

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: July 17, 2025

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Minor Subdivision, pursuant to Section 7010 of the County Subdivision Regulations, to subdivide a 22,752-sq. ft. parcel into two parcels to create one 9,000-sq. ft. parcel (Lot 1) and one-13,752 sq. ft. parcel (Lot 2), located at 32 Bishop Lane in the unincorporated Menlo Park area of San Mateo County.

County File Number: PLN2024-00275 (Bandla/Harikrishnan)

PROPOSAL

The applicant proposes to subdivide a 22,752-sq. ft. parcel to create one 9,000-sq. ft. parcel (Lot 1) and one 13,752-sq. ft. flag-shaped parcel (Lot 2). The existing residence and accessory building will be demolished as part of this project. No onsite improvements are required prior to final map recordation. Each parcel will have its own direct access from the public right-of-way. No shared access is proposed.

RECOMMENDATION

That the Zoning Hearing Officer approve the Minor Subdivision, County File Number PLN 2024-00275, by adopting the required findings and conditions of approval contained in Attachment A.

BACKGROUND

Report Prepared By: Luis Topete, Project Planner

Applicants: Neelima Bandla and Ramadevi Harikrishnan

Owners: Kishore Mokada and Ramadevi Harikrishnan, Trustees of the Kishore and Ramadevi Mokada Family Trust; Nitin Muppalaneni and Neelima Bandla, Trustees of The Muppallabandla Family Revocable Living Trust

Public Notification: A ten-day advanced notification for the hearing was mailed to all property owners within 300 feet of the perimeter of the project parcel's perimeter, and a hearing notice was published in the San Mateo County Times, a newspaper of general public circulation.

Location: 32 Bishop Lane, Menlo Park, CA 94025

APN: 074-301-070

Existing Parcel Size: 22,752 sq. ft.

Proposed Parcel Sizes: Lot 1 – 9,000 sq. ft.; Lot 2 – 13,752 sq. ft.

Existing Zoning: R-1/S-75 (One Family Residential District/Residential Density District 75)

General Plan: Medium Density Residential (6.1-8.7 dwelling units/acre)

Sphere-of-Influence: City of Menlo Park

Existing Land Use: Single-family residence and residential accessory building

Water Supply: California Water Service Company, Bear Gulch District

Sewage Disposal: West Bay Sanitary District

Flood Zone: Zone X (Areas of Minimal Flood Hazard). FEMA Community Panel 06081C0312E. Effective Date: October 16, 2012.

Seismic Hazard Zone: Liquefaction Zone

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15315, Class 15, relating to the division of property in urbanized areas zoned for residential use into four or fewer parcels.

Setting: The subject property is a 22,752-sq. ft. lot on the south side of Bishop Lane, a private road, within the Weekend Acres Subdivision in the Menlo Park area adjacent to single-family homes on all sides. The lot has a moderate slope ranging in elevation of 172 feet at the back southwest corner of the lot to an elevation of 156 feet at the front of the lot along Bishop Lane. An existing single-family residence and shed are located at the rear of the lot. The project site contains 23 trees that are considered significant trees which include Coast live oak, Valley oak, Bay laurel, and Buckeye trees. There are no heritage trees located on this property.

Chronology:

<u>Date</u>	<u>Action</u>
October 7, 2024	- Application submitted.
May 21, 2025	- Application deemed complete.
July 17, 2025	- Zoning Hearing Officer public hearing.

DISCUSSION

A. KEY ISSUES

1. Conformance with the County General Plan

Staff has reviewed the project and found it to be compliant with the policies of the General Plan. The relevant policies are discussed below:

a. Vegetative, Water, Fish and Wildlife Resources

Policy 1.25 (*Protect Vegetative Resources*) requires the County ensure that development will: (1) minimize the removal of vegetative resources and/or; (2) protect vegetation which enhances microclimate, stabilizes slopes or reduces surface water runoff, erosion or sedimentation; and/or (3) protect historic and scenic trees. Although no tree removal is proposed as part of the project, an arborist report was completed to identify and assess all trees that are presently located on the subject property or on the adjacent properties that could be affected by future development on the subject property. The trees included in this tree inventory are Coast live oak, Valley oak, Bay laurel, and Buckeye, with 23 trees considered significant trees under the County's tree ordinance. No heritage trees were identified. This project was reviewed by the County Arborist who determined that the arborist report provided is sufficient for approval of this subdivision. Any trees proposed for removal to accommodate future development will require separate tree removal permits.

Policy 1.28 (*Regulate Development to Protect Sensitive Habitats*) calls for the regulation of land uses and development activities within and adjacent to sensitive habitats in order to protect critical vegetative, water, fish and wildlife resources; protect rare, endangered, and unique plants and animals from reduction in their range or degradation of their environment; and protect and maintain the biological productivity of important plant and animal habitats. San Francisquito Creek is located approximately 250 feet east of the project site on the opposite side of Bishop Lane. A biological impact report was completed to assess the potential for presence of sensitive biological resources, including western leatherwood, fragrant fritillary, California tiger salamander (CTS), and Northwestern Pond turtle (NWPT). The report determined that the project site does not support suitable habitat for special-status plants. The CTS, California red-legged frog (CRLF), and NWPT would not likely occur at the project site due to the lack of suitable aquatic habitat present, but these species, though highly unlikely, could briefly pass through the project site. The project site does not contain any sensitive habitat, such as wetlands, riparian habitat, or sensitive plant communities. The report recommends implementing three avoidance measures to avoid potential

impacts to special-status and protected wildlife species. These avoidance measures have been incorporated as Conditions 8-10.

b. Urban Land Use

Policy 8.10 (*Designation of Existing Urban Neighborhoods*) designates certain neighborhoods, including Weekend Acres, as existing urban neighborhoods. The subject property is mapped within the urban boundary of the County with a land use designation of Medium Density Residential (6.1-8.7 dwelling units/acre). Based on the minimum density of 6.1 units per acre, the total lot could support approximately 3 dwelling units, while the maximum density of 8.7 units per acre would allow for about 4 to 5 dwelling units. Consequently, dividing the property into two lots, each potentially supporting one dwelling unit, would fall within the permitted density range of 6.1 to 8.7 units per acre. Thus, the subdivision is consistent with the Medium Density Residential land use designation.

c. Historical and Archeological Resources

Policy 5.16 (*Demolition of Resources*) discourages the demolition of any designated historic district or landmark. The existing house was built in 1924 and is proposed for demolition. As the project would affect a structure that is 50 years or older, a historical evaluation report was provided to determine the structure's historical significance. Based upon the results of the investigation, it was determined that the property is not currently listed on the California Register of Historic Resources, the National Register of Historic Places, or locally designated by the County of San Mateo. In addition, the structure does not appear eligible for listing in any of these registers. Thus, the report concluded that the existing house is not a historical resource and determined that the proposed project will have no significant impact on historic resources, as the project will not demolish or cause a substantial adverse change in the significance of a historical resource.

d. Housing Element

Policy HE 18 calls for promoting housing on small or irregular lots in existing urban areas with adequate infrastructure. The project is within an urban area and proposes to create two new residential parcels and maintain the current zoning designation which is consistent with the surrounding residential land uses. The subdivision would result in an additional parcel that can support future residential development which is consistent with the community housing goal to encourage density and promote the creation of new housing within existing residential areas. The proposed subdivision and will-serve letters from the California Water Service Company West Bay Sanitary District demonstrate adequate infrastructure to support the proposed land division.

2. Conformance with the Zoning Regulations

The subject parcel is zoned R-1/S-75 (One Family Residential District/Residential Density District 75). The two parcels resulting from this subdivision will be compliant with the minimum parcel size and parcel width requirement of the S-75 Combining District and will be of sufficient size and shape to meet the required development standards as illustrated in Table 1:

Table 1 S-73 Combining District Standards				
	Minimum Lot Size Required	Proposed Net Lot Size	Minimum Lot Width Required	Proposed Average Lot Width
Lot 1	5,000 sq. ft.	9,000 sq. ft.	50 feet	84 feet
Lot 2	5,000 sq. ft.	13,752 sq. ft.	50 feet	104 feet
Source: S-75 Combining District Development Standards, Zoning Regulations Chapter 20				

3. Compliance with the County Subdivision Regulations

Staff has reviewed the proposed tentative parcel map under the provisions of the County Subdivision Regulations which implement the Subdivision Map Act (Section 66410, et seq., of the Government Code of the State of California). An analysis of the proposed subdivision's compliance with the Subdivision Regulations is detailed below:

a. Required Findings for Subdivision Approval

Pursuant to Section 7013.3.b of the County Subdivision Ordinance, the following findings must be made in order to approve the proposed tentative parcel map:

(1) **That the proposed map is consistent with applicable general and specific plans.**

As discussed in Section A.1 above, staff has reviewed the proposed map and found it to be compliant with the policies of the General Plan, including compliance with the permitted density range of 6.1 to 8.7 units per acre. Thus, the subdivision is consistent with the Medium Density Residential land use designation.

(2) **That the design or improvement of the proposed subdivision is consistent with applicable general and specific plans.**

The tentative parcel map demonstrates compliance with minimum building site width and area, maximum density, and illustrates building envelopes demonstrating compliance with minimum

building setbacks, maximum building site coverage and floor area, and minimum onsite parking requirements of the S-75 (Weekend Acres) combining district. Section 7020.2. of the County Subdivision Regulations specify subdivision design requirements. The tentative parcel map proposes a suitable design for a one-family residential (R-1) lot, conforms with minimum parcel size and dimensions (width and depth), minimum frontage, parcel side property line alignment standards, access, and flag lot design requirements of the S-75 Weekend Acres combining district and Subdivision Regulations.

(3) That the site is physically suitable for the type of development.

This site is physically suitable for residential development. The tentative parcel map illustrates building envelopes demonstrating compliance with minimum building setbacks, maximum building site coverage and floor area, and minimum onsite parking requirements of the S-75 (Weekend Acres) combining district. Will-serve letters have been provided by the California Water Service Company Bear Gulch District and West Bay Sanitary District. Access for both lots will be provided directly from Bishop Lane. The lot has a moderate slope and is within an established residential neighborhood made up of similar parcel sizes and the proposed parcels would be consistent with the established neighborhood parcel configurations. Further, the County's Building Inspection Section, Department of Public Works, Geotechnical Section, Drainage Section, Parks Department, and County Fire Department have reviewed the proposed project and found that, as conditioned, it complies with their respective standards.

(4) That the site is physically suitable for the proposed density of development.

The parcels meet the requirements of the Zoning Regulations and would allow conforming single-family dwellings to be built. Existing water and electric lines serve the existing single-family residence proposed for demolition. Will-serve letters have been provided by the California Water Service Company Bear Gulch District and West Bay Sanitary District to confirm service to the new parcel. As discussed in Section A.1 above, staff has reviewed the proposed map and found it to be compliant with the policies of the General Plan, including compliance with the permitted density range of 6.1 to 8.7 units per acre.

(5) That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. Notwithstanding the above, a tentative map or tentative parcel map may be approved if an

EIR was prepared for the subdivision and a finding is made pursuant to Subdivision (c) of Section 21081 of the Public Resources Code that specific economic, social, or other considerations make the mitigation measures or project alternatives identified in the EIR infeasible.

As discussed in Section A.1 above, staff has reviewed the proposed map and found that the design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat.

- 1) **That the design of the subdivision or type of improvements is not likely to cause serious public health problems.**

The proposed subdivision is not likely to cause serious public health problems as it is served by public water and sewer systems that have adequate capacity to serve this project. Review of the project by applicable agencies yielded no objections. There are no hazardous or noxious uses proposed.

- 2) **That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.**

As specified in Board of Supervisors Resolution 50893, adopted October 11, 1988, the Director of Public Works shall require that new development on Bishop Lane maintain a building setback to allow for a 40-foot right-of-way. Therefore, the required building setback for new development on Bishop Lane is 30 feet. The tentative map demonstrates a minimum 30-foot front setback from Bishop Lane in compliance with this requirement. A review of County records and the submitted preliminary title report indicates that there are no existing easements on the subject property.

- 3) **That in this connection, the Advisory Agency may approve a map if it is found that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the Advisory Agency to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision.**

No alternate easements, for access or for use, are proposed or required as the design of the subdivision and proposed improvements would not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.

- 4) **That the discharge of waste from the proposed subdivision into an existing community sewer system would not result in violation of existing requirements prescribed by a State Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the State Water Code.**

The parcel is currently served by the West Bay Sanitary District, which has provided a will-serve letter confirming that the project is within their jurisdiction and entitled to receive all available services, in compliance with the District's Code of General Regulations and applicable water quality standards.

- 5) **That the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (“The Williamson Act”) and that the resulting parcels following a subdivision of that land would not be too small to sustain their agricultural use. For purposes of this section, land shall be presumed to be in parcels too small to sustain their agricultural use if the land is: (a) Less than ten (10) acres in size in the case of prime agricultural land, or; (b) Less than forty (40) acres in size in the case of land which is not prime agricultural land. A subdivision of land subject to the Williamson Act, with parcels smaller than those herein specified, may be approved only under the special circumstances prescribed in Section 66474.4(b) of the Map Act.**

The project site is not subject to a Williamson Act contract.

- 6) **That, for a subdivision on land located in a State Responsibility Area or a Very High Fire Hazard severity zone, as both are defined in Section 51177 of the California Government Code, all of the following are supported by substantial evidence in the record:**
- i. **The design and location of each lot in the subdivision, and the subdivision as a whole, are consistent with any applicable regulations adopted by the State Board of Forestry and Fire Protection pursuant to Sections 4290 and 4291 of the Public Resources Code.**
 - ii. **Structural fire protection and suppression services will be available for the subdivision through a county, city, special district, political subdivision of the state, or another entity organized solely to provide fire protection services that is monitored and funded by a county or other public entity; or the Department of Forestry and Fire Protection by contract entered into Pursuant to Section 4133, 4142, or 4144 of these Public Resources Code; and**
 - iii. **To the extent practicable, ingress and egress for the subdivision meets the regulations regarding road standards**

for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code as interpreted and applied by the County Fire Marshal, and any applicable County ordinance.

The project site is not located in a State Responsibility Area or a Very High Fire Hazard severity zone. The project has been reviewed and conditionally approved by the County Fire Department.

- 7) **That, for the subdivision of land designated in the County General Plan as open space and located in a State Responsibility Area or a Very High Fire Hazard severity zone, as both are defined in Section 51177 of the California Government Code, all of the following are supported by substantial evidence in the record:**
- i. **The subdivision is consistent with the open space purpose; and**
 - ii. **If the subdivision would result in parcels that are forty (40) acres or smaller in size, those parcels are subject to a binding and recorded restriction prohibiting the development of a habitable, industrial, or commercial building or structure, while all other structures shall comply with defensible space requirements described in Government Code Section 51182 or Section 4291 of the Public Resources Code. Any later approval to remove the aforementioned binding restriction shall make the subdivision subject to the requirements of (11) above.**

The project site is not designated as open space in the County General Plan and is not located in a State Responsibility Area or a Very High Fire Hazard severity zone. The project has been reviewed and conditionally approved by the County Fire Department.

4. Compliance with In-Lieu Park Fees

Section 7053 of the County Subdivision Ordinance requires that, as a condition of approval of a tentative map or tentative parcel map, the subdivider is required to dedicate land for park and recreation facilities. Alternatively, a subdivider can pay a fee in-lieu of dedication for the purposes of acquiring, developing, or rehabilitating County park and recreation facilities, and/or assisting other providers of park and recreation facilities in acquiring, developing, or rehabilitating facilities that will serve the proposed subdivision. Section 7055.3 further defines the formula for calculating the in-lieu fee for subdivisions of fifty lots or less. The anticipated fee for this subdivision is \$50,307.47 for in-lieu park fees. A worksheet showing the computation methodology is included in Attachment E. However, the final fee shall be based upon the assessed value of the project parcel at the time of recordation of the parcel map.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15315, Class 15, relating to the division of property in urbanized areas zoned for residential use into four or fewer parcels. The project is in conformance with the applicable General Plan and Zoning Regulations, no variances or exceptions are requested, all services and access to the proposed parcels are available and compliant with local standards, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent.

C. REVIEWING AGENCIES

Building Inspection Section
California Water Service Company, Bear Gulch District
County Fire Department
County Surveying and Map Checking
Department of Public Works
Drainage Section
Geotechnical Section
Parks Department
West Bay Sanitary District

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Location Map
- C. Vicinity Map
- D. Tentative Map
- E. Preliminary Drawings
- F. Parkland In-Lieu Fee Worksheet

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2024-00275

Hearing Date: July 17, 2025

Prepared By: Luis Topete, Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to CEQA Guidelines Section 15315, Class 15, relating to the division of property in urbanized areas zoned for residential use into four or fewer parcels. The project is in conformance with the applicable General Plan and Zoning Regulations, no variances or exceptions are requested, all services and access to the proposed parcels are available and compliant with local standards, the parcel was not involved in a division of a larger parcel within the previous two years, and the parcel does not have an average slope greater than 20 percent.

For the Minor Subdivision, Find:

2. That the proposed map is consistent with applicable general and specific plans. See Section A.3.a.1 of the staff report for supporting analysis.
3. That the design or improvement of the proposed subdivision is consistent with applicable general and specific plans. See Section A.3.a.2 of the staff report for supporting analysis.
4. That the site is physically suitable for the type of development. See Section A.3.a.3 of the staff report for supporting analysis.
5. That the site is physically suitable for the proposed density of development. See Section A.3.a.4 of the staff report for supporting analysis.
6. That the design of the subdivision or the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. See Section A.3.a.5 of the staff report for supporting analysis.

7. That the design of the subdivision or type of improvements is not likely to cause serious public health problems. See Section A.3.a.6 of the staff report for supporting analysis.
8. That the design of the subdivision or the type of improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. See Section A.3.a.7 of the staff report for supporting analysis.
9. That in this connection, the Advisory Agency may approve a map if it is found that alternate easements, for access or for use, will be provided, and that these will be substantially equivalent to ones previously acquired by the public. This subsection shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the Advisory Agency to determine that the public at large has acquired easements for access through or use of property within the proposed subdivision. No alternate easements, for access or for use, are proposed or required as the design of the subdivision and proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision.
10. That the discharge of waste from the proposed subdivision into an existing community sewer system would not result in violation of existing requirements prescribed by a State Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the State Water Code. The parcel is currently served by the West Bay Sanitary District, which has provided a will-serve letter confirming that the project is within their jurisdiction and entitled to receive all available services, in compliance with the District's Code of General Regulations and applicable water quality standards.
11. That the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 ("The Williamson Act") and that the resulting parcels following a subdivision of that land would not be too small to sustain their agricultural use. For purposes of this section, land shall be presumed to be in parcels too small to sustain their agricultural use if the land is: (a) Less than 10 acres in size in the case of prime agricultural land, or; (b) Less than 40 acres in size in the case of land which is not prime agricultural land. A subdivision of land subject to the Williamson Act, with parcels smaller than those herein specified, may be approved only under the special circumstances prescribed in Section 66474.4(b) of the Map Act. The project site is not subject to a Williamson Act contract.

- 12. That, for a subdivision on land located in a State Responsibility Area or a Very High Fire Hazard severity zone, as both are defined in Section 51177 of the California Government Code, all of the following are supported by substantial evidence in the record:
 - a. The design and location of each lot in the subdivision, and the subdivision as a whole, are consistent with any applicable regulations adopted by the State Board of Forestry and Fire Protection pursuant to Sections 4290 and 4291 of the Public Resources Code.
 - b. Structural fire protection and suppression services will be available for the subdivision through a county, city, special district, political subdivision of the state, or another entity organized solely to provide fire protection services that is monitored and funded by a county or other public entity; or the Department of Forestry and Fire Protection by contract entered into Pursuant to Section 4133, 4142, or 4144 of these Public Resources Code; and
 - c. To the extent practicable, ingress and egress for the subdivision meets the regulations regarding road standards for fire equipment access adopted pursuant to Section 4290 of the Public Resources Code as interpreted and applied by the County Fire Marshal, and any applicable County ordinance.

The project site is not located in a State Responsibility Area or a Very High Fire Hazard severity zone. The project has been reviewed and conditionally approved by the County Fire Department.

- 13. That, for the subdivision of land designated in the County General Plan as open space and located in a State Responsibility Area or a Very High Fire Hazard severity zone, as both are defined in Section 51177 of the California Government Code, all of the following are supported by substantial evidence in the record:
 - a. The subdivision is consistent with the open space purpose; and
 - b. If the subdivision would result in parcels that are 40 acres or smaller in size, those parcels are subject to a binding and recorded restriction prohibiting the development of a habitable, industrial, or commercial building or structure, while all other structures shall comply with defensible space requirements described in Government Code Section 51182 or Section 4291 of the Public Resources Code. Any later approval to remove the aforementioned binding restriction shall make the subdivision subject to the requirements of (12) above.

The project site is not designated as open space in the County General Plan and is not located in a State Responsibility Area or a Very High Fire Hazard severity zone. The project has been reviewed and conditionally approved by the County Fire Department.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval only applies to the proposal, documents, and plans described in this report, and submitted to and approved by the Zoning Hearing Officer on July 17, 2025. Modifications beyond those approved by the Zoning Hearing Officer will be subject to review and approval by the Director of Planning and Building and may require review at a public hearing. Minor modifications that are largely consistent with this approval may be approved at the discretion of the Director of Planning and Building.
2. This subdivision approval is valid for two years, during which time a parcel map shall be recorded. An extension to the time period, pursuant to Section 7013.5 of the County Subdivision Regulations, may be issued by the Planning Department upon written request and payment of any applicable extension fees prior to the expiration date.
3. Prior to recordation of the parcel map, the applicant shall pay to the San Mateo County Planning and Building Department in-lieu park fees as required by County Subdivision Regulations, Section 7055.3. The fees shall be based upon the assessed value of the project parcel at the time of recordation and calculated as specified in Section 7055.3 of the Subdivision Regulations.
4. Prior to the issuance of a building permit for any demolition or future construction, the applicant shall provide an erosion and sediment control plan, which demonstrates how erosion will be mitigated during the construction period. The erosion control measures shall be in place at all times during construction.
5. The applicant shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including, but not limited to, the following:
 - a. Delineation with field markers of clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses within the vicinity of areas to be disturbed by construction and/or grading.
 - b. Protection of adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.

- c. Performing clearing and earth-moving activities only during dry weather.
 - d. Stabilization of all denuded areas and maintenance of erosion control measures continuously between October 1 and April 30.
 - e. Storage, handling, and disposal of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - f. Control and prevention of the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - g. Use of sediment controls or filtration to remove sediment when dewatering site and obtain all necessary permits.
 - h. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilization of designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. Training and providing instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
 - m. Additional Best Management Practices in addition to those shown on the plans may be required by the Building Inspector to maintain effective stormwater management during construction activities. Any water leaving the site shall be clear and running slowly at all times.
 - n. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
6. Any future development on this parcel will be subject to compliance with the zoning regulations in place at that time, as well as with the following directive from Board of Supervisors Resolution No. 50893, approved on October 11, 1988. All new development shall: a) maintain a building setback to allow for a 40-foot right-of-way, meaning that the front setback, as measured from the front property line

along Bishop Lane, shall be 30 feet; and b) provide two covered and two uncovered [which may occur tandem] on-site parking spaces.

7. All tree pruning or removals will require a separate permit to be applied for at the time when the tree pruning, or removal is proposed.
8. Special-Status Amphibian and Reptile Surveys: A qualified biologist shall survey the project site for special-status amphibian and reptile species, including CTS, CRLF, and NWPT, within 48 hours before the onset of work activities. If any of these species are found and could be impacted by the construction work, the biologist shall contact USFWS and/or California Department of Fish and Wildlife (CDFW) (as applicable) and construction work shall stop. The animals shall be allowed to move out of the project site on their own.
9. Roosting Bat Survey: A qualified biologist shall conduct a pre-construction survey for roosting bats in suitable roosting habitat (i.e., trees, residence) on and adjacent to the project site (where accessible) within 14 days prior to the start of work activities (e.g., demolition, grading, construction). If active roosts are found, the roost shall be protected by establishing an exclusion zone. The size of the exclusion zone shall be determined by a qualified biologist in consultation with the California Department of Fish and Wildlife. If the roost needs to be removed, CDFW shall be consulted to determine the methods for removal and any appropriate mitigation (i.e., installation of bat boxes).
10. Nesting Bird Survey: To the extent feasible, vegetation removal activities shall occur during the non-nesting season (September 1 to January 31). For any construction activities conducted during the nesting season (February 1 through August 31), a qualified biologist shall conduct a preconstruction nesting bird survey of trees and other suitable nesting habitat at and within 250 feet of the project site. Where adjacent suitable nesting habitat is not accessible, the biologist shall survey by scanning for nests while using binoculars. The survey shall be conducted within seven days prior to the start of work. If the survey indicates presence of nesting birds, the biologist shall determine an appropriately sized buffer around the nests in which no work shall be allowed until the young have successfully fledged or the nest is no longer active.

The size of the nest buffer shall be determined by the biologist and shall be based on the nesting species and its sensitivity to disturbance. In general, buffer sizes of up to 250 feet for nesting raptors and 50 feet for other birds are typically used to prevent substantial disturbance to nesting birds, but these buffers may be increased or decreased, as appropriate, depending on the bird species and the level of disturbance anticipated near the nest. If more than seven days elapse between the survey date and start of project activities, then an additional survey by the qualified biologist shall be conducted.

Building Inspection Section

11. A building permit shall be applied for and issued prior to the start of any construction or demolition.

Drainage Section

12. Project will comply with County drainage policy to prevent stormwater from development from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the building permit or planning permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
13. A final C.3 and C.6 Development Review Checklist, drainage analysis/drainage report, and drainage plan prepared by a registered Civil Engineer shall be provided at the time of building permit submittal for each lot.
14. Project shall comply with all requirements of the Municipal Regional Stormwater NPDES Permit provision C.3. Please refer to the San Mateo Countywide Water Pollution Prevention Program's (SMCWPPP) C.3 Regulated Projects Guide for assistance in implementing LID measures at the site.
15. Design of stormwater treatment measures shall be consistent with technical guidance for the applicable type of stormwater measures provided in Chapter 6 of the C.3 Regulated Projects Guide.
16. Redevelopment projects that replace or alter more than 50 % of the existing on-site impervious surfaces are required to treat stormwater runoff from the entire site consisting of all existing, new, and/or replaced impervious surfaces (as well as any frontage area that is redeveloped). Treatment controls shall be designed and sized to treat runoff from the entire redevelopment project (including all existing, new, and/or replaced impervious areas) using flow or volume-based sizing criteria specified in provision C.3.d of the Municipal Regional Stormwater Permit.

17. Redevelopment projects that replace or alter less than 50 % of the existing on-site impervious surfaces are required to treat stormwater runoff from the new and replaced impervious surfaces (as well as any frontage area that is redeveloped).
18. No treatment measures (other than properly sealed and screened cisterns or rain barrels) shall have standing water more than five days for vector control.
19. Biotreatment soil used in the bioretention areas shall be in accordance with the biotreatment soil media specifications outlined in Appendix K of the C.3 Regulated Project Guide. Applicant shall submit biotreatment soil mix to County Drainage staff prior to final of the building permit.
20. Prior to the final of the building permit for the project, the property owner shall coordinate with the Project Planner to enter into an Operation and Maintenance Agreement (O&M Agreement) with the County (executed by the Director of Planning and Building) to ensure long-term maintenance and servicing by the property owner of stormwater site design and treatment control and HM measures according to the approved Maintenance Plan(s), for the life of the project. The O&M Agreement shall provide County access to the property for inspection. The Maintenance Agreement(s) shall be recorded for the property and/or made part of the CC&Rs.
21. Property owner shall be responsible for conducting all servicing and maintenance as described and required by the treatment measure(s) Maintenance Plan(s). Maintenance of all site design and treatment control measures shall be the owner's responsibility.
22. The property owner is responsible for submitting an Annual Report accompanied by a review fee to the County by December 31 of each year, as required by the O&M Agreement. The property owner is also responsible for the payment of an inspection fee for County inspections of the stormwater facility, conducted as required by the NPDES Municipal Regional Permit.
23. Approved Maintenance Plan(s) shall be kept on-site and made readily available to maintenance crews. Maintenance Plan(s) shall be strictly adhered to.
24. Site access shall be granted to representatives of the County, the San Mateo County Mosquito and Vector Control District, and the Water Board, at any time, for the sole purpose of performing operation and maintenance inspections of the installed stormwater treatment systems and runoff controls. A statement to that effect shall be made a part of the Maintenance Agreement and/or CC&Rs recorded for the property.
25. Property owner shall be required to pay for all County inspections of installed stormwater treatment systems as required by the Regional Water Quality Control Board or the County.

26. Per County's definition of SWRS sites, sites that disturb more than 10,000 sq. ft. of project area and have an average slope of less than 20 % will be classified as a SWRS site and are subject to the State Water Board MRP provision C.6. Projects subject to MRP provision C.6 are subject to monthly inspections from October 1 to April 30. Please refer to the most recent edition of the MRP for C.6 as well as C.6.e.ii.
27. Final Drainage Report shall have information and provide calculations showing that the drainage/stormwater facilities meet the County's Peak Flow and Volume Requirement.
28. Drainage/Stormwater Facilities shall meet the horizontal and vertical setbacks from foundations and utilities as described in the San Mateo County Drainage Manual and the C.3 Regulated Project Guide.
29. Advisory Comment: Based on the information provided, this project is classified as a "C.3 Regulated" (Standard Review). This project classification is required to have a comprehensive precise drainage plan and drainage report prepared by a California Registered Professional Civil Engineer (PE). Reference the SMCWPPP - San Mateo County Wide C.3 Regulated Projects Guide for requirements and Site Design Measures as well as the San Mateo County Drainage Manual.

Geotechnical Section

30. Applicant shall provide an updated investigation that explores to a minimum depth of 50 feet which is the standard of practice for liquefaction zones unless there is a lithological reason for going shallower (such as hitting bedrock or refusal).
31. Separate geotechnical reports for each parcel shall be submitted at the Building Permit stage. Each report shall be updated to the current locally adopted building code. Geotechnical recommendations including significant grading profiles, grading proposals, foundation design, retaining wall design, and basement design, if any, shall be provided in the geotechnical reports at the Building Permit stage. The Geotechnical Reports shall provide sufficient subsurface investigation data to evaluate the potential hazards, for example, expansive soils, soil corrosivity, weak soil strength, slope stability, and liquefaction. If any hazards are found, mitigation shall be provided in foundation design and grading proposal. Additionally, a plan review for each project will be necessary from the project geotechnical engineer.

Parks Department

32. Each lot will require an independent tree protection plan prior to demolition, grading, and construction activities. The tree protection plan shall include, in addition to other County requirements, a tree data table identifying tree species, diameter (in inches) and recommendation protection measures.

Department of Public Works

33. Prior to the issuance of the Building Permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20 %) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
34. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

Department of Public Works – County Surveyor

35. Any documents depicting existing parcel lines should bear the name and seal of a person authorized to practice land surveying. (Typically, a licensed land surveyor, or pre-1982 licensed Civil Engineer.)

County Fire Department

Fire Department Access

36. CFC 2022 Section 503.2.3 - Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities.
37. CFC 2022 Section 503.2.5 - Dead-end fire apparatus access roads in excess of 150 feet (45,720 mm) in length shall be provided with an approved area for turning around fire apparatus. Turn-around areas for fire apparatus within San Mateo County Fire jurisdiction must comply with CFC 2022 Appendix D.
38. CFC 2022 Section 503.3 [Amended] - Curbs along fire access lanes shall be painted traffic red. Such curbs shall have the words "FIRE LANE" stenciled every 75 feet on both the face and top edge of the curbs. The stenciled letters shall be a minimum of three inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color. Fire access lanes not having curbs shall either be provided with a 12-inch-wide painted red stripe along the edge or provided with signs, as directed by the Fire Code Official, along the fire access lane at a maximum spacing of 75 feet. Fire lanes utilizing the painted stripe shall have stenciled on the red stripe the words "FIRE LANE" each 75 feet. The

stenciled letters shall be a minimum of 3 inches in height and have a minimum stroke of one-half inch. The lettering shall be white in color.

39. CFC 2022 Section 503.2.7 - The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. Grading must comply with San Mateo County Fire Standard Detail CFS-004.
40. CFC 2022 Section 503.2.6 [Amended] - Where a bridge or an elevated surface is part of a fire apparatus access road, the bridge shall be constructed and maintained in accordance with AASHTO HS-20 (25 ton). Bridges and elevated surfaces shall be designed for a live load sufficient to carry the imposed loads of fire apparatus. Vehicle load limits, certified by an engineer, shall be posted at both entrances to bridges. Where elevated surfaces designed for emergency vehicle use are adjacent to surfaces which are not designed for such use, approved barriers, approved signs or both shall be installed and maintained. The Fire Marshal may allow the width to be reduced for a bridge providing access to R-3 and/or U occupancies and lands used primarily for agricultural purposes or recreation.
41. CFC 2022 Section 506.1.3 [Added] - When required by the San Mateo County Fire Department, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
42. SMCFD Standard CFS-004 - Gates shall be a minimum of 2 feet wider than the roadway they serve. Overhead gate structures shall have a minimum of 15½ feet of vertical clearance. Locked gates shall be provided with a Knox Box or Knox Padlock for fire department access. Electric gates shall be provided with a Knox Gate Switch and automatically open during power failures, unless equipped with manual override capability that is approved by San Mateo County Fire Department. Gates providing Fire access to a driveway or other roadway shall be located at least 35 feet from the primary road or street and shall open to allow a vehicle to stop without obstructing traffic on the adjoining roadway.

Water Tanks or Sources

43. CFC 2022 Section 507.1 - An approved water supply capable of supplying the required fire flow for fire protection shall be provided to premises on which facilities, buildings or portions of buildings are hereafter constructed or moved into or within the jurisdiction.

Fire Hydrants

44. CFC 2022 Section 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).

45. All fire conditions and requirements must be incorporated into the building plans, prior to building permit issuance. It is the applicant's responsibility to notify their contractor, architect and engineer of these requirements.
46. There may be additional requirements according to the actual design submitted and the current codes at time of building permit submittal.

West Bay Sanitary District (District)

47. The development must comply with all current District Regulations and Standards (www.westbaysanitary.org).
48. Lots/properties that can be sold separately shall have their own dedicated sanitary sewer connection (lateral).
49. New Assessor Parcel Number (APN) will need to be submitted to the District.
50. A Class 1 Sewer Permit is required for each connection or any sewer lateral work within the District's jurisdiction. All work shall comply with District standard detail No.06.
51. A conforming property line clean out (PLCO) is required within 5 feet of the property line. The clean out box shall be accessible for maintenance purposes and plainly visible to the eye, per District standard detail No. 07.
52. If the finish floor of any building connected to the sanitary sewer system by gravity flow, is less than 12 inches above the nearest upstream sanitary sewer manhole, a backwater valve will be required. The backwater valve shall be located on the lateral between the building and the property line clean out. The property owner shall be solely responsible for all costs of installation and maintenance of such devices.

53. Connection fees due are as follows:
 - a. Lot 1: Connection fee for Single-Family House is \$8,608.00.
 - b. Lot 2: An existing connection for a Single-Family House exists. No fees are due.
54. No pool drains, pool equipment, roof gutters, surface drainage, or groundwater sump pumps are allowed to connect to the sanitary sewer.
55. The contractor shall ensure all storm water drains away from sanitary sewer clean outs.
56. If gravity cannot be obtained anywhere on the property, then a private ejector pump may be used. Please note that a grinder type pump is not allowed.
57. The lateral from the building to the PLCO shall meet the requirements of the Building Department.
58. The District reserves the right to provide additional comments in response to subsequent submittals.

California Water Service Bear Gulch District (Cal Water)

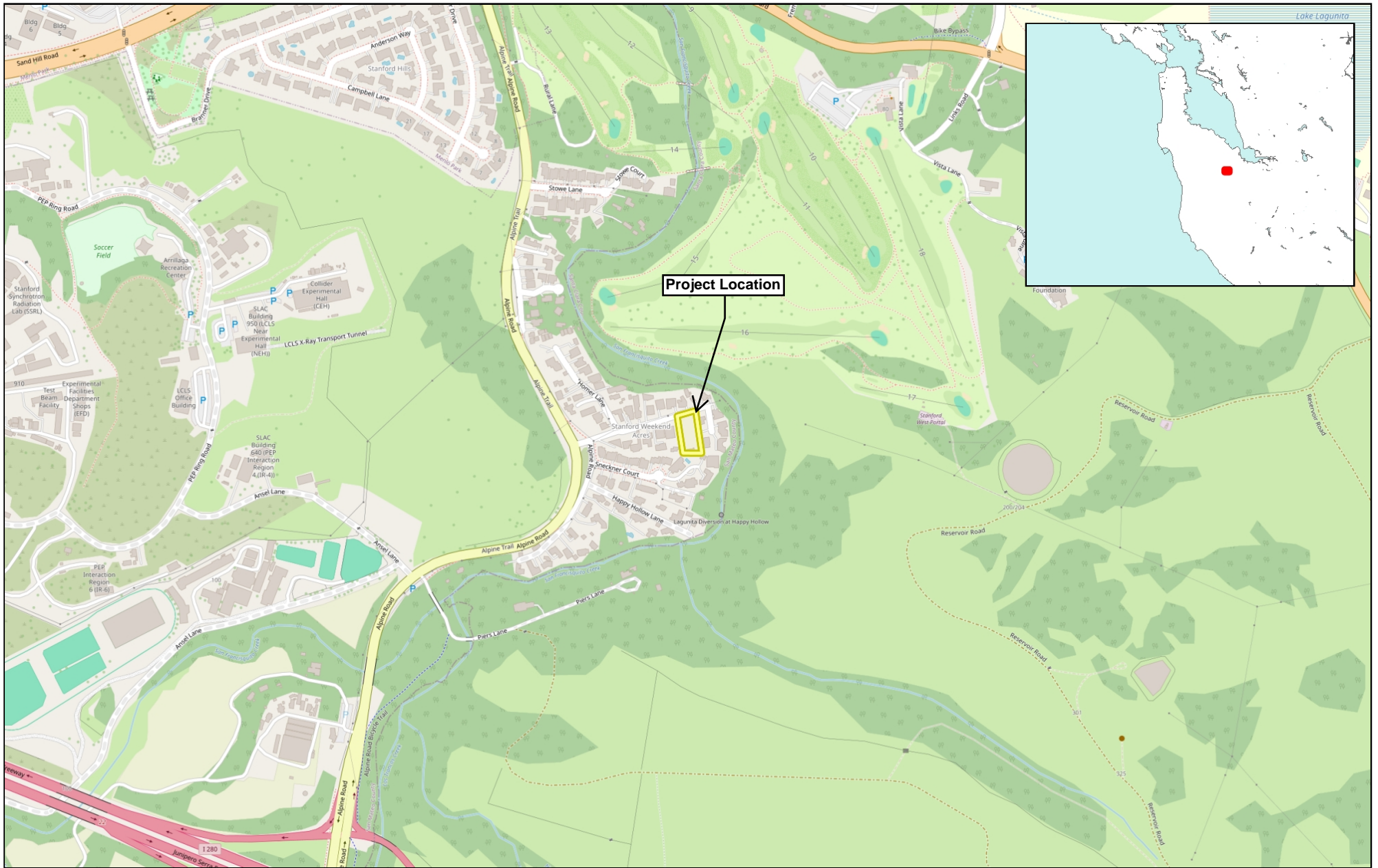
59. Cal Water's determination of water availability shall remain valid for two years from the date of their will-serve letter, dated July 9, 2024.
60. If construction of the project has not commenced within this two-year time frame, Cal Water will be under no further obligation to serve the project unless the developer receives an updated letter from Cal Water reconfirming water availability. Additionally, Cal Water reserves the right to rescind this letter at any time in the event its water supply is severely reduced by legislative, regulatory or environmental actions.
61. Cal Water will provide such potable water at such pressure as may be available from time to time as a result of its normal operations per the company's tariffs on file with the California Public Utilities Commission (CPUC).
62. Installation of facilities through developer funding shall be made in accordance with the current rules and regulations of the CPUC including, among others, Tariff Rules 15 and 16 and General Order 103-A.
63. In order for Cal Water to provide adequate water for domestic use as well as fire service protection, it may be necessary for the developer to fund the cost of special facilities, such as, but not limited to, booster pumps, storage tanks and/or water wells, in addition to the cost of mains and services.

64. Cal Water will provide more specific information regarding special facilities and fees after receipt of improvement plans, fire department requirements, and engineering fees for this project.
65. Cal Water's will-serve letter shall at all times be subject to such changes or modifications by the CPUC as said Commission may, from time to time, require in the exercise of its jurisdiction.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.34 0 0.17 0.34 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
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1: 10,901



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C



0.09 0 0.04 0.09 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,725



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

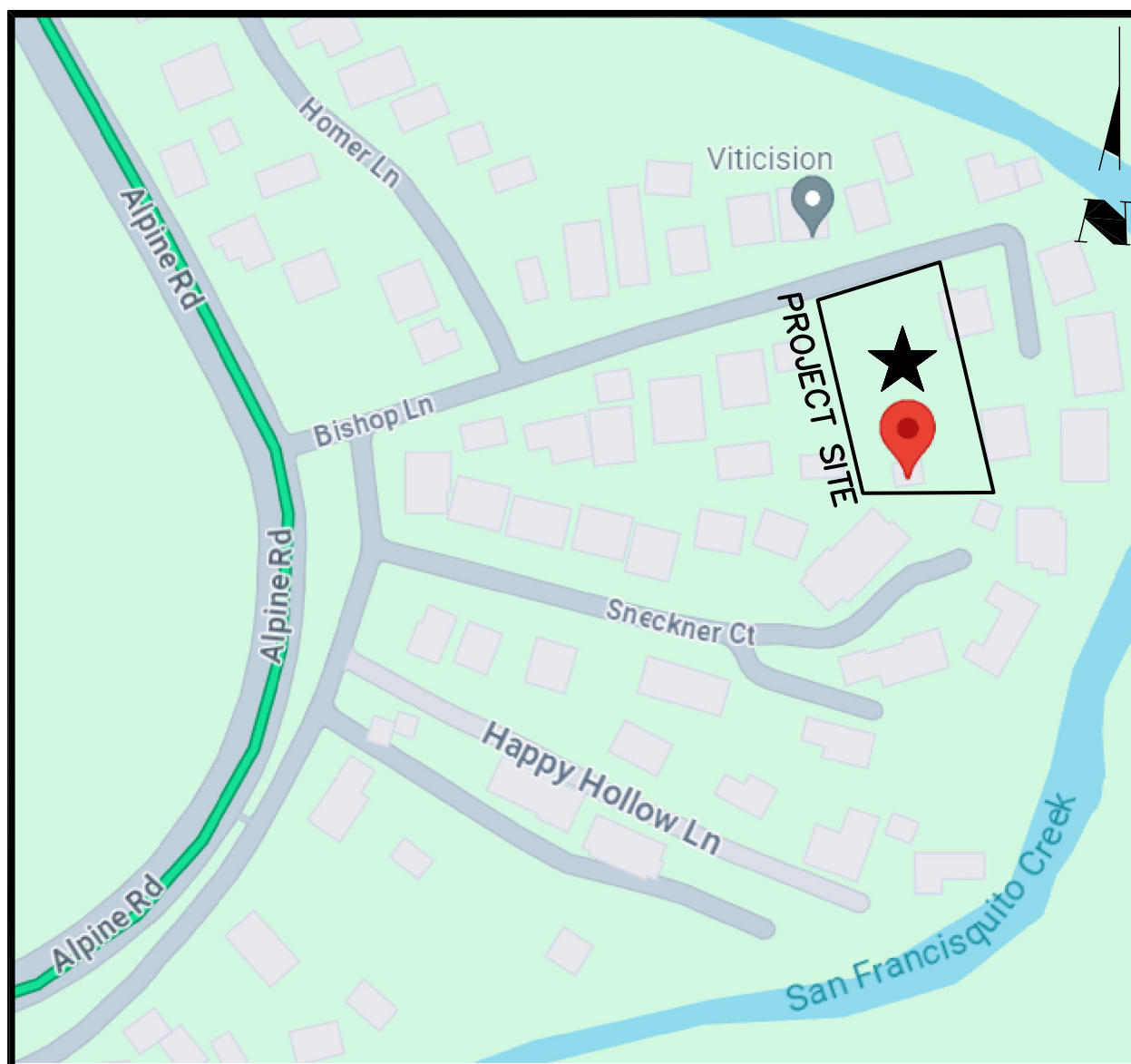


COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

TENTATIVE MAP

TWO LOT SUBDIVISION FOR RESIDENTIAL PURPOSES



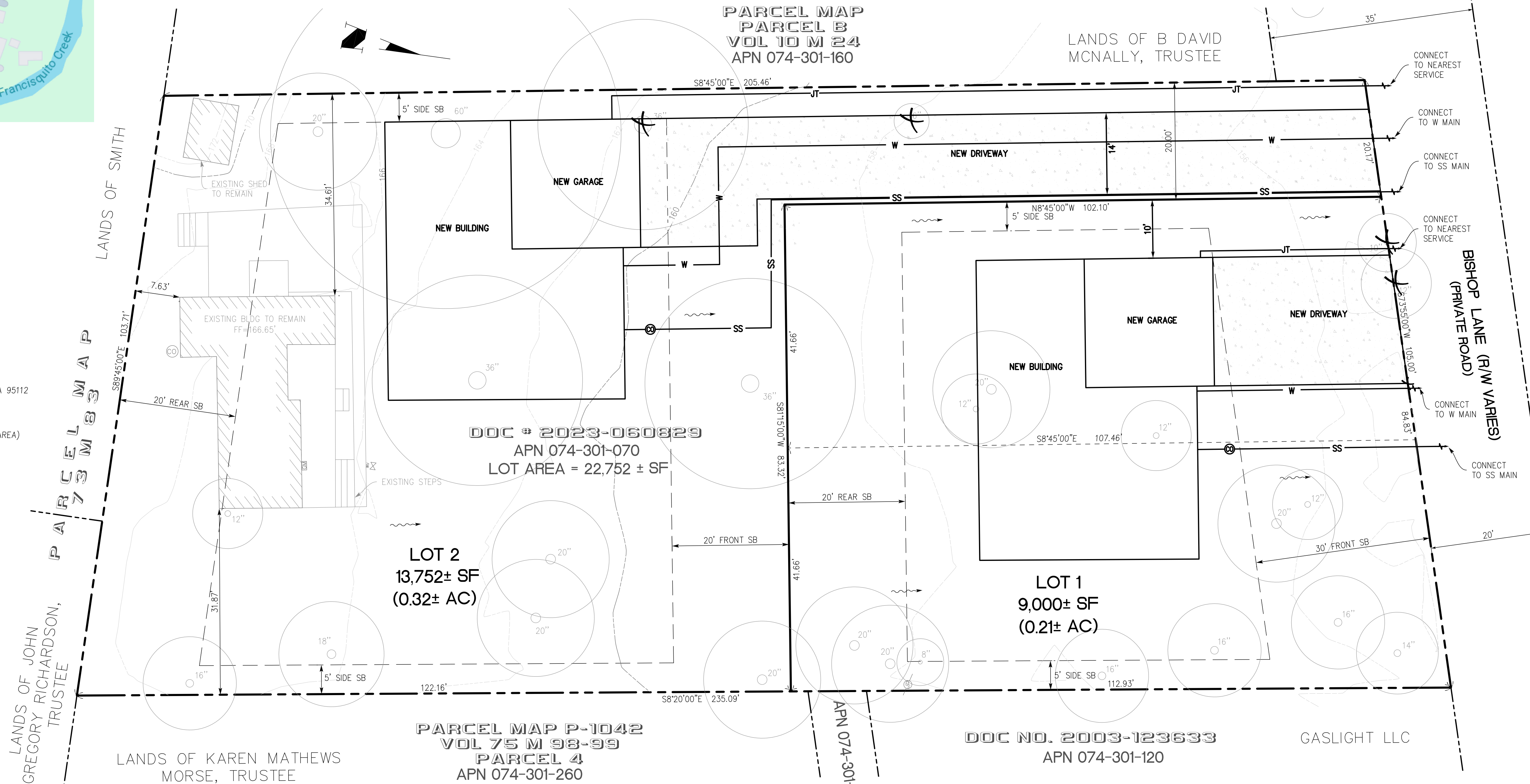
VICINITY MAP
NTS

PROJECT DESCRIPTION

TENTATIVE MAP TO SUBDIVIDE ONE LOT INTO TWO LOTS FOR RESIDENTIAL USES ON A 0.522-GROSS ACRE SITE.

NOTES:

- PROJECT NAME : 32 BISHOP LANE
- ASSESSOR PARCEL NO: 074-301-070
- OWNER : RAMADEVI HARIKRISHNAN AND NEELIMA BANDLA
ADDRESS : 32 BISHOP LANE, MENLO PARK, CA 94025
- ENGINEER : NINH M LE, PE
ADDRESS : 598 E SANTA CLARA ST, SUITE 270, SAN JOSE, CA 95112
TELEPHONE : (408)-806-7187
- SITE ADDRESS: 32 BISHOP LANE, MENLO PARK, CA 94025
- LOT AREA: 22,752± SF OR 0.522± ACRES (GROSS AREA)
- EXISTING ZONING: R-1/S-75
- PROPOSED ZONING: NO CHANGE
- EXISTING USE: RESIDENTIAL
- PROPOSED USE: RESIDENTIAL
- PROPOSED NUMBER OF LOTS : 2 LOTS
- ALL DIMENSIONS AND PROPOSED GRADING ARE PRELIMINARY AND SUBJECT TO FINAL DESIGN
- PROPOSED WATER, SANITARY SEWER, AND STORM DRAIN WILL BE CONSTRUCTED AS PER LOCAL AGENCY STANDARDS.
- WATER: CALIFORNIA WATER SERVICE
- SEWER: WEST BAY SANITARY
- GAS & ELECTRIC: PG&E
- TELEPHONE: AT&T
- CABLE TV: COMCAST
- WELLS: NONE
- IF EXISTING WATER METER IS NOT BEING USED, IT SHALL BE REMOVED AND CAPPED AT MAIN
- IF EXISTING INLETS ARE NOT BEING USED, THEY SHALL BE REMOVED AND CAPPED
- THE SIZE, MATERIAL, AND LOCATION OF THE PROPOSED UTILITIES IS, SUBJECT TO CHANGE, BASED ON DEMANDS, HYDRAULIC CALCULATIONS.
- NO NEW STREET NAMES ARE PROPOSED.



DOC # 2023-060829
APN 074-301-070
LOT AREA = 22,752 ± SF

LOT 2
13,752± SF
(0.32± AC)

LOT 1
9,000± SF
(0.21± AC)

PARCEL MAP P-1042
VOL 75 M 98-99
PARCEL 4
APN 074-301-260

DOC NO. 2003-123633
APN 074-301-120

GASLIGHT LLC

LEGEND & ABBREVIATIONS

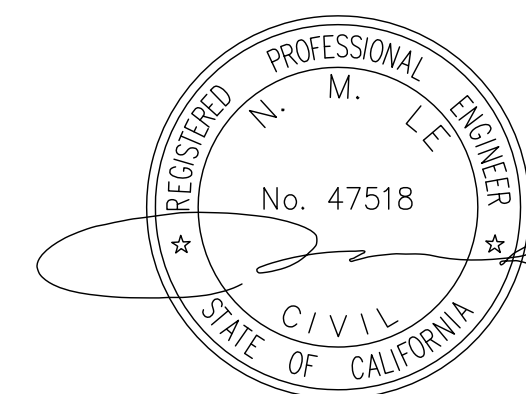
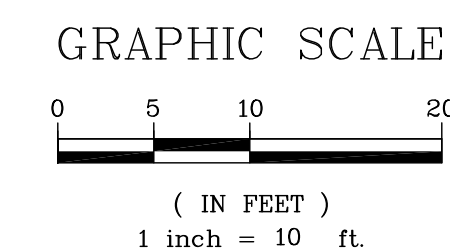
	BENCHMARK
	EXISTING PROPERTY LINE
	NEW PROPERTY LINE
	PARCEL LINE
	CENTER LINE
	CITY LIMIT LINE
	EXISTING EASEMENT LINE
	NEW SETBACK LINE
	COBBLE ROCK ENERGY DISSIPATOR
	CONTOUR: EXISTING
	DRAINAGE SWALE
	DRAINAGE INLET
	DESIGN GRADE
	DRAINAGE SWALE
	EXISTING ELEVATION

	EXISTING FENCE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN
	GAS METER
	GRADE TO DRAIN
	DIRECTION FLOW/OVERLAND RELEASE
	JOINT POLE
	LIGHTING POLE
	MONUMENT WELL
	PGE BOX
	UTILITY: EXISTING
	UTILITY: PROPOSED OR NEW
	WATER METER
	WATER VALVE
	SANITARY SEWER CLEAN OUT MANHOLE
	SANITARY SEWER MANHOLE
	STORM DRAIN MANHOLE

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
BLDG	BUILDING
CED	COBBLE ROCK ENERGY DISSIPATOR
CG	CURB & GUTTER
CL	CENTERLINE/CHAIN LINK FENCE
CO	SANITARY SEWER CLEANOUT
COE	COVENANT OF EASEMENT
CONC	CONCRETE
COP	CURB OPENING
CSD	CITY STANDARD DETAIL
DWY	DRIVEWAY
N	NEW
NTS	NOT TO SCALE
OH	OVERHEAD
OG	ORIGINAL GROUND
P	PAVEMENT FINISH GRADE
PAD	PAD ELEVATION
P/PL	PROPERTY LINE
PVMT	PAVEMENT
PVC	POLYVINYL CHLORIDE
PSDE	PRIVATE STORM DRAIN EASEMENT

F/FL	FLOW LINE
G	GARAGE SLAB ELEVATION/GAS LINE
GM	GAS METER
HP	HIGH POINT
INV	INVERT
IEE	INGRESS/ EGRESS EASEMENT
LIP	LIP OF GUTTER
LS	LANDSCAPED AREA
MAX	MAXIMUM
MIN	MINIMUM
MH	MANHOLE
N	NEW
NTS	NOT TO SCALE
OH	OVERHEAD
OG	ORIGINAL GROUND
P	PAVEMENT FINISH GRADE
PAD	PAD ELEVATION
P/PL	PROPERTY LINE
PVMT	PAVEMENT
PVC	POLYVINYL CHLORIDE
PSDE	PRIVATE STORM DRAIN EASEMENT

PSDRE	PRIVATE STORM DRAIN RELEASE EASEMENT
PSE	PUBLIC SERVICE EASEMENT
PSSE	PRIVATE SANITARY SEWER EASEMENT
PWLE	PRIVATE WATER LINE EASEMENT
R	RADIUS
R/W	RIGHT OF WAY
S	SLOPE
SB	SETBACK
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SS	SANITARY SEWER/ LATERAL
SW	SIDEWALK
TC	TOP OF CURB
TYP	TYPICAL
VEG	VEGETATIVE
W	WATER
WLK	WALKWAY
WM	WATER METER
WV	WATER VALVE



FILE NO.	1	OF	1	PROJECT NO.	TENTATIVE MAP		
SHEET NO.	1	OF	1	CONTRACT NO.	LANDS OF HARIKRISHNAN AND BANDLA		
DATE	07/18/24	DESIGNED	07/18/24	DATE	32 BISHOP LANE		
DATE	07/18/24	DRAWN	07/18/24	DATE	APN 074-301-070		
DATE	07/18/24	CHECKED	07/18/24	DATE	Menlo Park		
BY		DATE		BY	California		
APPROVED		DATE		APPROVED	California		
REVISIONS		DATE		REVISIONS	California		
NO.		DATE		NO.	California		

ENGINEERING
598 E Santa Clara St #270
San Jose, CA 95112
Phone: (408) 806-7187

APPLICANT : ...

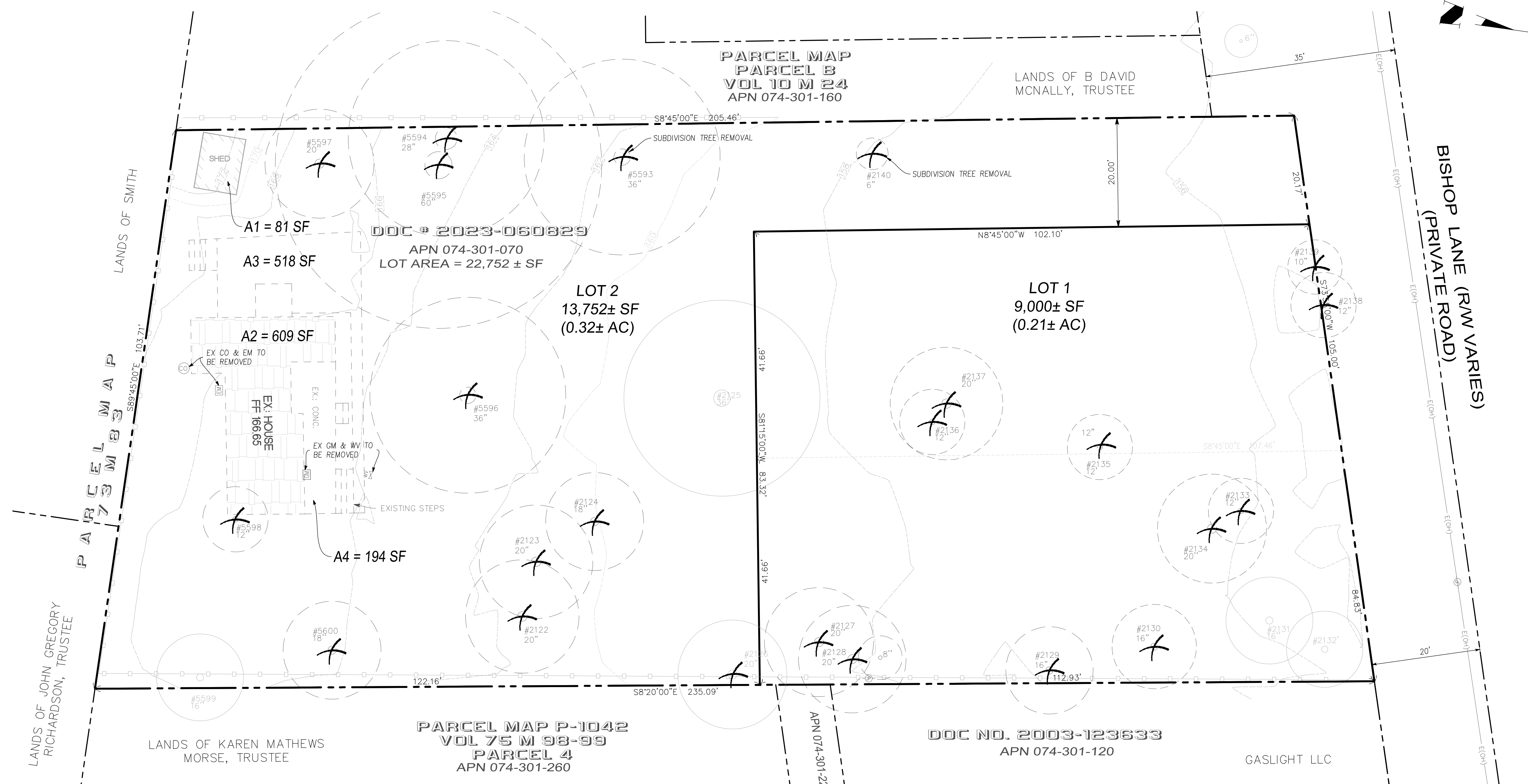
ROAD NAME : BISHOP LANE

CITY FILE NO :



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT E



- ⊕ AREA DRAIN
- ⊕ BENCHMARK
- BOUNDARY
- ▭ BUILDING
- ▭ BRICK
- ▭ CATCH BASIN
- ▭ COBBLE ROCK ENERGY DISSIPATOR
- 550 CONTOUR: EXISTING
- 550 CONTOUR: PROPOSED OR NEW
- 100.48 DESIGN GRADE
- ▽ DOWNSPOUT WITH SPLASHBLOCK
- ▽ DRAINAGE EMITTER
- ▽ DIVERSION VALVE
- ▽ BACKWATER VALVE
- DRAINAGE SWALE
- EASEMENT LINE
- 101.70 OR (101.70) EXISTING ELEVATION
- ⊕ EXISTING FENCE
- ⊕ EXISTING TREE TO BE REMOVED
- ⊕ EXISTING TREE TO REMAIN
- ⊕ EXISTING CONCRETE
- ⊕ NEW FENCE
- ⊕ FOUND IRON PIPE AT PROPERTY CORNER
- ⊕ FILTER FABRIC ROLLS
- ⊕ GAS METER
- ⊕ GAS VALVE
- ⊕ GRADE TO DRAIN
- ⊕ GUY POLE
- ⊕ GUY WIRE ANCHOR
- ⊕ HYDRANT: EXISTING
- ⊕ HYDRANT: PROPOSED OR NEW
- ⊕ INLET 9"x9" GRATE
- ⊕ ITEM OR AREA TO REMAIN
- ⊕ ITEM TO REMOVE
- ⊕ JOINT POLE
- ⊕ LIGHTING
- ⊕ LIGHTING POLE
- ⊕ LOW POINT
- ⊕ LANDING
- ⊕ OVERLAND FLOW DIRECTION
- ⊕ PGE BOX
- ⊕ POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
- ★ PROJECT SITE
- ▭ PROPOSED CONCRETE
- ▭ RETAINING WALL
- ▭ RIGHT OF WAY
- ⊕ SANITARY SEWER CLEAN OUT MANHOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊕ STORM DRAIN MANHOLE
- ⊕ SUMP PUMP
- ⊕ TELEPHONE BOX
- ⊕ TELEVISION BOX
- ⊕ TEST PIT
- ▭ TOP OF FILL
- ▭ TOE OF FILL
- ▭ TOP OF CUT
- ▭ TOE OF CUT
- ▭ TREE NUMBER
- ▭ T—VAULT
- ▭ UTILITY: EXISTING
- ▭ UTILITY: PROPOSED OR NEW
- ▭ WATER METER
- ▭ WATER VALVE
- ▭ WELL
- ▭ SECTION NUMBER
- ▭ SHEET NUMBER

TREE TABLE

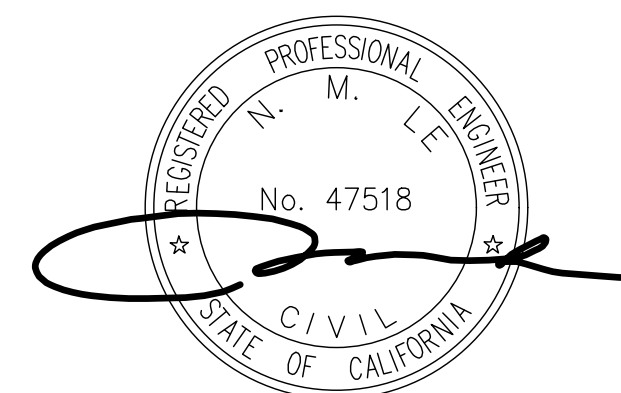
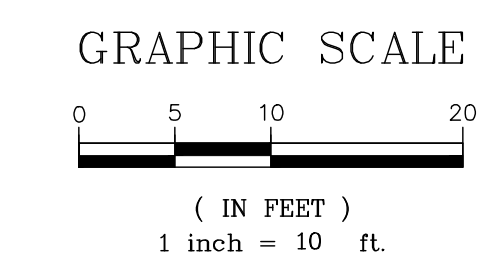
TREE TAP ID	NAME	SPECIES	CIRCUMFERENCE AT BREAST HEIGHT	HEIGHT (FEET)	CROWN SPREAD (FEET)	REMOVED/REMAIN
5593	COAST LIVE OAK	QUERCUS AGRIFOLIA	7' 4"	70	55	TO BE REMOVE
5594	BAY LAUREL	LAURUS NOBILIS	2' 4"	35	9	-
5595	BUCK EYE	AESCULUS CALIFORNICA	4' 3", 8", 2' 6", 4' 2", 4' 2"	50	50	TO BE REMOVE
5596	COAST LIVE OAK	QUERCUS AGRIFOLIA	8' 10"	55	50	TO BE REMOVE
5597	BUCK EYE	AESCULUS CALIFORNICA	3' 10", 3' 11"	30	21	TO BE REMOVE
5598	VALLEY OAK	QUERCUS AGRIFOLIA	3' 3"	55	29	TO BE REMOVE
5599	COAST LIVE OAK	QUERCUS AGRIFOLIA	4'	50	27	TO REMAIN
5600	COAST LIVE OAK	QUERCUS AGRIFOLIA	4' 7"	55	35	TO BE REMOVE
2122	COAST LIVE OAK	QUERCUS AGRIFOLIA	6' 5"	65	38	TO BE REMOVE
2123	COAST LIVE OAK	QUERCUS AGRIFOLIA	6' 3"	65	35	TO BE REMOVE
2124	COAST LIVE OAK	QUERCUS AGRIFOLIA	3', 2' 6"	33	25	-
2125	COAST LIVE OAK	QUERCUS AGRIFOLIA	8' 4"	70	55	TO REMAIN
2126	COAST LIVE OAK	QUERCUS AGRIFOLIA	5'	45	32	TO REMAIN

TREE TABLE

TREE TAP ID	NAME	SPECIES	CIRCUMFERENCE AT BREAST HEIGHT	HEIGHT (FEET)	CROWN SPREAD (FEET)	REMOVED/REMAIN
2127	COAST LIVE OAK	QUERCUS AGRIFOLIA	5' 3"	50	35	TO REMAIN
2128	COAST LIVE OAK	QUERCUS AGRIFOLIA	3' 4"	40	28	TO BE REMOVE
2129	COAST LIVE OAK	QUERCUS AGRIFOLIA	5'	40	25	TO BE REMOVE
2130	COAST LIVE OAK	QUERCUS AGRIFOLIA	4'	40	27	TO BE REMOVE
2131	COAST LIVE OAK	QUERCUS AGRIFOLIA	4' 5"	42	33	TO REMAIN
2132	COAST LIVE OAK	QUERCUS AGRIFOLIA	3' 8"	45	28	TO REMAIN
2133	COAST LIVE OAK	QUERCUS AGRIFOLIA	3' 3"	40	27	TO BE REMOVE
2134	VALLEY OAK	QUERCUS AGRIFOLIA	4' 3"	48	31	TO BE REMOVE
2135	COAST LIVE OAK	QUERCUS AGRIFOLIA	4' 8"	43	32	TO BE REMOVE
2136	COAST LIVE OAK	QUERCUS AGRIFOLIA	3' 5"	37	27	TO BE REMOVE
2137	COAST LIVE OAK	QUERCUS AGRIFOLIA	4' 9"	40	38	TO BE REMOVE
2138	COAST LIVE OAK	QUERCUS AGRIFOLIA	4'	45	37	TO BE REMOVE
2139	VALLEY OAK	QUERCUS AGRIFOLIA	3' 4"	30	23	TO BE REMOVE
2140	VALLEY OAK	QUERCUS AGRIFOLIA	1' 7" & 1' 11"	24	15	TO BE REMOVE

PRE - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	SHED	REMAIN	81 SF	
A2	BLDG	REMOVE	609 SF	
A3	CONC & STEP	REMOVE	518 SF	
A4	CONC	REMOVE	194 SF	
	LANDSCAPE			21,350 SF
TOTAL			1,402 SF	21,350 SF



DESIGNED: HP DATE: 05/07/25

DRAWN: HP DATE: 05/07/25

AS NOTED: HP DATE: 05/07/25

CHECKED: HW DATE: 05/07/25

REVISIONS

APPD

DATE

BY

DATE

LE ENGINEERING

598 E Santa Clara St, Ste 270
San Jose, CA 95112
Phone: (408) 806-7187
Fax: (408) 583-4006

California

DEMOLITION PLAN

32 BISHOP LANE

APN 074-301-070

PROJECT NO.

Menlo Park

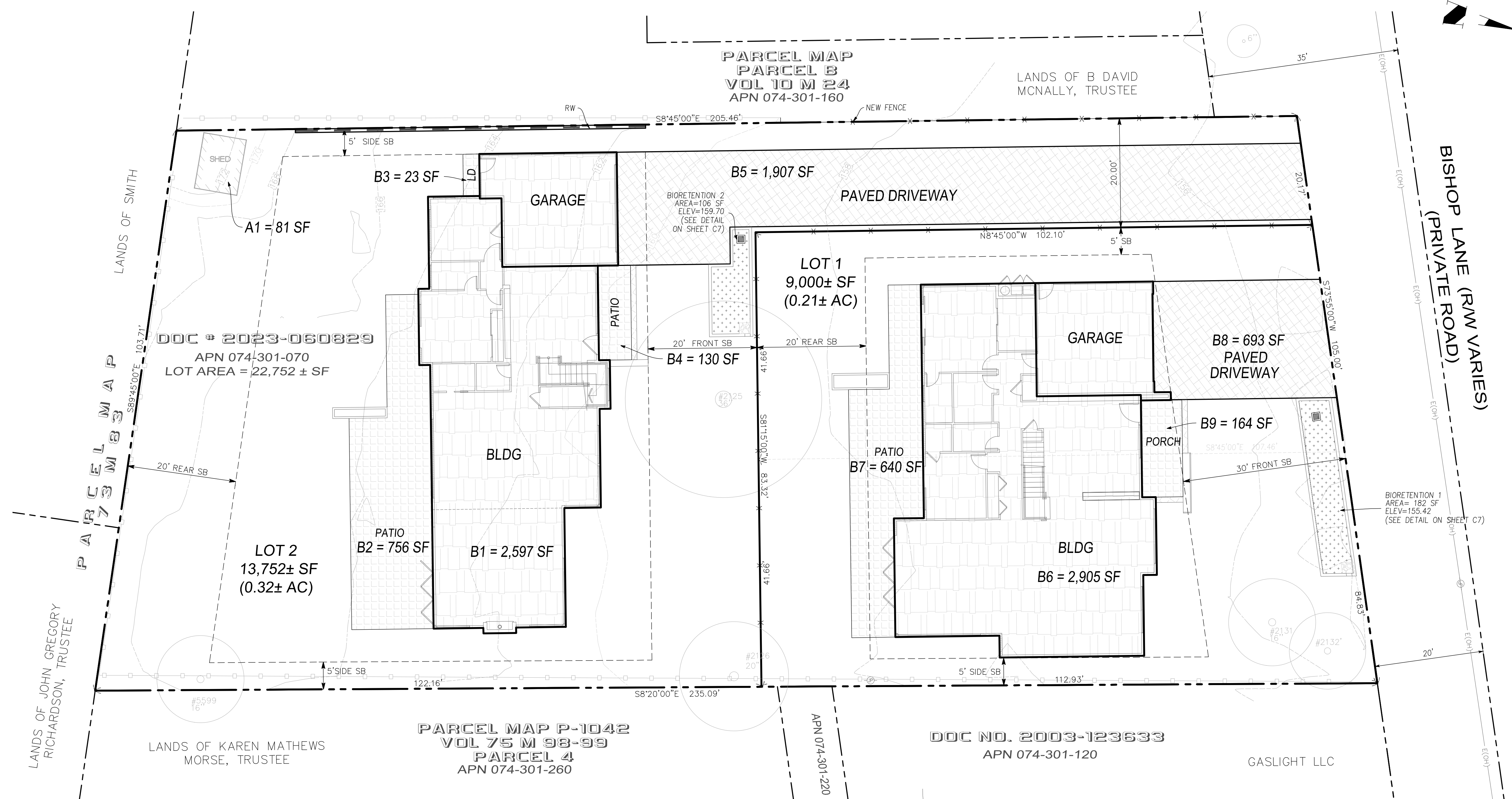
CONTRACT NO.

SHEET

C2

2 OF 8 SHEETS

FILE NO.



DOC # 2023-060829
 APN 074-301-070
 LOT AREA = 22,752 ± SF

LOT 2
 13,752± SF
 (0.32± AC)

LOT 1
 9,000± SF
 (0.21± AC)

DOC NO. 2003-123633
 APN 074-301-120

PARCEL MAP P-1042
 VOL 75 M 98-99
 PARCEL 4
 APN 074-301-260

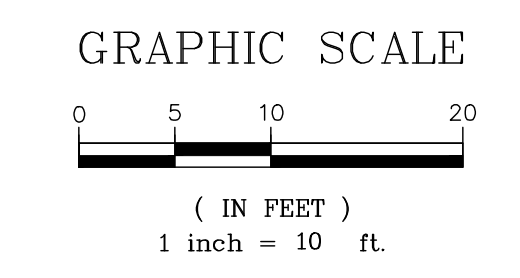
- ⊕ AREA DRAIN BENCHMARK
- BOUNDARY
- ▭ BUILDING
- ▨ BRICK
- ▩ CATCH BASIN
- ▧ COBBLE ROCK ENERGY DISSIPATOR
- 550 CONTOUR: EXISTING
- 550 CONTOUR: PROPOSED OR NEW
- 100.48 DESIGN GRADE
- ▽ DOWNSPOUT WITH SPLASHBLOCK
- ⊕ DRAINAGE EMITTER
- ⊕ DIVERSION VALVE
- ⊕ BACKWATER VALVE
- DRAINAGE SWALE
- EASEMENT LINE
- +101.70 OR (101.70) EXISTING ELEVATION
- ⊕ EXISTING FENCE
- ⊕ EXISTING TREE TO BE REMOVED
- ⊕ EXISTING TREE TO REMAIN
- ⊕ EXISTING CONCRETE
- NEW FENCE
- FOUND IRON PIPE AT PROPERTY CORNER
- FILTER FABRIC ROLLS
- GAS METER
- GAS VALVE
- GRADE TO DRAIN
- GUY POLE
- GUY WIRE ANCHOR
- GRAVEL & SAND
- HIGH POINT
- HYDRANT: EXISTING
- HYDRANT: PROPOSED OR NEW
- INLET 9"x9" GRATE
- ITEM OR AREA TO REMAIN
- ITEM TO REMOVE
- JOINT POLE
- LIGHTING
- LIGHTING POLE
- LOW POINT
- LANDING
- OVERLAND FLOW DIRECTION
- PGE BOX
- POST CONSTRUCTION STORM WATER POLLUTION CONTROL MEASURE
- ★ PROJECT SITE
- ▭ PROPOSED CONCRETE
- ▭ RETAINING WALL
- RIGHT OF WAY
- SANITARY SEWER CLEAN OUT MANHOLE
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- SUMP PUMP
- TELEPHONE BOX
- TELEVISION BOX
- TEST PIT
- TOP OF FILL
- TOE OF FILL
- TOP OF CUT
- TOE OF CUT
- 1 TREE NUMBER
- T-VAULT
- UTILITY: EXISTING
- UTILITY: PROPOSED OR NEW
- WATER METER
- WATER VALVE
- WELL
- 1 SECTION NUMBER
- 1 SHEET NUMBER

POST - DEVELOPMENT

ITEM NO.	SURFACE AREA	STATUS	IMPERVIOUS	PERVIOUS
A1	SHED	REMAIN	81 SF	
B1	NEW BLDG	NEW	2,597 SF	
B2	PATIO	NEW	756 SF	
B3	LANDING	NEW	23 SF	
B4	PATIO	NEW	130 SF	
B5	DRIVEWAY	NEW		1,907 SF
B6	NEW BLDG	NEW	2,905 SF	
B7	PATIO	NEW	640 SF	
B8	DRIVEWAY	NEW		693 SF
B9	PORCH	NEW	164 SF	
L	LANDSCAPING			12,856 SF
TOTAL			7,296 SF	15,456 SF

SUMMARY

DESCRIPTION	IMPERVIOUS	PERVIOUS
PRE-DEVELOPMENT	1,402 SF	21,350 SF
POST-DEVELOPMENT	7,296 SF	15,456 SF
DIFFERENCE	5,894 SF	-5,894 SF



PROJECT NO.

CONTRACT NO.

SHEET

NO.

DESIGNED DATE 05/07/25

DRAWN DATE 05/07/25

AS NOTED DATE

CHECKED DATE 05/07/25

BY

DATE

APP'D

REVISIONS

FILE NO.

3 OF 8 SHEETS

PROJECT NO.

CONTRACT NO.

SHEET

NO.

PROJECT NO.

CONTRACT NO.

SHEET

NO.

PROJECT NO.

CONTRACT NO.

SHEET

NO.

ENGINEERING

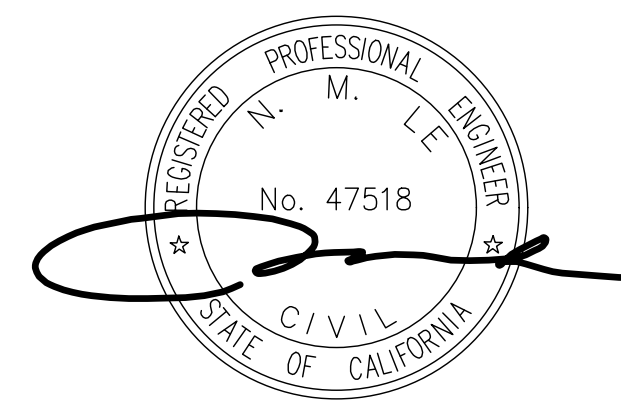
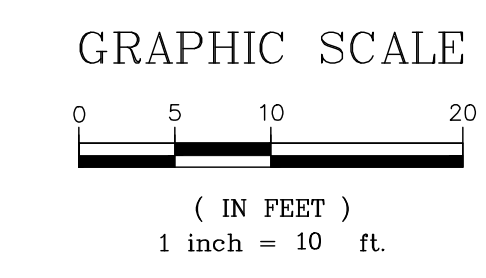
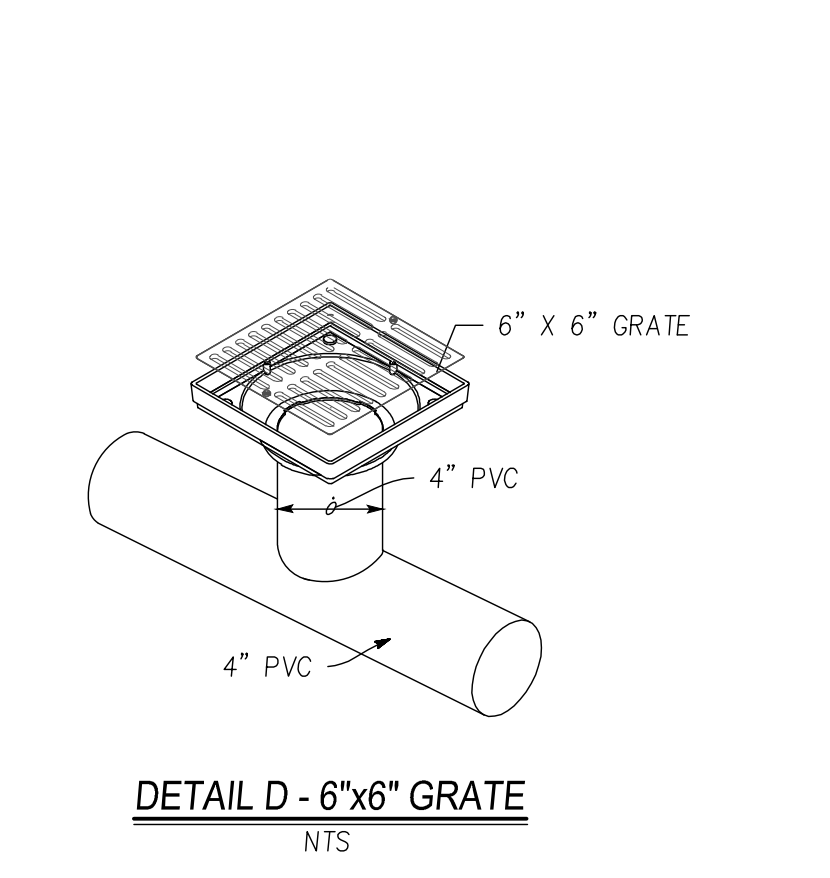
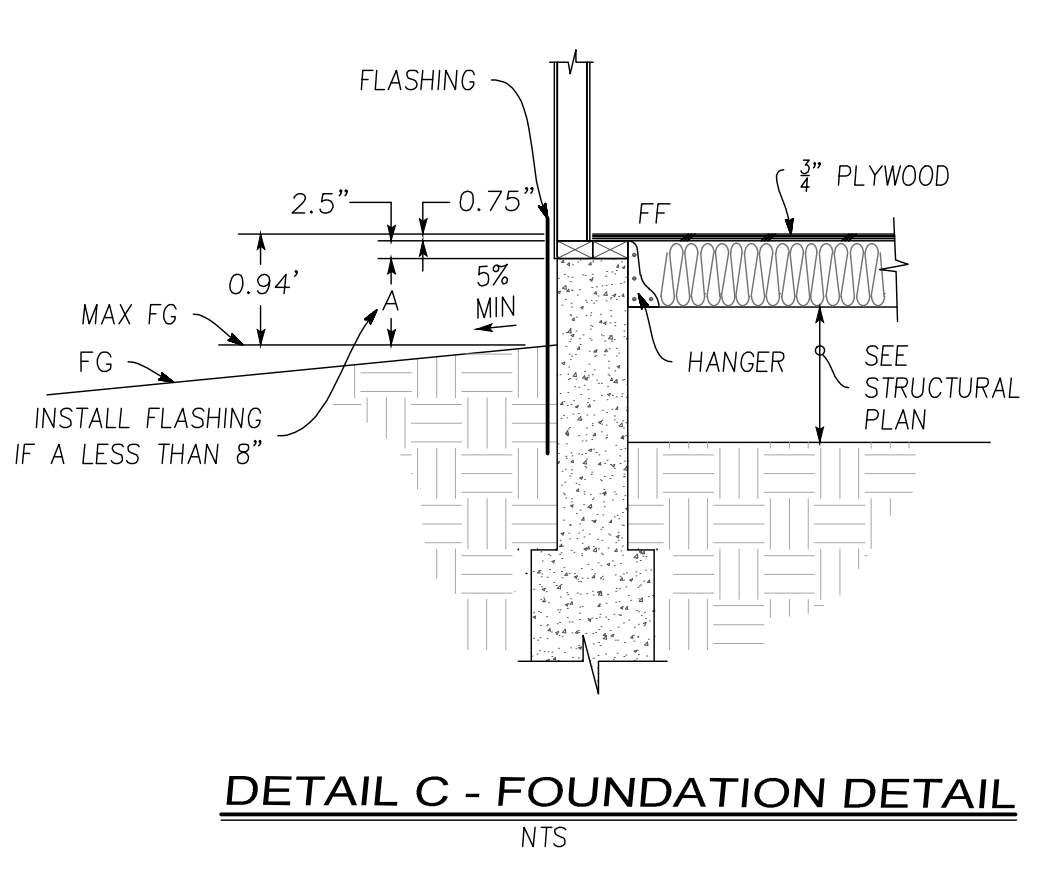
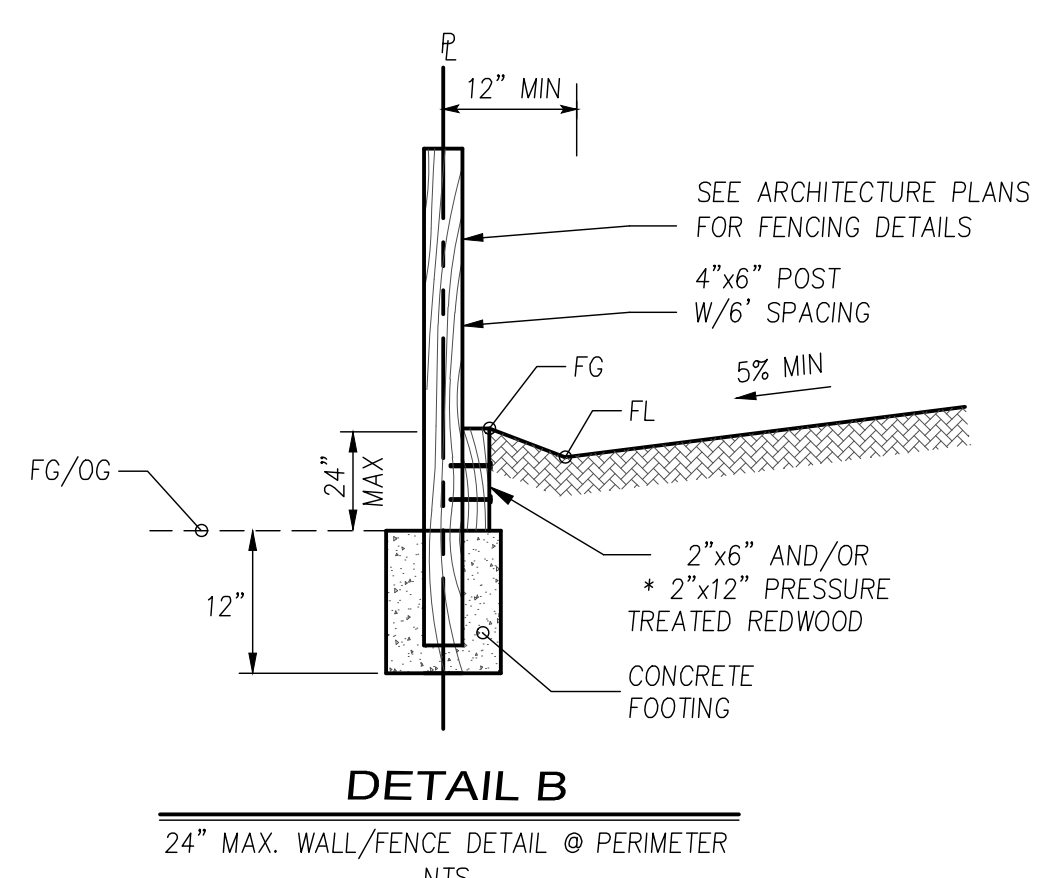
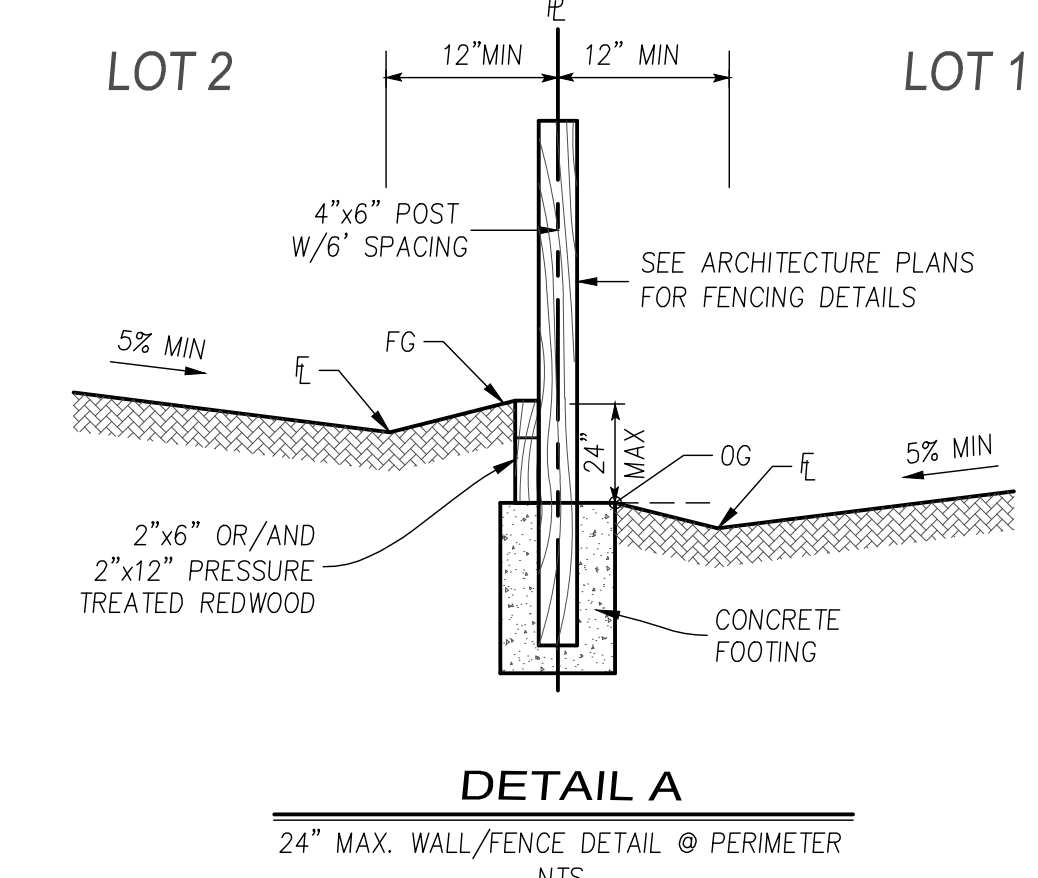
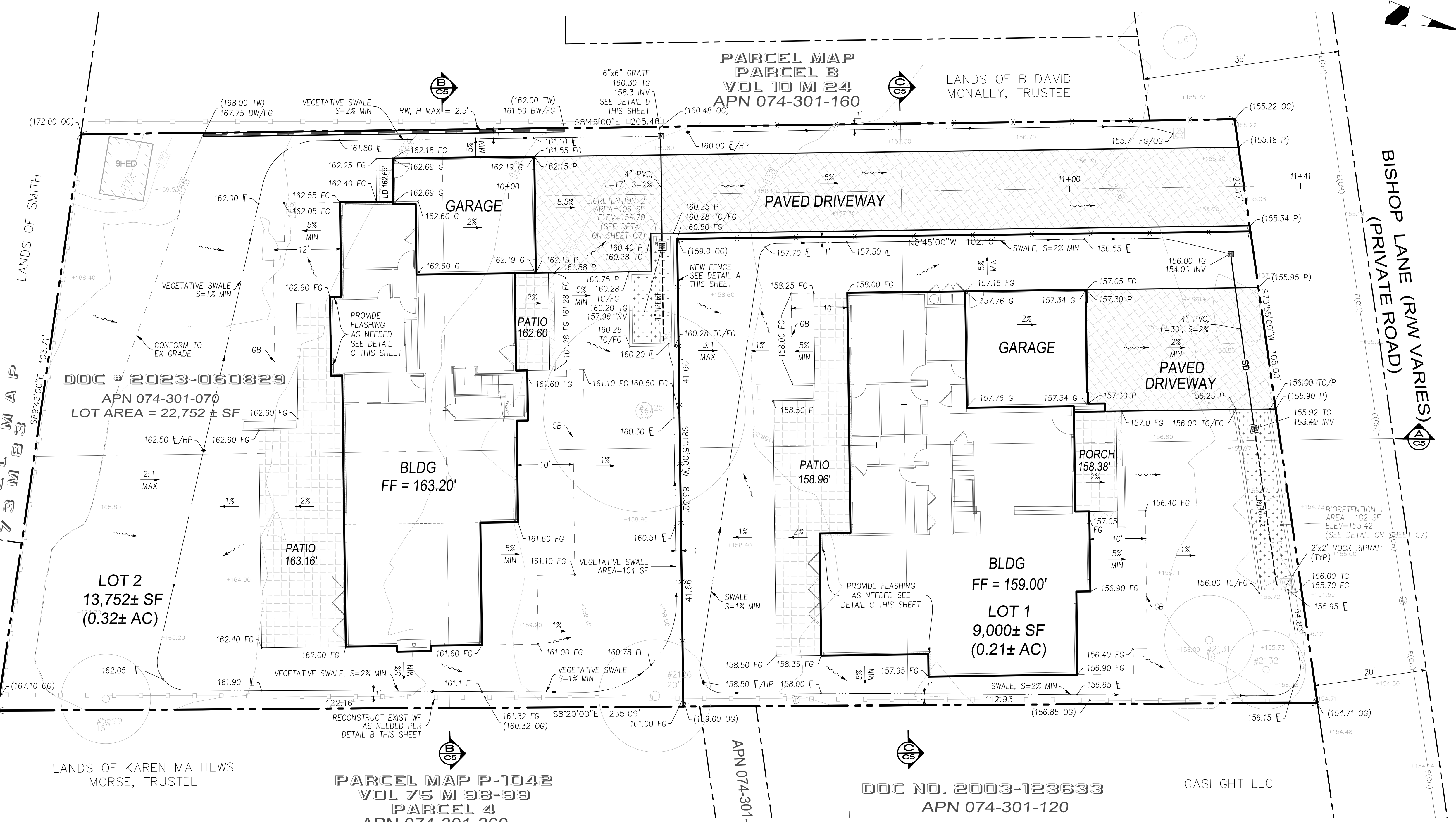
598 E Santa Clara St. Ste 270
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 Fax: (408) 583-4006

California

Menlo Park

SITE PLAN
32 BISHOP LANE
APN 074-301-070

SHEET
C3
 3 OF 8 SHEETS

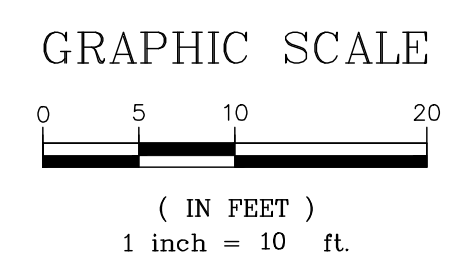
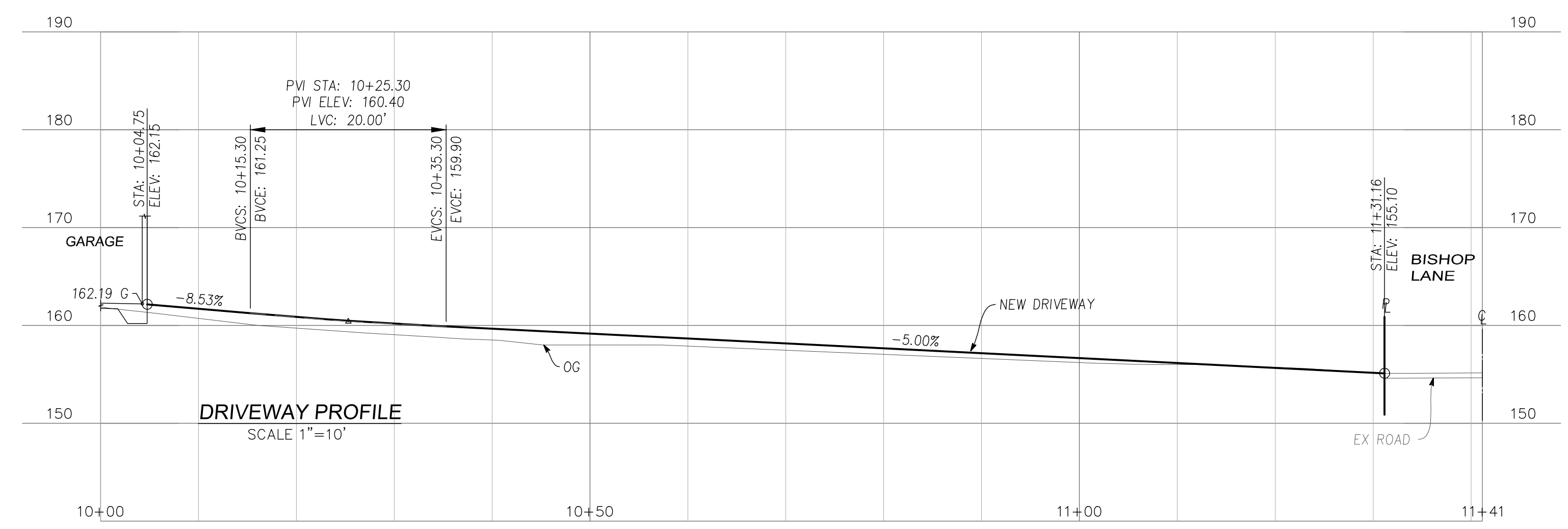
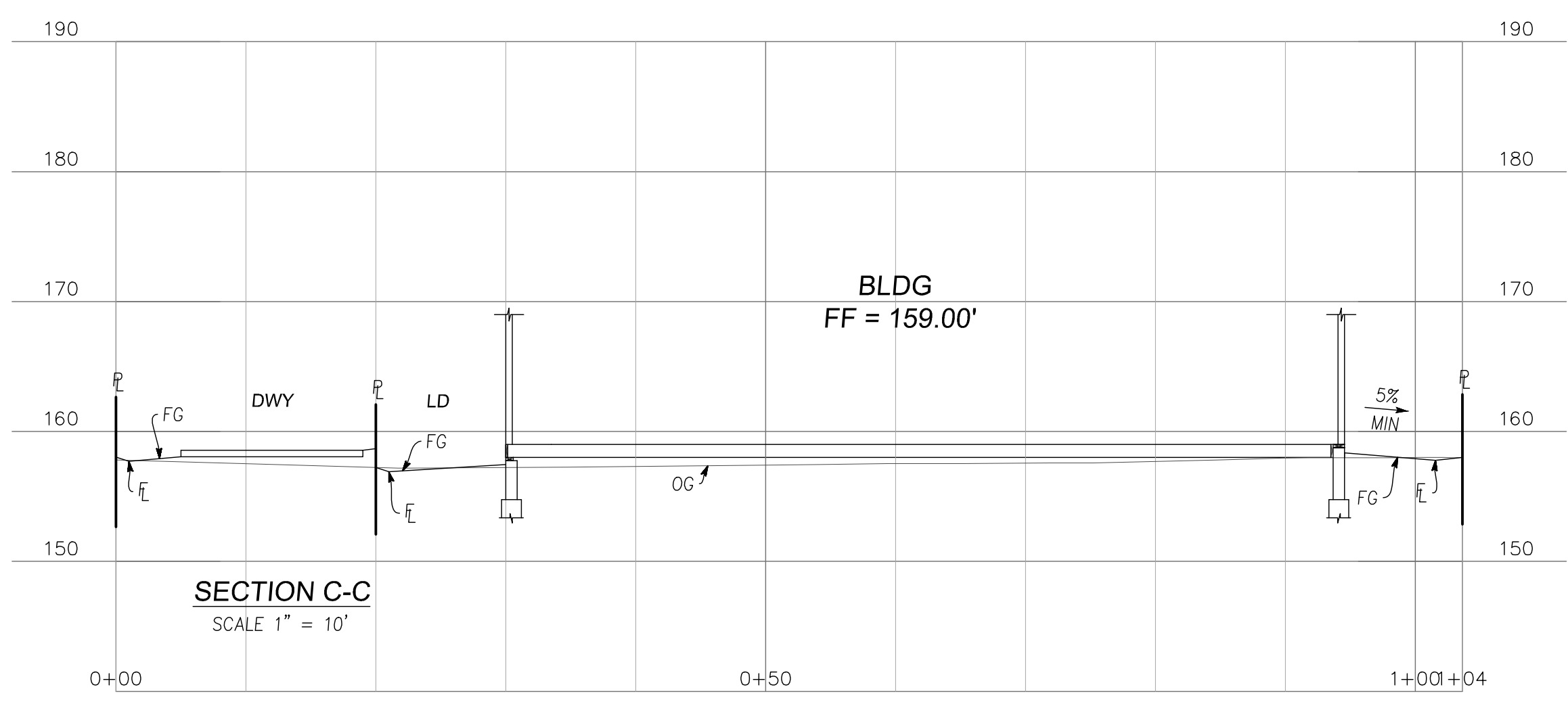
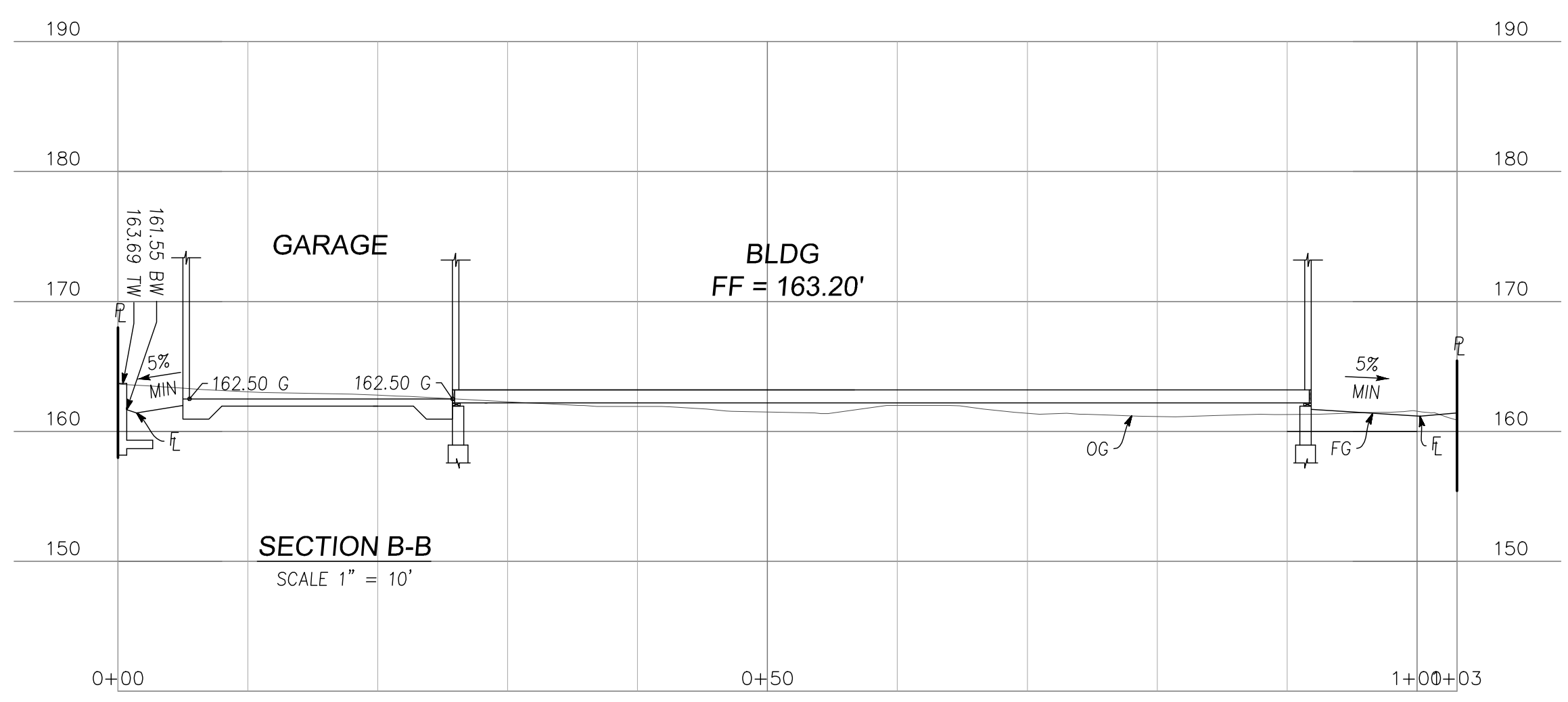
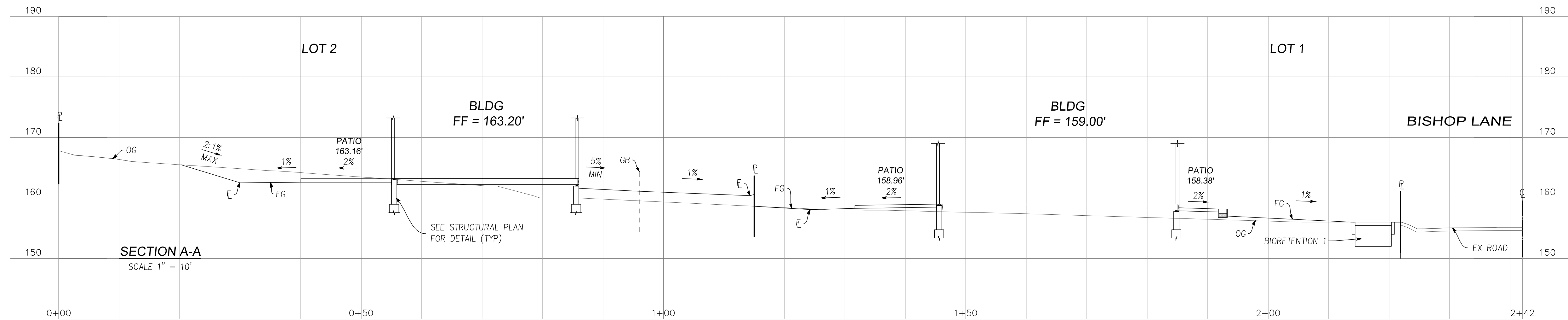


APPLICANT: HARIKRISHNAN AND BANDLA

ROAD NAME: 32 BISHOP LANE

FILE NO.

LE ENGINEERING 598 E Santa Clara St. Ste 270 San Jose, CA 95121 Phone: (408) 806-7187 Fax: (408) 583-4006	DESIGNED	DATE	APPROVED	DATE
	DRAWN	DATE	BY	DATE
	AS NOTED	SCALE	CHECKED	DATE
	REVISED	DATE	REVISIONS	NO.
GRADING AND DRAINAGE PLAN 32 BISHOP LANE APN 074-301-070				
Menlo Park California		PROJECT NO. CONTRACT NO.		
SHEET C4		4 OF 8 SHEETS		



NO.	REVISIONS	DATE	BY	APP'D

DATE	DESIGNED	DATE	DRAWN	DATE	AS NOTED	SCALE	CHECKED	DATE
05/07/25	HP	05/07/25	HP	05/07/25	HP			05/07/25

LE ENGINEERING
 598 E Santa Clara St. Ste 270
 San Jose, CA 95112
 Phone: (408) 806-7187
 Fax: (408) 583-4006

BUILDING CROSS SECTION
32 BISHOP LANE
 APN 074-301-070

Menlo Park California

SHEET
C5
 5 OF 8 SHEETS

STORMWATER TREATMENT MEASURES SUMMARY TABLE (LOT 1)

DRAINAGE MANAGEMENT AREA (DMA)	TREATMENT CONTROL MEASURE (TCM)	a TOTAL DRAINAGE AREA (SF)	b PERVIOUS AREA (SF)	c IMPERVIOUS AREA(SF)	d EFFECTIVE PERVIOUS AREA (SF) = 0.1*(b)	e EFFECTIVE IMPERVIOUS AREA (SF) = (c) + (d)	f TREATMENT AREA REQUIRED (SF) = 0.04*(e)	TREATMENT AREA PROVIDED (SF)	DEPTH OF POND - BIO (INCHES)	TREATMENT TYPE	SIZING METHOD
DMA	1	9,000	5,291	3,709	529	4,238	170	182	6"	Bioretention	4% Rule

STORMWATER TREATMENT MEASURES SUMMARY TABLE (LOT 2)

DRAINAGE MANAGEMENT AREA (DMA)	TREATMENT CONTROL MEASURE (TCM)	a TOTAL DRAINAGE AREA (SF)	b PERVIOUS AREA (SF)	c IMPERVIOUS AREA(SF)	d EFFECTIVE PERVIOUS AREA (SF) = 0.1*(b)	e EFFECTIVE IMPERVIOUS AREA (SF) = (c) + (d)	f TREATMENT AREA REQUIRED (SF) = 0.04*(e)	TREATMENT AREA PROVIDED (SF)	DEPTH OF POND - BIO (INCHES)	DEPTH OF POND - VEG (INCHES)	TREATMENT TYPE	TREATMENT TYPE	SIZING METHOD
DMA	2	13,752	10,165	3,587	1,017	4,604	184	210	6"	3"	Bioretention	Vegetative Swale	4% Rule

Calculate Required SCM Storage Capacity by Simple Method (Lot 2)

Retention Volume 191 cf
 Bioretention surface area 106 sf
 Required water depth = Retention volume + surface area:
 $191.00 \text{ cu.ft} + 106 \text{ sf} = 1.802 \text{ ft} = 21.62 \text{ inches}$
 Approach: Store volume in ponding area, biotreatment soil, and gravel (no underdrain)
 Surface ponding depth = 6 inches
 Soil depth = $24" \times 0.25 \text{ porosity} = 6 \text{ inches}$
 Remaining water depth $21.62 \text{ inches} - 6.00 \text{ inches} = 16.00 \text{ inches}$
 Gravel depth required (porosity 0.35): $16.00 \div 0.35 = 45.71 \text{ inches}$

Summary: Bioretention area has:

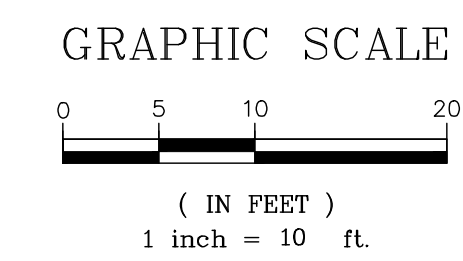
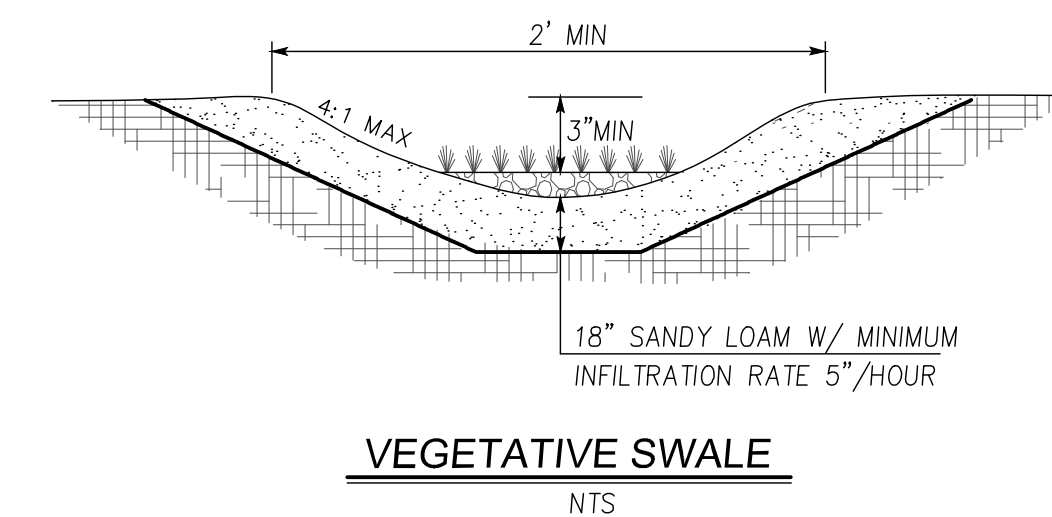
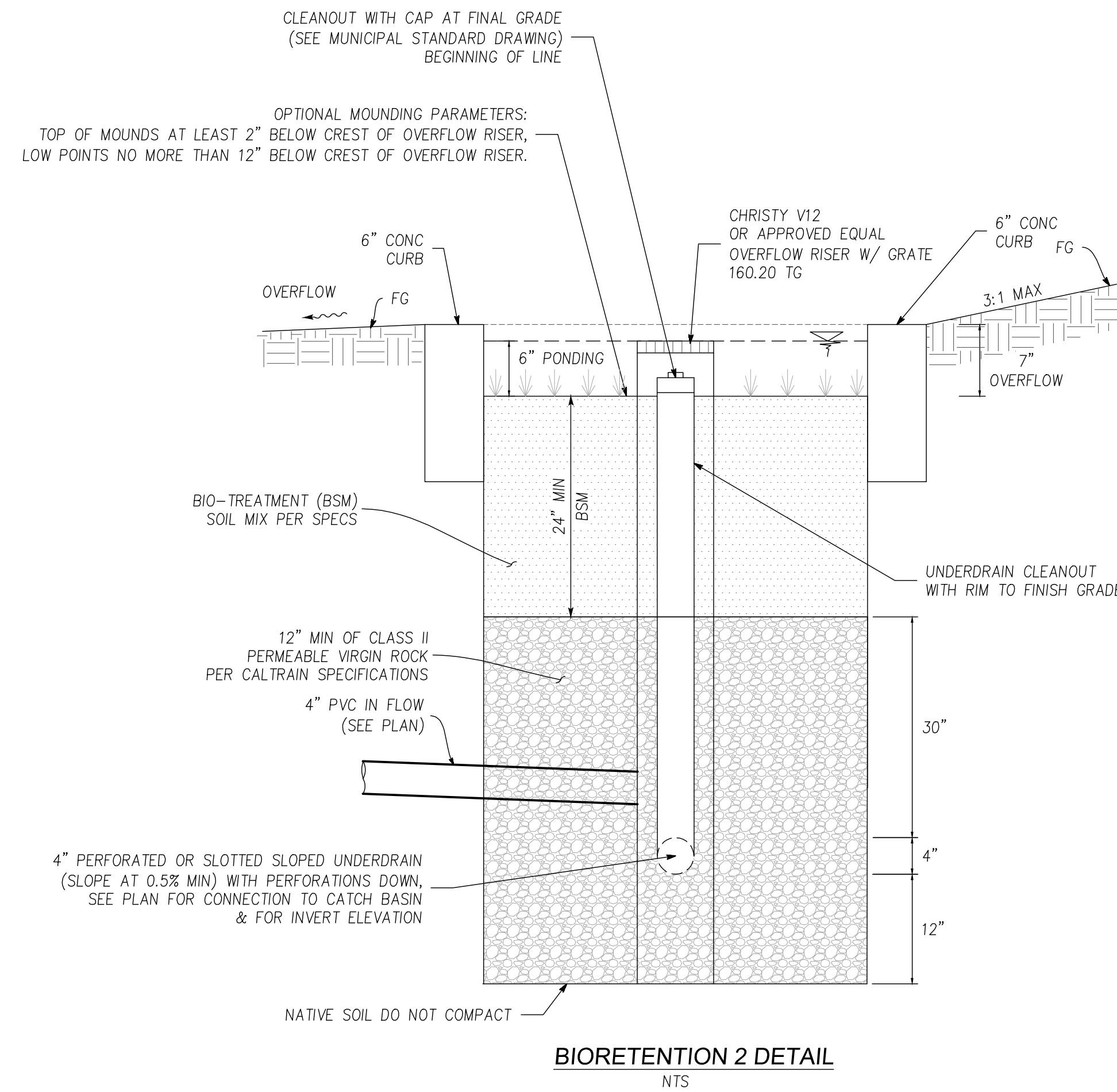
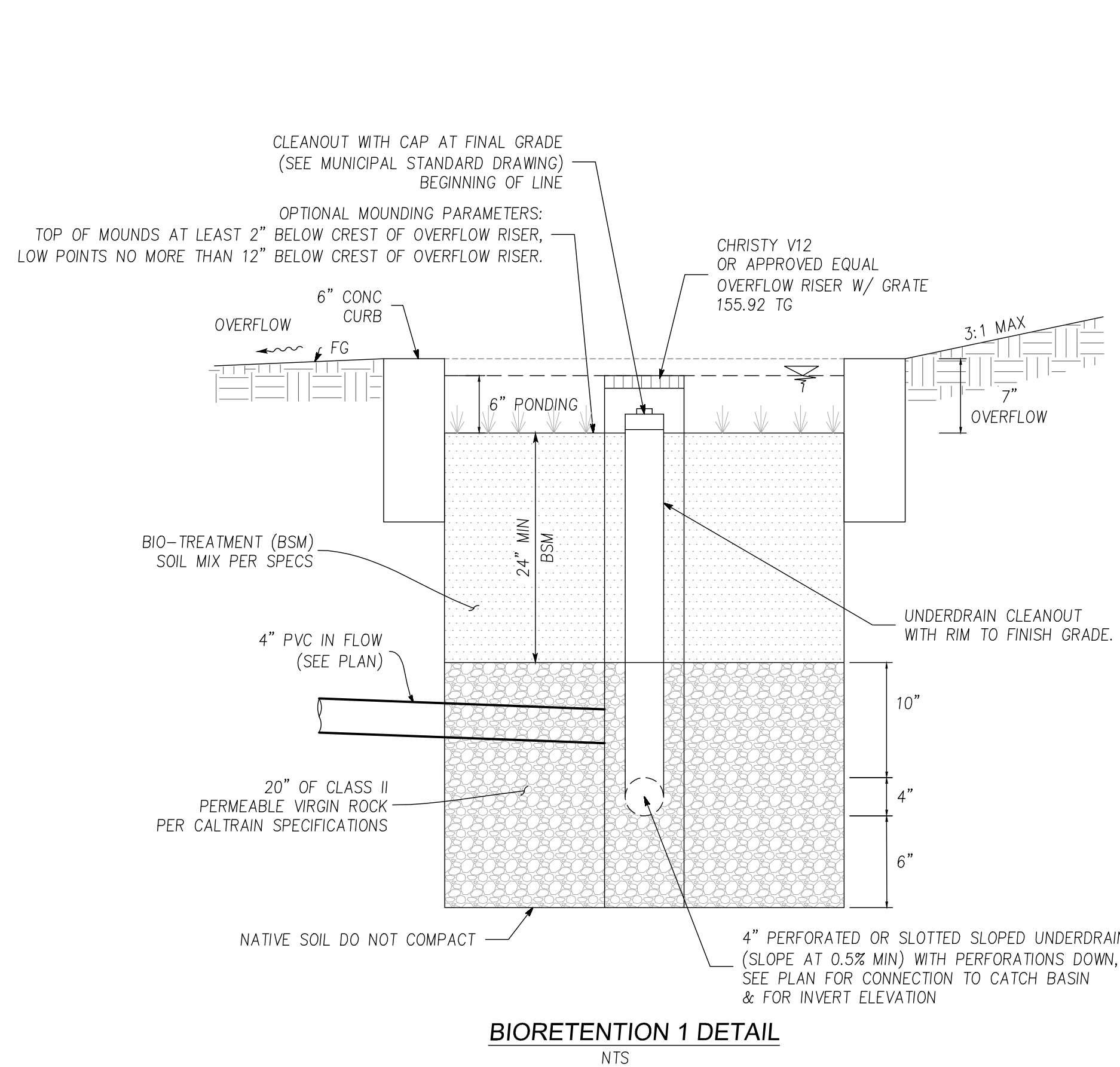
Ponding depth: **6.00 inches**
 Soil depth: **24.00 inches**
 Gravel depth: **46.00 inches**

Calculate Required SCM Storage Capacity by Simple Method (Lot 1)

Retention Volume 197 cf
 Bioretention surface area 192 sf
 Required water depth = Retention volume + surface area:
 $191.00 \text{ cu.ft} + 192 \text{ sf} = 0.995 \text{ ft} = 11.94 \text{ inches}$
 Approach: Store volume in ponding area, biotreatment soil, and gravel (no underdrain)
 Surface ponding depth = 6 inches
 Soil depth = $24" \times 0.25 \text{ porosity} = 6 \text{ inches}$
 Remaining water depth $11.94 \text{ inches} - 6.00 \text{ inches} = 6.00 \text{ inches}$
 Gravel depth required (porosity 0.35): $6.00 \div 0.35 = 17.14 \text{ inches}$

Summary: Bioretention area has:

Ponding depth: **6.00 inches**
 Soil depth: **24.00 inches**
 Gravel depth: **18.00 inches**



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California

Menlo Park

STORMWATER CONTROL CALCULATION
 32 BISHOP LANE
 APN 074-301-070

DESIGNED: HP DATE: 05/07/25
 DRAWN: HP DATE: 05/07/25
 AS NOTED: HP DATE: 05/07/25
 SCALE: HP
 CHECKED: HP DATE: 05/07/25

BY: DATE: REVISIONS: NO.

FILE NO. CONTRACT NO. PROJECT NO.

SHEET
C7
 7 OF 8 SHEETS



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT F

