



# HOFFMAN RESIDENCE

## 120 ELLENDALE ROAD

### MOSS BEACH, CA

#### APN# 037-117-140



3D Rendering  
NTS



Andrea.Costanzo.tiff

HOFFMAN RESIDENCE

120 ELLENDALE ST.  
MOSS BEACH, CA

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<b>SCOPE OF WORK</b> THIS PROJECT PROVIDES AN ADU (1,162 SQ.FT.) THIS WILL INCLUDE A TOTAL OF 1 BEDROOM AND 1 BATH. 1 STITCHEN, PLUS AN ADDITION TO THE MAIN HOUSE ON THE FIRST FLOOR (741 SQ.FT.) SECOND FLOOR (690 SQ.FT.). THE ROOM WILL BE COMPOSITION SHINGLES AND THE EXTERIOR WALLS WILL CHANGE INTO HORIZONTAL SIDING.	All work shall be in compliance with the County of San Mateo Municipal and the 2019 Editions of the California Building Code, 2019 California Mechanical Code, 2019 California Plumbing Code, 2019 California Electrical Code, the 2019 California Energy Code, 2019 Green Building Standards Code, 2019 California Residential Code
<b>VICINITY MAP</b> PROJECT SITE 120 ELLENDALE ST.	

TRUSS DESIGN AND CALCULATIONS TO BE PROVIDED UNDER A DEFERRED SUBMITTAL IN COORDINATION WITH THE STRUCTURAL PLANS

**- AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN THE NEW HOUSE & ADU. A SEPARATE PERMIT IS REQUIRED. THE SYSTEM MUST BE INSTALLED AND INSPECTED PRIOR TO THE FRAMING INSPECTION.**



(E)Site Plan  
SCALE 1/8" = 1'-0"

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03/29/22	PERMIT
11/22/22	PERMIT

Sheet:  
COVER SHEET, PROJECT DATA & SITE PLAN  
Scale as shown

AA-1  
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# HOFFMAN RESIDENCE

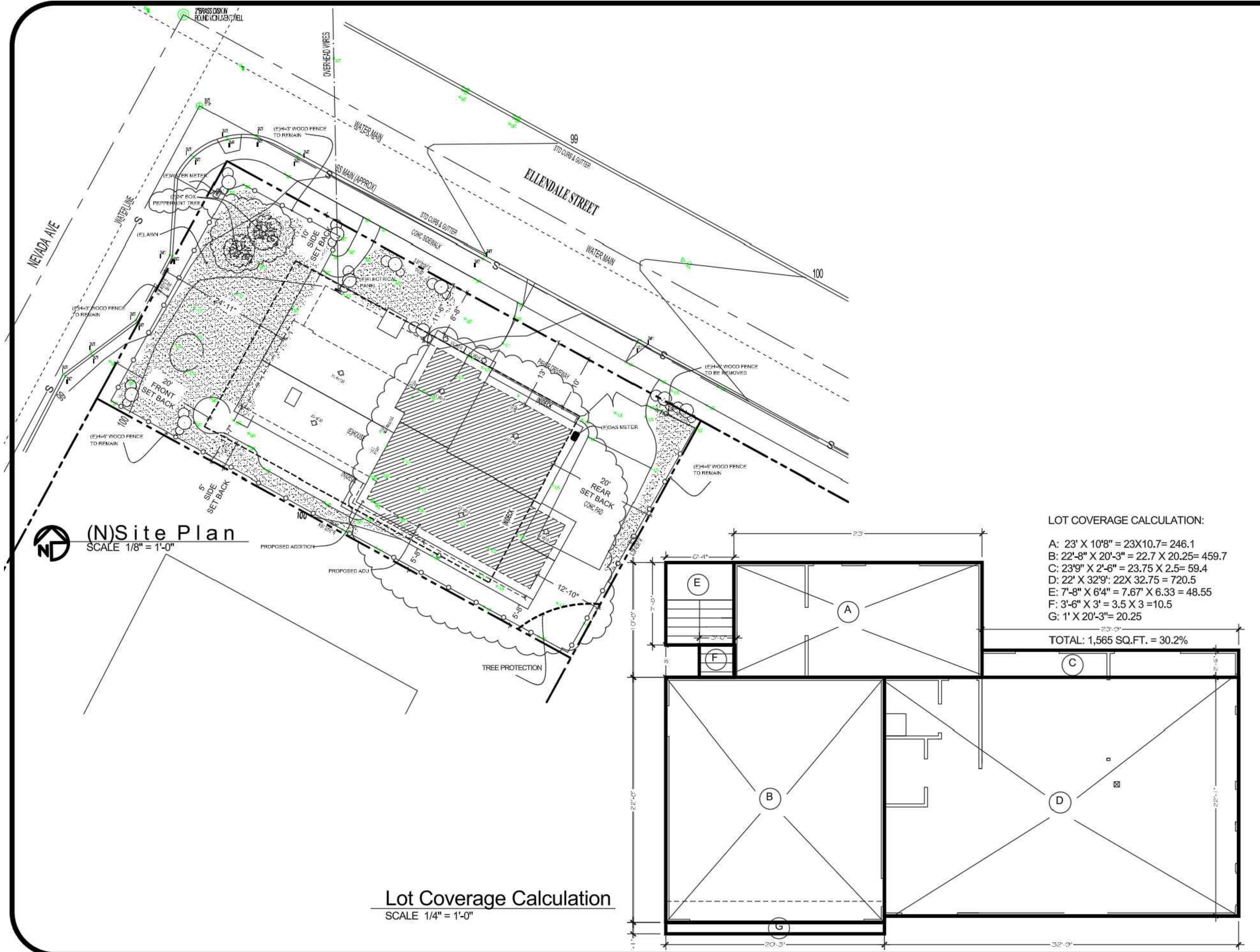
120 ELLENDALE ST.  
MOSS BEACH, CA.

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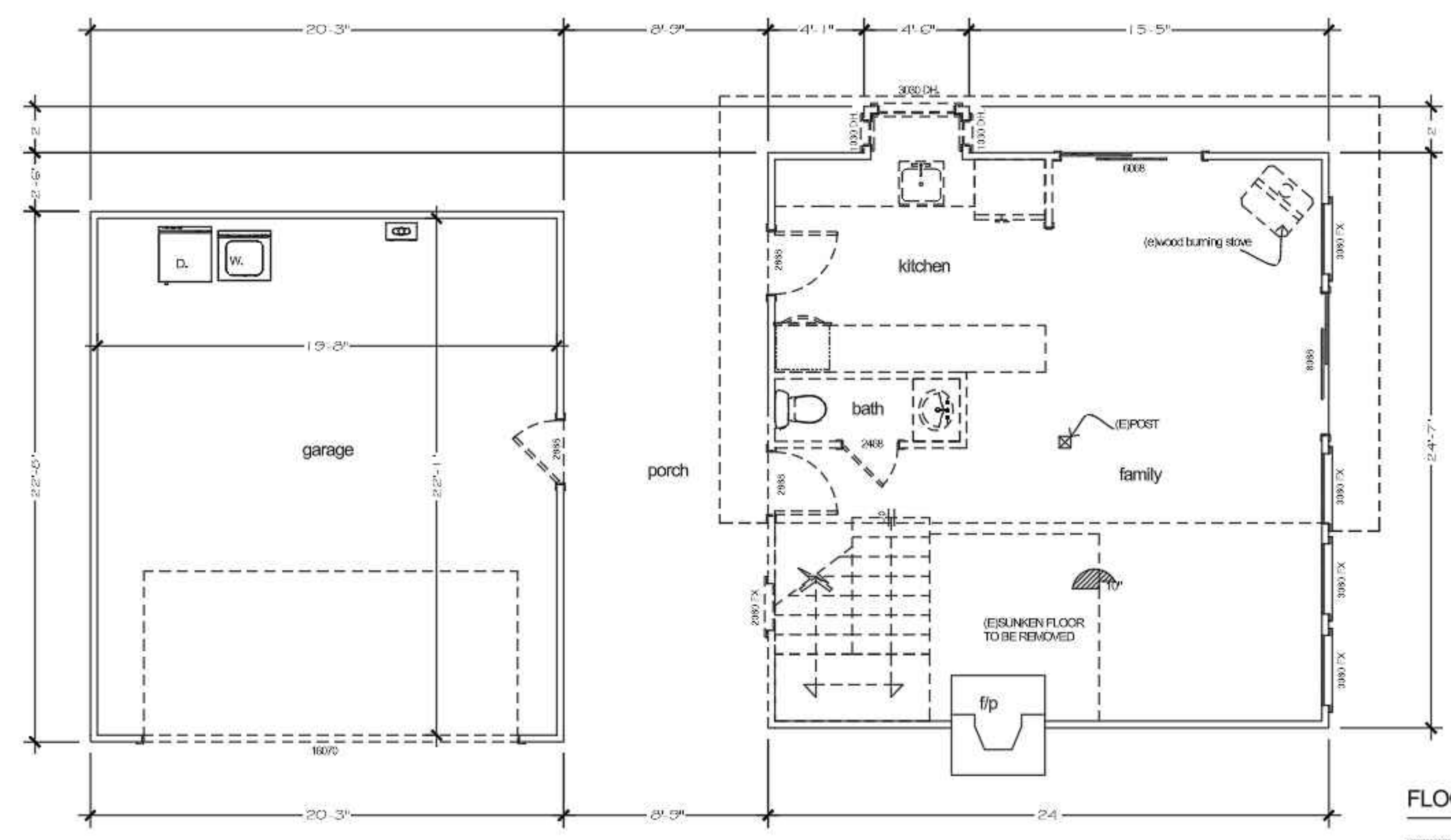
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SITE PLAN  
Scale as shown

**AA-2**  
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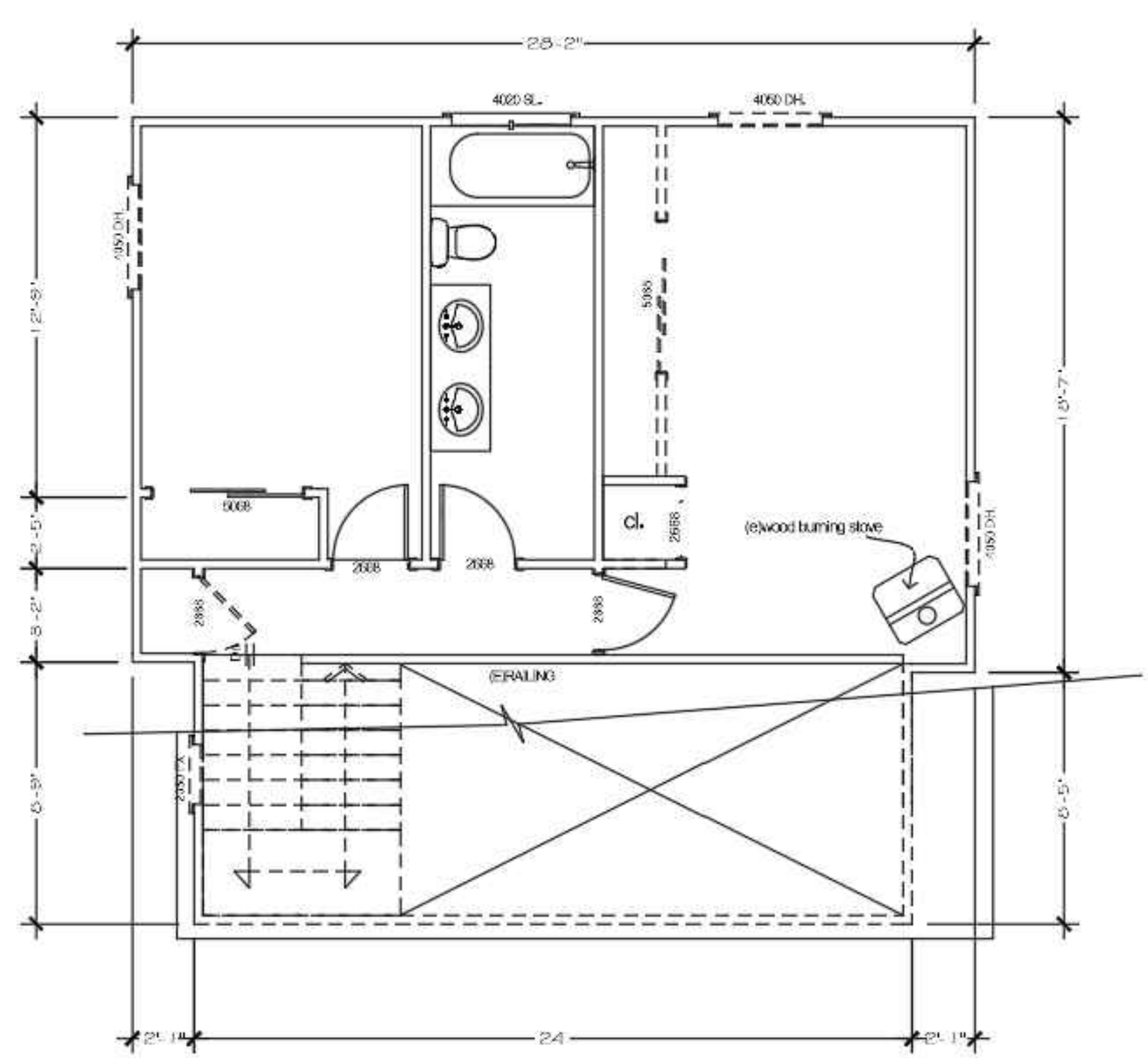


**FLOOR PLANS NOTES**

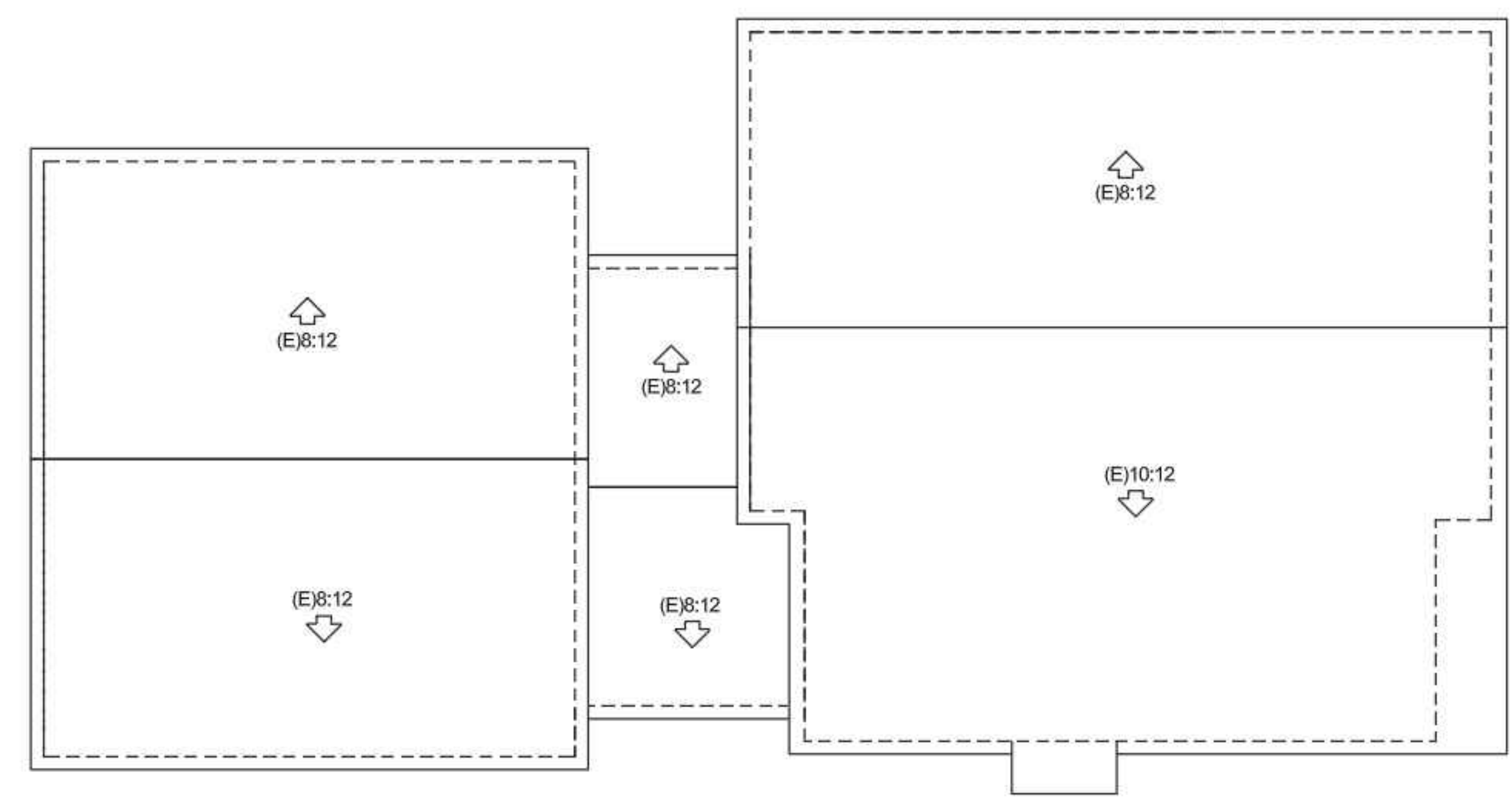
- NEW WALL
- WALL TO BE REMOVED
- EXISTING WALL

**(E) First Floor Plan**  
SCALE 1/4" = 1'-0"

INDICATES A 3'-0" X 3'-6" CLEAR WINDOW OPENING  
SIMILARITY FOR DOORS



**(E) Second Floor Plan**  
SCALE 1/4" = 1'-0"



**(E) Roof Plan**  
SCALE 1/4" = 1'-0"

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120 ELLENDALE ST.  
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Sheet:  
(E) FIRST & SECOND FLOOR PLANS  
(E) ROOF PLAN  
Scale as shown

**AA-3**  
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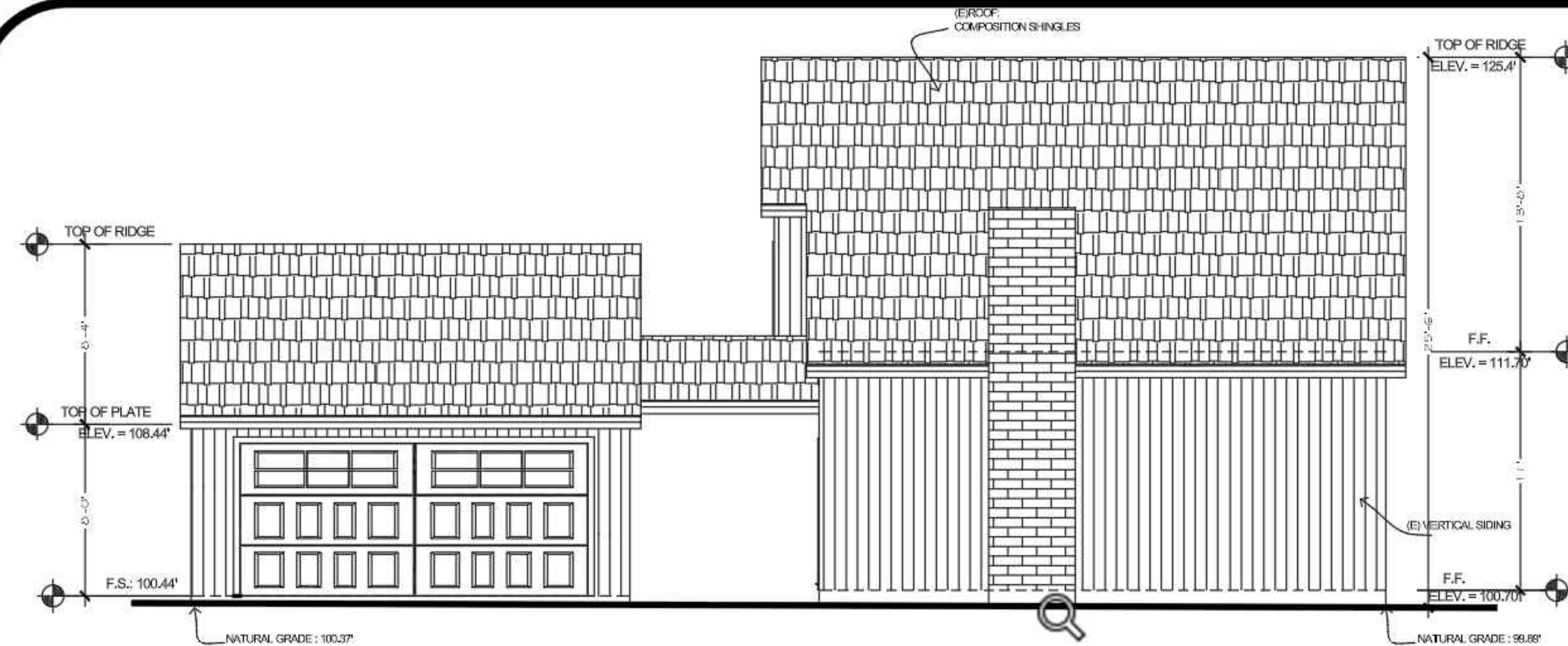
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Sheet:  
(E) ELEVATIONS  
Scale as shown

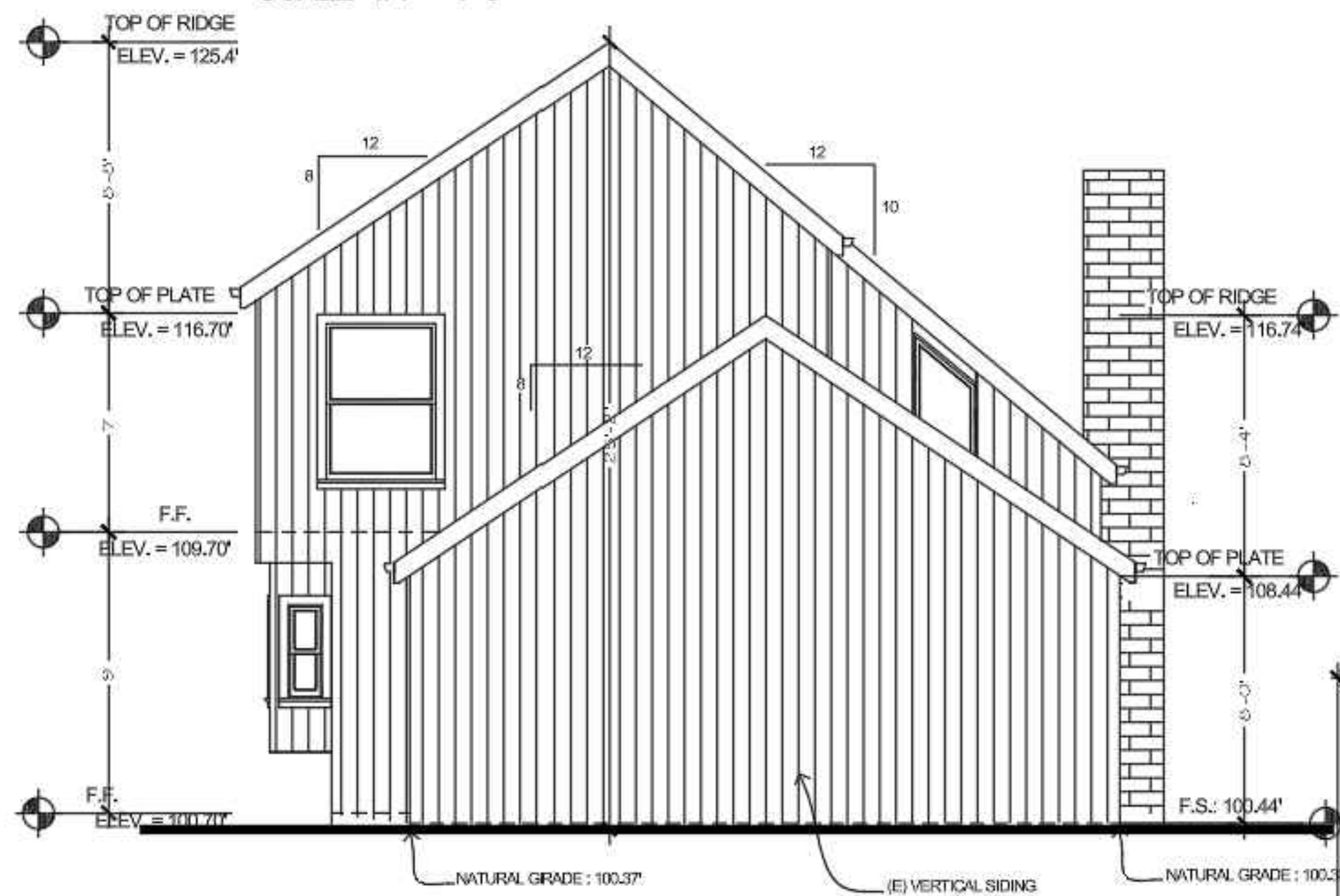
**AA-4**

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**(E)Front Elevation**

SCALE 1/4" = 1'-0"



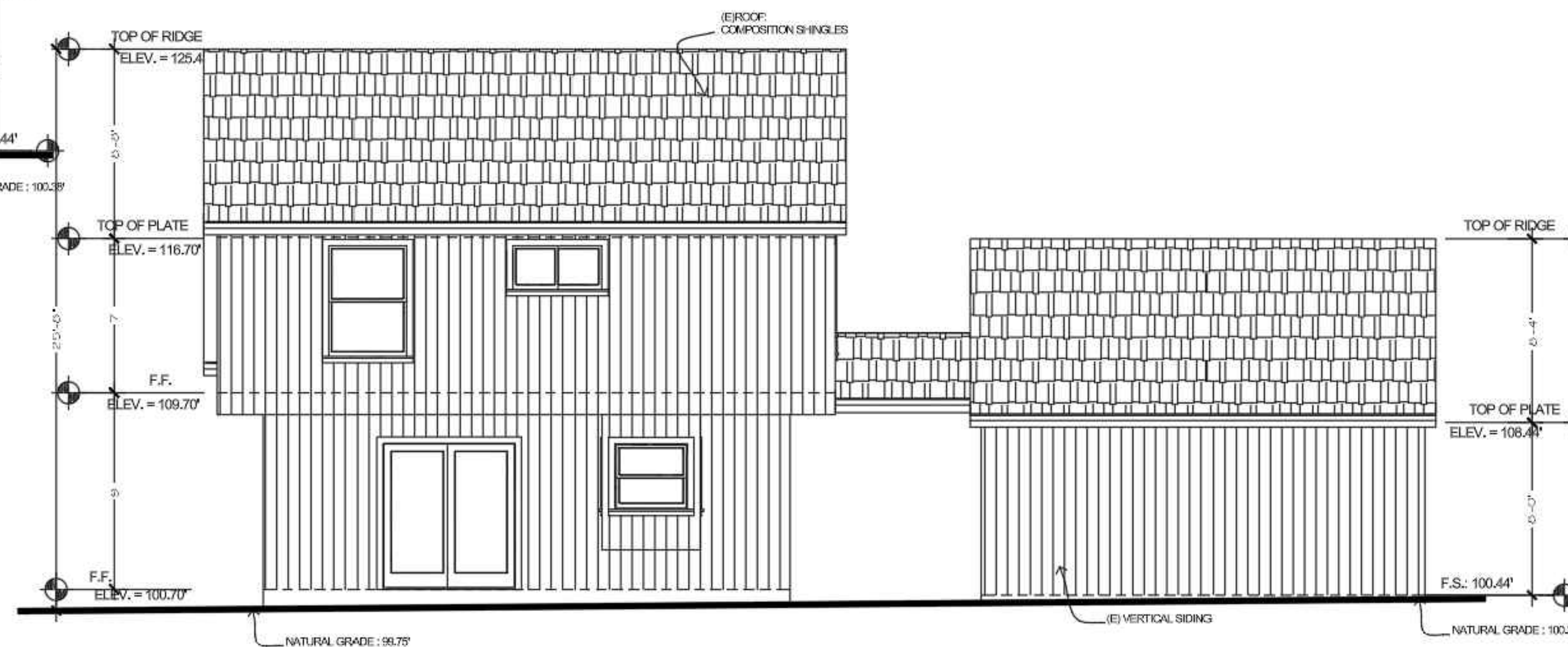
**(E)Left Elevation**

SCALE 1/4" = 1'-0"



**(E)Right Elevation**

SCALE 1/4" = 1'-0"



**(E)Rear Elevation**

SCALE 1/4" = 1'-0"

# HOFFMAN RESIDENCE

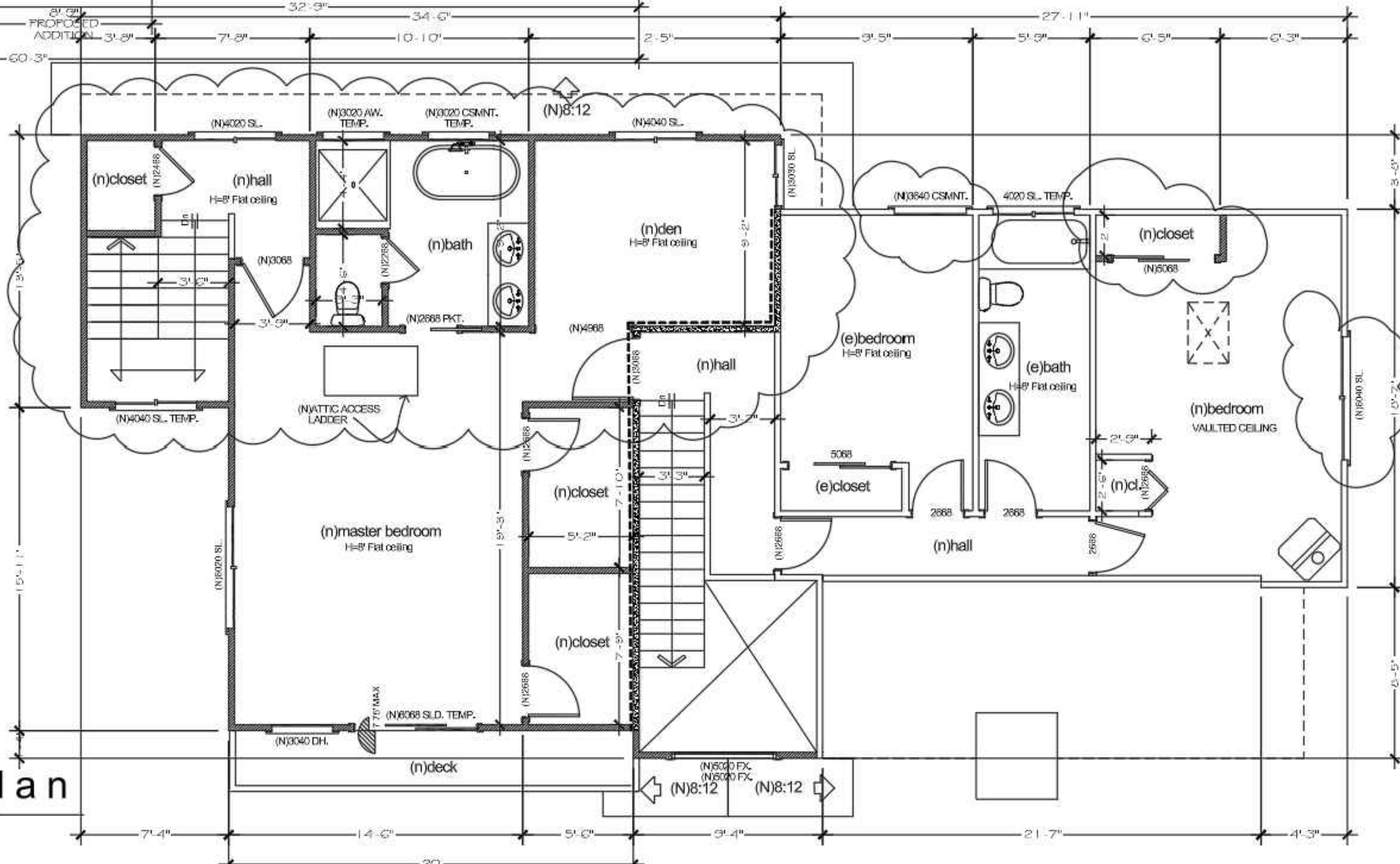
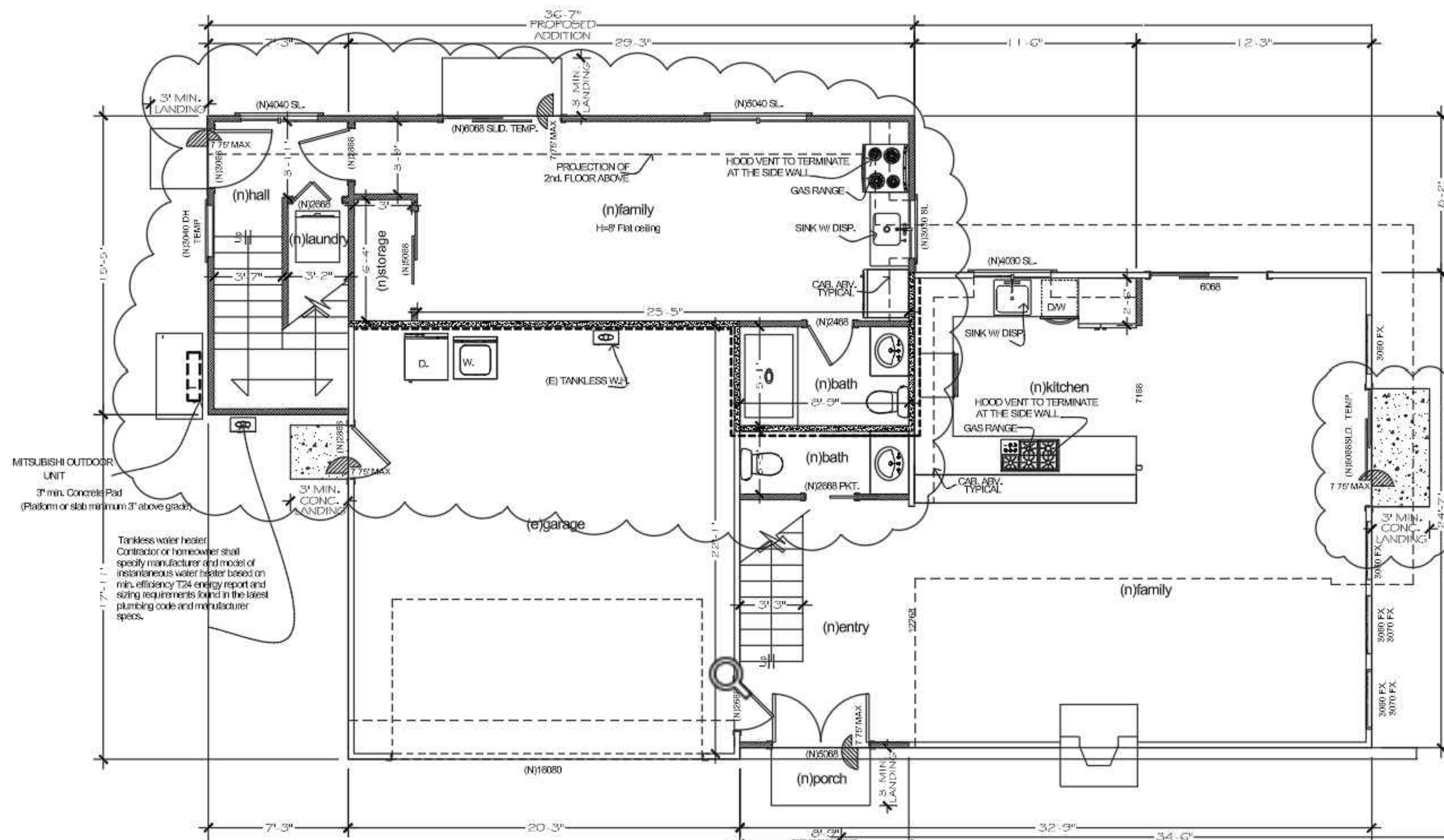
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Sheet:  
(N)FIRST & SECOND FLOOR PLANS  
Scale as shown

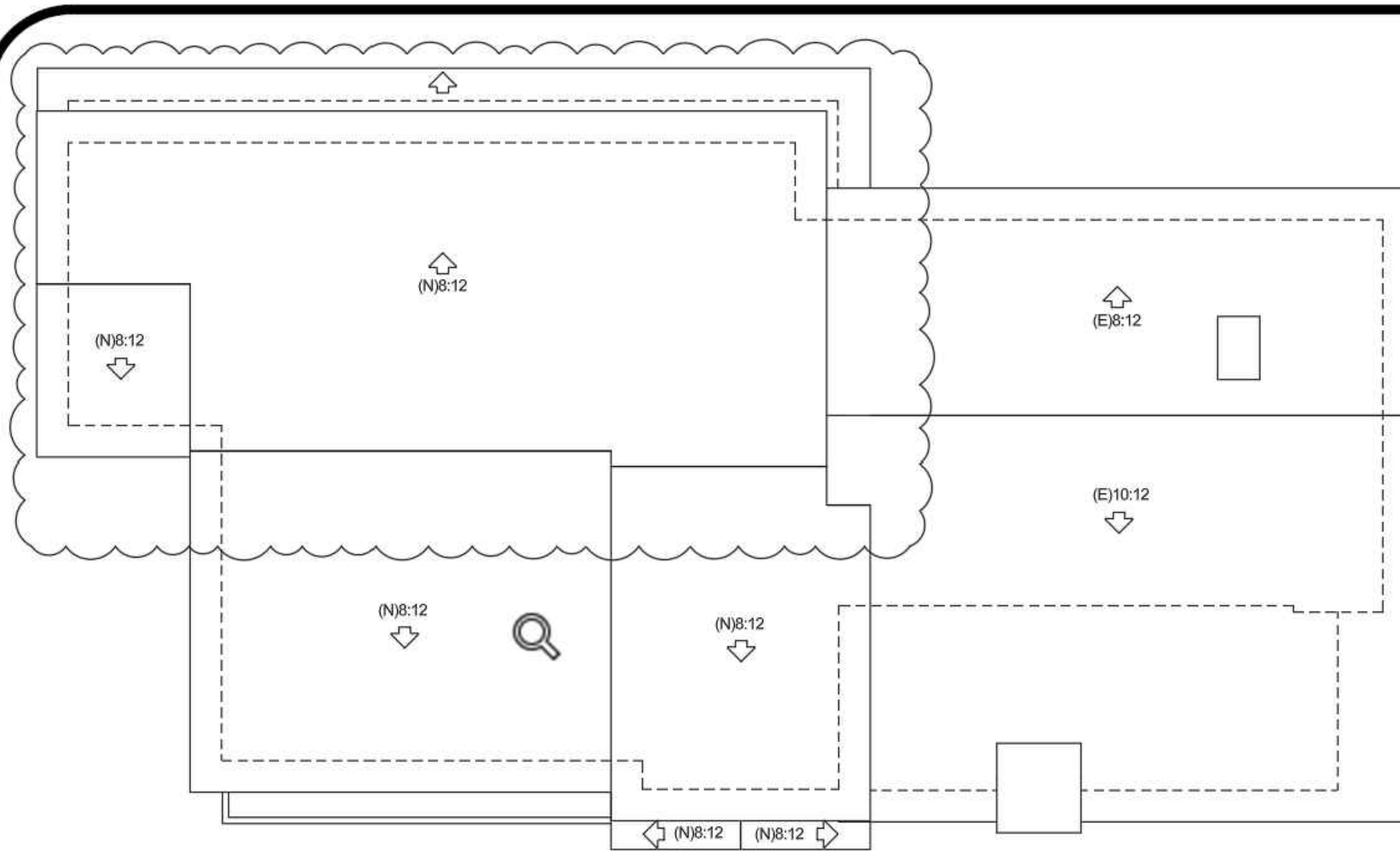
**AA-5**  
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120 ELLENDALE ST.  
MOSS BEACH, CA.



**(N) Roof Plan**  
SCALE 1/4" = 1'-0"



**(N) Left Elevation**  
SCALE 1/4" = 1'-0"



**(N) Front Elevation**  
SCALE 1/4" = 1'-0"

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Sheet:  
(N) ROOF PLAN  
(N) LEFT & FRONT ELEVATIONS  
Scale as shown

**AA-6**  
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ALL RESIDENTIAL DWELLINGS SHALL DISPLAY A STREET NUMBER IN A PROMINENT LOCATION ON THE STREET SIDE OF THE RESIDENCE IN SUCH A POSITION THAT THE NUMBER IS EASILY VISIBLE TO APPROACHING EMERGENCY VEHICLES. THE NUMERALS SHALL BE NO LESS THAN 4 INCHES IN HEIGHT WITH 1/2" STROKE AND SHALL BE OF A CONTRASTING COLOR TO THE BACKGROUND OF WHICH THEY ARE ATTACHED. THE NUMERALS SHALL BE LIGHTED AT NIGHT

NOTE: THE FACADE ARTICULATION APPROACHING IS BEEN UTILIZED THE FRONT ELEVATION

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Sheet:  
(N)REAR & RIGHT ELEVATIONS  
Scale as shown

**AA-7**  
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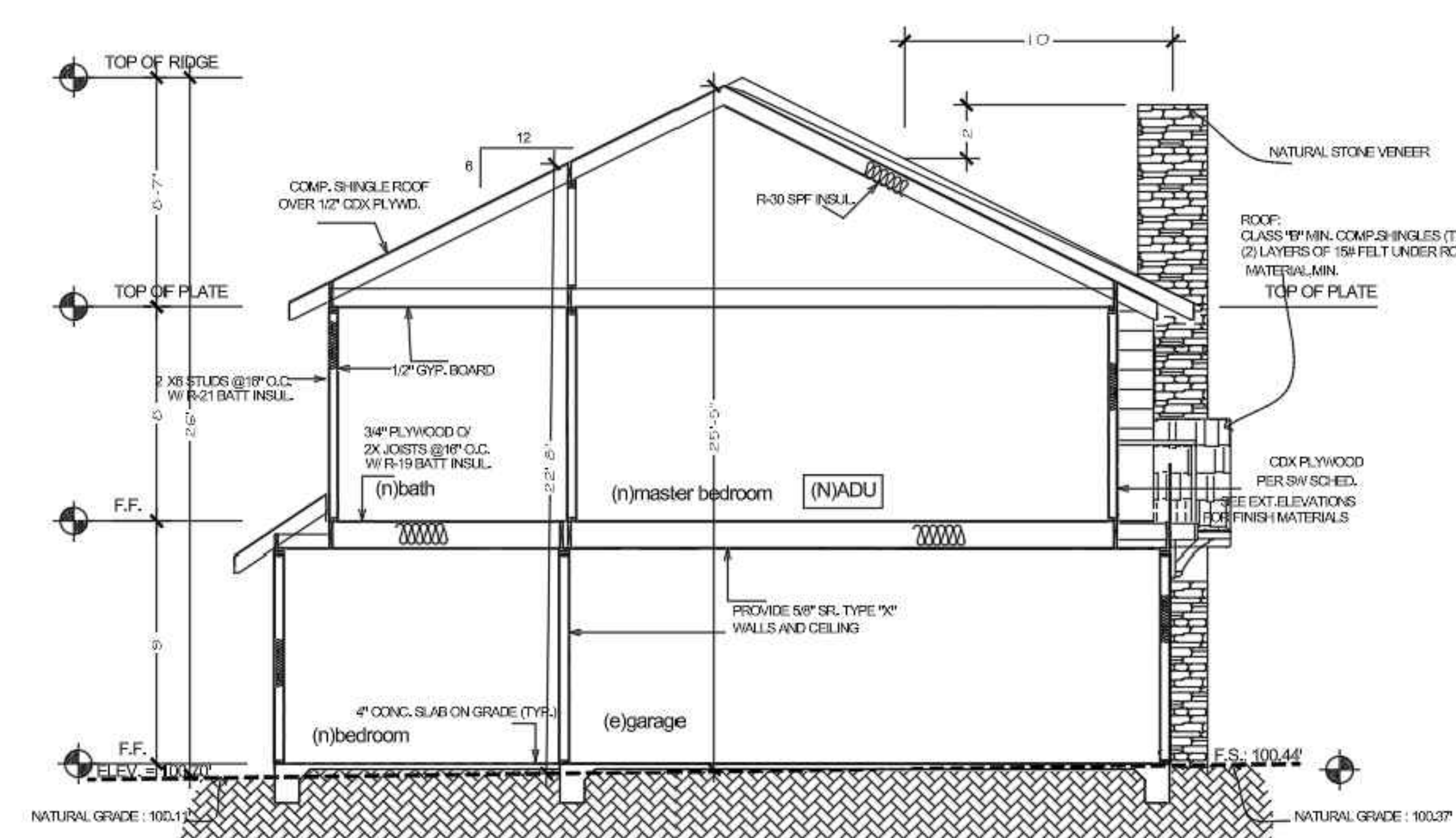
**(N)Rear Elevation**  
SCALE 1/4" = 1'-0"

8" HARDBOARD "LAP" SIDING (TYP.)  
W/ 2X4 WOOD TRIM @ DOORS,  
WINDOWS  
& CORNERS O/GRADE TO BUILDING  
PAPER  
OR SHEAR MATERIAL AS OCCURS  
-COLOR: SILVER SPRING FORM  
BENJAMIN MOORE



**(N)Right Elevation**  
SCALE 1/4" = 1'-0"

8" HARDBOARD "LAP" SIDING (TYP.)  
W/ 2X4 WOOD TRIM @ DOORS,  
WINDOWS  
& CORNERS O/GRADE TO BUILDING  
PAPER  
OR SHEAR MATERIAL AS OCCURS  
-COLOR: SILVER SPRING FORM  
BENJAMIN MOORE

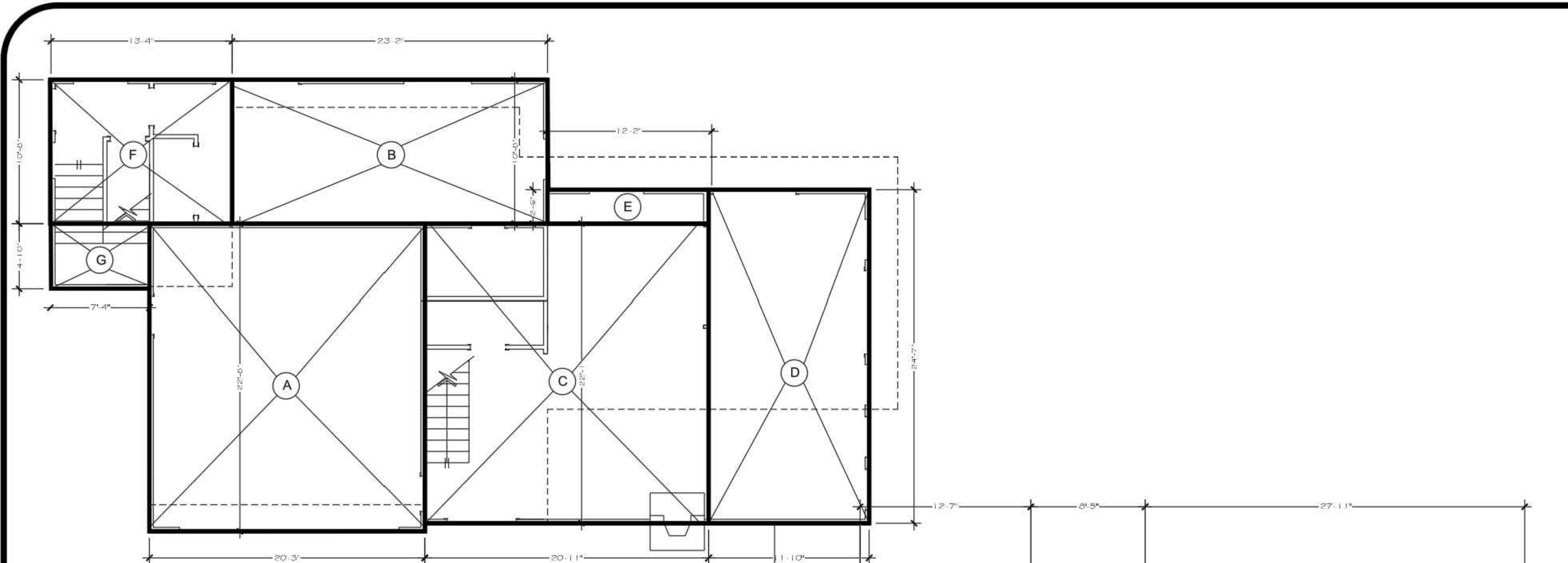


**Section A-A**  
SCALE 1/4" = 1'-0"

NOTE: SECTION DRAWINGS TO BE USED FOR REFERENCE ONLY -  
FOR ACTUAL MEMBER SIZES AND SPACING, PLEASE SEE  
STRUCTURAL SHEETS

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**FLOOR AREA CALCULATION:**

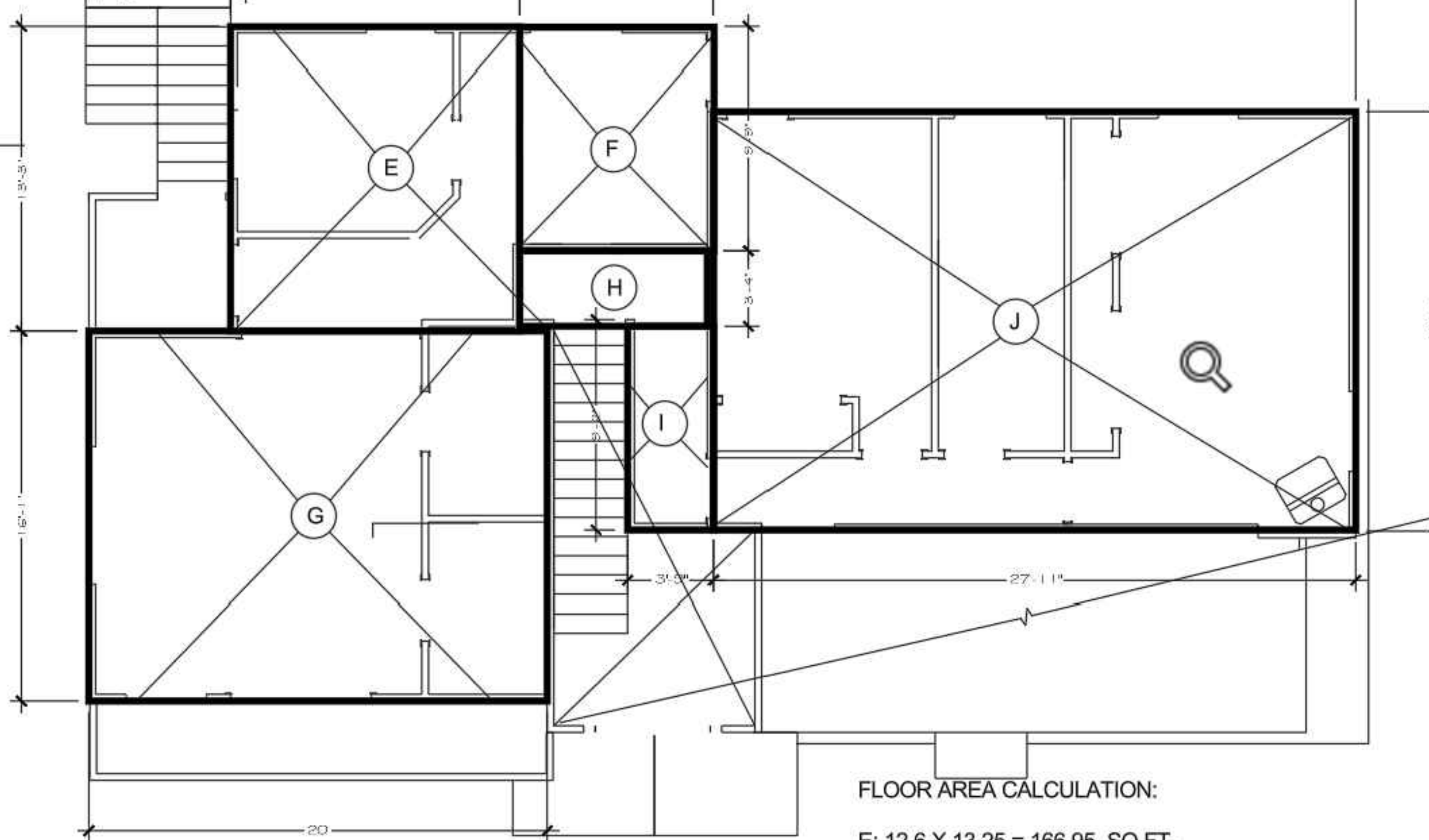
A: 22.7 x 20.25 = 459.7 SQ.FT. (GARAGE)

FIRST FLOOR (MAIN HOUSE)  
 C: 20.9 X 22 = 459.8 SQ.FT.  
 D: 11.8 X 24.58 = 290 SQ.FT.  
 E: 12.2 X 2.5 = 30.5 SQ.FT.  
 TOTAL: 780.3 SQ.FT.

FIRST FLOOR (A.D.U.)  
 B: 23.2 X 10.7 = 248.2 SQ.FT.  
 F: 13.3 X 10.67 = 141.9 SQ.FT.  
 G: 4.83 X 7.3 = 35.26 SQ.FT.

TOTAL: 425.36 SQ.FT.

**First Floor Plan**  
 SCALE 1/4" = 1'-0"



**FLOOR AREA CALCULATION:**

E: 12.6 X 13.25 = 166.95 SQ.FT.  
 F: 8.4 X 9.75 = 81.9 SQ.FT.  
 G: 16 X 20 = 320 SQ.FT.  
 TOTAL ADU : 568.85  
 H: 3.3 X 8.4 = 27.72 SQ.FT.  
 I: 3.75 X 9.2 = 34.5 SQ.FT.  
 J: 27.9 X 18.3 = 510.57 SQ.FT.

TOTAL: 568.85 + 572.79 = 1,141.64 SQ.FT.

**(N) Second Floor Plan**  
 SCALE 1/4" = 1'-0"

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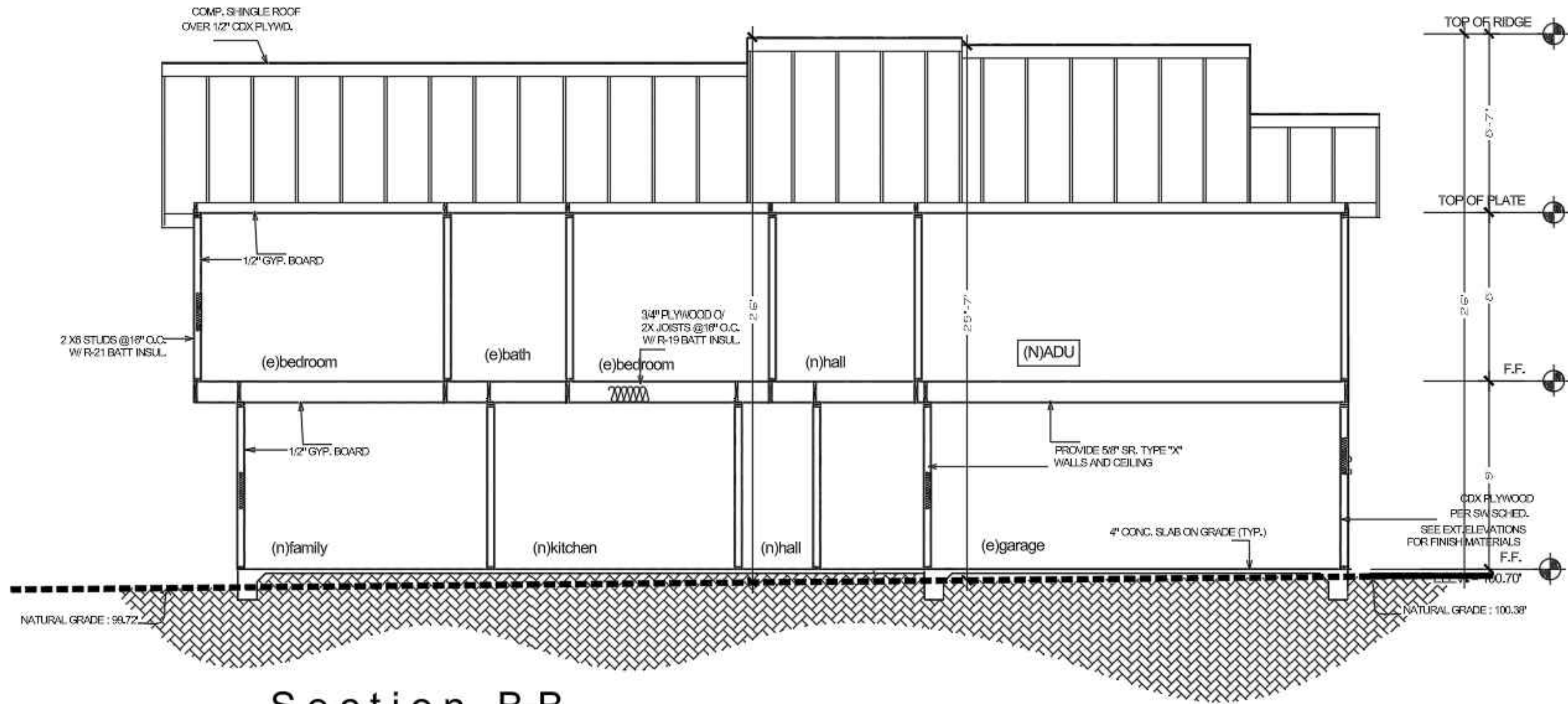
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 AREA CALCULATIONS  
 Scale as shown

**AA-8**  
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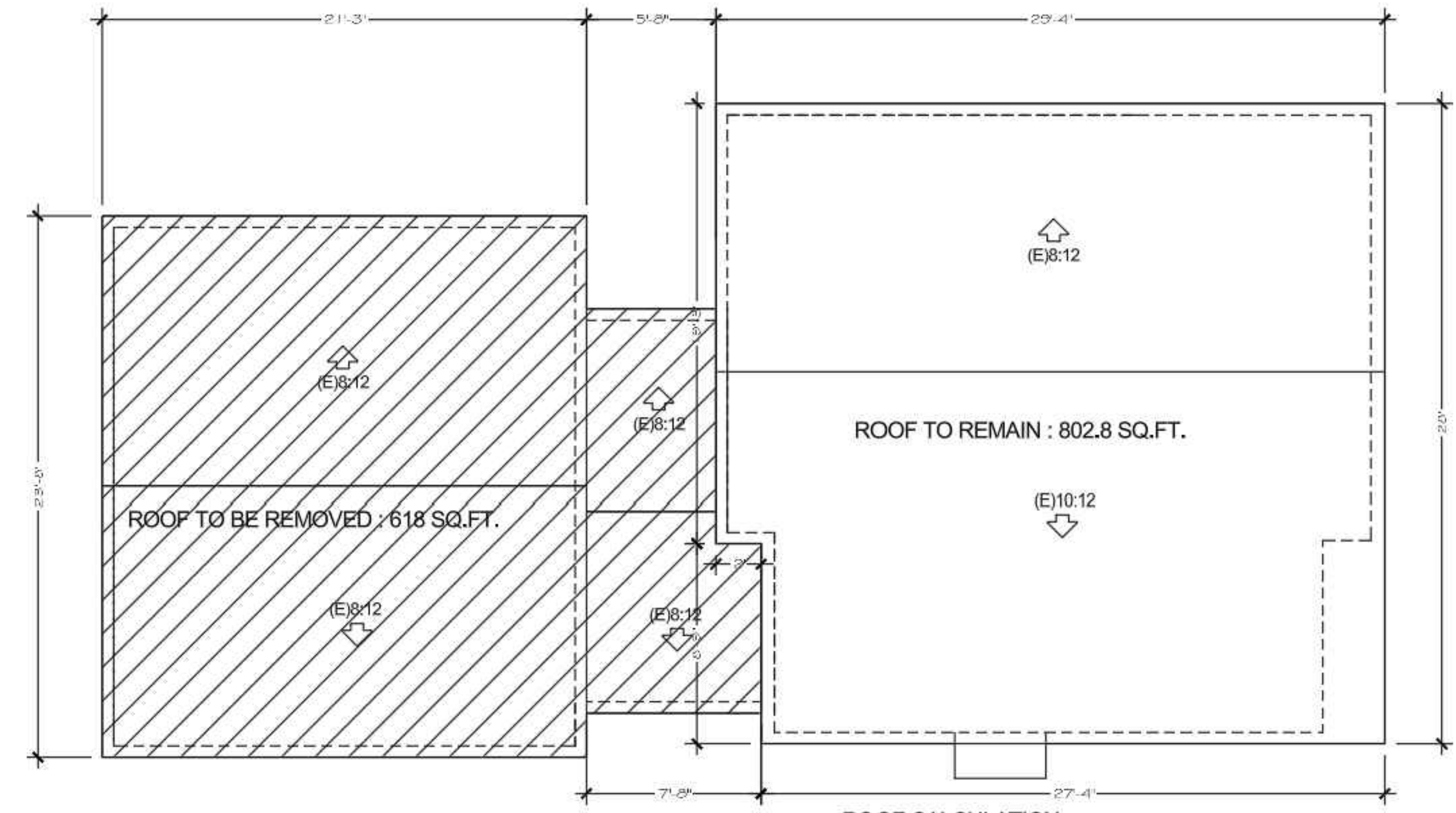
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 120 ELLENDALE ST.  
 MOSS BEACH, CA.



**Section B-B**

SCALE 1/4" = 1'-0"  
 NOTE: SECTION DRAWINGS TO BE USED FOR REFERENCE ONLY -  
 FOR ACTUAL MEMBER SIZES AND BRACING, PLEASE SEE  
 STRUCTURAL SHEETS



**Roof Calculation**  
 SCALE 1/4" = 1'-0"

ROOF CALCULATION:  
 TOTAL ROOF: 1,420.8 SQ.FT.  
 ROOF TO BE REMOVED : 618 SQ.FT.  
 REMAINING (E)ROOF = 802.8 SQ.FT.= 56.5%

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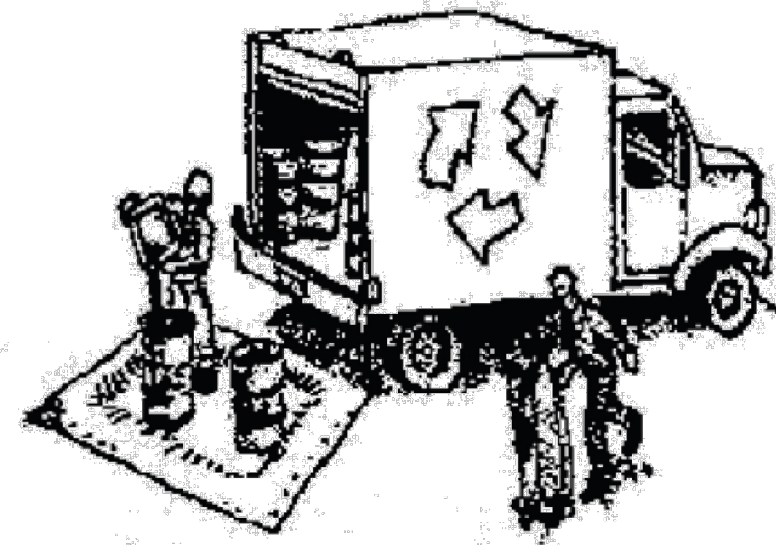
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SECTION  
 Scale as shown

**AA-9**  
 2020 DESIGN APPROVAL

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



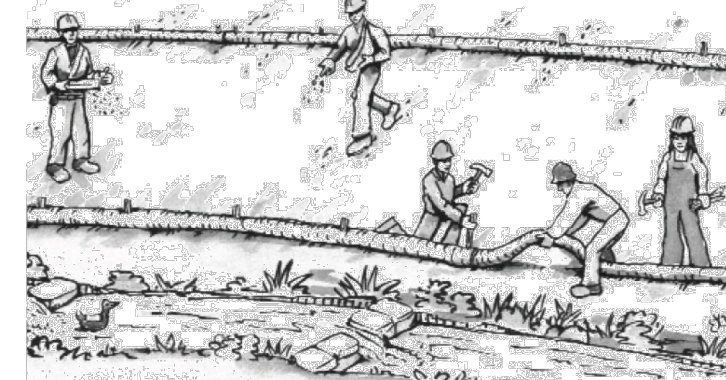
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

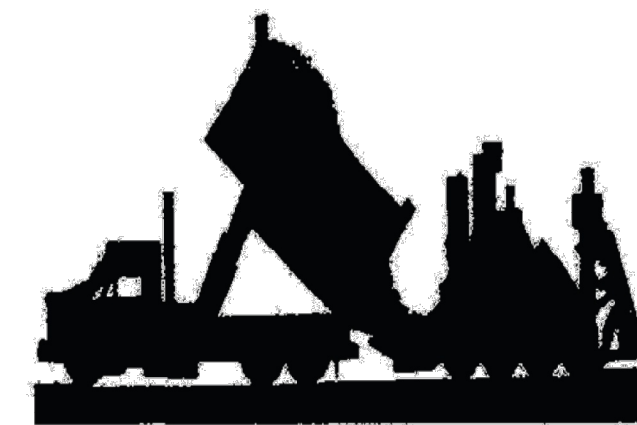


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

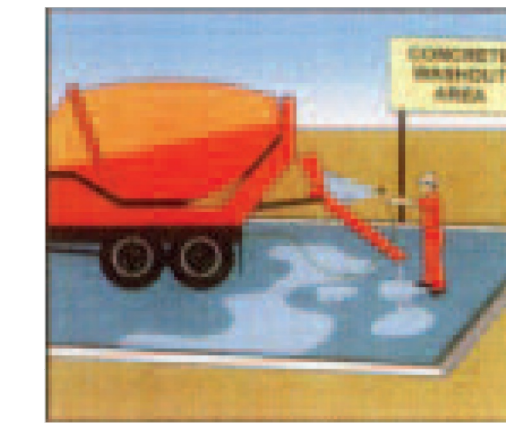


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



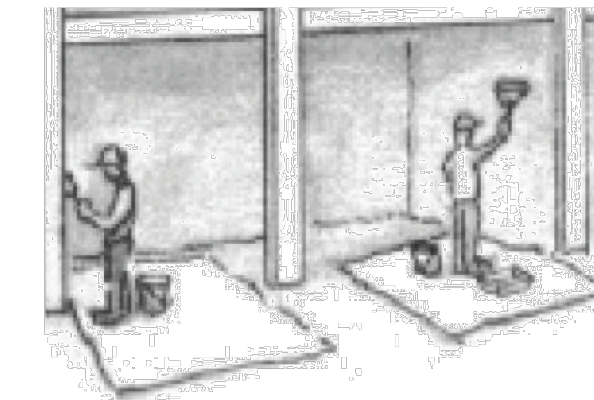
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

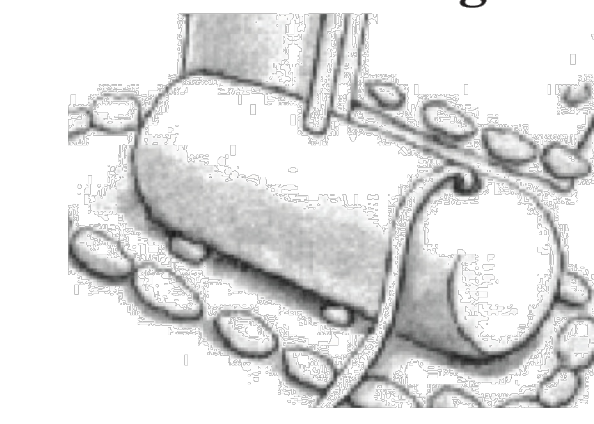
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water may need to be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

**HOFFMAN RESIDENCE**

120 ELLENDALE ST.  
MOSS BEACH, CA.

THE USE OF THIS PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREOF IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL TAKE PREFERENCE OVER SCALE DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

Design by: ANDREA COSTANZO	Drawn by: ANDREA COSTANZO
DATE 05/06/21	ISSUED FOR PERMIT

Sheet:  
BMP

Scale as shown

**AA-BMP**

2020 DESIGN APPROVAL

Andrea Costanzo.tiff


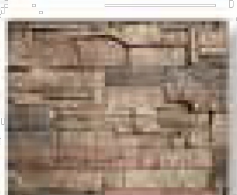


**HOFFMAN RESIDENCE**

120 ELLENDALE ST.  
MOSS BEACH, CA.

THE USE OF THIS PLANS AND SPECIFICATIONS SHALL BE RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED AND PUBLICATION THEREFORE IS EXPRESSLY LIMITED TO SUCH USE. RE-USE, REPRODUCTION OR PUBLICATION BY ANY METHOD, IN WHOLE OR IN PART IS PROHIBITED. TITLE TO THE PLANS AND SPECIFICATIONS REMAINS WITH THE DESIGNER. WITHOUT PREJUDICE, VISUAL CONTACT WITH THESE PLANS AND SPECIFICATIONS SHALL CONSTITUTE PRIMA FACIE EVIDENCE OF THE ACCEPTANCE OF THESE RESTRICTIONS. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGNER PRIOR TO THE COMMENCEMENT OF ANY WORK.

Design by: ANDREA COSTANZO	Drawn by: ANDREA COSTANZO
DATE 05/06/21	ISSUED FOR PERMIT

-  **COMPOSITION SHINGLES**  
COLOR: CHARCOAL/DARK GRAY
-  **FASCIA**  
BURGUNDY FROM.  
BENJAMIN MOORE
-  **WINDOWS**  
DARK BRONZE CLAD  
BENJAMIN MOORE
-  **ENTRY DOOR**  
STAINED WOOD
-  **GARAGE DOOR**  
STAINED WOOD
-  **NATURAL STONE VENEER**  
DESERT SUNRISE
-  **WINDOW TRIM**  
BURGUNDY FROM.  
BENJAMIN MOORE
-  **EXTERIOR WALLS SIDING:**  
SILVER SPRING FROM.  
BENJAMIN MOORE

**HOFFMAN RESIDENCE**  
120 ELLENDALE ST.  
MOSS BEACH, CA.

Sheet:  
EXTERIOR MATERIALS &  
COLOR SCHEME  
Scale as shown

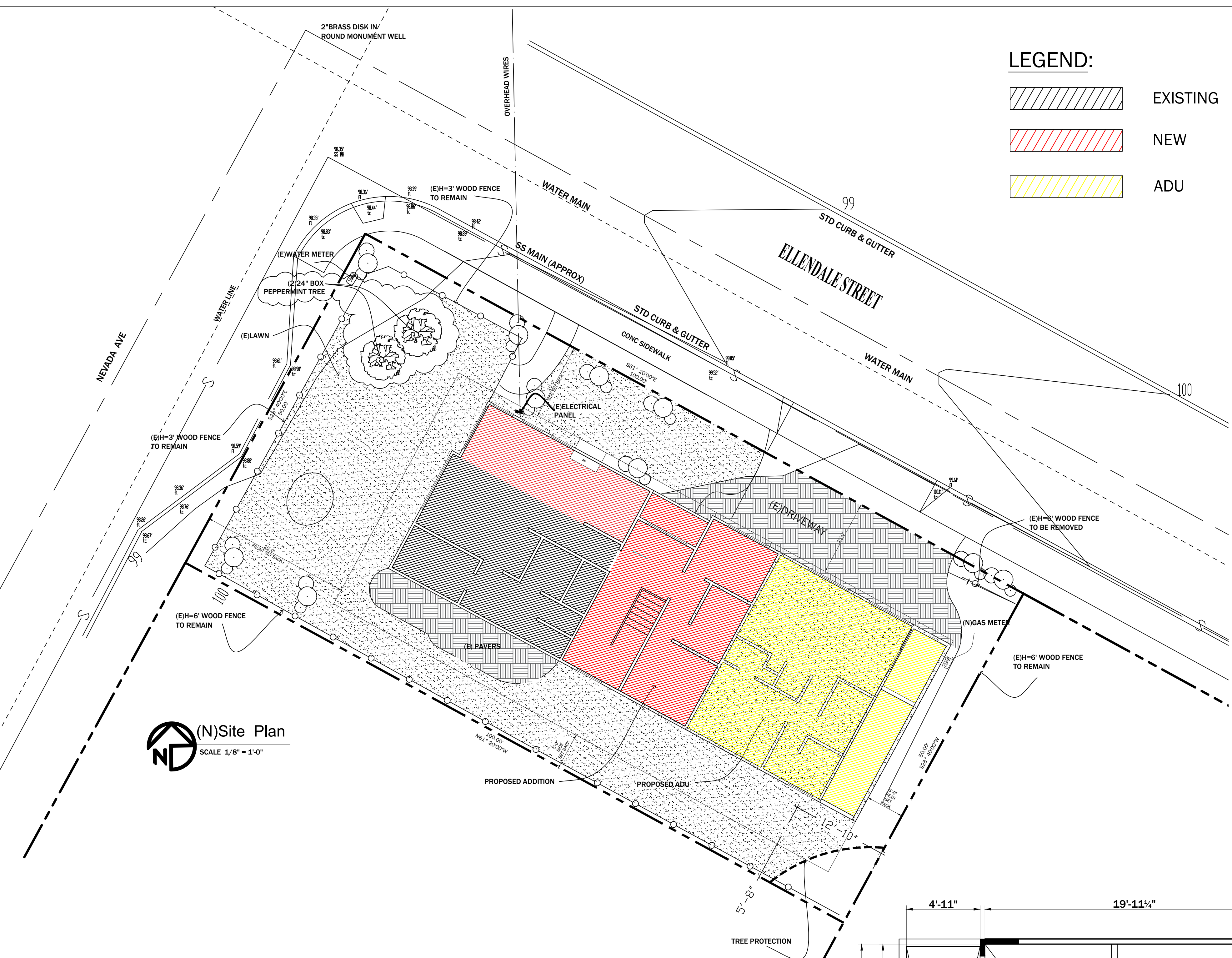
**AA-EXT**  
2020 DESIGN APPROVAL

REV	DATE

(N)SITE PLAN & LOT COVERAGE  
CALCULATION

**LEGEND:**

-  EXISTING
-  NEW
-  ADU

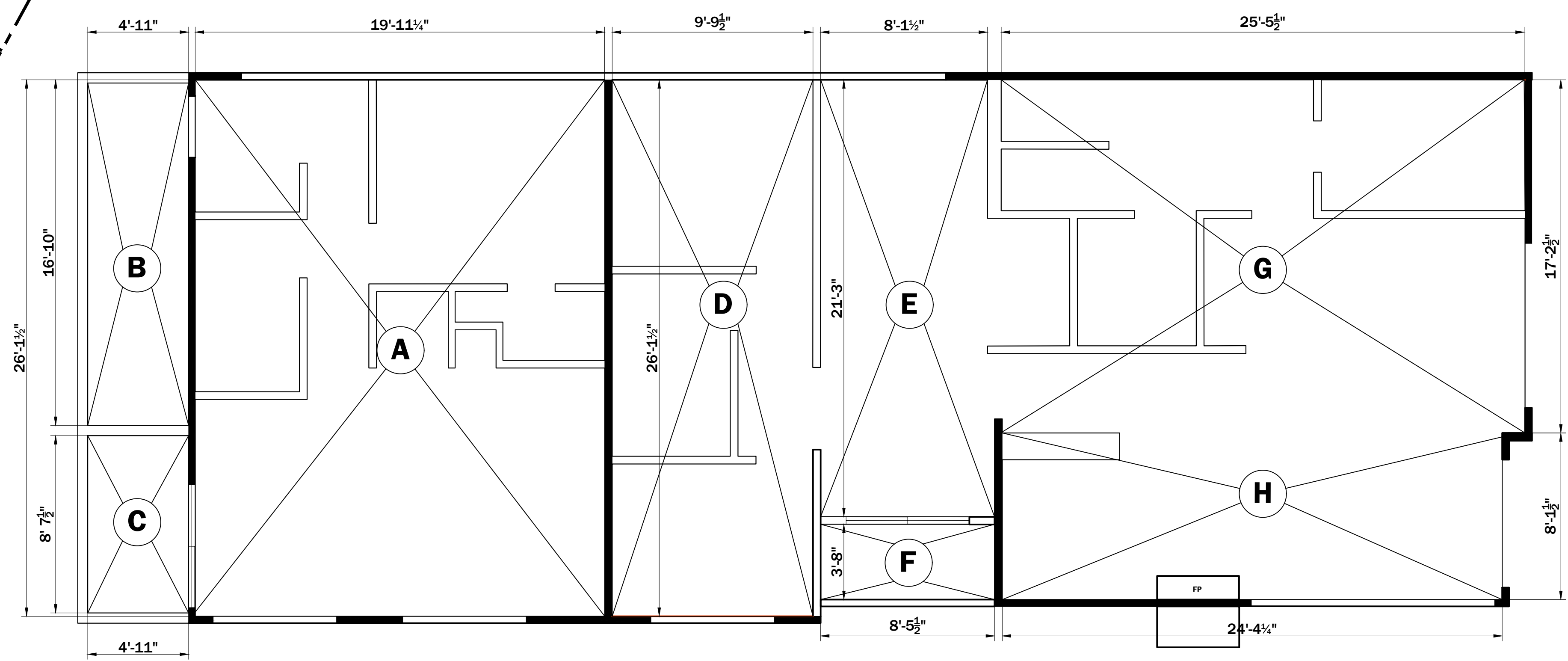


LOT COVERAGE CALCULATION:

A: 19'-11.25" X 26'-1.5" = 19.9' X 26.1' = 519.39  
 B: 16'-10" X 4'-11" = 16.8 X 4.9 = 82.32  
 C: 8'-7.5" X 4'-11" = 8.65 X 4.9 = 42.39  
 D: 9'-9.5" X 26'-1.5" = 9.75 X 26.1 = 254.48  
 E: 8'-1.5" X 21'-3" = 8.1 X 21.25 = 172.13  
 F: 8'-5.5" X 3'-8" = 8.5 X 3.75 = 31.88  
 G: 25'-5.5" X 17'-2.5" = 25.5 X 17.25 = 439.88  
 H: 8'-1.5" X 24'-4.25" = 8.1 X 24.4 = 197.64

TOTAL: 1,740.10 SQ.FT. = 30.2%

LOT COVERAGE CALCULATION  
SCALE: 1/4" = 1'-0"














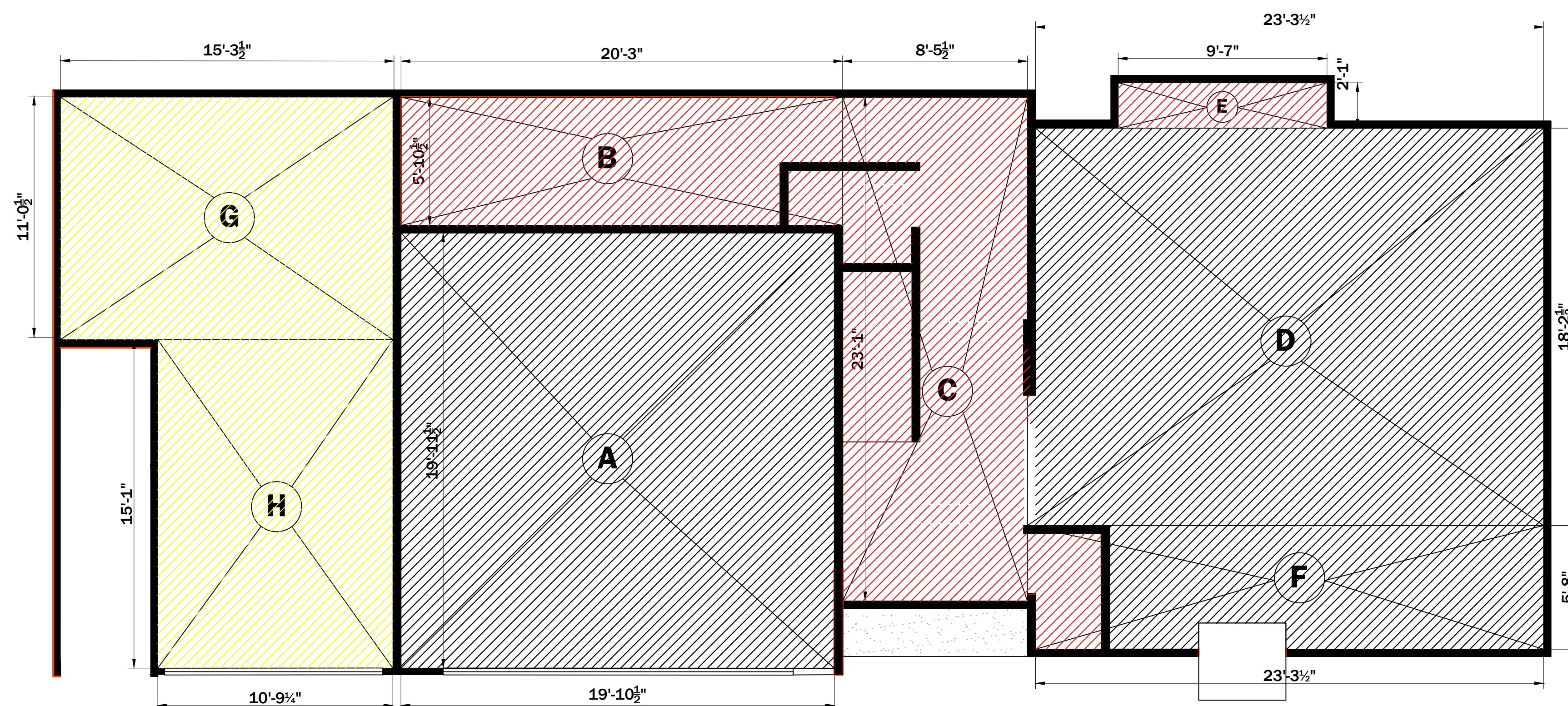




(N) EXTERIOR ELEVATIONS

LEGEND:

-  EXISTING
-  NEW
-  ADU



(N) FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"

FLOOR AREA CALCULATION:

A: 20 x 19.8 = 396 SQ.FT. (GARAGE)

FIRST FLOOR (MAIN HOUSE)

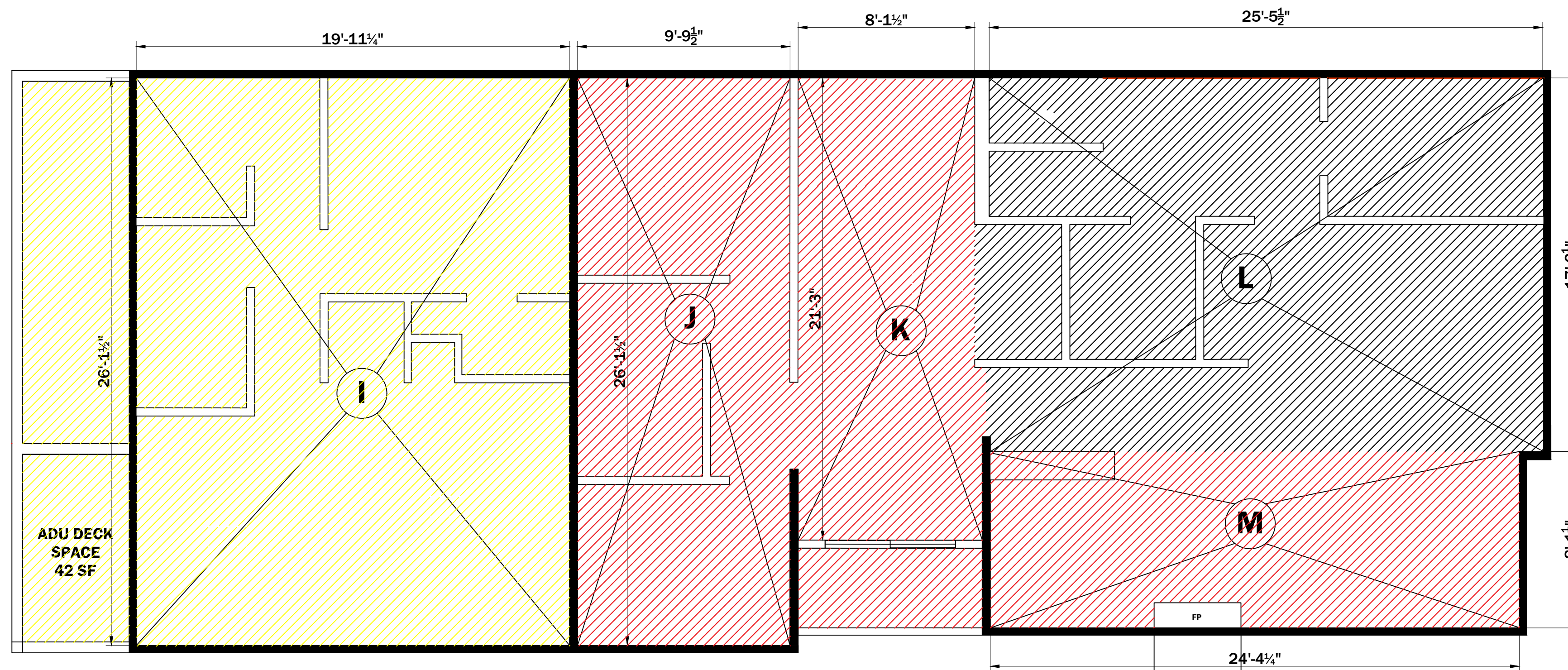
- B: 5.8 X 20.25 = 117.45 SQ.FT.
- C: 23.1 X 8.5 = 196.35 SQ.FT.
- D: 23.25 X 18.25 = 424.3 SQ.FT.
- E: 9.6 X 2.1 = 20.15 SQ.FT.
- F: 23.25 X 5.6 = 130.2 SQ.FT.

TOTAL: 1,284.45 SQ.FT.

ADU GARAGE

- G: 15.25 X 11 = 167.75 SQ.FT.
- H: 15.1 X 10.75 = 162.3 SQ.FT.

TOTAL: 330 SQ.FT.



(N) SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"

FLOOR AREA CALCULATION:

SECOND FLOOR (MAIN HOUSE)

- J: 9.75 X 26.1 = 254.48
- K: 8.1 X 21.25 = 172.13
- L: 25.5 X 17.25 = 439.88
- M: 8.1 X 24.4 = 197.64

TOTAL: 1,064.13 SQ.FT.

SECOND FLOOR (ADU)

I: 19.9' X 26.1' = 519.39

TOTAL: 520 SQ.FT.

AREA CALCULATION

DATE: 05/02/25

SCALE: N/A

DRAWN BY: JASMINE SARTAIN

SHEET NUMBER:

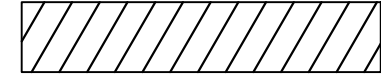
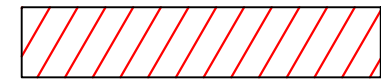

A-8

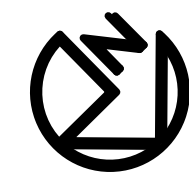
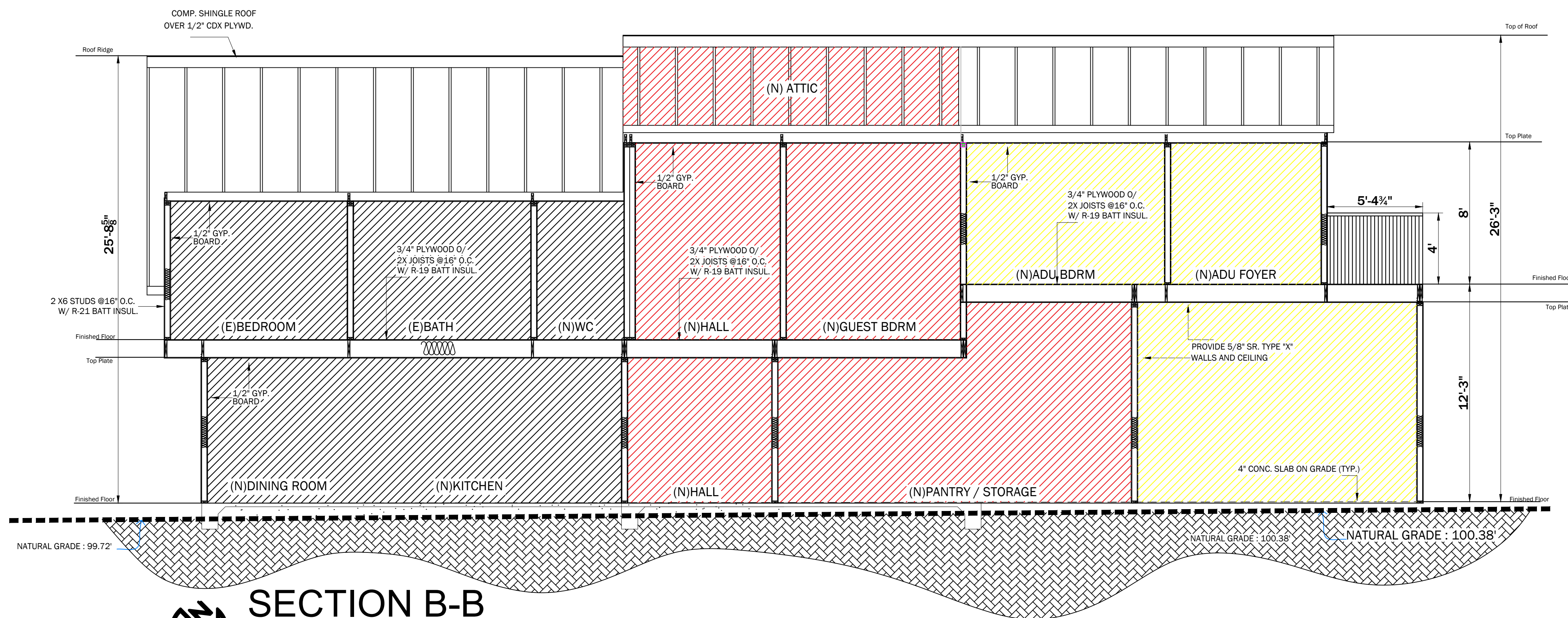
REV	DATE

SECTION

(N) EXTERIOR ELEVATIONS

LEGEND:

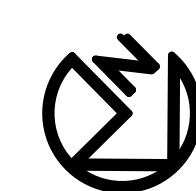
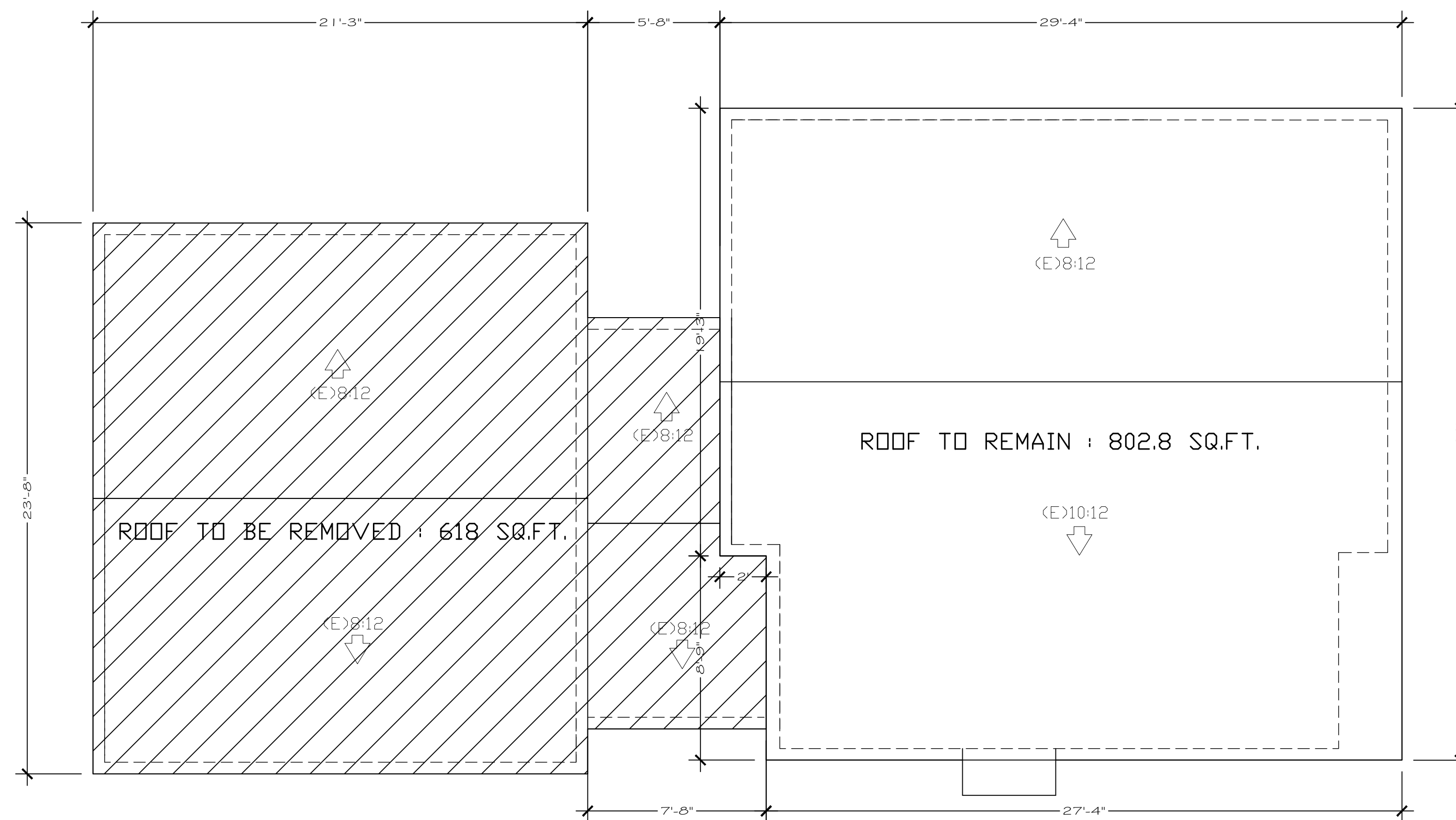
-  EXISTING
-  NEW
-  ADU



SECTION B-B

SCALE 1/4" = 1'-0"

NOTE: SECTION DRAWINGS TO BE USED FOR REFERENCE ONLY FOR ACTUAL MEMBER SIZES AND SPACING. PLEASE SEE STRUCTURAL SHEETS



ROOF CALCULATION

SCALE 1/4" = 1'-0"

ROOF CALCULATION:

TOTAL ROOF: 1,420.8 SQ.FT.  
ROOF TO BE REMOVED : 618 SQ.FT.  
REMAINING (E)ROOF = 802.8 SQ.FT. = 56.5%

**WINDOW SCHEDULE**

ROOM NAME	WINDOW No.	SIZE		TYPE	MATERIAL	GLAZING	DESCRIPTION	CLEAR OPENING, Sq. Ft.	DETAIL			NOTES
		WIDTH	HEIGHT						HEAD	JAMB	SILL	
ADU GARAGE	W1	3°	2°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	2.24				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
ADU GARAGE	W2	3°	2°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	2.24				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
ADU GARAGE	W3	3°	2°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	2.24				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
KITCHEN	W4	5°	3°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	6.27				MILGARD TRINSIC V300 SERIES COLOR: TBD
DINING RM	W5	2°	5°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	9.57				MILGARD TRINSIC V300 SERIES COLOR: TBD
DINING RM	W6	2°	5°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	9.57				MILGARD TRINSIC V300 SERIES COLOR: TBD
DINING RM	W7	2°	5°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	9.57				MILGARD TRINSIC V300 SERIES COLOR: TBD
DINING RM	W8	2°	5°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	9.57				MILGARD TRINSIC V300 SERIES COLOR: TBD
DINING RM	W8	2°	5°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	9.57				MILGARD TRINSIC V300 SERIES COLOR: TBD
ADU ENTRY	W9	4° DIAM.		PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW, FULL ROUND	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
ADU BEDROOM	W10	6°	4°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	10.43				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
GUEST BDRM	W11	6°	4°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	10.43				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
2nd FLOOR HALL	W12	4° DIAM.		PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW, FULL ROUND	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
PRIMARY BDRM	W13	8°	5°	DV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, DOUBLE VENT	8.53				MILGARD TRINSIC V300 SERIES COLOR: TBD
PRIMARY BDRM	W14	CUSTOM *V.I.F.*		PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD
PRIMARY BDRM	W15	7°	3°	PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD
PRIMARY BDRM	W16	7°	3°	PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD
PRIMARY BDRM	W17	7°	3°	PW	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	PICTURE WINDOW	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD
OFFICE	W18	6°	5°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	13.21				MILGARD TRINSIC V300 SERIES COLOR: TBD
ADU KITCHEN	W19	6°	3°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	9.04				MILGARD TRINSIC V300 SERIES COLOR: TBD
ADU LIVING	W20	6°	3°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	9.04				MILGARD TRINSIC V300 SERIES COLOR: TBD

**WINDOW SCHEDULE**

ROOM NAME	WINDOW No.	SIZE		TYPE	MATERIAL	GLAZING	DESCRIPTION	CLEAR OPENING, Sq. Ft.	DETAIL			NOTES
		WIDTH	HEIGHT						HEAD	JAMB	SILL	
PRIMARY BATH	W21	2°	1°	HV	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	HORIZONTAL SLIDER, HALF VENT	N/A				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
PRIMARY BATH	W22	2°	3°	SC	VINYL	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	SINGLE CASEMENT	5.82				MILGARD TRINSIC V300 SERIES COLOR: TBD OBSCURE GLASS P516
DORMER	SK1	3°	4°	-	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS; TEMPERED EXT. PANE	-	N/A				VELUX SOLAR OPERABLE w/ SHADE
DORMER	SK2	3°	4°	-	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS; TEMPERED EXT. PANE	-	N/A				VELUX SOLAR OPERABLE w/ SHADE
DORMER	SK3	3°	4°	-	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS; TEMPERED EXT. PANE	-	N/A				VELUX SOLAR OPERABLE w/ SHADE
PRIMARY BATH	SK4	4°	4°	-	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS; TEMPERED EXT. PANE	-	N/A				VELUX SOLAR OPERABLE w/ SHADE
2nd FLOOR HALL	ST1	14" Diam.	-	LOW PROFILE	-	STANDARD DIFFUSER; LOW PROFILE TGR (RIGID) OR TGF (FLEXIBLE)	-	N/A				VELUX SUN TUNNEL SKYLIGHTS; CONTRACTOR TO DECIDE IF RIGID OR FLEXIBLE TUBING IS TO BE USED
2nd FLOOR HALL	ST2	14" Diam.	-	LOW PROFILE	-	STANDARD DIFFUSER; LOW PROFILE TGR (RIGID) OR TGF (FLEXIBLE)	-	N/A				VELUX SUN TUNNEL SKYLIGHTS; CONTRACTOR TO DECIDE IF RIGID OR FLEXIBLE TUBING IS TO BE USED
2nd FLOOR HALL	ST3	14" Diam.	-	LOW PROFILE	-	STANDARD DIFFUSER; LOW PROFILE TGR (RIGID) OR TGF (FLEXIBLE)	-	N/A				VELUX SUN TUNNEL SKYLIGHTS; CONTRACTOR TO DECIDE IF RIGID OR FLEXIBLE TUBING IS TO BE USED

**DOOR SCHEDULE**

ROOM NAME	DOOR No.	SIZE					THICK	GLAZING	FIRE LABEL	HARDWARE	NOTES
		MAT'L	FINISH	TYPE	WIDTH	HEIGHT					
ADU GARAGE	D1	AL	PAINTED	ROLL UP	9°	11°	-	N/A	-	-	PAINTED LIGHT GRAY TO MATCH SIDING
TWO CAR GARAGE	D2	WD	STAIN	-	16°	7°	-	-	-	-	REUSE EXISTING
FRONT ENTRY	D3	WD	STAIN	PIVOT	5°	6°	-	-	-	-	-
LIVING RM	D4	VINYL	TBD	2 PANEL SLIDER	6°	6°	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	-	-	-
LIVING RM	D5	VINYL	TBD	3 PANEL SLIDER	9°	6°	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	-	-	-
1st FLOOR HALL	D6	VINYL	TBD	2 PANEL SLIDER	6°	6°	-	DOUBLE PANE ARGON FILLED, LOW E, U-VALUE 0.29 OR LESS	-	-	-
ADU ENTRY	D7	-	-	-	3°	6°	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-
-	-	-	-	-	-	-	-	-	-	-	-

TISDALE DESIGN  
PO BOX 324  
PACIFICA, CA  
94044  
415.871.6361

HOFFMAN RESIDENCE ADDITION + REMODEL  
120 ELLENDALE ST  
MOSS BEACH, CA 94038  
APN # 037-117-140

REV DATE

DOOR + GLAZING  
SCHEDULE

DATE:  
05/02/25

SCALE:  
N/A

DRAWN BY:  
JASMINE SARTAIN

SHEET NUMBER:

A-10







TISDALE  
DESIGN  
PO BOX 324  
PACIFICA, CA  
94044  
415.871.6361

HOFFMAN RESIDENCE ADDITION + REMODEL  
120 ELLENDALE ST  
MOSS BEACH, CA 94038  
APN # 037-117-140

REV	DATE

EXTERIOR MATERIALS  
+  
COLOR SCHEME

DATE: 05/02/25  
SCALE: NTS  
DRAWN BY: JASMINE SARTAIN  
SHEET NUMBER: EXT



OUTDOOR COMPOSITE WOOD  
EFFECT WALL SLATS  
COLOR: GRAY



SLATE LEDGER STONE

SLATE LEDGE STONE  
VENEER @ CHIMNEY & 2ND  
FLOOR BALCONY



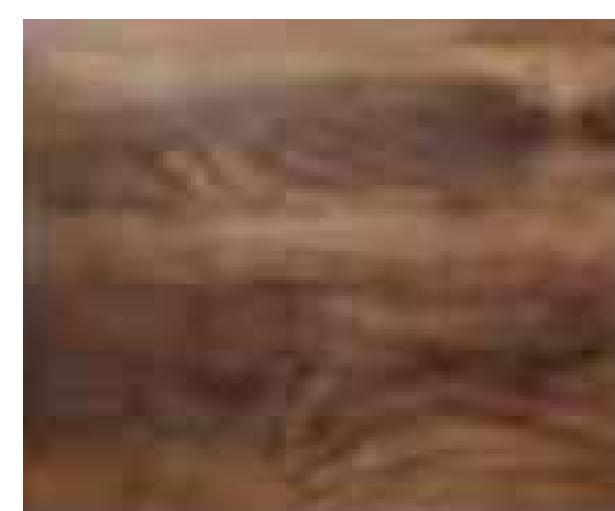
(N) COMPOSITE ROOF  
SHINGLES ON EXISTING  
ROOF FRAMING  
COLOR: CHARCOAL



EXTERIOR LIGHTING:  
KICHLER TUBE 7" HIGH BRONZE  
FINISH MODERN DARK SKY OUTDOOR  
WALL LIGHT



STUCCO EXTERIOR:  
SANTA BARBARA SMOOTH  
COLOR: BELLE GLADE



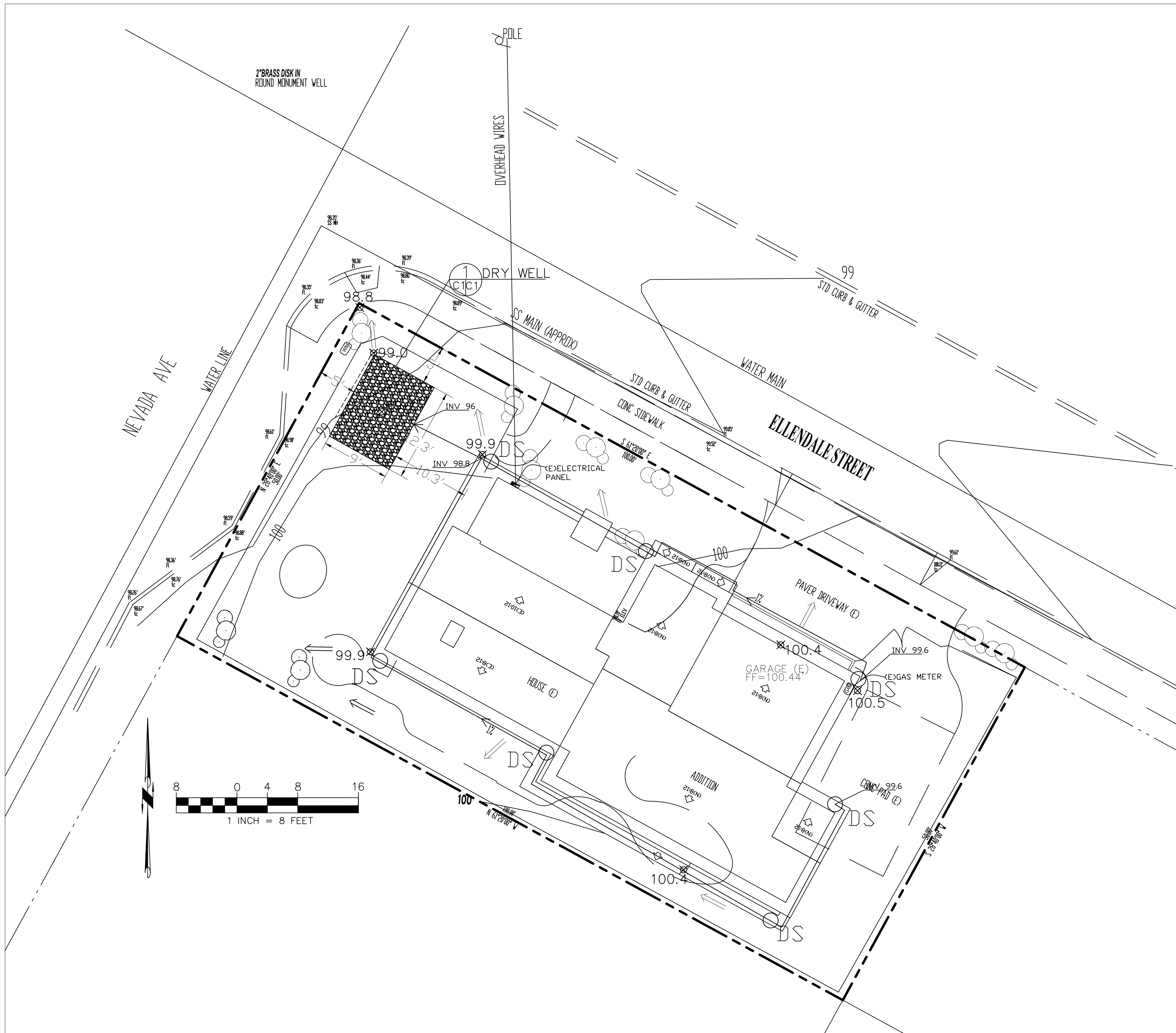
FRONT DOOR & GARAGE  
STAINED WOOD



GALVANIZED METAL ROOF  
FOR DORMER ONLY



ILLUMINATED HOUSE  
NUMBERS



**LEGEND**

- EXISTING CONTOURS
- PROPOSED CONTOURS
- EXISTING SPOT ELEVATION
- PROPOSED SPOT ELEVATION
- DOWNSPOUT
- 4" MIN SOLID DRAIN PIPE

**GENERAL NOTES**

1. PLANS PREPARED AT THE REQUEST OF:  
PAUL HOFFMAN, OWNER
2. TOPOGRAPHY BY OTHERS.
3. THIS IS NOT A BOUNDARY SURVEY.
4. ELEVATION DATUM ASSUMED.
5. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (850-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

CUT VOLUME : 10 CY (FOR FOOTINGS)  
 FILL VOLUME: 0 CY  
 TOTAL: 10 CY

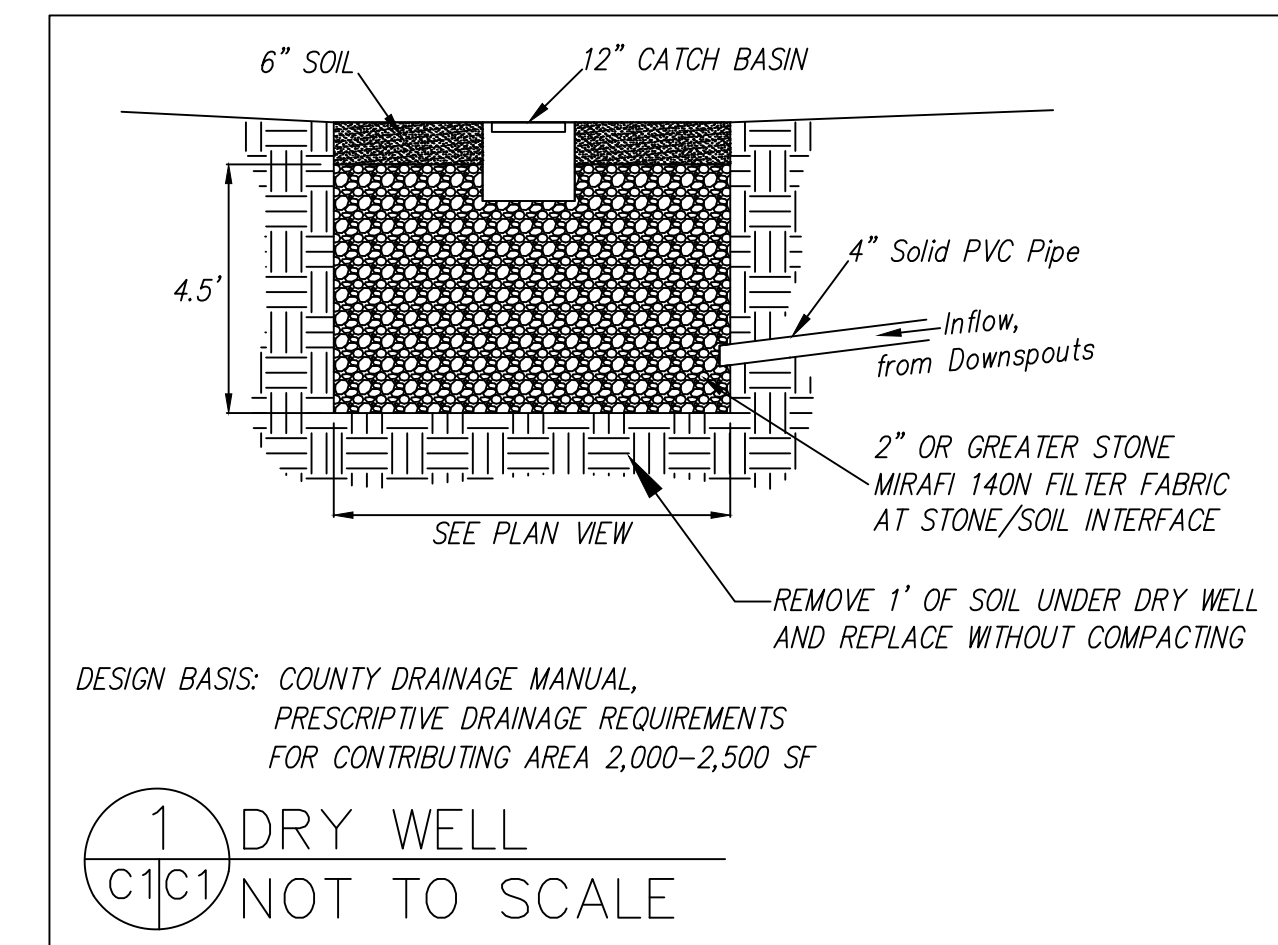
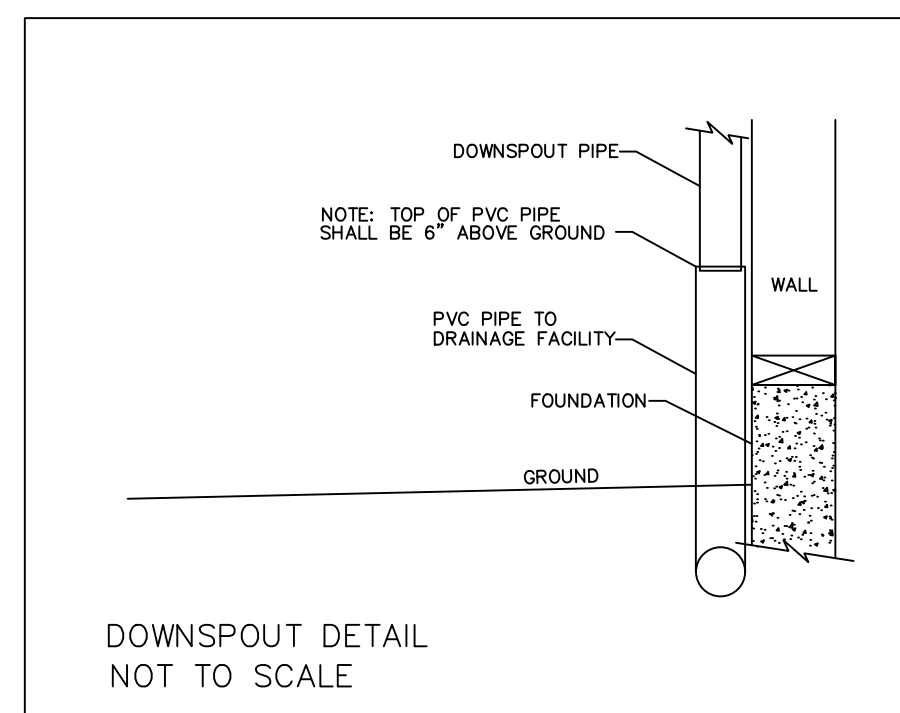
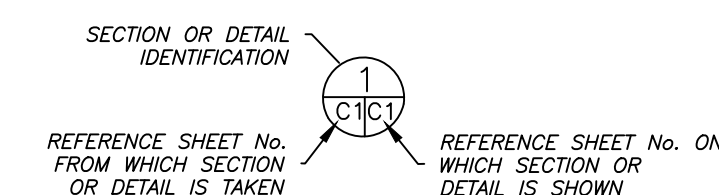
VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

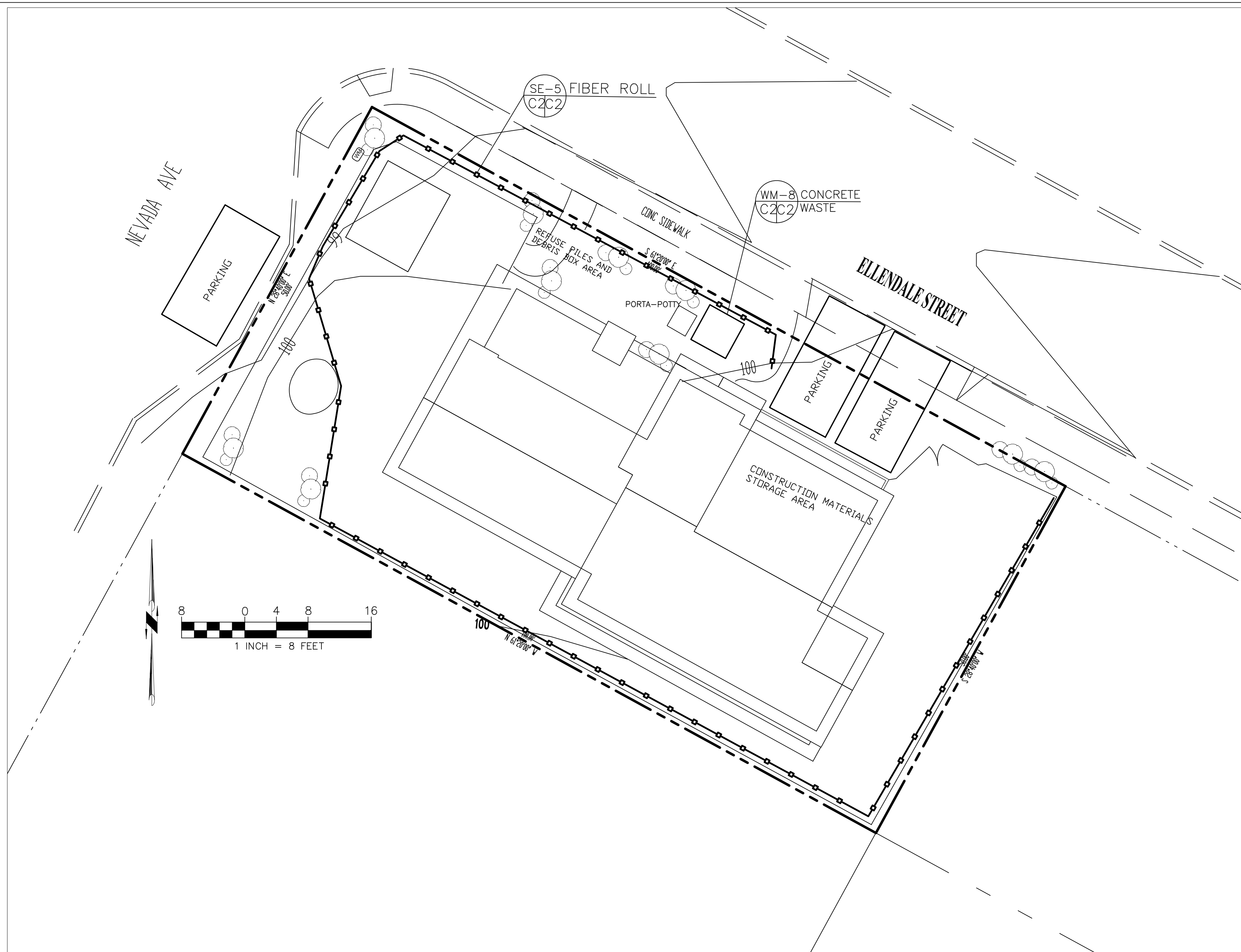
ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

**SECTION AND DETAIL CONVENTION**



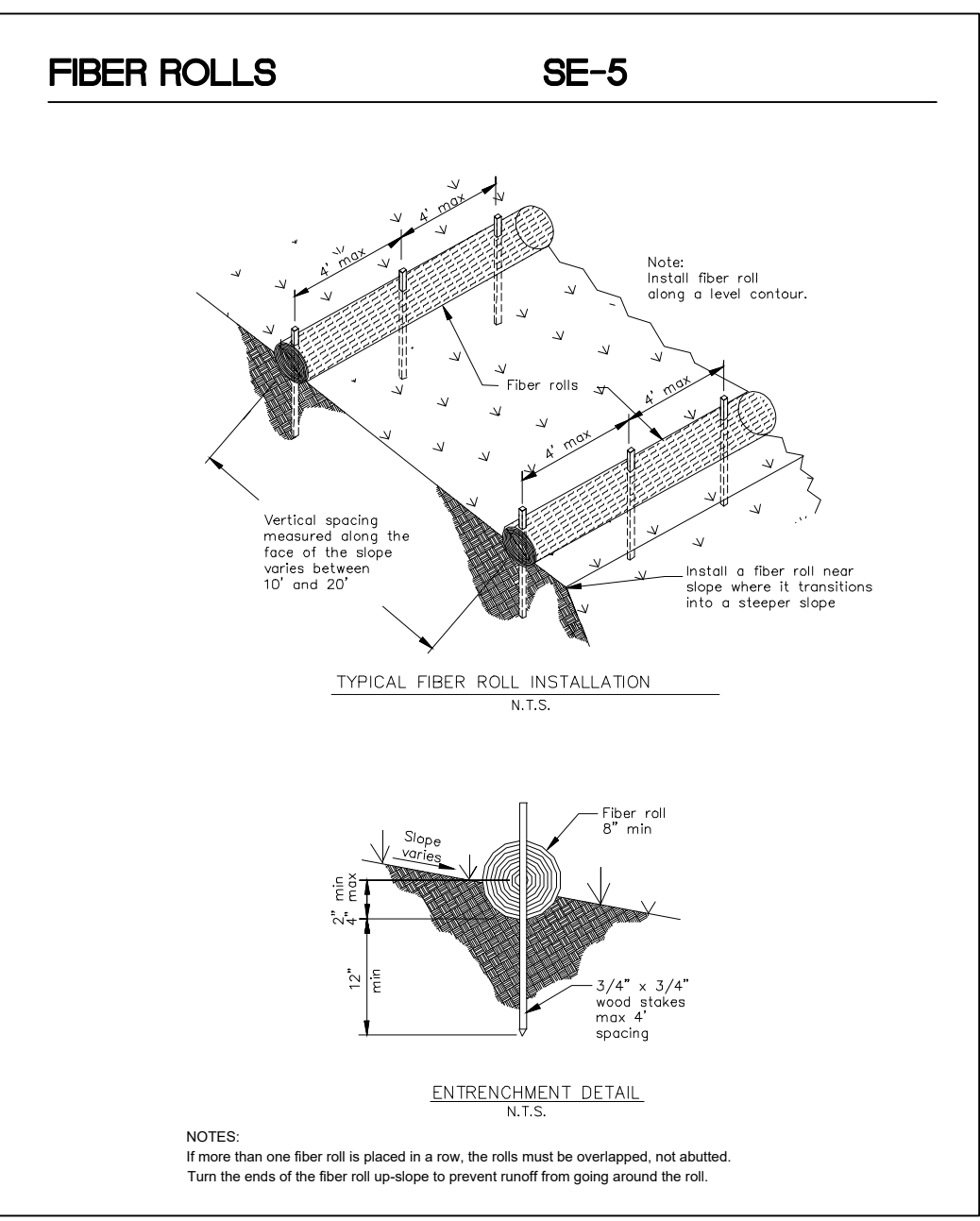
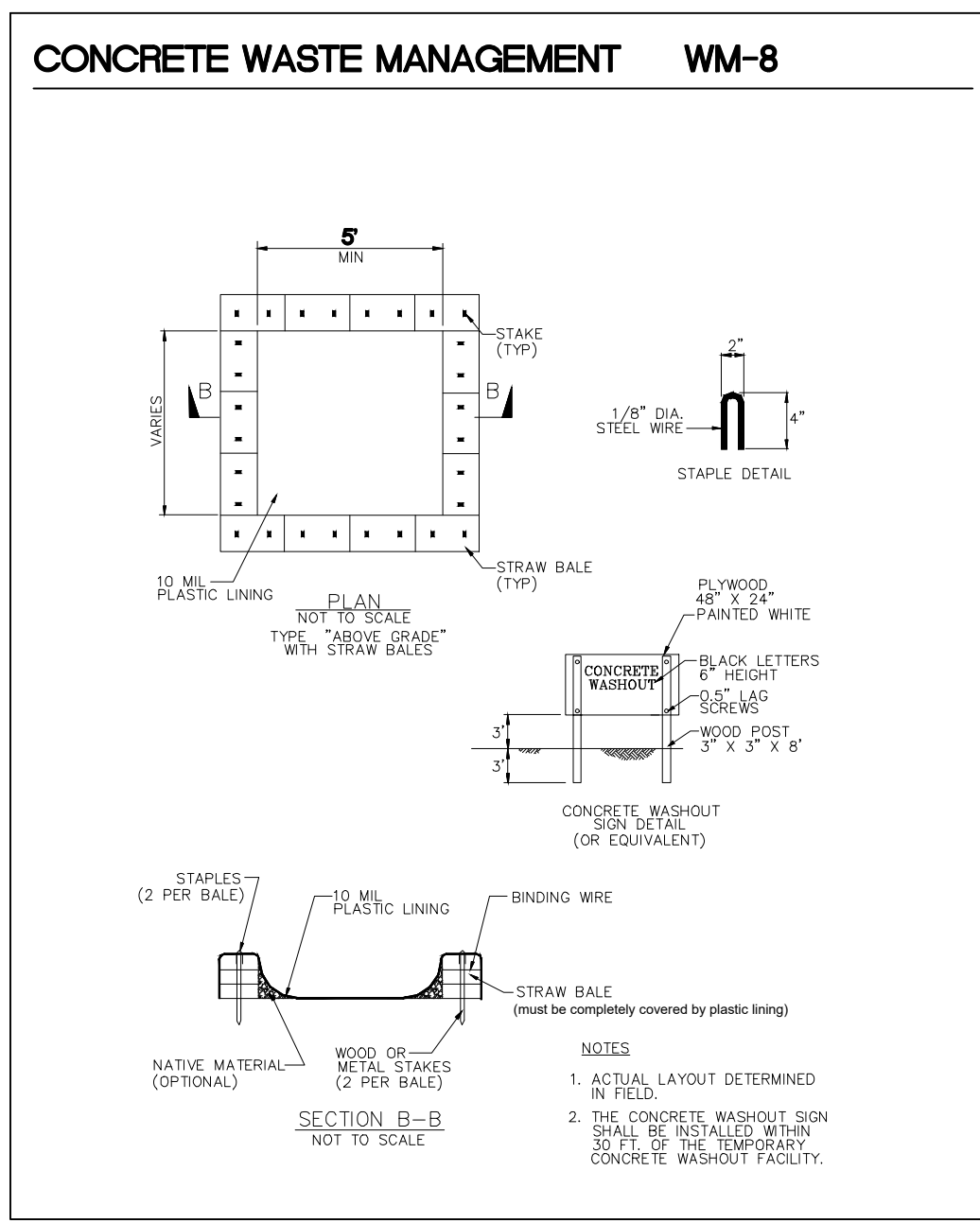
GRADING AND DRAINAGE PLAN	DATE: 11-12-20	DRAWN BY: CMK	CHECKED BY: AZG	REVISION: 3-1-23	REVISION: 11-6-23	REVISION: 4-15-24
	Sigma Prime Geosciences, Inc. SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593					
SHEET	C-1					



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**



- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.



**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

NAME: PAUL HOFFMAN  
 TITLE/QUALIFICATION: OWNER  
 PHONE: 650-438-9482  
 PHONE:  
 E-MAIL: PFHOFFMAN@COMCAST.NET

DATE: 11-12-20	DRAWN BY: CMK	CHECKED BY: AZG	REVISIONS: REV. DATE: 3-1-23 REV. DATE: 11-6-23 REV. DATE: 1-11-24 REV. DATE: 4-15-24
 Sigma Prime Geosciences, Inc.		SIGMA PRIME GEOSCIENCES, INC. 332 PRINCETON AVENUE HALF MOON BAY, CA 94019 (650) 728-3590 FAX 728-3593	
EROSION AND SEDIMENT CONTROL PLAN		HOFFMAN PROPERTY 120 ELLENDALE STREET MOSS BEACH APN 037-017-140	
<b>SHEET</b>  <b>C-2</b>			