of a water demand worksheet and a water efficiency checklist provided by Coastside County Water District.

Granada Community Services District (GCSD)

34. A sewer mainline is available for the proposed project. All new construction projects must obtain a Sewer Connection Permit from the District. If the parcel meets the County's zoning requirements, the applicant can submit a sewer permit application after securing County Planning approval. For guidance and to obtain the application form, the applicant should contact 650/ 726-7093 or gcsdadmin@granada.ca.gov.
35. When applying, the applicant must include construction plans that detail all necessary sewer lines including laterals, mainline, appurtenances, manholes, cleanouts, and backflow devices. The specifications shall conform to District standards and include the relevant District detail drawings. Once the District receives the Building Department Pick-up Notice and the relevant permit fees, the sewer connection permit will be issued over the counter.

Coastside Fire Protection District

Fire Department Access

36. CFC 2022 Section 505.1.1 - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.

Temporary address numbers shall be posted prior to combustible materials being placed on site.

37. CFC 2022 Section 503.1.1 - Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45,720 mm) of all portions of the facility and all portions of the exterior walls of the first

story of the building as measured by an approved route around the exterior of the building or facility.

Exceptions: The fire code official is authorized to increase the dimension of 150 feet (45,720 mm) where any of the following conditions occur:

- a. The building is equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
 - b. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an approved alternative means of fire protection is provided.
 - c. There are not more than two Group R-3 or Group U occupancies.
 - d. Where approved by the fire code official, fire apparatus access roads shall be permitted to be exempted or modified for solar photovoltaic power generation facilities and unmanned cellular sites.
38. CFC 2022 Section 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
 39. CFC 2022 Section 503.2.5 - Dead-end fire apparatus access roads in excess of 150 feet (45,720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within Coastside Fire Protection District jurisdiction must comply with CFC 2022 Appendix D.
 40. CFC 2022 Section 503.3.1 - The designation shall be indicated (1) by a sign posted immediately adjacent to, and visible from, the designated place clearly stating in letters not less than one inch in height that the place is a fire lane, (2) by outlining or painting the place in red and, in contrasting color, marking the place with the words "FIRE LANE", which are clearly visible from a vehicle, or (3) by a red curb or red paint on the edge of the roadway upon which is clearly marked the words "FIRE LANE".
 41. CFC 2022 Section 503.2.6 - Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HS-20 (25 ton). Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits, certified by an engineer, shall be posted at both entrances to bridges. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained. The Fire Marshal may

allow the width to be reduced for a bridge providing access to R-3 and/or U occupancies and lands used primarily for agricultural purposes or recreation.

42. CFC 2022 Section 503.2.7 - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus.

Grading must comply with Coastside Fire Protection District Standard Detail R-001.

43. CFC 2022 Section 506.1.3 - When required by the Coastside Fire Protection District, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
44. CFPD Standard R-001 - Gates shall be a minimum of 2-feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15 ½ feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by Coastside Fire Protection District. Gates providing Fire access to a driveway or other roadway shall be located at least 35-feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.

Smoke Alarms and Egress

45. CFC 2022 Section 907.2.11 - Listed single- and multiple-station smoke alarms complying with UL 217 shall be installed in accordance with Sections 907.2.11.1 through 907.2.11.7 and NFPA 72.

Exception: For Group R occupancies. A fire alarm system with smoke detectors located in accordance with this section may be installed in lieu of smoke alarms. Upon actuation of the detector, only those notification appliances in the dwelling unit or guest room where the detector is actuated shall activate.

46. CFC 2022 Section 907.2.11.2 - Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations:
 - a. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms.

- b. In each room used for sleeping purposes.
 - c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.
 - d. In a Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens.
47. CFC 2022 Section 907.2.11.5 - Where more than one smoke alarm is required to be installed within an individual dwelling unit or sleeping unit in Group R occupancies, the smoke alarms shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. Physical interconnection of smoke alarms shall not be required where listed wireless alarms are installed and all alarms sound upon activation of one alarm. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.
48. CFC 2022 Section 907.2.11.6 - In new construction, and in newly classified Group R-3.1 occupancies, required smoke alarms shall receive their primary power from the building wiring where such wiring is served from a commercial source and shall be equipped with a battery backup. Smoke alarms with integral strobes that are not equipped with battery back-up shall be connected to an emergency electrical system in accordance with Section 1203. Smoke alarms shall emit a signal when the batteries are low. Wiring shall be permanent and without a disconnecting switch other than as required for overcurrent protection.
- Exception: Smoke alarms are not required to be equipped with battery backup where they are connected to an emergency electrical system that complies with Section 603.
49. CFC 2022 Section 1031.3.1 - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²).
- Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 sq. ft. (0.46 m²).
50. CFC 2022 Section 1031.3.2 - The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.

51. CFC 2022 Section 1031.3.3 - Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
52. CFC 2022 Section 1031.4 - Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.
53. CRC 2022 Section R311.2 - Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

Wildland-Urban Interface

54. CBC 2022 Section 705A.1 - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.
55. CFPD Ordinance 2023-03 Section IX - All roof installations regulated by California Building Code Chapter 15 and Appendix Chapter 15 shall comply with CBC Section 1505, but in no case shall be listed as less than a minimum of a Class B roofing assembly.
56. CFC 2022 Section 304.1.2 - Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
57. CFC 2022 Section 4907.1 - Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations.
 - a. Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.

58. CFC 2022 Section 4907.2 - Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management:
- a. All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA).
 - b. Land designated as a Very High Fire Hazard Severity Zone by the Director.
 - c. Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.
59. CRC 2022 Section R302.1 - Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings and accessory buildings equipped throughout with an automatic sprinkler system installed in accordance with Section R313 shall comply with Table R302.1(2).

Exceptions:

- a. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance.
- b. Walls of individual dwelling units and their accessory structures located on the same lot.
- c. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
- d. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
- e. Foundation vents installed in compliance with this code are permitted.

Water Tank or Sources

60. CFC 2022 Section 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.
61. CFC 2022 Section B105.1 - The minimum fire-flow and flow duration requirements for one- and two-family dwellings, Group R-3 and R-4 buildings and townhouses shall be as specified in Tables B105.1(1) and B105.1(2).

Required Fire Flow: **500 gpm**

62. CFC 2022 Section B105.3 - For buildings equipped with an approved automatic sprinkler system, the water supply shall be capable of providing the greater of:

- a. The automatic sprinkler system demand, including hose stream allowance.
- b. The required fire flow.

Fire-Flow Requirement (GPM)	Minimum Number of Hydrants	Spacing Between Hydrants (ft)	Distance from Street to Hydrant (ft)
1,750 or less	1	500	250
1,751 – 2,250	2	450	225
2,251 – 2,750	3	450	225
2,751 – 3,250	3	400	225
3,251 – 4,000	4	350	210
4,001 – 5,000	5	300	180
5,001 – 5,500	6	300	180
5,501 – 6,000	6	250	150
6,001 – 7,000	7	250	150
7,001+	8+	200	120

63. CFC 2022 Section C102.1 - The number of fire hydrants available to a building shall be not less than the minimum specified in Table C102.1.
64. CFPD Standard FPE-005 – Water Storage for One- and Two-Family Dwellings up to 3,600 sq. ft. shall be 7,500 gallons reserved for Fire, in addition to any domestic use. If larger than 3,600 sq. ft. single family dwelling, use NFPA 1142.
65. CFPD Standard FPE-005 - Fire flow requirements for multiple structures shall be calculated based on the structure requiring the largest Fire Flow per NFPA 1142.
66. CFPD Standard FPE-005 - Water tanks shall be interconnected by using a minimum 4-inch pipe diameter.

Interconnection piping and valves must be protected, or of a material not damaged by UV exposure. The cross connection shall also have an appropriately sized control valve located at each tank.

67. NFPA 22 Section 4.2.1.2 - Where the water supply from a public service main is not adequate in quality, quantity, or pressure, an alternative water source shall be provided.
68. NFPA 22 Section 4.2.1.4 - The water supply shall be capable of filling the minimum required fire protection volume within the tank in a maximum of 8 hours.

69. NFPA 22 Section 4.15.2 - A vent pipe shall have a cross-sectional area equal to a minimum of one-half the area of the discharge pipe(s) or fill pipe, whichever is the larger.
70. NFPA 24 Section 4.2.1 - Installation work shall be done by fully experienced and responsible contractors. Contractors shall be appropriately licensed in the State of California to install private fire service mains and their appurtenances.
71. NFPA 24 Section 10.9.1 - Backfill shall be well tamped in layers or puddle under and around pipes to prevent settlement or lateral movement. Backfill shall consist of clean fill sand or pea gravel to a minimum 6 inches below and to a minimum of 12 inches above the pipe and shall contain no ashes, cinders, refuse, organic matter or other corrosive materials. Other backfill materials and methods are permitted where designed by a registered professional engineer and approved by the enforcing agency.
72. CFPD Standard FPE-005 - Water tanks located closer than 30 feet of structures or flammable vegetation shall be constructed of non-combustible materials.

Other

73. CAL FIRE FHSZ Maps are subject to change. Structure will be required to comply with WUI regulations if maps update prior to building permit application.
74. All fire conditions and requirements must be incorporated into your building plans, prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.
75. This review shall not be construed as encompassing the structural integrity of the facility, nor abrogating more restrictive requirements by other agencies having responsibility. Final acceptance is subject to field inspection and necessary tests.
76. NOTE: An additional re-inspection fee may be charged for missed appointments, failure to comply or not being ready.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.24 0 0.12 0.24 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:7,670



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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



0.03 0 0.02 0.03 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1:959



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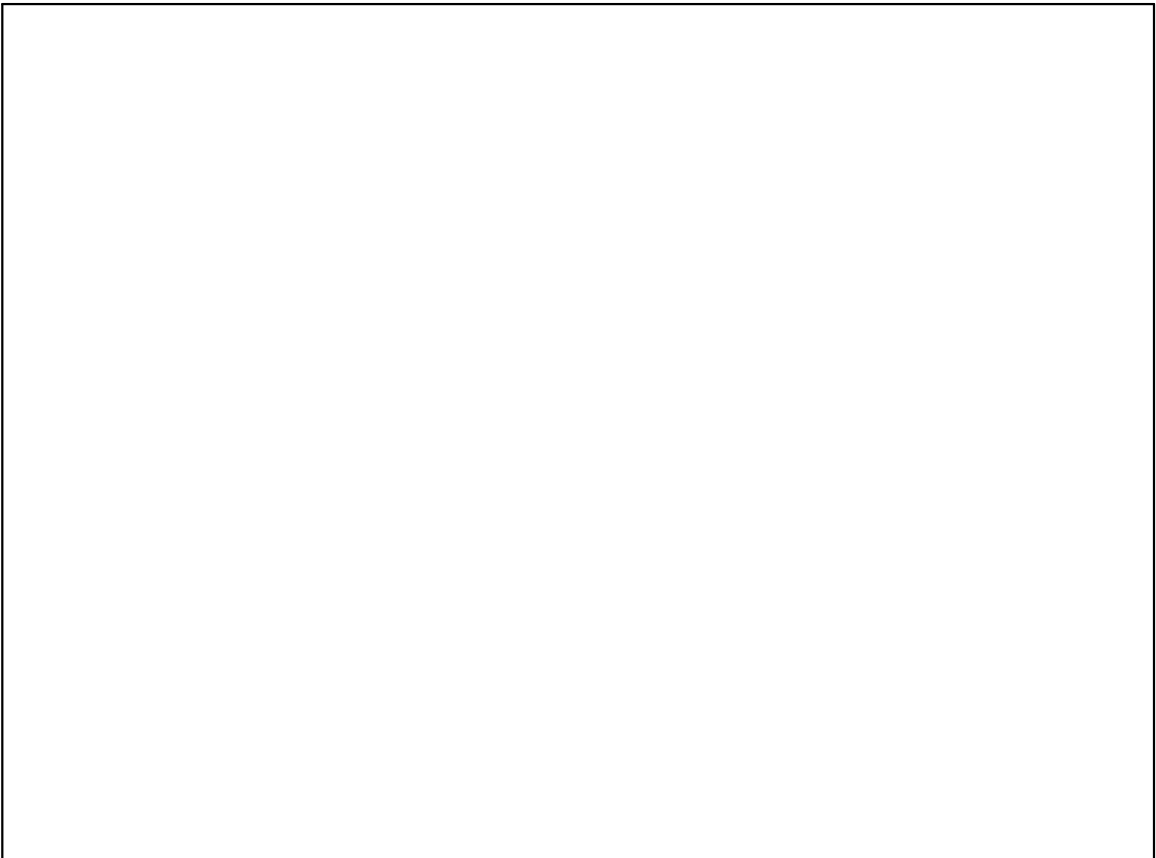
COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D



FOR OFFICIAL CITY USE ONLY

6" x 6" LAHJ APPROVAL STAMP SPACE



ZONING / BUILDING CODE SUMMARY

ZONING: R-1/S-94/DR/CD

- APPLICABLE CODES:
- 2022 CALIFORNIA RESIDENTIAL CODE
 - 2022 CALIFORNIA BUILDING CODE
 - 2022 CALIFORNIA MECHANICAL CODE
 - 2022 CALIFORNIA ELECTRICAL CODE
 - 2022 CALIFORNIA PLUMBING CODE
 - 2022 CALIFORNIA FIRE CODE
 - 2022 CALIFORNIA ENERGY CODE
 - 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
 - SAN MATEO COUNTY ZONING REGULATIONS

NOTE:
REFERENCE SHEET T-24 FOR ITEMS THAT REQUIRE HERS VERIFICATION & SPECIAL FEATURES

SEPERATE PERMITS

NOTE: SEPERATE PERMIT DOCUMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE DESIGN PROFESSIONAL OF RECORD BEFORE BEING SUBMITTED TO THE CITY

1. 2022 NFPA 13D FIRE SPRINKLER SYSTEM
2. SOLAR POWER

SOLAR POWER NOTE:
PER THE PROPOSED T-24 ANALYSIS, A PV SYSTEM MEETING OR EXCEEDING THE SIZE AND OUTPUT WITHIN THE CFIR DOCUMENT SHALL BE PERMITTED SEPARATELY BY THE INSTALLING SOLAR CONTRACTOR.* A SEPARATE SOLAR PERMIT WILL BE APPLIED FOR FOLLOWING ISSUANCE OF THE BUILDING PERMIT.

PROJECT DIRECTORY

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TBD**

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**FIRE PROTECTION
WESTERN STATES FIRE PROTECTION CO.**
CONTACT: ROBERT SOEHNER
robert.soehner@wsfp.us

SITE ANALYSIS

FLOOR AREA RATIO
PERMISSIBLE - 5,830 SF

GROSS FLOOR AREA
EXISTING (TO BE DEMOLISHED) - ---
PROPOSED - 3,434 SF

PROPOSED PORCH, PATIO, DECK AREA:
FRONT ENTRY - 55.94 SF
REAR ENTRY - 33.93 SF
REAR DECK - 296.64 SF

TOTAL - 386.51 SF

NOTE:
* SEE SHEET A0.05 FOR PROJECT DATA AND SCOPE OF WORK

SHEET INDEX				
	SHEET NO.	SHEET NAMES	LAHJ	NTA
ARCHITECTURAL	A0.00	COVER SHEET	x	
	A0.01	GENERAL INFORMATION	x	
	A0.05	PROJECT DATA, ZONING, AND BUILDING HEIGHT COMPLIANCE	x	
	A0.06	PROPOSED SITE PLAN AND DAYLIGHT COMPLIANCE	x	
	A9.40	MATERIAL SHEET	x	
	A3.02	EXTERIOR LIGHTING		x
SURVEY	SU-1	TOPOGRAPHIC SURVEY	x	
CIVIL	DP-1	DEMOLITION PLAN	x	
	GP-1	GRADING & DRAINAGE PLAN - NOTES, LEGENDS, ABBREVIATIONS & SITE PLAN	x	
	GP-2	GRADING & DRAINAGE PLAN - NOTES & DETAILS	x	
	GP-3	GRADING & DRAINAGE PLAN - SANITARY SEWER DETAILS	x	
	ECP-1	EROSION CONTROL PLAN - SITE PLAN	x	
	ECP-2	EROSION CONTROL PLAN - NOTES & DETAILS	x	
	ECP-3	EROSION CONTROL PLAN - CONSTRUCTION BMPs	x	
LANDSCAPE	L1.00	LANDSCAPE LAYOUT PLAN	x	
	L2.00	PLANTING PLAN	x	
	L3.00	MAINLINE LAYOUT PLAN	x	
	L3.10	HYDROZONE / WELO CALCS	x	
	L4.00	DETAILS	x	

NTA APPROVED SHEET INDEX - AH2 V2.2				
	SHEET NO.	SHEET NAMES	LAHJ	NTA
GENERAL	A0.07	ENVIRONMENTAL QUALITY NOTES & EQUIPMENT SCHEDULE		x
	A0.20	DOOR SCHEDULE		x
	A0.21	GLAZING SCHEDULE		x
ARCHITECTURAL	A2.10	MAIN LEVEL PLAN		x
	A2.11	UPPER LEVEL PLAN		x
	A2.20	ROOF PLAN		x
	A3.00	EXTERIOR ELEVATIONS 01		x
	A3.01	EXTERIOR ELEVATIONS 02		x
	A3.10	BUILDING SECTIONS 01		x
	A3.11	BUILDING SECTIONS 02		x
	A4.00	WALL SECTIONS		x
	A6.10	MAIN LEVEL REFLECTED CEILING PLAN		x
	A6.20	UPPER LEVEL REFLECTED CEILING PLAN		x
	A8.41	EXTERIOR DETAILS DECK		x

reserved for approvals stamp



AH2
457 CORONADO AVE
HALF MOON BAY CA 94018

Discipline: ARCH
Drawn by: NP
Product number: AH2
Product version: V2.2

Issuances:

04/08/2025 PERMIT SUBMITTAL

No. Date

COVER SHEET

A0.00

VESTA HOUSING, INC.
D.B.A ARO HOMES

457 CORONADO AVE, HALF MOON BAY, CA 94018
APN 048-024-420



Olson Kundig

159 South Jackson St, Suite 600
Seattle, Washington 98104 USA
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A	AT	GA	GAUGE
C	CENTERLINE	GALV	GALVANIZED
E	PROPERTY LINE	GC	GENERAL CONTRACTOR
D	DIAMETER	GL	GLASS
#	POUND OR NUMBER	GLAM	GLUE-LAMINATED
X	EXISTING	GR	GRADE
N	NEW	GW	GYPSSUM WALL BOARD
		GYP	GYPSSUM
AB	ANCHOR BOLT		
ABV	ABOVE	HB	HOSE BIBB
ACC	ACCESS	HC	HOLLOW CORE
ACOUS	ACOUSTICAL	HDO	HIGH DENSITY OVERLAY
ACP	ASPHALT CONCRETE PAVING	HDR	HEADER
ACS	ACCESS PANEL	HDW	HARDWOOD
ACT	ACOUSTICAL TILE	HDW	HARDWARE
AD	AREA DRAIN	HM	HOLLOW METAL
ADA	AMERICANS with DISABILITIES	HORIZ	HORIZONTAL
ADJ	ADJUSTABLE	HP	HIGH POINT
AGF	ABOVE FINISHED FLOOR	HR	HOOR
AGG	AGGREGATE	HT	HEIGHT
AIR	AIR INTRATION BARRIER	HVAC	HEATING/VENTILATING/AIR
ALT	ALTERNATE		CONDITIONING
ALUM	ALUMINUM	HW	HOT WATER
APPROX	APPROXIMATE	HWT	HOT WATER TANK
ARCH	ARCHITECTURAL		
ASPH	ASPHALT	ID	INSIDE DIAMETER
AUTO	AUTOMATIC	IN	INCH
		INCL	INCLUDED
BD	BOARD	INSUL	INSULATION
BITUM	BITUMINOUS	INT	INTERIOR
BLDG	BUILDING	INV	INVERT
BLKG	BLOCKING		
BM	BEAM	JB	JUNCTION BOX
BO	BOTTOM OF...	JF	JOINT FILLER
BOT	BOTTOM	JT	JOINT
BRG	BEARING		
BSMT	BASEMENT	KIT	KITCHEN
BUR	BUILT UP ROOFING	KO	KNOCKOUT
CAB	CABINET	LAM	LAMINATE, LAMINATED
CB	CATCH BASIN	LAV	LAVATORY
CEM	CEMENT	LBS	POUNDS
CER	CERAMIC	LF	LINEAR FOOT (FEET)
CIP	CAST-IN-PLACE	LH	LEFT HAND
CJ	CONTROL JOINT	LL	LIVE LOAD
CLG	CEILING	LOC	LOCATION
CLK	CAULKING	LP	LOW POINT
CLO	CLOSET	LT	LIGHT
CLR	CLEAR		
CMU	CONCRETE MASONRY UNIT	MAS	MASONRY
CNTR	COUNTER	MATL	MATERIAL
COL	COLUMN	MAX	MAXIMUM
CONC	CONCRETE	MB	MACHINE BOLT
CONN	CONNECTION	MC	MEDICINE CABINET
CONST	CONSTRUCTION	MDF	MEDIUM DENSITY FIBERBOARD
CONT	CONTINUOUS	MDO	MEDIUM DENSITY OVERLAY
CONTR	CONTRACTOR	MECH	MECHANICAL
CORR	CORRIDOR	MEMB	MEMBRANE
CPT	CARPET, CARPETED	MEZZ	MEZZANINE
CS	COLD ROLLED STEEL	MFR	MANUFACTURER
CSK	COUNTERSUNK	MIN	MINIMUM
CT	CERAMIC TILE	MIR	MIRROR
CTR	CENTER	MISC	MISCELLANEOUS
CU FT	CUBIC FEET	MO	MASONRY OPENING
		MTD	MOUNTED
DBL	DOUBLE	MTL	METAL
DEMO	DEMOLITION	MUL	MULLION
DET	DETAIL		
DIA	DIAMETER	N	NORTH
DIM	DIMENSION	N/A	NOT APPLICABLE
DL	DEAD LOAD	NIC	NOT IN CONTRACT
DN	DOWN	NO	NUMBER
DR	DOOR	NOM	NOMINAL
DR OPNG	DOOR OPENING	NR	NOISE REDUCTION
DSD	DOWNSPOUT	NTS	NOT TO SCALE
DSP	DRY STANDPIPE		
DT	DRAIN TILE	OA	OVERALL
DW	DISHWASHER	OC	ON CENTER
DWG	DRAWING	OD	OUTSIDE DIAMETER
			OVERFLOW DRAIN
E	EAST	OFF	OFFICE
EACH	EACH	OH	OVERHEAD
EJ	EXPANSION JOINT	OHWM	ORDINARY HIGH WATER MARK
EL	ELEVATION	OPNG	OPENING
ELEC	ELECTRICAL	OPP	OPPOSITE
ELEV	ELEVATOR	OSB	ORIENTED STRAND BOARD
ENCL	ENCLOSURE		
EQ	EQUAL	PBD	PARTICLE BOARD
EQUIP	EQUIPMENT	PCC	PRECAST CONCRETE
EST	ESTIMATE	PCF	POUNDS PER CUBIC FOOT
EW	EACH WAY	PERF	PERFORATED
EXH FN	EXHAUST FAN	PERP	PERPENDICULAR
EXIST	EXISTING	PL	PLATE
EXP	EXPANDED; EXPANSION	PLAM	PLASTIC LAMINATE
EXP BT	EXPANSION BOLT	PLAS	PLASTER
EXPO	EXPOSED	PLWD	PLYWOOD
EXT	EXTERIOR	PNL	PANEL
		PNT	POINT
FA	FIRE ALARM	PR	PAIR
FB	FLAT BAR	PRCST	PRECAST
FD	FLOOR DRAIN		
FE	FIRE EXTINGUISHER		
FEC	FIRE EXTINGUISHER CABINET		
FF EL	FINISH FLOOR ELEVATION		
FH	FIRE HYDRANT		
FHC	FIRE HOSE CABINET		
FIN FLR	FINISH FLOOR		
FF	FINISH TO FINISH		
FIN	FINISH		
FLASH	FLASHING		
FLR	FLOOR; FLOORING		
FLUOR	FLUORESCENT		
FOC	FACE OF CONCRETE		
FOF	FACE OF FINISH		
FOIC	FURNISHED BY OWNER -		
	INSTALLED BY CONTRACTOR		
FOM	FACE OF MASONRY		
FOS	FACE OF STUDS		
FP	FIREPROOF		
FPL	FIREPLACE		
FR	FRAME		
FT	FOOR OR FEET		
FTG	FOOTING		
FURR	FURRING		
FUT	FUTURE		
FW	FULL WIDTH		

1. GRID LINE REFERENCE

2. ROOM REFERENCE

3. DOOR REFERENCE

4. WINDOW / SKYLIGHT REFERENCE

5. ELEVATION / DATUM REFERENCE

6. EXTERIOR ELEVATION

7. BUILDING SECTION

8. WALL SECTION

9. INTERIOR ELEVATION

10. DETAIL REFERENCE

11. ASSEMBLY REFERENCE

12. NORTH SYMBOL

13. REVISION REFERENCE

REFERENCE CONSTRUCTION MEMO ISSUING REVISION ONLY MOST RECENT REVISION SHOWN CLOUDED. REFERENCE FOR PREVIOUS REVISIONS REMAIN. DATE OF REVISIONS INDICATED AT RIGHT MARGINS.

	WOOD BLOCKING SHIM
	FINISHED WOOD
	BATT INSULATION
	MINERAL INSULATION
	GRAVEL
	STEEL
	CMU
	STONE
	WOOD FRAMING (CONTINUOUS)
	PLYWOOD
	RIGID INSULATION
	FOAMED IN PLACE INSULATION
	EARTH
	ALUMINUM
	BRICK
	CONCRETE

1. CODES: ALL WORK SHALL CONFORM APPLICABLE LAND USE AND BUILDING CODES AS AMENDED BY AUTHORITIES HAVING JURISDICTION.
2. CODES: NO SCALE DIMENSIONS FROM DRAWINGS. USE CALCULATED DIMENSIONS ONLY. NOTIFY THE ARCHITECT IMMEDIATELY IF ANY CONFLICTS EXIST.
3. CONTRACTOR SHALL VERIFY ALL CONDITIONS PRIOR TO INITIATING THE WORK. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
4. VERIFY ALL ROUGH-IN DIMENSIONS FOR EQUIPMENT. PROVIDE ALL BUCK-OUT, BLOCKING, BACKING, AND JACKS REQUIRED FOR INSTALLATIONS.
5. DIMENSIONS ARE TO EXTERIOR SURFACE OF CONCRETE / WOOD FRAMING UNLESS OTHERWISE NOTED.
6. EXTERIOR WALL FRAMING 2x6 WOOD STUDS UNLESS OTHERWISE NOTED.
7. INTERIOR WALL FRAMING 2x4 WOOD STUDS UNLESS OTHERWISE NOTED.
8. STAMPING OF PLAN SET AND SPECIFICATIONS IS NOT AN APPROVAL TO VIOLATE AND CITY POLICY OR ORDINANCE, COUNTY, STATE, OR FEDERAL LAW.
9. WHEN DRAWINGS AND CONSTRUCTION INCLUDE BOTH FACTORY BUILT AND SITE BUILT CONSTRUCTION, PLAN REVIEW & INSPECTION WILL BE ACCORDING TO THE FOLLOWING RULES
 - A. FACTORY BUILT ELEMENT WILL BE REVIEWED BY ICC-NTA AND INSPECTED BY ICC-NTA.
 - B. CONNECTIONS BETWEEN FACTORY BUILT COMPONENTS, OR BETWEEN FACTORY AND SITE BUILT COMPONENTS, WILL BE REVIEWED BY ICC-NTA AND INSPECTED BY LAHJ.
 - C. SITE BUILT ELEMENTS WILL BE REVIEWED & INSPECTED BY LAHJ EXCEPT FOR STRUCTURAL (SEE NOTE B).
10. STRUCTURAL DRAWINGS & CALCULATIONS (EXCLUDING FOUNDATION) TO BE ENTIRELY REVIEWED BY ICC-NTA TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE. LAHJ WILL REVIEW FOUNDATION PLANS & CALCULATIONS. ICC-NTA WILL INSPECT FACTORY BUILT STRUCTURAL ELEMENTS. LAHJ WILL INSPECT ALL FIELD CONSTRUCTION & CONNECTIONS.
11. ALL OTHER SITE WORK NOT MENTIONED ABOVE WILL BE REVIEWED & INSPECTED BY LAHJ.

NOTES:

- * A MINIMUM OF 65% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE SHALL BE RECYCLED OR SALVAGED.
- * A NATURAL GAS IS NOT PERMITTED. HEATING, CLOTHES DRYER, COOKING APPLIANCES, FIREPLACE MUST BE ELECTRIC. WATER HEATER CAN BE ELECTRIC OR SOLAR.
- * THE PRIME CONTRACTOR OR DEVELOPER IS TO HIRE A STREET CLEANING CONTRACTOR TO CLEAN UP DIRT AND DEBRIS FROM CITY STREETS THAT ARE ATTRIBUTABLE TO THE DEVELOPMENT'S CONSTRUCTION ACTIVITIES. THE STREET CLEANING CONTRACTOR IS TO HAVE THE CAPABILITY OF SWEEPING THE STREETS WITH BOTH A BROOM-TYPE SWEEPER AND A REGENERATIVE AIR VACUUM SWEEPER, AS DIRECTED BY THE PUBLIC WORKS DIRECTOR OR DESIGNATED REPRESENTATIVE.
- * SPRINKLERS REQUIRED. OBTAIN SEPARATE FIRE PERMIT. DESIGN AND INSTALL IN ACCORDANCE WITH NFPA 13D, 2022, AND CMV RESIDENTIAL FIRE SPRINKLER SYSTEM REQUIREMENTS (SEE CITY WEBSITE UNDER FIRE HANDOUTS). COORDINATE WATER METER AND WATER MAIN SIZES WITH APPROVED FIRE SPRINKLER SHOP DRAWINGS. (MINIMUM 1" METER AND 1" SERVICE UNLESS HYDRAULIC CALCULATIONS PROVE EXISTING ADEQUATE)
- * THE ORIGINAL JOB CARD AND APPROVED CONSTRUCTION PLAN MUST BE ONSITE AT THE TIME OF EACH INSPECTION. THE CONTRACTOR MUST BE PRESENT AT TIME OF FINAL INSPECTION.
- * STRUCTURES WITHIN 6 FEET OF THE PROPERTY LINE OR REQUIRED SETBACK SHALL PROVIDE A SITE SURVEY CERTIFICATE AND OBTAIN APPROVAL FROM THE CITY PRIOR TO CONCRETE POUR. PRESENT WELL-SIGNED CERTIFICATE TO FIELD INSPECTOR FOR VERIFICATION.
- * THE ELECTRICAL PANEL CAN SUPPORT THE NEW ELECTRICAL LOAD (AMPS) AND WILL COMPLY WITH ALL JURISDICTIONAL REQUIREMENTS. IF THE EXISTING PANEL SIZE (AMPS) IS NOT SUFFICIENT TO SUPPORT THE NEW ELECTRICAL LOAD.
- * NEW RESIDENTIAL BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING.
- * TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLE MATERIALS BEING PLACED ON SITE.
- * EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (0.53 m2).
- * THE MINIMUM NET CLEAR OPENING FOR GRADE-LEVEL EMERGENCY ESCAPE AND RESCUE OPENINGS SHALL BE 5.7 SQUARE FEET (0.46 m2).
- * CAL FIRE FHSS MAPS ARE SUBJECT TO CHANGE. STRUCTURE WILL BE REQUIRED TO COMPLY WITH WUI REGULATIONS IF MAPS UPDATE PRIOR TO BUILDING APPLICATION.

July 30, 2024

State of California
HCD
9342 Tech Center Dr. Suite 550
Sacramento, CA 95826

RE: Vesta Housing, Inc.
AH2 v1-CA

Attn: North Area Field Office

Enclosed, please find one (1) copy of the above-mentioned project for your files. This project has been reviewed and found in compliance with all applicable codes as evidenced by the NTA approval stamp on each page. The expiration date is 7/30/2027.

Should you have any questions, please contact me at your earliest convenience.

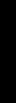
Sincerely,

David N. Richter

David N. Richter
Account Manager

FORM ISQA 2.4a Correspondence (Corp) Template 2021-06-15

ICC NTA, LLC Office • 305 N. Oakland Ave., Nappanee, IN 46550, US

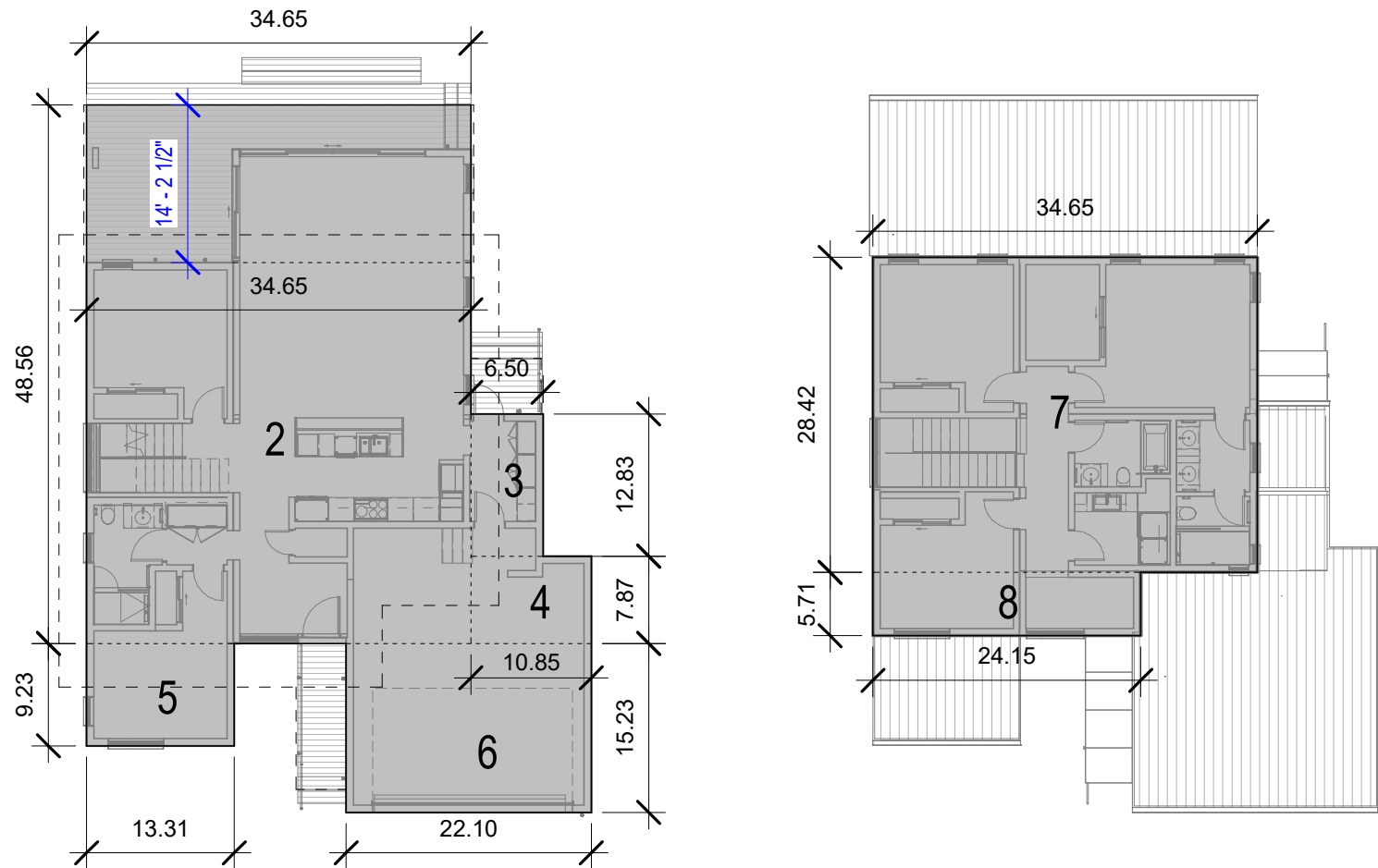


AH2
457 CORONADO AVE
HALF MOON BAY CA 94018

Discipline:	ARCH
Drawn by:	NP
Product number:	AH2
Product version:	V2.2
Issuances:	
04/08/2025	PERMIT SUBMITTAL
No.	Date

A0.01

AREA CALCULATIONS



GROSS FLOOR AREA CALCULATION:

AREA 2 = 34.65' x 48.56' = 1682.60 SF
AREA 3 = 6.50' x 12.83' = 83.40 SF
AREA 4 = 10.85' x 7.87' = 85.39 SF
AREA 5 = 13.31' x 9.23' = 122.85 SF
AREA 6 = 22.10' x 15.23' = 336.58 SF
AREA 7 = 34.65' x 28.42' = 984.75 SF
AREA 8 = 24.15' x 5.71' = 137.90 SF

TOTAL GROSS FLOOR AREA = 3433.47 SF (3434 SF)

FIRST FLOOR AREA = 2310.82 SF (2311 SF)
SECOND FLOOR AREA = 1122.65 SF (1123 SF)

MAXIMUM BUILDING FLOOR AREA (FAR):

= 0.53 OF LOT AREA
= 0.53 X 11,000
= 5830 SF > 3434 SF (OK)

FIRST & SECOND FLOOR AREA

SCALE: 1/16" = 1'-0"

SCOPE OF WORK

FACTORY-BUILT MODULAR SINGLE FAMILY RESIDENCE - REFER TO FULL LIST OF SITE-INSTALLED ELEMENTS BELOW.

LIST OF SITE-INSTALLED ITEMS:

- FOUNDATION, CRAWSPACE AND GARAGE SLAB
- STRUCTURAL CONNECTIONS BTW FOUNDATION AND MODULES
- MODULE TO MODULE CONNECTIONS
- FACTORY-BUILT WALL AND CEILING PANELS AT GARAGE DOOR
- STAIR AT GARAGE / MUDROOM-PANTRY
- WINDOW AND SLIDER DOORS AT LIVING ROOM
- METAL CANOPY AT ENTRY AND PANTRY
- FRONT AND REAR DECKING
- SECOND LAYER OF ROOFING UNDERLAYMENT
- STANDING METAL SEAM AND COMPOSITE ROOFING
- ROOF PANELS OVER GARAGE AND REAR DECK
- SIDING

PROJECT DATA

PROPERTY / ZONING DATA:

COUNTY
SAN MATEO COUNTY

JURISDICTION
SAN MATEO COUNTY

ACCESSOR'S PARCEL NUMBER
048-024-420

PROJECT ADDRESS
457 CORONADO AVE,
EI GRANADA, CA 94018

CONSTRUCTION TYPE
TYPE V-B

AUTOMATIC FIRE SPRINKLER SYSTEM
YES - NFPA 13D, 2022

ZONING DESIGNATION
S-94 DISTRICT (COMBINING DISTRICT - MIDCOAST)

OCCUPANCY CLASS
GROUP R-1

LOT AREA
= 11,000 SF PER SURVEY

SETBACKS
FRONT: 20' MIN
SIDES: 10' MIN
REAR: 20' MIN

2-STORY HEIGHT LIMIT
MAX BUILDING HEIGHT: 28'-0"
PROPOSED BUILDING HEIGHT: 26'-0"

NUMBER OF STORIES
PROPOSED NUMBER OF STORIES: 2

TREES
NO TREES TO BE REMOVED

FLOOR AREA RATIO (FAR):

THE MAXIMUM BUILDING FLOOR AREA SHALL BE ESTABLISHED ACCORDING TO THE FOLLOWING TABLE.

PARCEL SIZE	MAX BUILDING FLOOR AREA
2,500 - 9,749 SQ. FT., OR LESS THAN 45 FEET PARCEL WIDTH	0.48 (PARCEL SIZE)
9,750 - 9,999 SQ. FT.	0.53 - ((5,000-PARCEL SIZE) X 0.0002) X PARCEL SIZE
10,000 - 11,698 SQ. FT.	0.53 (PARCEL SIZE)
MORE THAN 11,698 SQ. FT.	6,200 SQ. FT.

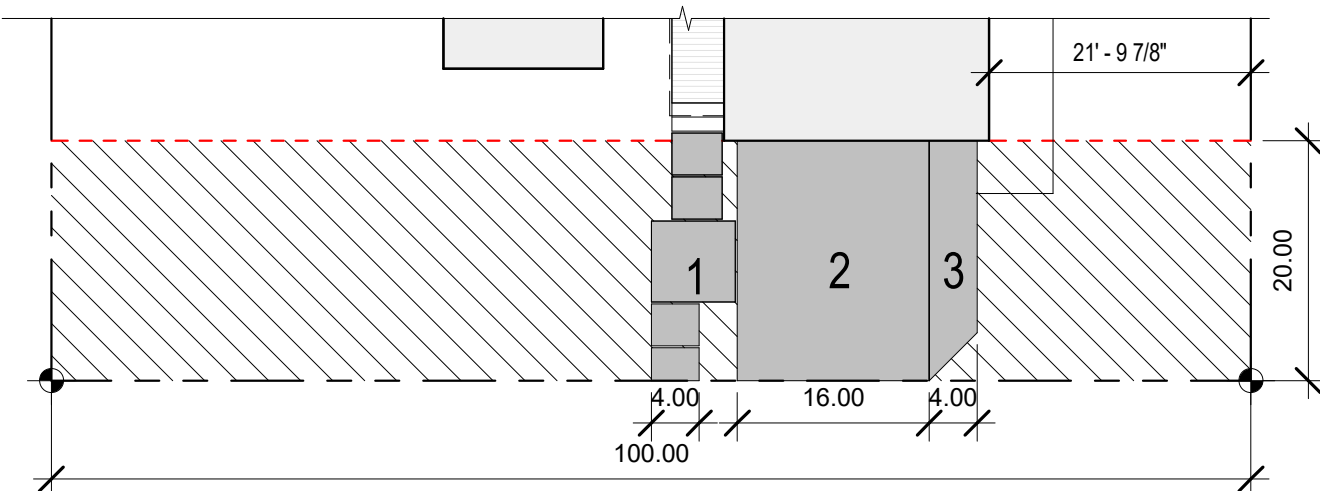
PER 6300.9.11.60, THE MAXIMUM BUILDING FLOOR AREA SHALL INCLUDE THE FLOOR AREA OF ALL STORIES OF ALL BUILDINGS AND ACCESSORY BUILDINGS ON A BUILDING SITE. MAXIMUM BUILDING FLOOR AREA SPECIFICALLY INCLUDES:
(1) THE FLOOR AREA OF ALL STORIES EXCLUDING UNINHABITABLE ATTICS AS MEASURED FROM THE OUTSIDE FACE OF ALL EXTERIOR PERIMETER WALLS,
(2) THE AREA OF ALL DECKS, PORCHES, BALCONIES OR OTHER AREAS COVERED BY A WATERPROOF ROOF WHICH EXTENDS FOUR (4) OR MORE FEET FROM EXTERIOR WALLS, AND
(3) THE AREA OF ALL GARAGES AND CARPORTS.

ENERGY MODEL CONDITIONED AREA (PER CEC GUIDELINES):
=2,567 SF

FLOOD_ZONE:
ZONE D

FIRE_ZONE:
NON-VHFSZ, PER CAL-FIRE MAP

PAVED SURFACE CALCULATION



FRONT YARD AREA

SCALE: 1/16" = 1'-0"

PERVIOUS SURFACE CALCULATION:

FRONT SETBACK = 20'
LOT WIDTH = 100'

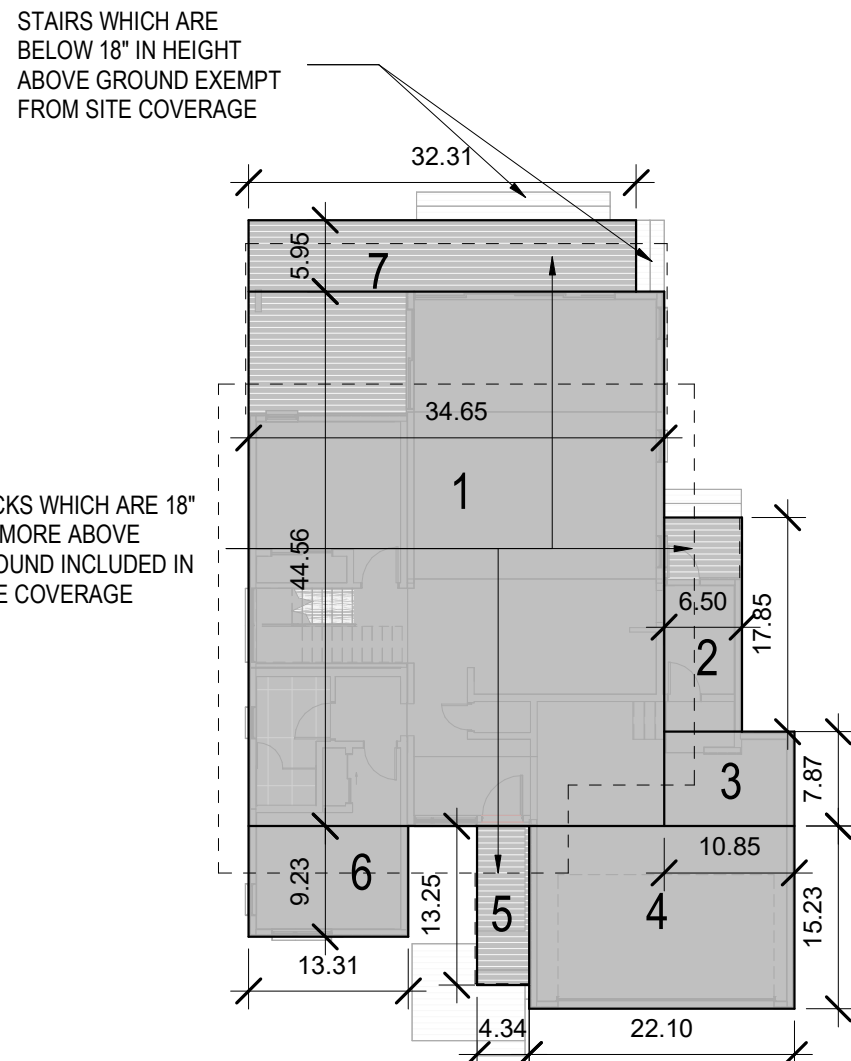
FRONT SETBACK AREA = 20' x 100' = 2000 SF
50% LIMITATION ON AMOUNT OF PAVED SURFACE
= 0.5 X 2000 = 1000 SF MAXIMUM

AREA 1= 101 SF
AREA 2= 320 SF
AREA 3= 72 SF

PAVED SURFACE AREA = 493 SF

TOTAL PAVED SURFACE AREA =
1000 SF MAXIMUM > 493 SF PROPOSED

LOT COVERAGE CALCULATION



BUILDING SITE COVERAGE CALCULATION:

AREA 1 = 34.65' x 44.56' = 1545.39 SF
AREA 2 = 6.50' x 17.85' = 116.02 SF
AREA 3 = 10.85' x 7.87' = 85.38 SF
AREA 4 = 22.10' x 15.23' = 336.58 SF
AREA 5 = 4.34' x 13.25' = 57.50 SF
AREA 6 = 13.31' x 9.23' = 122.85 SF
AREA 7 = 32.31' x 5.95' = 192.24 SF

TOTAL BUILDING COVERAGE = 2455.96 SF (2456 SF)

MAXIMUM LOT COVERAGE

= 30% OF LOT AREA

= 0.30 X 11,000 SF

=3,300 SF > 2,456 SF (OK)

LOT COVERAGE CALCULATION

(PER 6300.9.11.50):

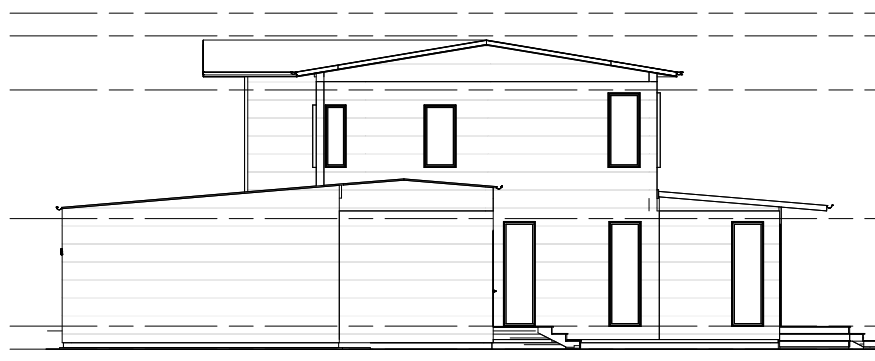
THE MAXIMUM PARCEL COVERAGE SHALL

BE 0.30 (30%).

PARCEL COVERAGE SHALL INCLUDE ALL:

- (1) BUILDINGS,
- (2) ACCESSORY BUILDINGS, OR
- (3) STRUCTURES SUCH AS PATIOS, DECKS, BALCONIES, PORCHES, BRIDGES, AND OTHER SIMILAR USES WHICH ARE EIGHTEEN (18) INCHES OR MORE ABOVE THE GROUND.

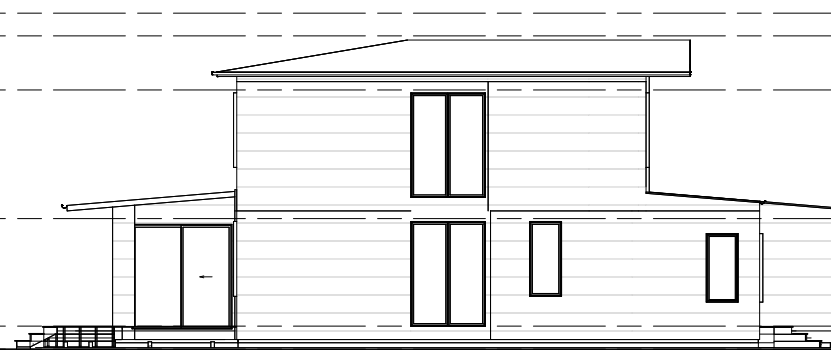
BUILDING HEIGHT DIAGRAMS



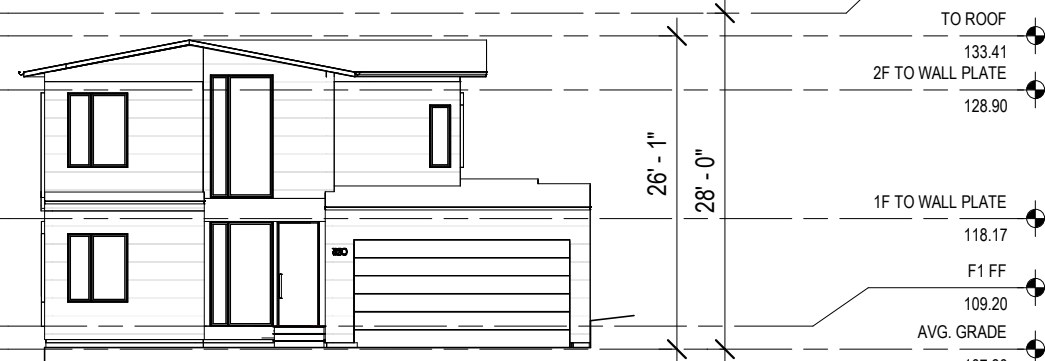
WEST ELEVATION HEIGHT
SCALE: 1/16" = 1'-0"



SOUTH ELEVATION HEIGHT
SCALE: 1/16" = 1'-0"



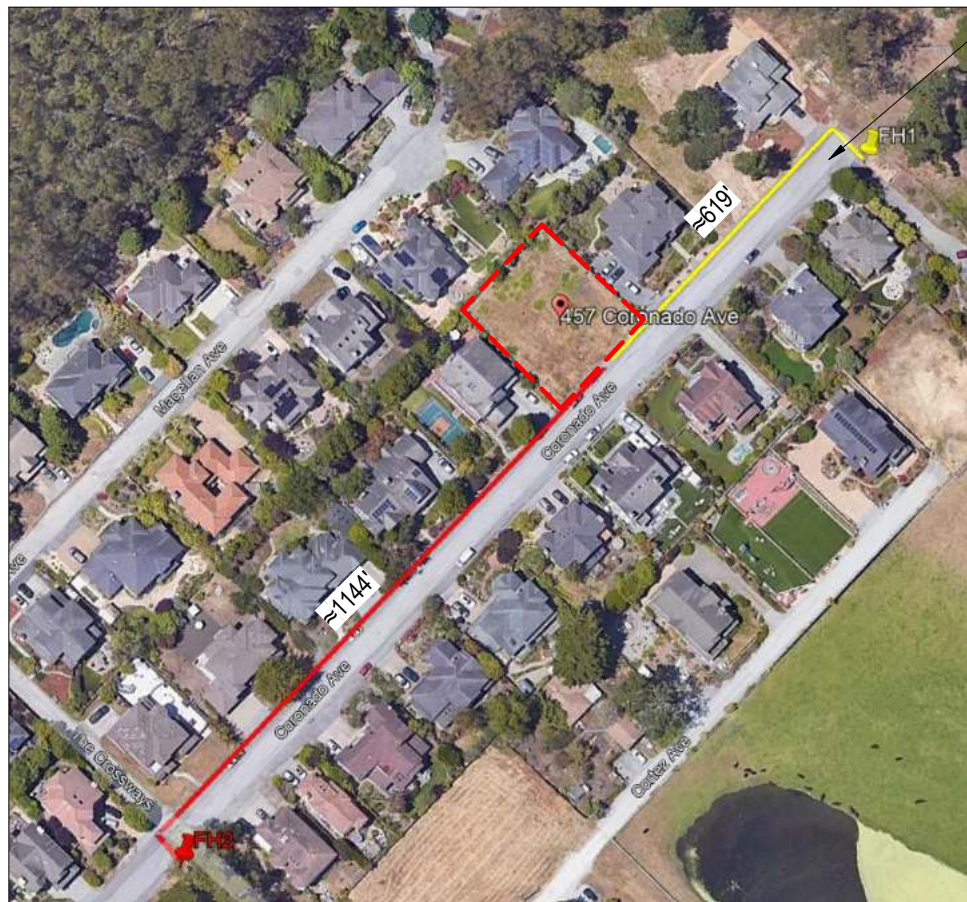
EAST ELEVATION HEIGHT
SCALE: 1/16" = 1'-0"



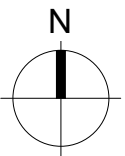
NORTH ELEVATION HEIGHT
SCALE: 1/16" = 1'-0"

FIRE HYDRANT / LOCATION MAP

NOT TO SCALE



FIRE
TURNAROUND



AH2
457 CORONADO AVE
HALF MOON BAY CA 94018

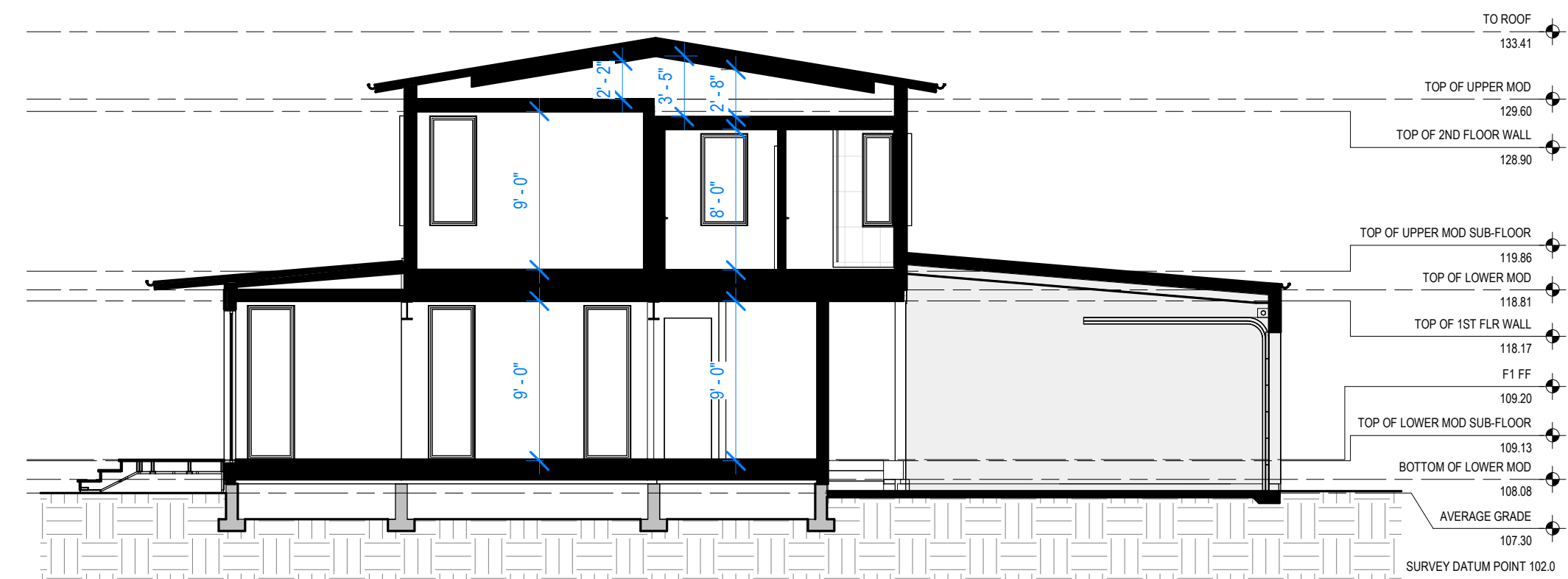
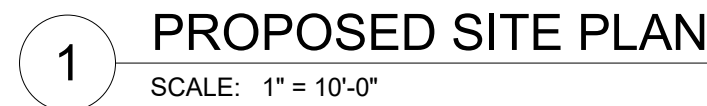
Discipline: ARCH
Drawn by: NP
Product number: AH2
Product version: V2.2

Issuances:

04/08/2025 PERMIT SUBMITTAL
No. Date

PROJECT DATA, ZONING AND
BUILDING HEIGHT COMPLIANCE

A0.05





EXTERIOR VIEW: SOUTH
LANDSCAPE DESIGN FOR REFERENCE ONLY



EXTERIOR VIEW: SOUTHWEST



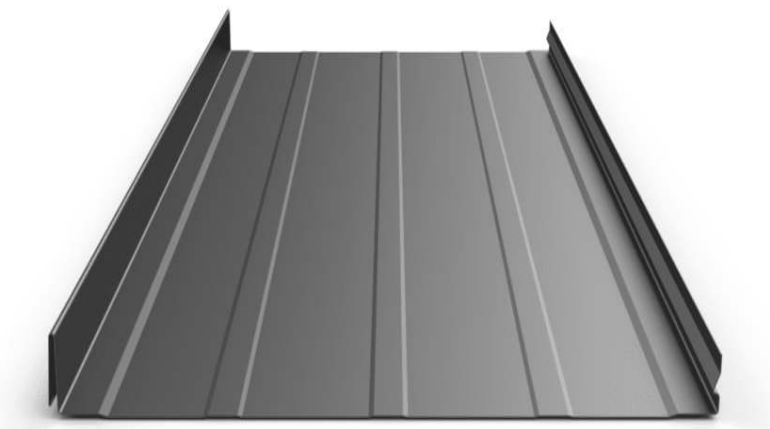
EXTERIOR VIEW: NORTHEAST



WOOD SIDING
COLOR: ARO BROWN



CANOPY/HANDRAIL
COLOR: CARDINAL INDUSTRIAL FINISHES: T002-BK08



METAL FLASHING & STANDING SEAM
COLOR: TAYLOR METAL - MATTE BLACK SRI-23

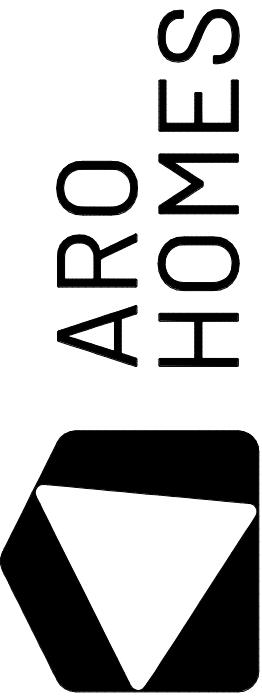


WINDOWS/DOORS
COLOR: DARK BRONZE ANODIZED (BLACK)



LIGHTING
COLOR: SATIN BLACK

reserved for approvals stamp

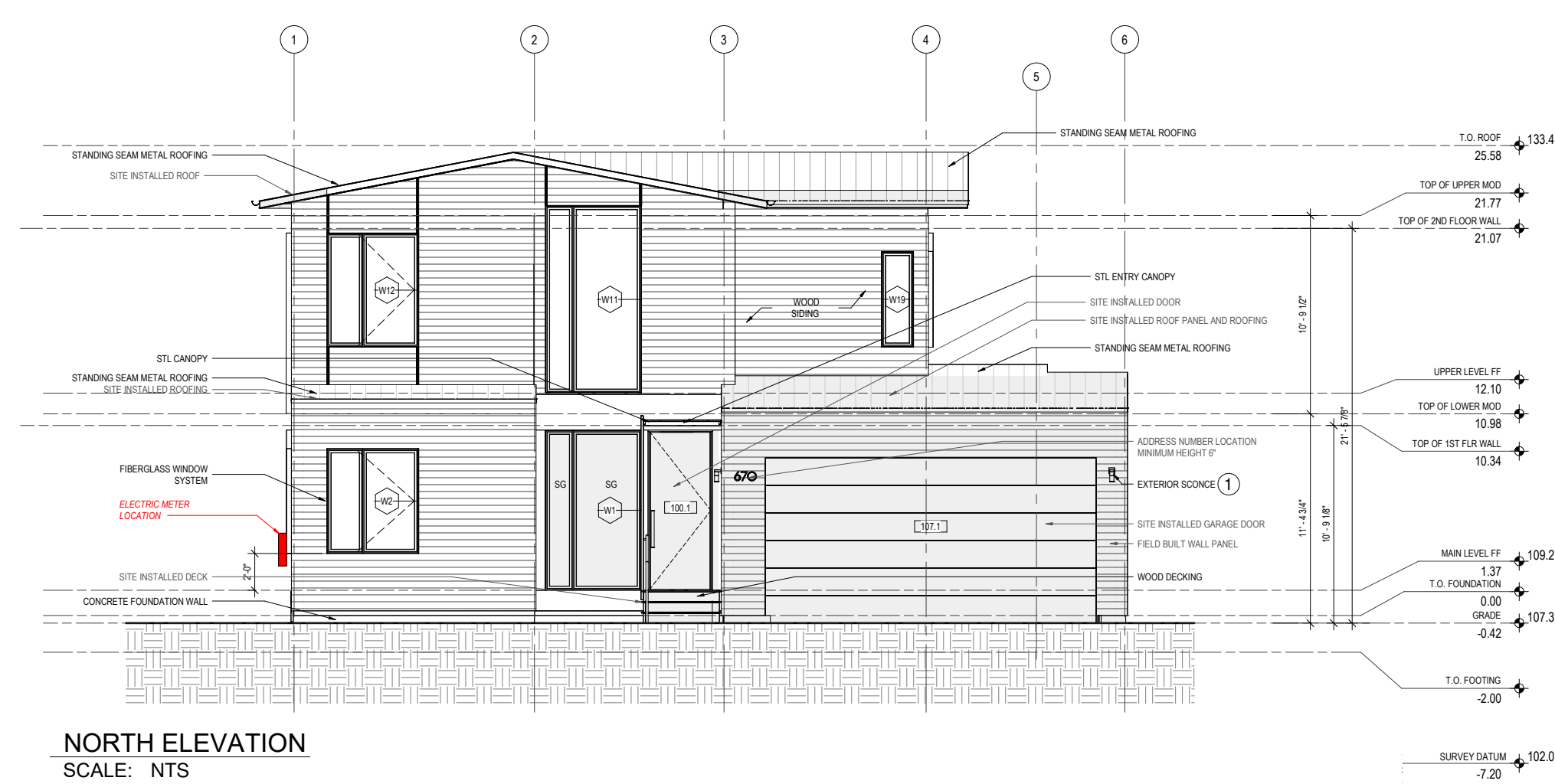


AH2
457 CORONADO AVE
HALF MOON BAY CA 94018

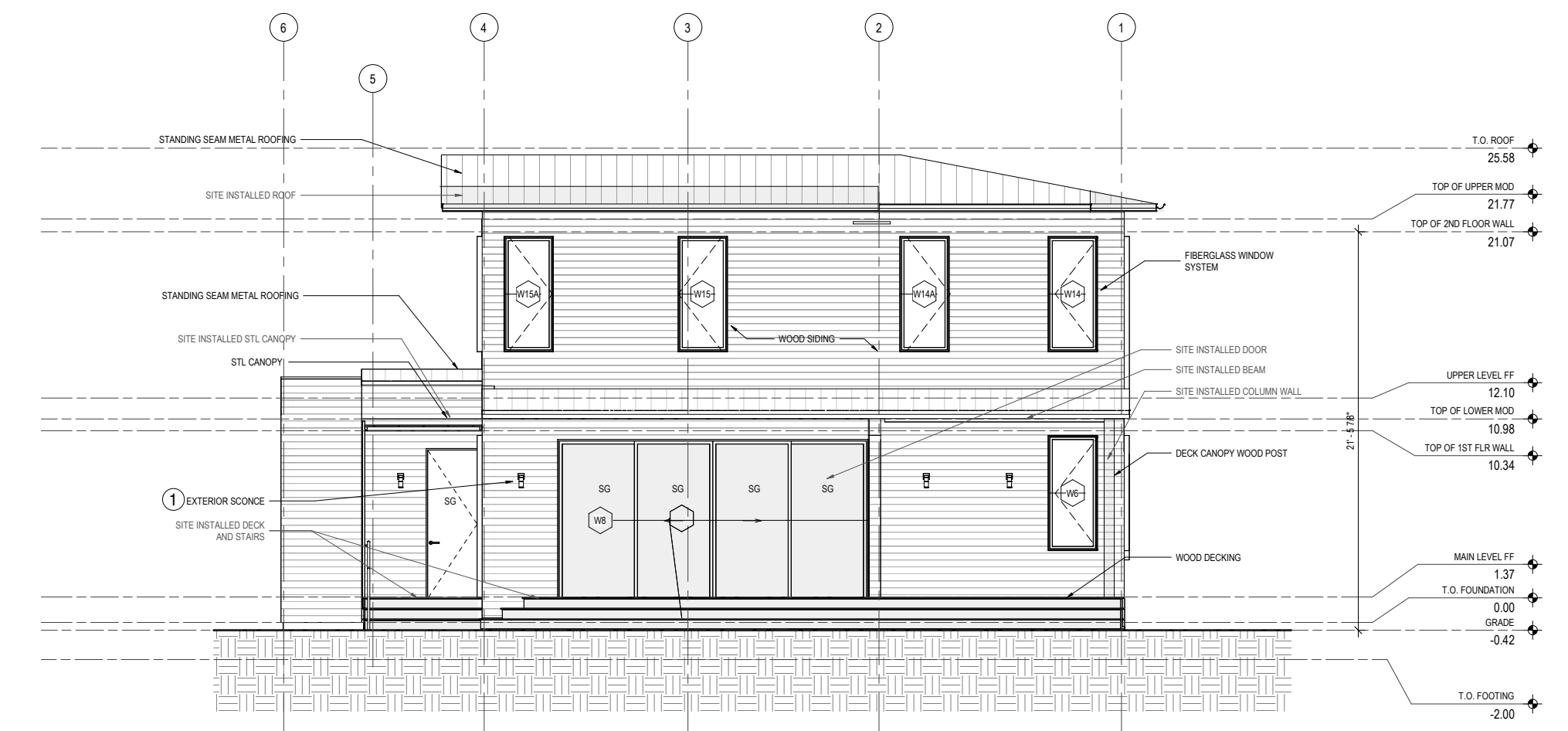
Discipline:	ARCH
Drawn by:	CT
Product number:	AH2
Product version:	V2.2
Issuances:	
04/08/2025 PERMIT SUBMITTAL	
No.	Date

MATERIAL SHEET

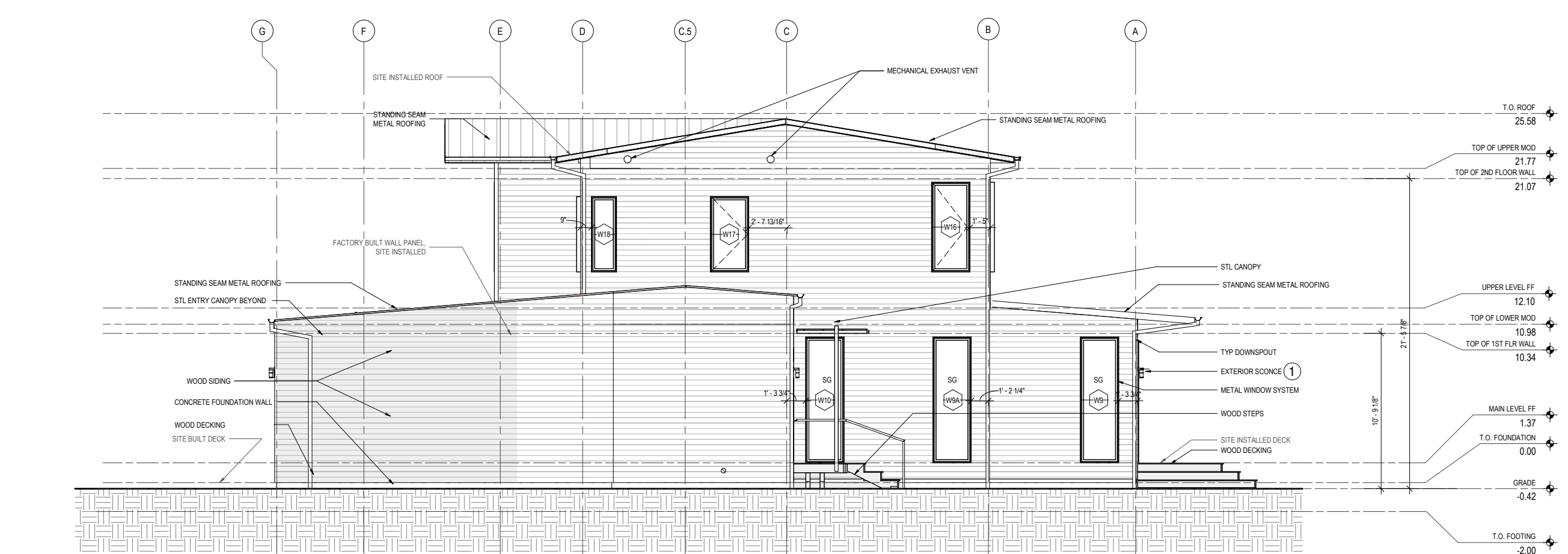
A9.40



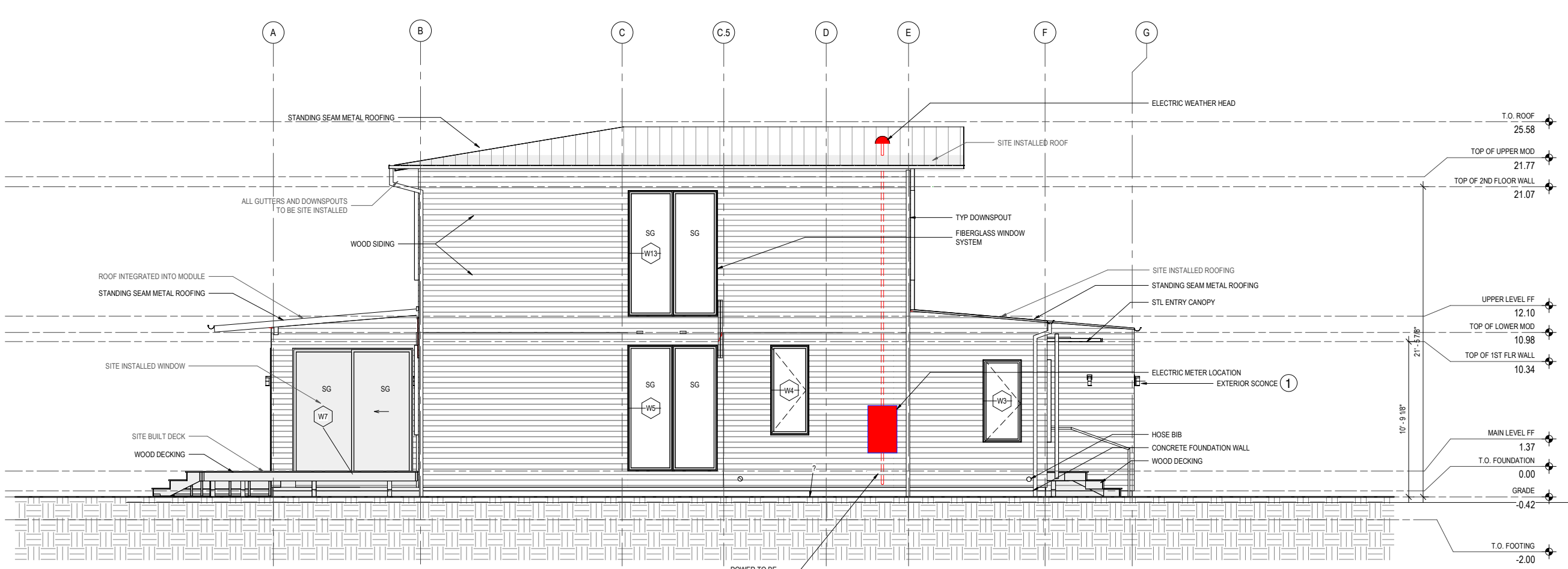
NORTH ELEVATION
SCALE: NTS



SOUTH ELEVATION
SCALE: NTS



WEST ELEVATION
SCALE: NTS



EAST ELEVATION
SCALE: NTS

HINKLEY & R.

HINKLEY LIGHTING, INC.
33000 PIN OAK PARKWAY | AVON LAKE, OHIO 44012
(PH) 440.653.1500 | (F) 440.653.5555
HINKLEYLIGHTING.COM | #PENDINGAWARD.COM



MIST 1224SK	
SATIN BLACK	
WIDTH:	4.8"
HEIGHT:	22.0"
WEIGHT:	5.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR ACRYLIC OUTSIDE CYLINDER & SEEDY GLASS INSIDE PANEL
BACKPLATE WIDTH:	4.8"
SOCKET:	1-35W GU-10
DARK SKY:	YES
EXTENSION:	4.0"
TTC:	11.0"
CERTIFICATION:	C-ULS WET RATED
VOLTAGE:	120V
UPC:	640665122442

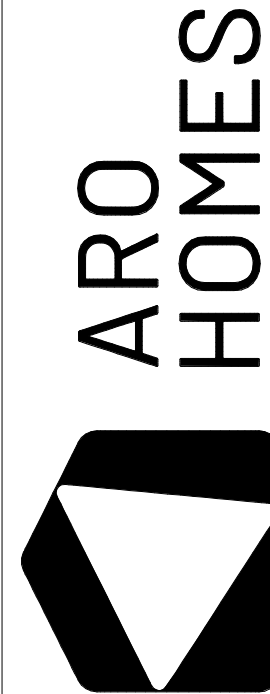
AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE,
ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL
STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR 'LIFE AGLOW.'

lifeAGLOW®

EXTERIOR SCONCE

1

reserved for approvals stamp



AH2
457 CORONADO AVE
HALF MOON BAY CA 94018

Discipline: ARCH
Drawn by: NP
Product number: AH2
Product version: V2.2

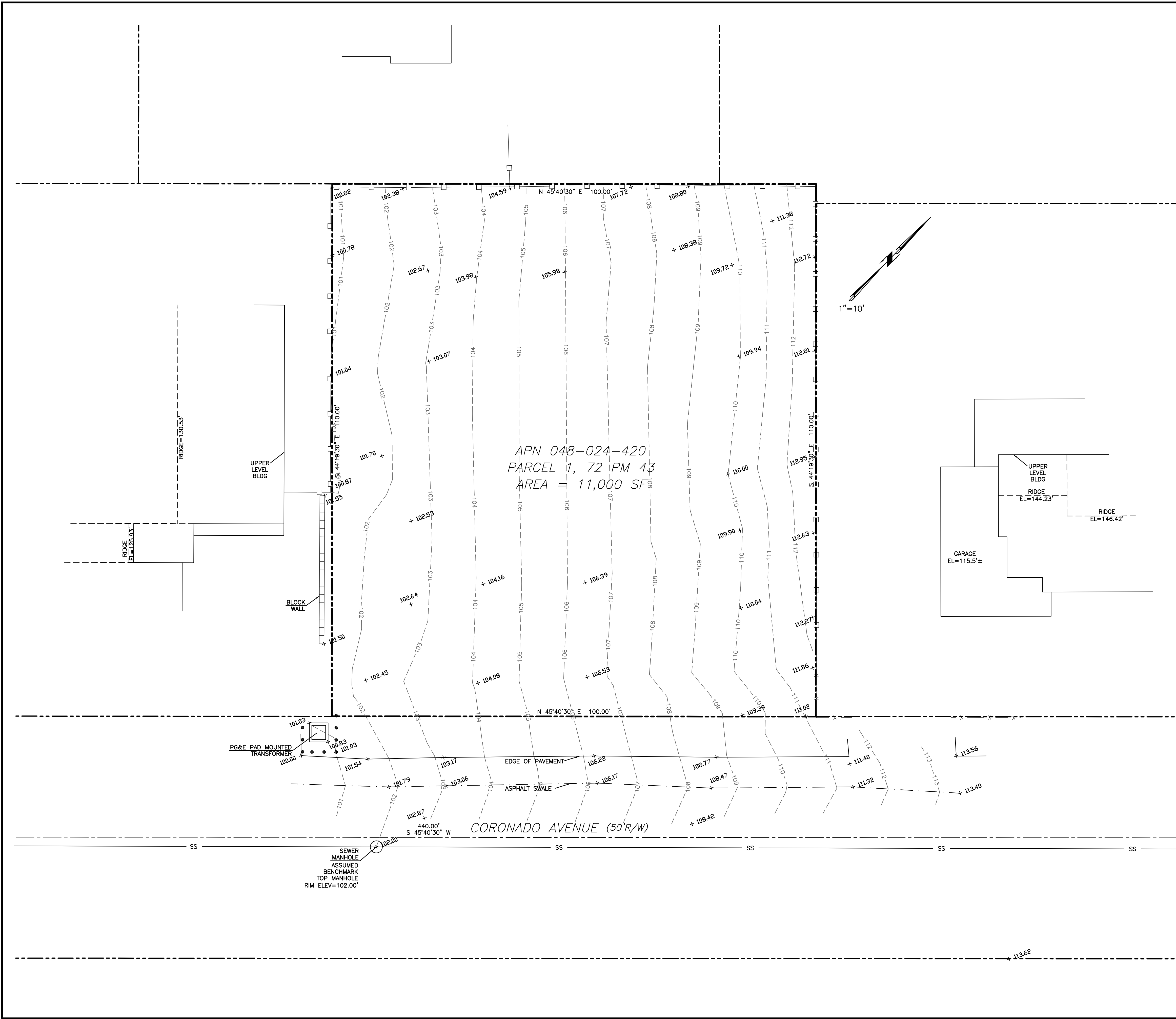
Issuances:

04/08/2025 PERMIT SUBMITTAL

No. Date

EXTERIOR LIGHTING

A3.02



BENCHMARK STATEMENT:
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

SURVEYOR'S STATEMENT:
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE FEBRUARY 2025. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR BY THE CLIENT.

San Mateo
SAVIOR P. MICALLEF
LAND SURVEYOR, LS 8289
(805) 709-2423

03-05-25
DATE

SAVIOR P. MICALLEF LAND SURVEYING
2211 WOOD DRIVE
SOUTH SAN FRANCISCO, CA 94080
805/709-2423

TOPOGRAPHIC SURVEY OF PORTION OF
VACANT LAND ON CORONADO AVENUE APN 048-024-420

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA

Date	03-05-25	No.		Revisions
Scale	1"=10'			
Design	SPM			
Drawn	SPM			
Approved	SPM			
Job No.				

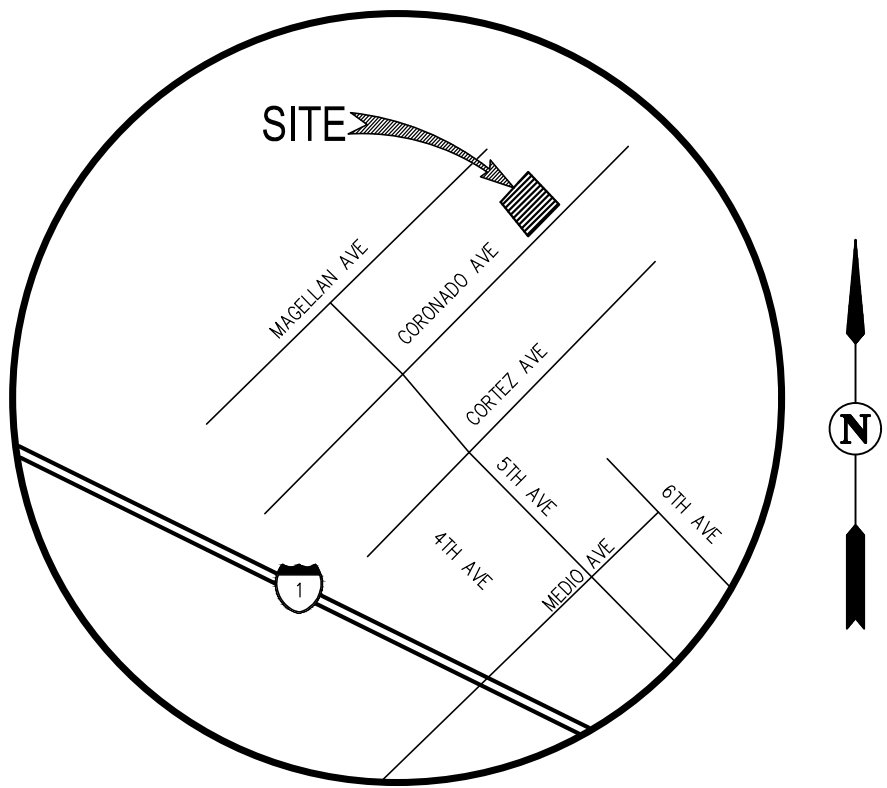
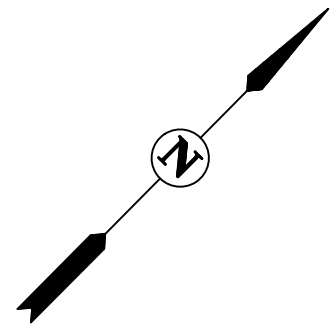
Drawing Number:



457 CORONADO AVENUE

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA

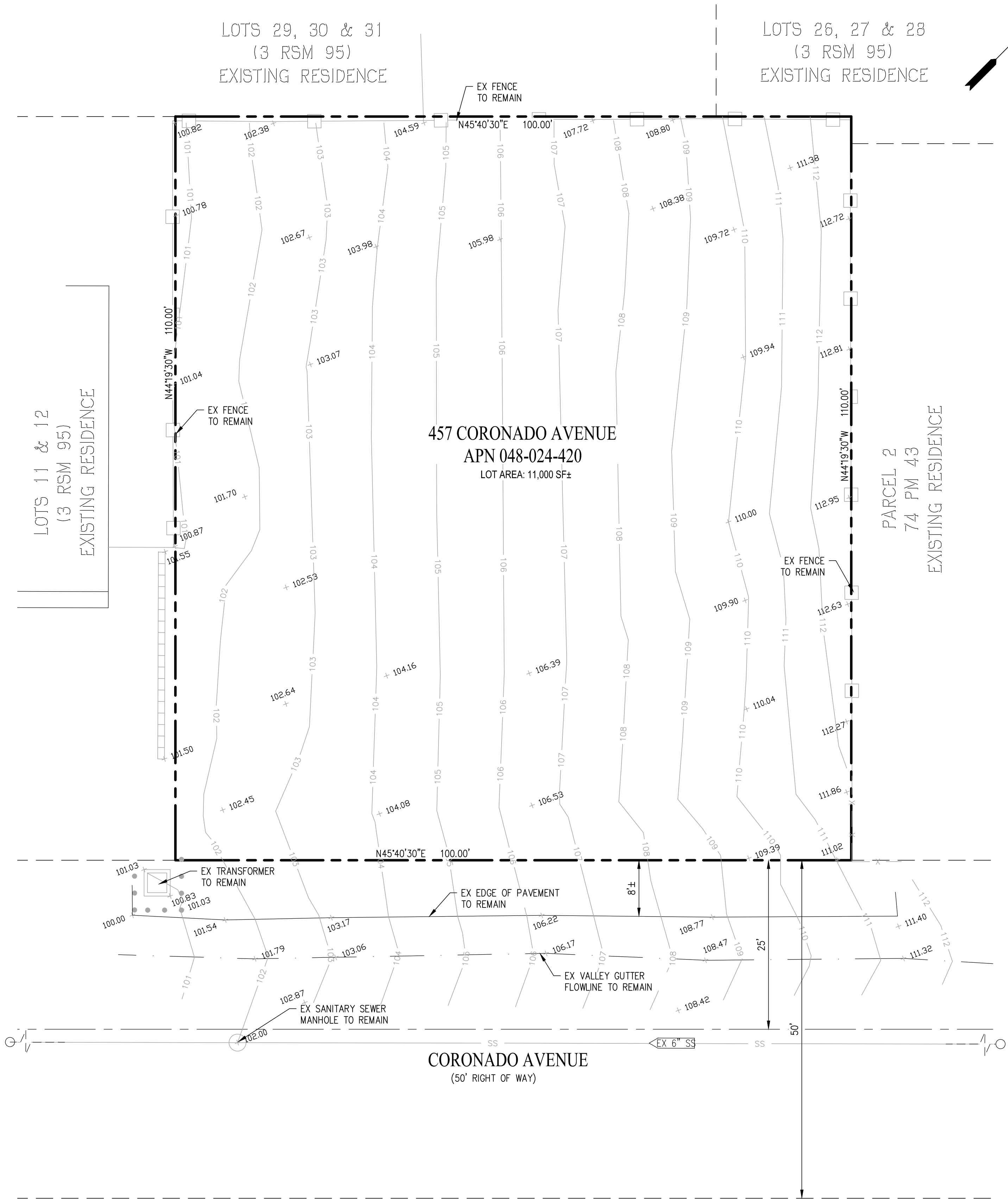
DEMOLITION PLAN



VICINITY MAP
NOT TO SCALE

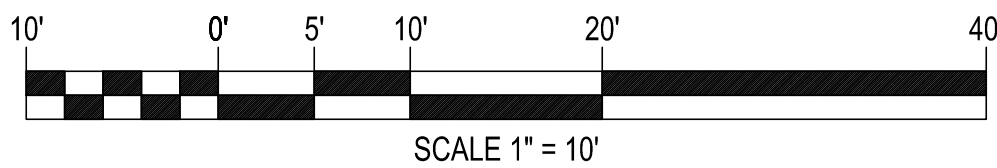
GENERAL NOTES

- SITE ADDRESS: 457 CORONADO AVENUE
HALF MOON BAY, CA 94019
- OWNER/DEVELOPER: ARO HOMES
725 N. SHORELINE BOULEVARD
MOUNTAIN VIEW, CA 94043
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
(925) 866-0322
RYAN HANSEN, P.E.
- TOTAL LOT AREA: 11,000 SQ. FT.
- SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO:
 - DISCONNECTING EXISTING UTILITY SERVICES
 - DEMOLISHING EXISTING STRUCTURES
 - REMOVAL OF EXISTING FLATWORK
 - CLEARING AND GRUBBING ENTIRE SITE WITH EXCEPTION OF NOTED TREES.
- CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK IN ACCORDANCE TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND LAWS GOVERNING DEMOLITION AND CONSTRUCTION WORK.
- THE CONTRACTOR SHALL LOCATE UNDERGROUND FACILITIES IN THE WORK AREA. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 AT LEAST 2 WORKING DAYS IN ADVANCE OF ANY WORK IN THE LOCATION OF UNDERGROUND FACILITIES.
- EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING SAID LINES.
- ISSUANCE OF THIS PERMIT DOES NOT PROVIDE APPROVAL OF THE REMOVAL OF ANY GIVEN TREE DEFINED AS A HERITAGE TREE IN MUNICIPAL CODE 13.4. A HERITAGE TREE REMOVAL PERMIT SHALL BE APPLIED FOR AND APPROVED BEFORE THE REMOVAL OF ANY HERITAGE TREE.



LEGEND

	BOUNDARY LINE
	RIGHT OF WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING STRUCTURE
	EXISTING EASEMENT LINE
	CENTERLINE
	EXISTING FENCE LINE
	TREE PROTECTION FENCE
	EXISTING UTILITY AS NOTED
	EXISTING UTILITY TO BE REMOVED
	TREE TO BE REMOVED
	ASPHALT
	CONCRETE
	DIAMETER AT BREAST HEIGHT
	EXISTING
	OVERHEAD WIRE
	SANITARY SEWER
	SANITARY SEWER MANHOLE
	TO BE REMOVED
	TO REMAIN
	TYPICAL

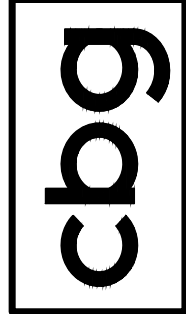


NO.	BY	DATE	REVISIONS	APPROVAL

DATE:	MARCH 2025
DRAWN BY:	DKP
PROJ. ENGR:	DKP
PROJ. MGR:	RTH



SAN RAMON	(925) 866-0322	CIVIL ENGINEERS	SURVEYORS	PLANNERS
ROSEVILLE	(916) 375-1877			
WWW.CBANDG.COM				



ARO HOMES	457 CORONADO AVENUE	CALIFORNIA
DEMOLITION PLAN		
SITE PLAN		
SAN MATEO COUNTY		

SHEET NUMBER
DP-1
OF 1
JOB NUMBER
4004-014



- ## GENERAL NOTES

- ### UTILITY NOTES (FOR INFORMATION ONLY)

-
- LOTS 29, 30 & 31
(3 RSM 95)
EXISTING RESIDENCE
- EX FENCE TO REMAIN
- AD 100.7 FL 99.7
- CONTRACTOR TO INSTALL NATURAL SWALE TO INTERCEPT AND COLLECT RUNOFF
- AD 100.7 FL 99.5
- AD 100.7 FL 99.3
- GP-2 A
- AD 100.7 FL 99.1
- CONTRACTOR TO INSTALL NATURAL SWALE TO INTERCEPT AND COLLECT RUNOFF
- AD 100.7 FL 98.9
- GRAVEL DRY WELL PER DETAIL 1 SHEET GP-2
- LOWEST OVERLAND RELEASE POINT EL. 101.3±
- EX TRANSFORMER
- EX SSM GR 102.00 6" INV IN 67.17 6" INV OUT 67.17
- EX VG FLOWLINE
- 38.6' LF (MH-POC)
- CONNECT TO EX 6" SANITARY SEWER 6" INV 101.2± 4" INV 101.3±
- CONTRACTOR TO VERIFY ELEVATION AT POC PRIOR TO CONSTRUCTION
- 457 CORONADO AVENUE
APN 048-024-420
FF 109.20
PAD 106.07
LOT AREA: 11,000 SF±
- EX FENCE TO REMAIN
- AD 100.7 FL 99.7
- AD 100.7 FL 99.5
- AD 100.7 FL 99.3
- AD 100.7 FL 99.1
- AD 100.7 FL 98.9
- AD 100.7 FL 98.7
- AD 100.7 FL 98.5
- AD 100.7 FL 98.3
- AD 100.7 FL 98.1
- AD 100.7 FL 97.9
- AD 100.7 FL 97.7
- AD 100.7 FL 97.5
- AD 100.7 FL 97.3
- AD 100.7 FL 97.1
- AD 100.7 FL 96.9
- AD 100.7 FL 96.7
- AD 100.7 FL 96.5
- AD 100.7 FL 96.3
- AD 100.7 FL 96.1
- AD 100.7 FL 95.9
- AD 100.7 FL 95.7
- AD 100.7 FL 95.5
- AD 100.7 FL 95.3
- AD 100.7 FL 95.1
- AD 100.7 FL 94.9
- AD 100.7 FL 94.7
- AD 100.7 FL 94.5
- AD 100.7 FL 94.3
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- AD 100.7 FL 93.9
- AD 100.7 FL 93.7
- AD 100.7 FL 93.5
- AD 100.7 FL 93.3
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- AD 100.7 FL 92.9
- AD 100.7 FL 92.7
- AD 100.7 FL 92.5
- AD 100.7 FL 92.3
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- AD 100.7 FL 63.5
- AD 100.7 FL 63.3
- AD 100.7 FL 63.1
- AD 100

SHEET INDEX

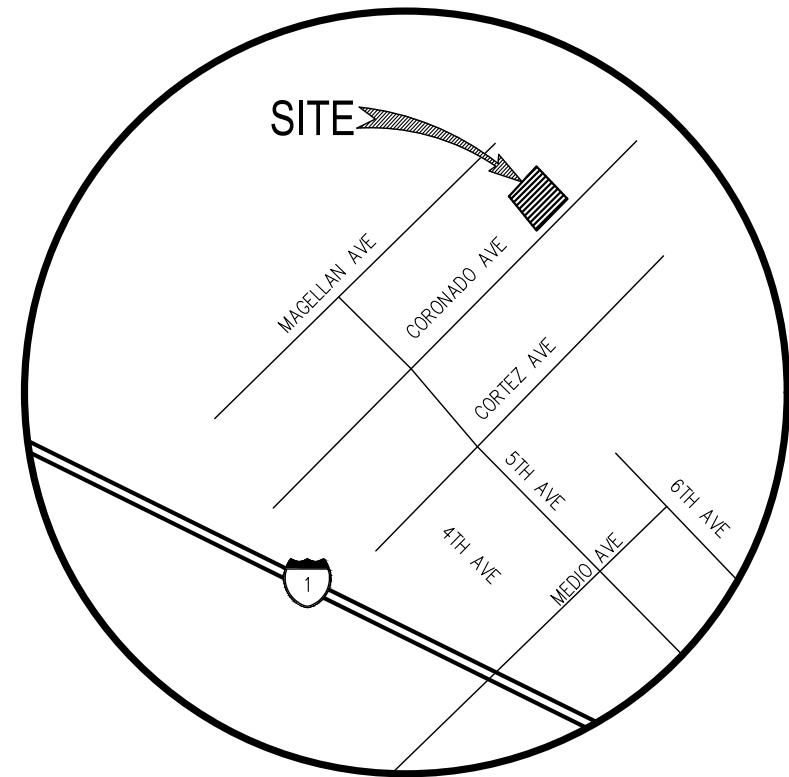
ROUGH EARTHWORK QUANTITIES			
IMPROVEMENT AREA	CUT	FILL	TOTAL
ROUGH GRADING	260	170	90 (C)

IMPERVIOUS AREA SUMMARY

PRE-PROJECT	0 SF±
POST-PROJECT	3,309 SF±
NET CHANGE	3,309 SF±
TOTAL SITE AREA	11,000 SF±

NOTES:

-
- GRAPHIC SCALE

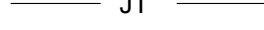
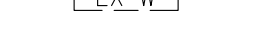
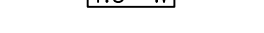


VICINITY MAP
NOT TO SCALE

LEGEND

PROPOSED

DESCRIPTION

EXISTING	PROPOSED	
		PROPERTY LINE (PROJECT)
		PROPERTY LINE (ADJOINER)
		CENTER LINE
		STRUCTURE
		RETAINING WALL
		6" AREA DRAIN PIPE
		SANITARY SEWER PIPE OR LATERAL
		PROPOSED UNDERGROUND JOINT TRENCH ROUTE
		FIRE SERVICE PIPE
		DOMESTIC WATER PIPE
		FENCE
		LOW FENCE
		SAWCUT LINE
		SPOT ELEVATION
		DOWNSPOUT (PER ARCHITECTURE)
		AREA DRAIN
		SANITARY SEWER CLEANOUT
		SANITARY SEWER MANHOLE
		TREE (SEE LANDSCAPE PLANS)
		ASPHALT CONCRETE
		STRUCTURAL PAVEMENT
		CONCRETE PAVEMENT
		DECORATIVE GRAVEL

ABBREVIATIONS

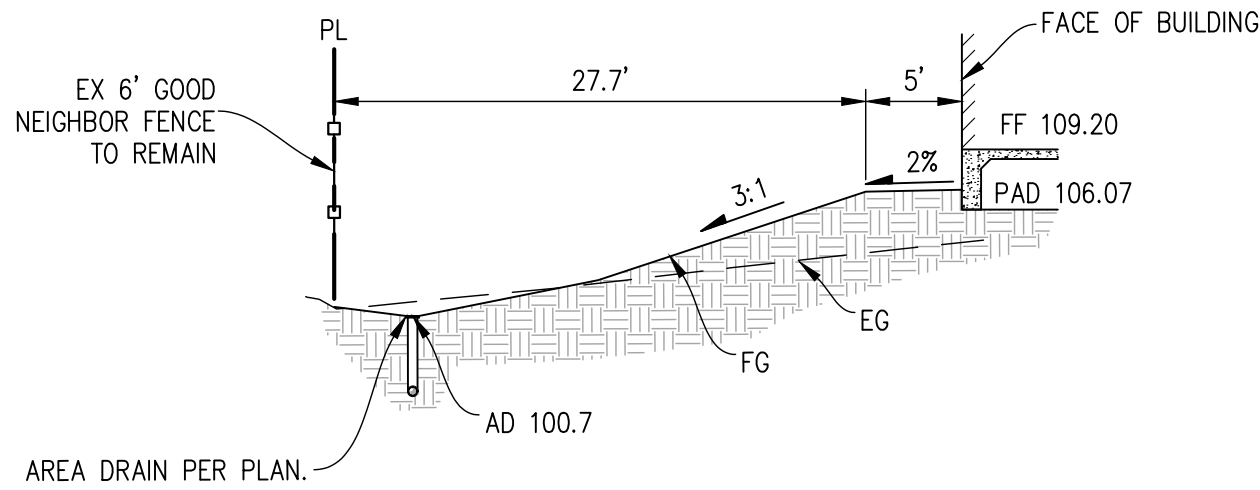
AB	AGGREGATE BASE	MAX	MAXIMUM
AC	ASPHALT CONCRETE	MIN	MINIMUM
AD	AREA DRAIN	POC	POINT OF CONNECTION
APN	ACCESSORS PARCEL NUMBER	S	SLOPE
DW	DRIVEWAY	SD	SUBDRAIN
EX	EXISTING	SS	SANITARY SEWER
FF	FINISHED FLOOR	SSCO	SANITARY SEWER CLEANOUT
FL	FLOW LINE	SSMH	SANITARY SEWER MANHOLE
GLIP	GARAGE LIP	TYP.	TYPICAL
GR	GRATE ELEVATION	W	WATER
HP	HIGH POINT	WM	WATER METER
INV	INVERT	WS	WATER SERVICE
LAT	LATERAL	VG	VALLEY GUTTER
LS	LANDSCAPE		



- [illegible]

NOTES:

1. 6" NDS GRATES ON IMPERVIOUS SURFACES TO BE ADA COMPLIANT AND HEEL PROOF.



FACE OF BUILDING

7.3'

14.5'

2%

FF 109.20

PAD 106.07

2' RET WALL

TW 109.0

BW 107.0

AD 106.6

AREA DRAIN PER PLAN.

PL

EX 6' GOOD NEIGHBOR FENCE TO REMAIN

EG

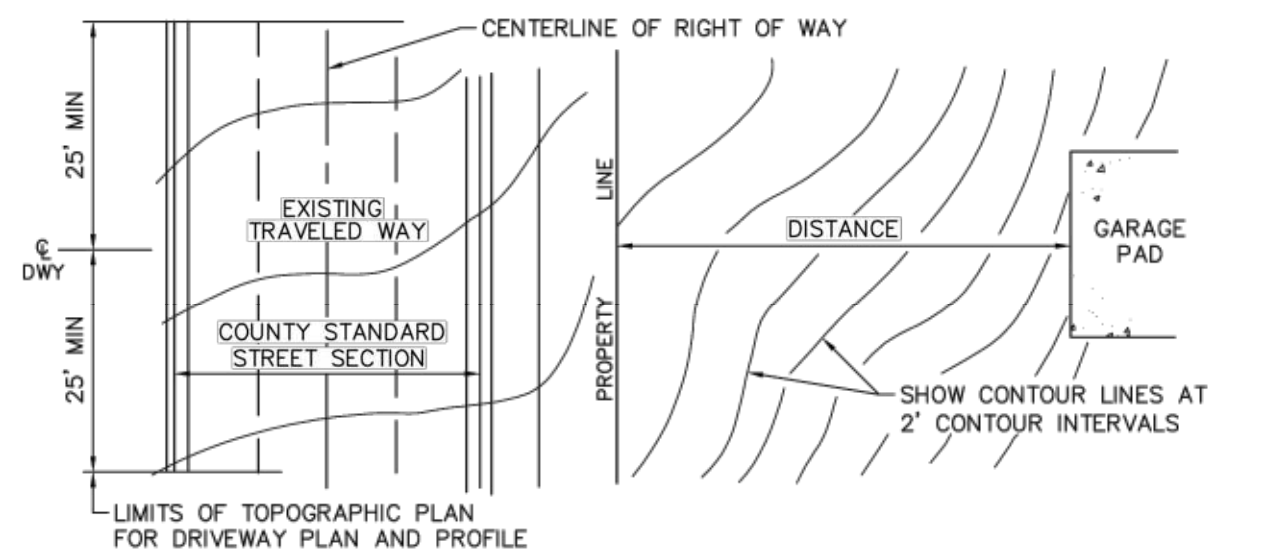
Figure 1: Typical cross-section of a 12' wide concrete curb and gutter. The diagram shows a cross-section of a road with a 12-foot wide concrete curb and gutter. Key features include: a 12'± concrete curb and gutter (EG 106.8±, EX FL 106.4±); a 5'± concrete curb and gutter (EX PAV 106.5±); an 8'± concrete curb and gutter (PAV 106.8); a 16.5'± concrete curb and gutter (TRENCH DRAIN GB 107.0); a 0.5'± concrete curb and gutter (GLIP 107.23); and a 3'± concrete curb and gutter (PAD 106.07). The diagram also shows a 1' GARAGE LIP and a FACE OF GARAGE. Slopes are indicated as 1.2%, 3.6%, and 4.8%. A note indicates 'CONTRACTOR TO CONFRONT TO EDGE OF PAVEMENT'.

**COUNTY OF SAN MATEO DEPARTMENT
OF
PUBLIC WORKS**

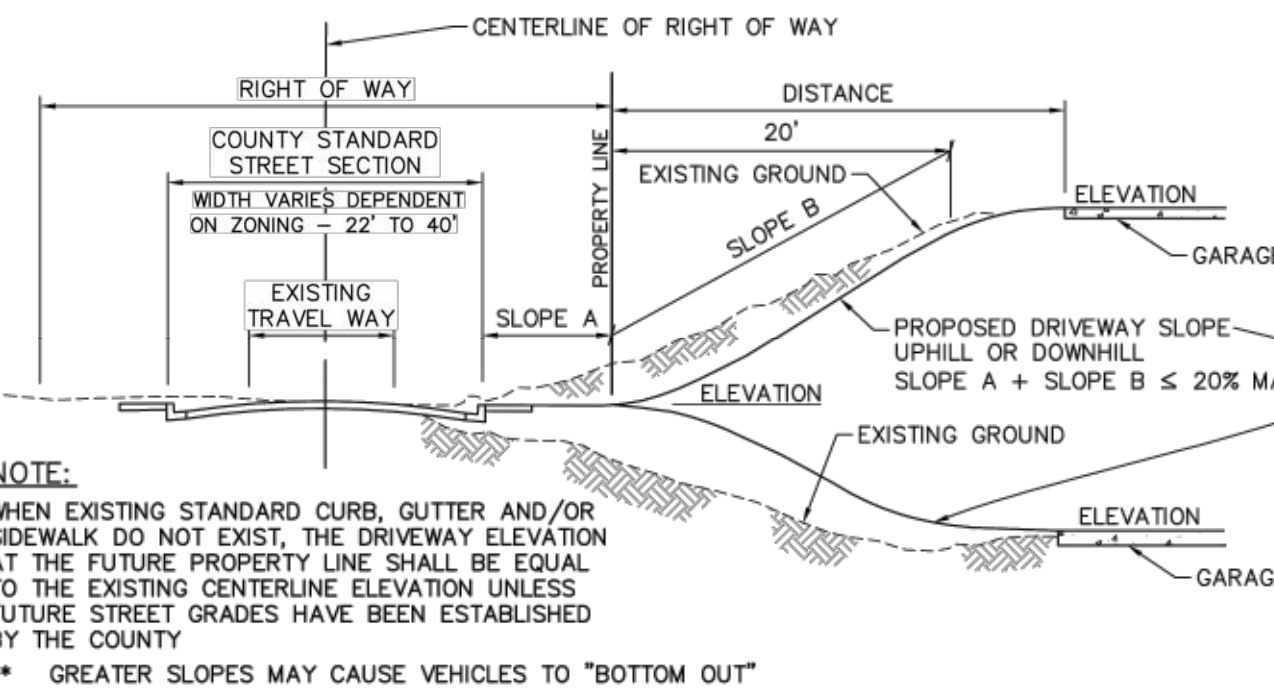
DRAWN BY: A.Z.
CHECKED BY: K.L.
APPROVED BY: A.M.S.

REDACTED
REDWOOD CITY
CALIFORNIA

SCALE: NONE
DATE: 2-2022
REVISED: 2-2022

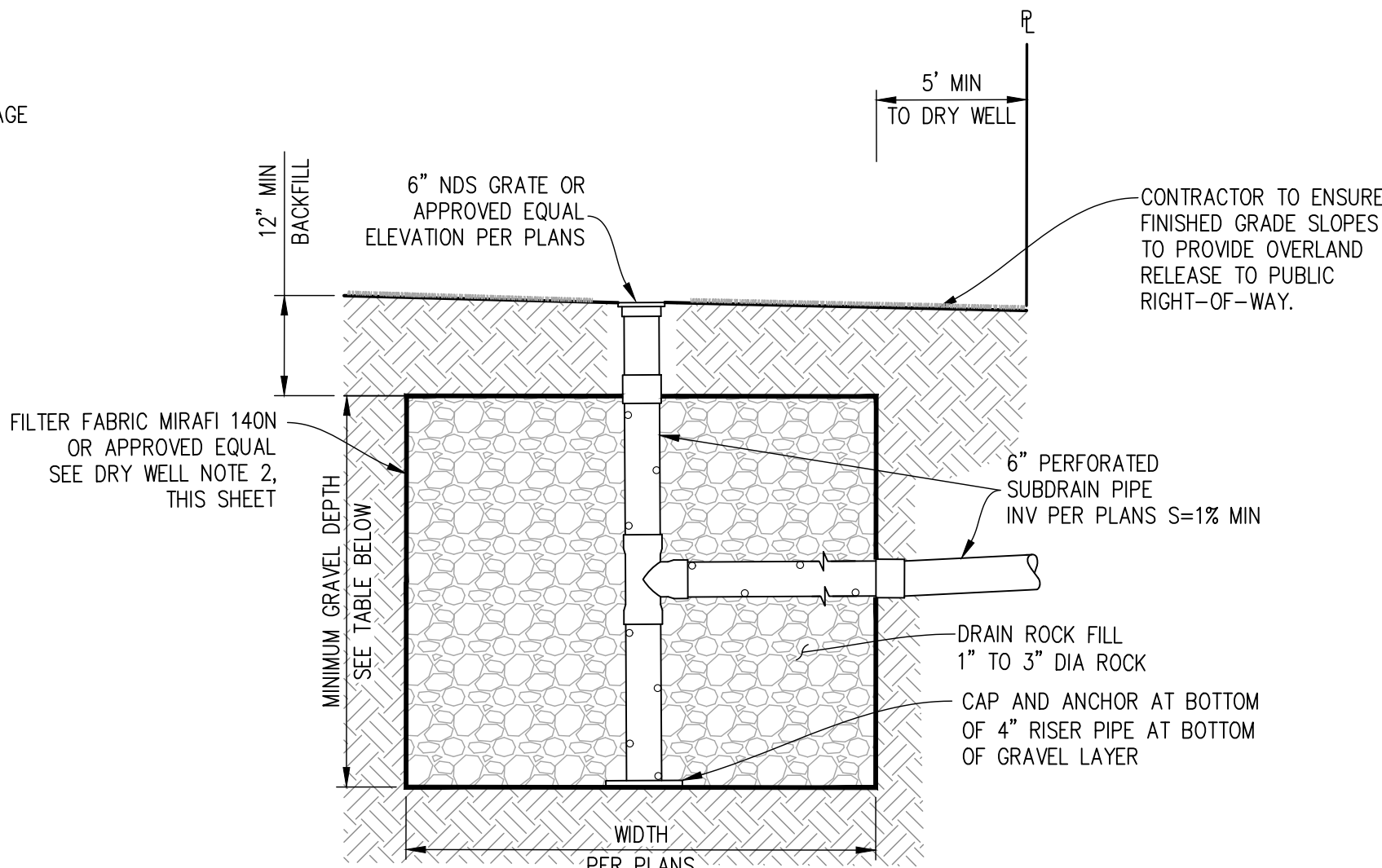


DRIVEWAY PLAN VIEW



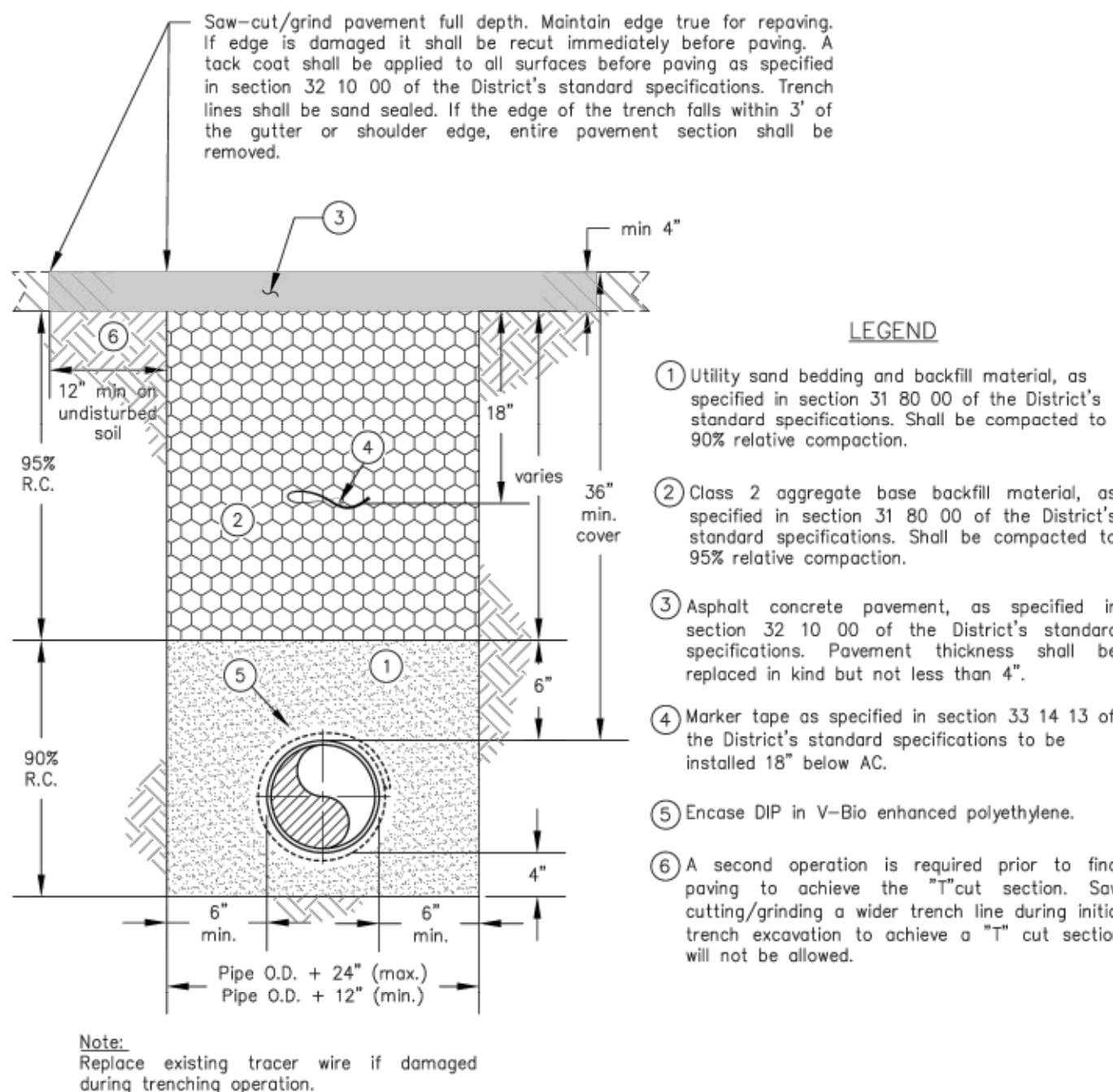
DRIVEWAY PROFILE VIEW
AT CENTERLINE OF ROAD AND EDGE OF ROADWAY

D-7



DRY WELL SUMMARY		
DRY WELL	AREA (SF)	MIN. DEPTH (FT)
1	200	5

1. THE SOIL UNDER THE DRY WELL SHALL BE OVER-EXCAVATED TO AT LEAST ONE FOOT IN DEPTH. THE SOIL SHALL BE REPLACED UNIFORMLY WITHOUT COMPACTION, OR AMENDED WITH 15-30% OF COARSE SAND AND REPLACED WITHOUT COMPACTION.
2. IF A DRY WELL IS INSTALLED WITHIN 10' OF A DRIVEWAY OR CONCRETE WALKWAY, ONLY THE SIDEWALLS OF THE DRY WELLS SHOULD BE WRAPPED WITH AN IMPERMEABLE LINER PER GEOTECHNICAL RECOMMENDATIONS. ADDITIONAL GEOTECHNICAL RECOMMENDATIONS REGARDING DRIVEWAY CONSTRUCTION MAY BE WARRANTED. THE BOTTOM OF THE DRY WELL SHOULD NOT BE WRAPPED WITH AN IMPERMEABLE LINER.
3. DRY WELL TO BE CONSTRUCTED PER COUNTY OF SAN MATEO DRAINAGE MANUAL SECTION 4.0.
4. DRY WELLS SHALL BE SETBACK A MINIMUM 5' FROM PROPERTY LINES.



TRENCH SECTION - TYPE A

PAVED SURFACES

REV. 05/2018

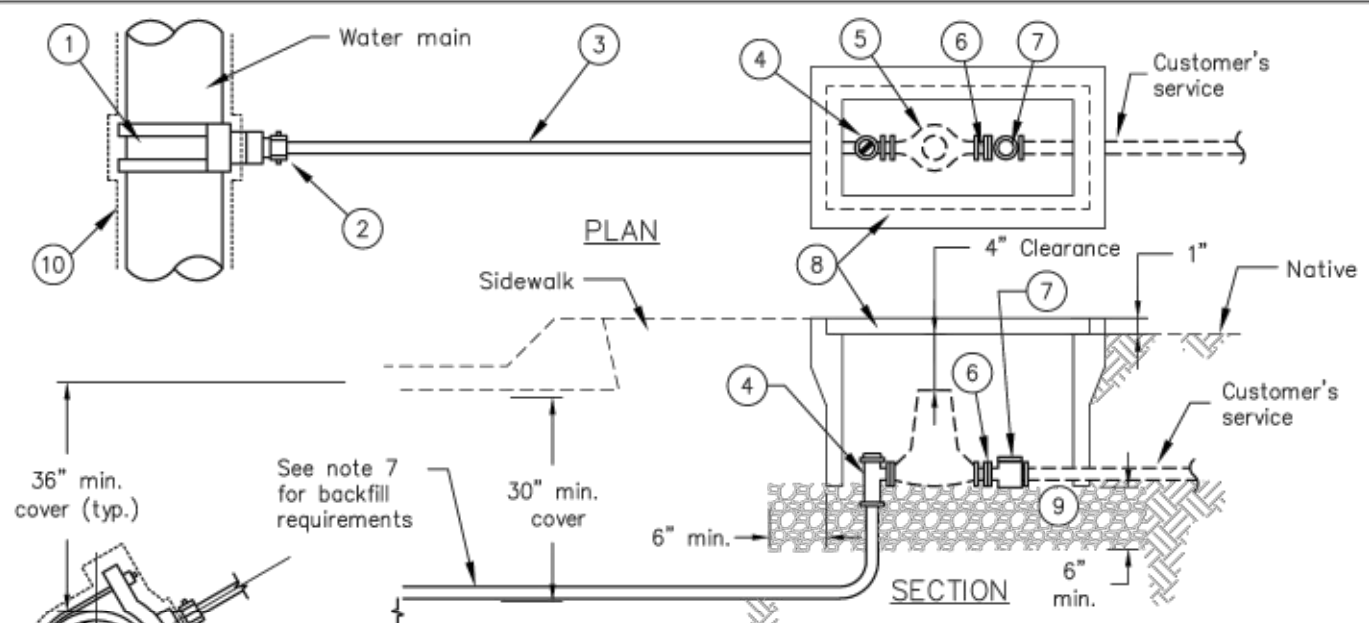


COASTSIDE COUNCIL
WATER DISTRICT
766 MAIN STREET
HALF MOON BAY, CA

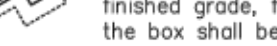
Approved by:

David Dickson, General Manager

STD. NO
CC-01

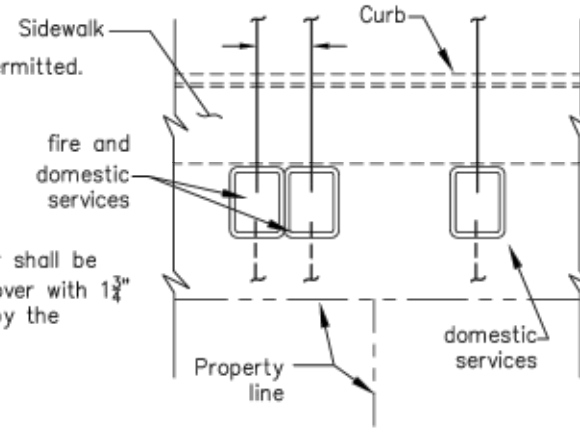


NOTES:
1. Make

- 
- 60°
1. The meter shall be installed at the finished grade, for new development with unknown finished grade the exact location and elevation of the box shall be staked prior to its installation.
2. Applications for services larger than 1" require hydraulic calculations justification and prior approval from the District.
3. Use Mueller Pack Joint V-15442 (female) or V-15440 (male) when customer's service is PVC.
4. Service connections shall be a minimum of 2' above a belt/joint and/or next service connection, or as directed by the District.
5. Contractor shall furnish all labor, equipment, and material to connect water service to the customer line per Section 15100.
6. Sand shall be placed 2' below and 6" above the service line. Backfill and compact remaining section per applicable CCWD trench detail.
7. If fire service is present with a residential service, a minimum 1" fire service meter, per CC-18 detail, in addition to 1/2" or 3/4" domestic service meter shall be installed, as shown in diagram below.
8. Up to four (4) service connections per meter bank will be allowed upon District approval of the meter bank location and size.
- LEGEND**

LEGEND

- ⑦ Double stop bronze service saddle, Mueller BR2B "CC".
- ⑧ 1" or 1 1/2" corporation stop, Mueller B-25008N.
- ⑨ 1" or 1 1/2" dia. Type K soft copper pipe. Unions or couplings not allowed.
- ⑩ 1" or 1 1/2" compression ball angle meter valve, Mueller B-24258N.
- ⑪ 1" or 1 1/2" meter (furnished by District).
- ⑫ insulated meter coupling, Mueller H-10871N.
- ⑬ 1" or 1 1/2" meter check valve Mueller H-14243N.
- ⑭ Meter box, Christy No. B9 for 1" meter and No. B16 for 1 1/2", purchased from the District. H-20 traffic rated box and H-20 probe hole seal shall be provided in traffic areas and where directed by District detail. All meter boxes shall be clearances.
- ⑮ 3/4" drain rock per Section 31 80.00 of the District's standard specifications shall be mechanically compacted.
- ⑯ encase DIP in V-Bio enhanced polyethylene.



3/4" OR 1" SERVICE CONNECTION

REV. 09/2019

REV. 05/201



COASTSIDE COUNCIL
WATER DISTRICT
766 MAIN STREET
HALF MOON BAY, CA

Approved by:

David Dickson, General Manager

STD. NO
CC-06

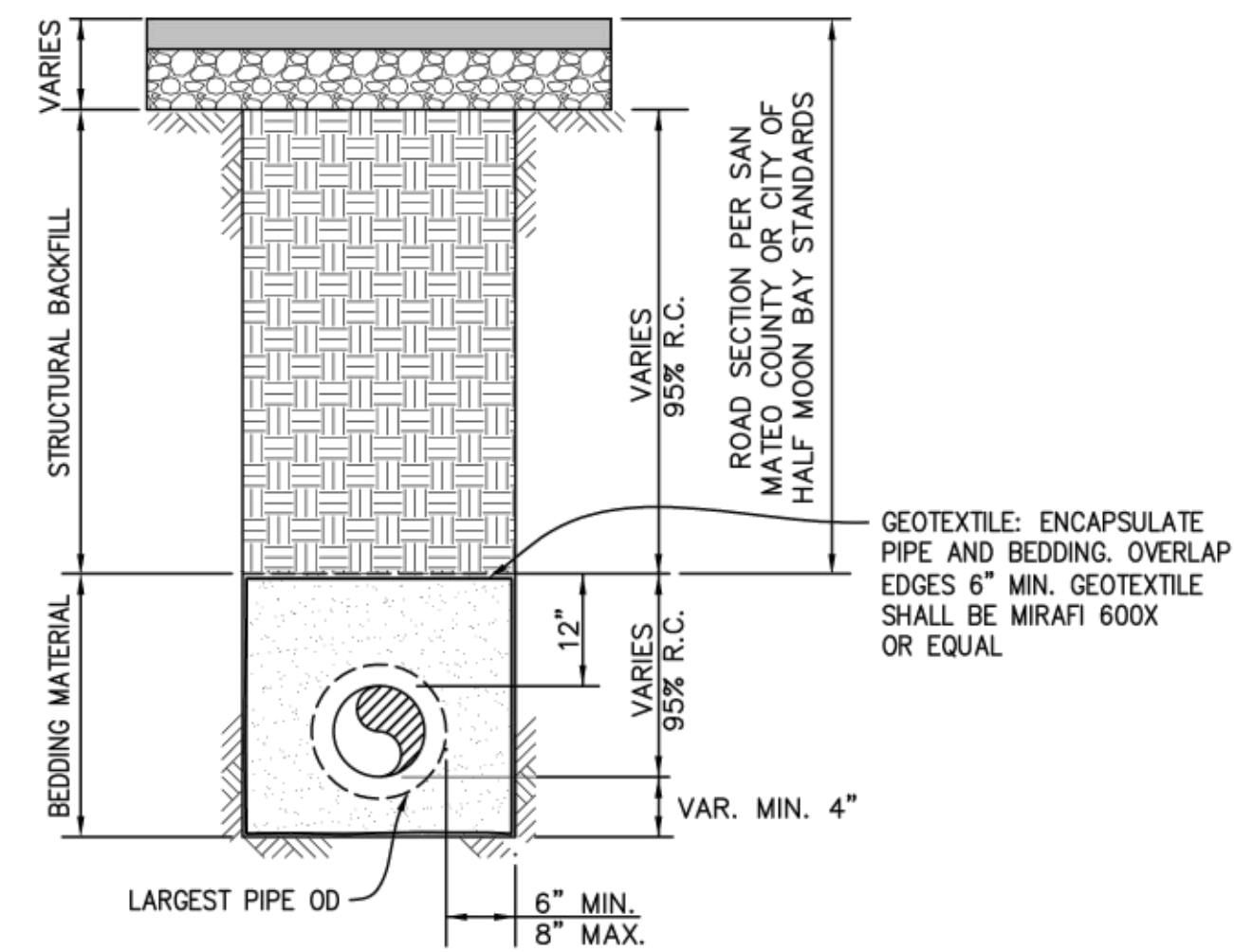
GRADING AND DRAINAGE PLAN

NOTES & DETAILS

ARO HOMES

SHEET NUMBER
GP-2
OF 3

JOB NUMBER
4004-014



<u>STRUCTURAL BACKFILL*</u>		<u>BEDDING MATERIAL</u>	
STRUCTURAL BACKFILL REQUIREMENTS (CALTRANS CALIF. TEST 202) MIN. SAND EQUIVALENT OF 20.		GRANULAR BEDDING MATERIAL REQUIREMENTS (ASTM D448 SIZE #67)	
SIEVE SIZES	PERCENTAGE PASSING	SIEVE SIZES	PERCENTAGE PASSING
1-1/2"	100	1"	100
3/4"	80-100	3/4"	90-100
#4	30-60	3/8"	20-55
#30	5-35	#4	0-10
#200	0-12	#8	0-5

* USE ROADWAY AGENCY STANDARD.
IF NO ROADWAY AGENCY STANDARD,
USE REQUIREMENTS ABOVE.

NOT TO SCALE

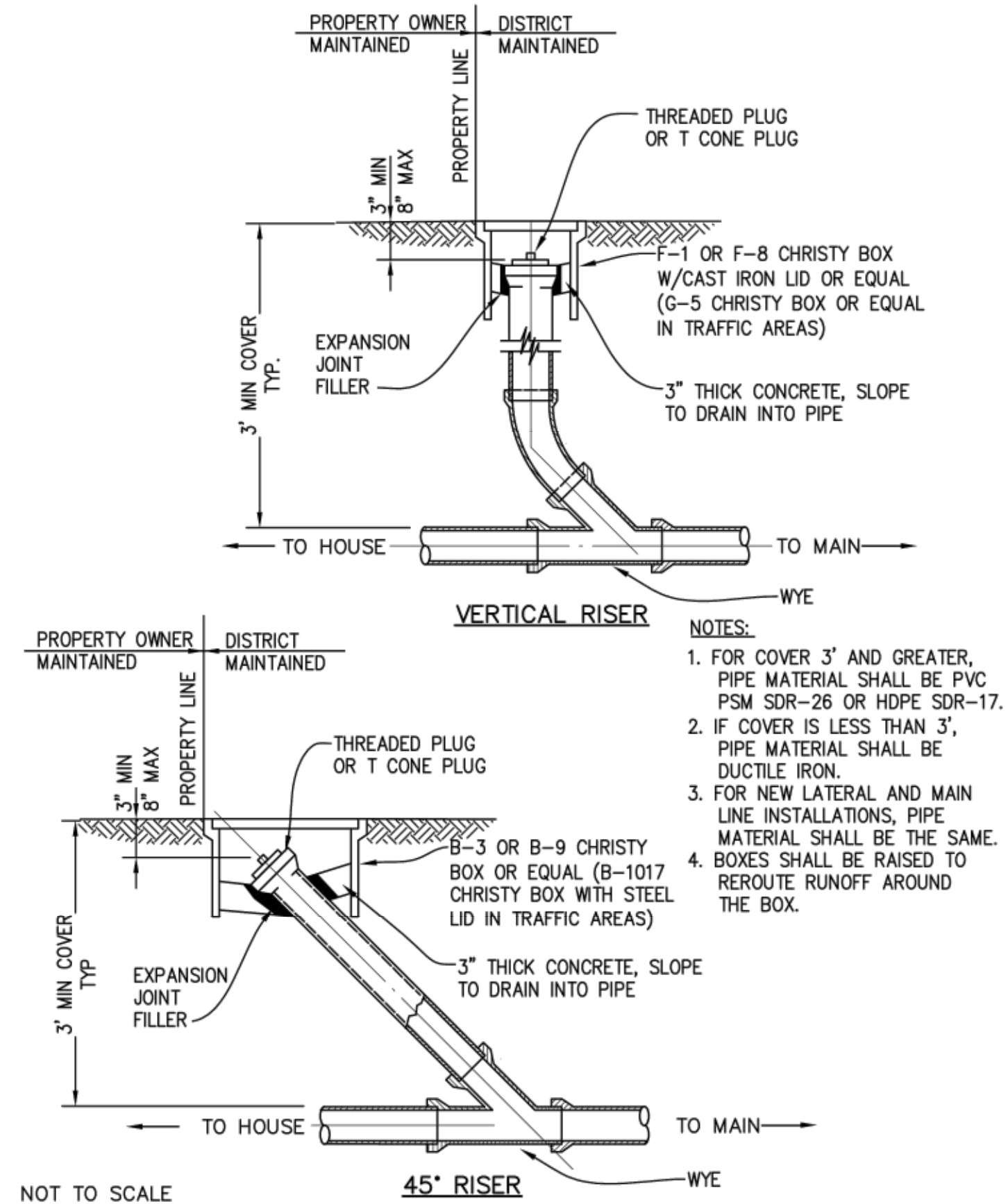
APPROVED BY:

JOHN H. RAYNER, PE

GRANADA COMMUNITY SERVICE
STANDARD DETAIL

STANDARD No.

5



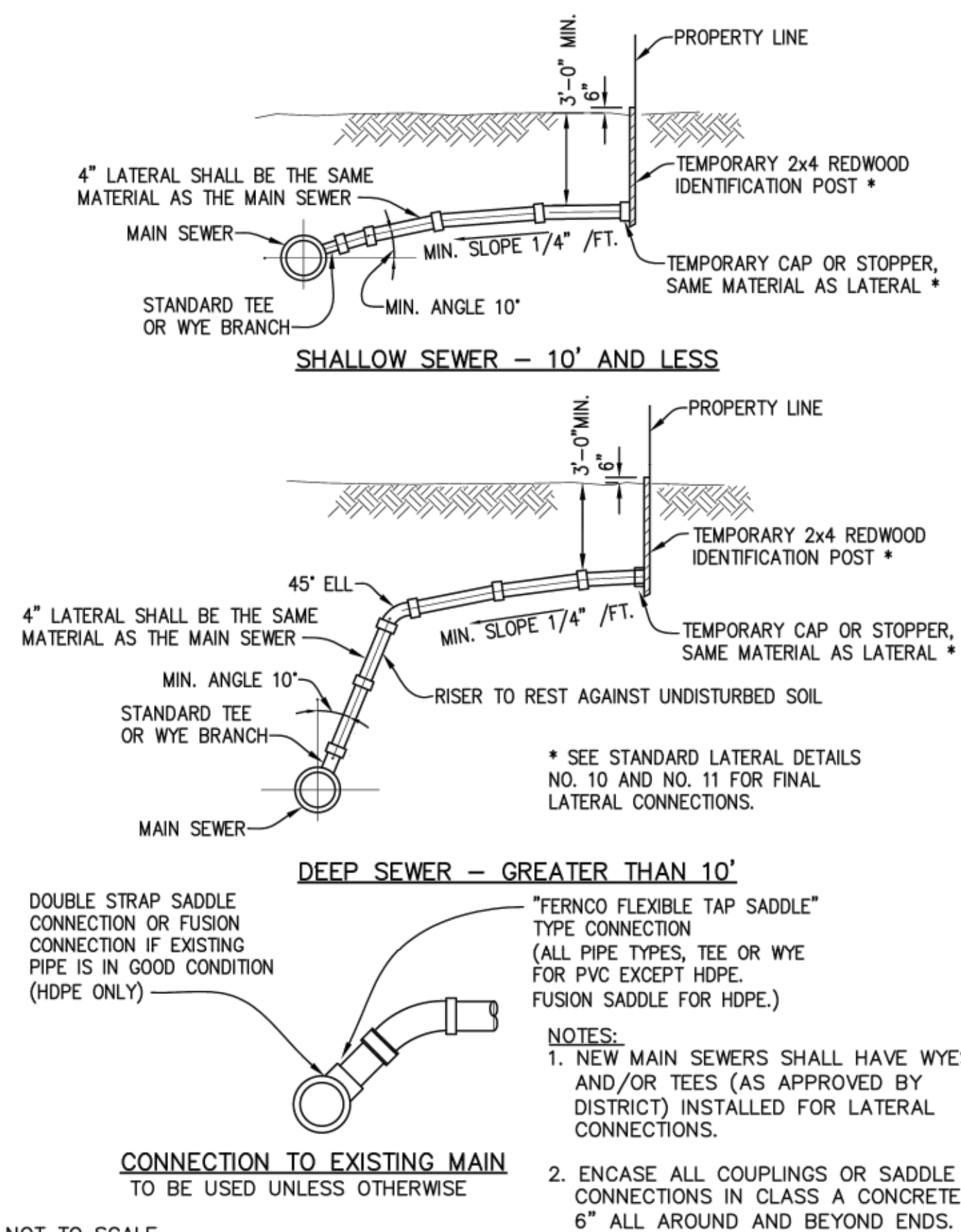
APPROVED BY:

JOHN H. RAYNER, PE

GRANADA COMMUNITY SERVICES DISTRICT
STANDARD DETAIL

STANDARD No.

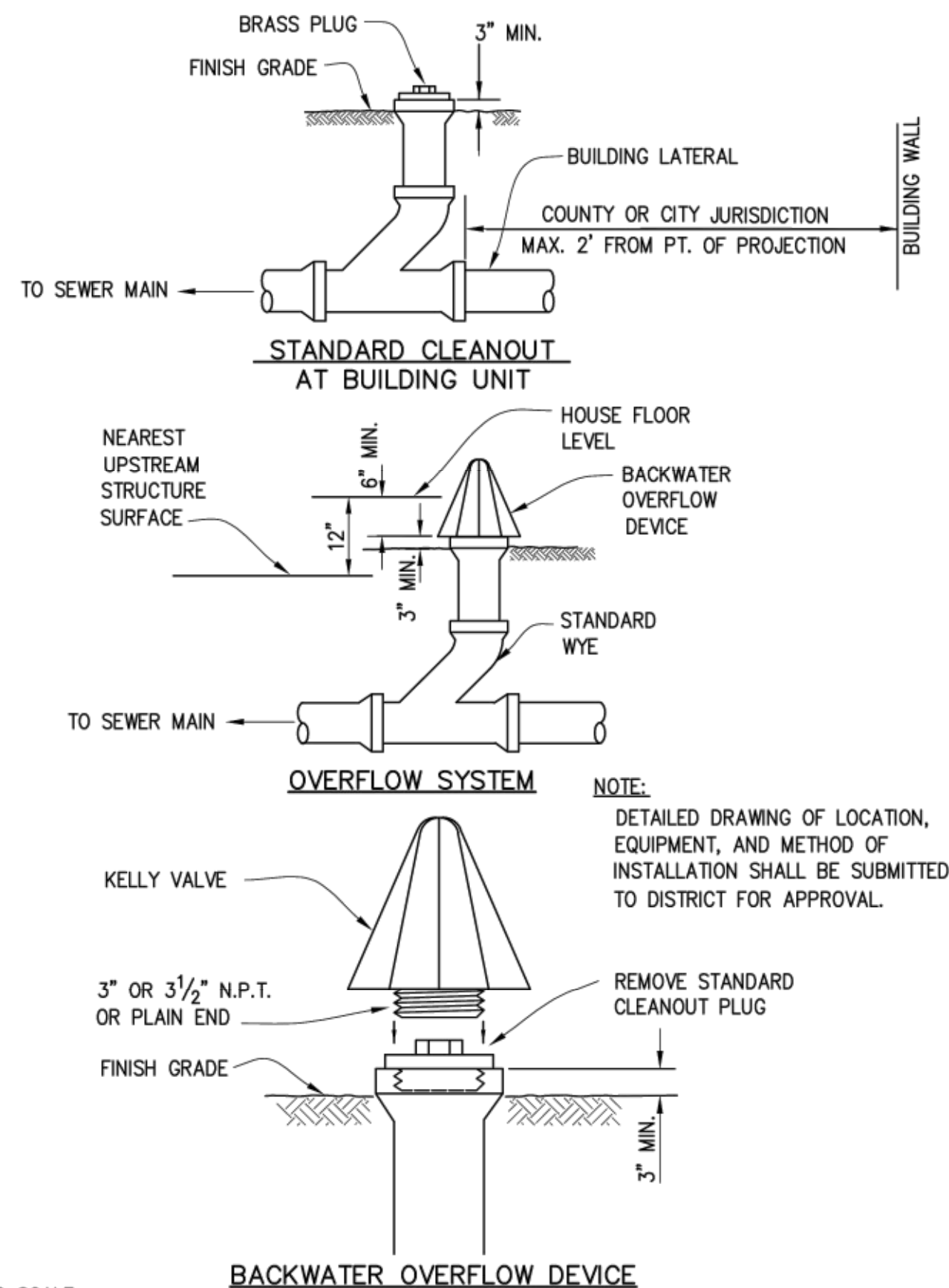
9



NOT TO SCALE

APPROVED BY:

JOHN H. RAYNER, PE

GRANADA COMMUNITY SERVICE
STANDARD DETAILSTANDARD No.
12

NOT TO SCALE

APPROVED BY:

JOHN H. RAYNER, PE

GRANADA COMMUNITY SERVICES DISTRICT STANDARD DETAIL	
--	--

STANDARD No.

13

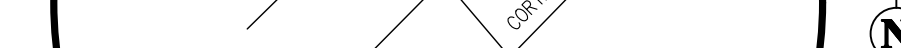


- ## BEST MANAGEMENT PRACTICE NOTES

1. IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTING

29. TREE PROTECTION FENCING IS TO BE ORANGE CONSTRUCTION FENCING AND PLACED AROUND TREE TO CREATE A TREE PROTECTION ZONE AND SHALL BE INSTALLED AROUND TREES THAT ARE TO REMAIN.

LOTS 29, 30 & 31 (3 RSM 95)	LOTS 26, 27 & 28 (3 RSM 95)
EXISTING RESIDENCE	EXISTING RESIDENCE



VICINITY MAP

NOT TO SCALE
NOT TO SCALE

LEGEND

- DIRECTION OF EXISTING RUNOFF FLOW

PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS*

- _____

NOTE:

- ** DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS

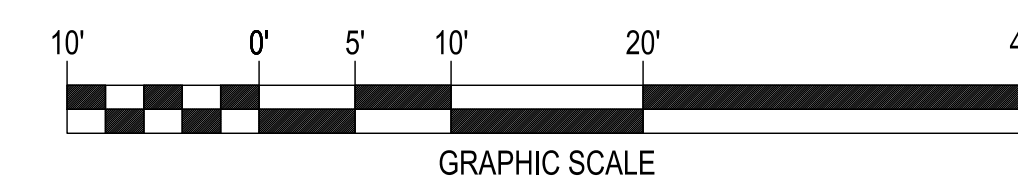
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

NOTE:

NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

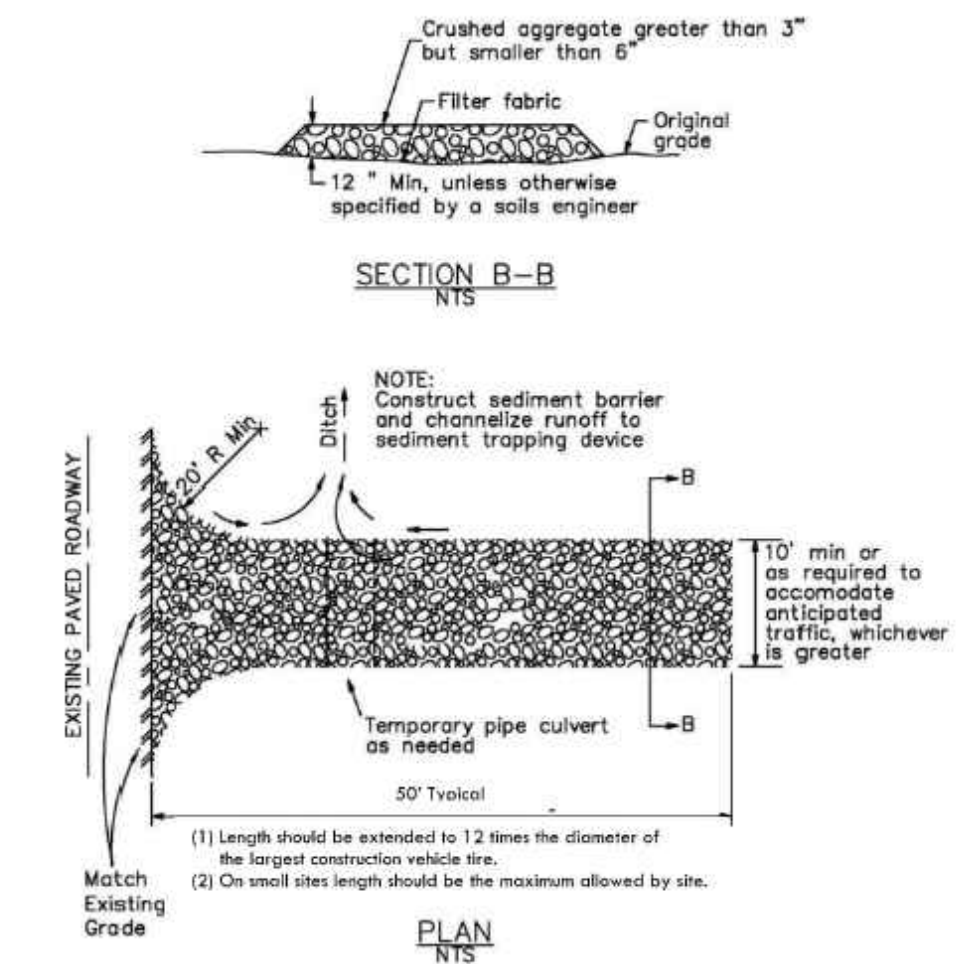
SHEET INDEX

- ECP-3 COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES

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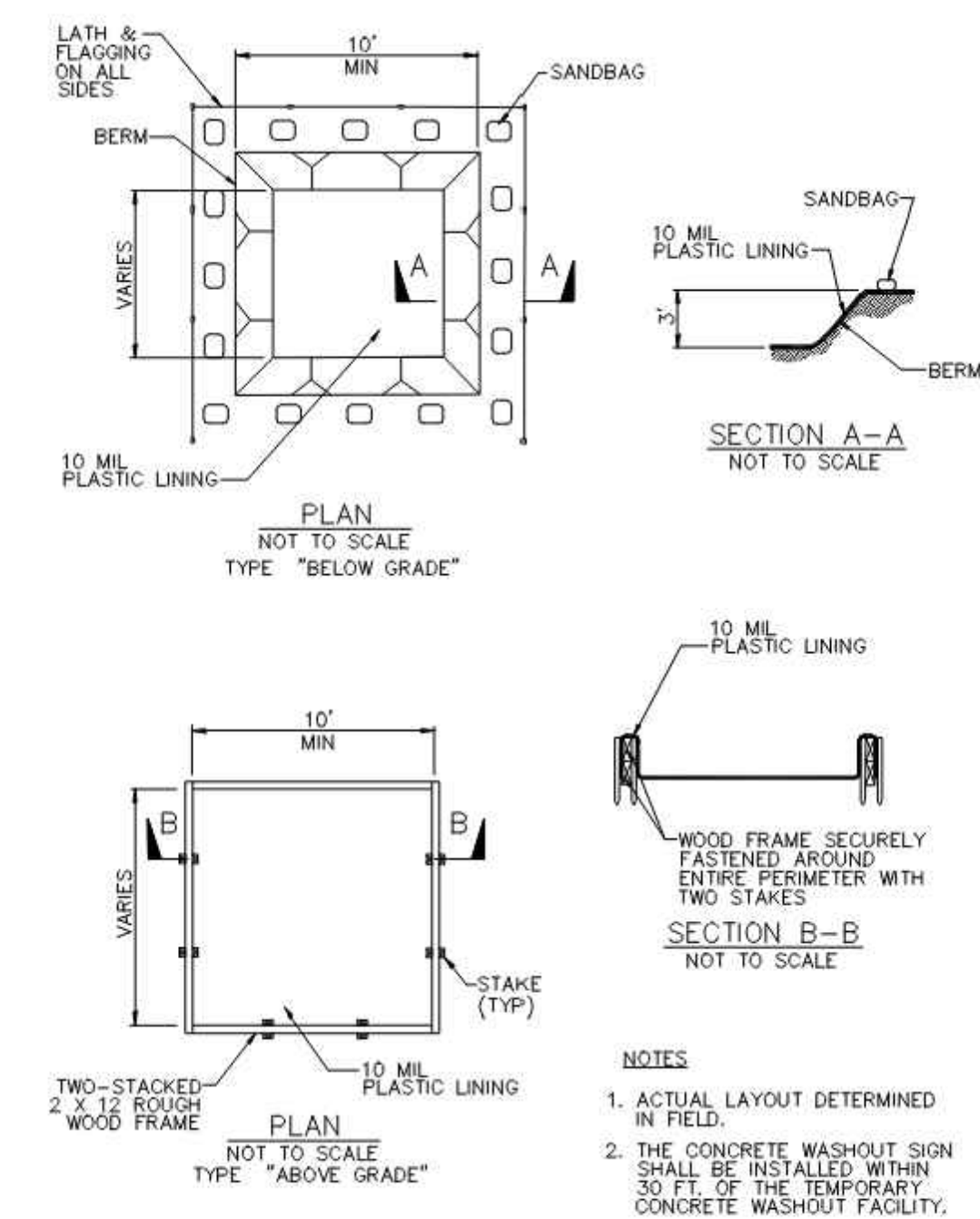


Stabilized Construction Entrance/Exit TC-1



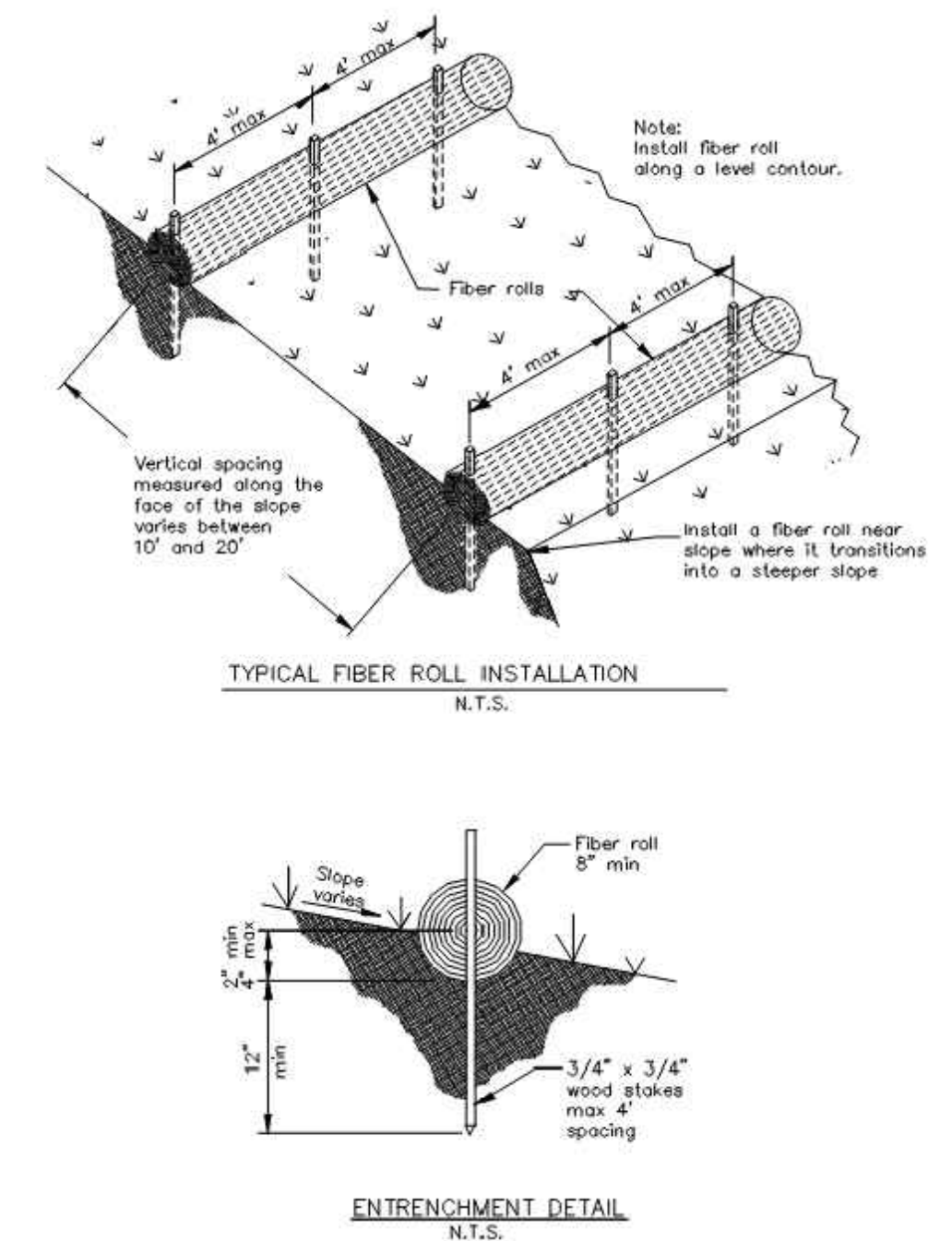
December 2019 CASQA BMP Handbook Construction 5 of 6
www.casqa.org

Concrete Waste Management **WM-8**



July 2012 California Stormwater BMP Handbook 6 of 7
 Construction
www.casqa.org

Fiber Rolls **SE-5**



July 2012 California Stormwater BMP Handbook Portal Construction
www.casqa.org 5 of 5

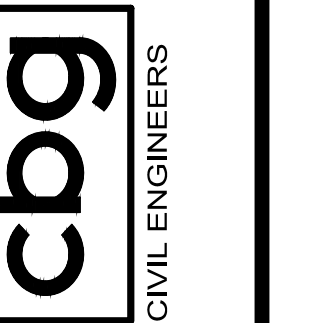
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DATE:	MARCH 2025
DRAWN BY:	DKP
PROJ. ENGR:	DKP
PROJ. MGR:	RTH



SAN RAMON
 ROSEVILLE
 (916) 375-1877
 WWW.CBANDS.COM

SURVEYORS ■ PLANNERS



EROSION CONTROL PLAN

NOTES & DETAILS

SAN MATEO COUNTY

CALIFORNIA

CP-2
OF 3

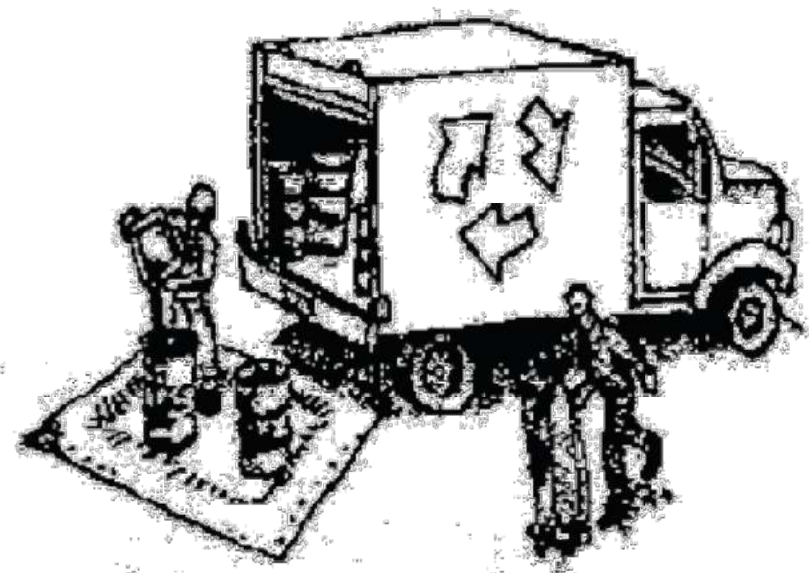
DB NUMBER
004-014



Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



- Non-Hazardous Materials**
- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
 - ❑ Use (but don't overuse) reclaimed water for dust control.

- Hazardous Materials**
- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
 - ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
 - ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
 - ❑ Arrange for appropriate disposal of all hazardous wastes.

- Waste Management**
- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
 - ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
 - ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
 - ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
 - ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- Construction Entrances and Perimeter**
- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
 - ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

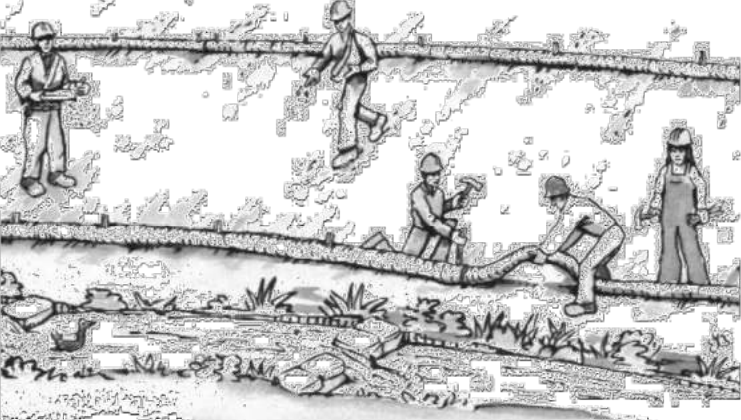
Equipment Management & Spill Control



- Maintenance and Parking**
- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
 - ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
 - ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
 - ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
 - ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- Spill Prevention and Control**
- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
 - ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
 - ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
 - ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
 - ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
 - ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
 - ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

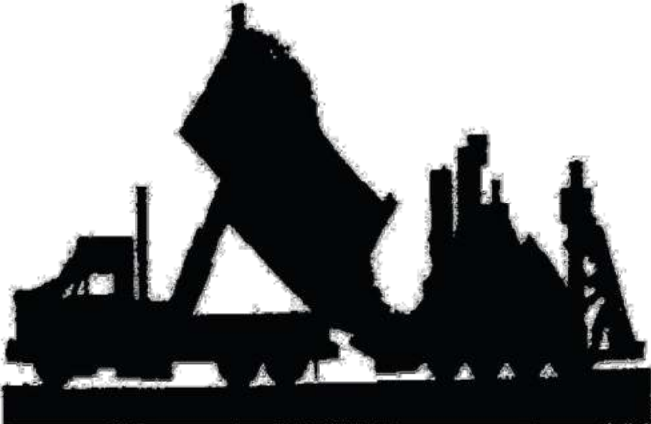
Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

- Contaminated Soils**
- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

- Sawcutting & Asphalt/Concrete Removal**
- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
 - ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
 - ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



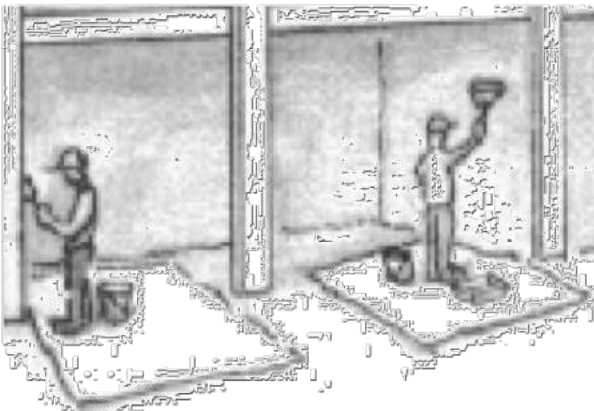
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



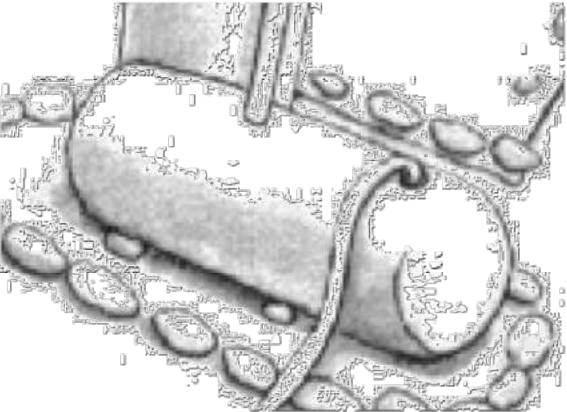
- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

Painting & Paint Removal



- Painting Cleanup and Removal**
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
 - ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
 - ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
 - ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
 - ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

DATE: MARCH 2025
DRAWN BY: DAP
PROJ. ENGR: DAP
PROJ. MGR: RTH

NO. BY DATE

REVISIONS

APPROVAL

PROFESSIONAL ENGINEER
T. HANSEN
CIVIL
STATE OF CALIFORNIA

SAN RAMON
ROSEVILLE
WWW.CB9.COM

PLANNERS
SURVEYORS
CIVIL ENGINEERS

457 CORONADO AVENUE
EROSION CONTROL PLAN
COUNTY CONSTRUCTION BMPs

ARO HOMES
CALIFORNIA
SAN MATEO COUNTY

SHEET NUMBER
ECP-3
OF 3

JOB NUMBER
4004-014

ARO HOMES INC
NEW RESIDENCE PROJECT

457 CORONADO AVE, HALF MOON BAY, CA

PLAN ABBREVIATIONS:

AC	AIR CONDITIONER
AD	AREA DRAIN
BU	DRAINAGE OUTFLOW BUBBLER
BW	BOTTOM OF WALL
CL	CENTER LINE
CO	SEWER CLEAN OUT
D	DEPTH
DG	DECOMPOSED GRANITE
DIA	DIAMETER
(E)	EXISTING
ELEV	ELEVATION
EM	ELECTRIC METER
EQ	EQUAL
GM	GAS METER
H	HIGH
HT	HEIGHT
LF	LINEAR FEET
MAX	MAXIMUM
(N)	NEW
NG	NATURAL GAS
NTS	NOT TO SCALE
OC	ON CENTER
PA	PLANTING AREA
PE	POOL EQUIPMENT
PL	PROPERTY LINE
POC	POINT OF CONNECTION
QTY	QUANTITY
R	RISER
RAD	RADIUS
SAP	SEE ARCH PLAN
SCP	SEE CIVIL PLAN
SF	SQUARE FEET
T	TREAD
TC	TOP OF COPING
TW	TOP OF WALL
TYP	TYPICAL OF
VIF	VERIFY IN FIELD
W	WIDTH
WM	WATER METER

General Landscape Notes

These drawings indicate the vegetation of best practice, final class work. If, in the opinion of the contractor, there is any doubt about the quality of work expected, she shall refer to the landscape architect for interpretation before proceeding with the work.

Contractor is responsible for securely maintaining a current drawing set on site during construction.

Contractor shall be solely responsible for compliance with all Contract Documents, including, but not limited to drawings, specifications, manufacturer's instructions, Owner directions, Codes, and Building official directions.

Contractor is solely responsible for correlating and confirming dimensions at the job site, choice of fabrication processes and techniques of construction, coordination of construction, coordination of his work with that of other trades, and performing the work in a safe and satisfactory manner.

General Landscape Notes and specifications apply to all drawings.

Review Architectural, Civil and Structural Documents, if available. Review Geotechnical Report and Arbolist Report, if available.

For Structural information see drawings prepared by:

The Contractor agrees, by proceeding with construction and using these Construction Documents, that she has reviewed the documents, notes and specifications in detail, understands them and agrees that the drawing conventions employed, the amount of detailing and level of detailing are appropriate and adequate to allow for satisfactory construction of the Project.

It is the responsibility of the contractor to bring to the attention of the Landscape Architect any conditions, which will not permit the construction indicated in these documents, prior to proceeding with the work.

Do all work in accordance with all state and local building codes in effect for Menlo Park, CA.

All landscape elements are indicated in approximate locations. Field-verify all dimensions. Written dimensions supersede scaled dimensions. Conditions not shown or known may alter new work shown and require additional work.

Contractor is responsible for coordinating final layout on site. Final layout to be approved by Landscape Architect and Owners, prior to commencement of construction. Prepare paint out and string lines for review.

All materials, finishes, colors, fixtures, fittings, etc. specified in these drawings are to be verified with the Landscape Architect prior to construction.

In the event of a conflict between the plans, specifications, and/or manufacturer's literature, the more stringent requirement shall govern.

Coordinate schedule of work with other contractors as is required to complete this scope of work, in a timely manner and make best use of equipment and materials.

In the Course of Construction
See "Site Protection and Demolition Notes"
See "Planting Notes"
See "Irrigation Notes"
See "Lighting Notes"

Prepare and lay out, with paint and string lines all elements for review by LA/owner. Prior to commencing with construction.

Verify all utility data and locations prior to commencing any work with the local power companies and coordinate work as necessary according to actual and verified.

With reasonable promptness consistent with the stage of the Project, Consultant shall respond to the contractor's reasonable requests for clarification or interpretation in a timely manner.

If the contractor's requests for information, clarification or interpretation are, in Landscape Architect's professional opinion, for information readily apparent from reasonable observation of field conditions or a review of the Contract Documents, or are reasonably inferable therefrom, or are unlikely, the Landscape Architect may so advise the contractor and Owner and shall be entitled to compensation for the time spent responding to such requests.

Conduct construction operations to prevent windblown dust and dirt from interfering with the progress of the work and from causing a nuisance to the existing residence and neighboring property owners. Keep work sprinkled to prevent dust.

At Close out
Final Acceptance shall commence when all work is complete, including all submittals required.

All work, materials and equipment to have a one-year warranty, commencing on the date of the final project acceptance. Replace work due to faulty workmanship or materials at no additional cost to the Owner. Coordinate work with the Owner or representative and perform at such time and manner to cause minimal interruption and inconvenience to the Owner.

Contractor to meet with Owner, their representative for landscape maintenance and the Landscape Architect to coordinate plant maintenance and instruct in the operation and up keep of equipment and systems.

SUBMITTALS

A. Submit all material, finish, color, fixtures, fittings, etc. specified in these drawings for final approval by the Landscape Architect and Owner, prior to ordering.

B. Contractor to provide a project binder and a digital copy file, to be delivered to the owners at the completion of construction. The binders should be tabbed and organized by category (lighting, irrigation, drainage, etc.). It should include manufacturer's operating instructions, replacement part information, warranties, and any other pertinent information. Binders are due prior to date of final project acceptance.

C. Contractor to provide as built drawings for irrigation, lighting and drainage mechanical, prior to final project acceptance.

Grading Notes

GENERAL
Refer to the Civil Engineer's Drawings, if available.
Refer to Grading Notes

ROUGH GRADING
Maintain existing grades at property lines and street.

Grade site to maintain positive surface drainage away from buildings and paved areas.

The contractor shall field verify existing grades and coordinate revisions to the grading plan with the Landscape Architect and Civil Engineer, before proceeding with work.

All grades and elevations are relative to one another. Field adjustments will be necessary and are to be brought to the attention of the Landscape Architect and Civil Engineer.

Rough grades shall be approved by the Landscape Architect and Civil Engineer, prior to finish grade work and planting. Grades should be set high to accommodate settling.

Coordinate work required to bring site to finish grade with other trades working on site.

Grades shall be of uniform slope between fixed points of elevation. Slope transitions to be smooth and even with no abrupt changes in grade.

Remove any debris exposed or generated during course of work.

Stockpile and re-use top soil. Do not remove topsoil from this site.

Make every attempt to balance cut and fill on site and avoid soil transport. Contaminated soil and soil determined to be detrimental to plant growth should be removed from site.

Backfill areas excavated as a result of demolition, trenching, etc. to maintain the natural contours of the site.

FINE GRADING
Fine grading procedures shall include evening of grades in all planter areas, around paving and stepping stones, pools, etc.

Keep soil 8" minimum from stucco/wood of building walls.

Coordinate fine grading work with soil preparation work. See planting details.

If required, import clean, fertile fill. Provide soil test of any imported soil, prior to import.

All areas are to be left in a clean, smooth and even condition, prior to mulch.

For mulch specification, see materials schedule.

Contractors are to exercise extreme care in back filling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.

The Landscape Contractor shall remove from the site all debris and unusable material generated by the Contractor's operations.

All new drainage to tie into the existing drainage system.

All catch basins and other drains are to be free of obstructions and maintained open and free running during and upon completion of the Contractor's work.

Drainage Notes

GENERAL
Refer to the Civil Engineer's Drawings, if available.
Bring any discrepancies between civil and landscape drawings to the attention of the Landscape Architect prior to construction.

Refer to Geotechnical Report and Arbolist Report for additional information, if available.

The contractor is responsible for providing and maintaining positive surface drainage in all paved and landscape areas.

Slope grade away from building walls at a minimum of 2% for a minimum of 5'.

Slope cleared areas away from buildings a minimum of 3% for a minimum of 5'.

Maintain storm water on site, whenever possible, in low lying planted areas where it can percolate.

Maintain existing drainage pattern across site. Do not change, divert, interrupt or increase water flow coming onto or leaving site.

All new drains and lines are to be maintained clean, open and operable during and upon completion of landscape work.

Coordinate rainwater collection from down spouts and ensure that flow is integrated into overall drainage system.

See Civil plans for drain and drain line locations. Confirm final drain grate locations/size/finish with Landscape Architect.

Confirm clean out locations with Landscape Architect.

Set rim of all drains at low points in grade, and flush to finish grade.

SUBMITTALS

Prior to Construction

Provide manufacturer's cut sheet information for all equipment, to be approved by Landscape Architect.

At Closing
Contractor to provide (digitally and in project binder) the following documents, prior to final acceptance and completion of work.

A. Provide all manufacturer's information, cut sheets, instructions and warranties for all equipment.

B. Provide as built drawings showing drain locations, pipe runs, direction of flow, outlets, energy dissipater and dispersion trenches, etc.

C. Provide written instructions on proper maintenance of drainage system, including recommended schedule for maintenance and as recommended by the civil engineer.

Site Protection During Demolition and Construction

The intention of site protection is to minimize the impact of demolition and construction on trees, native vegetation and grasses, and to protect topsoil from compaction, erosion and contamination.

Protect and preserve topsoil by fencing off undisturbed areas to remain. Stockpile and protect disturbed topsoil on site for re-use in planting areas.

Install soil erosion control measures as required to minimize top soil and sediment run-off from site. Confirm requirements according to guidelines of local jurisdiction.

Protect existing trees and vegetation to remain with fencing and establish temporary irrigation suitable to maintain plantings during course of construction.

The Tree Protection Zone, is a restricted activity zone where no soil disturbance is permitted, unless otherwise approved. Fences are to be considered permanent for the duration of construction, unless working under the direct supervision of the arbolist.

Contractor to take necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.

Contractor shall be responsible for damage to existing structures and shall take whatever steps are necessary to protect during the course of construction. Promptly repair damage at no cost to the Owner.

Prevent movement, settlement or collapse of adjacent services, driveways, footings, fences and trees. Any such movement, settlement or collapse due to construction shall be promptly repaired at no cost to the Owner.

Contractor shall remove from the site all debris and unusable material discovered or generated by his operations, at the end of each work week.

Remove all plant material identified for removal, including roots. Chip all plant material (with the exception of Ivy & poison oak) on site and use chipped material to mulch construction site.

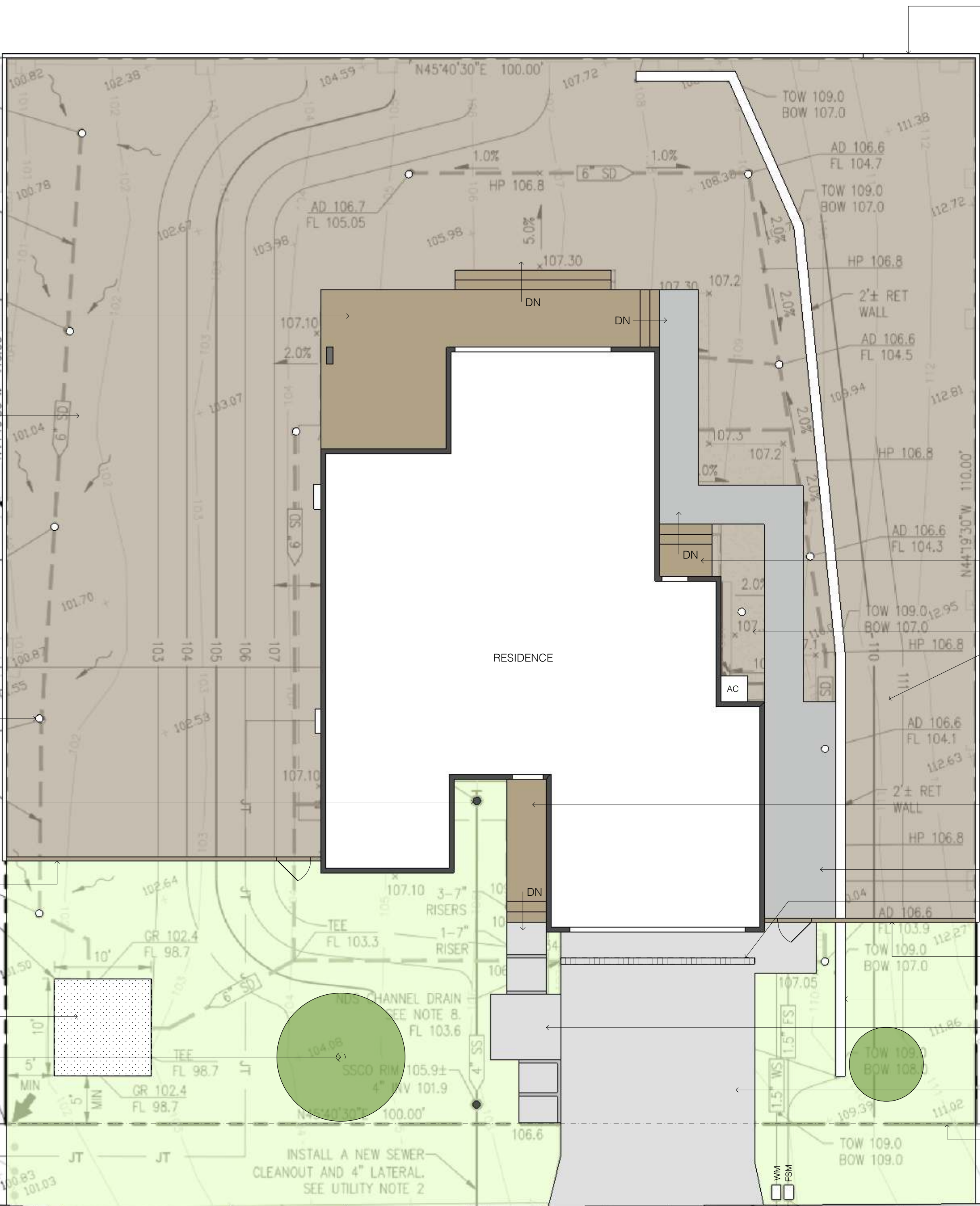
Provide and maintain a mulch cover of 3" minimum in all construction/work areas which will be returned to planting area at completion of construction.

Provide separate bins for recycling on site, throughout construction.

Provide clearly demarcated clean up areas, with collection facilities sufficient to handle liquid waste, such as paints, solvents, stucco/cement, etc. Such materials should not be introduced into the soil or the water table. Dispose of such materials in accordance with county regulations.

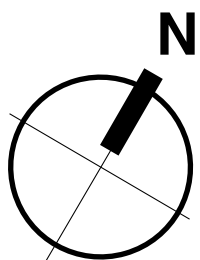
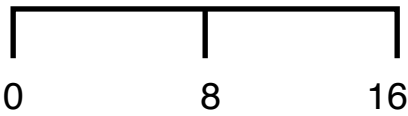
Provide, erect and maintain barricades to protect the general public, workers and adjoining property.

Conduct operations with minimum interference to public and private roadways.



CORONADO AVE

NOTE: THIS PROPERTY WILL BE HAND IRRIGATED. NO BUILT IN IRRIGATION SYSTEM IS PLANNED



- a. A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated
- b. Turf shall not exceed 25% of the Landscape area in residential areas
- c. No turf is permitted in non-residential areas
- d. Turf is not permitted on slopes greater than 25%
- e. Turf is prohibited in parkways, less than 10 feet wide
- f. Automatic weather-based or soil moisture based irrigation controllers shall be installed on the irrigation system, where one exists
- g. Pressure regulator shall be installed on the irrigation system, where existing, to ensure dynamic pressure of the systems within the manufactures recommended pressure range
- h. Manual shut off valves shall be installed as close as possible to the point of connection of the water supply
- i. Areas less than 10 feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- j. For non-residential projects with landscape areas of 1000 ft.² or more, a private sub meter to measure landscape of water use shall be installed
- k. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule, and a schedule of landscape and irrigation maintenance
- l. Unless contradicted by a soil test, compost at a rate of a minimum of 4 yd.³ per 1000 ft.² a permit permeable area shall be incorporated to a depth of 6 inches into the soil in all new planting and turf areas

Sym	Qty	Size	Botanical Name	Common Name	Water Use Category
LA	1	24" BOX	LAGERSTROEMIA INDICA	CREPE MYRTLE	MED
CI	1	15 G	CITRUS SPP	MEYER LEMON TREE	LOW
AD	18	1 G	ANIGOZANTHOS RED	KANGAROO PAW DWARF	LOW
AP	5	5G	ASPARAGUS MEYERII	ASPARAGUS FERN	MED
CE	6	5G	CEANOTHUS YANKEE POINT	CALIFORNIA LILAC	LOW
LO	13	1G	LOMANDRA VARIEGATED	LOMANDRA VARIG	MED
LP	21	1G	LIOMUNUM CALIFORNICUM	CALIFORNIA SEA LAVENDER	LOW
OE	4	5G	OLEA EUR 'LITTLE OLLIE'	DWARF OLIVE	LOW
RO	7	5G	ROSAMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	LOW

NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional:

 3/28/25

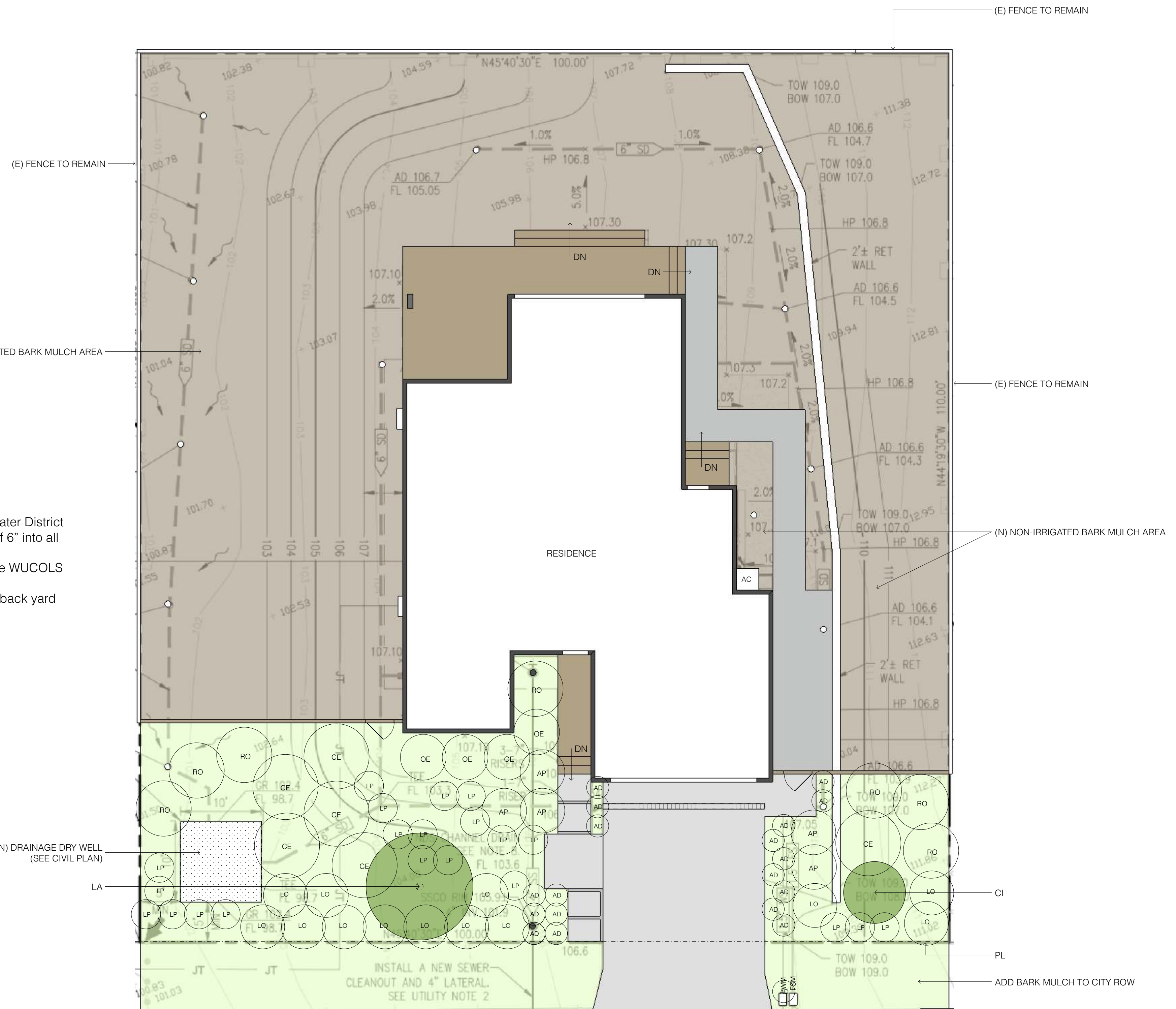
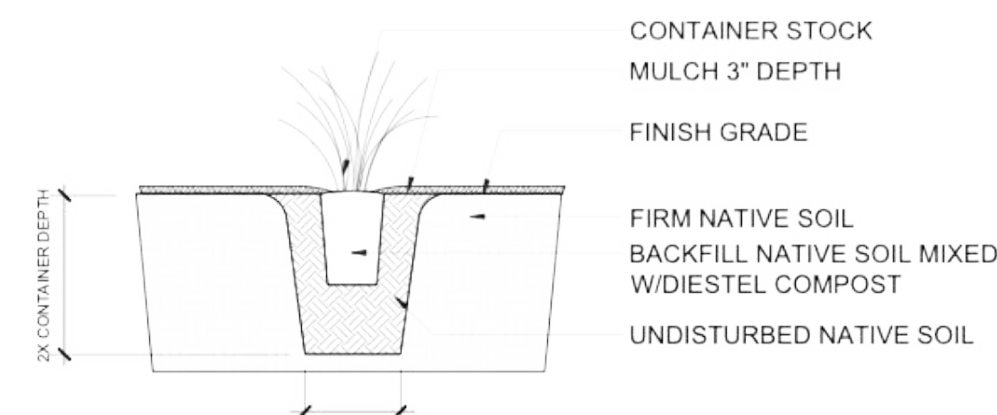
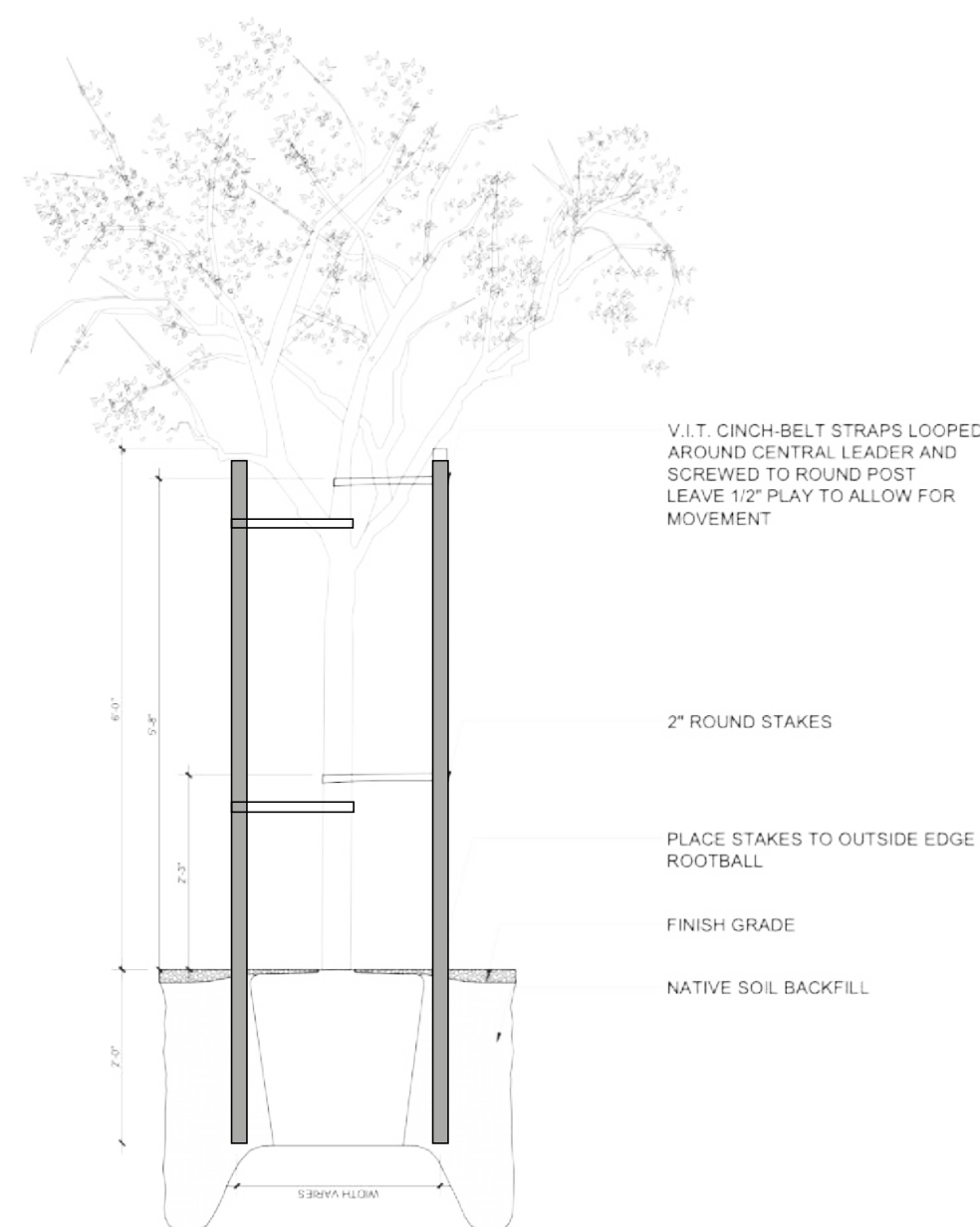
NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner:

3/28/25

1. This project is applied for under San Mateo County Regulations
2. This is a new residential project
3. The water supply type is potable and is provided by Coastside County Water District
4. Incorporate compost at the rate of 4 cubic yards per 1000 sf to a depth of 6" into all new planting and sod areas
5. See plant list for low and med water use plants. These plants are average WUCOLS plant factor of 0.3
6. Apply a minimum three inch layer of bark mulch in all planting areas and back yard

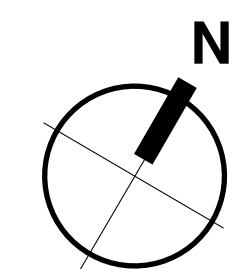
NOTE:
Contractor to provide:

1. 2 week follow up on sod installation
2. 30 day follow up to replace any plants that are dying



NOTE: THIS PROPERTY WILL BE HAND IRRIGATED. NO BUILT IN IRRIGATION SYSTEM IS PLANNED

CORONADO AVE



A horizontal number line with three vertical tick marks. Below the first tick mark is the number 0, below the second is 8, and below the third is 16.

1 PLANTING PLAN 1/8" = 1'-0"

ELEMENTSLANDSCAPE
design construction garden care

PO Box 7543
Menlo Park, CA 94026
Tel: 650.222.0038
info@elements-landscape.com



ARO HOMES INC
457 CORONADO
HALF MOON BAY, CA

Planting Plan

DRAWN: 3/28/25

Y: JGR

CALE: NOTED

L2.00

- a. A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated
- b. Turf shall not exceed 25% of the Landscape area in residential areas
- c. No turf is permitted in non-residential areas
- d. Turf is not permitted on slopes greater than 25%
- e. Turf is prohibited in parkways, less than 10 feet wide
- f. Automatic weather-based or soil moisture based irrigation controllers shall be installed on the irrigation system, where one exists
- g. Pressure regulator shall be installed on the irrigation system, where existing, to ensure dynamic pressure of the systems within the manufactures recommended pressure range
- h. Manual shut off valves shall be installed as close as possible to the point of connection of the water supply
- i. Areas less than 10 feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- j. For non-residential projects with landscape areas of 1000 ft.² or more, a private sub meter to measure landscape of water use shall be installed
- k. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule, and a schedule of landscape and irrigation maintenance
- l. Unless contradicted by a soil test, compost at a rate of a minimum of 4 yd.³ per 1000 ft.² a permit permeable area shall be incorporated to a depth of 6 inches into the soil in all new planting and turf areas

- ## 2 WATER LINE LEGEND

- 3 WATER LINE NOTES

- 3/28/25

3/28/25

IRRIGATION NOTES

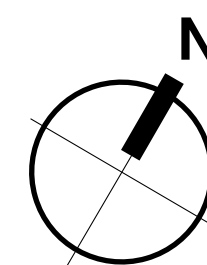
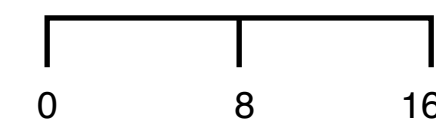


(N) DRAINAGE DRY V
(SEE CIVIL P

(N) TREE (TYP)

CORONADO AVE

MAINLINE LAYOUT PLAN 1/8" = 1'-0"



ELEMENTSLANDSCAPE
design construction garden care

Box 7543
Sunnyvale Park, CA 94026
650.222.0038
@elements-landscape.com



457 CORONADO
HALF MOON BAY, CA

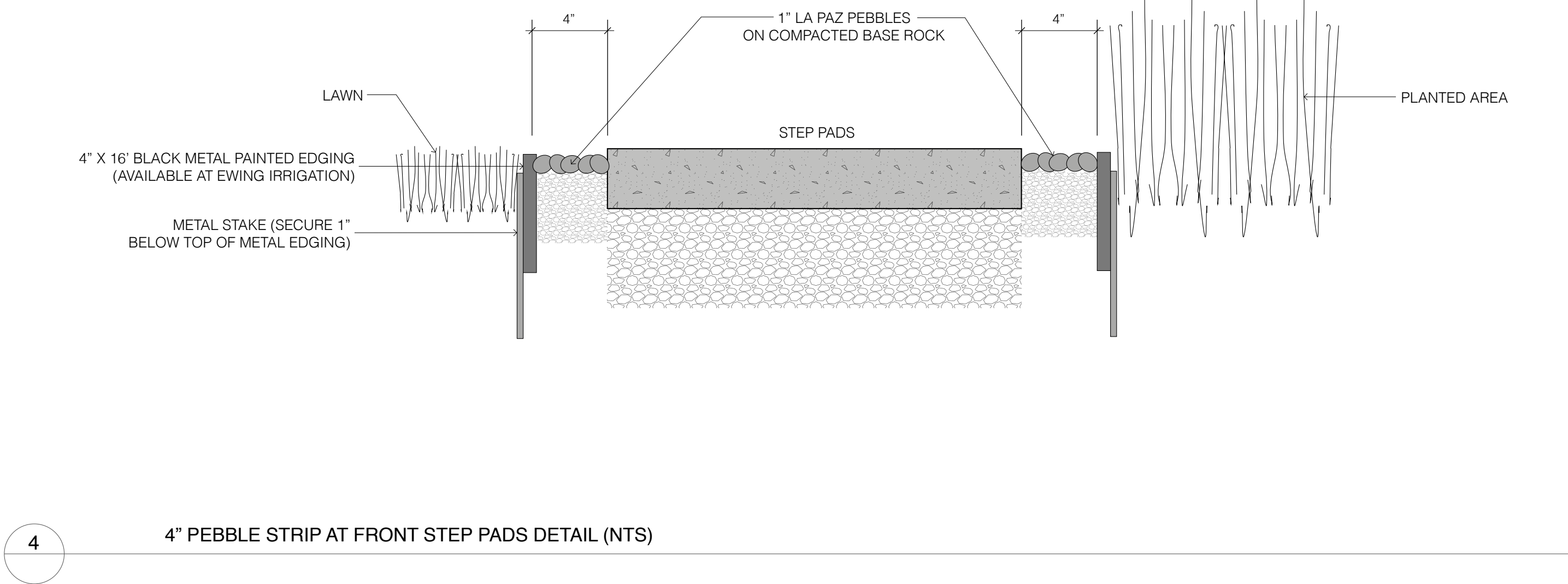
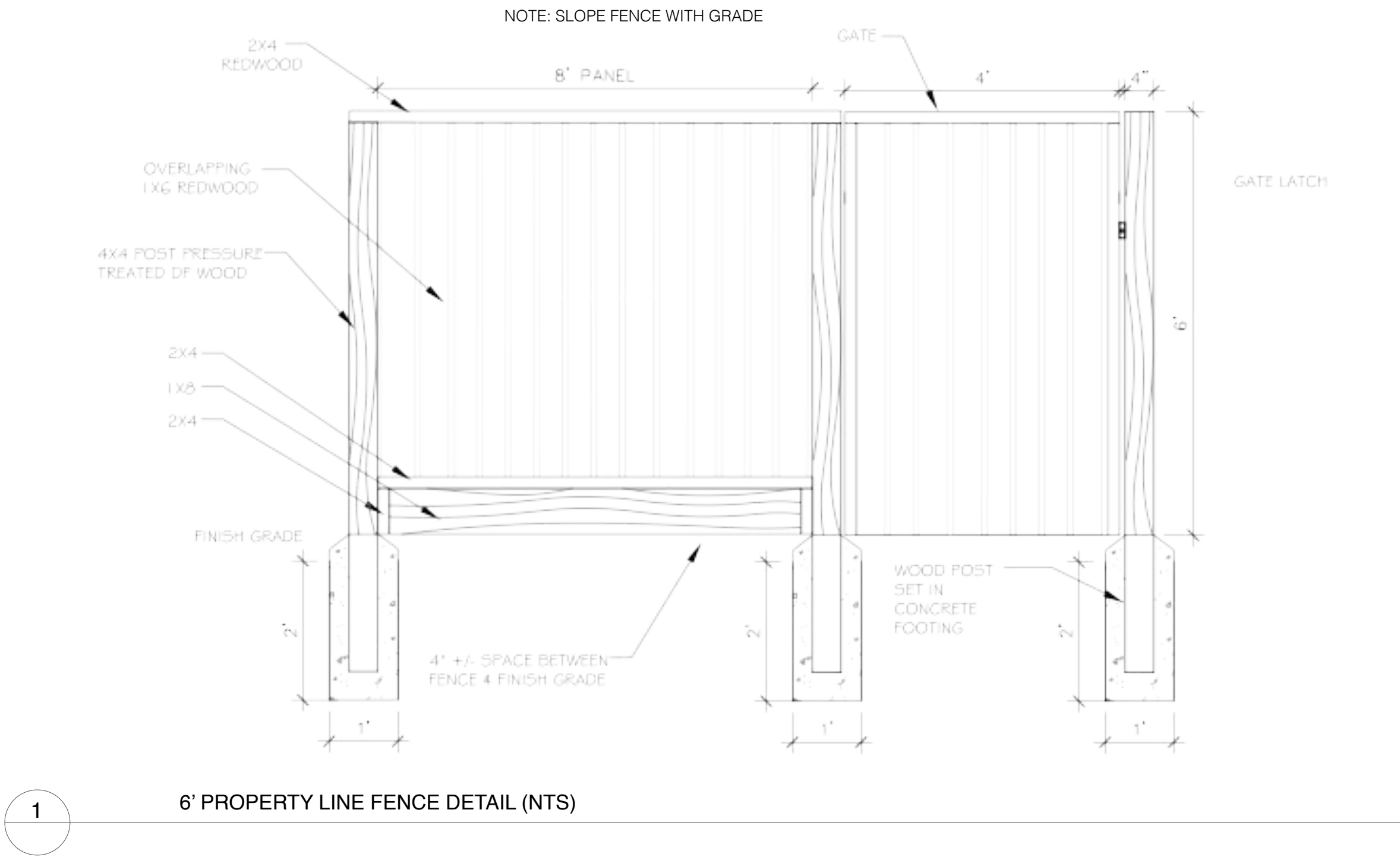
Mainline Layout Plan

RAWN: 3/28/25

Y: JGR

SCALE: NOTED

L3.00





MATERIAL CONSERVATION AND RESOURCE EFFICIENCY NOTES:

1.
- PER CGBSC 4.406.1, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
2.
- AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL SHALL BE AVAILABLE AND SUBJECT TO THE REQUIREMENTS OF CGBSC 4.410.1.

ENVIRONMENTAL QUALITY NOTES:

1.
- PER CGBSC 4.504.1, DURING ROUGH INSTALLATION UNTIL FINAL START UP OF HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHOD ACCEPTABLE TO AHJ TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
2.
- CONTRACTOR AND FABRICATOR TO VERIFY WITH ARCHITECT THAT ALL FINISH MATERIAL POLLUTANT CONTROL FOR ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, CARPET SYSTEMS, RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH REQUIRED VOC LIMITS, MIR LIMITS, AND FORMALDEHYDE LIMITS PER CGBSC 4.504.2, 4.504.3, 4.504.4, 4.504.5. CONTRACTOR AND FABRICATOR TO MAINTAIN SET OF DOCUMENTATION VERIFYING COMPLIANCE, TO BE PRESENTED AT THE TIME OF FINAL INSPECTION.
3.
- PER CGBSC 4.505.2, CONCRETE SLAB FOUNDATIONS SHALL HAVE A VAPOR RETARDER & CAPILLARY BREAK. SEE A2.00 GENERAL ASSEMBLY NOTES FOR SPECIFICATIONS.
4.
- PER CGBSC 4.505.3, BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.

EQUIPMENT SCHEDULE					
ROOM	TYPE	MANUF.	LINE	MODEL NO.	REMARKS
ATTIC	ENERGY RECOVERY VENTILATOR	PANASONIC	INTELLI-BALANCE	FV-10VEC2	
EXTERIOR	AIR-SOURCE HEAT PUMP	ENERGY SAVING PRODUCTS	HVS SERIES	HVS-60	VARIABLE FREQUENCHY DRIVE
208 LAUNDRY	AIR HANDLER UNIT	ENERGY SAVING PRODUCTS	HE-Z SERIES	HE-Z-100 / RPM-100-5	
101 MECH	GREYWATER PROCESSOR	HYDRALOOP	N/A	H600	
107 GARAGE	HYBRID/HEAT PUMP WATER HEATER	RHEEM	PROTERRA	PROPH80T2RH37SSO	80 GAL

PLUMBING SCHEDULE						
ROOM	TYPE	MANUF.	LINE/STYLE	MODEL NO.	FINISH	REMARKS
	Monitor® Scald-Guard® Tub & Shower Trim w/ Volume Control	Delta Faucet		T17455		
103 KITCHEN	KITCHEN SINK	FRANKE	PROFESSIONAL 2.0 UNDERMOUNT 16G KITCHEN SINK	PS2X160-18-11	STAINLESS STEEL	1.6 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE AT 60 PSI PER CGBSC 4.303.1.4.4
103 KITCHEN	SINK FAUCET	ROHL	TUARIO PULLDOWN BAR AND FOOD PREP FAUCET	TR66D1LBAPC	POLISHED CHROME	1.6 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE AT 60 PSI PER CGBSC 4.303.1.4.4
110 BATH	SINK FAUCET	HANSGRÖHE	TALIS S SINGLE-HOLE FAUCET 100 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
110 BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTED RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
206 PRIMARY BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTE RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
206 PRIMARY BATH	SINK FAUCET	HANSGRÖHE	VIVENIS SINGLE-HOLE FAUCET 110 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
206 PRIMARY BATH	SINK FAUCET	HANSGRÖHE	VIVENIS SINGLE-HOLE FAUCET 110 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
207 BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTED RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
207 BATH	SINK FAUCET	HANSGRÖHE	TALIS S SINGLE-HOLE FAUCET 100 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
207 BATH	SHOWERHEAD	HANSGRÖHE	RAINDANCE S SHOWERHEAD 240 1-JET	26927001	CHROME	1.75 GPM LESS THAN 1.8 MAXIMUM FLOW AT 80 PSI PER CGBSC 4.303.1.3.1
208 LAUNDRY	SINK FAUCET	ELKAY	PURSUIT LAUNDRY/UTILITY FAUCET WITH FLEXIBLE SPOUT	LK2500	LUSTROUS STEEL	1.5 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE PER CGBSC 4.303.1.4.4

APPLIANCE SCHEDULE						
ROOM	TYPE	MANUF.	LINE/STYLE	MODEL NO.	FINISH	REMARKS
103 KITCHEN	REFRIGERATOR	DACOR	36" FRENCH DOOR BOTTOM FREEZER	DRF367500AP	SILVER STAINLESS	
103 KITCHEN	INDUCTION COOKTOP	DACOR	36" TRANSITIONAL STYLE	DT136M977BB	BLACK GLASS	
103 KITCHEN	RANGE HOOD	DACOR	36" PRO-CANOPY WALL HOOD	DHD36U990C	SILVER STAINLESS	
103 KITCHEN	DOUBLE OVEN	DACOR	30" TRANSITIONAL STYLE	DOB30P977D	SILVER STAINLESS	
103 KITCHEN	MICROWAVE DRAWER	DACOR	24" MICROWAVE-IN-A-DRAWER	DMR24M977W	SILVER STAINLESS	
103 KITCHEN	DISHWASHER	DACOR	24" PANEL READY DISHWASHER	DDW24G9000APDA	SILVER STAINLESS	
208 LAUNDRY	WASHER	WHIRLPOOL	4.5 CU FT FRONT LOAD WASHER	WFW5620H	WHITE	
208 LAUNDRY	DRYER	WHIRLPOOL	7.4 CU FT FRONT LOAD HEAT PUMP DRYER	WHD560CH	WHITE	ELECTRIC INSTALLATION PER MVCC 8.20.8 - 8.20.9

EQUIPMENT SCHEDULE NOTES:

1.
- ALL EQUIPMENT TO COMPLY WITH LOCAL AHJ GREEN BUILDING CODE AMENDMENTS.
2.
- REFER TO MECHANICAL SHEETS AND PROJECT MANUAL FOR ALL MECHANICAL EQUIPMENT AND SPECIFICATIONS.



AH2
ARO HOMES

Discipline:

Drawn by:

Author

Product number:

AH2

Product version:

v1

Serial version:

Revisions:

3 09/26/2024 NTA REVISION 1.2

No.

Date

By

NTA PERMIT SET

07/18/2024

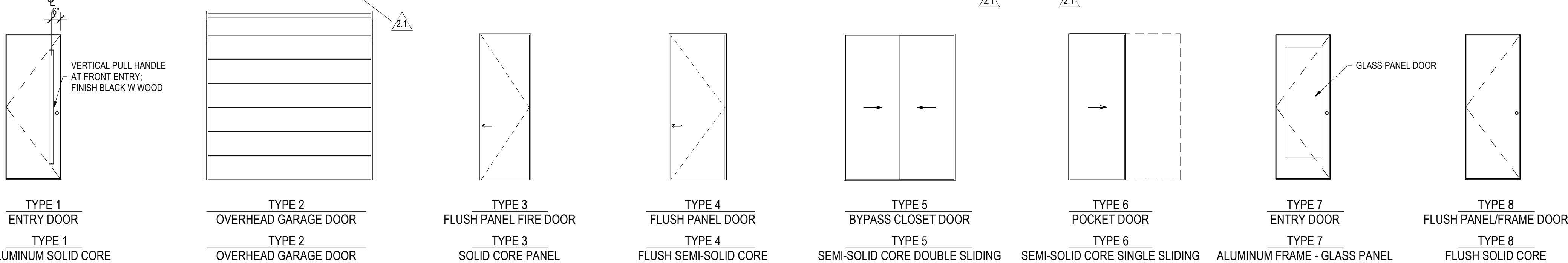
ENVIRONMENTAL
QUALITY NOTES &
EQUIPMENT SCHEDULE

A0.07

EXTERIOR FINISH DESCRIPTIONS								
ABRV.	MTRL	VENDOR	PRODUCT	SIZE	COLOR / SPECIES	FINISH	USE/LOCATION	COMMENTS
CONC1	CIP CONCRETE						EXPOSED GARAGE SLAB	
FBG1	FIBERGLASS	CASCADIA	UNIVERSAL WINDOWS		CASCADIA BLACK - 200	MATTE	EXTERIOR WINDOW SYSTEM	
MTL1	PAINTED STEEL				MATCH TO WINDOW FRAME	MATTE	EXTERIOR SOFFIT	
MTL2	PAINTED SHEET METAL						STANDING SEAM ROOF	TO BE COORDINATED W PRODUCT SELECTION
PT1	PAINT				MATCH TO WINDOW FRAME	MATTE	EXPOSED SHEET METAL (I.E. FLASHING, GUTTER)	
ROOF1	PAINTED SS ROOF						SITE WALLS	
WD1	SOLID WOOD	ISSAQUAH	RAINSCREEN SIDING		VARIES / WESTERN RED CEDAR		EXTERIOR SIDING	
WD2	SOLID WOOD							NOT USED
WD3	SOLID WOOD	ISSAQUAH	DECKING BOARD		WESTERN RED CEDAR	NO STAIN	EXTERIOR DECK SURFACE	

INTERIOR FINISH DESCRIPTIONS								
ABRV.	MTRL	MANUF/VENDOR	PRODUCT	SIZE	COLOR / SPECIES	FINISH	USE/LOCATION	COMMENTS
GWB20	GYPSUM WALL BOARD						INTERIOR WALLS & CEILINGS	LEVEL 4 FINISH, TO BE PAINTED
MTL1	PAINTED STEEL				MATCH TO WINDOW FRAME	MATTE	RAILINGS	
PT20	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		650096522	MATTE	INTERIOR WALLS	
PT21	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		651049587	FLAT	INTERIOR CEILINGS	
PT22	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		651199572	SATIN	BASEBOARD	
SS20	SOLID SURFACE	Q FROM MSI	QUARTZ COUNTERTOP		ARCTIC WHITE	POLISHED	BATHROOM, LAUNDRY, & KITCHEN COUNTERTOPS	
SS21	SOLID SURFACE							NOT USED
TL20	FLOOR TILE	MARCA CORONA	STONECLOUD	12" X 24"	WHITE EMBOSSED	MATTE	SECONDARY BATHROOM FLOOR	GROUT TO MATCH
TL21	WALL TILE	LANKA WALL TILE	BLOC	6" X 24"	WHITE	MATTE	SECONDARY BATHROOM WALL	GROUT TO MATCH
TL22	WALL TILE	NSDG	GLASSALIKE	4" X 12"	TAUPE	GLOSS	KITCHEN BACKSPLASH	GROUT TO MATCH
TL23	FLOOR & WALL TILE	MARCA CORONA	STONECLOUD	12" X 24"	GREY EMBOSSED	MATTE	PRIMARY BATHROOM FLOOR & WALL	GROUT TO MATCH
TL24	WALL TILE	LANKA WALL TILE	TUXEDO	4" X 8"	WHITE	MATTE	LAUNDRY BACKSPLASH	GROUT TO MATCH
WD20	WOOD FLOORING	URBANFLOOR	VILLA CAPRISI	9-1/2"	EUROPEAN WHITE OAK / CARRARA	UV LACQUER	FLOOR	ENGINEERED WOOD FLOORING, GRADE: CHARACTER
WD21	PAINTED WOOD				MATCH TO INTERIOR WALLS		INTERIOR MILLWORKS (I.E. BASEBOARD)	POPLAR, TO BE PAINTED
WD22	WOOD VENEER	BARRY'S KITCHENS			GHERRY	ALPINE / ESPRESSO	CASEWORK	NO GLAZE, 15% SHEEN
WD23	SOLID WOOD	URBANFLOOR	VILLA CAPRISI - STAIR NOSING		MATCH TO FLOORING	UV LACQUER	STAIR NOSING	

FINISH SCHEDULE									
NUMBER	ROOM NAME	WALL FINISH				CEILING FINISH	FLOOR FINISH	BASE	REMARKS
		NORTH	EAST	SOUTH	WEST				
100	ENTRY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
101	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
102	HALL	-	GWB20	-	GWB20	GWB20	WD20	WD21	
103	KITCHEN	GWB20	TL22	TL22	GWB20	GWB20	WD20	WD21	
104	DINING	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
105	LIVING	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
106	MUDROOM/ PANTRY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
107	GARAGE	GWB20	GWB20	GWB20	GWB20	GWB20	CONC1	WD21	
108	GUEST BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
108.1	CLT 108.1	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
109	STAIR	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
109	STAIR	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
110	BATH	GWB20	GWB20/TL21	TL21	GWB20/TL21	GWB20	TL20	WD21	
111	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
112	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
112.1	CLT	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
200	ENTRY - SECOND FLOOR SPACE	GWB20	GWB20	GWB20	GWB20	GWB20	N/A	N/A	
201	HALLWAY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
202	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
202.1	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
203	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
203.1	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
204	PRIMARY CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
205	PRIMARY BEDROOM	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
206	PRIMARY BATH	GWB20	GWB20/TL23	TL23	GWB20/TL23	GWB20	TL23	WD21	
207	BATH	GWB20/TL21	TL21	GWB20/TL21	GWB20	GWB20	TL20	WD21	
208	LAUNDRY ROOM	GWB20/TL24	GWB20/TL24	GWB20	GWB20	GWB20	WD20	WD21	



EXTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"

INTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"

DOOR SCHEDULE - INTERIOR

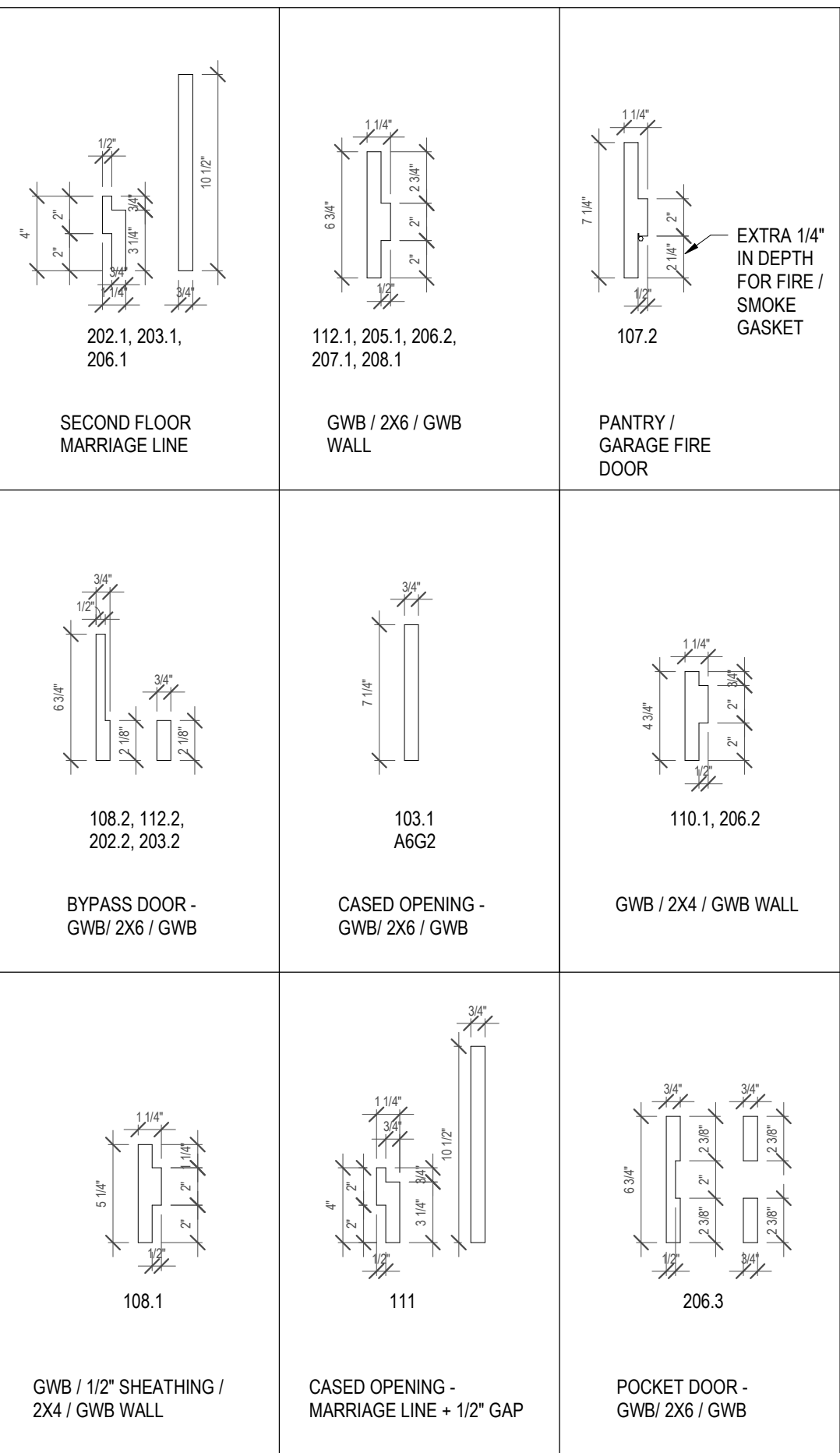
ARO INSTALLED	MARK	LOCATION	DOOR							FRAME		DOOR PART NUMBER	HARDWARE TYPE	DOOR HARDWARE MFG	DOOR HARDWARE PART NUMBER	DOOR HARDWARE DESCRIPTION	REMARKS	DOOR STOP PART NUMBER	DOOR STOP TYPE
			PANEL		PANEL DIMENSION				FINISH	TYPE	FINISH								
			FUNCTION	OPERATION	TYPE	WIDTH	HEIGHT	THICKNESS											
INSTALLED	101	CLOSET	INTERIOR	SWING	8	2'-2"	8'-0"	1 3/4"	PTD	WD	PTD	A727	PASSAGE	BALDWIN	A43H	BALDWIN SQUARE DOOR HANDLE		A66Q	FLOOR MOUNT
INSTALLED	103.1	MUDROOM / PANTRY	INTERIOR	OPENING	N/A	2'-8"	8'-0"	N/A	N/A	WD	PTD	A6FU	N/A	N/A	N/A		N/A	N/A	
INSTALLED	107.2	MUDROOM / PANTRY	INTERIOR	SWING	3	2'-8"	8'-0"	1 3/4"	PTD	WD	PTD	A4R9	ENTRY	BALDWIN	A43H & A43G	BALDWIN SQUARE DOOR HANDLE AND DEAD BOLT	20-MINUTE FIRE-RATED DOOR	A66Q	FLOOR MOUNT
INSTALLED	108.1	GUEST BED	INTERIOR	SWING	4	3'-0"	8'-0"	1 3/4"	PTD	WD	PTD	A6VE	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT
INSTALLED	108.2	GUEST BED	INTERIOR	BYPASS	5	5'-0"	8'-0"	1 3/4"	PTD	WD	PTD	A6MT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A
INSTALLED	110.1	BATH	INTERIOR	SWING	4	3'-0"	8'-0"	1 3/4"	PTD	WD	PTD	A6VF	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT
INSTALLED / CM	111	HALL	INTERIOR	OPENING	N/A	2'-8 1/4"	8'-0"	N/A	N/A	WD	PTD	A4RC	N/A	N/A	N/A		2nd PART OF JAMB INSTALL ON SITE	N/A	N/A
INSTALLED	112.1	BED	INTERIOR	SWING	4	2'-8"	8'-0"	1 3/4"	PTD	WD	PTD	A4RD	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT
INSTALLED	112.2	BED	INTERIOR	BYPASS	5	4'-0"	8'-0"	1 3/4"	PTD	WD	PTD	A4RP	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A
INSTALLED / CM	202.1	BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EK	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66Q	FLOOR MOUNT
INSTALLED	202.2	BED	INTERIOR	BYPASS	5	5'-0"	7'-0"	1 3/4"	PTD	WD	PTD	A6FT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A
INSTALLED / CM	203.1	BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EM	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66Q	FLOOR MOUNT
INSTALLED	203.2	BED	INTERIOR	BYPASS	5	5'-0"	7'-0"	1 3/4"	PTD	WD	PTD	A6FT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A
INSTALLED	205.1	PRIMARY BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EN	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT
INSTALLED / CM	206.1	PRIMARY BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EM	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66R	WALL MOUNT
INSTALLED	206.2	PRIMARY BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EQ	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT
INSTALLED	206.3	PRIMARY CLOSET	INTERIOR	POCKET	6	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6FR	SLIDER CLOSET	INOX	A43M	INOX POCKET DOOR HARDWARE		N/A	N/A
INSTALLED	207.1	BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EP	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT
INSTALLED	208.1	LAUNDRY ROOM	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	PTD	A6EN	PASSAGE	BALDWIN	A43H	BALDWIN SQUARE DOOR HANDLE		A66R	WALL MOUNT
Grand total: 19																			

DOOR SCHEDULE - EXTERIOR

ARO INSTALLED	MARK	LOCATION	DOOR							FRAME		DOOR PART NUMBER	HARDWARE TYPE	DOOR HARDWARE MFG	DOOR HARDWARE PART NUMBER	DOOR HARDWARE DESCRIPTION	REMARKS	DOOR STOP PART NUMBER	DOOR STOP TYPE
			PANEL		PANEL DIMENSION			FINISH	TYPE	FINISH									
			FUNCTION	OPERATION	TYPE	WIDTH	HEIGHT				THICKNESS								
INSTALLED / CM	100.1	ENTRY	EXTERIOR	SWING	1	3'-6"	9'-0"	1 3/4"	POWDERCOAT	ALUMINUM/ STEEL	PTD	A43V	ENTRY SET	ARKA	NA	INCLUDED WITH THE DOOR	ARKA DOOR	A66Q	FLOOR MOUNT
INSTALLED / CM	107.1	GARAGE	EXTERIOR	OVERHEAD	2	18'-0"	9'-0"	1 3/4"	MTL	N/A	MTL		GARAGE DOOR		NA	DOOR OPERATOR			
INSTALLED / CM	110.9	MUDROOM / PANTRY	EXTERIOR	SWING	7	2'-8"	8'-0"	1 3/4"	POWDERCOAT	ALUMINUM	PTD	A43W	ENTRY LEVER SET	ARKA	NA	INCLUDED WITH THE DOOR	ARKA DOOR	A66Q	FLOOR MOUNT
Grand total: 3																			

DOOR SCHEDULE NOTES:

- FIELD VERIFY ALL ROUGH OPENINGS BEFORE ORDERING DOORS.
- ALL DOORS TO BE SOLID CORE.
- ALL EXTERIOR DOORS TO HEATED SPACES TO BE SOLID CORE OR INSULATED.
- EXTERIOR SLIDING GLASS DOORS ARE SHOWN ON GLAZING SCHEDULE.



Door Frame Profiles
SCALE: 1 1/2" = 1'-0"



AH2
ARO HOMES

Discipline:
Drawn by: WC
Product number: AH2
Product version: V1
Serial version:
Revisions:

4 11/05/2024 NTA REVISION 2.0
2.1 02/06/2025 NTA REVISION 2.1

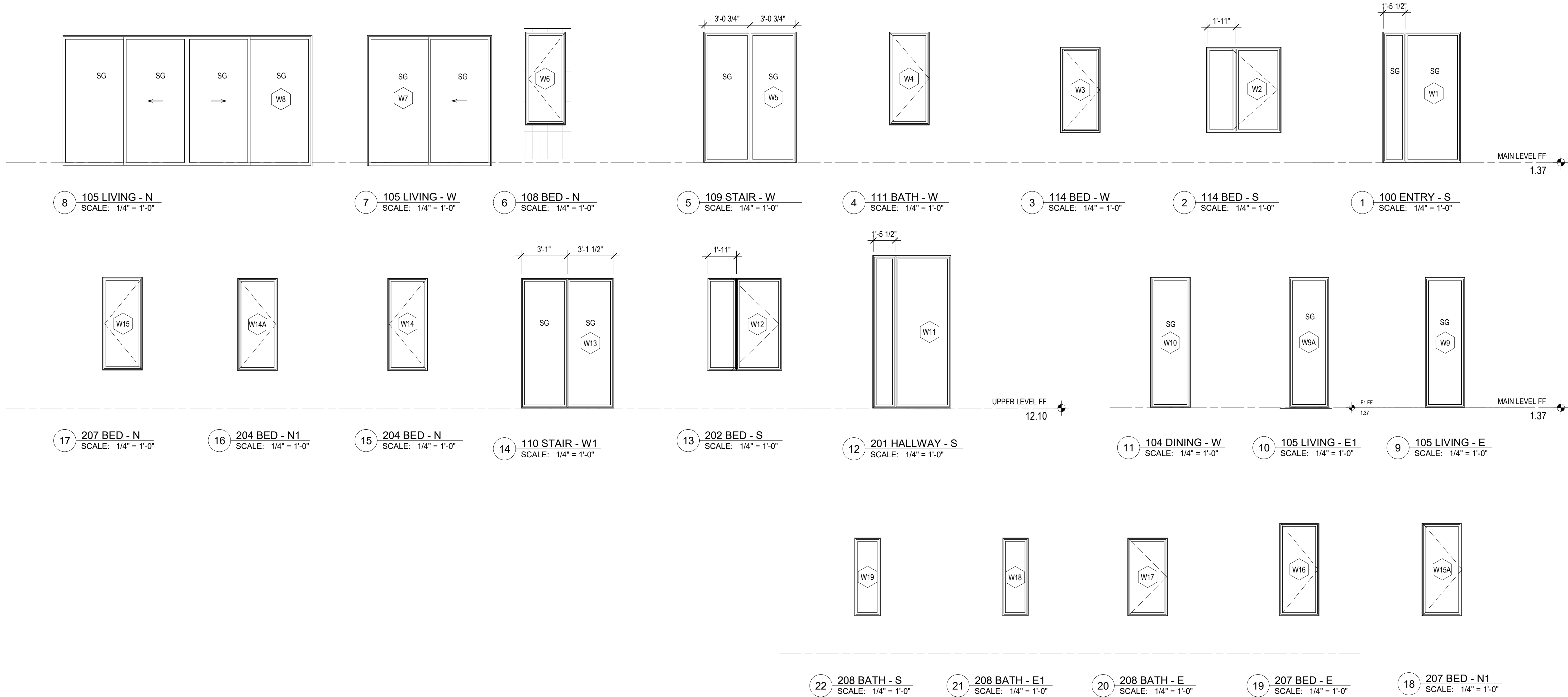
No. Date By

NTA PERMIT SET

07/18/2024

DOOR SCHEDULE

A0.20



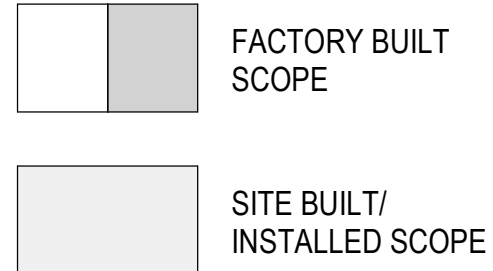
Approved: State of CA
Certified Design Approval Agency - KC NTA, LLC 500268
Approved: Factory Built Housing
VSTA071924-6
Approval Date: 11/7/2024
Expiration Date: 7/30/2027

GLAZING SCHEDULE												
GLAZING TAG	LOCATION	ORIENTATION	OPERATION	ROUGH OPENING		FRAME		SILL AFF	U VALUE	DETAILS		
				WIDTH - RO	HEIGHT - RO	WIDTH - FRAME	HEIGHT - FRAME			HEAD	JAMB	SILL
W1	ENTRY 100	SOUTH	FIXED	5' - 2 3/4"	8' - 8 3/4"	5' - 1 3/4"	8' - 7 3/4"	-1/8"	0.26	8/A.20	7& 9/A8.20	7/A8.21
W2	BED 112	SOUTH	FIXED/CASEMENT	5' - 0"	5' - 8 1/2"	4' - 11"	5' - 7 1/2"	2' - 0"	0.28	2/A8.20	3/A8.20	1/A8.20
W3	BED 112	WEST	CASEMENT	2' - 8"	5' - 8 1/2"	2' - 7"	5' - 7 1/2"	2' - 0"	0.28	2/A8.20	3/A8.20	1/A8.20
W4	BATH 110	WEST	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W5	STAIR 109	WEST	FIXED	6' - 2 1/2"	8' - 8 3/4"	6' - 1 1/2"	8' - 7 3/4"	-1/8"	0.26	6/A8.20	6/A8.21	4/A8.20
W6	GUEST BED 108	NORTH	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W7	LIVING 105	EAST	SLIDING	8' - 4"	8' - 8 3/4"	8' - 3"	8' - 7 3/4"	-2 3/4"	0.17	2/A8.21	3/A8.21	1/A8.21
W8	LIVING 105	NORTH	SLIDING	16' - 9"	8' - 8 3/4"	16' - 8"	8' - 7 3/4"	-2 3/4"	0.17	2/A8.21	3/A8.21	1/A8.21
W9	LIVING 105	EAST	FIXED	2' - 8"	8' - 8 3/4"	2' - 7"	8' - 7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20
W9A	LIVING 105	EAST	FIXED	2' - 8"	8' - 8 3/4"	2' - 7"	8' - 7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20
W10	DINING 104	EAST	FIXED	2' - 8"	8' - 8 3/4"	2' - 7"	8' - 7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20
W11	HALLWAY 201	SOUTH	FIXED	5' - 2 3/4"	10' - 2 3/4"	5' - 1 3/4"	10' - 1 3/4"	-1/8"	0.26	5/A8.20	9/A8.20	8/A8.20
W12	BED 202	SOUTH	FIXED/CASEMENT	5' - 0"	6' - 2 5/8"	4' - 11"	6' - 1 5/8"	2' - 6"	0.26	2/A8.20	2/A8.20	1/A8.20
W13	STAIR 109	WEST	FIXED	6' - 2 1/2"	8' - 8 3/4"	6' - 1 1/2"	8' - 7 3/4"	-1/8"	0.28	5/A8.20	6/A8.21	6/A8.20
W14	BED 203	NORTH	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W14A	BED 203	NORTH	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W15	BED 205	NORTH	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W15A	BED 205	NORTH	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W16	BED 205	EAST	CASEMENT	2' - 8"	6' - 2 5/8"	2' - 7"	6' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W17	BATH 206	EAST	CASEMENT	2' - 8"	5' - 2 5/8"	2' - 7"	5' - 1 5/8"	2' - 6"	0.28	2/A8.20	3/A8.20	1/A8.20
W18	BATH 206	EAST	FIXED	1' - 9"	5' - 2 5/8"	1' - 8"	5' - 1 5/8"	2' - 6"	0.26	2/A8.20	3/A8.20	1/A8.20
W19	BATH 206	SOUTH	FIXED	1' - 9"	5' - 2 5/8"	1' - 8"	5' - 1 5/8"	2' - 6"	0.26	2/A8.20	3/A8.20	1/A8.20

GLAZING SCHEDULE NOTES:

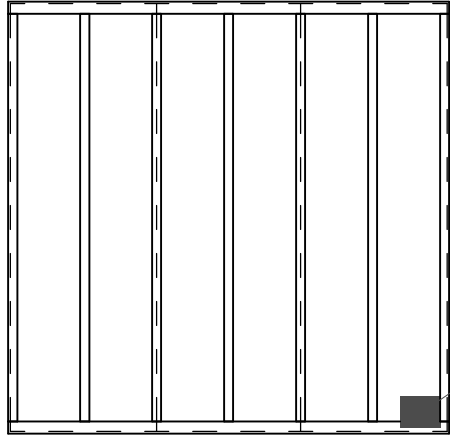
1. CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO ORERING WINDOWS AND DOORS.
2. PROVIDE SAFETY GLAZING WHERE REQ'D BY CODE AND WHERE INDIGATED ON DRAWINGS AS "SG."
3. PROVIDE EGRESS WINDOWS WHERE REQ'D BY CODE AND WHERE INDICATED ON DRAWINGS.
4. ASSUME 1/2" SHIM SPACE MAX. TYP, UNLESS OTHERWISE NOTED.
5. PROVIDE SATIN ETCHED GLAZING AT W18 & W19.

Autodesk Docs\\Aro Homes Home 1\\Aro Homes AH2_Arch_2CG.rvt



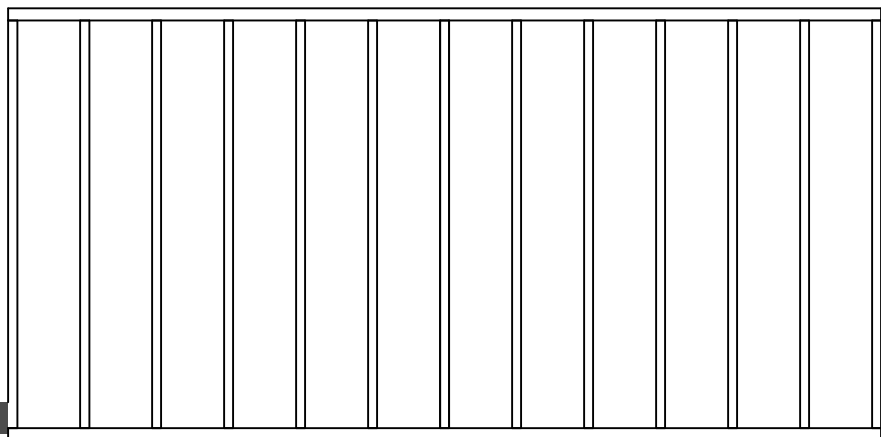
NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.

TYPICAL FACTORY WALL PANEL INSTALLATION - LOOSE PANELS

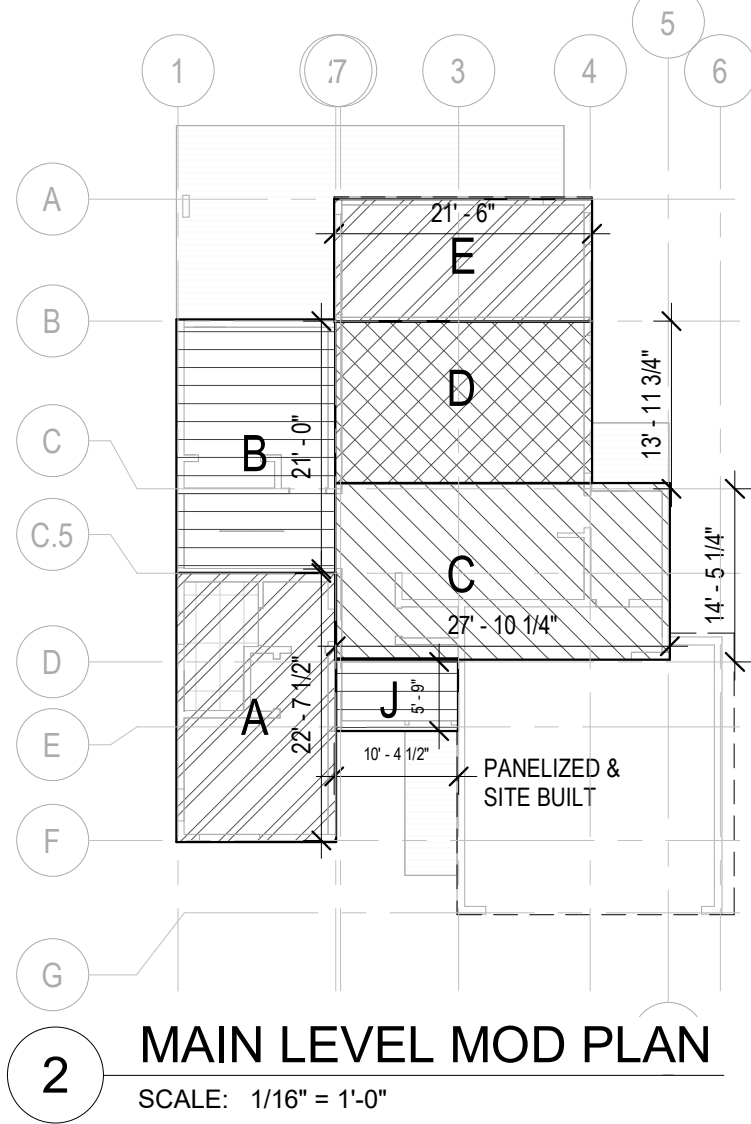


INSIGNIA INSTALL LOCATION INSIDE OF BOTTOM PLATE

TYPICAL FACTORY FLOOR/CEILING PANEL INSTALLATION - LOOSE PANELS



INSIGNIA INSTALL LOCATION ON OUTSIDE END OF RIM JOIST



WALL, FLOOR AND CEILING PANELS - NTA SCHEDULE

GARAGE PANELS

- 2CG.W01
- 2CG.W02
- 2CG.W03
- 2CG.W04
- 2CG.R01
- 2CG.R02
- 2CG.R03
- 2CG.R04

ROOF PANELS

- F.R07 - ROOF PANEL
- G.R04 - ROOF PANEL
- K.R01 - ROOF PANEL
- R.R01 - ROOF PANEL

DECK PANELS

- N.D01 - DECK PANEL
- N.D02 - DECK PANEL
- P.D01 - DECK PANEL
- R.D01 - DECK PANEL
- R.D02 - DECK PANEL
- R.D03 - DECK PANEL
- R.D04 - DECK PANEL
- R.D05 - DECK PANEL
- R.W01 - WALL PANEL

NOTES:

- FACTORY BUILT PANEL ARE INSTALL ON SITE.
- APPROVAL LABELS LOCATED ON THE PANELS:
 - WALLS - ON THE TOP OF THE BOTTOM PLATE OF EACH WALL
 - FLOORS AND CEILINGS - ON THE INSIDE FACE OF THE RIM JOISTS

RESUME OF SITE WORK					
SECTION / DESCRIPTION	SHEET NUMBER	PLAN REVIEW		INSPECTION	
		NTA	LAHJ	NTA	LAHJ 2
COVER SHEET, INDEX, DESIGN CRITERIA, CODES	A0.00, A0.01	x	x	x	x
TITLE 24 DOCUMENTS	A0.02	x	x	x	x
SURVEY	TBD		x	x	x
CIVIL	TBD		x	x	x
LANDSCAPE	TBD		x	x	x
ARCHITECTURE (ASSEMBLIES, SCHEDULES)	A0.10, A0.11, A0.20, A0.21	x		x	x
ARCHITECTURE (FLOOR PLANS, ELEVATIONS, SECTIONS)	A2.00, A2.10s, A2.20, A3.0s, A3.10s, A4.00, A6.10, A6.20	x		x	x
ARCHITECTURE (DETAILS)	A7.00, A8.20s	x		x	x
MECHANICAL	M1.00, M1.01, M1.02, M1.03, M1.04, M1.05, M1.06	x		x	x
STRUCTURAL (GENERAL NOTES)	S0.00, S0.01	x		x	x
STRUCTURAL (FOUNDATION)	S2.00, S3.00	x	x	x	x
STRUCTURAL (PLANS, DETAILS)	S2.01, S2.02, S2.03, S2.04, S2.05, S2.10s, S.301, S4.00s, S5.00	x		x	x

GENERAL NOTES:

1. WHEN DRAWINGS AND CONSTRUCTION INCLUDE BOTH FACTORY BUILT AND SITE BUILT CONSTRUCTION, PLAN REVIEW & INSPECTION WILL BE ACCORDING TO THE FOLLOWING RULES:

A. FACTORY BUILT ELEMENT WILL BE REVIEWED BY ICC-NTA AND INSPECTED BY ICC-NTA.

B. CONNECTIONS BETWEEN FACTORY BUILT COMPONENTS, OR BETWEEN FACTORY AND SITE BUILT COMPONENTS, WILL BE REVIEWED BY DAA AND INSPECTED BY LAHJ.

C. SITE BUILT ELEMENTS WILL BE REVIEWED & INSPECTED BY LAHJ EXCEPT FOR STRUCTURAL (SEE NOTE 2).

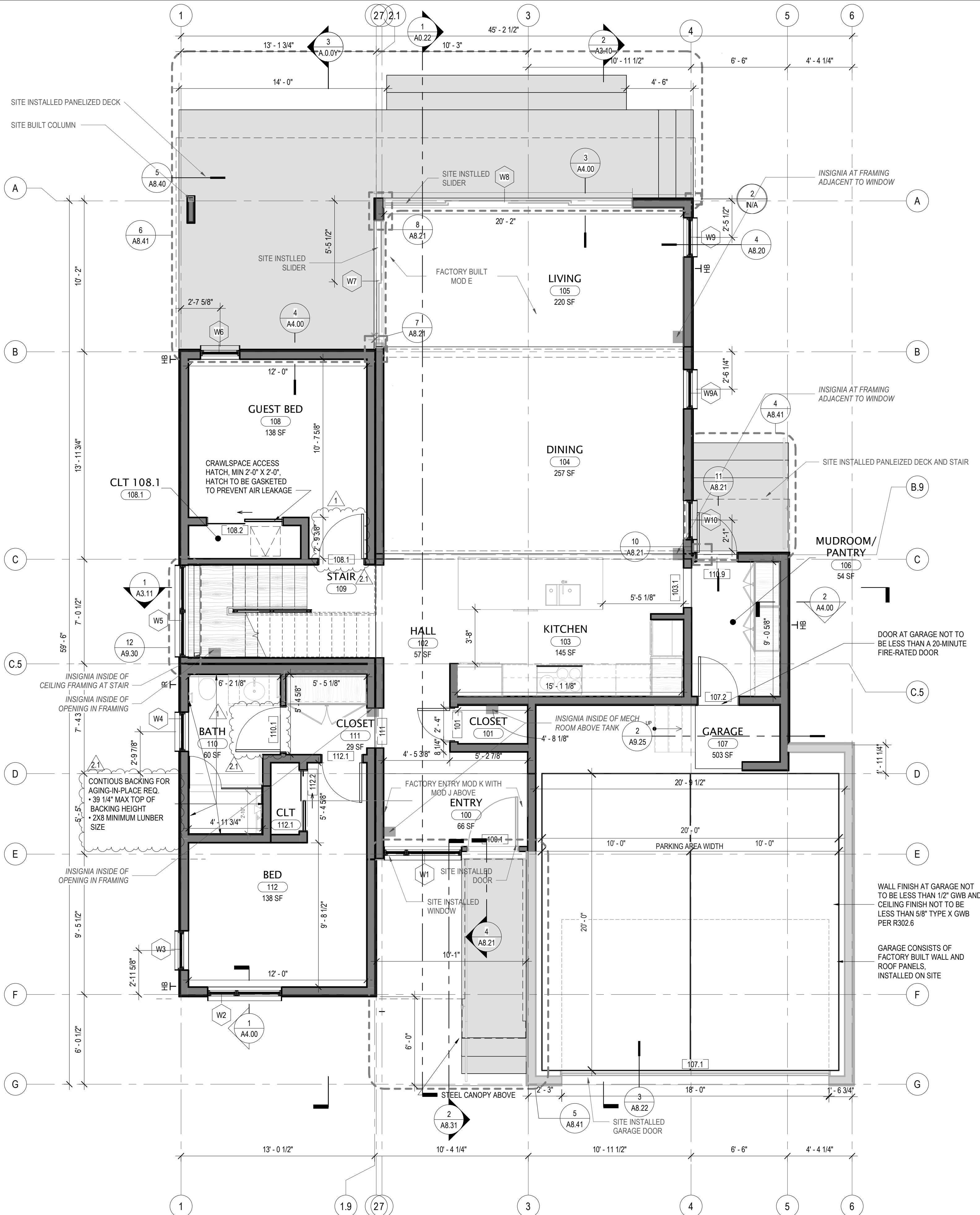
2. STRUCTURAL DRAWINGS & CALCULATIONS (EXCLUDING FOUNDATION) TO BE ENTIRELY REVIEWED BY DAA TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE. LAHJ WILL REVIEW FOUNDATION PLANS & CALCULATIONS. QAA WILL INSPECT FACTORY BUILT STRUCTURAL ELEMENTS. LAHJ WILL INSPECT ALL FIELD CONSTRUCTION & CONNECTIONS.

3. ALL OTHER SITE WORK NOT MENTIONED ABOVE (GRADING, LANDSCAPING, ETC) WILL BE REVIEWED & INSPECTED BY LAHJ.



MAIN LEVEL GROSS AREA: 2073 SF
MAIN LEVEL INTERIOR AREA: 1670 SF

TOTAL GROSS AREA: 3196 SF



Approved: State of CA
Certified Design Approval Agency - ICC-NTA, LLC 50308
Approved: Factory Built Housing
ICC-NTA, LLC Plan Approval: VSTA071924-6
Approved Date: 2/18/2025
Expiration Date: 7/30/2027



AH2
ARO HOMES

Discipline:
Drawn by: Author
Product number: AH2
Product version: v1
Serial version:
Revisions:

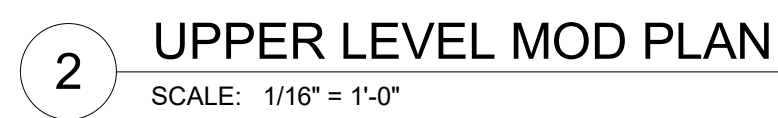
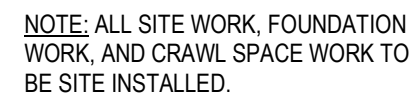
4 11/05/2024 NTA REVISION 2.0
2.1 02/06/2025 NTA REVISION 2.1
1 07/18/2024 NTA REVISION 1

No. Date By

NTA PERMIT SET
07/18/2024

MAIN LEVEL PLAN

A2.10



AH2
ARO HOMES

RESUME OF SITE WORK					
SECTION / DESCRIPTION	SHEET NUMBER	PLAN REVIEW		INSPECTION	
		N/A	LAHJ	N/A	LAHJ 2
COVER SHEET, INDEX, DESIGN CRITERIA, CODES	A0.00, A0.01	x	x	x	x
TITLE 24 DOCUMENTS	A0.02	x	x	x	x
SURVEY	TBD		x		x
CIVIL	TBD		x		x
LANDSCAPE	TBD		x		x
ARCHITECTURE (ASSEMBLIES, SCHEDULES)	A0.10, A0.11, A0.20, A0.21	x		x	x
ARCHITECTURE (FLOOR PLANS, ELEVATIONS, SECTIONS)	A2.00, A2.10s, A2.20, A3.0s, A3.10s, A4.00, A6.10, A6.20	x		x	x
ARCHITECTURE (DETAILS)	A7.00, A8.20s	x		x	x
MECHANICAL	M1.00, M1.01, M1.02, M1.03, M1.04, M1.05, M1.06	x		x	x
STRUCTURAL (GENERAL NOTES)	S0.00, S0.01	x		x	x
STRUCTURAL (FOUNDATION)	S2.00, S3.00	x	x		x
STRUCTURAL (PLANS, DETAILS)	S2.01, S2.02, S2.03, S2.04, S2.05, S2.10S, S.301, S4.00s, S5.00	x		x	x

GENERAL NOTES:

1. WHEN DRAWINGS AND CONSTRUCTION INCLUDE BOTH FACTORY BUILT AND SITE BUILT CONSTRUCTION, PLAN REVIEW & INSPECTION WILL BE ACCORDING TO THE FOLLOWING RULES:

A. FACTORY BUILT ELEMENT WILL BE REVIEWED BY DAA AND INSPECTED BY QAA.
B. CONNECTIONS BETWEEN FACTORY BUILT COMPONENTS, OR BETWEEN FACTORY AND SITE BUILT COMPONENTS, WILL BE REVIEWED BY DAA AND INSPECTED BY LAHJ.
C. SITE BUILT ELEMENTS WILL BE REVIEWED & INSPECTED BY LAHJ EXCEPT FOR STRUCTURAL (SEE NOTE 2).

2. STRUCTURAL DRAWINGS & CALCULATIONS (EXCLUDING FOUNDATION) TO BE ENTIRELY REVIEWED BY DAA TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE. LAJH WILL REVIEW FOUNDATION PLANS & CALCULATIONS. QAA WILL INSPECT FACTORY BUILT STRUCTURAL ELEMENTS. LAJH WILL INSPECT ALL FIELD CONSTRUCTION & CONNECTIONS.

3. ALL OTHER SITE WORK NOT MENTIONED ABOVE (GRADING, LANDSCAPING, ETC) WILL BE REVIEWED & INSPECTED BY LAJH.



UPPER LEVEL GROSS AREA: 1123 SF
UPPER LEVEL INTERIOR AREA: 906 SF

TOTAL GROSS AREA: 3196 SF

Discipline:	
Drawn by:	Author
Product number:	AH2
Product version:	v1
Serial version:	
Revisions:	

No.	Date	By
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07/18/2024

UPPER LEVEL PLAN

A2.11

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FACTORY BUILT SCOPE

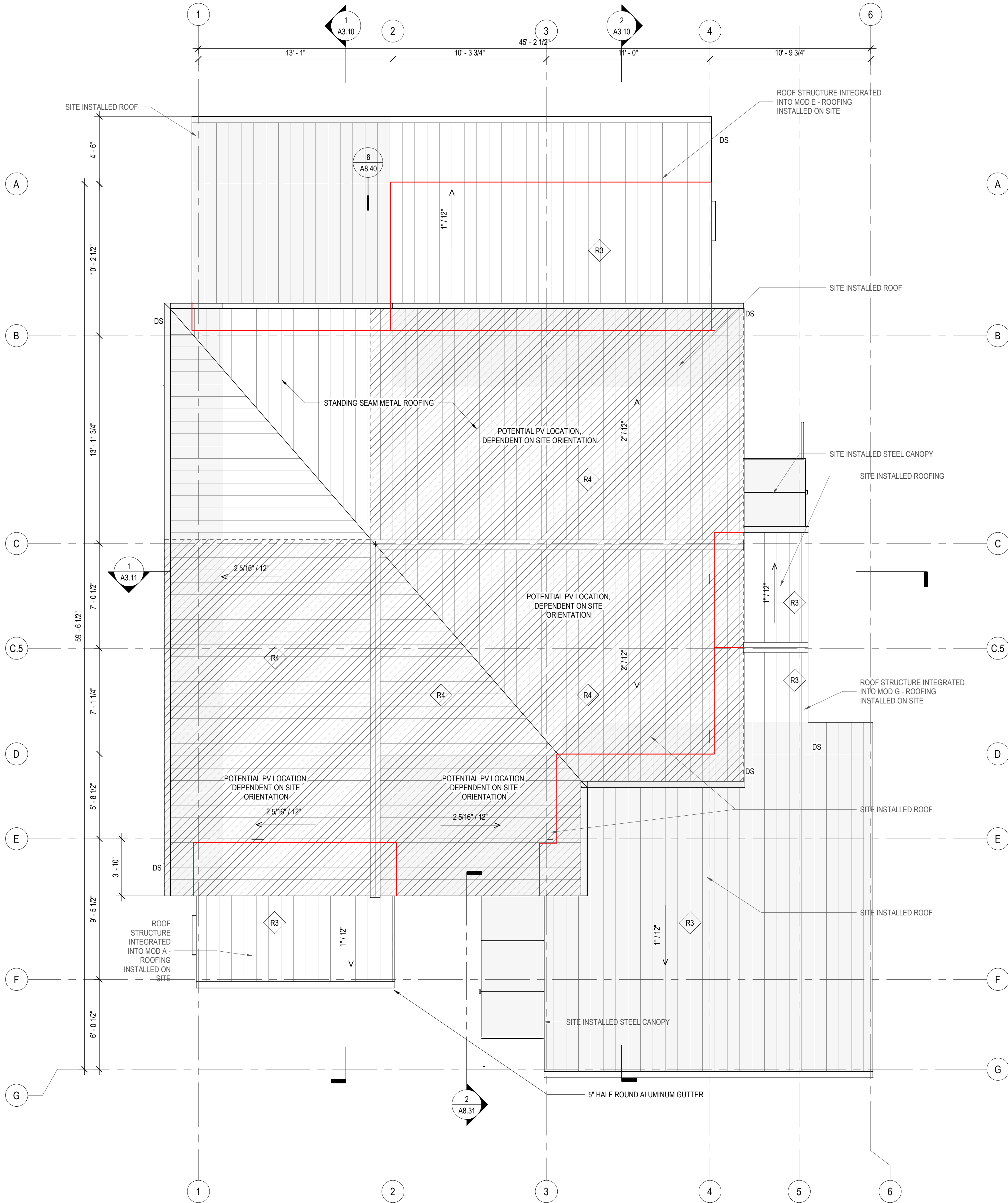
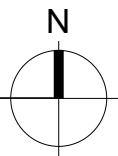
SITE BUILT/
INSTALLED SCOPE

POSSIBEL PV
MOUNTIG LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION
WORK, AND CRAWL SPACE WORK TO
BE SITE INSTALLED.

ROOF VENTILATION NOTES:
ROOF ASSEMBLIES ARE NON-VENTED ASSEMBLIES

1 03 ROOF PLAN
SCALE: 1/4" = 1'-0"

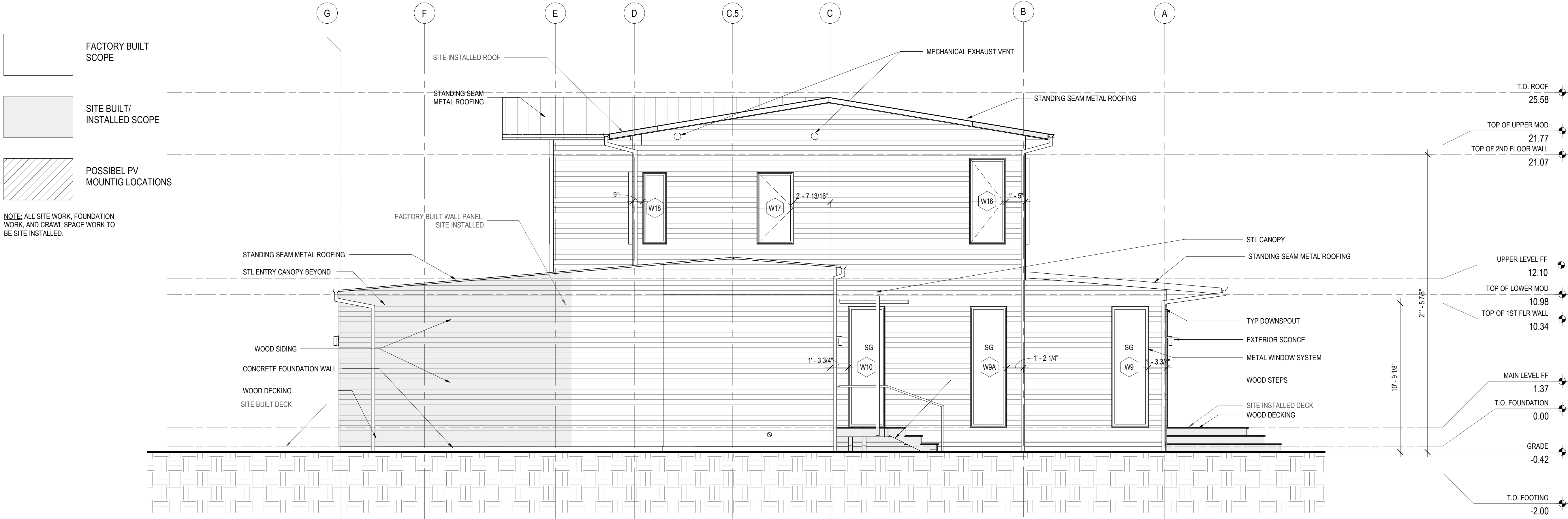


AH2
ARO HOMES

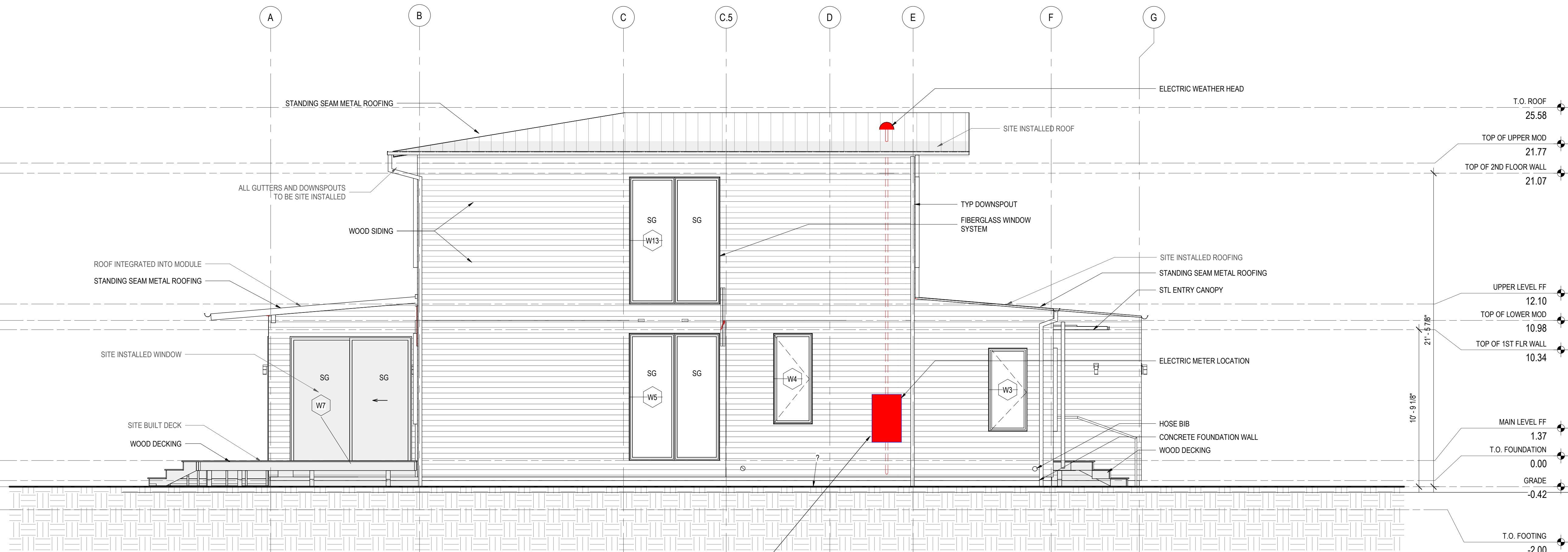
Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

NTA PERMIT SET
07/18/2024

ROOF PLAN
A2.20



2 EAST ELEVATION
SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
SCALE: 1/4" = 1'-0"

A:\desk\Draws\Aro Homes Home 1\Aro Homes AH2_Arch_2023.rvt

Approved: State of CA
Certified Design Approval Agency - ICC NTA, LLC 928268
Approved: Factory Built Housing
ICC NTA, LLC Plan Approval: YSTA071924-6
Approval Date: 7/30/2024
Expiration Date: 7/30/2027



AH2
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Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

NTA PERMIT SET
07/18/2024

EXTERIOR ELEVATIONS
01

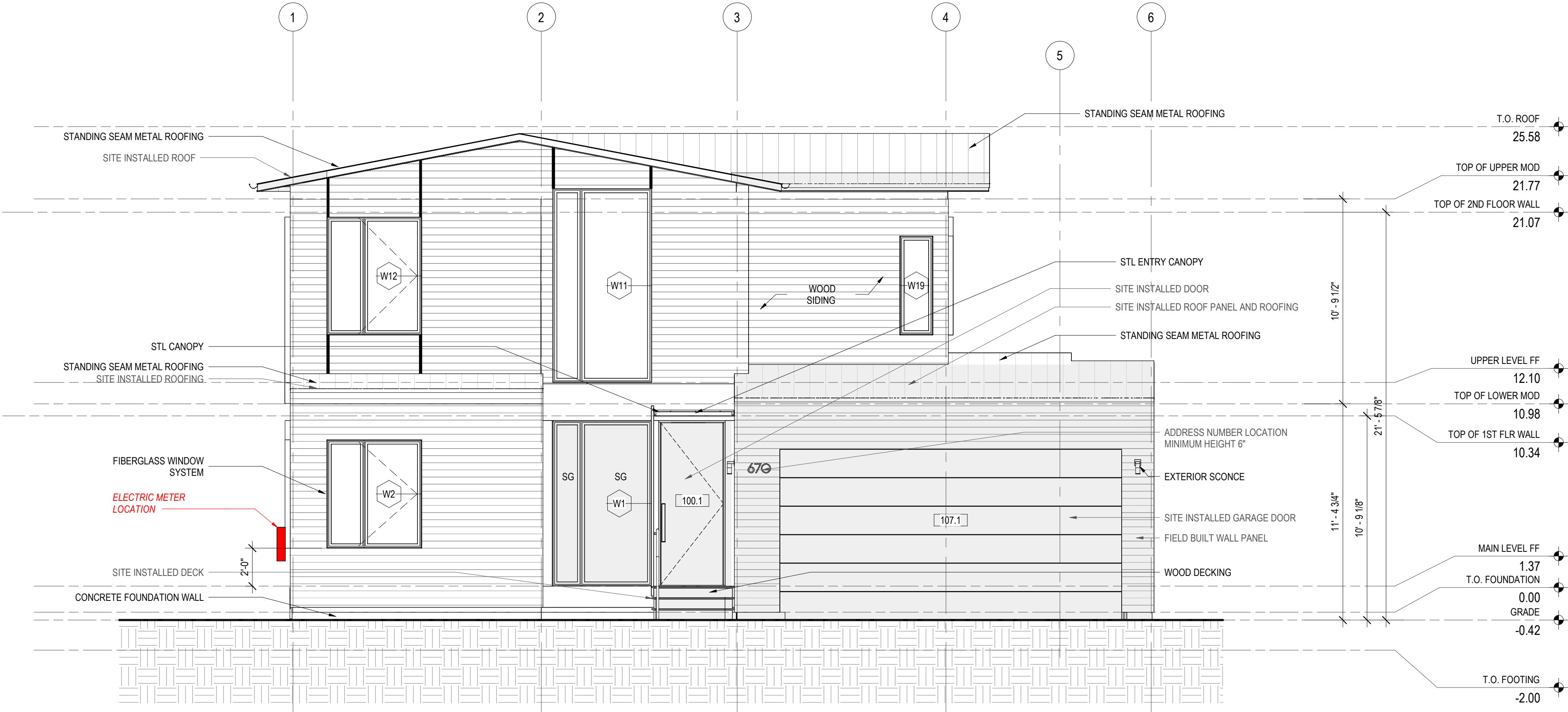
A3.00

FACTORY BUILT SCOPE

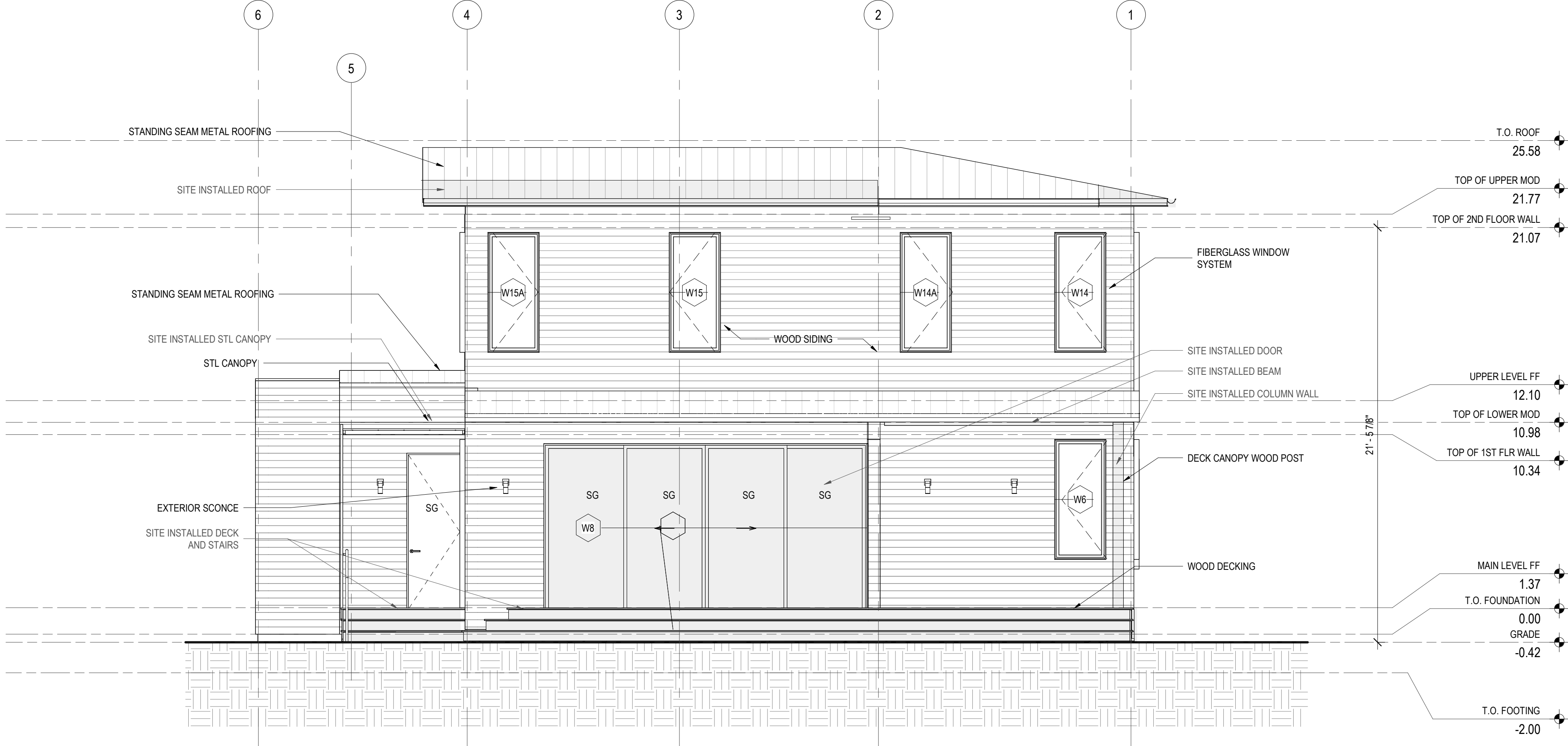
SITE BUILT/
INSTALLED SCOPE

POSSIBEL PV
MOUNTIG LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



2 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"

Approved: State of CA
Certified Design Approval Agency - KCE WFA, LLC 926268
Approved: Factory Built Housing
KCE WFA, LLC Plan Approval: VSTA071924-6
Approval Date: 7/30/2024
Expiration Date: 7/30/2027



AH2
ARO HOMES

Discipline:	
Drawn by:	Author
Product number:	AH2
Product version:	v1
Serial version:	
Revisions:	
No.	Date By

NTA PERMIT SET
07/18/2024

EXTERIOR ELEVATIONS
02

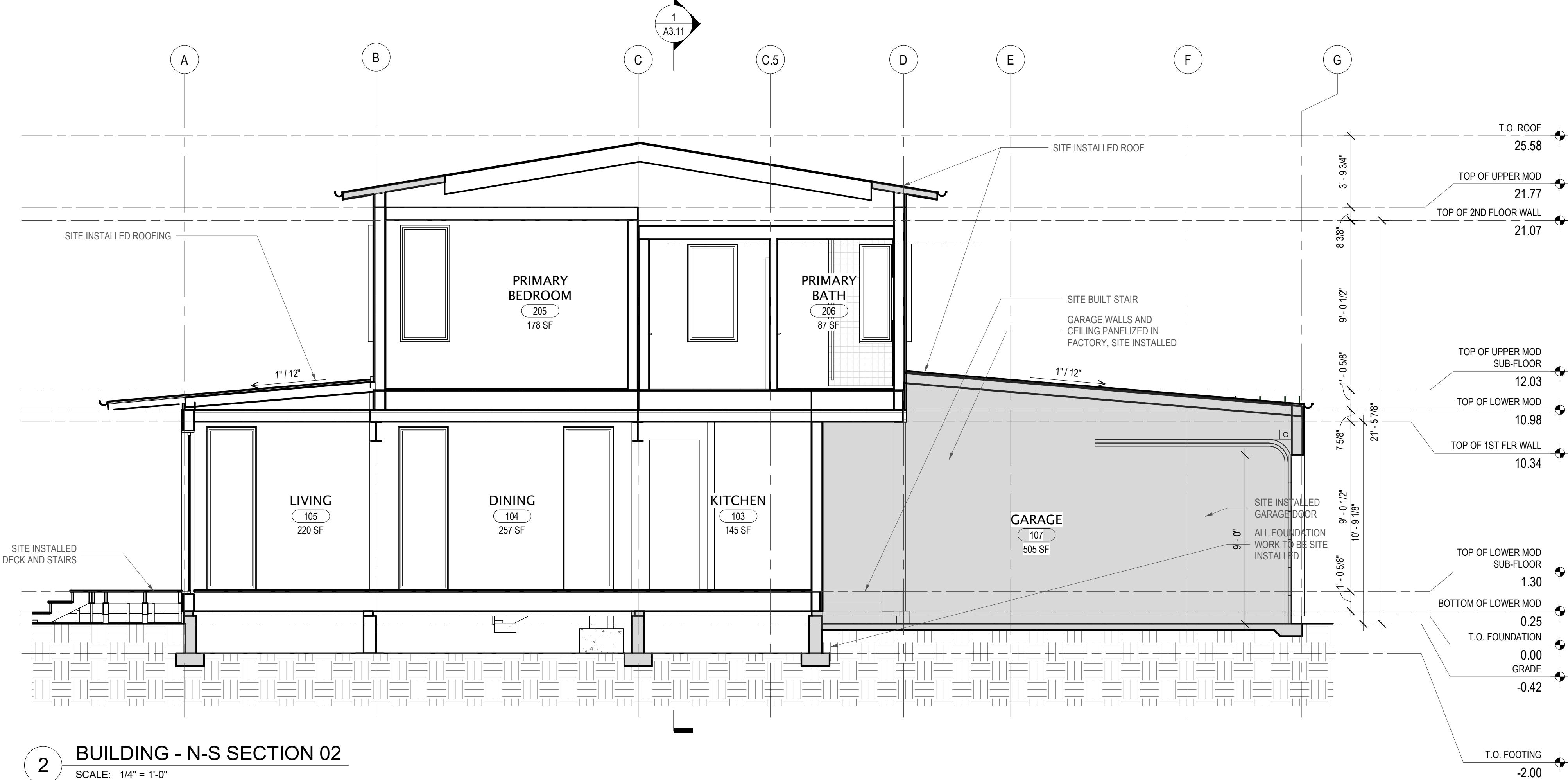
A3.01

FACTORY BUILT SCOPE

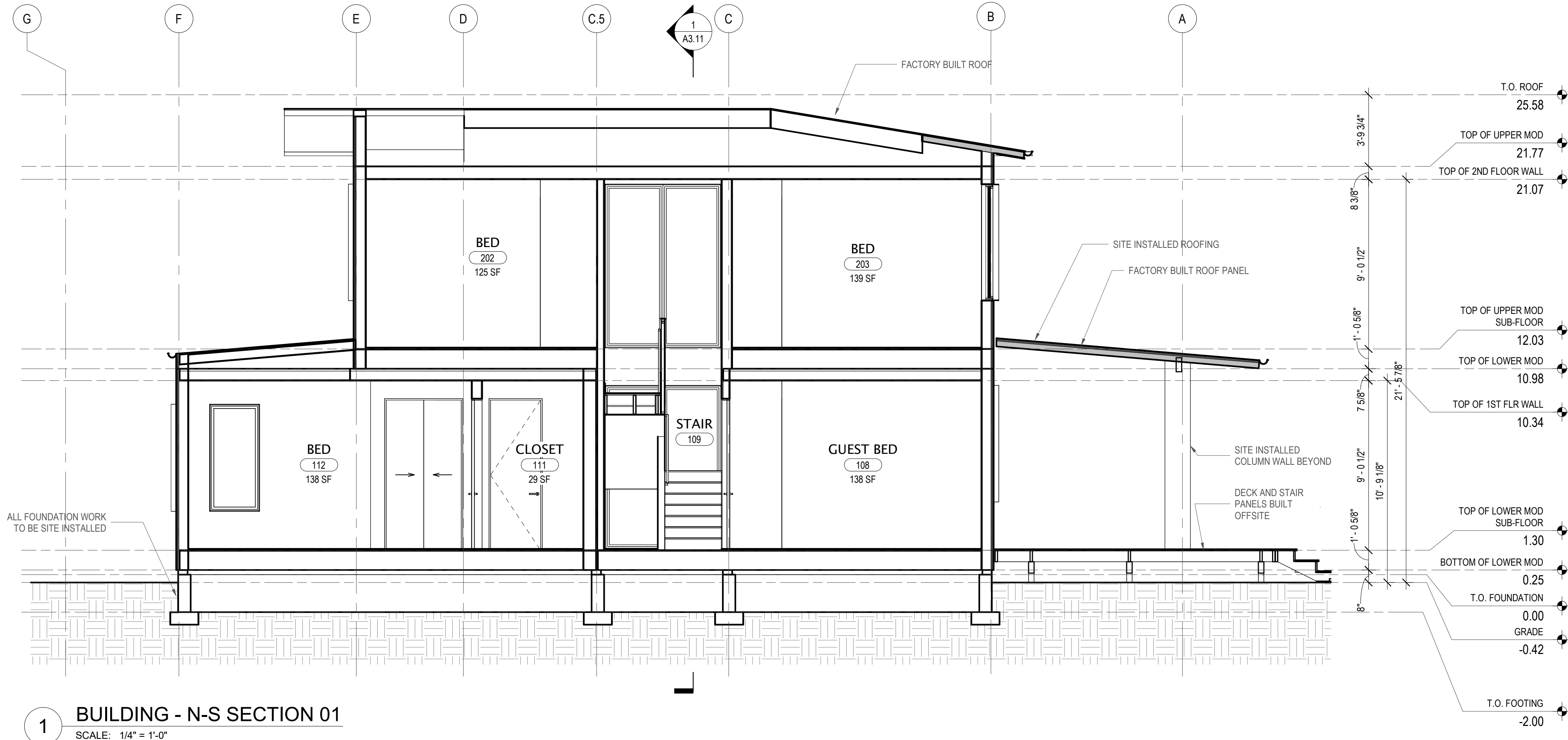
SITE BUILT/
INSTALLED SCOPE

POSSIBEL PV
MOUNTIG LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



2 BUILDING - N-S SECTION 02
SCALE: 1/4" = 1'-0"



1 BUILDING - N-S SECTION 01
SCALE: 1/4" = 1'-0"

Approved: State of CA
Certified Design Approval Agency - ICC NTA, LLC 900048
Approved: Factory Built Housing
VSTA071924-6
Approved Date: 7/30/2024
Expiration Date: 7/30/2027



AH2
ARO HOMES

Discipline:		
Drawn by:	--	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

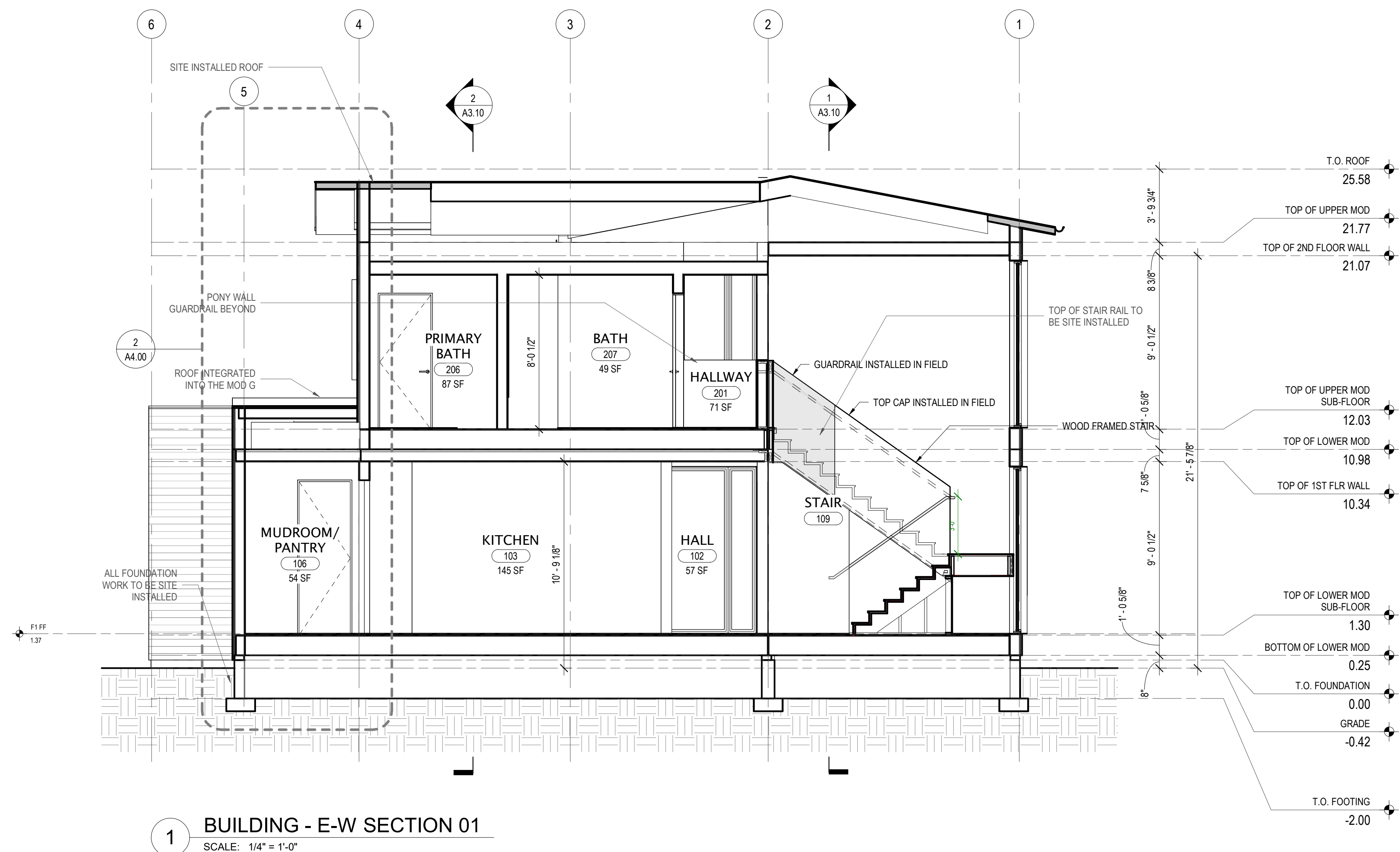
NTA PERMIT SET
07/18/2024

BUILDING SECTIONS 01

A3.10

SITE BUILT/
INSTALLED SCOPE

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



AH2
ARO HOMES

Discipline:

Drawn by: Author

Product number: AH2

Product version: v1

Serial version:

Revisions:

No.	Date	By
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NTA PERMIT SET

07/18/2024

BUILDING SECTIONS 02

A3.11

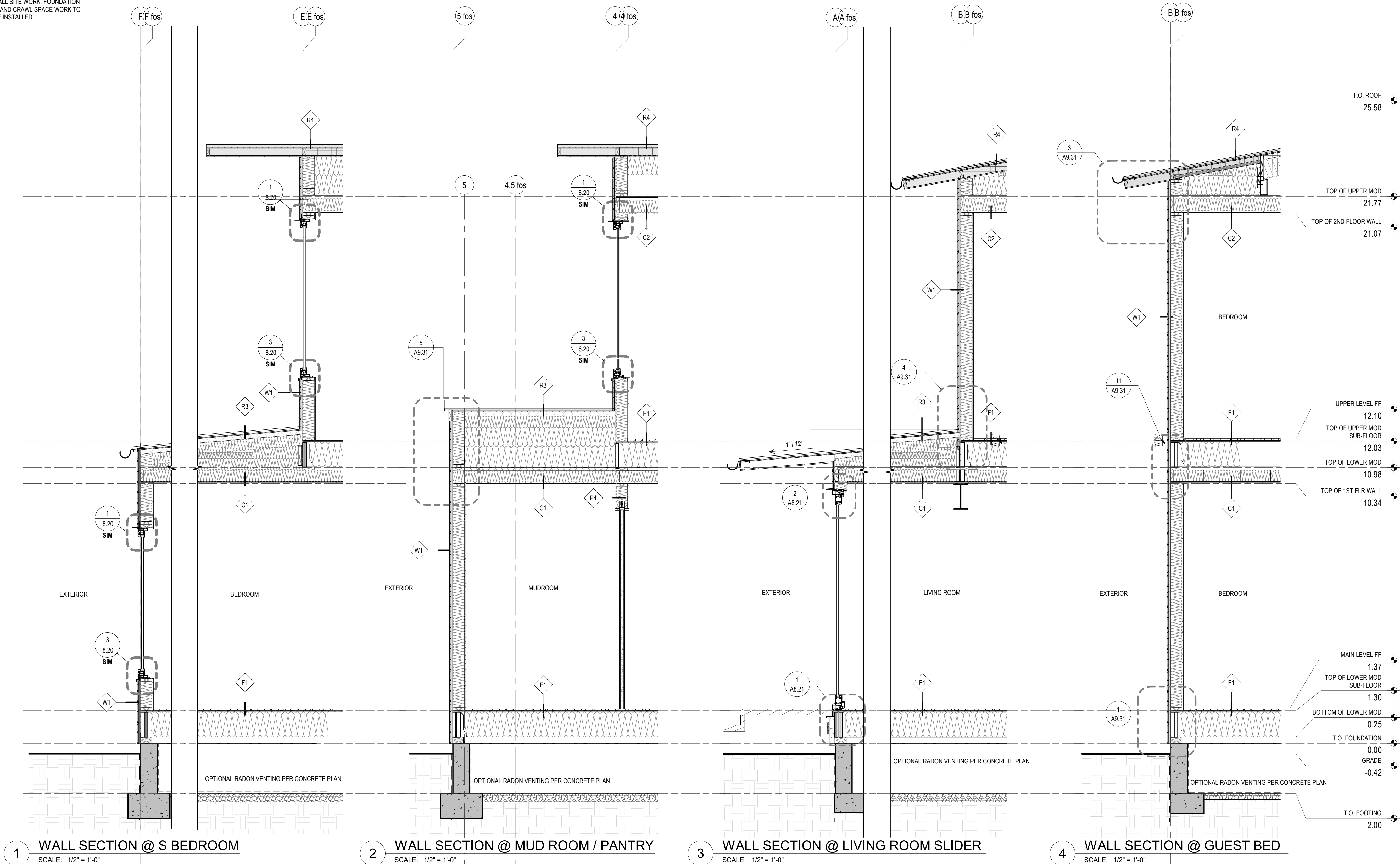
FACTORY BUILT SCOPE

SITE BUILT/
INSTALLED SCOPE

POSSIBEL PV
MOUNTIG LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.

Approved: State of CA
Certified Design Approval Agency - KIC NTA, LLC 926068
Approved: Factory Built Housing
KIC NTA, LLC Plan Approval: VSTA071924-6
Approval Date: 7/30/2024
Expiration Date: 7/30/2027



AH2
ARO HOMES

Discipline:
Drawn by: Author
Product number: AH2
Product version: v1
Serial version:
Revisions:

No. Date By

NTA PERMIT SET
07/18/2024

WALL SECTIONS

A4.00

GWB SITE
INSTALLED SCOPE

NOTE: HIGHLIGHTED ZONES INDICATE
AREAS OF GWB THAT WILL BE SITE
INSTALLED. FOR OTHER SITE SCOPE
WORK, REFER TO A2.00 - A4.00.

Approved: State of CA
Certified Design Approval Agency - ICC-NYS, LLC 900268
Approved: Factory Built Housing
ICC-NYS, LLC Plan Approval: **VSTA071924-6**
Approved Date: **11/7/2024**
Expiration Date: **7/30/2027**

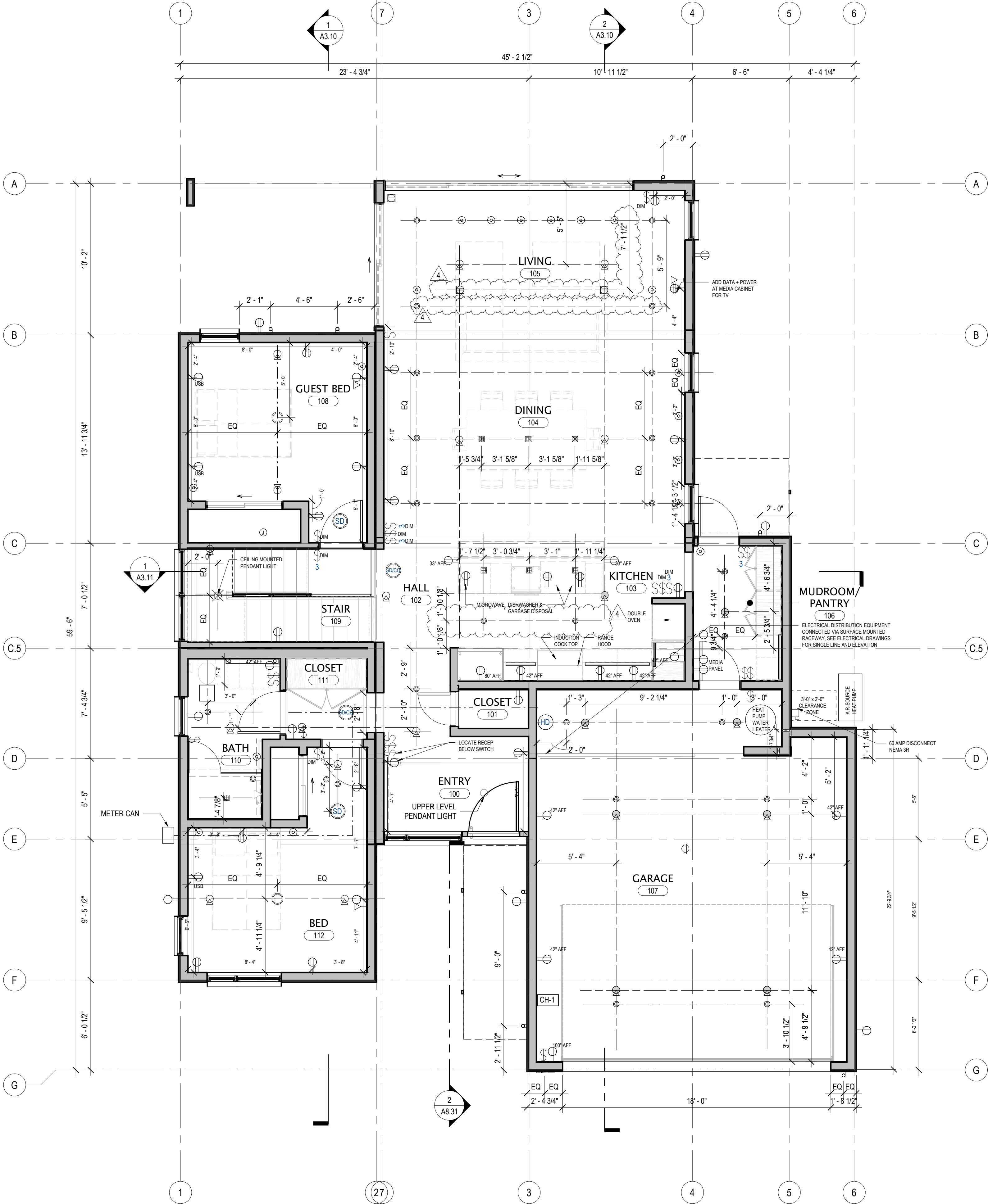
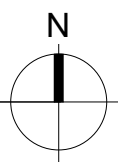
FIXTURES LEGEND

- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
- DIFFUSER
- FIRE SPRINKLER
- FLOOR MOUNTED DUPLEX OUTLET
- SINGLE SWITCH
- 3 - WAY SWITCH
- UNDERMOUNT LINEAR LIGHT FIXTURE
- CLOSET LINEAR LIGHT FIXTURE
- VANITY MIRROR WITH INTEGRAL LIGHTING
- ROUND CEILING MOUNTED LIGHT FIXTURE
- SQUARE CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED PENDENT LIGHT FIXTURE
- EXTERIOR SCENCE
- FLOOR BOX
- WALL MOUNTED DUPLEX OUTLET

DRAWING NOTES:

- ELECTRICAL APPLIANCE AND EQUIPMENT OUTLETS TO BE MOUNTED PER MANUFACTURER RECOMMENDATIONS.
- PROVIDE ELECTRICAL OUTLETS TO APPLIANCES WHERE REQUIRED.
- WALK-THROUGH: PRIOR TO ROUGH-IN OF ELECTRICAL SYSTEMS, CONDUCT WALK-THROUGH TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF CONTROLS, OUTLETS, AND OTHER EXPOSED TO VIEW DEVICES.
- FOR DEDICATED CIRCUITS AND CIRCUIT NOTES, REFER TO ELECTRICAL SHEETS M4.01.
- ELECTRICAL OUTLET CENTERLINES ARE 18" AFF UNO.
- SPRINKLER HEADS ARE SHOWN ON A6 SERIES PLANS FOR AESTHETIC LAYOUT DESIGN INTENT ONLY. LAYOUT SHOWN HERE IS NOT AN ENGINEERED DESIGN SOLUTION. NOTIFY ARCHITECT IF LAYOUTS ON A6 PLANS MUST CHANGE TO MEET CODE REQUIREMENTS.
- ENTRY 100 PENDANT LIGHT: MOUNT AT 10' - 0" AFF ON LEVEL 1 TO UNDERSIDE OF PENDANT LIGHT.
- DINING 104 PENDANT LIGHT: MOUNT AT 5' - 0" AFF TO UNDERSIDE OF PENDANT LIGHT.
- STAIR 109 PENDANT LIGHT: MOUNT AT 8' - 0" ABOVE FF OF LANDING TO UNDERSIDE OF PENDANT LIGHT.

1 MAIN LEVEL RCP
SCALE: 1/4" = 1'-0"



AH2
ARO HOMES

Discipline:

Drawn by:

WC

Product number:

AH2

Product version:

v1.1

Serial version:

Revisions:

4	11/05/2024	NTA REVISION 2.0
3	09/26/2024	NTA REVISION 1.2
2	08/30/2024	NTA REVISION 1.1

No.

Date

By

NTA PERMIT SET

07/18/2024

MAIN LEVEL REFLECTED
CEILING PLAN

A6.10

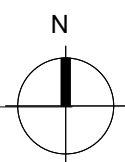
NOTE: HIGHLIGHTED ZONES INDICATE AREAS OF GWB THAT WILL BE SITE INSTALLED. FOR OTHER SITE SCOPE WORK, REFER TO A2.00 - A4.00.

Approved: State of CA
 Certified Design Approval Agency - ICC NTA, LLC. 920268
 Approved: Factory Built Housing
 ICC NTA, LLC. Plan Approval: **VSTA071924-6**
 Approval Date: **8/30/2024**
 Expiration Date: **7/30/2027**

	COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
	DIFFUSER
	FIRE SPRINKLER
	FLOOR MOUNTED DUPLEX OUTLET
	SINGLE SWITCH
	3-WAY SWITCH
	UNDERMOUNT LINEAR LIGHT FIXTURE
	CLOSET LINEAR LIGHT FIXTURE
	VANITY MIRROR WITH INTEGRAL LIGHTING
	ROUND CEILING MOUNTED LIGHT FIXTURE
	SQUARE CEILING MOUNTED LIGHT FIXTURE
	CEILING MOUNTED PENDENT LIGHT FIXTURE
	EXTERIOR SCONCE
	FLOOR BOX
	WALL MOUNTED DUPLEX OUTLET

1. ELECTRICAL APPLIANCE AND EQUIPMENT OUTLETS TO BE MOUNTED PER MANUFACTURER RECOMMENDATIONS.
2. PROVIDE ELECTRICAL OUTLETS TO APPLIANCES WHERE REQUIRED.
3. WALK-THROUGH; PRIOR TO ROUGH-IN OF ELECTRICAL SYSTEMS, CONDUCT WALK-THROUGH TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF CONTROLS, OUTLETS, AND OTHER EXPOSED TO VIEW DEVICES.
4. FOR DEDICATED CIRCUITS AND CIRCUIT NOTES, REFER TO ELECTRICAL SHEETS M4.01.
5. ELECTRICAL OUTLET CENTERLINES ARE 18" AFF UNO.
6. SPRINKLER HEADS ARE SHOWN ON A6 SERIES PLANS FOR AESTHETIC LAYOUT DESIGN INTENT ONLY. LAYOUT SHOWN HERE IS NOT AN ENGINEERED DESIGN. IN AN EMERGENCY, NOTIFY ARCHITECT IF LAYOUTS ON A6 PLANS MUST CHANGE TO MEET CODE REQUIREMENTS.

1 UPPER LEVEL RCP
SCALE: 1/4" = 1'-0"



AH2

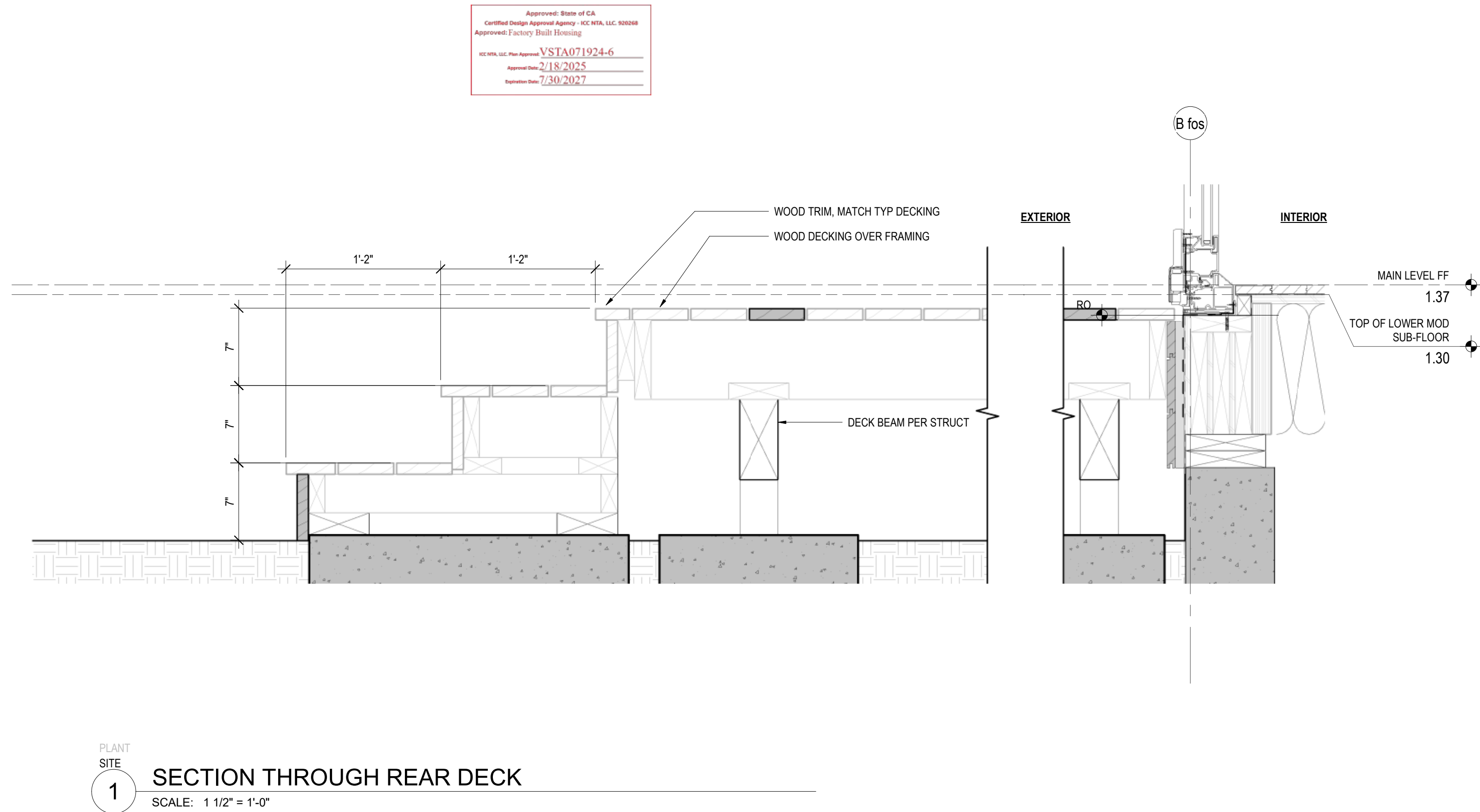
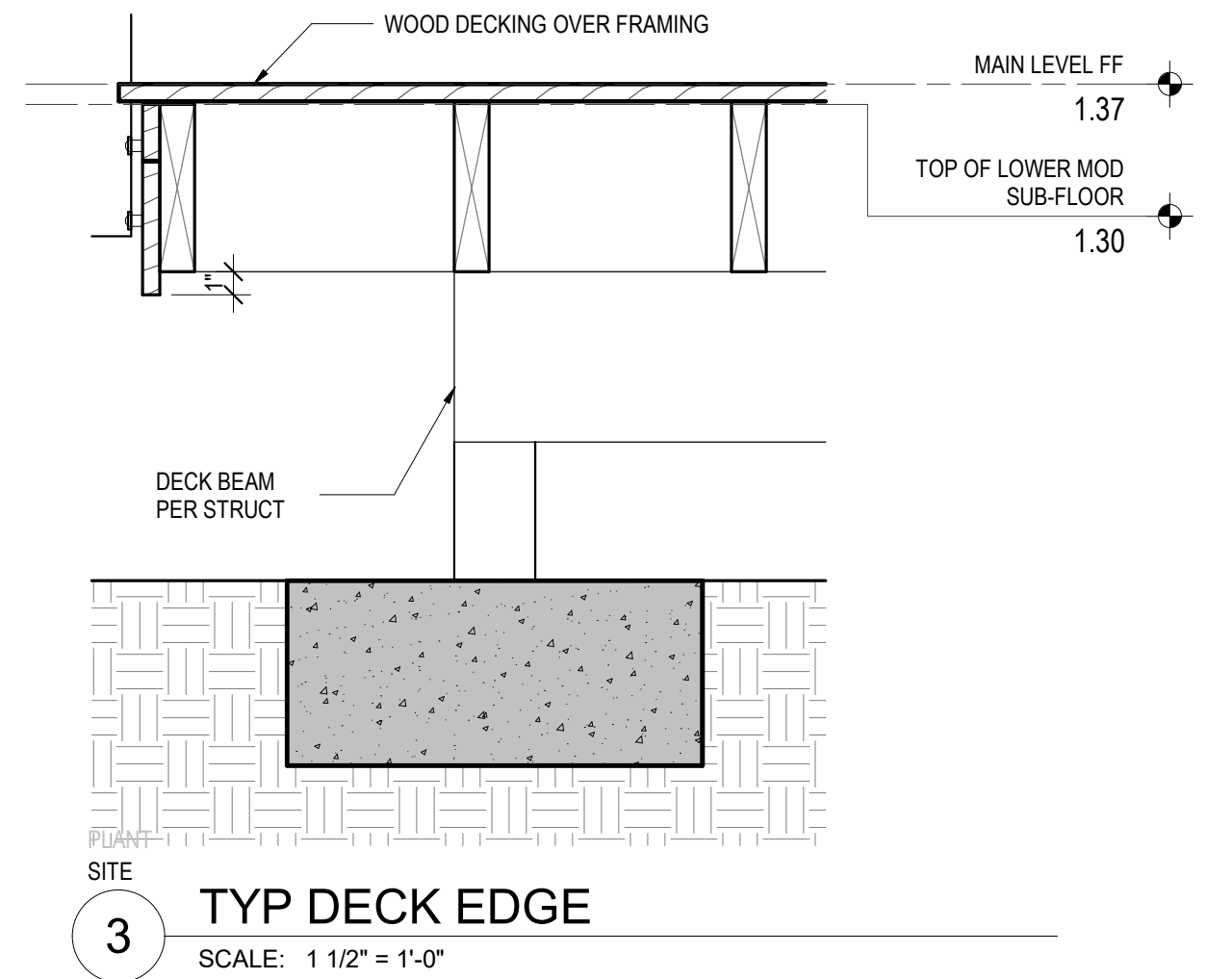
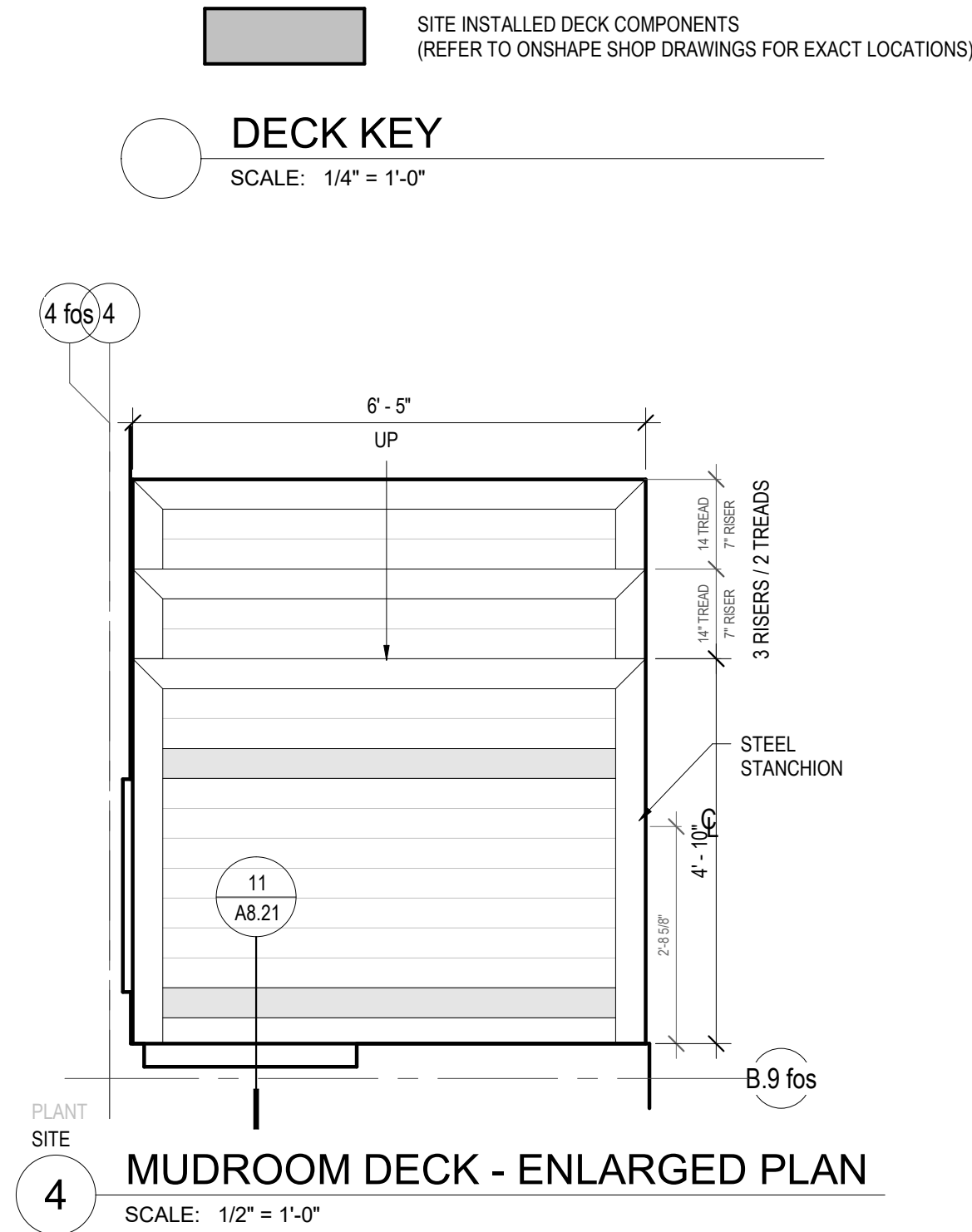
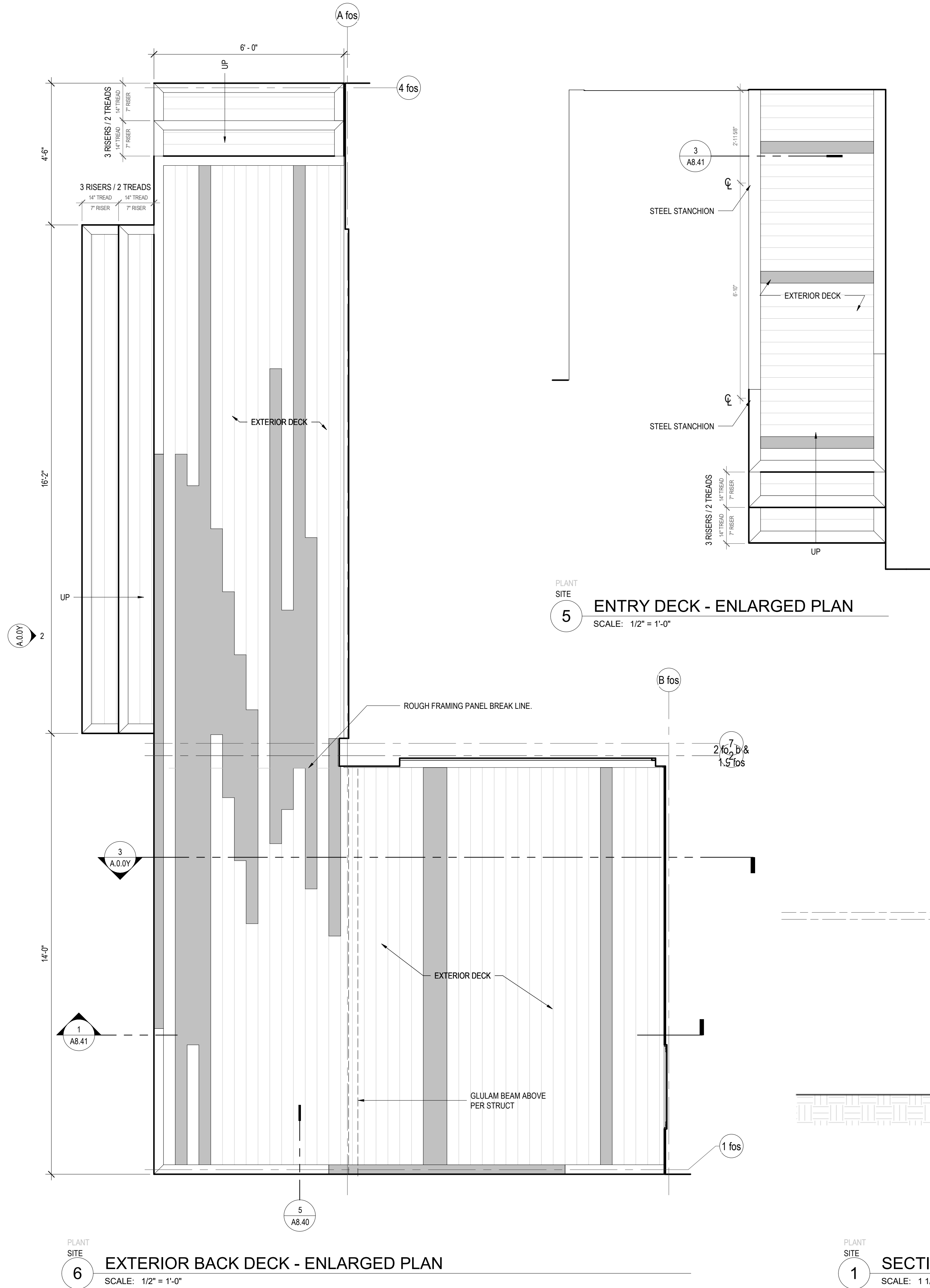
[illegible]

NTA PERMIT SET
07/18/2024

UPPER LEVEL
REFLECTED CEILING
PLAN

A6.20

Autodesk Docs\\Aro Homes Home 1\\Aro Homes AH2_Arch_2025.rvt



AH2
ARO HOMES

Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
3	09/26/2024	NTA REVISION 1.2
2.1	02/06/2025	NTA REVISION 2.1
No.	Date	By

NTA PERMIT SET
07/18/2024

EXTERIOR DETAILS
DECK

A8.41



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

July 10, 2025

Owner: Mid Coast Custom Homes Inc., and Realsmart Group, Inc.
Applicant: John Steadman, Mid Coast Custom
File No: PLN2025-00127
Location: Coronado Avenue, Miramar
APN: 048-024-420
CDRC Meeting: 07/10/2025 - Meeting [Link](#)

Coastside Design Review

The project has been reviewed for compliance with the Design Review Standards for One-Family and Two-Family Residential Development in the Midcoast, County of San Mateo Zoning Regulations October 2023, Chapter 28.1, Section 6565.20.

The Coastside Design Review Committee (CDRC) recommends approval of PLN2025-00127, pursuant to the following:

Findings that satisfy the Standards:

1. Section 6565.20(A) Standards for Design for One-Family and Two-Family Residential Development in the Midcoast.

The CDRC finds that the project is consistent with the design standards set forth for development in the Midcoast. No conditions or additional design recommendations were made.