

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: August 13, 2025

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Design Review Permit and Non-Conforming Use Permit (NCUP), pursuant to Chapters 8.256 and 8.388 of San Mateo Ordinance Code, respectively, to allow a 443 sq. ft. addition and remodel, to an existing 2,048 sq. ft. single-family residence, and replacement of a 341 sq. ft. non-conforming, detached garage with a new 491 sq. ft. garage and roof deck, on a non-conforming, 25.7% slope, 6,158 sq. ft. parcel in Emerald Lake Hills. The applicant seeks a NCUP for 1) 2,491 sq. ft. of floor area where 2,400 sq. ft. is the maximum, 2) lot coverage ratio of 35.7% where 25% is the maximum, 3) side setbacks of 4.25 ft. and 6.67 ft. where a combination of 20 feet is required, and 4) a second-story roof deck in the front setback. In addition, it is recommended that the Planning Commission determine that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301. The addition is 443 square feet to a 2,048 sq. ft. residence, located in an area with all public utilities.

County File Number: PLN2024-00243

PROPOSAL

The applicant proposes a major remodel and addition to an existing non-conforming residence, on a non-conforming parcel, in the community of Emerald Lake Hills. The project includes a 352 sq. ft. addition at the rear of the existing residence, and demolition and replacement of the existing detached garage with a 491 sq. ft. detached garage with a 150 sq. ft. new roof deck within the front setback.

To allow the proposed lot coverage, floor area, side and front setbacks, which are non-compliant with the zoning district standards, the project requires a Non-Conforming Use Permit (NCUP) in addition to a Design Review Permit. The project site is substandard in size and has a slope of 25.7 percent. No tree removal and only minor grading involved.

RECOMMENDATION

1. That the Planning Commission approve the Design Review Permit and Non-Conforming Use Permit for County File Number PLN2024-00243.
2. That the Planning Commission determine that the project is categorically exempt from California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15301.

BACKGROUND

Report Prepared By: Erica D. Adams

Applicant: Jessica Sin

Owner: Player & Pramakhatae Trust

Public Notification: Ten (10) day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing was posted in the San Mateo County Times.

Location: 416 Lakeview Way, Emerald Lake Hills

APN(s): 057-131-060

Size: 6,158 sq. ft.

Existing Zoning: Residential Hillside/Design Review (RH/DR)

General Plan Designation: Medium Low Density Residential

Sphere-of-Influence: City of Redwood City

Existing Land Use: Single-family Residential

Water Supply: City of Redwood City Municipal Water Department

Sewage Disposal: Emerald Lakes Sewer District

Flood Zone: X - Area of Minimal Flood Hazard/Panel 06081C0282E, Effective October 16, 2012

Environmental Evaluation: The project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15301(e), additions to existing structures where the addition will not result in an increase of more than 50 percent of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. The exemption is for an addition of 443 sq. ft. to a 2,048 sq. ft. residence, located in an area with all public utilities.

Setting: The subject parcel is located in the unincorporated San Mateo County area of Emerald Lake Hills, a community of single-family residences. The parcel and surrounding parcels are substandard in size based on slope correlation and the minimum parcel size for the Residential Hillside Zoning District (RH).

Chronology:

<u>Date</u>	<u>Action</u>
1938	- House is constructed.
August 28, 2024	- Planning application submitted.
March 5, 2025	- Project deemed complete.
April 2, 2025	- Project heard at the Emerald Lake Hills Design Review Officer Meeting and recommended for approval.
August 13, 2025	- Planning Commission Hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with General Plan

The General Plan Residential Land Use Policy 8.15 requires land use compatibility which will “Protect and enhance the character of the existing single-family areas”. A project that complies with the Emerald Lake Hills Design Standards (Title 8, Chapter 256, Section 150.C, (8.256.150.C) of the San Mateo County Ordinance conforms to the General Plan Policies 8.15. These policies require structures to promote and enhance good design, as well as improve the appearance and visual character of development in the area by managing the location and appearance of the structure. The project has been reviewed by the Emerald Lake Hills Design Review Officer and has been found to be in compliance with the Design Review Standards for Emerald Lake Hills. A detailed discussion is provided in Section A.3 of this report.

2. Conformance with Zoning

A summary of project conformance with the requirements of the Residential Hillside (RH) Zoning District is provided in the table below:

Development Standard	Zoning Requirements	Existing	Proposed	Compliance
Minimum Building Site Area	22,000 sq. ft. for slope of 25.7%	6,158 sq. ft.	No change	Legal non-conforming
Minimum Building Site Width	50 ft.	32.5 ft.	No change	Legal non-Conforming
Minimum Setbacks Front	20 ft. House 20 ft. Roof deck 0 ft. allowed for garage with min. 14% slope in the front half of the parcel	20 ft. - House 20 ft - Roof Deck 1.25 ft. - Garage	No change 44.1 ft Roof deck 1.1 ft. Garage	Yes . No, Use Permit required for new deck construction. Yes
· Rear	20 ft.	20 ft.	28.75 ft. for house	Yes
· Sides (Garage)	Combined total of 20 feet with a min. of 7.5 ft. on each side	5.25 ft. - Right side 9.4 ft. – Left side	5.25 ft.- Right side 6.67 ft. – Left side	No, Use Permit required for new construction.
Sides (House)	Combined total of 20 feet with a min. of 7.5 ft. on each side	4.25 ft. Right side 9.33 ft. Left side	4.25 ft. Right side 9.25 ft. Left side	No, Use Permit required for new construction.
Maximum Lot Coverage	25% or 1,539.5 sq. ft.	37.6 % 2,313 sq. ft.	35.7 % or 2,201 sq. ft.	No, Use Permit required.
Maximum Building Floor Area	30% or 2,400 sq. ft.	33.2% 2,048 sq. ft.	40.4% or 2,491 sq. ft.	No, Use Permit required.
Maximum Building Height	28 ft.	22 ft.	25.75 ft.	Yes

3. Conformance with the Design Review Regulations

At the April 2, 2025, Emerald Lake Hills Design Review Officer hearing, the project was reviewed by the Design Review Officer (DRO). No members of the public attended the meeting or submitted correspondence. The DRO stated that the project had, for the most part, successfully applied the design standards to the proposed remodel with respect to site planning, facades, colors, materials, and architectural style. The one area of exception pertained to shape and bulk of the structure as indicated by the standard which requires "Control the bulk of buildings on the hillsides by requiring them to be terraced up or down the hill at a uniform height." The DRO recommended that the applicant step the roof deck in at least two feet from the edge of the garage to better comply with this standard. The applicant agreed to the recommendation and revised the plans after the hearing. The revised plans, with the roof deck 3 feet back from the edge of the garage, are included as Attachment C.

4. Conformance with the Use Permit Regulations

Section 8.388.030 of San Mateo Ordinance Code states that proposed development on an improved non-conforming parcel, that does not conform with the zoning regulations currently in effect, shall require the issuance of a use permit. The subject 6,158 sq. ft. parcel has a cross slope of 25.7% and is substantially non-conforming in size. In the RH zoning district, 22,000 sq. ft. is the minimum parcel size for a 25% slope. In addition, the parcel fails to meet the smallest conforming parcel size in the Residential Hillside Zoning District of 12,000 sq. ft. A Non-Conforming Use Permit (NCUP) is required to allow the project as proposed, relative to lot coverage, floor area, side setbacks and the roof deck requirements.

The following is a discussion of project conformance with required findings, per 8.388.030 and 8.388.070 of San Mateo County Code, necessary for the Planning Commission to grant the requested exceptions through the NCUP.

a. The proposed development is proportioned to the size of the parcel on which it is being built.

The existing residence is non-conforming with respect to lot coverage, floor area, and side and front setbacks. The Residential Hillside Zoning District and its standards were adopted in 1978, however, the residence was constructed in 1938 under different zoning standards. The footprint of the proposed residence and garage would be largely unchanged from the existing residence.

To address the limitations faced by small, non-conforming parcels, the RH zoning district allows a floor area of 2,400 square feet. The proposed development exceeds the allowed floor area by 91 sq. ft., an amount often granted by a staff-level permit. Regarding side setbacks, the road frontage of the parcel is only 32 feet, not the required 50 feet, which does not accommodate a two-car garage with conforming side setbacks. To create a twenty-foot-wide garage, one that conforms with the parking standards, the replacement garage would be three feet wider than the existing garage and would also have non-conforming side setbacks.

The parcel's 25.7% percent slope increases the amount of development that must be counted towards lot coverage; however, the proposed roof deck would share the garage's non-conforming side setbacks, and the new stairs, unlike the existing ones, will be less than 18 inches from grade. The deck does not expand the footprint of development nor floor area. In this case, the influence of slope notwithstanding, the proposal would not increase, but would reduce the lot coverage by 2%, or 112 sq. ft., although lot coverage still exceeds the maximum.

The proposed development includes modest changes to existing development which do not greatly increase non-conformities related to floor area and setbacks. The proposed development would be comparable to that found in this neighborhood. Therefore, the proposed development is proportioned to the size of the parcel.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the zoning regulations currently in effect have been investigated and proven to be infeasible.

There are three, substandard-in-size, developed parcels contiguous to the subject parcel. No parcel could participate in a lot line adjustment, as additional non-conformities would be created. There are no feasible options to acquire contiguous land.

- c. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.

As discussed previously, the subject parcel is significantly non-conforming in size, is entirely sloped, and existing development is non-conforming. Due to parcel width, conforming side setbacks are implausible, and the pervasiveness of steep slope on the parcel generally results in taller development which contributes to lot coverage. The proposed development would slightly increase the non-conformity of the project, further reducing side setbacks and

increasing floor area, however, the resulting 2,491 sq. ft. residence is reasonable in size.

Regarding the roof deck, the design was revised from the initial submittal, which was one foot from the property line, to better comply with the design review standards. The current proposal steps in four feet from the front property line and would extend 16 feet into to the front setback. The proposed roof deck allows the use of the flat garage roof as a deck while not adding bulk to the building. Therefore, the development is as nearly in conformance with zoning as reasonably possible.

- d. The establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The proposed design is compatible with the surrounding residences and with the Emerald Lake Hills community. The project has been reviewed for adherence to Emerald Lake Hills Design Review Standards and has been recommended for approval by the Design Review Officer.

The applicant requests to replace the existing garage and roof deck with a bigger garage, resulting in smaller side setbacks and a roof deck, within the 20-foot front setback. The site slopes upward and the roof deck would overlook a downward sloping residence, with minimal impact to neighbor privacy. In addition, the deck will maintain, approximately, a 25-foot elevation difference from the street and, as such, it would not add bulk to the building, nor would it be in discord with the design of the house or the community.

As proposed, the residence would be comparable in size to other residences in the area. Additionally, the project has been reviewed by County Fire and the Department of Public Works and preliminarily approved and conditions of approval have been included in Attachment A. The project is not located in the Coastal Zone and would not impact coastal resources. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

- e. Use permit approval does not constitute a granting of special privileges.

County Ordinance Code Chapter 8.388 allows for development of non-conforming structures with the granting of a Non-Conforming Use Permit. This residence was constructed in 1938, prior to current zoning regulations, where many of the older residences, in close proximity, have approximately 5-foot side setbacks and greater floor area and lot coverage than allowed under the current zoning. The subject parcel's size is nonconforming, the existing structure is non-conforming, the proposed addition to the rear of the residence would comply with current zoning requirements, and the roof deck would have no impact on the community. The resulting 2,491 sq. ft. residence is reasonable in size. The County has granted use permits for similar lot coverage, floor area and setback exceptions for projects under similar circumstances; therefore, the granting of this request would be consistent with use permits granted for other properties in the neighborhood.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15301(e), which includes additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structure before the addition, or 2,500 square feet, whichever is less. The exemption is for an addition of 443 square feet to a 2,048 sq. ft. residence, located in an area with all public utilities.

C. REVIEWING AGENCIES

Building Inspection Section
Building Drainage Section
Department of Public Works
San Mateo County Fire Department

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Assessor's Parcel Map and Vicinity Map
- C. Project Survey and Plans
- D. Use Permit Supporting Statements
- E. Inquiries regarding contiguous parcels

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2024-00243

Hearing Date: August 13, 2025

Prepared By: Erica D. Adams

For Adoption By: Planning Commission

RECOMMENDED FINDINGS

Regarding the Environmental Review, Find:

1. That the project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15301(e), related to additions to existing structures provided that the addition will not result in an increase of more than 50% of the floor area of the structures before the addition, or 2,500 square feet, whichever is less. The exemption is for an addition of 443 sq. ft. to a 2,048 sq. ft. residence, located in an area with all public utilities.

Regarding the Design Review, Find:

2. This project, as designed and conditioned, has been reviewed under and found to be in compliance with the Design Review Standards as stipulated in Chapter 8.256 of the San Mateo County Ordinance Code. The proposal was reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer on April 2, 2025.
3. After consideration of project plans and public testimony, the DRO found that the proposed addition and house remodel, as proposed and conditioned, is in compliance with the Design Review Standards because the project: (a) incorporates materials which comply with the Design Review Standards, and (b) has a building shape which conforms to the natural topography.

Regarding the Non-Conforming Use Permit, Find:

4. That the project complies with the required findings for a Non-Conforming Use Permit per Chapter 8.388 of San Mateo Ordinance Code in that:

- a. The development is proportioned in size, as the lot is 50% smaller than the minimum size per zoning, the setback encroachments are existing, and the lot coverage is for the structure is in part due to the 25.7%. The nonconformities are largely existing, and the footprint of the proposed residence and garage would be largely unchanged.
- b. There are no opportunities to acquire contiguous land. There are three, substandard-in-size, developed parcels contiguous to the subject parcel. No parcel could participate in a lot line adjustment, as additional non-conformities would be created.
- c. As described in Section A.2 of this report, the proposal requires relief from the requirements of the RH Zoning District, as the parcel is greatly non-conforming in width and size, and has slope, creating uneven land throughout the parcel. Taking these constraints into consideration, the proposed development conforms as much as possible with respect to floor area, side setbacks and lot coverage.
- d. The new construction will result in minor increase in the non-conformity of setbacks. The project has been reviewed and recommended for approval by the Emerald Lake Hills Design Review Officer, and no concerns were raised by reviewing agencies. The project will not be detrimental to the public welfare or injurious to property or improvements in the said neighborhood, as the residence has existed in the current location since 1938 with the non-conformities addressed with Use Permit.
- e. The nonconformities are existing and will only be enlarged slightly. Non-Conforming Use Permits are often utilized by property owners to remodel or expand a non-conforming structure. Therefore, exceptions requested are not granting any special privilege and would result in a residence consistent with other houses in the neighborhood.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. The project shall be constructed in compliance with the plans reviewed and approved by the Planning Commission on August 13, 2025. Any changes or revisions to the approved plans shall be submitted for review by the Director of Planning and Building to determine if they are in substantial compliance with the approved plans, prior to being incorporated into the building plans. Adjustments to the design of the project may be approved by the Design Review Officer if they are consistent with the intent of and are in substantial conformance with this approval. Adjustments to the design during the building permit stage may result in the assessment of additional plan resubmittal or revision fees. Alternatively, the Design Review Officer may refer consideration of the adjustments, if they are

deemed to be major, to a new DRO public hearing which requires payment of an additional fee of \$3,770 (base fee).

2. The Design Review Permit and Non-Conforming Use Permit shall be valid for five years from the date of final approval, in which time a building permit shall be issued, and a completed inspection (to the satisfaction of the building inspector) shall have occurred within 180 days of its issuance. The design review approval may be extended by one, 1-year increment with submittal of an application for permit extension and payment of applicable extension fees sixty days prior to the expiration date.
3. The approved exterior colors and materials shall be verified prior to final approval of the building permit. The applicant shall provide photographs to the Design Review Officer to verify adherence to this condition prior to a final building permit approval by the Current Planning Section.
4. No significant or protected trees are approved for removal. Trees designated to remain shall be protected from damage during construction. Any tree removal is subject to the San Mateo County Protected Tree Ordinance and will require a separate permit for removal.
5. The applicant shall include an erosion and sediment control plan to comply with the County's Erosion Control Guidelines on the plans submitted for the building permit. This plan shall identify the type and location of erosion control measures to be installed upon the commencement of construction in order to maintain the stability of the site and prevent erosion and sedimentation off-site.
6. A Tree Protection Plan, compliant with Section 8.400.120 of the San Mateo County Protected Tree Ordinance shall be included in the building plan set. The plan should incorporate recommendations from the project arborist and County standards. Link to the San Mateo County Protected Tree Ordinance: <https://sanmateocountytrees.org/wp-content/uploads/2024/11/Ordinance-4895.pdf>
7. Prior to the Current Planning Section approval of the building permit application, the applicant shall also have the licensed land surveyor or engineer indicate on the construction plans: (1) the natural grade elevations at the significant corners of the proposed structure, (2) the finished floor elevations, (3) the topmost elevation of the roof, and (4) the garage slab elevation must be shown on the plan, elevations, and cross-section (if one is provided).
8. Once the building is under construction, prior to the below floor framing inspection or the pouring of the concrete slab (as the case may be) for the lowest floor(s), the applicant shall provide to the Building Inspection Section a letter from the licensed land surveyor or engineer certifying that the lowest floor height, as constructed, is equal to the elevation specified for that floor in the approved plans. Similarly,

certifications on the garage slab and the topmost elevation of the roof are required.

9. If the actual floor height, garage slab, or roof height, as constructed, is different than the elevation specified in the plans, then the applicant shall cease all construction and no additional inspections shall be approved until a revised set of plans is submitted to and subsequently approved by both the Building Official and the Director of Planning and Building.
10. The applicant shall adhere to all requirements of the Building Inspection Section, the Department of Public Works, and County Fire Department.
11. No site disturbance shall occur, including any grading or vegetation removal, until a building permit has been issued.
12. To reduce the impact of construction activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles impede through traffic along the right-of-way on Lakeview Way. All construction vehicles shall be parked on-site outside the public right-of-way or in locations which do not impede safe access on Lakeview Way. There shall be no storage of construction vehicles in the public right-of-way.
13. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays, and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).

County Fire Department

14. All fire conditions and requirements must be incorporated into your building plans, (see below conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect, and engineer of these requirements.

15. New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the San Mateo County Fire Department. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.
16. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
17. Curbs along fire access lanes shall be painted traffic red. Such curbs shall have the words "FIRE LANE" stenciled every 75 feet on both the face and top edge of the curbs. The stenciled letters shall be a minimum of three inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color. Fire access lanes not having curbs shall either be provided with a twelve-inch-wide painted red stripe along the edge or provided with signs, as directed by the Fire Code Official, along the fire access lane at a maximum spacing of seventy-five feet. Fire lanes utilizing the painted stripe shall have stenciled on the red stripe the words "FIRE LANE" each seventy-five feet. The stenciled letters shall be a minimum of three inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color.
18. The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004. FIRE CHIEF NATHAN ARMSTRONG ASSISTANT CHIEF JONATHAN COX FIRE MARSHAL PATRICK GRIFFIN DEPUTY FIRE MARSHALS JOHN RIDDELL AUSTIN SEELY CLINTON DYER TYLER STURM JORDAN MOTTA 320 Paul Scannell Drive, San Mateo,
19. When required by the San Mateo County Fire Department, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
20. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system

installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).

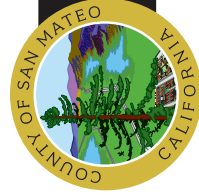
21. Listed single- and multiple-station smoke alarms complying with UL 217 shall be installed in accordance with Sections 907.2.11.1 through 907.2.11.7 and NFPA 72. Exception: For Group R occupancies. A fire alarm system with smoke detectors located in accordance with this section may be installed in lieu of smoke alarms. Upon actuation of the detector, only those notification appliances in the dwelling unit or guest room where the detector is actuated shall activate.
22. Single or multiple-station smoke alarms shall be installed and maintained in Groups R-2, R-2.1, R-2.2, R-3, R-3.1 and R-4 regardless of occupant load at all of the following locations: a. On the ceiling or wall outside of each separate sleeping area in the immediate vicinity of bedrooms. b. In each room used for sleeping purposes. c. In each story within a dwelling unit, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level. d. In a Group R-3.1 occupancies, in addition to the above, smoke alarms shall be provided throughout the habitable areas of the dwelling unit except kitchens. 9. CFC 2022 Section 1031.3.1 - Emergency escape and rescue openings shall have a minimum net clear opening of 5.7 square feet (0.53 m²). Exception: The minimum net clear opening for grade-floor emergency escape and rescue openings shall be 5 square feet (0.46 m²).
23. The minimum net clear opening height dimension shall be 24 inches (610 mm). The minimum net clear opening width dimension shall be 20 inches (508 mm). The net clear opening dimensions shall be the result of normal operation of the opening.
24. Emergency escape and rescue openings shall have the bottom of the clear opening not greater than 44 inches (1118 mm) measured from the floor.
25. Where a door is provided as the required emergency escape and rescue opening, it shall be a swinging door or a sliding door.
26. Not less than one egress door shall be provided for each dwelling unit. The egress door shall be side-hinged and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other doors shall not be required to comply with these minimum dimensions. Egress doors shall be readily openable from inside the dwelling without the use of a key or special knowledge or effort.

27. Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.
28. The entire roof covering of every existing structure where more than 50 percent of the total roof area is replaced within anyone-year period, the entire roof covering of every new structure, and any roof covering applied in the alteration, repair or replacement of the roof of every existing structure, shall be a fire-retardant roof covering that is at least Class C.
29. Weeds, grass, vines, or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
30. Hazardous vegetation and fuels shall be managed to reduce the severity of potential exterior wildfire exposure to buildings and to reduce the risk of fire spreading to buildings as required by applicable laws and regulations. Defensible space will be managed around all buildings and structures in State Responsibility Areas (SRA) as required in Public Resources Code 4291.
31. Buildings and structures located in the following areas shall maintain the required hazardous vegetation and fuel management: a. All unincorporated lands designated by the State Board of Forestry and Fire Protection as a State Responsibility Area (SRA). b. Land designated as a Very High Fire Hazard Severity Zone by the Director. c. Land designated in ordinance by local agencies as a Very High Fire Hazard Severity Zone pursuant to Government Code Section 51179.
32. Gates shall be a minimum of 2-feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15½-feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by San Mateo County Fire Department. Gates providing Fire access to a driveway or other roadway shall be located at least 35-feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.
33. Construction, projections, openings, and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings and accessory buildings equipped throughout with an automatic sprinkler system installed in accordance with Section R313 shall comply with Table R302.1(2).
Exceptions:

- a. Walls, projections, openings, or penetrations in walls perpendicular to the line used to determine the fire separation distance.
- b. Walls of individual dwelling units and their accessory structures located on the same lot.
- c. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line.
- d. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm).
- e. Foundation vents installed in compliance with this code are permitted.

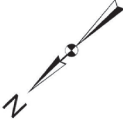
Drainage Section

34. Project shall comply with County Drainage Manual to prevent stormwater from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the building permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
35. A final C.3 and C.6 Development Review Checklist (Effective date of 07/01/23), a final drainage plan, and a final drainage analysis/drainage report/prescriptive sizing handout shall be submitted at the time of building permit submittal.
36. Advisory Comment: Based on the information received, this project is classified as "Basic" or "Prescriptive" drainage project. It is possible that new or additional information provided upon the next submittal could advance the project classification. To avoid delays or additional plan review cycles, please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B

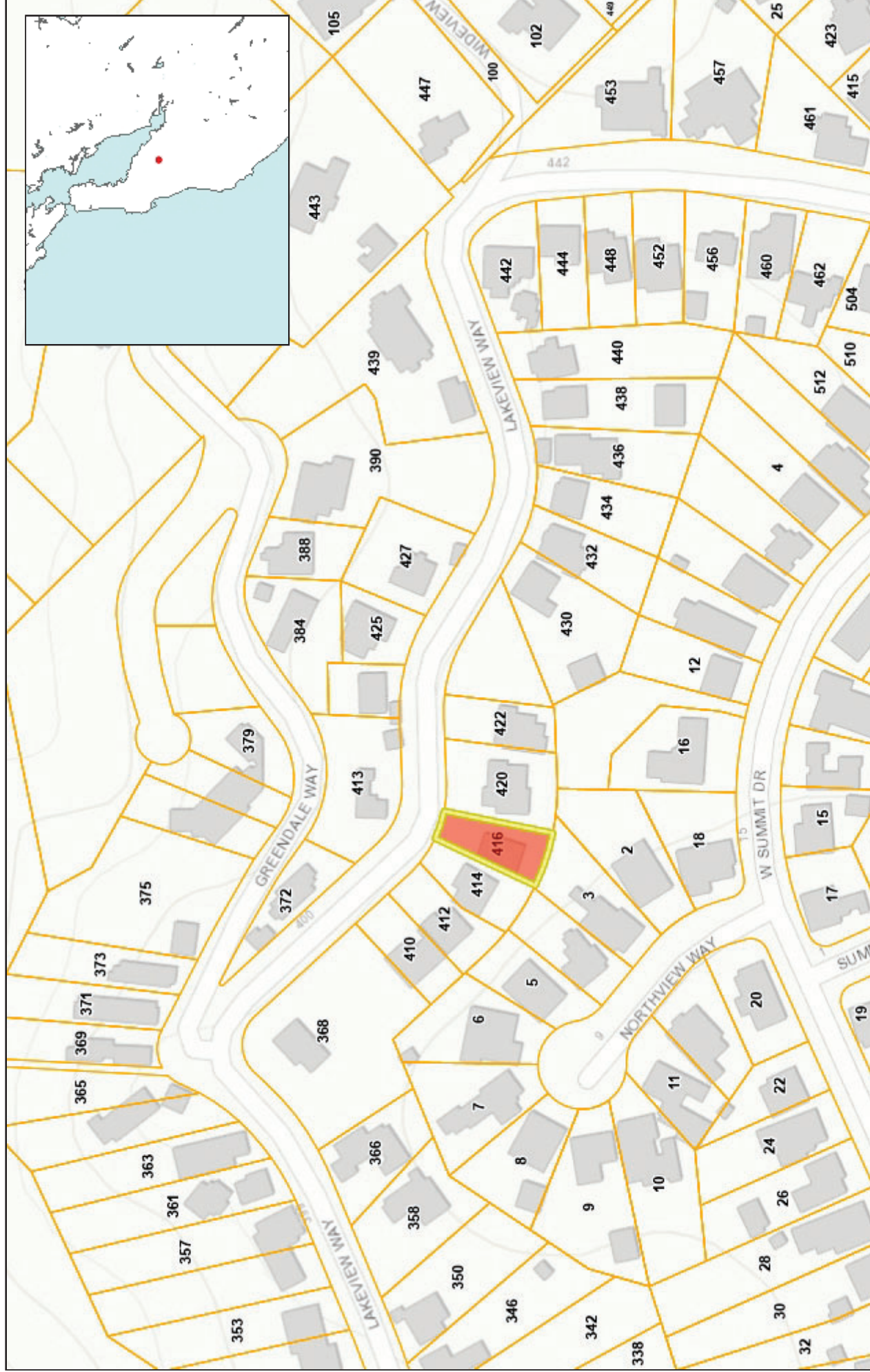
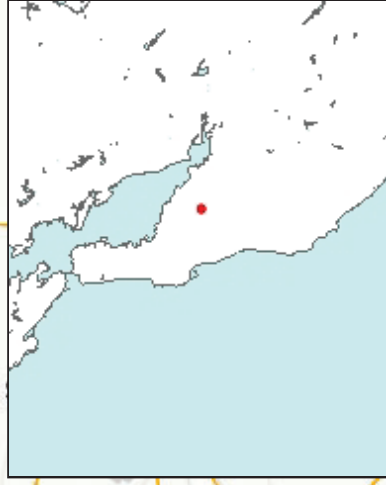


- 4 PARCEL MAP VOL. 26/4
- 3 EMERALD LAKE HEIGHTS PTN. OF RSM 26/37-38
- 2 FAIRWAYS OF EMERALD LAKE SUB. NO. 2 RSM 12/59
- 1 FAIRWAY OF EMERALD PARK SUB. 1 PTN. OF RSM 12/32



San Mateo County

416 Lakeview Way, San Mateo County



0.07

0

0.04

0.07 Miles



1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

WGS_1984_Web_Mercator_Auxiliary_Sphere
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COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

416 LAKEVIEW WAY

EMERALD HILLS, CA 94062



ARCHITECTURE + INTERIORS

EMERALD HILLS, CA 94062

416 LAKEVIEW WAY

APR 5, 2024 PLANNING SUBMITTAL
 JUN. 22, 2024 PLANNING RE-AMENDMENT
 JAN. 27, 2025 PLANNING RE-AMENDMENT



A0.0

COVER SHEET

DRAWING SHEET INDEX	PROJECT TEAM	PROJECT SUMMARY	GENERAL NOTES
<p>ARCHITECTURAL: A1.0 COVER SHEET A1.1 EXISTING AND PROPOSED EXTERIOR VIEW A1.2 EXISTING REPORT A1.3 ARBORIST REPORT 2 A1.4 ARBORIST REPORT 3 A1.5 PROPOSED SITE PLAN A1.6 PROPOSED ROOF PLAN A1.7 PROPOSED FLOOR AREA CALCULATION A1.8 PROPOSED FIRST AND SECOND FLOOR PLAN (DEMO PLAN) A2.0 EXISTING FIRST AND SECOND FLOOR PLAN A2.1 PROPOSED SECOND FLOOR A2.2 PROPOSED FIRST FLOOR AND GARAGE PLAN A3.1 EXISTING ELEVATIONS 1 A3.2 PROPOSED ELEVATIONS 2 A3.3 PROPOSED ELEVATIONS 2 A3.4 SECTIONS</p> <p>SURVEY: SU-1 TOPOGRAPHIC AND BOUNDARY SURVEY</p> <p>CIVIL: C-1 TITLE SHEET C-2 GRADING & DRAINAGE PLAN C-3 SECTION C-4 DETAILS C-5 EROSION CONTROL PLAN C-6 EROSION CONTROL PLAN C-7 SAN MATEO COUNTY BMPs C-8 PROPOSED SWALE AREAS EXHIBIT C-9 DRAINAGE MANAGEMENT AREAS</p>	<p>ARCHITECT: JESSICA SIN JSD ARCHITECTURE + INTERIORS 1500 BIRCH STREET REDWOOD CITY CA 94061 JSD@JESSICASINDSIGN.COM 650-208-4608</p> <p>SURVEY: BRIAN CASS NORTHSTAR SURVEY brian@nstarsurvey.net 689-250-7429</p> <p>CIVIL: L.WADE HAMMOND CIVIL ENGINEERING AND LAND SURVEYING 1330 EL CAMINO REAL, SUITE C NEWARK, CA 94560 wade@civilandsurveyor.com (510) 579-8112</p> <p>GEOTECH: TOM W. PORTER ROMIG ENGINEERS, INC. 1390 EL CAMINO REAL, 2ND FLOOR SAN CARLOS, CA 94070 tom@romigengineers.com (650) 391-5224</p> <p>ARBORIST: NICHOLAS WAGES I.S.A. T.R.A. Q. CERTIFIED ARBORIST #MW-5867A Baha.nwages@gmail.com (408)506-2851</p>	<p>ARCHITECT: JESSICA SIN JSD ARCHITECTURE + INTERIORS 1500 BIRCH STREET REDWOOD CITY CA 94061 JSD@JESSICASINDSIGN.COM 650-208-4608</p> <p>SURVEY: BRIAN CASS NORTHSTAR SURVEY brian@nstarsurvey.net 689-250-7429</p> <p>ARBORIST: NICHOLAS WAGES I.S.A. T.R.A. Q. CERTIFIED ARBORIST #MW-5867A Baha.nwages@gmail.com (408)506-2851</p>	<p>1. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE SELECTION OF MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OF THE PROJECT. NEITHER THE OWNER NOR THE ARCHITECT IS RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO FOLLOW THE PROPER SAFETY PROCEDURES.</p> <p>2. ALL CODES HAVING JURISDICTION ARE HEREBY MADE A PART OF THIS DOCUMENT AND ARE TO BE STRICTLY OBSERVED BY THE CONTRACTOR IN THE CONSTRUCTION OF THE PROJECT. IN THE EVENT OF CONFLICT BETWEEN THESE DOCUMENTS AND THE CODE, THE CODE SHALL PREVAIL. ANY CONFLICT OR DISCREPANCY SHALL BE BROUGHT IMMEDIATELY TO THE ATTENTION OF THE ARCHITECT.</p> <p>3. ALL WORK TO BE ACCEPTABLE MUST BE IN COMPLIANCE WITH THESE DRAWINGS AND SPECIFICATIONS AND MUST BE OF A QUALITY EQUAL TO OR BETTER THAN THE STANDARD OF THE TRADE. FINISHED WORKS SHALL BE FIRM, LEVEL, AND LEVEL-ANCHORED, IN TRUE ALIGNMENT, PLUMB, AND LEVEL, WITH A SMOOTH, CLEAN, UNIFORM APPEARANCE.</p> <p>4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE PROTECTION AGAINST WEATHER, RAIN, WINDSTORMS, OR HEAT TO MAINTAIN ALL WORK, MATERIALS, EQUIPMENT, AND APPARATUS FREE FROM INJURY OR DAMAGE.</p> <p>5. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND EXAMINE THE NATURE OF THE EXISTING CONDITIONS AND ALL OTHER CONDITIONS RELEVANT TO THE SATISFACTORY COMPLETION OF THE PROJECT. SUBMISSION OF A BID FOR CONSTRUCTION SHALL BE CONSIDERED EVIDENCE OF SUCH EXAMINATION BY THE CONTRACTOR.</p> <p>6. BEFORE ORDERING MATERIAL OR COMMENCING WORK WHICH IS DEPENDENT ON THE PROPER SIZE AND INSTALLATION UPON COORDINATION WITH CONDITIONS IN THE BUILDING, THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE CORRECTNESS. ANY DISCREPANCIES BETWEEN THE DOCUMENTS AND THE EXISTING CONDITIONS SHALL BE REFERRED TO THE ARCHITECT FOR ADJUSTMENTS BEFORE ANY WORK BEGINS OR MATERIALS ARE PURCHASED.</p> <p>7. MATERIALS, PRODUCTS, AND EQUIPMENT SHALL ALL BE NEW EXCEPT AS SPECIFICALLY NOTED OTHERWISE.</p> <p>8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER STORING OF ALL DEBRIS IN A LOCATION OF THE PROPERTY APPROVED BY THE OWNER AND SHALL REMOVE THE SAME PROMPTLY DURING THE ENTIRE COURSE OF WORK.</p> <p>9. THE CONTRACTOR SHALL REMOVE FROM THE SITE ALL EXISTING CONSTRUCTION AND IMPROVEMENTS NECESSARY FOR THE COMPLETION OF THE PROJECT. PROTECTION FROM DAMAGE OR INJURY TO ALL EXISTING TREES, LANDSCAPING, AND IMPROVEMENT INDICATED BY THE DRAWINGS.</p> <p>10. EXCAVATE ALL FOOTINGS AS NECESSARY, INDICATED ON THE DRAWINGS, TO REACH SOLID, UNDISTURBED SOIL. BOTTOMS FOR EXCAVATIONS SHALL BE LEVEL, CLEAN, AND DRY AT THE ELEVATIONS INDICATED ON THE STRUCTURAL DRAWINGS.</p> <p>11. PROVIDE FINISH GRADES TO DRAIN AWAY FROM THE FOUNDATIONS ON ALL SIDES OF THE BUILDING. IF THERE ARE EXTERIORS IMPROVEMENTS.</p> <p>12. THE CONTRACTOR IS TO PRECISELY LOCATE ALL UTILITIES BEFORE ANY CONSTRUCTION AND/OR EXCAVATION.</p> <p>13. SEE STRUCTURAL DRAWINGS FOR REQUIRED SPECIAL INSPECTIONS.</p>
<p>RENDERING OF PROPOSED FRONT ELEVATION</p> 	<p>PROJECT DESCRIPTION</p> <p>FIRST AND SECOND STORY ADDITION AND REMODEL OF AN EXISTING TWO STORY RESIDENCE AND A GARAGE. THE PROJECT ALSO INCLUDES DEMOLITION OF OTHER CHANGES. THE GARAGE WILL BE 5'0" DEEP FROM THE FACE OF THE GARAGE FRONT WALL.</p> <p>ADDITION TO INCLUDE A NEW LOCATION FOR BEDROOMS 2 & 3 ON THE SECOND FLOOR.</p> <p>INTERIOR REMODEL TO INCLUDE RECONFIGURATION OF THE LIVING ROOM, DINING ROOM, KITCHEN, STAIRS AND CONVERSION OF UTILITY TO POWDER ROOM ON THE FIRST FLOOR.</p> <p>INTERIOR REMODEL ALSO INVOLVES RECONFIGURATION OF THE PRIMARY BEDROOM TO INCLUDE ENSUITE BATH AND CLOSET AND BATH 2 ON THE SECOND FLOOR.</p> <p>THIS PROJECT ALSO INCLUDES DEMOLITION OF EXISTING COOP AND REMODEL OF EXISTING STEPS BESIDE THE GARAGE AT THE FRONT.</p>	<p>APPLICABLE CODES</p> <p>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN) 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2022 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS</p>	<p>VICINITY MAP</p> 
<p>PROJECT SUMMARY</p> <p>APN#: 057-131-060 ZONING: RH/DR CONSTRUCTION TYPE: V-8 LOT SIZE: 6,158 SF 28'-0" MAX HEIGHT: 10'-0" PROPOSED HEIGHT: 425'-8 3/4"</p> <p>SETBACKS: FRONT: 20'-0" REAR: 20'-0" 20'-0" - 7'-6" MINIMUM</p> <p>PARKING: (2) COVERED PARKING SPACE IN GARAGE</p> <p>MAX. FLOOR AREA ALLOWANCE: MAX. FA: 30% OR 2,400 WHICH EVER IS GREATER MAX. FA = 2,400 SF</p> <p>EXISTING FLOOR AREA: (E) FIRST FLOOR AREA: 41,088 SF (E) SECOND FLOOR AREA: 4,618 SF (E) GARAGE: 4,341 SF</p> <p>TOTAL EXISTING FLOOR AREA: 50,047 SF</p> <p>PROPOSED FLOOR AREA: (E) FIRST FLOOR AREA: 41,088 SF (E) SECOND FLOOR AREA: 4,569 SF (N) SECOND FLOOR ADDITION: 3,352 SF (N) GARAGE: 4,491 SF</p> <p>TOTAL PROPOSED FLOOR AREA: 53,499 SF</p> <p>MAX. LOT COVERAGE: (E) 15% (E) 25% (E) 25% (E) 25%</p> <p>EXISTING LOT COVERAGE: (E) HOUSE: 1,088 SF (E) 2ND FLOOR OVERHANG: 450 SF</p> <p>(E) ENTRY DECK > 18" ABOVE GRADE (SUBTRACTING 2ND FLOOR OVERHANG OVERLAP): 428 SF</p> <p>(E) TRELIS RIGHT SIDE OF THE HOUSE: 486 SF (E) TRELIS REAR SIDE OF THE HOUSE: 1,166 SF (E) ROOF OVERHANG > 2' AT REAR: 1,005 SF (E) DECK COVER GARAGE NOT OVERLAPPING: 3,341 SF (E) COOP: 1,150 SF (E) 459 SF (E) DECK AT WEST SIDE OF THE HOUSE 4,199 SF</p> <p>TOTAL EXISTING LOT COVERAGE: 22,313 SF (37.50%)</p> <p>PROPOSED LOT COVERAGE: (E) HOUSE: 1,088 SF (E) 2ND FLOOR OVERHANG: 450 SF (E) ENTRY DECK > 18" ABOVE GRADE (SUBTRACTING 2ND FLOOR OVERHANG OVERLAP): 428 SF (N) 2ND FLOOR BALCONY (SUBTRACTING (E) ENTRY DECK OVERLAP): 434 SF (E) 2ND FLOOR ROOF OVERHANG > 2' AT REAR: 1,779 SF (N) GARAGE: 4,491 SF (N) DECK AND ROOF (N) GARAGE NO DECK OVERLAPPING: 472 SF (E) COOP: 459 SF (E) DECK AT WEST SIDE OF THE HOUSE 4,199 SF</p> <p>TOTAL PROPOSED LOT COVERAGE: 2,201 SF (35.74%)</p>	<p>PROJECT DESCRIPTION</p> <p>FIRST AND SECOND STORY ADDITION AND REMODEL OF AN EXISTING TWO STORY RESIDENCE AND A GARAGE. THE PROJECT ALSO INCLUDES DEMOLITION OF OTHER CHANGES. THE GARAGE WILL BE 5'0" DEEP FROM THE FACE OF THE GARAGE FRONT WALL.</p> <p>ADDITION TO INCLUDE A NEW LOCATION FOR BEDROOMS 2 & 3 ON THE SECOND FLOOR.</p> <p>INTERIOR REMODEL TO INCLUDE RECONFIGURATION OF THE LIVING ROOM, DINING ROOM, KITCHEN, STAIRS AND CONVERSION OF UTILITY TO POWDER ROOM ON THE FIRST FLOOR.</p> <p>INTERIOR REMODEL ALSO INVOLVES RECONFIGURATION OF THE PRIMARY BEDROOM TO INCLUDE ENSUITE BATH AND CLOSET AND BATH 2 ON THE SECOND FLOOR.</p> <p>THIS PROJECT ALSO INCLUDES DEMOLITION OF EXISTING COOP AND REMODEL OF EXISTING STEPS BESIDE THE GARAGE AT THE FRONT.</p>	<p>APPLICABLE CODES</p> <p>2022 CALIFORNIA BUILDING CODE 2022 CALIFORNIA RESIDENTIAL CODE 2022 CALIFORNIA MECHANICAL CODE 2022 CALIFORNIA PLUMBING CODE 2022 CALIFORNIA ELECTRICAL CODE 2022 CALIFORNIA GREEN BUILDING CODE (CALGREEN) 2022 CALIFORNIA FIRE CODE (WITH LOCAL AMENDMENTS) 2022 STATE OF CALIFORNIA TITLE 24 ENERGY REGULATIONS</p>	<p>VICINITY MAP</p> 



ARCHITECTURE + INTERIORS

416 LAKEVIEW WAY

EMERALD HILLS, CA 94062

JAN. 27, 2025 PLANNING RE-SUBMITTAL
JUN. 22, 2024 PLANNING RE-SUBMITTAL
APR. 5, 2024 PLANNING SUBMITTAL



A0.1

EXISTING AND PROPOSED
EXTERIOR VIEWS



2 PROPOSED FRONT VIEW
NOT TO SCALE



1 EXISTING FRONT VIEW
NOT TO SCALE



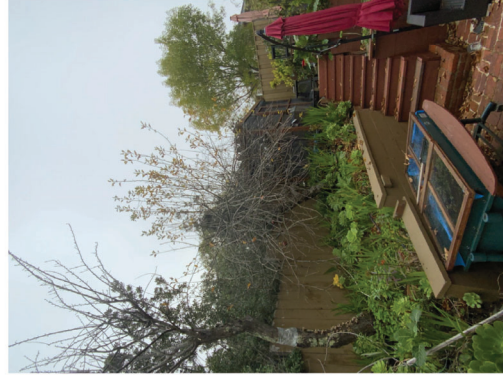
Tree 2



Tree 4-5



Tree 1



Tree 2



APPENDIX B: TREE PHOTOGRAPH





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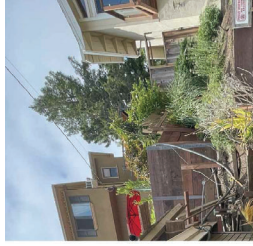
EMERALD HILLS, CA 94062

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APR 5, 2024 PLANNING SUBMITTAL

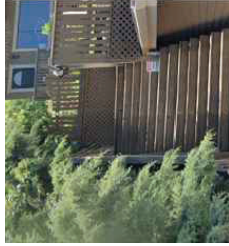


A1.0

EXISTING SITE PLAN



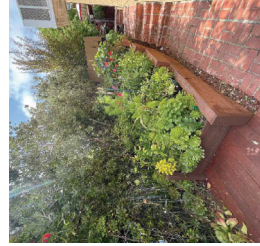
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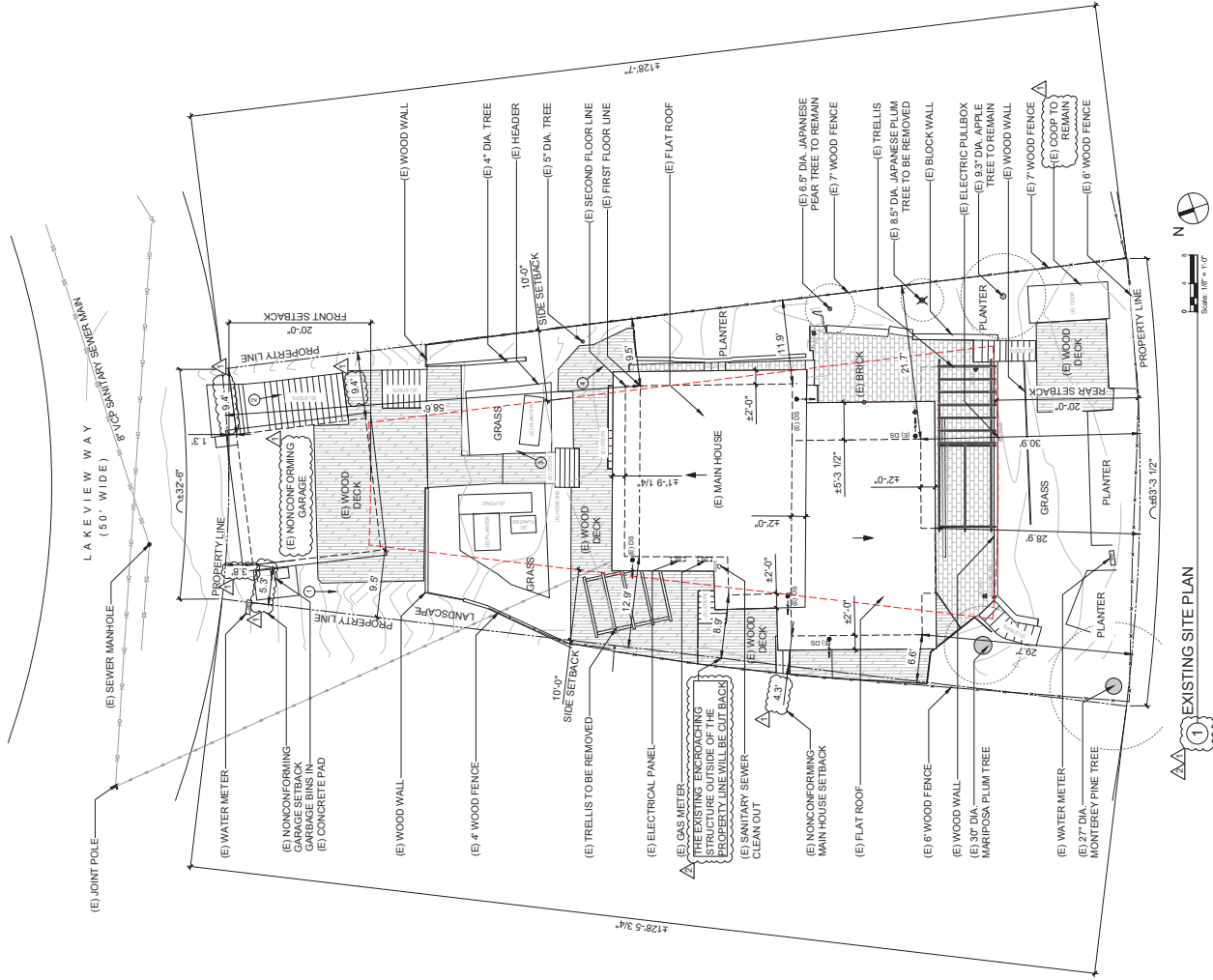
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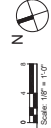
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(E) SIDE PROPERTY PHOTOS

NOTE 1:
PLEASE REFER TO SURVEY ON SHEET
SI-01 IN DRAWING SET FOR DETAILED
SITE INFO.



1 EXISTING SITE PLAN





416 LAKEVIEW WAY

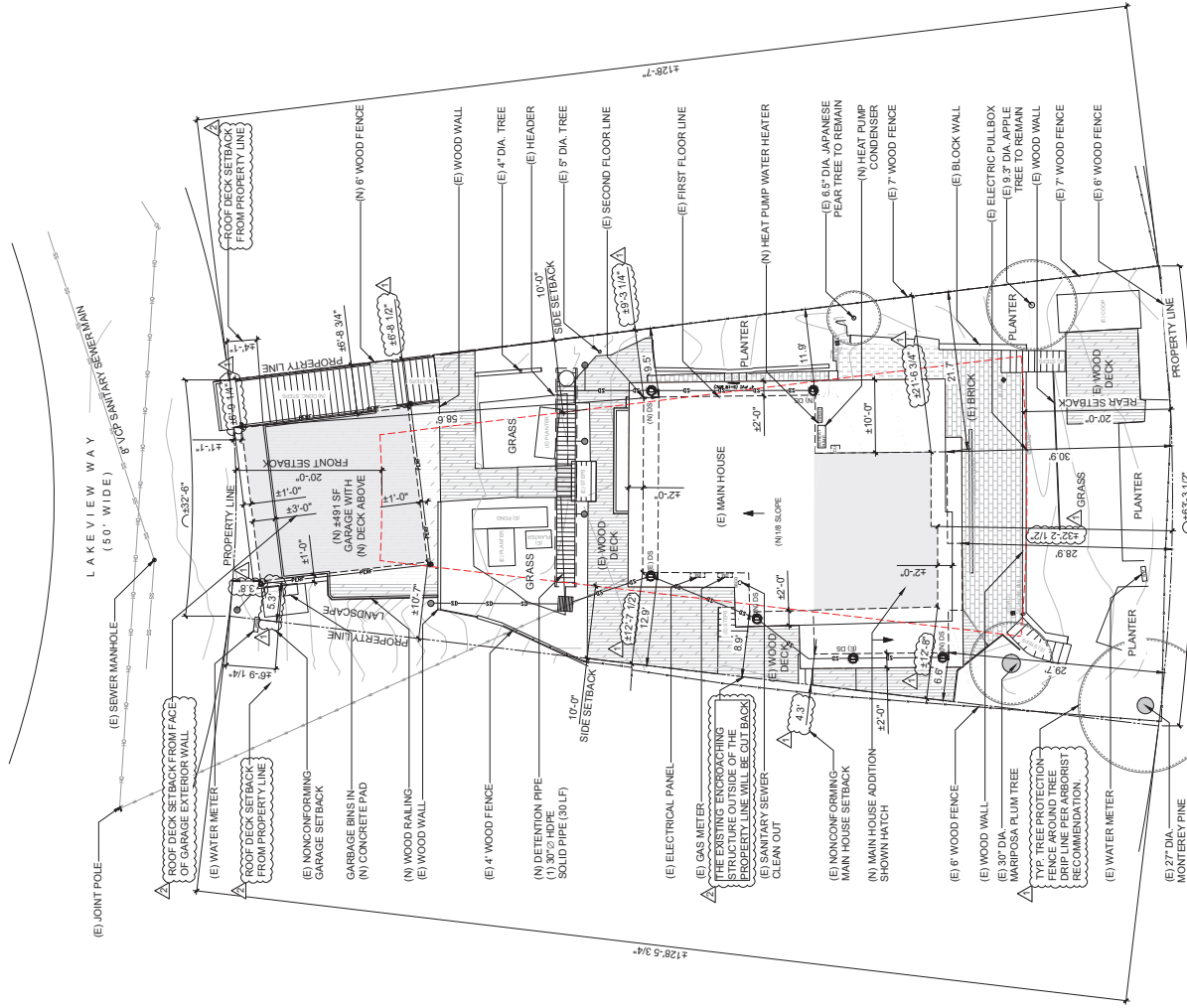
EMERALD HILLS, CA 94062

JUN. 27, 2023 PLANNING RECOMMENDATION
JUN. 22, 2024 PLANNING RECOMMENDATION
APR. 5, 2024 PLANNING SUBMITTAL



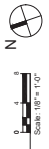
A1.1

PROPOSED SITE PLAN



NOTE 1:
INSTALL TREE PROTECTION FENCING AROUND TREES TO BE MAINTAINED. CANOPIES AND ADHERE TO TREE PROTECTION RECOMMENDATIONS BY THE ARBORIST.

NOTE 2:
PLEASE REFER TO SURVEY ON SHEET S1.01 IN DRAWING SET FOR DETAILED SITE INFO.



PROPOSED SITE PLAN

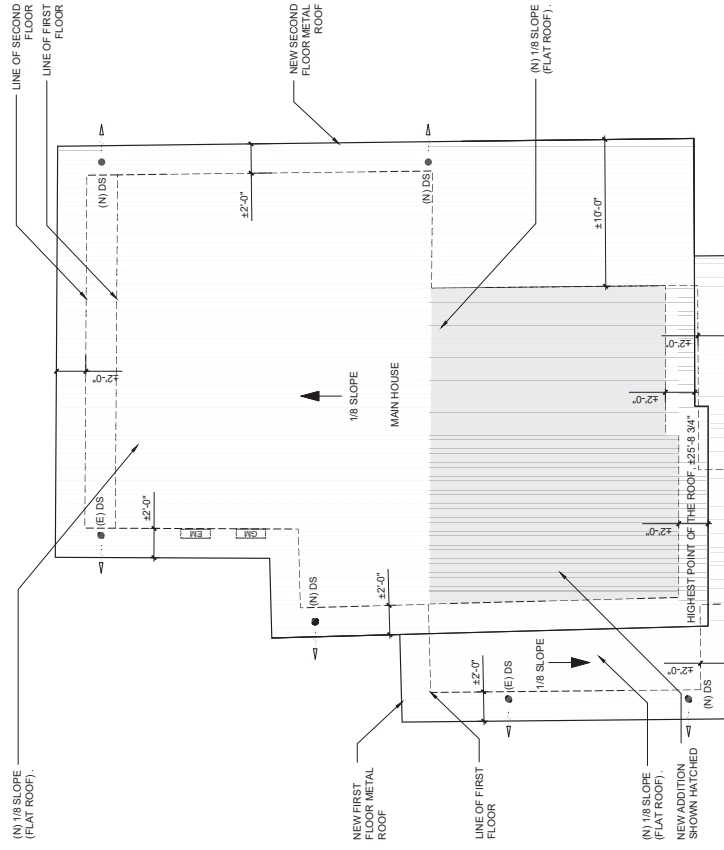


416 LAKEVIEW WAY

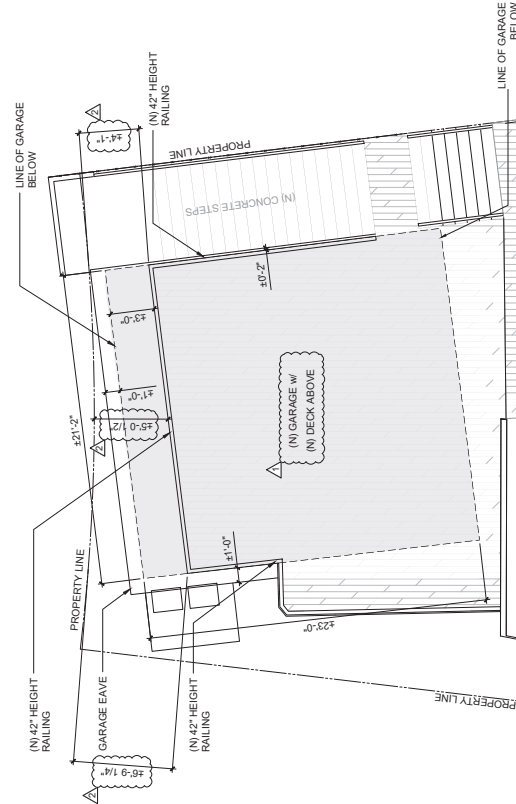
JAN. 27, 2023 PLANNING REUBMITTAL
JUN. 22, 2024 PLANNING REUBMITTAL
APR. 5, 2024 PLANNING SUBMITTAL



A1.2



1 PROPOSED MAIN HOUSE ROOF PLAN
Scale: 1/4" = 1'-0"



2 PROPOSED GARAGE ROOF PLAN
Scale: 1/4" = 1'-0"



ARCHITECTURE + INTERIORS

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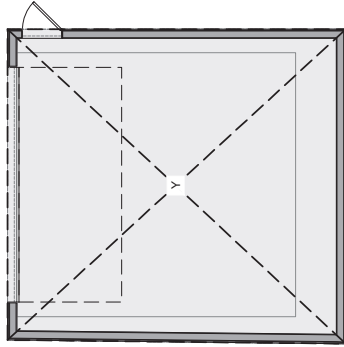
EMERALD HILLS, CA 94062

JAN 27, 2024 PLANNING SUBMITTAL
JUN 22, 2024 PLANNING SUBMITTAL
APR 5, 2024 PLANNING SUBMITTAL

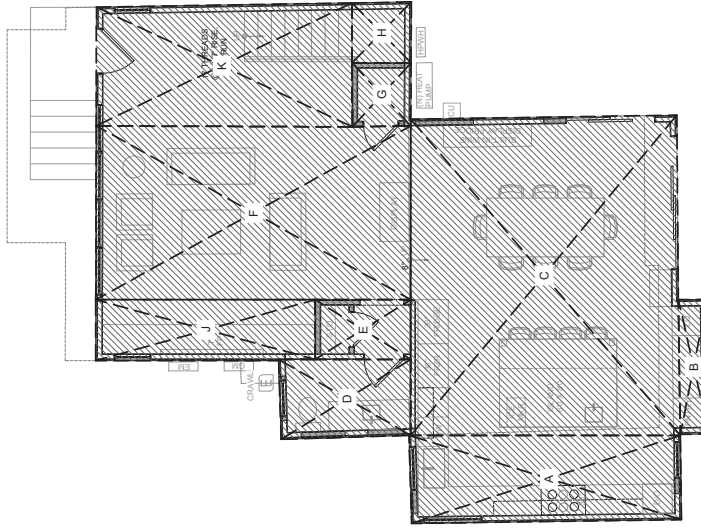


A1.3

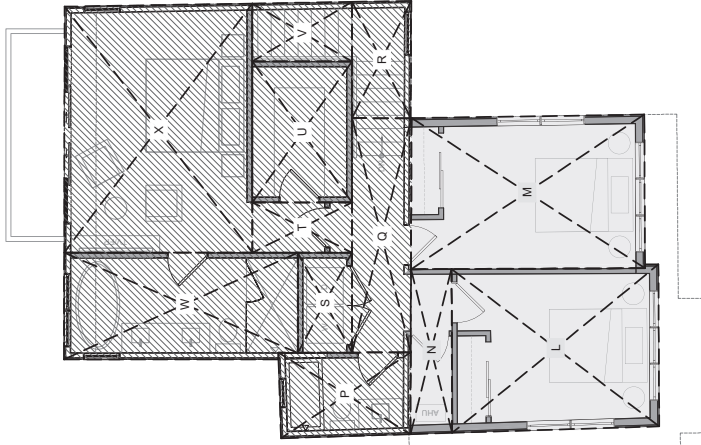
PROPOSED FLOOR AREA
CALCULATION



3 PROPOSED GARAGE FLOOR PLAN AREA CALCULATION
Scale: 1/8" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN AREA CALCULATION
Scale: 1/8" = 1'-0"



2 PROPOSED SECOND FLOOR PLAN AREA CALCULATION
Scale: 1/8" = 1'-0"

FLOOR AREA CALCULATION	
AREA	SF
A	108.44SF
B	17.93SF
C	395.43SF
D	47.47SF
E	28.53SF
F	253.68SF
G	17.38SF
H	16.58SF
J	61.82SF
K	144.16SF
L	155.11SF
M	166.25SF
N	31.48SF
P	48.84SF
Q	64.39SF
R	32.04SF
S	25.28SF
T	23.20SF
U	65.27SF
V	27.19SF
W	115.37SF
X	216.27SF
Y	460.51SF
(E) HOUSE 1ST FLOOR TO REMAIN	1,089SF
(E) HOUSE 2ND FLOOR TO REMAIN	559SF
2ND FLOOR ADDITION	382SF
(N) GARAGE	491SF
ALTERATION (E) HOUSE	1,707SF

EXISTING FLOOR AREA:	
(E) HOUSE 1ST FLOOR =	±1,089 SF
(E) HOUSE 2ND FLOOR =	±518 SF
(E) DETACHED GARAGE =	±341 SF
TOTAL (E) FLOOR AREA =	±2,048 SF
PROPOSED FLOOR AREA:	
SECOND FLOOR ADDITION	±382 SF
(N) GARAGE	±491 SF
ALTERATION (E) HOUSE 1ST FLOOR	±1,089 SF
A + B + C + D + E + F + G + H + J + K =	±559 SF
ALTERATION (E) HOUSE 2ND FLOOR	±382 SF
P + Q + S + T + U + W + X =	±2,497 SF
ADDITION + ALTERATION =	±2,497 SF



ARCHITECTURE + INTERIORS

EMERALD HILLS, CA 94062

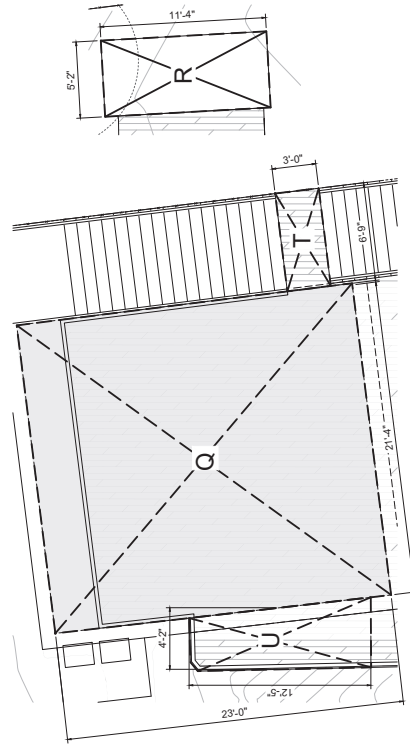
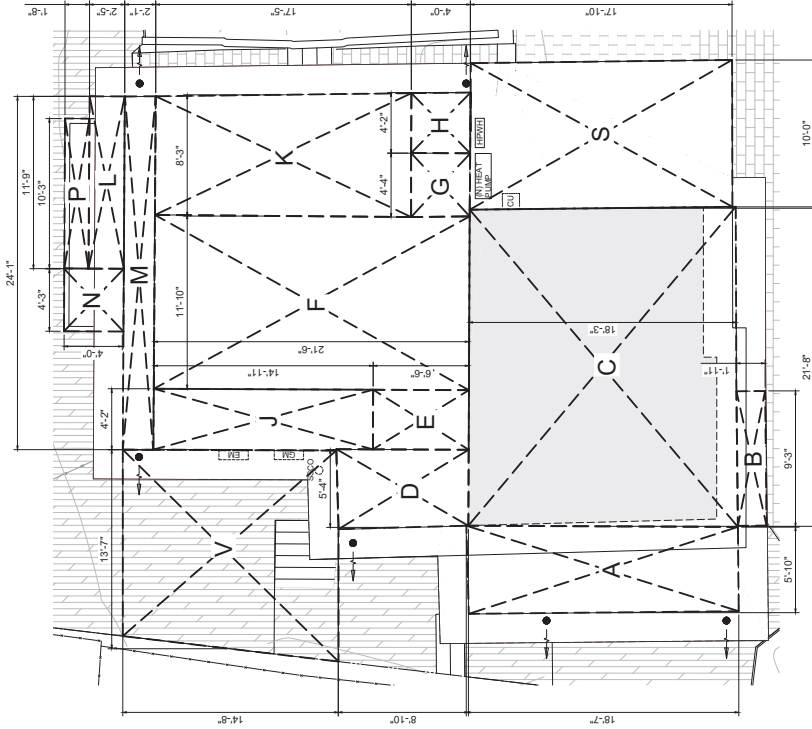
416 LAKEVIEW WAY

JAN 27, 2023 PLANNING REUBMITTAL
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APR 5, 2024 PLANNING SUBMITTAL

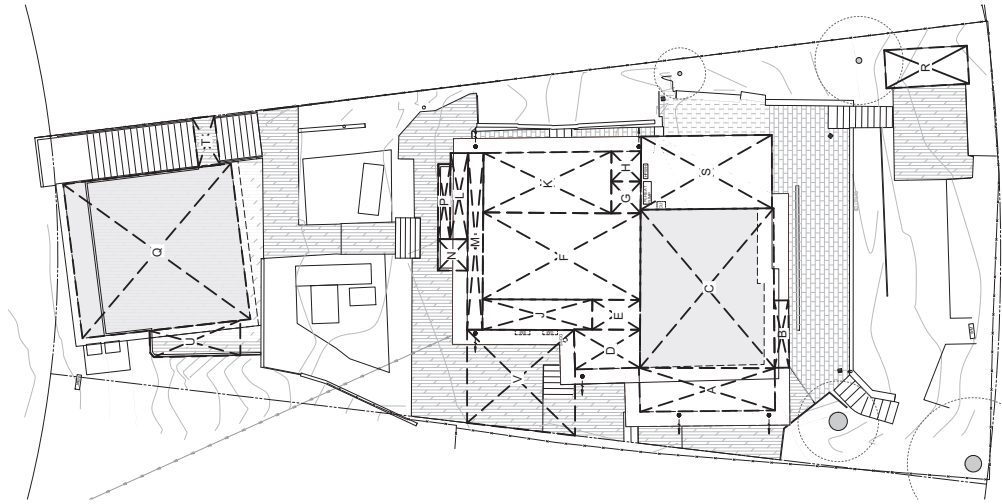


A1.4

PROPOSED LOT
COVERED AREA
CALCULATION



2 PROPOSED LOT COVERAGE AREA CALCULATION
Scale: 1/8" = 1'-0"



1 PROPOSED LOT COVERAGE AREA CALCULATION
Scale: 1/8" = 1'-0"

FLOOR AREA CALCULATION		
AREA	W x L	SF
A	5'-10" x 18'-7"	108SF
B	6'-3" x 11'-1"	168SF
C	21'-8" x 18'-3"	395SF
D	5'-4" x 6'-10"	47SF
E	4'-2" x 8'-6"	27SF
F	11'-10" x 21'-6"	254SF
G	4'-4" x 4'-0"	17SF
H	4'-2" x 4'-0"	17SF
J	4'-2" x 14'-11"	62SF
K	6'-3" x 17'-5"	144SF
L	11'-9" x 2'-5"	28SF
M	24'-1" x 2'-1"	50SF
N	4'-3" x 4'-0"	17SF
P	10'-3" x 18'-0"	175SF
Q	21'-4" x 20'-0"	481SF
R	5'-2" x 11'-4"	59SF
S	10'-0" x 17'-10"	179SF
T	6'-9" x 3'-0"	20SF
U	4'-2" x 12'-5"	52SF
V	13'-7" x 14'-8"	199SF

EXISTING LOT COVERAGE:

(E) HOUSE = 1,089 SF
 (E) 2ND FLOOR OVERHANG = 50 SF
 (E) ENTRY DECK > 18" ABOVE GRADE = 528 SF
 (SUBTRACTING 2ND FLOOR OVERHANG OVERLAP)
 (E) TRELLIS RIGHT SIDE OF THE HOUSE = 495 SF
 (E) TRELLIS REAR SIDE OF THE HOUSE = 196 SF
 (E) ROOF OVERHANG > 2' AT REAR = 108 SF
 (E) GARAGE = 541 SF
 (E) DECK OVER (E) GARAGE NOT OVERLAPPING = 150 SF
 (E) COOP = 59 SF
 (E) DECK AT WEST SIDE OF THE HOUSE = 199 SF
TOTAL (E) LOT COVERAGE = 2,313 SF (37.59%)

PROPOSED LOT COVERAGE:

(E) HOUSE = 1,089 SF
 A + B + C + D + E + F + G + H + J + K = 1,089 SF
 (E) 2ND FLOOR OVERHANG = 50 SF
 (E) ENTRY DECK > 18" ABOVE GRADE (SUBTRACTING 2ND FLOOR OVERHANG OVERLAP) = 528 SF
 (N) 2ND FLOOR BALCONY (SUBTRACTING (E) ENTRY DECK OVERLAP) = 175 SF
 (N) 2ND FLOOR ROOF OVERHANG > 2' AT REAR = 179 SF
 (N) GARAGE = 491 SF
 (N) DECK ABOVE (N) GARAGE NOT OVERLAPPING = 72 SF
 THU = 20 SF
 R = 59 SF
 (E) DECK AT WEST SIDE OF THE HOUSE = 199 SF
TOTAL (N) LOT COVERAGE = 2,204 SF (35.74%)



ARCHITECTURE + INTERIORS

416 LAKEVIEW WAY

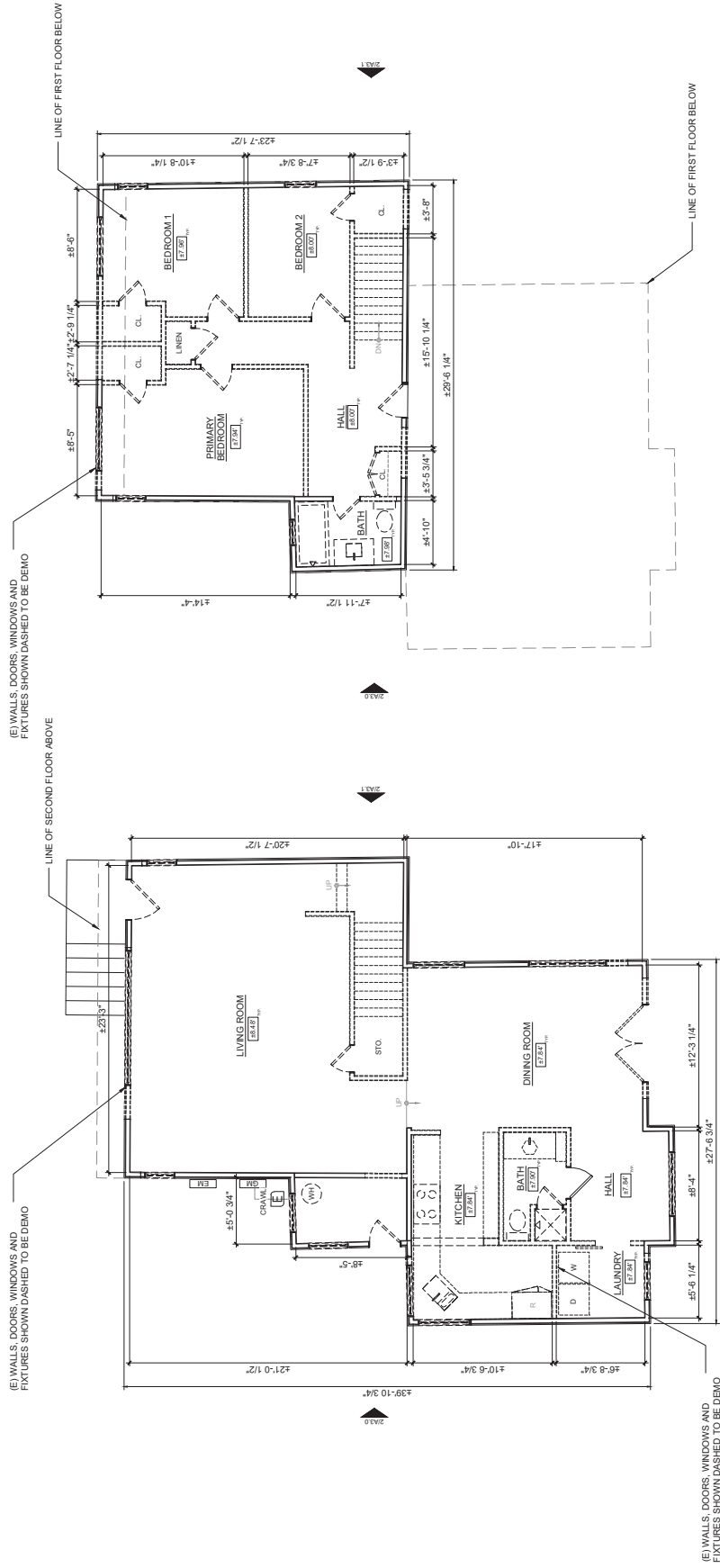
EMERALD HILLS, CA 94062

JAN. 27, 2025 PLANNING RESUBMITTAL
JUN. 22, 2024 PLANNING RESUBMITTAL
APR. 5, 2024 PLANNING SUBMITTAL



A2.0

EXISTING FLOOR PLAN/
DEMO PLAN



1 EXISTING FIRST FLOOR PLAN / DEMO PLAN

2 EXISTING SECOND FLOOR PLAN / DEMO PLAN



ARCHITECTURE + INTERIORS

EMERALD HILLS, CA 94062

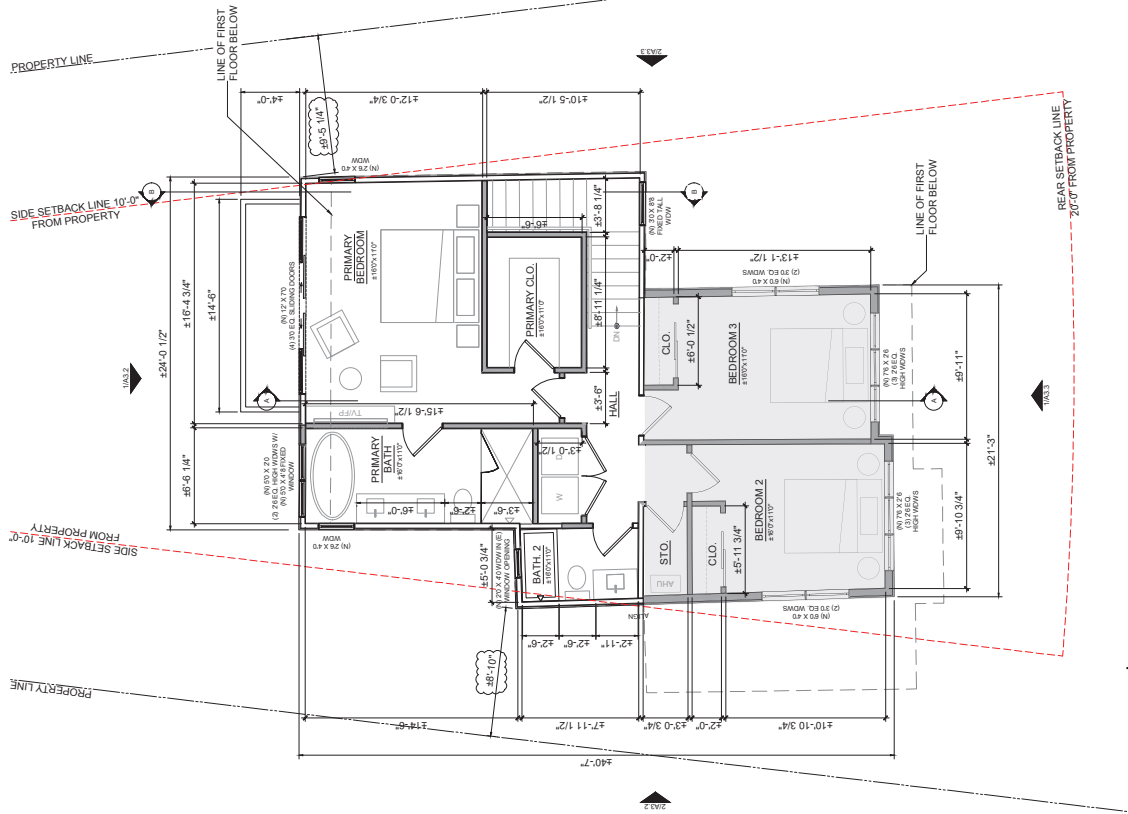
416 LAKEVIEW WAY

JAN. 27, 2024 PLANNING RESUBMITTAL
JUN. 22, 2024 PLANNING RESUBMITTAL
APR. 5, 2024 PLANNING SUBMITTAL



A2.2

PROPOSED SECOND FLOOR PLAN



WALL KEY

	EXISTING WALL TO REMAIN
	NEW WALL
	NEW ADDITION SHOWN HATCH

PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



ARCHITECTURE + INTERIORS

416 LAKEVIEW WAY

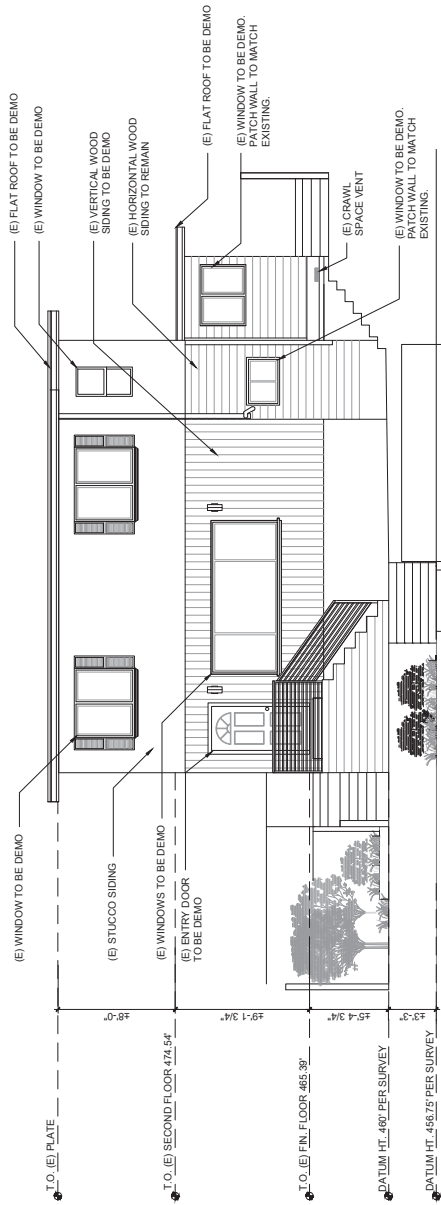
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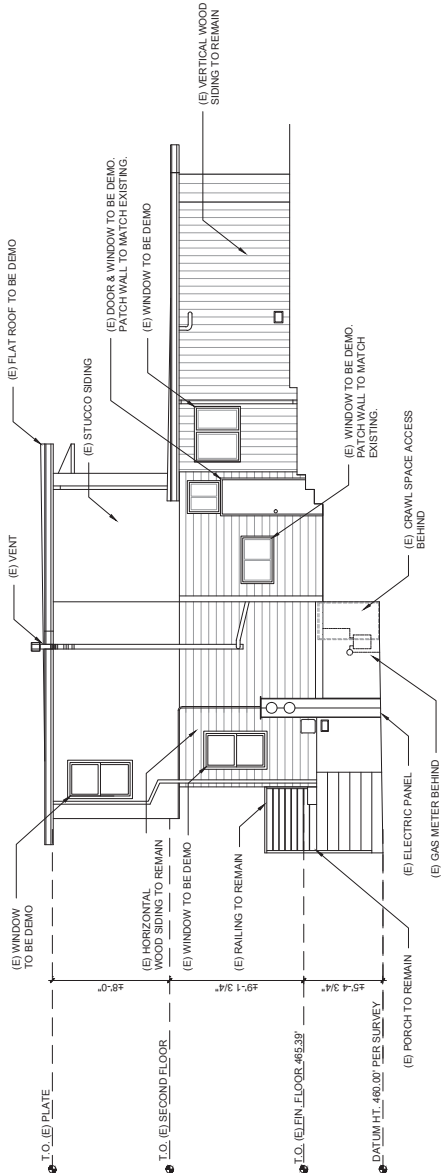
A3.0

EXISTING ELEVATIONS 1



1 EXISTING NORTH ELEVATION (FRONT)

Scale: 1/4" = 1'-0"



2 EXISTING WEST ELEVATION (RIGHT)

Scale: 1/4" = 1'-0"



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Application for a Zoning Nonconformity Use Permit

Applicant's Name : _____

Primary Permit #: _____

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: _____

Existing nonconformity: _____ **25.04% lot coverage, (e) deck over the (e) garage.**
(Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: _____

Proposed nonconformity: _____ **27.88% lot coverage, proposed deck over the (n) garage.**

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The County must make four additional findings for projects involving substandard parcels:

- 2. The proposed development is proportioned to the size of the parcel on which it is being built.**
- 3. All opportunities to acquire additional contiguous land have been investigated.**

- 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**
- 5. Use permit approval does not constitute a granting of special privileges.**

Write a brief statement in which you present evidence to support the required findings.



ARCHITECTURE + INTERIORS

Project Description Letter

416 Lakeview Way, Emerald Hills, CA 94062

The project proposes an addition and remodel to an existing two story residence and detached garage. The existing first floor will be remodeled while the second story is proposed to be expanded over the existing first floor at the back. There is no addition proposed on the first floor at the main house. The existing detached garage at the front of the house is also proposed to be rebuilt with a larger footprint in order to make the garage a standard size.

The proposed aesthetic of the house will be contemporary to match the existing massing of the home. On the first floor, wood horizontal siding is proposed and on the second floor, gray stucco siding is proposed. The second floor flat roof will be continued at the new addition with a cantilevered eave finished in a dark color. The detached garage will have stucco siding, and a flat roof finished in the same way at the second floor roof. We are also planning to redo the existing wood decks and create an outdoor deck over the new garage. At the edges of the decks, we are planning to use a combination of wood and cable railing for the handrails, and have concrete or wood steps.

We are proposing new, black framed windows at the house, a new black entry door and a new garage door as well. We are also planning to use exterior light fixtures that are black in color and dark sky friendly.

A 3D rendering and material board are included to better illustrate these proposed finishes, and how the proposed home will look in the context of the neighborhood.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E

The purpose of this outreach is to enquire with owners of adjacent parcels to see if additional land is available that could remedy or reduce the non-conformity of the project's parcel.

Owner Name: Player and Pramakhatae Trust

Property Address: 416 Lakeview Way, Emerald Hills, CA 94062

Project Description: Addition and remodel to existing two story residence and detached garage. The existing first floor will be remodeled while the second story is proposed to be expanded over the existing first floor at the back. There is no addition proposed on the first floor at the main house. The existing detached garage at the front of the house is also proposed to be rebuilt with a larger footprint in order to make the garage a standard size.

Neighbor's Name: Hadi Malek

Neighbor's Address: 420 Lakeview Way, Emerald Hills, 94062

Neighbor's Email (optional): _____

I am

- Interested in ceding land
- Not interested in ceding land



Acknowledgement Signature

06/02/2025
Date

The purpose of this outreach is to enquire with owners of adjacent parcels to see if additional land is available that could remedy or reduce the non-conformity of the project's parcel.

Owner Name: Player and Pramakhatae Trust

Property Address: 416 Lakeview Way, Emerald Hills, CA 94062

Project Description: Addition and remodel to existing two story residence and detached garage. The existing first floor will be remodeled while the second story is proposed to be expanded over the existing first floor at the back. There is no addition proposed on the first floor at the main house. The existing detached garage at the front of the house is also proposed to be rebuilt with a larger footprint in order to make the garage a standard size.

Neighbor's Name: MAHA JUSTI

Neighbor's Address: 414 LAKEVIEW, Emerald Hills CA 94062

Neighbor's Email (optional): MAHAJUSTI@gmail.com

I am

- Interested in ceding land
- Not interested in ceding land


Acknowledgement Signature

5/16/2025
Date