



SHEET INDEX				
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	A6.10	MAIN LEVEL REFLECTED CEILING PLAN		x
	A6.20	UPPER LEVEL REFLECTED CEILING PLAN		x
	A8.41	EXTERIOR DETAILS DECK		x

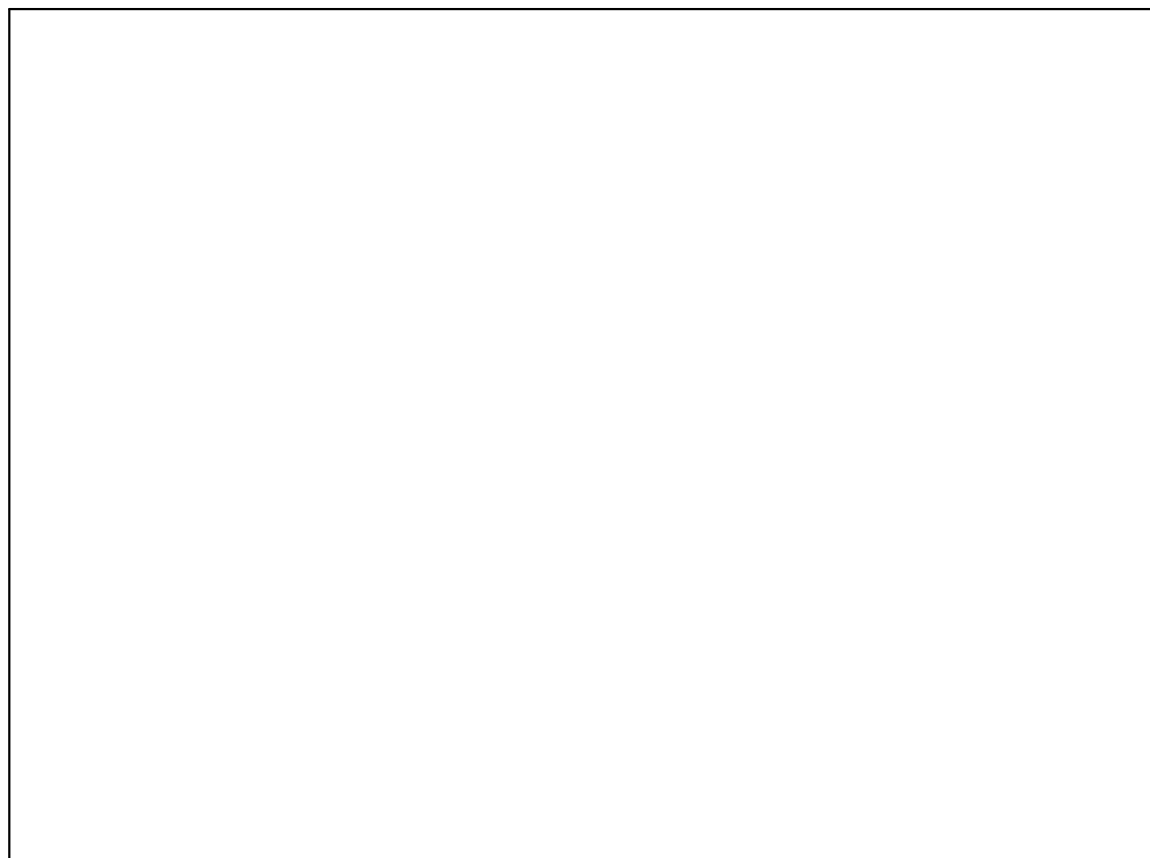
reserved for approvals stamp



**AH2**  
457 CORONADO AVE  
HALF MOON BAY CA 94018

**FOR OFFICIAL CITY USE ONLY**

6" x 6" LAHJ APPROVAL STAMP SPACE



**ZONING / BUILDING CODE SUMMARY**

ZONING: R-1/S-94/DR/CD

**APPLICABLE CODES:**

- 2022 CALIFORNIA RESIDENTIAL CODE
- 2022 CALIFORNIA BUILDING CODE
- 2022 CALIFORNIA MECHANICAL CODE
- 2022 CALIFORNIA ELECTRICAL CODE
- 2022 CALIFORNIA PLUMBING CODE
- 2022 CALIFORNIA FIRE CODE
- 2022 CALIFORNIA ENERGY CODE
- 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
- SAN MATEO COUNTY ZONING REGULATIONS

**NOTE:**

REFERENCE SHEET T-24 FOR ITEMS THAT REQUIRE HERS VERIFICATION & SPECIAL FEATURES

**SEPERATE PERMITS**

NOTE: SEPERATE PERMIT DOCUMENTS SHALL BE SUBMITTED TO AND APPROVED BY THE DESIGN PROFESSIONAL OF RECORD BEFORE BEING SUBMITTED TO THE CITY

- 2022 NFPA 13D FIRE SPRINKLER SYSTEM
- SOLAR POWER

**SOLAR POWER NOTE:**

PER THE PROPOSED T-24 ANALYSIS, A PV SYSTEM MEETING OR EXCEEDING THE SIZE AND OUTPUT WITHIN THE CFIR DOCUMENT SHALL BE PERMITTED SEPARATELY BY THE INSTALLING SOLAR CONTRACTOR. A SEPARATE SOLAR PERMIT WILL BE APPLIED FOR FOLLOWING ISSUANCE OF THE BUILDING PERMIT.

**PROJECT DIRECTORY**

**PREPARER:**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
725 N. SHORELINE BLVD  
MOUNTAIN VIEW, CA 94043  
T: 206.697.0495

**OWNER:**

MID-COAST CUSTOM HOMES, INC.  
PO BOX 94  
EL GRANADA, CA 94018  
T: 650.743.2275

CONTACT: JOHN STEADMAN

**FACTORY ADDRESS:**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
1790 BELL AVE, SUITE 150  
SACRAMENTO, CA 95838

**ARCHITECT:**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
725 N. SHORELINE BLVD  
MOUNTAIN VIEW, CA 94043  
T: 206.697.0495

**CONTRACTOR:**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
725 N. SHORELINE BLVD  
MOUNTAIN VIEW, CA 94043  
T: 206.697.0495

CONTACT: SIMON BOAG

simon@aro.homes

**SURVEYOR**

PROVIDED BY SELLER

**CIVIL ENGINEER**

CBG  
CONTACT: RYAN HANSEN  
rhanzen@cbandg.com

**LANDSCAPE ARCHITECT**

ELEMENTS LANDSCAPE  
CONTACT: JIM REDMAN  
jim@elements-landscape.com

**ARBORIST**

TBD

**STRUCTURAL ENGINEER**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
CONTACT: KATIE BLAESSER  
katie@aro.homes

**MEP ENGINEER**

VESTA HOUSING, INC. D.B.A. **ARO HOMES**  
CONTACT: TYLER SHELDON  
tyler@aro.homes

**FIRE PROTECTION**

WESTERN STATES FIRE PROTECTION CO.  
CONTACT: ROBERT SOEHNER  
robert.soehner@wsfp.us

**SITE ANALYSIS**

**FLOOR AREA RATIO**

PERMISSIBLE - 5,830 SF

**GROSS FLOOR AREA**

EXISTING (TO BE DEMOLISHED) - ----

PROPOSED - 3,434 SF

**PROPOSED PORCH, PATIO, DECK AREA:**

FRONT ENTRY - 55.94 SF

REAR ENTRY - 33.93 SF

REAR DECK - 296.64 SF

**TOTAL - 386.51 SF**

**NOTE:**

\* SEE SHEET A0.05 FOR PROJECT DATA AND SCOPE OF WORK

**VESTA HOUSING, INC.**

**D.B.A ARO HOMES**

457 CORONADO AVE, HALF MOON BAY, CA 94018

APN 048-024-420



**Olson Kundig**

159 South Jackson St, Suite 600  
Seattle, Washington 98104 USA  
+1 206 624 5670 olsonkundig.com

COVER SHEET

**A0.00**

Discipline: ARCH  
Drawn by: NP  
Product number: AH2  
Product version: V2.2

Issuances:

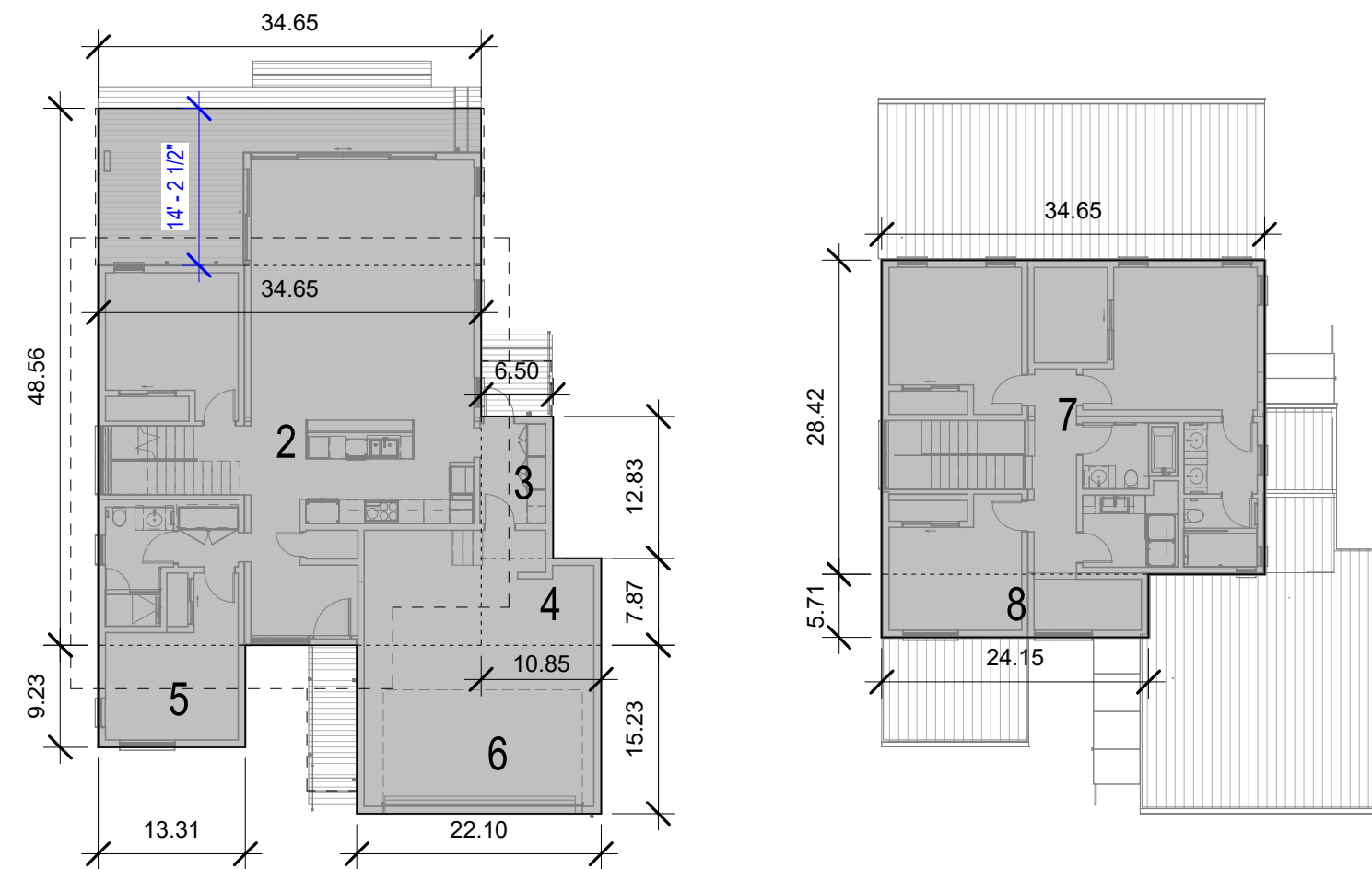
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04/08/2025 PERMIT SUBMITTAL

No. Date



## AREA CALCULATIONS



### GROSS FLOOR AREA CALCULATION:

AREA 2 = 34.65' x 48.56'	=	1682.60 SF
AREA 3 = 6.50' x 12.83'	=	83.40 SF
AREA 4 = 10.85' x 7.87'	=	85.39 SF
AREA 5 = 13.31' x 9.23'	=	122.85 SF
AREA 6 = 22.10' x 15.23'	=	336.58 SF
AREA 7 = 34.65' x 28.42'	=	984.75 SF
AREA 8 = 24.15' x 5.71'	=	137.90 SF

TOTAL GROSS FLOOR AREA = 3433.47 SF (3434 SF)

FIRST FLOOR AREA = 2310.82 SF (2311 SF)  
SECOND FLOOR AREA = 1122.65 SF (1123 SF)

### MAXIMUM BUILDING FLOOR AREA (FAR):

= 0.53 OF LOT AREA  
= 0.53 X 11,000  
= 5830 SF > 3434 SF (OK)

## FIRST & SECOND FLOOR AREA

SCALE: 1/16" = 1'-0"

## SCOPE OF WORK

FACTORY-BUILT MODULAR SINGLE FAMILY RESIDENCE - REFER TO FULL LIST OF SITE-INSTALLED ELEMENTS BELOW.

### LIST OF SITE-INSTALLED ITEMS:

- FOUNDATION, CRAWSPACE AND GARAGE SLAB
- STRUCTURAL CONNECTIONS BTW FOUNDATION AND MODULES
- MODULE TO MODULE CONNECTIONS
- FACTORY-BUILT WALL AND CEILING PANELS AT GARAGE DOOR
- STAIR AT GARAGE / MUDROOM-PANTRY
- WINDOW AND SLIDER DOORS AT LIVING ROOM
- METAL CANOPY AT ENTRY AND PANTRY
- FRONT AND REAR DECKING
- SECOND LAYER OF ROOFING UNDERLAYMENT
- STANDING METAL SEAM AND COMPOSITE ROOFING
- ROOF PANELS OVER GARAGE AND REAR DECK
- SIDING

## PROJECT DATA

### PROPERTY / ZONING DATA:

COUNTY  
SAN MATEO COUNTY

JURISDICTION  
SAN MATEO COUNTY

ACCESSOR'S PARCEL NUMBER  
048-024-420

PROJECT ADDRESS  
457 CORONADO AVE,  
EI GRANADA, CA 94018

CONSTRUCTION TYPE  
TYPE V-B

AUTOMATIC FIRE SPRINKLER SYSTEM  
YES - NFPA 13D, 2022

ZONING DESIGNATION  
S-94 DISTRICT (COMBINING DISTRICT - MIDCOAST)

OCCUPANCY CLASS  
GROUP R-1

LOT AREA  
= 11,000 SF PER SURVEY

### SETBACKS

FRONT: 20' MIN  
SIDES: 10' MIN  
REAR: 20' MIN

2-STORY HEIGHT LIMIT  
MAX BUILDING HEIGHT: 28'-0"  
PROPOSED BUILDING HEIGHT: 26'-0"

NUMBER OF STORIES  
PROPOSED NUMBER OF STORIES: 2

### TREES

NO TREES TO BE REMOVED

FLOOR AREA RATIO (FAR):  
THE MAXIMUM BUILDING FLOOR AREA SHALL BE ESTABLISHED ACCORDING TO THE FOLLOWING TABLE.

PARCEL SIZE	MAX BUILDING FLOOR AREA
2,500 - 9,749 SQ. FT., OR LESS THAN 45 FEET PARCEL WIDTH	0.48 (PARCEL SIZE)
9,750 - 9,999 SQ. FT.	0.53 - ((5,000-PARCEL SIZE) X 0.0002) X PARCEL SIZE
10,000 - 11,698 SQ. FT.	0.53 (PARCEL SIZE)
MORE THAN 11,698 SQ. FT.	6,200 SQ. FT.

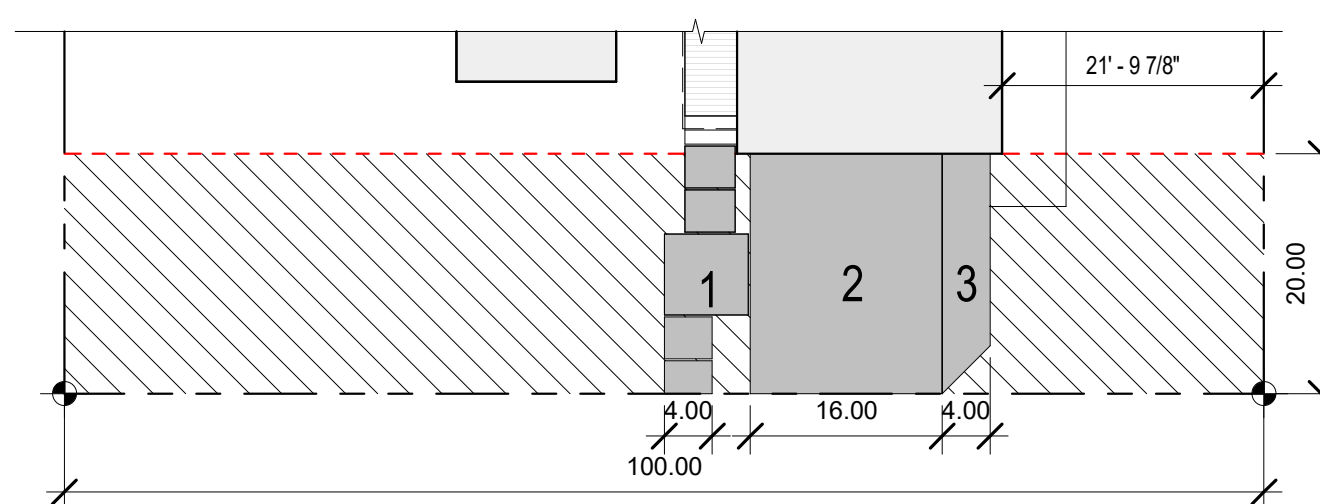
PER 6300.9.11.60, THE MAXIMUM BUILDING FLOOR AREA SHALL INCLUDE THE FLOOR AREA OF ALL STORIES OF ALL BUILDINGS AND ACCESSORY BUILDINGS ON A BUILDING SITE. MAXIMUM BUILDING FLOOR AREA SPECIFICALLY INCLUDES:  
(1) THE FLOOR AREA OF ALL STORIES EXCLUDING UNINHABITABLE ATTICS AS MEASURED FROM THE OUTSIDE FACE OF ALL EXTERIOR PERIMETER WALLS,  
(2) THE AREA OF ALL DECKS, PORCHES, BALCONIES OR OTHER AREAS COVERED BY A WATERPROOF ROOF WHICH EXTENDS FOUR (4) OR MORE FEET FROM EXTERIOR WALLS, AND  
(3) THE AREA OF ALL GARAGES AND CARPORTS.

ENERGY MODEL CONDITIONED AREA (PER CEC GUIDELINES):  
=2,567 SF

FLOOD ZONE:  
ZONE D

FIRE ZONE:  
NON-VHFSZ, PER CAL-FIRE MAP

## PAVED SURFACE CALCULATION



### FRONT YARD AREA

SCALE: 1/16" = 1'-0"

### PERVIOUS SURFACE CALCULATION:

FRONT SETBACK = 20'  
LOT WIDTH = 100'

FRONT SETBACK AREA = 20' x 100' = 2000 SF  
50% LIMITATION ON AMOUNT OF PAVED SURFACE  
= 0.5 X 2000 = 1000 SF MAXIMUM

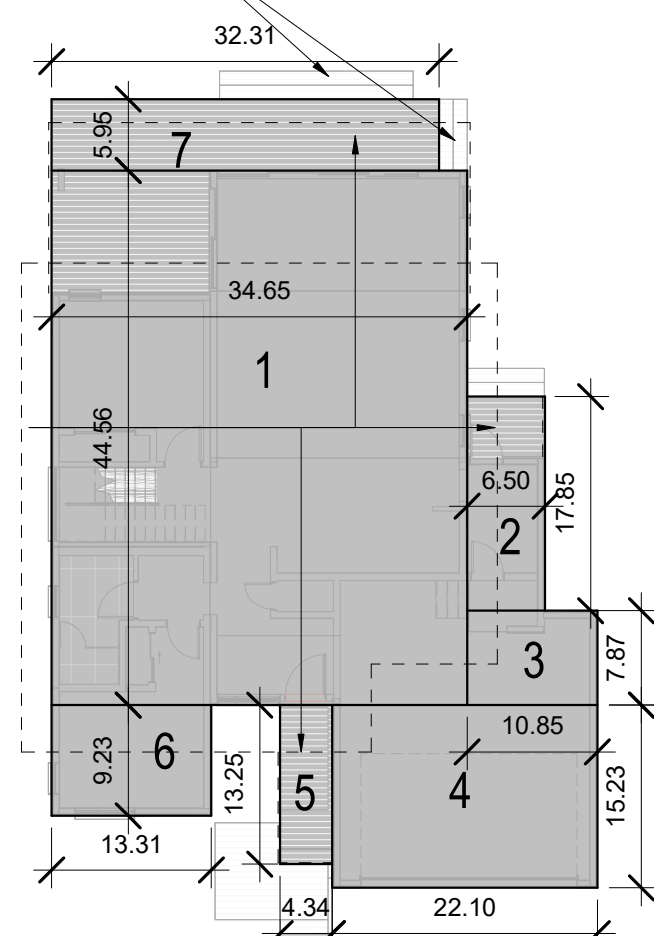
AREA 1 =	101 SF
AREA 2 =	320 SF
AREA 3 =	72 SF

PAVED SURFACE AREA = 493 SF

TOTAL PAVED SURFACE AREA =  
1000 SF MAXIMUM > 493 SF PROPOSED

## LOT COVERAGE CALCULATION

STAIRS WHICH ARE BELOW 18" IN HEIGHT ABOVE GROUND EXEMPT FROM SITE COVERAGE



DECKS WHICH ARE 18" OR MORE ABOVE GROUND INCLUDED IN SITE COVERAGE

### BUILDING SITE COVERAGE CALCULATION:

AREA 1 = 34.65' x 44.56'	=	1545.39 SF
AREA 2 = 6.50' x 17.85'	=	116.02 SF
AREA 3 = 10.85' x 7.87'	=	85.38 SF
AREA 4 = 22.10' x 15.23'	=	336.58 SF
AREA 5 = 4.34' x 13.25'	=	57.50 SF
AREA 6 = 13.31' x 9.23'	=	122.85 SF
AREA 7 = 32.31' x 5.95'	=	192.24 SF

TOTAL BUILDING COVERAGE = 2455.96 SF (2456 SF)

### MAXIMUM LOT COVERAGE

= 30% OF LOT AREA  
= 0.30 X 11,000 SF  
= 3,300 SF > 2,456 SF (OK)

### LOT COVERAGE CALCULATION (PER 6300.9.11.50):

THE MAXIMUM PARCEL COVERAGE SHALL BE 0.30 (30%). PARCEL COVERAGE SHALL INCLUDE ALL:  
(1) BUILDINGS,  
(2) ACCESSORY BUILDINGS, OR  
(3) STRUCTURES SUCH AS PATIOS, DECKS, BALCONIES, PORCHES, BRIDGES, AND OTHER SIMILAR USES WHICH ARE EIGHTEEN (18) INCHES OR MORE ABOVE THE GROUND.

## BUILDING HEIGHT DIAGRAMS



WEST ELEVATION HEIGHT  
SCALE: 1/16" = 1'-0"

SOUTH ELEVATION HEIGHT  
SCALE: 1/16" = 1'-0"

EAST ELEVATION HEIGHT  
SCALE: 1/16" = 1'-0"

NORTH ELEVATION HEIGHT  
SCALE: 1/16" = 1'-0"



## FIRE HYDRANT / LOCATION MAP

NOT TO SCALE



FIRE TURNAROUND



AH2  
457 CORONADO AVE  
HALF MOON BAY CA 94018

Discipline: ARCH  
Drawn by: NP  
Product number: AH2  
Product version: V2.2

Issuances:

04/08/2025 PERMIT SUBMITTAL

No. Date

PROJECT DATA, ZONING AND BUILDING HEIGHT COMPLIANCE

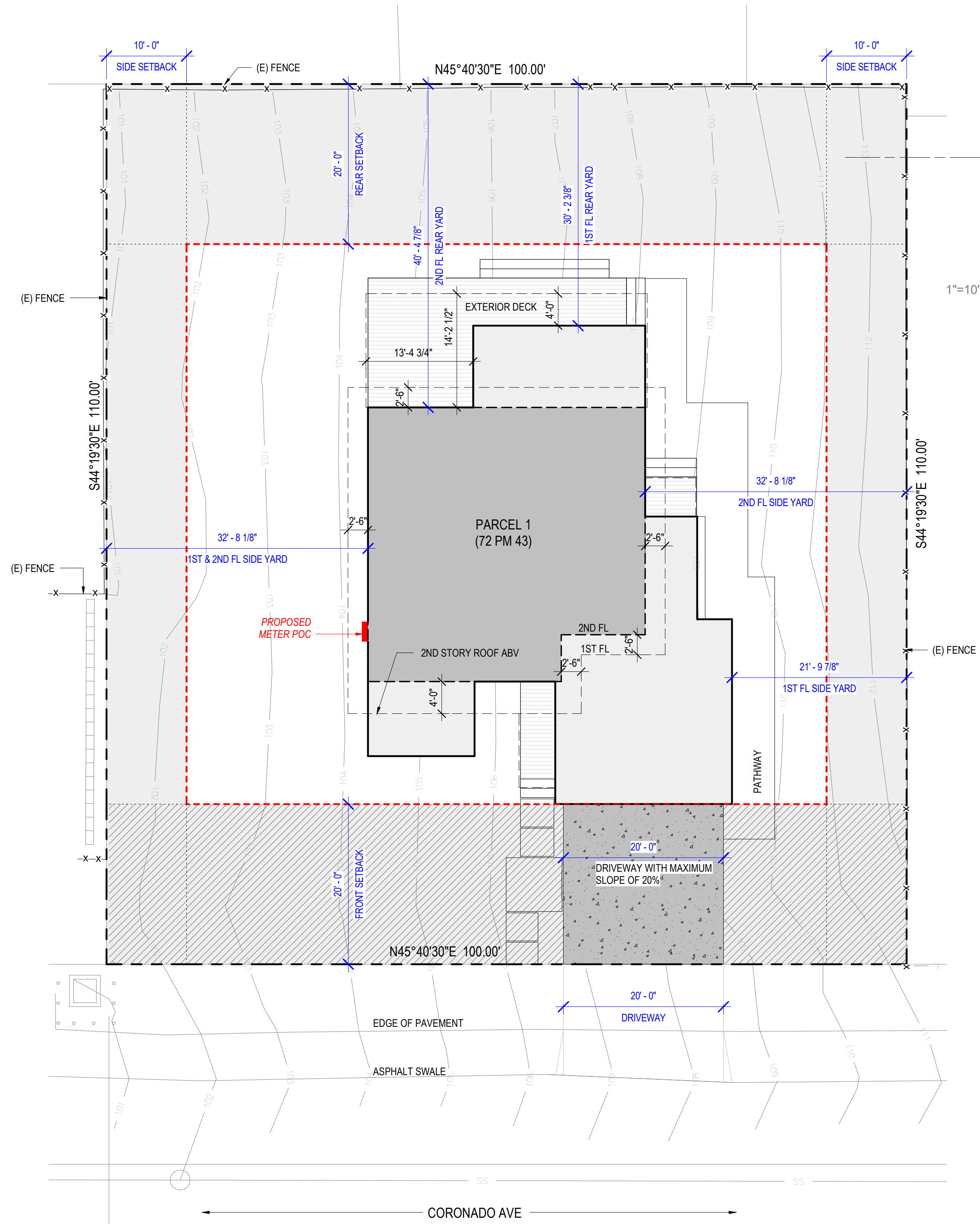
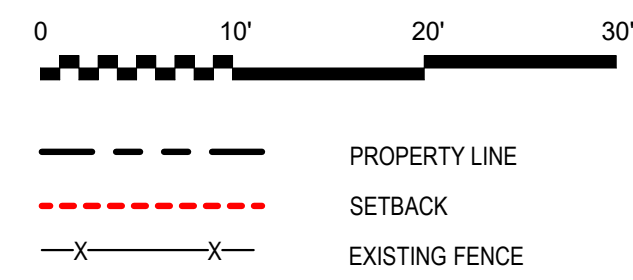
A0.05

PROJECT NORTH  
44.33 DEGREES OFF TRUE NORTH

TRUE NORTH

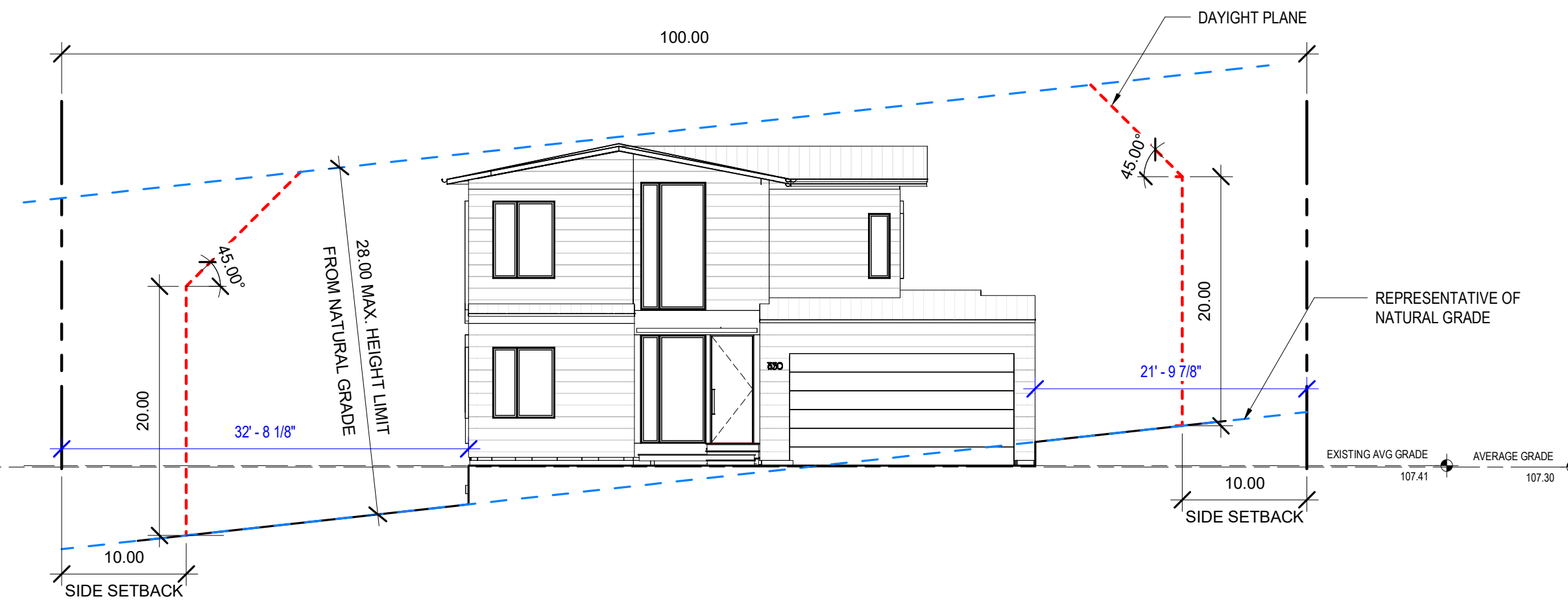
NOTES:  
1. SEE CIVIL DRAWINGS FOR GRADING, FINISHED FLOOR ELEVATION, DRAINAGE, AND UTILITIES.  
2. PUBLIC UTILITY EASEMENTS RECORDED FOR THIS SITE.  
3. SEE LANDSCAPE DRAWINGS FOR PLANTING AND IRRIGATION.  
4. SEE DETAILS ON SHEET A0.07 FOR NEW CONCRETE DRIVEWAY, CURB AND GUTTER

LEGEND

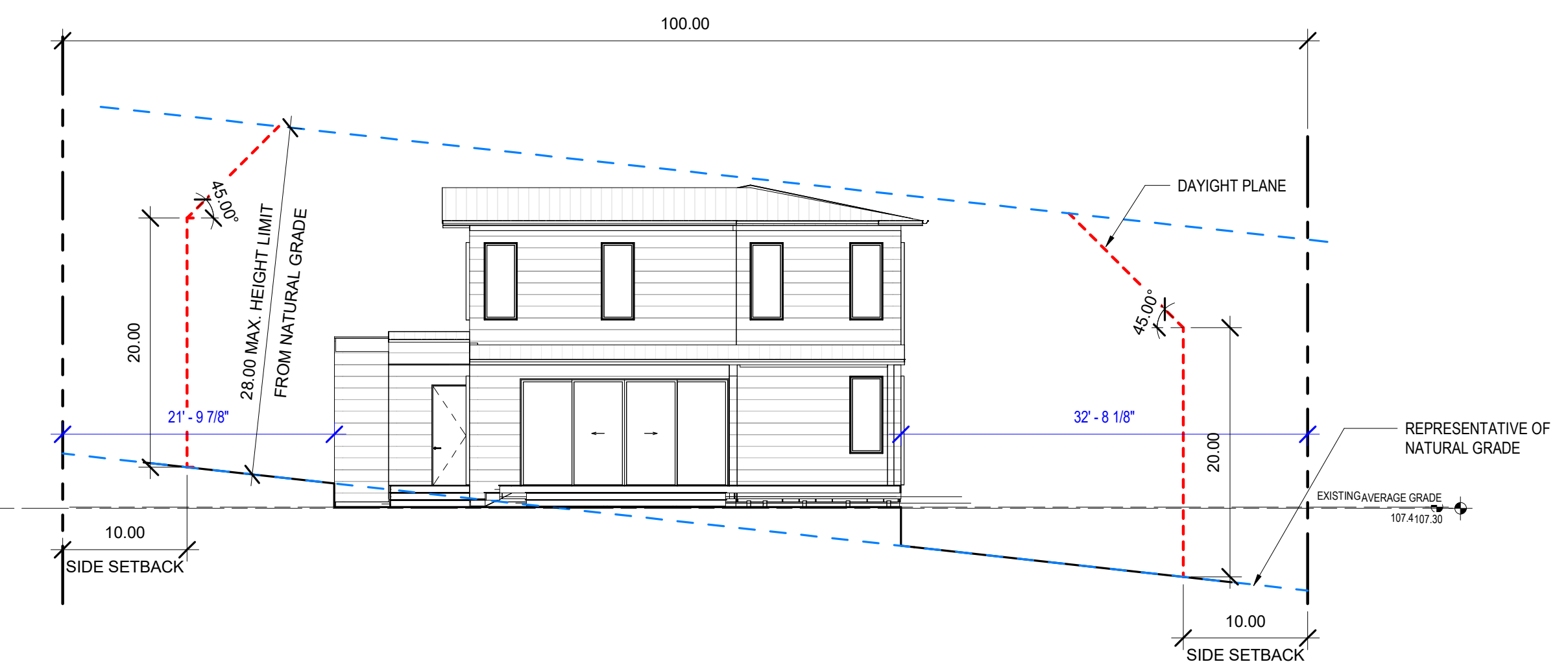


1 PROPOSED SITE PLAN  
SCALE: 1" = 10'-0"

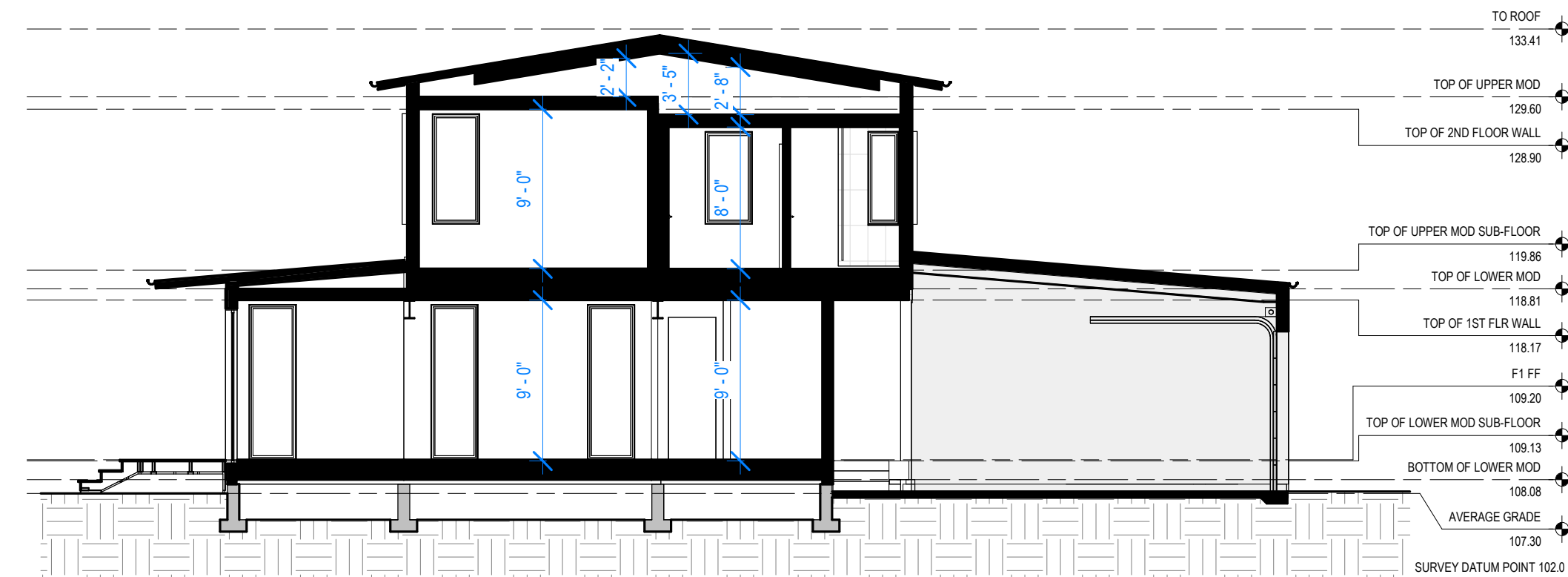
FRONT ELEVATION DAYLIGHT PLANE



REAR ELEVATION DAYLIGHT PLANE



BUILDING SECTION DIAGRAMS - CEILING HEIGHTS AND ATTIC SPACES



reserved for approvals stamp



AH2  
457 CORONADO AVE  
HALF MOON BAY CA 94018

Discipline: ARCH  
Drawn by: NP  
Product number: AH2  
Product version: V2.2

Issues:

No.	Date	Description

04/08/2025 PERMIT SUBMITTAL

PROPOSED SITE PLAN AND DAYLIGHT PLANE COMPLIANCE

A0.06



**EXTERIOR VIEW: SOUTH**  
LANDSCAPE DESIGN FOR REFERENCE ONLY



**EXTERIOR VIEW: SOUTHWEST**



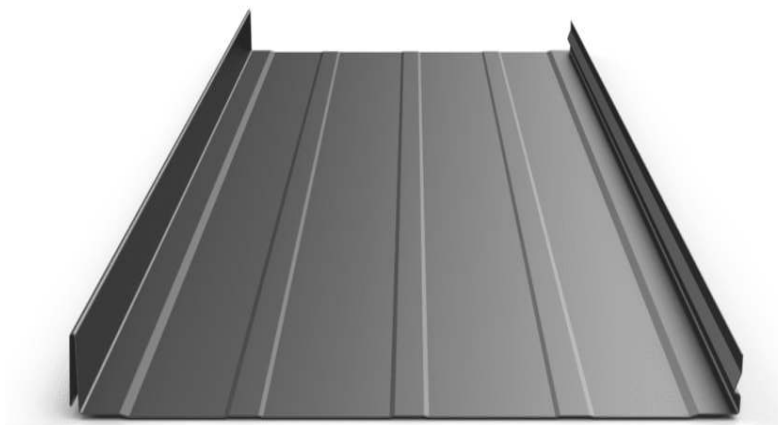
**EXTERIOR VIEW: NORTHEAST**



**WOOD SIDING**  
COLOR: ARO BROWN



**CANOPY/HANDRAIL**  
COLOR: CARDINAL INDUSTRIAL FINISHES: T002-BK08



**METAL FLASHING & STANDING SEAM**  
COLOR: TAYLOR METAL - MATTE BLACK SRI-23



**WINDOWS/DOORS**  
COLOR: DARK BRONZE ANODIZED (BLACK)



**LIGHTING**  
COLOR: SATIN BLACK

reserved for approvals stamp



**AH2**  
457 CORONADO AVE  
HALF MOON BAY CA 94018

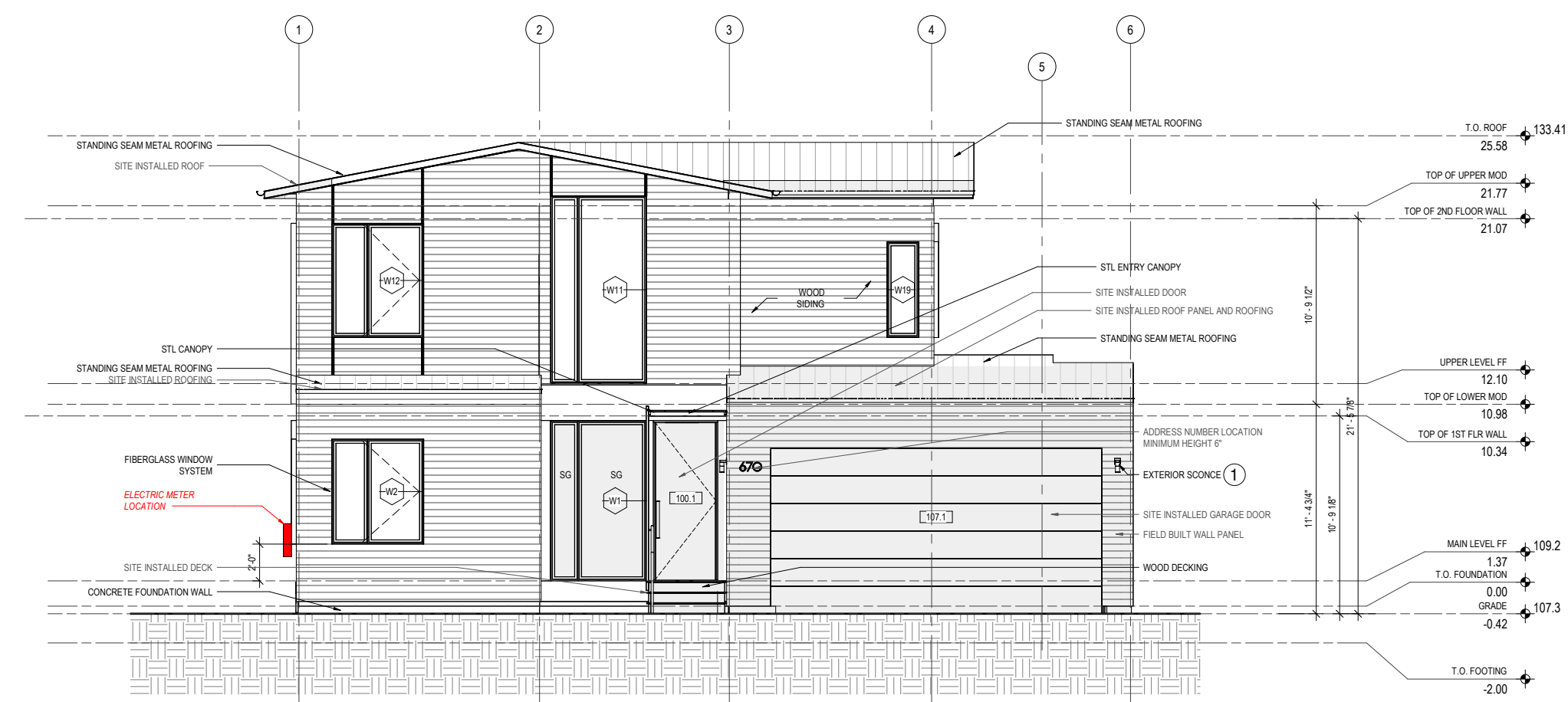
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Drawn by: CT  
Product number: AH2  
Product version: V2.2

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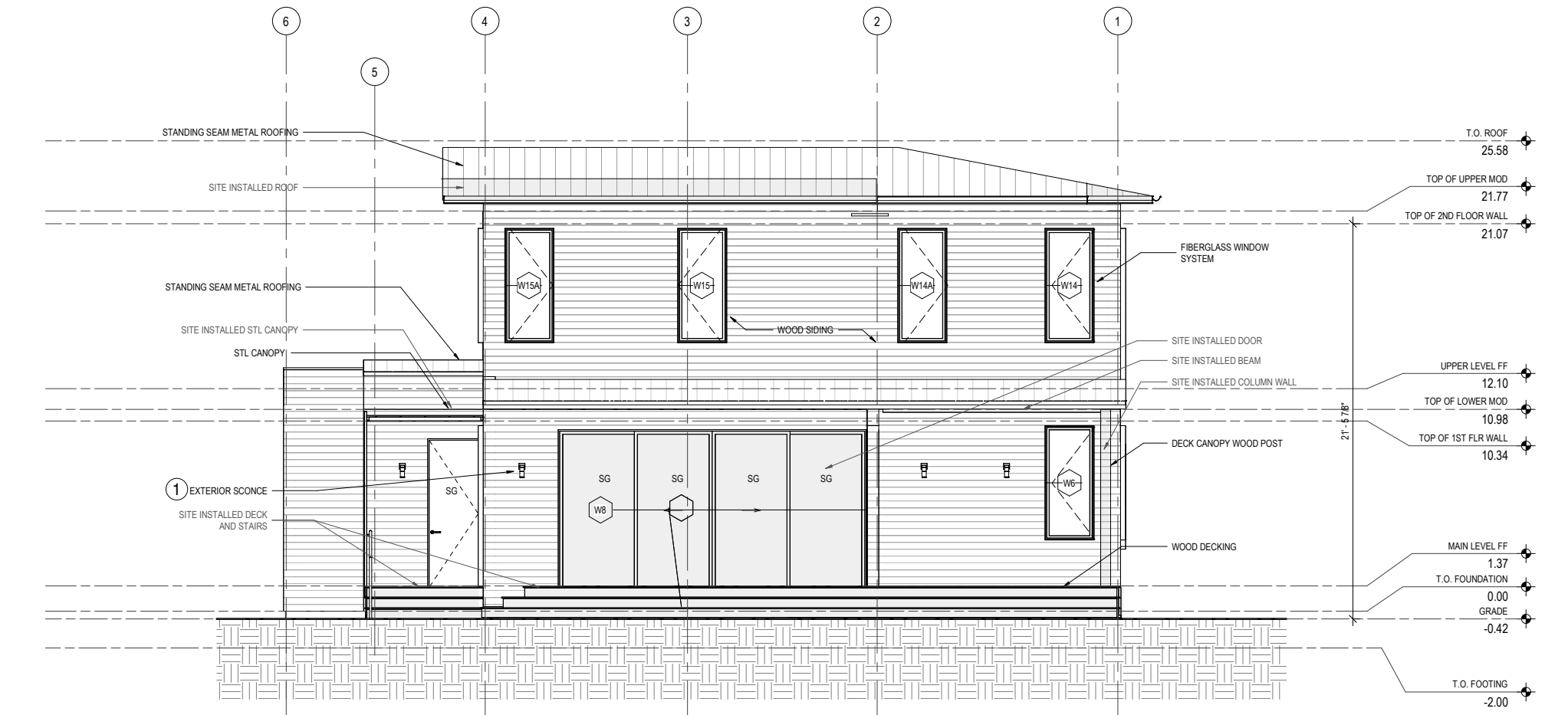
04/08/2025 PERMIT SUBMITTAL  
No. Date

MATERIAL SHEET

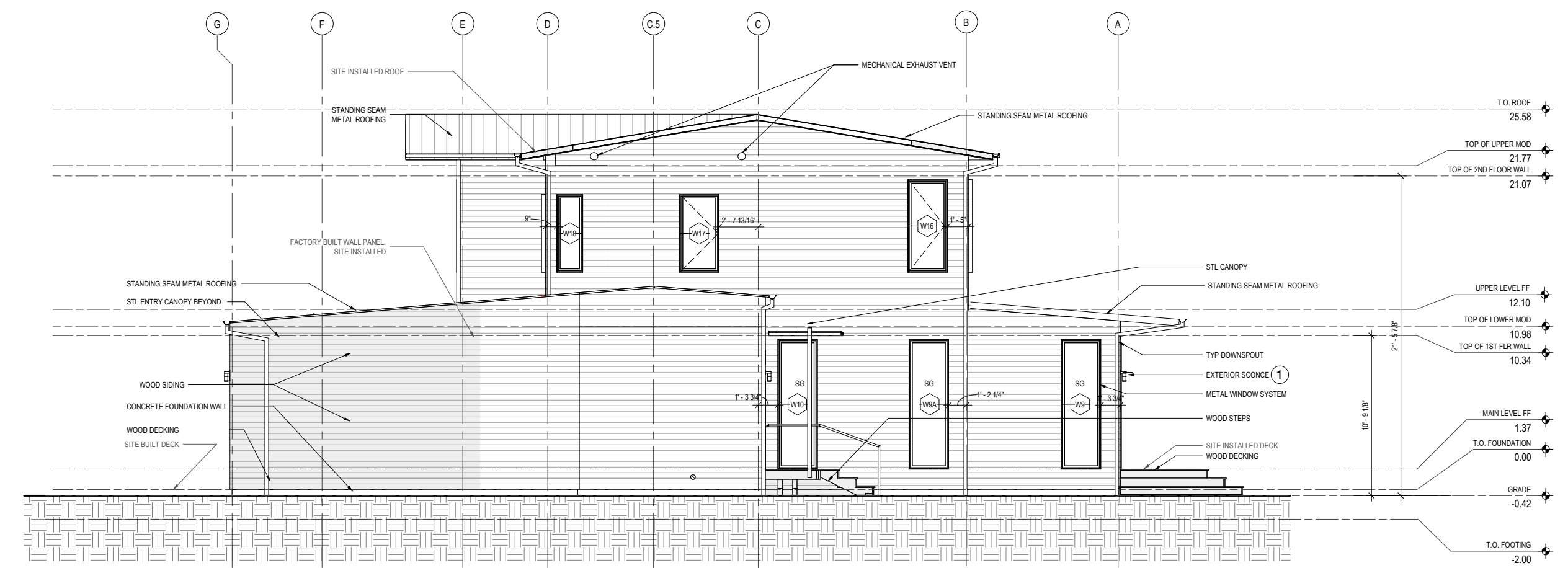
**A9.40**



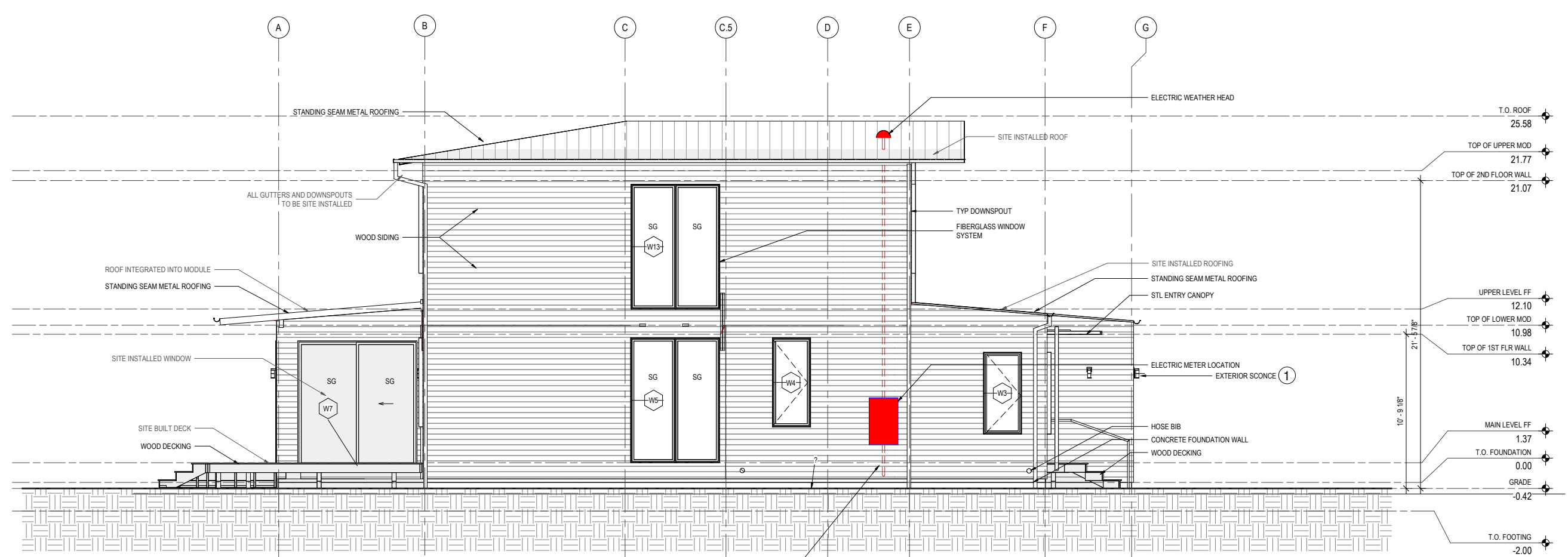
**NORTH ELEVATION**  
SCALE: NTS



**SOUTH ELEVATION**  
SCALE: NTS



**WEST ELEVATION**  
SCALE: NTS



**EAST ELEVATION**  
SCALE: NTS

**HINKLEY & R.**

HINKLEY LIGHTING, INC.  
3300 PIN OAK PARKWAY | AVON LAKE, OHIO 44012  
(PH) 440.653.9500 | (F) 440.653.9555  
HINKLEY.LIGHTING.COM | FREEDOM@HINKLEY.COM



MIST 1224SK	
SATIN BLACK	
WIDTH:	4.8"
HEIGHT:	22.0"
WEIGHT:	5.0 LBS
MATERIAL:	ALUMINUM
GLASS:	CLEAR ACRYLIC OUTSIDE CYLINDER & SEEDY GLASS INSIDE PANEL
BACKPLATE WIDTH:	4.8"
SOCKET:	1.50W GU-10
DARK SKY:	YES
EXTENSION:	4.0"
TTO:	11.0"
CERTIFICATION:	C-US WET RATED
VOLTAGE:	120V
UPC:	64066512242

AT HINKLEY, WE EMBRACE THE DESIGN PHILOSOPHY THAT YOU CAN MERGE TOGETHER THE LIGHTING, FURNITURE, ART, COLORS AND ACCESSORIES YOU LOVE INTO A BEAUTIFUL ENVIRONMENT THAT DEFINES YOUR OWN PERSONAL STYLE. WE HOPE YOU WILL BE INSPIRED BY OUR COMMITMENT TO KEEP YOUR "LIFE AGLOW."

lifeAGLOW®

1 EXTERIOR SCENCE

reserved for approvals stamp



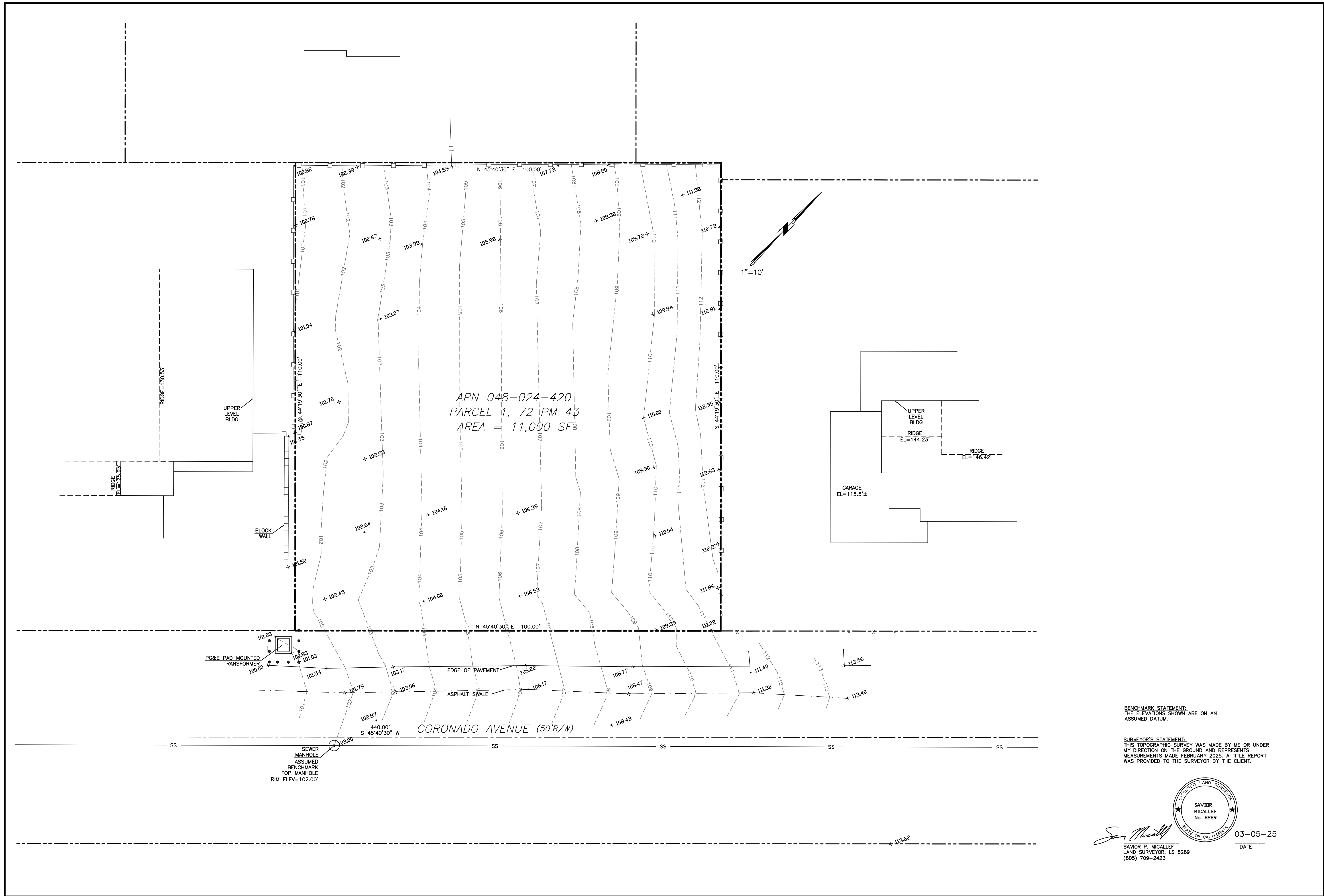
**AH2**  
457 CORONADO AVE  
HALF MOON BAY CA 94018

Discipline: ARCH  
Drawn by: NP  
Product number: AH2  
Product version: V2.2

Issuances:  
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04/08/2025 PERMIT SUBMITTAL  
No. Date

EXTERIOR LIGHTING

A3.02



SAVIVR P. MICALLEF LAND SURVEYING  
 2211 WOODBINE DRIVE  
 SAN LEANDRO, CALIFORNIA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF PORTION OF  
 VACANT LAND ON CORONADO AVENUE APN 048-024-420

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA

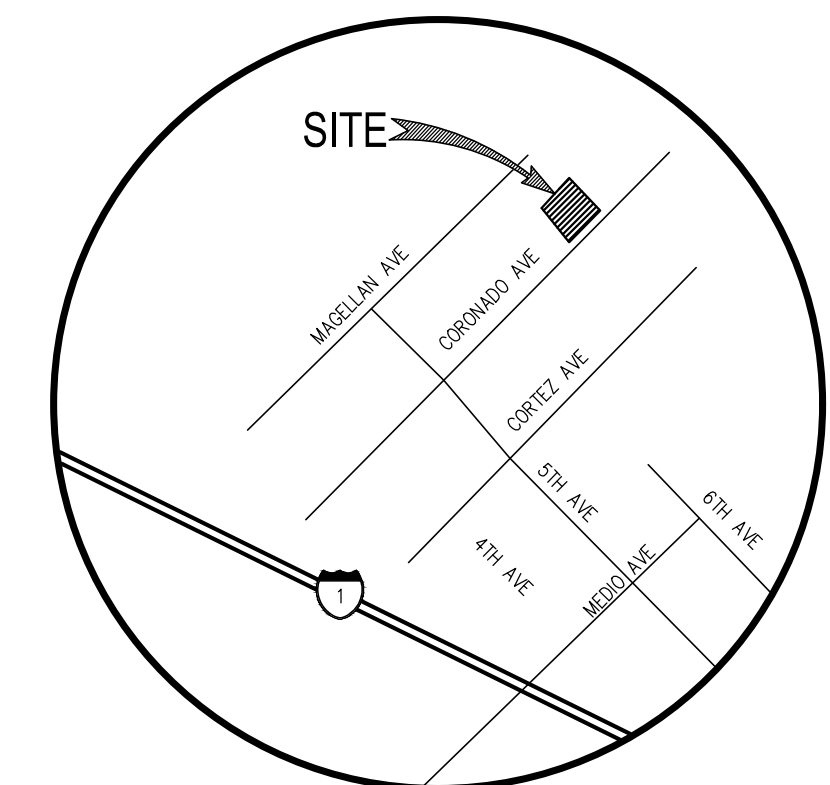
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Scale	1"=10'
Design	SPM
Drawn	SPM
Approved	SPM
App. No.	
Revisions	
No.	
Drawing Number:	1 OF 1



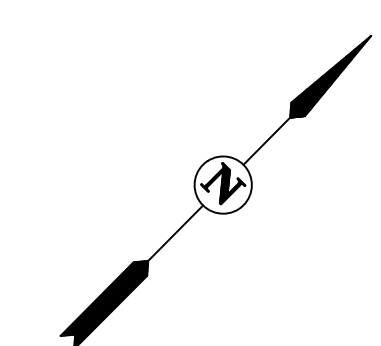
# 457 CORONADO AVENUE

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA

## DEMOLITION PLAN

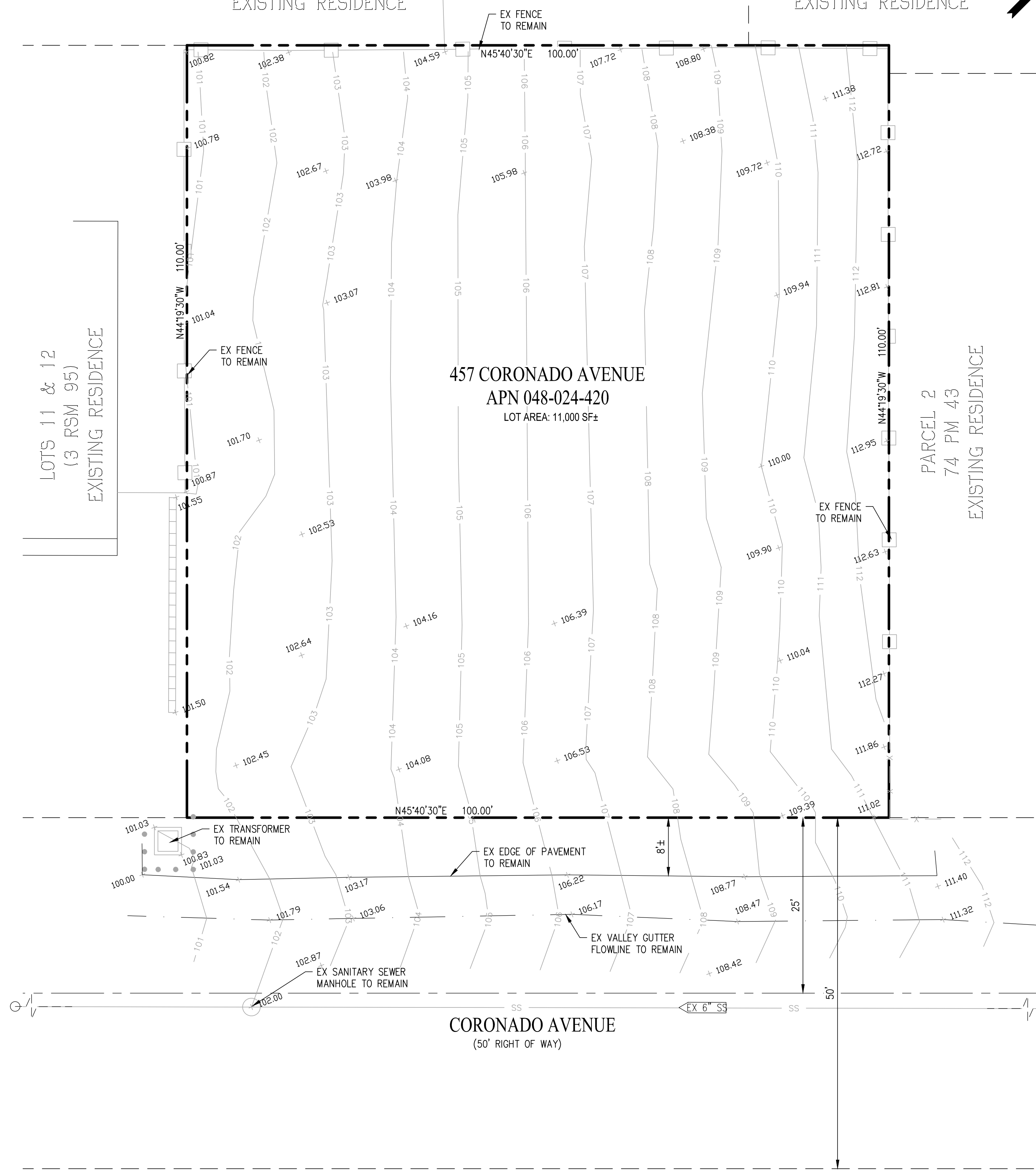


**VICINITY MAP**  
NOT TO SCALE



LOTS 29, 30 & 31  
(3 RSM 95)  
EXISTING RESIDENCE

LOTS 26, 27 & 28  
(3 RSM 95)  
EXISTING RESIDENCE



### GENERAL NOTES

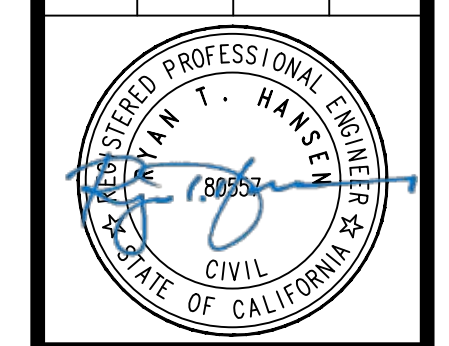
1. SITE ADDRESS: 457 CORONADO AVENUE  
HALF MOON BAY, CA 94019
2. OWNER/DEVELOPER: ARO HOMES  
725 N SHORELINE BOULEVARD  
MOUNTAIN VIEW, CA 94043
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
(925) 866-0322  
RYAN HANSEN, P.E.
4. TOTAL LOT AREA: 11,000 SQ. FT.
5. SCOPE OF WORK INCLUDES, BUT IS NOT LIMITED TO:
  - DISCONNECTING EXISTING UTILITY SERVICES
  - DEMOLISHING EXISTING STRUCTURES
  - REMOVAL OF EXISTING FLATWORK
  - CLEARING AND GRUBBING ENTIRE SITE WITH EXCEPTION OF NOTED TREES.
6. CONTRACTOR IS RESPONSIBLE FOR PERFORMING ALL WORK IN ACCORDANCE TO ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND LAWS GOVERNING DEMOLITION AND CONSTRUCTION WORK.
7. THE CONTRACTOR SHALL LOCATE UNDERGROUND FACILITIES IN THE WORK AREA. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 AT LEAST 2 WORKING DAYS IN ADVANCE OF ANY WORK IN THE LOCATION OF UNDERGROUND FACILITIES.
8. EXISTING UTILITIES SHOWN ON THIS SITE PLAN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING SAID LINES.
9. ISSUANCE OF THIS PERMIT DOES NOT PROVIDE APPROVAL OF THE REMOVAL OF ANY GIVEN TREE DEFINED AS A HERITAGE TREE IN MUNICIPAL CODE 13.4. A HERITAGE TREE REMOVAL PERMIT SHALL BE APPLIED FOR AND APPROVED BEFORE THE REMOVAL OF ANY HERITAGE TREE.

### LEGEND

	BOUNDARY LINE
	RIGHT OF WAY LINE
	ADJACENT PROPERTY LINE
	EXISTING STRUCTURE
	EXISTING EASEMENT LINE
	CENTERLINE
	EXISTING FENCE LINE
	TREE PROTECTION FENCE
	EXISTING UTILITY AS NOTED
	EXISTING UTILITY TO BE REMOVED
	TREE TO BE REMOVED
	ASPHALT CONCRETE
	CONCRETE
	DIAMETER AT BREAST HEIGHT
	EXISTING
	OVERHEAD WIRE
	SANITARY SEWER
	SANITARY SEWER MANHOLE
	TO BE REMOVED
	TO REMAIN
	TYPICAL

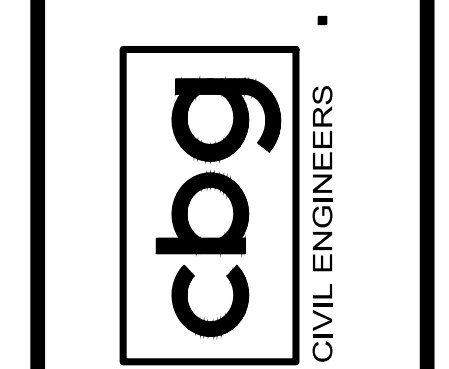
NO.	BY	DATE	REVISIONS

DATE: MARCH 2025  
DRAWN BY: DAK  
PROJ. ENGR: DAK  
PROJ. MGR: RTH



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ROSEVILLE (916) 375-1877  
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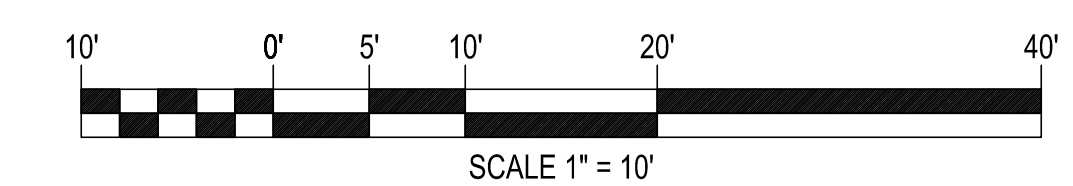
CIVIL ENGINEERS SURVEYORS PLANNERS



457 CORONADO AVENUE  
**DEMOLITION PLAN**  
SITE PLAN  
CALIFORNIA

ARO HOMES  
SAN MATEO COUNTY

SHEET NUMBER  
**DP-1**  
OF 1  
JOB NUMBER  
4004-014

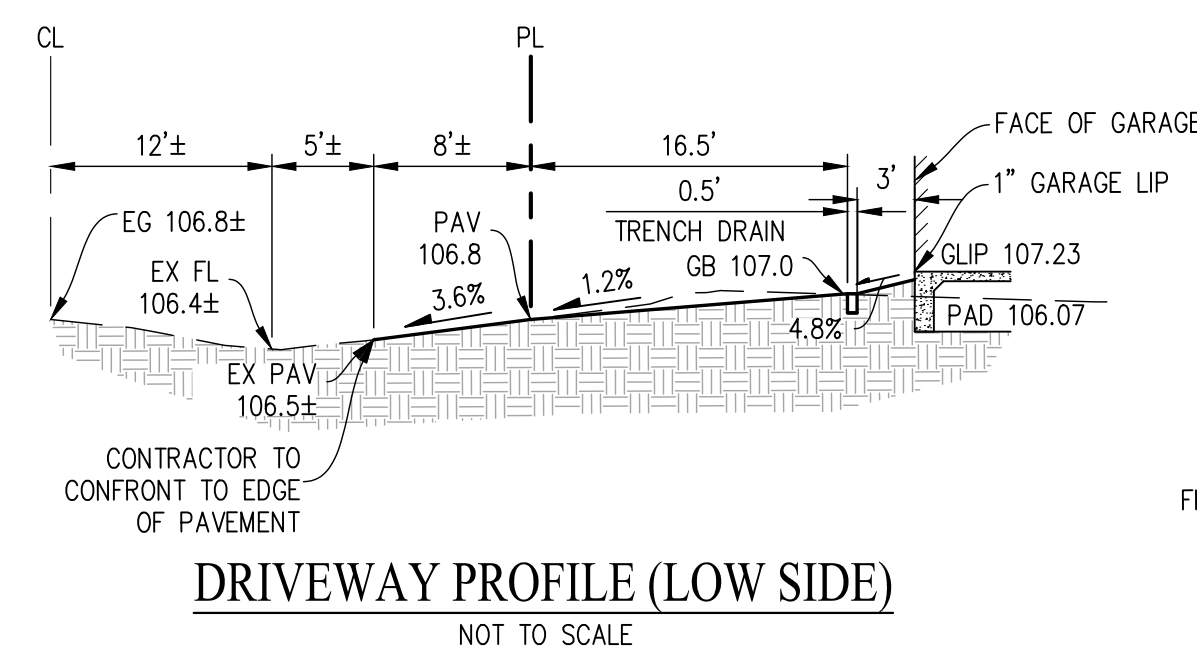
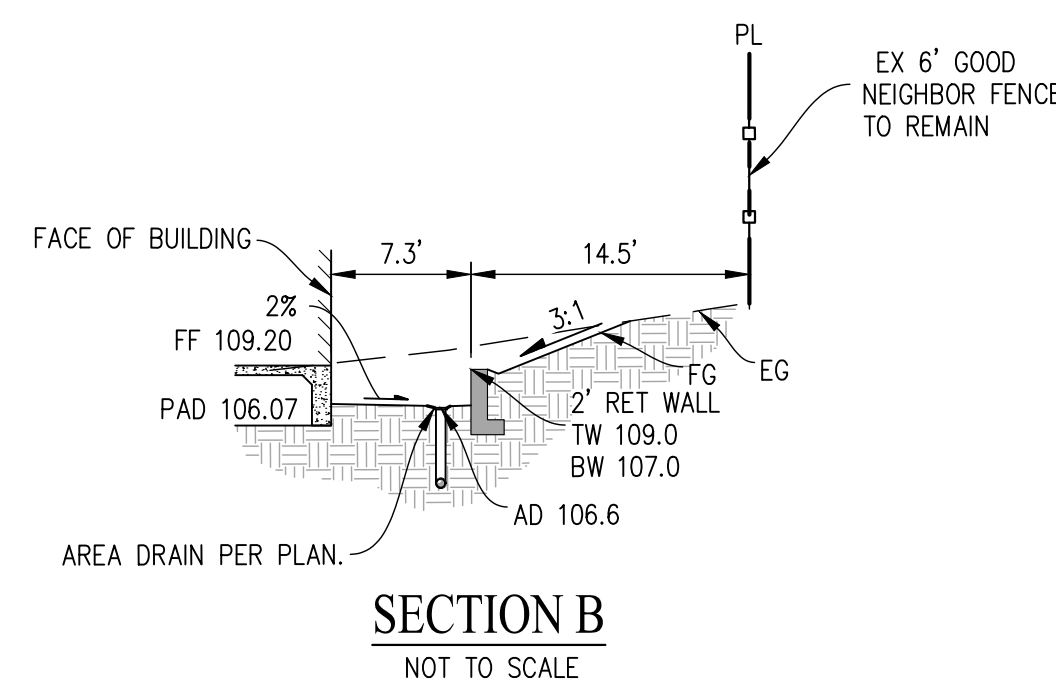
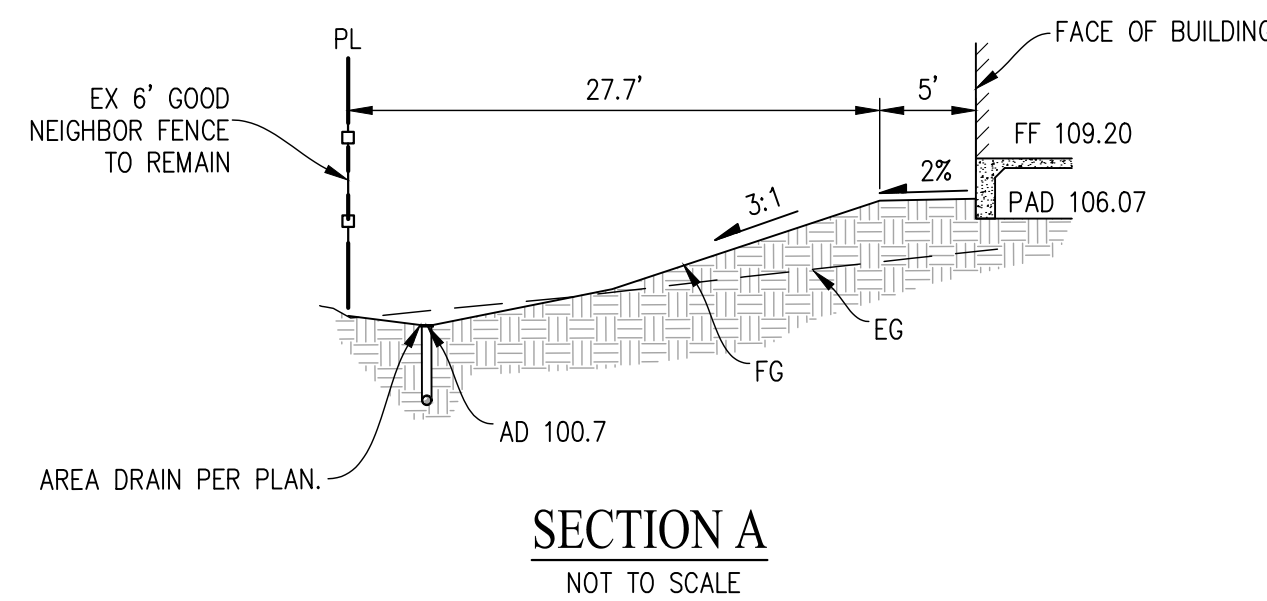




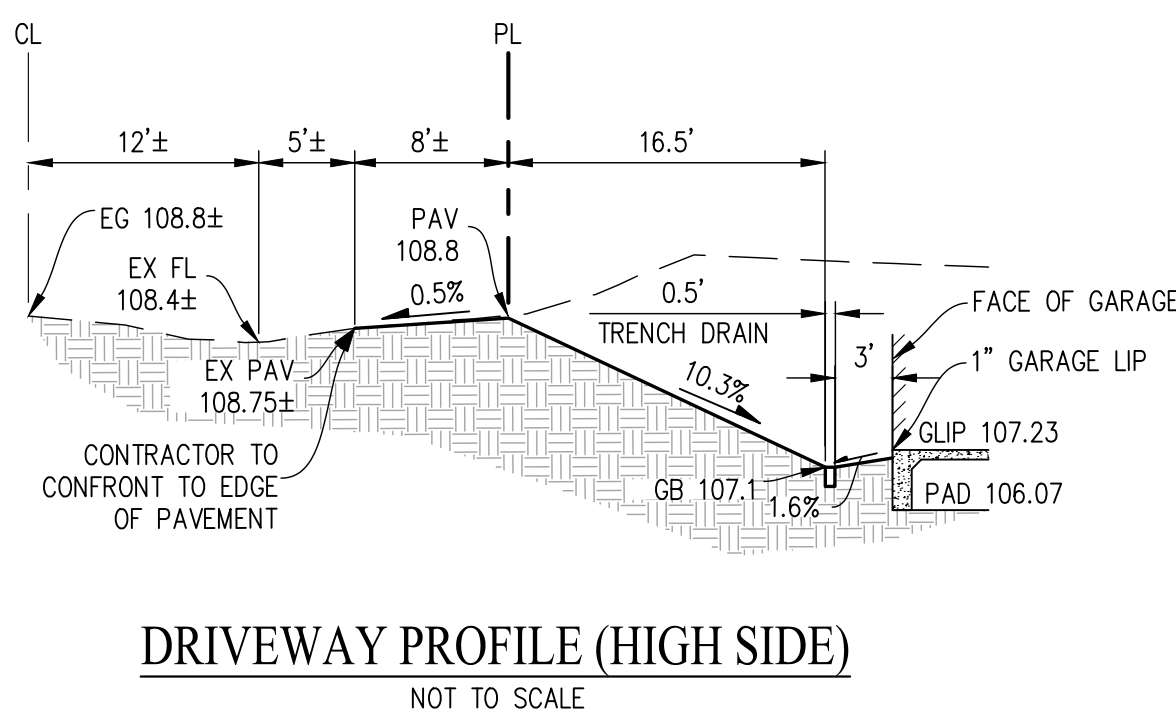


**COUNTY GENERAL NOTES**

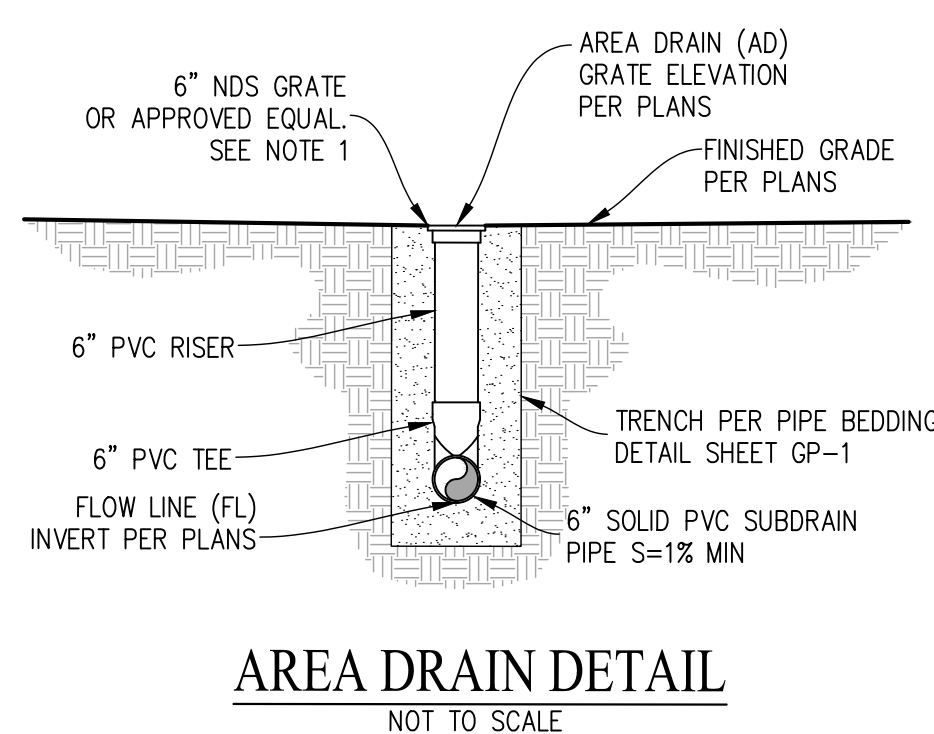
- ELEVATIONS AND LOCATIONS OF ALL EXISTING UTILITY CROSSINGS SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO START OF ANY CONSTRUCTION AFFECTING SAID LINES. CONTACT USA AT (800) 642-2444 AT LEAST TWO WORKING DAYS PRIOR TO EXCAVATION.
- ALL APPLICABLE WORK AND MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SAN MATEO COUNTY STANDARD DETAILS, SPECIFICATIONS AND ORDINANCES.
- THE CONTRACTOR SHALL RESTORE ALL DAMAGED, REMOVED OR OTHERWISE DISTURBED WALLS, FENCES, SERVICES, UTILITIES, IMPROVEMENTS OR FEATURES OF WHATEVER NATURE, DUE TO CONTRACTOR'S WORK.
- THE CONTRACTOR SHALL COORDINATE HIS/HER WORK WITH ALL UTILITY COMPANIES INCLUDING, PG&E, AT&T, WEST BAY SANITARY, CAL WATER OR MENLO PARK WATER. VALVE BOXES AND MANHOLES, AND STRUCTURES TO BE SET TO GRADE IN CONCRETE AFTER PAVING.
- ALL STREET MONUMENTS AND OTHER PERMANENT MONUMENTS DISTURBED DURING THE PROCESS OF CONSTRUCTION SHALL BE REPLACED BEFORE ACCEPTANCE OF THE IMPROVEMENTS BY THE PUBLIC WORKS DIRECTOR.
- THE CONTRACTOR SHALL GIVE THE COUNTY INSPECTOR TWO WORKING DAYS ADVANCE NOTICE FOR INSPECTION.
- REMOVAL OF HERITAGE TREES REQUIRES HERITAGE TREE REMOVAL PERMIT.
- FOR LANE CLOSURES, THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL OF THE CITY ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR SHALL PROVIDE FLAGMEN, CONES OR BARRICADES, AS NECESSARY TO CONTROL TRAFFIC AND PREVENT HAZARDOUS CONDITIONS PER THE CALIFORNIA STANDARD PLANS, SPECIFICATIONS, AND MANUAL ON TRAFFIC CONTROL DEVICES, LATEST EDITION.
- PEDESTRIAN, PUBLIC ACCESSES, WHEELCHAIR ACCESSES SHALL BE MAINTAINED DURING THE CONSTRUCTION TO THE SATISFACTION OF THE PUBLIC WORKS DIRECTOR.
- NO TRENCHES OR HOLES SHALL BE LEFT OPEN OVERNIGHT; USE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES OVERNIGHT.
- THE CONTRACTOR SHALL CONTROL DUST AT ALL TIMES AND SWEEP STREETS AS OFTEN AS NECESSARY DURING CONSTRUCTION AS REQUIRED BY THE PUBLIC WORKS DIRECTOR.
- ALL REVISIONS TO THIS PLAN MUST BE REVIEWED AND APPROVED BY THE COUNTY ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE ACCURATELY SHOWN ON REVISED PLANS STAMPED AND SIGNED BY CITY ENGINEER PRIOR TO THE INSTALLATION OF THE IMPROVEMENTS.
- ALL CONSTRUCTION STAKING FOR CURB, GUTTER, SIDEWALK, SANITARY SEWERS, STORM DRAINS, WATER LINES, FIRE HYDRANTS, ELECTROLIERS, ETC., SHALL BE DONE BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR.
- ALL EXISTING FRONTAGE IMPROVEMENTS THAT ARE DAMAGED, CRACKED, UPLIFTED OR DEPRESSED DURING THE COURSE OF CONSTRUCTION, OR THAT WERE DAMAGED PRIOR TO CONSTRUCTION, SHALL BE REMOVED, REPLACED AND/OR REPAIRED. REPLACED AND REPAIRED SECTIONS SHALL MEET CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE. CITY WILL NOT BEAR THE COSTS OF RECONSTRUCTION.
- ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE COUNTY STANDARD DETAILS [HTTPS://WWW.SMCGOV.ORG/PUBLICWORKS/STANDARD-DETAILS-BOOK](https://www.smcgov.org/publicworks/standard-details-book)
- A SEPARATE ENCROACHMENT PERMIT IS REQUIRED FOR ANY WORK WITHIN THE PUBLIC RIGHT OF WAY. THE APPLICANT/CONTRACTOR SHALL OBTAIN THE PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO START OF ANY WORK WITHIN THE COUNTY'S RIGHT-OF-WAY OR PUBLIC EASEMENT AREAS. THE APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING FOR CITY ENCROACHMENT PERMIT. TO VIEW ENCROACHMENT PERMIT REQUIREMENTS PLEASE VISIT THE CITY'S WEBSITE AT: [HTTP://WWW.SMCGOV.ORG/PUBLICWORKS/PERMITS](http://www.smcgov.org/publicworks/permits)
- GRADES WITHIN THE FIRST 10 FEET ADJACENT TO A STRUCTURE MUST HAVE A 5% SLOPE ON PERVIOUS SURFACES, AND A 2% SLOPE ON IMPERVIOUS SURFACES PER §1804.A3 OF THE CALIFORNIA BUILDING CODE (CBC).
- UNDER NO CIRCUMSTANCE SHALL DRAINAGE RESULTING FROM THIS PROJECT, DURING OR POST CONSTRUCTION, DIRECTLY SHEETFLOW ACROSS AN ADJOINING PROPERTY. RUNOFF SHALL BE CONTAINED ON-SITE UP TO THE 10-YEAR STORM.



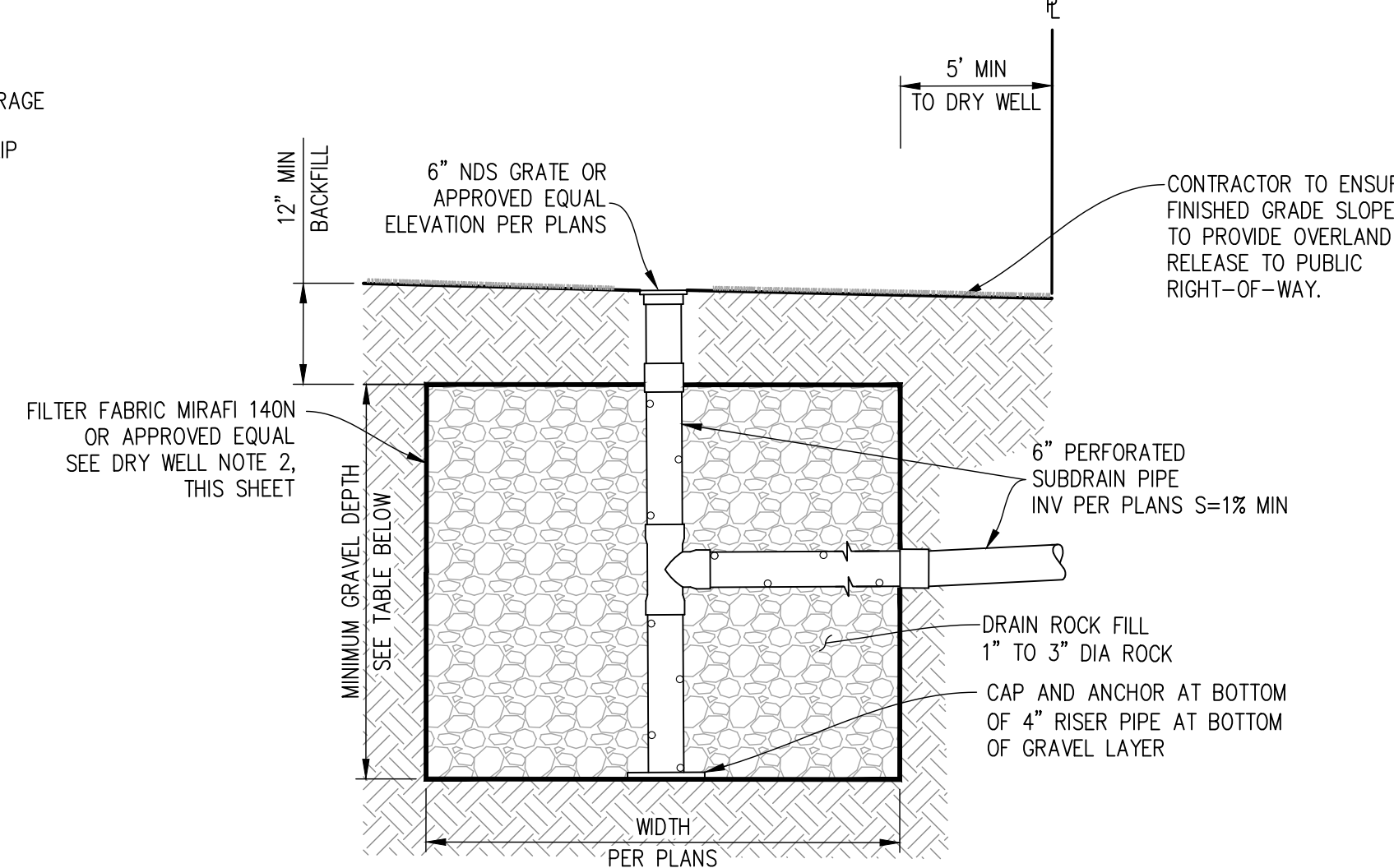
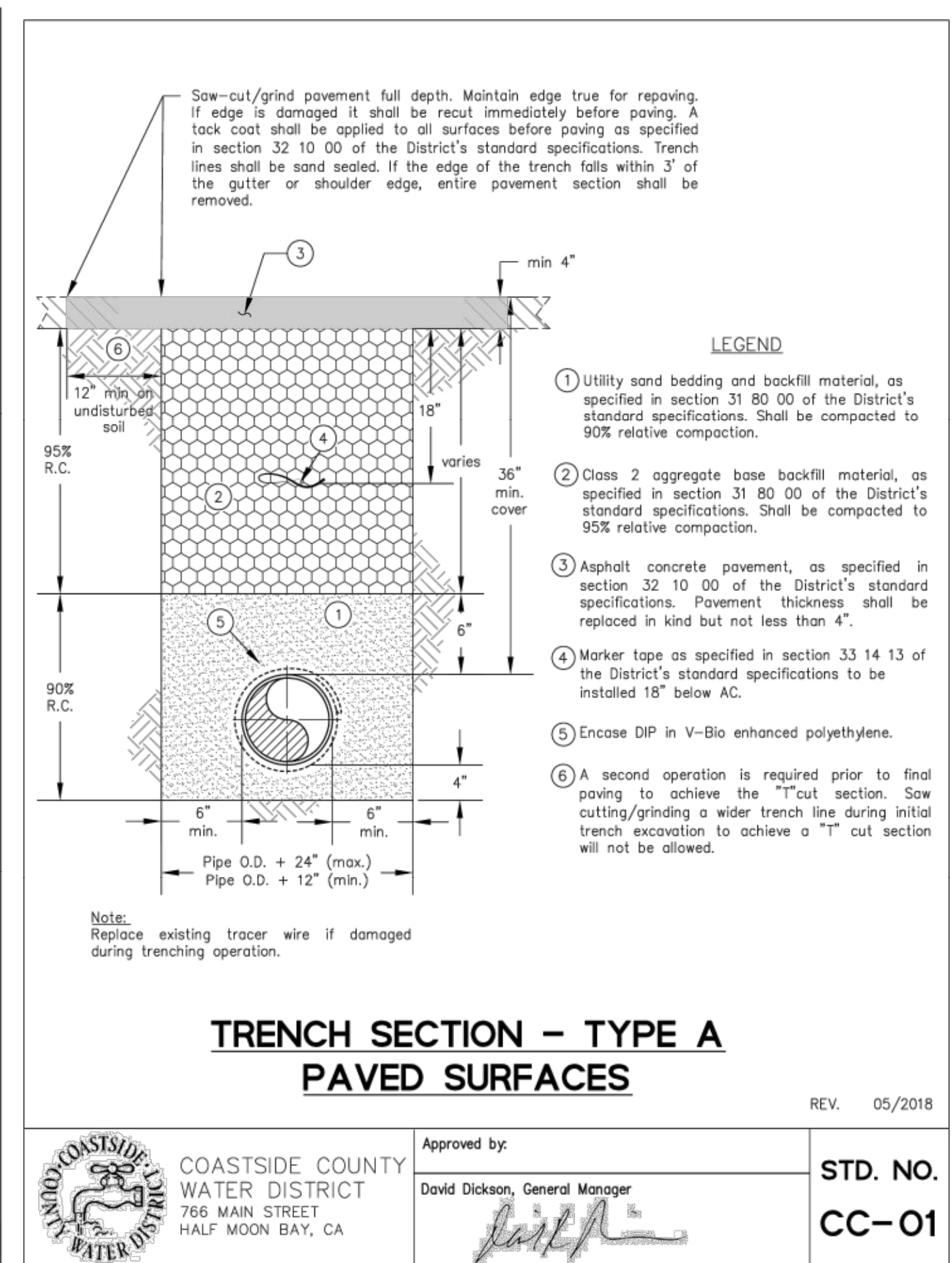
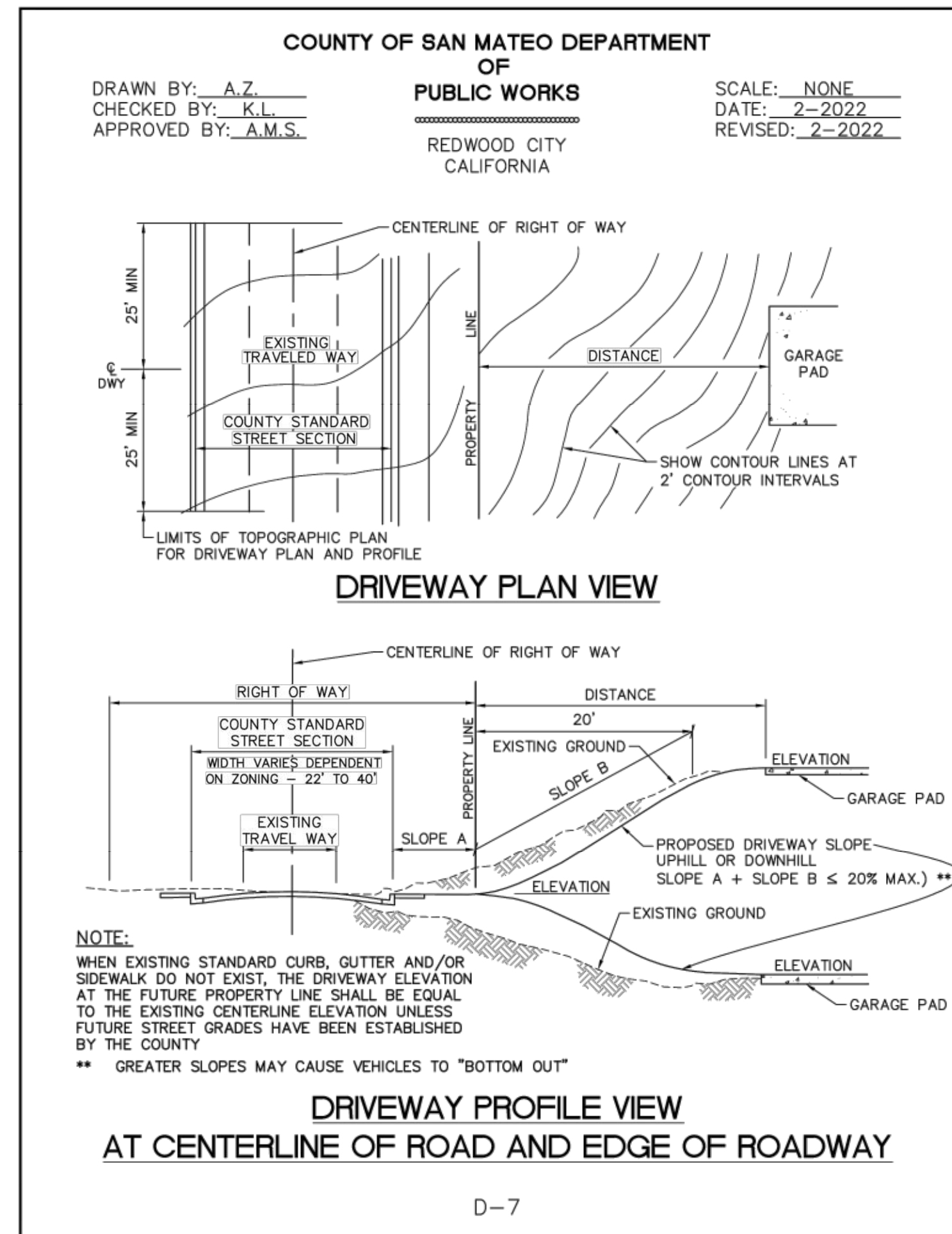
**DRIVEWAY PROFILE (LOW SIDE)**  
NOT TO SCALE



**DRIVEWAY PROFILE (HIGH SIDE)**  
NOT TO SCALE



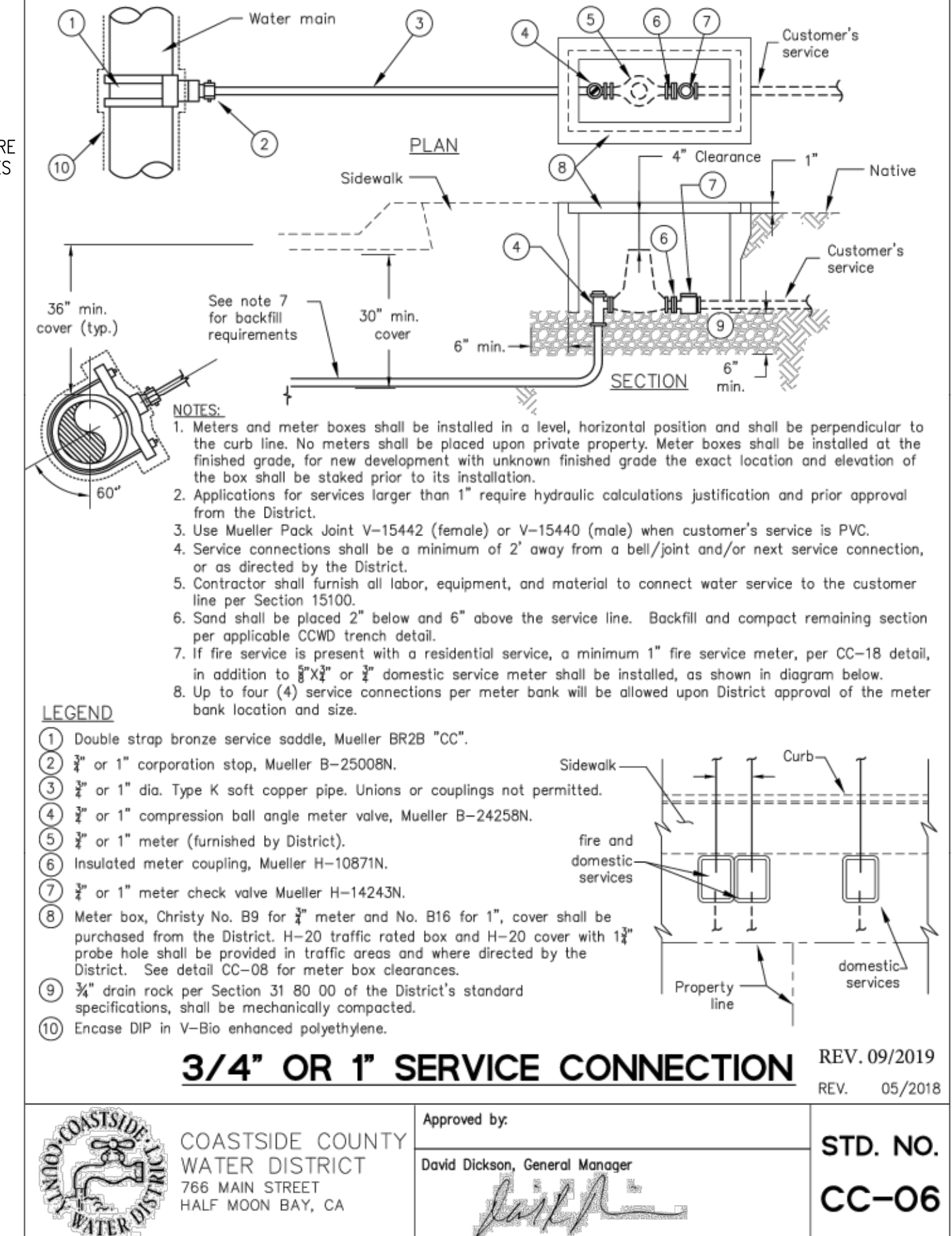
- NOTES:**
- 6" NDS GRATES ON IMPERVIOUS SURFACES TO BE ADA COMPLIANT AND HEEL PROOF.



**DRY WELL SUMMARY**

DRY WELL	AREA (SF)	MIN. DEPTH (FT)
1	200	5

- NOTES:**
- THE SOIL UNDER THE DRY WELL SHALL BE OVER-EXCAVATED TO AT LEAST ONE FOOT IN DEPTH. THE SOIL SHALL BE REPLACED UNIFORMLY WITHOUT COMPACTION, OR AMENDED WITH 15-30% OF COARSE SAND AND REPLACED WITHOUT COMPACTION.
  - IF A DRY WELL IS INSTALLED WITHIN 10' OF A DRIVEWAY OR CONCRETE WALKWAY, ONLY THE SIDEWALLS OF THE DRY WELLS SHOULD BE WRAPPED WITH AN IMPERMEABLE LINER PER GEOTECHNICAL RECOMMENDATIONS. ADDITIONAL GEOTECHNICAL RECOMMENDATIONS REGARDING DRIVEWAY CONSTRUCTION MAY BE WARRANTED. THE BOTTOM OF THE DRY WELL SHOULD NOT BE WRAPPED WITH AN IMPERMEABLE LINER.
  - DRY WELL TO BE CONSTRUCTED PER COUNTY OF SAN MATEO DRAINAGE MANUAL SECTION 4.0.
  - DRY WELLS SHALL BE SETBACK A MINIMUM 5' FROM PROPERTY LINES.



Approved by: *David Dickson, General Manager*

COASTSIDE COUNTY WATER DISTRICT  
766 MAIN STREET  
HALF MOON BAY, CA

STD. NO. CC-06

DATE: MARCH 2025  
DRAWN BY: DPK  
PROJECT: DPK  
PROJ. MGR: RTH

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PROJECT: DPK  
PROJ. MGR: RTH

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GRADING AND DRAINAGE PLAN  
NOTES & DETAILS

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PROJECT:





**CONTACTS**

1. SITE ADDRESS: 457 CORONADO AVENUE  
HALF MOON BAY, CA 94019
2. OWNER/DEVELOPER: ARO HOMES  
725 N SHORELINE BOULEVARD  
MOUNTAIN VIEW, CA 94043
3. CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.  
2633 CAMINO RAMON, SUITE 350  
SAN RAMON, CA 94583  
(925) 866-0322  
RYAN HANSEN, P.E.

**BEST MANAGEMENT PRACTICE NOTES**

1. IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTION THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
2. THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
3. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
4. ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL FOLLOW THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
5. THE CONTRACTOR OR OWNER SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
6. THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY OR COUNTY ENGINEER.
7. THE CONTRACTOR OR OWNER SHALL ESTABLISH AND MAINTAIN EFFECTIVE BMP PERIMETER CONTROLS AND STABILIZED ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE YEAR-ROUND.
8. EROSION CONTROL MEASURES WILL BE PROPERLY IN PLACE YEAR-ROUND. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50 PERCENT.
9. INSPECTIONS AND OBSERVATIONS SHALL OCCUR WEEKLY, AND AT LEAST ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS, TO IDENTIFY AND RECORD BMPs THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED OR THAT COULD FAIL TO OPERATE AS INTENDED.
10. DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORMWATER DISCHARGES DURING CONSTRUCTION.
11. DISCHARGERS SHALL IMPLEMENT EFFECTIVE WIND EROSION CONTROL.
12. STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE WORK. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
13. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN MATERIAL STORAGE AREA.
14. APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN THE VEHICLE STORAGE AREA.
15. PLACE ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
16. IMPLEMENT BMPs TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS.
17. PAVED STREETS WILL BE MONITORED DAILY AND FREQUENTLY CLEANED. STREETS WILL ALSO BE SWEEPED ON AT LEAST A WEEKLY BASIS OR MORE OFTEN, AS NEEDED, TO MAINTAIN CONTINUOUS LITTER AND TRACKING CONTROL. STREET WASHING WILL NOT BE DONE.
18. TRASH RECEPTACLES WILL BE PROVIDED THROUGHOUT THE SITE AND UTILIZED BY ALL WORKERS FOR MISCELLANEOUS TRASH. SITE REFUSE WILL BE PICKED UP ON A WEEKLY BASIS OR AS OFTEN AS NECESSARY IN ORDER TO KEEP THE SITE CLEAN.
19. COVER AND BERM LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.).
20. CONTAIN AND SECURELY PROTECT STOCKPILED WASTE MATERIAL FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
21. EXCAVATING, FILLING, BACKFILLING AND GRADING WORK SHALL NOT BE PERFORMED DURING UNFAVORABLE WEATHER CONDITIONS.
22. DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVER FOR INACTIVE AREAS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
23. SLOPES WILL BE GRADED SO THAT WATER IS DIRECTED AWAY FROM THE SLOPE FACES AT THE END OF EACH WORKING DAY WHEN A CHANCE OF RAIN IS FORECAST.
24. ALL RILLS, GULLIES, ETC. WILL BE PROMPTLY REPAIRED AS PRACTICAL BY REGRADING OR INSTALLATION OF SOIL, GRAVEL OR SANDBAGS.
25. ALL DRAIN INLETS WILL BE PROTECTED AS THEY ARE COMPLETED, DURING THE ENTIRE COURSE OF CONSTRUCTION.
26. IF SEDIMENT BASINS ARE TO BE USED, DISCHARGERS SHALL, AT A MINIMUM DESIGN SEDIMENT BASINS ACCORDING TO THE METHOD PROVIDED IN CASQA'S CONSTRUCTION BMP GUIDANCE HANDBOOK.
27. AFTER EACH RAINSTORM, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, FIBER ROLLS, SILT FENCES AND SILT SACKS. SEDIMENT TRAPS/BASINS SHOULD ALSO BE OBSERVED AND PUMPED DRY AS NECESSARY TO ASSURE PROPER FUNCTION AND CAPACITY.
28. INTERIOR FIBER ROLLS MAY BE REMOVED AS THE AREA COMES UNDER CONSTRUCTION FOR FINISH GRADING AND LANDSCAPING INSTALLATION. PERIMETER PROTECTION SHOULD BE LEFT IN PLACE YEAR-ROUND DURING CONSTRUCTION OR DEMOLITION.
29. TREE PROTECTION FENCING IS TO BE ORANGE CONSTRUCTION FENCING AND PLACED AROUND TREE TO CREATE A TREE PROTECTION ZONE AND SHALL BE INSTALLED AROUND TREES THAT ARE TO REMAIN.

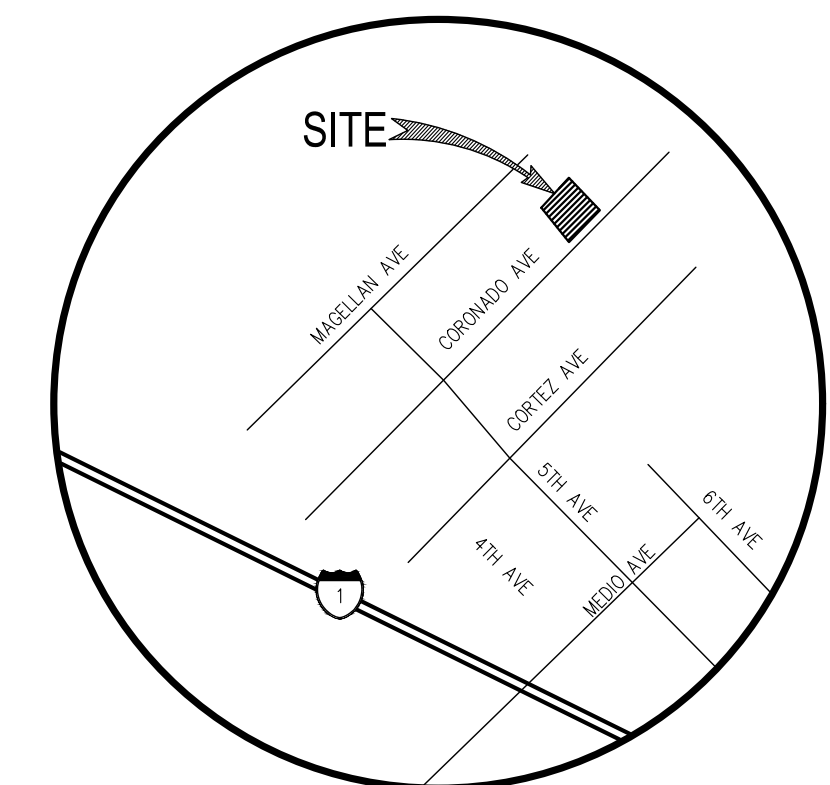
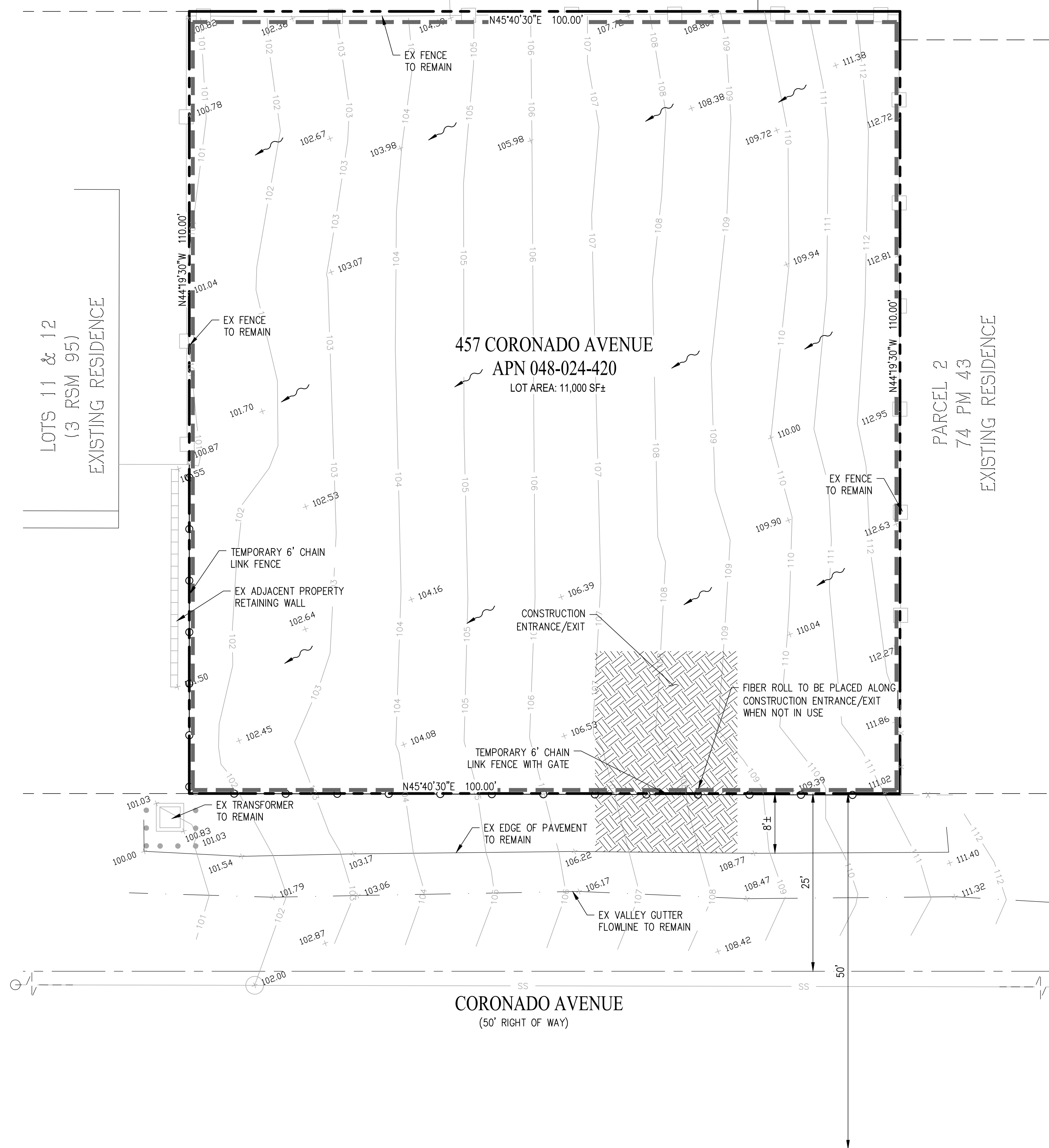
# 457 CORONADO AVENUE

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA

## EROSION CONTROL PLAN

LOTS 29, 30 & 31  
(3 RSM 95)  
EXISTING RESIDENCE

LOTS 26, 27 & 28  
(3 RSM 95)  
EXISTING RESIDENCE



**VICINITY MAP**  
NOT TO SCALE  
NOT TO SCALE

**LEGEND**

- PROPERTY BOUNDARY
- - - ADJOINER PROPERTY LINE
- x - EXISTING FENCE
- o - TREE PROTECTION FENCE
- o - 6' CONSTRUCTION SECURITY FENCE
- - - EXISTING RETAINING WALL
- - - FIBER ROLL - (SE-5)
- - - STABILIZED CONSTRUCTION ENTRANCE/EXIT - (TC-1)
- - - DIRECTION OF EXISTING RUNOFF FLOW

**PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS\***

- [Cross-hatched box] MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 - WM-3\*\*)
- [Diagonal hatched box] SANITARY FACILITY (WM-9\*\*)

**NOTE:**

- \* THE MATERIALS AND EQUIPMENT STORAGE AREA AND SANITARY FACILITY WILL BE PLACED AT THE PROJECT SUPERINTENDENT'S DISCRETION AND ARE SUBJECT TO CHANGE.
- \*\* DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

**CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS**

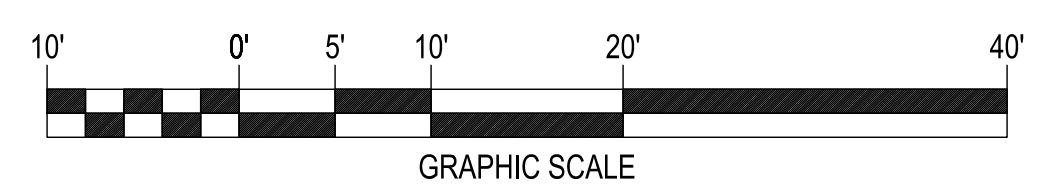
- EC-1 SCHEDULING
- NS-1 WATER CONSERVATION PRACTICES
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

**NOTE:**

NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

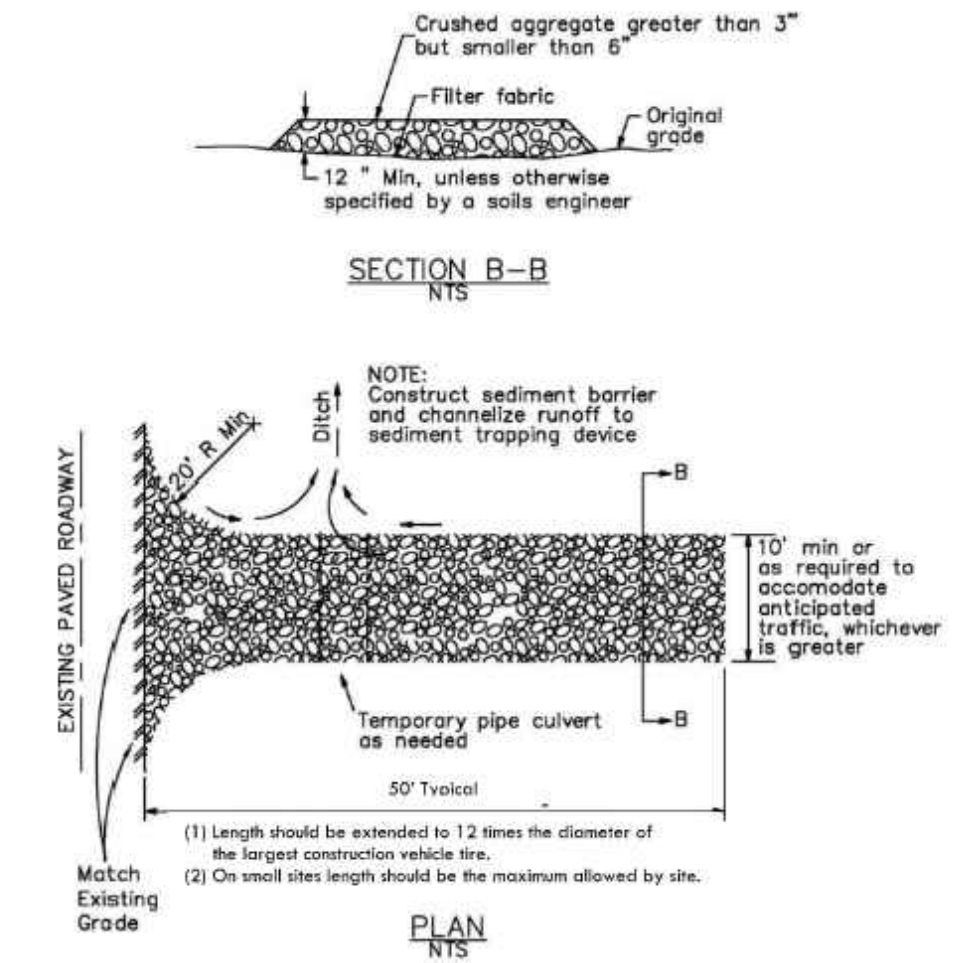
**SHEET INDEX**

- ECP-1 EROSION CONTROL SITE PLAN
- ECP-2 NOTES AND DETAILS
- ECP-3 COUNTY CONSTRUCTION BEST MANAGEMENT PRACTICES

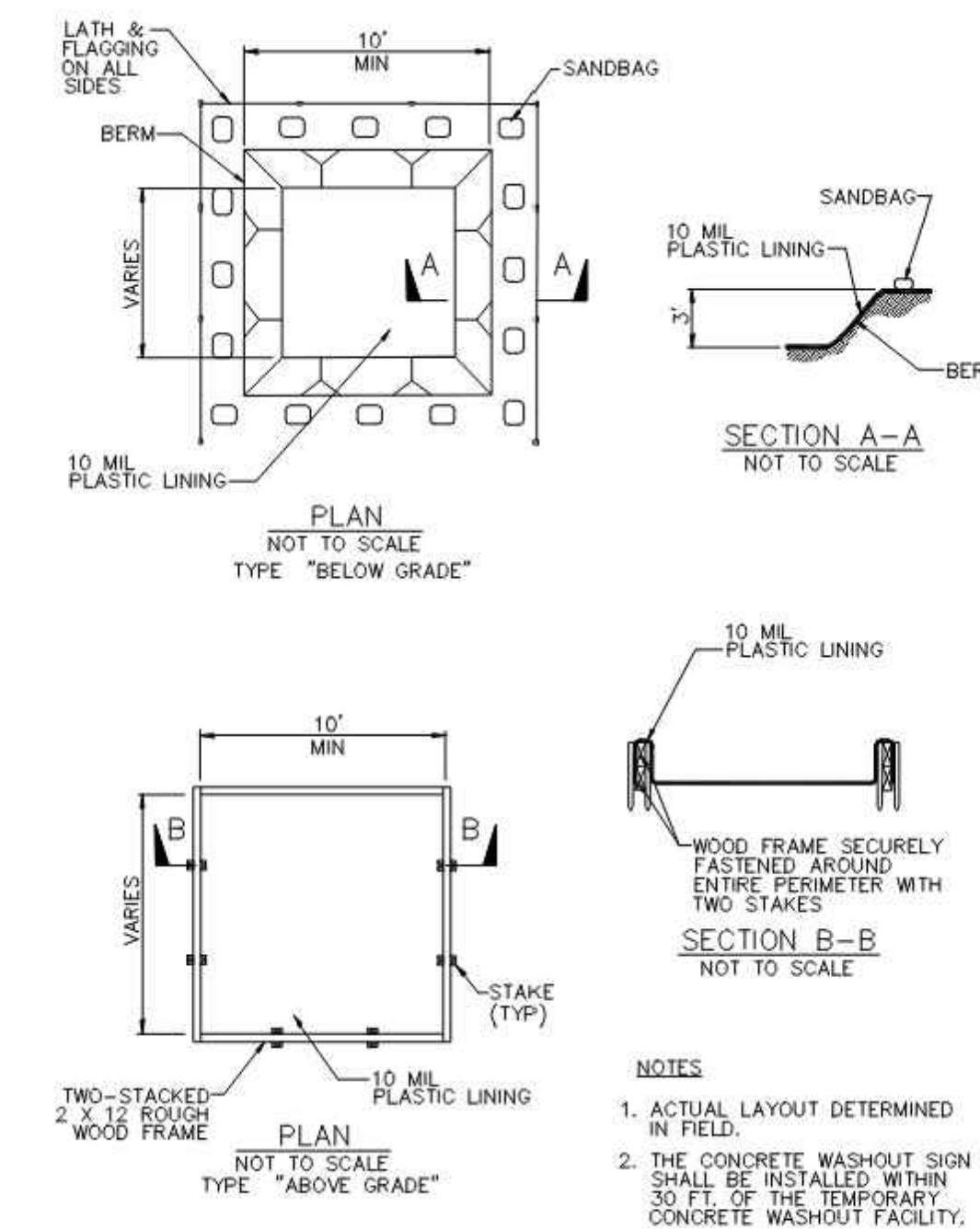


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457 CORONADO AVENUE <b>EROSION CONTROL PLAN</b> SITE PLAN CALIFORNIA							
ARO HOMES SAN MATEO COUNTY							
SHEET NUMBER <b>ECP-1</b> OF 3							
JOB NUMBER 4004-014							

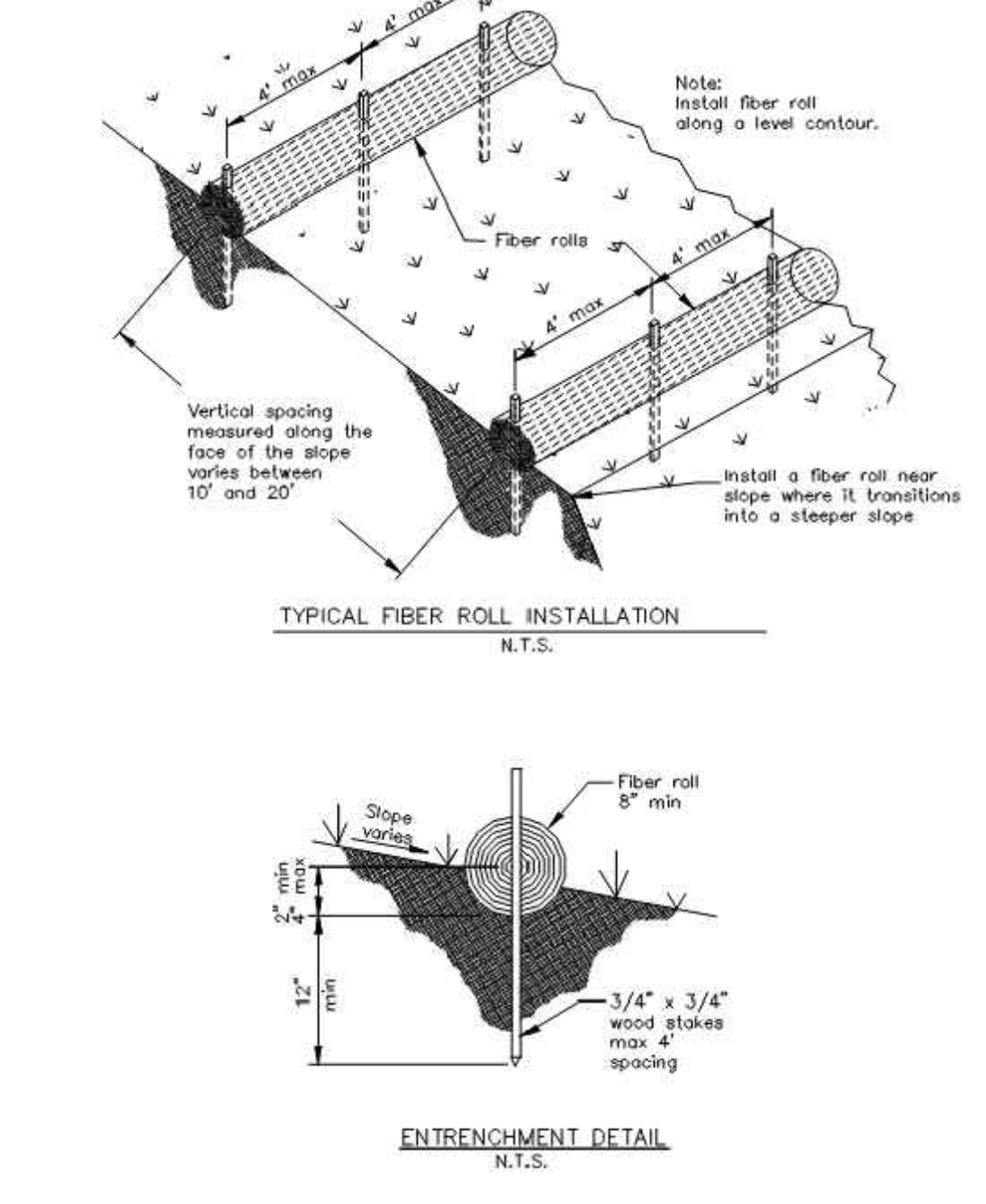
**Stabilized Construction Entrance/Exit TC-1**



**Concrete Waste Management WM-8**



**Fiber Rolls SE-5**

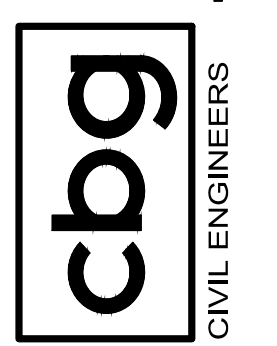


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ARROW HILLS, CALIFORNIA 92509

**EROSION CONTROL PLAN**  
NOTES & DETAILS

SHEET NUMBER  
**ECP-2**  
OF 3

JOB NUMBER  
4004-014

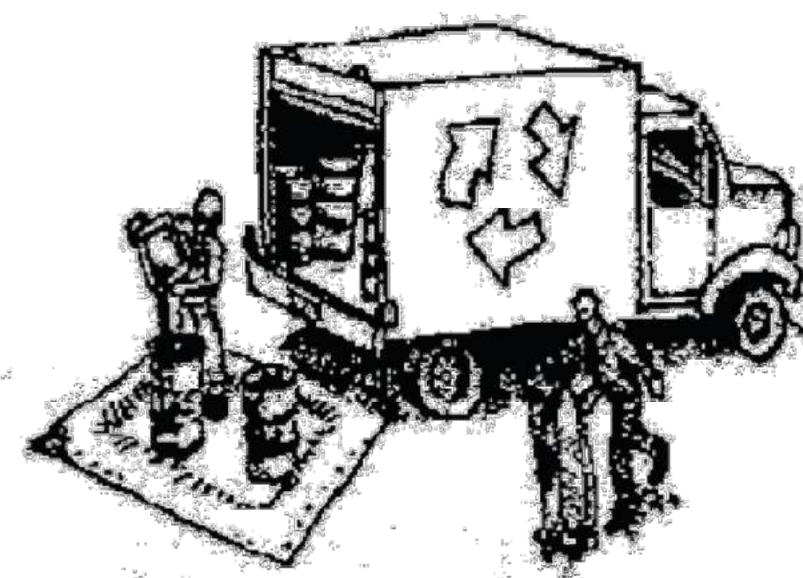


**SAN MATEO COUNTYWIDE**  
**Water Pollution Prevention Program**  
 Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



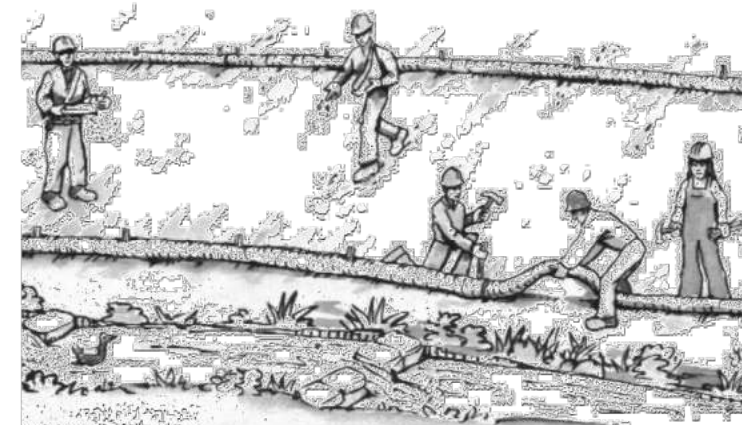
### Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



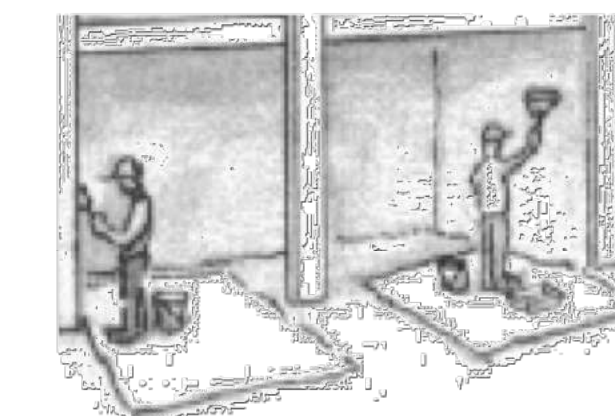
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

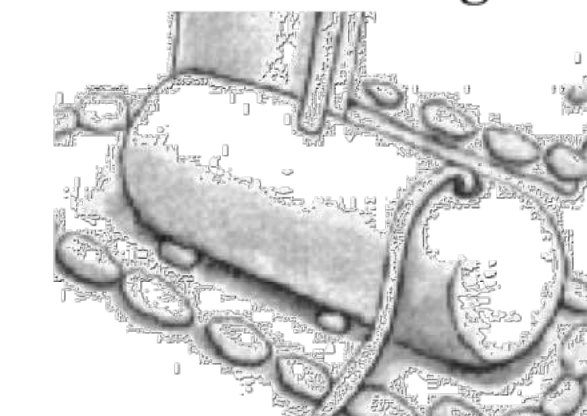
## Painting & Paint Removal



### Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**

DATE: MARCH 2025	DRAWN BY: DAK	PROJ. ENGR: DAK	PROJ. MGR: RTH
SAN RAMON • (925) 866-0322 ROSEVILLE • (916) 375-1877 WWW.CB9ENGINEERS.COM		PLANNERS SURVEYORS	
CIVIL ENGINEERS			
457 CORONADO AVENUE <b>EROSION CONTROL PLAN</b> COUNTY CONSTRUCTION BMPs ARO HOMES SAN MATEO COUNTY CALIFORNIA			
SHEET NUMBER <b>ECP-3</b> OF 3			
JOB NUMBER 4004-014			

# ARO HOMES INC NEW RESIDENCE PROJECT

457 CORONADO AVE, HALF MOON BAY, CA

## PLAN ABBREVIATIONS:

AC	AIR CONDITIONER
AD	AREA DRAIN
BU	DRAINAGE OUTFLOW BUBBLER
BW	BOTTOM OF WALL
CL	CENTER LINE
CO	SEWER CLEAN OUT
D	DEPTH
DG	DECOMPOSED GRANITE
DIA	DIAMETER
(E)	EXISTING
ELEV	ELEVATION
EM	ELECTRIC METER
EQ	EQUAL
GM	GAS METER
H	HIGH
HT	HEIGHT
LF	LINEAR FEET
MAX	MAXIMUM
(N)	NEW
NG	NATURAL GAS
NTS	NOT TO SCALE
OC	ON CENTER
PA	PLANTING AREA
PE	POOL EQUIPMENT
PL	PROPERTY LINE
POC	POINT OF CONNECTION
QTY	QUANTITY
R	RISER
RAD	RADIUS
SAP	SEE ARCH PLAN
SCP	SEE CIVIL PLAN
SF	SQUARE FEET
T	TREAD
TC	TOP OF COPING
TW	TOP OF WALL
TYP	TYPICAL OF
VIF	VERIFY IN FIELD
W	WIDTH
WM	WATER METER

### General Landscape Notes

These drawings indicate the vegetation of best practice, final class work. If, in the opinion of the contractor, there is any doubt about the quality of work expected, she shall refer to the landscape architect for interpretation before proceeding with the work.

Contractor is responsible for securely maintaining a current drawing set on site during construction.

Contractor shall be solely responsible for compliance with all Contract Documents, including, but not limited to drawings, specifications, manufacturer's instructions, Owner directions, Codes, and Building official directions.

Contractor is solely responsible for completing and confirming dimensions at the job site, choice of fabrication processes and techniques of construction, coordination of construction, coordination of this work with that of other trades, and performing the work in a safe and satisfactory manner.

General Landscape Notes and specifications apply to all drawings.

Review Architectural, Civil and Structural Documents, if available. Review Geotechnical Report and Arbolist Report, if available.

For Structural information see drawings prepared by:

The Contractor agrees, by proceeding with construction and using these Construction Documents, that she has reviewed the documents, notes and specifications in detail, understands them and agrees that the drawing conventions employed, the amount of detailing and level of detailing are appropriate and adequate to allow for satisfactory construction of the Project.

It is the responsibility of the contractor to bring to the attention of the Landscape Architect any conditions, which will not permit the construction indicated in these documents, prior to proceeding with the work.

Do all work in accordance with all state and local building codes in effect for Menlo Park, CA.

All landscape elements are indicated in approximate locations. Field-verify all dimensions. Written dimensions supersede scaled dimensions. Conditions not shown or known may alter new work shown herein.

Contractor is responsible for coordinating final layout on site. Final layout to be approved by Landscape Architect and Owner, prior to commencement of construction. Prepare paint out and string lines for review.

All materials, finishes, colors, fixtures, fittings, etc. specified in these drawings are to be verified with the Landscape Architect and Owner, prior to ordering.

In the event of a conflict between the plans, specifications, and/or manufacturer's literature, the more stringent requirement shall govern.

Coordinate schedule of work with other contractors as is required to complete this scope of work, in a timely manner and make best use of equipment and materials.

In the Course of Construction  
See "Site Protection and Demolition Notes"  
See "Planting Notes"  
See "Irrigation Notes"  
See "Lighting Notes"

Prepare and lay out, with paint and string lines all elements for review by L.A. Owner. Prior to commencing with construction.

Verify all utility data and locations prior to commencing any work with the local power companies and coordinate work as necessary according to actual and verified.

With reasonable promptness consistent with the stage of the Project, Consultant shall respond to the contractor's reasonable requests for clarification or interpretation in a timely manner.

If the contractor's requests for information, clarification or interpretation are, in the Landscape Architect's professional opinion, for information readily apparent from reasonable observation of field conditions or a review of the Contract Documents, or are reasonably inferable therefrom, or are, in writing, the Landscape Architect may so advise the contractor and Owner and shall be entitled to compensation for the time spent responding to such requests.

Conduct construction operations to prevent windblown dust and dirt from interfering with the progress of the work and from causing a nuisance to the existing residence and neighboring property owners. Keep work sprinkled to prevent dust.

At Close out  
Final Acceptance shall commence when all work is complete, including all submittals required.

All work, materials and equipment to have a one-year warranty, commencing on the date of the final project acceptance. Replace work due to faulty workmanship or materials at no additional cost to the Owner. Coordinate work with the Owner or representative and perform at such time and manner to cause minimal interruption and inconvenience to the Owner.

Contractor to meet with Owner, their representative for landscape maintenance and the Landscape Architect to coordinate plant maintenance and inspect in the operation and use of equipment and systems.

Contractor to provide a project binder and a digital copy file, to be delivered to the owners at the completion of construction. The binders should be tabbed and organized by category (lighting, irrigation, drainage, etc.). It should include manufacturer's operating instructions, replacement part information, warranties, and any other pertinent information. Binders are due prior to date of final project acceptance.

Contractor to provide as built drawings for irrigation, lighting and drainage mechanical, prior to final project acceptance.

### Grading Notes

GENERAL  
Refer to the Civil Engineer's Drawings, if available.  
Refer to Grading Notes

ROUGH GRADING  
Maintain existing grades at property lines and street.  
Grade site to maintain positive surface drainage away from buildings and paved areas.

The contractor shall field verify existing grades and coordinate revisions to the grading plan with the Landscape Architect and Civil Engineer, before proceeding with work.

All grades and elevations are relative to one another. Field adjustments will be necessary and are to be brought to the attention of the Landscape Architect and Civil Engineer.

Rough grades shall be approved by the Landscape Architect and Civil Engineer, prior to finish grade work and planting. Grades should be set high to accommodate settling.

Coordinates work required to bring site to finish grade with other trades working on site.  
Grades shall be of uniform slope between fixed points of elevation. Slope transitions to be smooth and even with no abrupt changes in grade.

Remove any debris exposed or generated during course of work.  
Stockpile and re-use top soil. Do not remove topsoil from this site.

Make every attempt to balance cut and fill on site and avoid soil transport. Contaminated soil and soil determined to be detrimental to plant growth should be removed from site.

Backfill areas excavated as a result of demolition, trenching, etc. to maintain the natural contours of the site.

FINE GRADING  
Fine grading procedures shall include leveling of grades in all planter areas, around paving and stepping stones, pools, etc.

Keep soil 8" minimum from stucco/finish of building walls.  
Coordinate the grading work with soil preparation work. See planting details.

If required, import clean, fertile fill. Provide soil test of any imported soil, prior to import.  
All areas are to be left in a clean, smooth and even condition, prior to mulch.

For mulch specification, see materials schedule.  
Contractors are to exercise extreme care in back filling and compacting any excavation or trenching in areas previously compacted for other aspects of the work.

The Landscape Contractor shall remove from the site all debris and unusable material generated by the Contractor's operations.  
All new drainage to tie into the existing drainage system.

All catch basins and other drains are to be free of obstructions and maintained open and free running during and upon completion of the Contractor's work.

Drainage Notes  
GENERAL  
Refer to the Civil Engineer's Drawings, if available.  
Bring any discrepancies between civil and landscape drawings to the attention of the Landscape Architect prior to construction.

Confirm clean out locations with Landscape Architect.  
Set rim of all drains at low points in grade, and flush to finish grade.

Slope grade away from building walls at a minimum of 2% for a minimum of 5'.  
Slope cleared areas away from buildings a minimum of 2% for a minimum of 5'.  
Maintain storm water on site, whenever possible, in low lying planted areas where it can percolate.

Maintain existing drainage pattern across site. Do not change, divert, interrupt or increase water flow coming onto or leaving site.

All new drains and lines are to be maintained clean, open and operable during and upon completion of landscape work.

Coordinate rainwater collection from down spouts and ensure that flow is integrated into overall drainage system.

See Civil plans for drain and drain line locations. Confirm final drain grate locations/finish with Landscape Architect.  
Confirm clean out locations with Landscape Architect.

Submit all of all drains at low points in grade, and flush to finish grade.

SUBMITTALS  
Prior to Construction  
Provide manufacturer's cut sheet information for all equipment, to be approved by Landscape Architect.

At Closing  
Contractor to provide (digitally and in project binder) the following documents, prior to final acceptance and completion of work.

A. Provide all manufacturer's information, cut sheets, instructions and warranties for all equipment.  
B. Provide as built drawings showing drain locations, pipe runs, direction of flow, outlets, energy dissipater and dispersion trenches, etc.  
C. Provide written instructions on proper maintenance of drainage system, including recommended schedule for maintenance and as recommended by the civil engineer.

### Site Protection During Demolition and Construction

The intention of site protection is to minimize the impact of demolition and construction on trees, native vegetation and grasses, and to protect topsoil from compaction, erosion and contamination.

Protect and preserve topsoil by fencing off undisturbed areas to remain. Stockpile and protect disturbed topsoil on site for re-use in planting areas.

Install soil erosion control measures as required to minimize top soil and sediment run-off from site. Confirm requirements according to guidelines of local jurisdiction.

Protect existing trees and vegetation to remain with fencing and establish temporary irrigation suitable to maintain plantings during course of construction.

The Tree Protection Zone, is a restricted activity zone where no soil disturbance is permitted, unless otherwise approved. Fences are to be considered permanent for the duration of construction, unless working under the direct supervision of the arborist.

Contractor to take necessary precautions to protect buildings and waterproof membranes from damage. Any damage caused by the Contractor or the Contractor's representatives during their activities shall be repaired at no cost to the Owner.

Contractor shall be responsible for damage to existing structures and shall take whatever steps are necessary to protect during the course of construction. Promptly repair damage at no cost to the Owner.

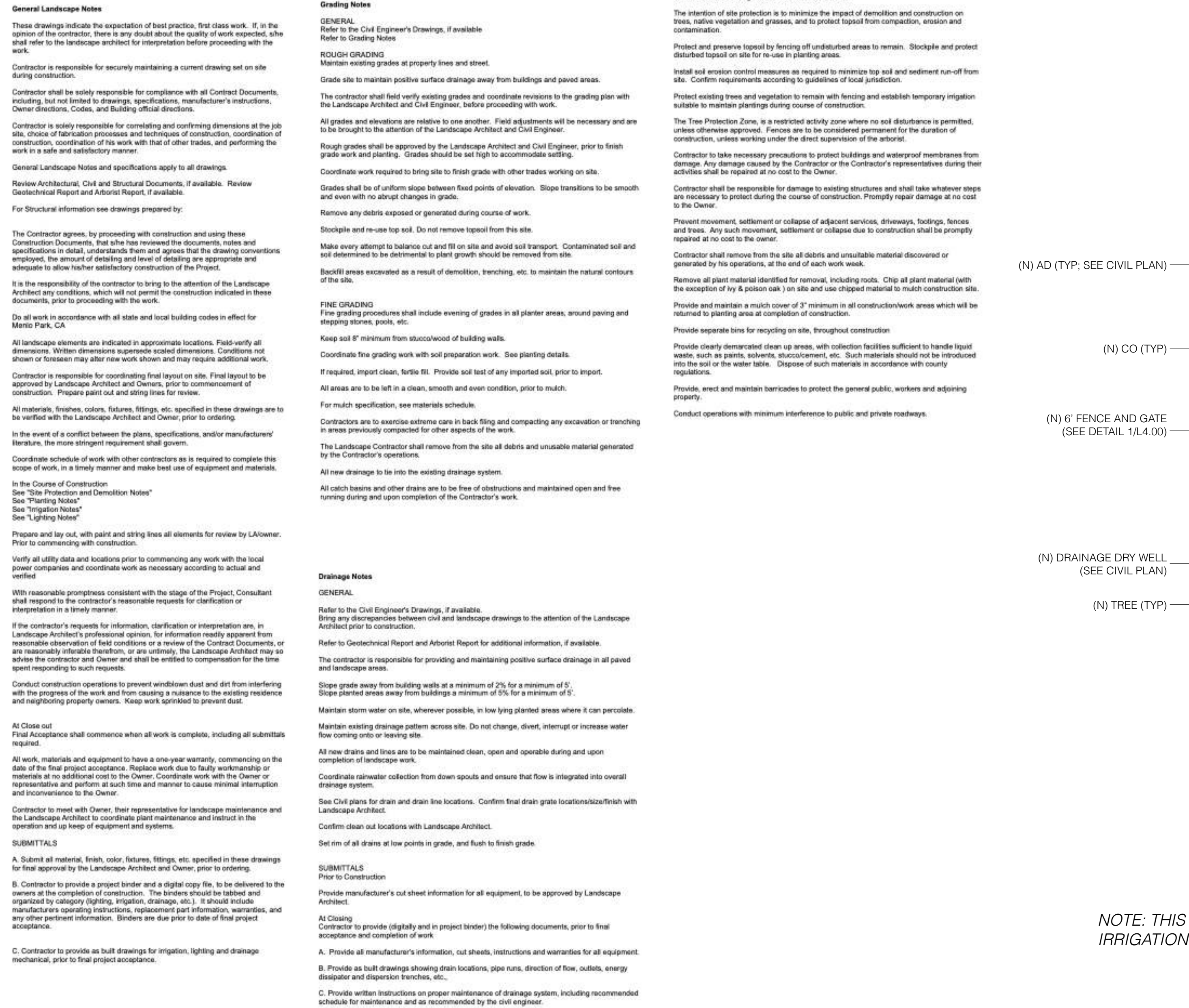
Prevent movement, settlement or collapse of adjacent services, driveways, footings, fences and trees. Any such movement, settlement or collapse due to construction shall be promptly repaired at no cost to the Owner.

Contractor shall remove from the site all debris and unusable material discovered or generated by his operations, at the end of each work week.  
Remove all plant material identified for removal, including roots. Chip all plant material (with the exception of Ivy & poison oak) on site and use chipped material to mulch construction site.

Provide and maintain a mulch cover of 3" minimum in all construction/work areas which will be returned to planting area at completion of construction.

Provide separate bins for recycling on site, throughout construction.  
Provide clearly demarcated clean up areas, with collection facilities sufficient to handle liquid waste, such as paints, solvents, stucco/finish, etc. Such materials should not be introduced into the soil or the water table. Dispose of such materials in accordance with county regulations.

Provide, erect and maintain barricades to protect the general public, workers and adjoining property.  
Conduct operations with minimum interference to public and private roadways.



**SAN MATEO COUNTY NOTES:**

- a. A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated
- b. Turf shall not exceed 25% of the Landscape area in residential areas
- c. No turf is permitted in non-residential areas
- d. Turf is not permitted on slopes greater than 25%
- e. Turf is prohibited in parkways, less than 10 feet wide
- f. Automatic weather-based or soil moisture based irrigation controllers shall be installed on the irrigation system, where one exists
- g. Pressure regulator shall be installed on the irrigation system, where existing, to ensure dynamic pressure of the systems within the manufactures recommended pressure range
- h. Manual shut off valves shall be installed as close as possible to the point of connection of the water supply
- i. Areas less than 10 feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- j. For non-residential projects with landscape areas of 1000 ft.<sup>2</sup> or more, a private sub meter to measure landscape of water use shall be installed
- k. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule, and a schedule of landscape and irrigation maintenance
- l. Unless contradicted by a soil test, compost at a rate of a minimum of 4 yd.<sup>3</sup> per 1000 ft.<sup>2</sup> a permit permeable area shall be incorporated to a depth of 6 inches into the soil in all new planting and turf areas

SYM	QTY	SIZE	BOTANICAL NAME	COMMON NAME	WATER USE CATEGORY
LA	1	24" BOX	LAGERSTROEMIA INDICA	CREPE MYRTLE	MED
CI	1	15 G	CITRUS SPP	MEYER LEMON TREE	LOW
AD	18	1G	ANIGOZANTHOS RED	KANGAROO PAW DWARF	LOW
AP	5	5G	ASPARAGUS MEYERII	ASPARAGUS FERN	MED
CE	6	5G	CEANOTHUS YANKEE POINT	CALIFORNIA LILAC	LOW
LO	13	1G	LOMANDRA VARIEGATED	LOMANDRA VARIG	LOW
LP	21	1G	LIMONIUM CALIFORNICUM	CALIFORNIA SEA LAVENDER	MED
OE	4	5G	OLEA EUR 'LITTLE OLLIE'	DWARF OLIVE	LOW
RO	7	5G	ROSMARINUS 'TUSCAN BLUE'	TUSCAN BLUE ROSEMARY	LOW

**PLANTING LEGEND/WATER USE CATEGORY LIST**

NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional:

*JGR* 3/28/25

NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner:

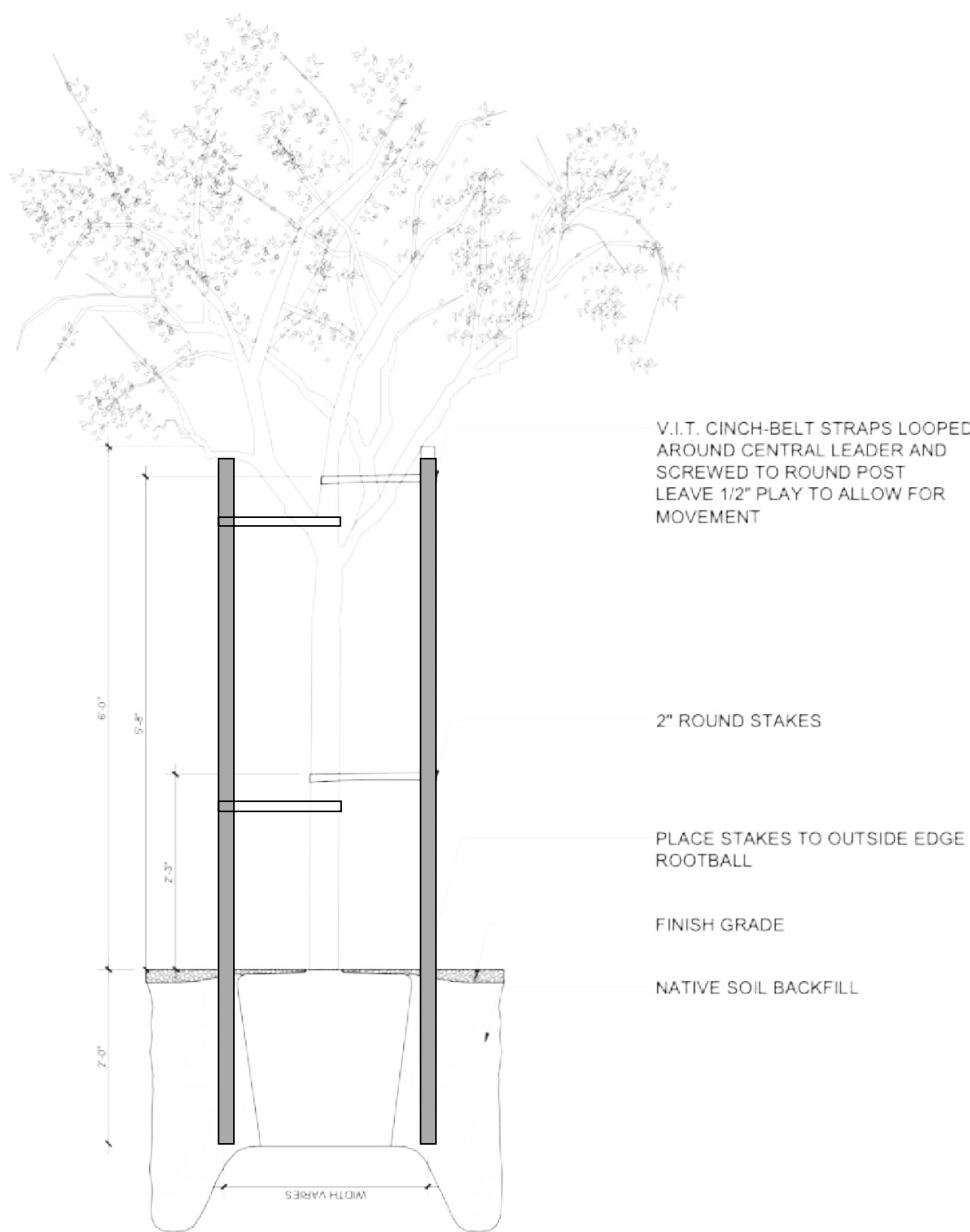
*JGR* 3/28/25

**PLANTING NOTES**

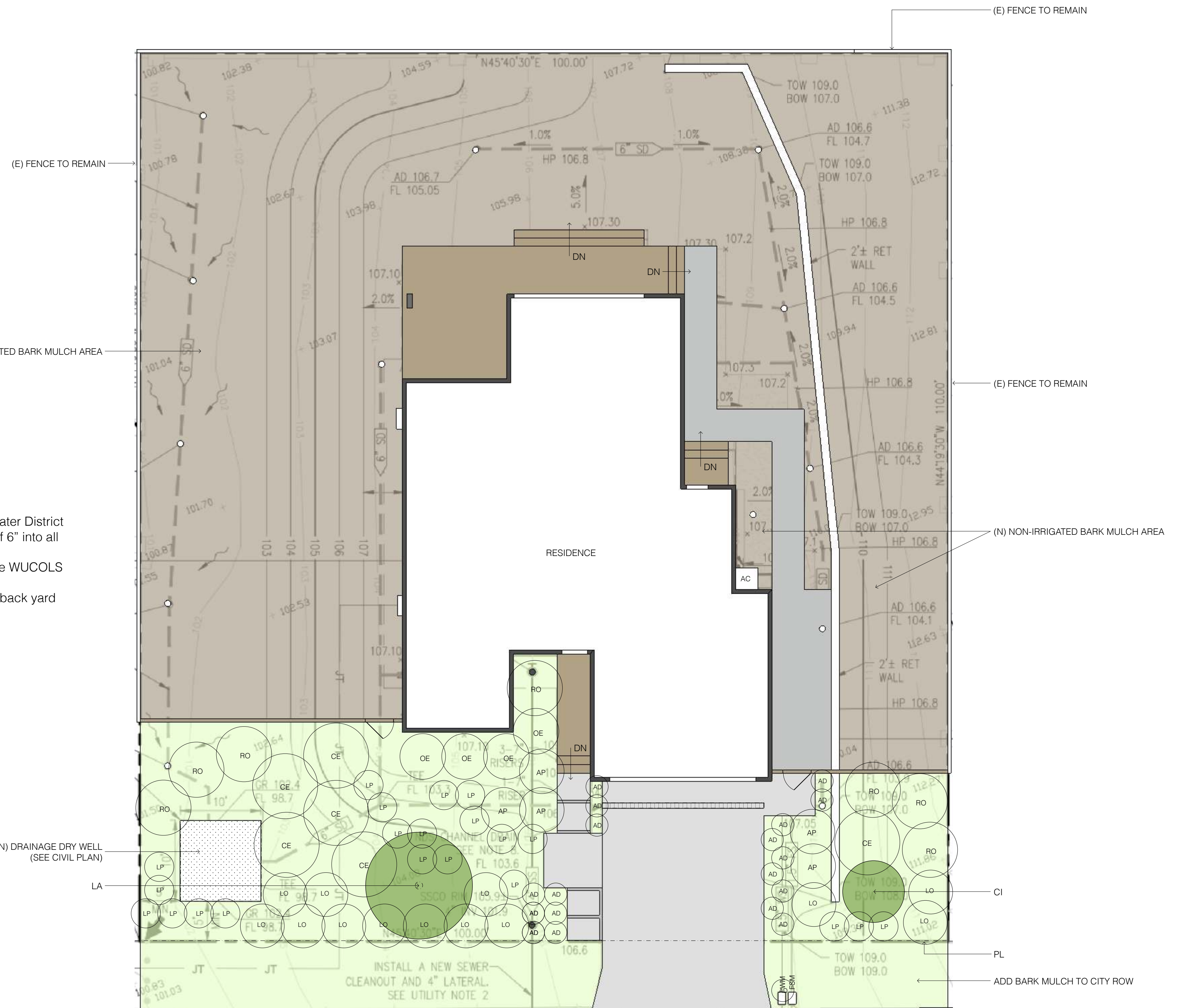
**NOTE:**

Contractor to provide:

- 1. 2 week follow up on sod installation
- 2. 30 day follow up to replace any plants that are dying

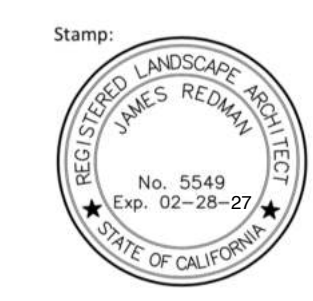


**STANDARD PLANTING DETAILS**



NOTE: THIS PROPERTY WILL BE HAND IRRIGATED. NO BUILT IN IRRIGATION SYSTEM IS PLANNED

**PLANTING PLAN 1/8" = 1'-0"**



**Planting Plan**

DRAWN: 3/28/25

BY: JGR

SCALE: NOTED

**SAN MATEO COUNTY NOTES:**

- a. A minimum 3 inch layer of mulch shall be applied on all exposed soil surfaces of planting areas except turf areas, creeping or rooting ground covers, or direct seeding applications where mulch is contraindicated
- b. Turf shall not exceed 25% of the Landscape area in residential areas
- c. No turf is permitted in non-residential areas
- d. Turf is not permitted on slopes greater than 25%
- e. Turf is prohibited in parkways, less than 10 feet wide
- f. Automatic weather-based or soil moisture based irrigation controllers shall be installed on the irrigation system, where one exists
- g. Pressure regulator shall be installed on the irrigation system, where existing, to ensure dynamic pressure of the systems within the manufactures recommended pressure range
- h. Manual shut off valves shall be installed as close as possible to the point of connection of the water supply
- i. Areas less than 10 feet in width in any direction shall be irrigated with subsurface irrigation or other means that produces no runoff or overspray
- j. For non-residential projects with landscape areas of 1000 ft.<sup>2</sup> or more, a private sub meter to measure landscape of water use shall be installed
- k. At the time of final inspection, the permit applicant must provide the owner of the property with a certificate of completion, certificate of installation, irrigation schedule, and a schedule of landscape and irrigation maintenance
- l. Unless contradicted by a soil test, compost at a rate of a minimum of 4 yd.<sup>3</sup> per 1000 ft.<sup>2</sup> a permit permeable area shall be incorporated to a depth of 6 inches into the soil in all new planting and turf areas

- FEBCO 825Y 1" REDUCED PRESSURE BACKFLOW PREVENTER (VERIFY PLACEMENT)
- 1" GATE VALVE BEFORE EACH VALVE SET
- PVC SCH 40 MAINLINE (1' UNLESS OTHERWISE NOTED; MINIMUM 18" DEPTH)
- 3/4" BRASS HOSE BIB SECURED 8" ABOVE GROUND TO FENCE OR 4X4 PTDF POST (VERIFY LOCATIONS WITH OWNER)
- 3" STYRENE SLEEVE UNDER HARDSCAPE WHERE NECESSARY

**2 WATER LINE LEGEND**

- 1) VERIFY POINT OF CONNECTION (POC) AND PLACEMENT OF BACKFLOW PREVENTER
- 2) INCLUDE MASTER SHUT OFF VALVE AT POINT OF CONNECTION
- 3) VERIFY SITE WATER PRESSURE AT 55 PSI MIN
- 6) SYSTEM LAYOUT IS DIAGRAMMATIC. ACTUAL FIELD CONDITIONS WILL DICTATE FINAL LAYOUT, ADDITION OF DRIP LINES, ETC
- 11) CONTRACTOR SHALL VERIFY LOCATION OF ALL NEW UNDERGROUND UTILITIES PRIOR TO ANY TRENCHING OR IRRIGATION
- 12) HAND TRENCHING TO BE DONE NEAR EXISTING TREES. NO ROOTS 1" DIAMETER AND LARGER SHALL BE CUT WITHOUT APPROVAL OF OWNER.
- 13) VERIFY AND COORDINATE INSTALLATION OF MAINLINE AND LATERAL LINES UNDER ALL PAVEMENT
- 15) A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES, WITH THE EXCEPTION OF TURF

**3 WATER LINE NOTES**

1. This project is applied for under San Mateo County Regulations
2. This is a new residential project
3. The water supply type is potable and is provided by Coastside County Water District
4. Incorporate compost at the rate of 4 cubic yards per 1000 sf to a depth of 6" into all new planting and sod areas
5. See plant list for low and med water use plants. These plants are average WUCOLS plant factor of 0.3
6. Apply a minimum three inch layer of bark mulch in all planting areas and back yard

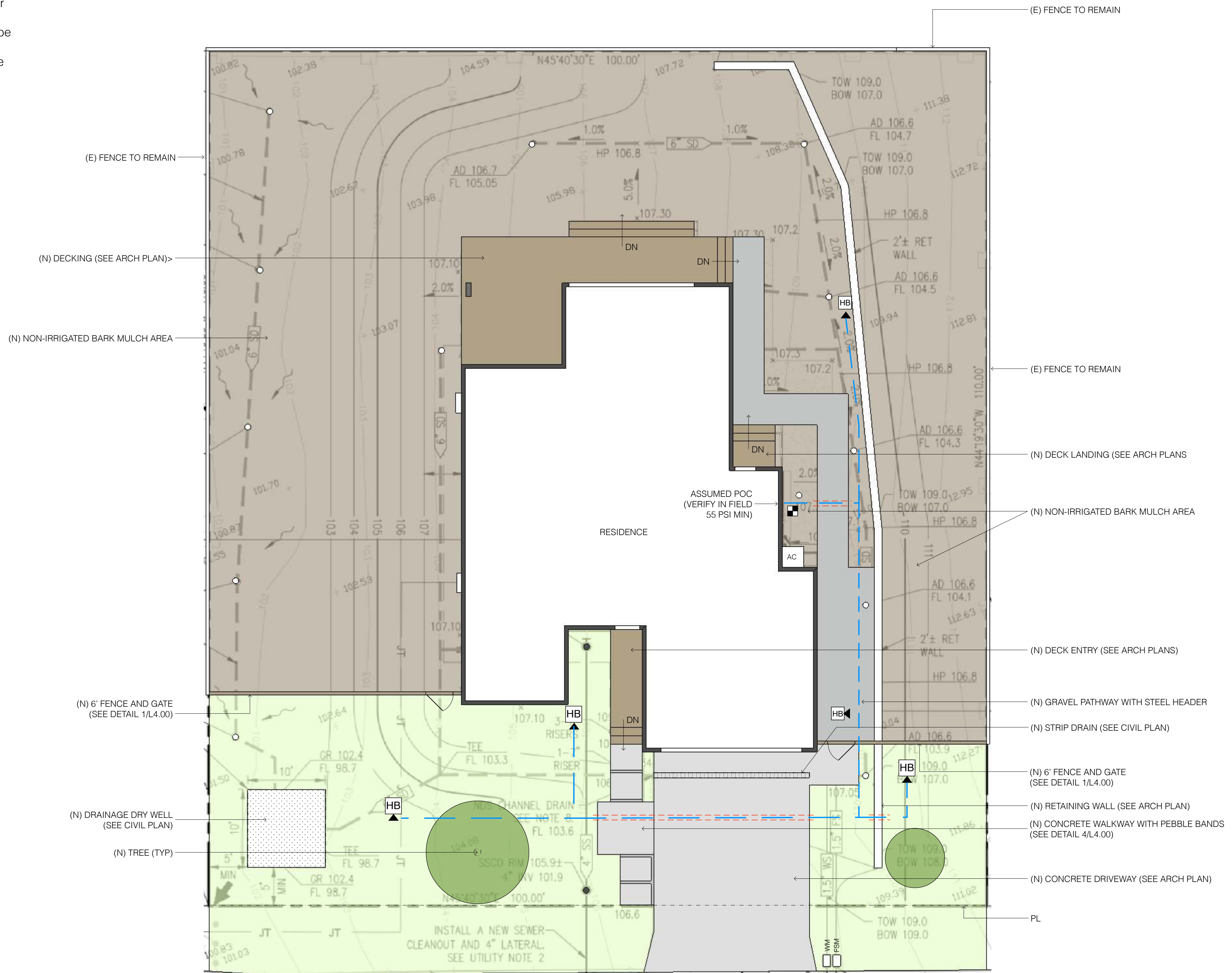
NOTE: "I have complied with the criteria of the ordinance and applied them for the efficient use of water in the landscape and irrigation design plan", signed by the licensed landscape professional:

3/28/25

NOTE: "I agree to comply with the requirements of the Water Efficient Landscape Ordinance and submit a complete Landscape Documentation Package", signed by the applicant and/or owner:

3/28/25

**4 IRRIGATION NOTES**

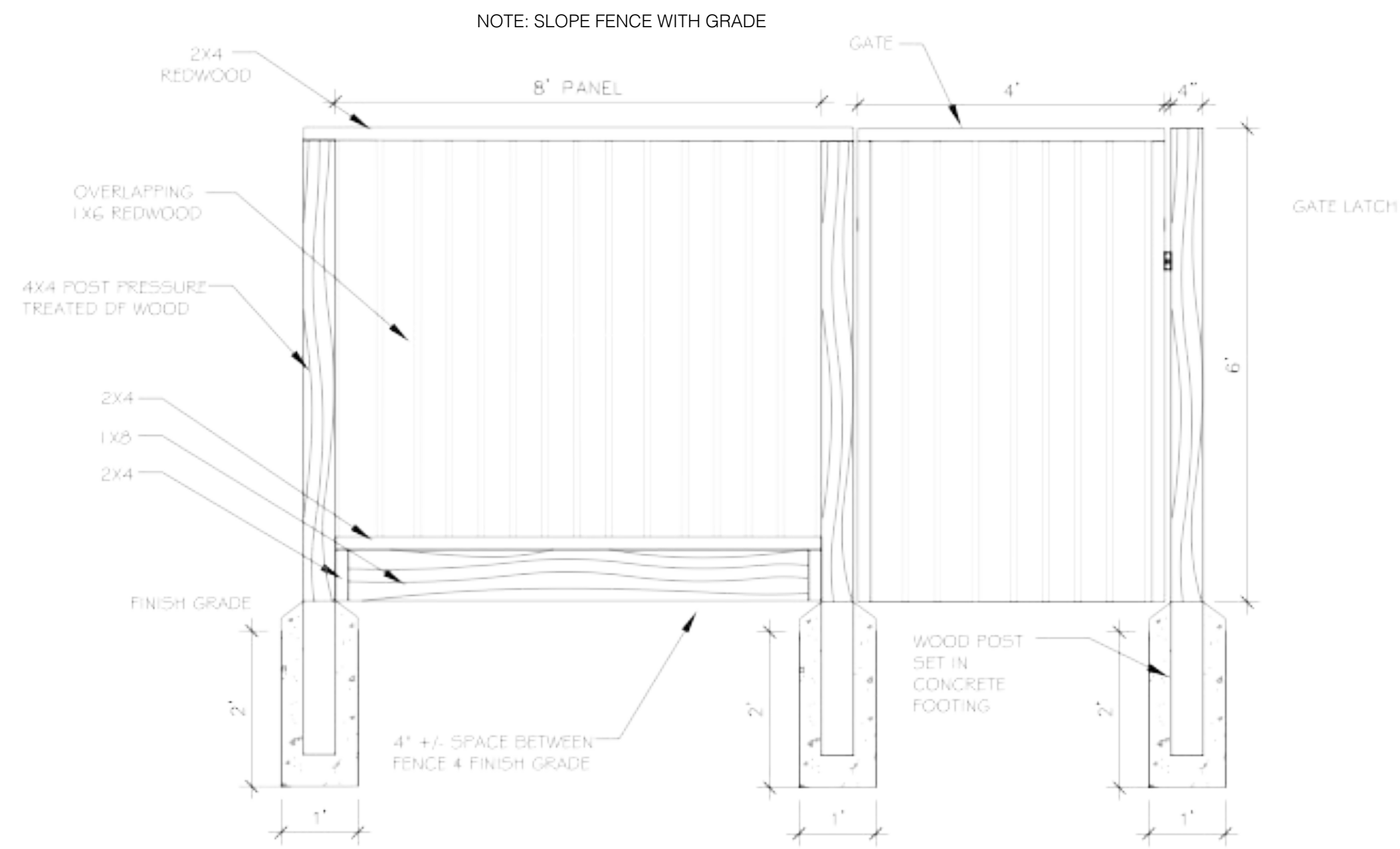


**1 MAINLINE LAYOUT PLAN 1/8" = 1'-0"**

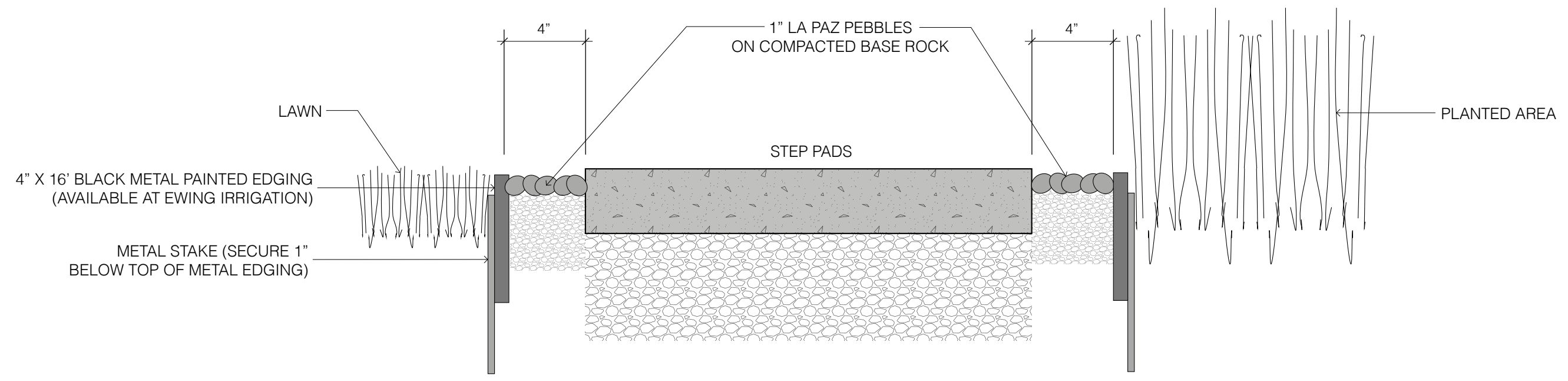
NOTE: THIS PROPERTY WILL BE HAND IRRIGATED. NO BUILT IN IRRIGATION SYSTEM IS PLANNED







1 6' PROPERTY LINE FENCE DETAIL (NTS)



4 4\"/>



**AH2**  
 ARO HOMES

**MATERIAL CONSERVATION AND RESOURCE EFFICIENCY NOTES:**

- PER CGBSC 4.406.1, ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY.
- AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL SHALL BE AVAILABLE AND SUBJECT TO THE REQUIREMENTS OF CGBSC 4.410.1.

**ENVIRONMENTAL QUALITY NOTES:**

- PER CGBSC 4.504.1, DURING ROUGH INSTALLATION UNTIL FINAL START UP OF HEATING, COOLING, AND VENTILATING EQUIPMENT, ALL DUCT AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED WITH TAPE, PLASTIC, SHEET METAL OR OTHER METHOD ACCEPTABLE TO AHJ TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS, WHICH MAY ENTER THE SYSTEM.
- CONTRACTOR AND FABRICATOR TO VERIFY WITH ARCHITECT THAT ALL FINISH MATERIAL POLLUTANT CONTROL FOR ADHESIVES, SEALANTS, CAULKS, PAINTS, COATINGS, AEROSOL PAINTS, CARPET SYSTEMS, RESILIENT FLOORING SYSTEMS, AND COMPOSITE WOOD PRODUCTS SHALL COMPLY WITH REQUIRED VOC LIMITS, MIR LIMITS, AND FORMALDEHYDE LIMITS PER CGBSC 4.504.2, 4.504.3, 4.504.4, 4.504.5. CONTRACTOR AND FABRICATOR TO MAINTAIN SET OF DOCUMENTATION VERIFYING COMPLIANCE, TO BE PRESENTED AT THE TIME OF FINAL INSPECTION.
- PER CGBSC 4.505.2, CONCRETE SLAB FOUNDATIONS SHALL HAVE A VAPOR RETARDER & CAPILLARY BREAK. SEE A2.00 GENERAL ASSEMBLY NOTES FOR SPECIFICATIONS.
- PER CGBSC 4.505.3, BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHALL NOT BE INSTALLED. WALL AND FLOOR FRAMING SHALL NOT BE ENCLOSED WHEN THE FRAMING MEMBERS EXCEED 19% MOISTURE CONTENT.



EQUIPMENT SCHEDULE					
ROOM	TYPE	MANUF.	LINE	MODEL NO.	REMARKS
ATTIC	ENERGY RECOVERY VENTILATOR	PANASONIC	INTELLI-BALANCE	FV-10VEC2	
EXTERIOR	AIR-SOURCE HEAT PUMP	ENERGY SAVING PRODUCTS	HVS SERIES	HVS-60	VARIABLE FREQUENCY DRIVE
208 LAUNDRY	AIR HANDLER UNIT	ENERGY SAVING PRODUCTS	HE-Z SERIES	HE-Z-100 / RPM-100-5	
101 MECH	GREYWATER PROCESSOR	HYDRALOOP	N/A	H600	
107 GARAGE	HYBRID/HEAT PUMP WATER HEATER	RHEEM	PROTERRA	PROPH80T2RH37SSO	80 GAL

PLUMBING SCHEDULE						
ROOM	TYPE	MANUF.	LINE/STYLE	MODEL NO.	FINISH	REMARKS
	Monitor® Scald-Guard® Tub & Shower Trim w/ Volume Control	Delta Faucet		T17455		
103 KITCHEN	KITCHEN SINK	FRANKE	PROFESSIONAL 2.0 UNDERMOUNT 16G KITCHEN SINK	PS2X160-18-11	STAINLESS STEEL	1.6 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE AT 60 PSI PER CGBSC 4.303.1.4.4
103 KITCHEN	SINK FAUCET	ROHL	TUARIO PULLDOWN BAR AND FOOD PREP FAUCET	TR66D1LBAPC	POLISHED CHROME	1.6 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE AT 60 PSI PER CGBSC 4.303.1.4.4
110 BATH	SINK FAUCET	HANGSGROHE	TALIS S SINGLE-HOLE FAUCET 100 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
110 BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTED RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
206 PRIMARY BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTED RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
206 PRIMARY BATH	SINK FAUCET	HANGSGROHE	VIVENIS SINGLE-HOLE FAUCET 110 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
206 PRIMARY BATH	SINK FAUCET	HANGSGROHE	VIVENIS SINGLE-HOLE FAUCET 110 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
207 BATH	TOILET	DURAVIT	ME BY STARCK TOILET WALL-MOUNTED RIMLESS	252959	WHITE	1.28 GPF PER CGBSC 4.303.1.1
207 BATH	SINK FAUCET	HANGSGROHE	TALIS S SINGLE-HOLE FAUCET 100 WITH POP-UP DRAIN	72042001	CHROME	1.2 GPM PER CGBSC 4.303.1.4.1
207 BATH	SHOWERHEAD	HANGSGROHE	RAINDANCE S SHOWERHEAD 240 1-JET	26927001	CHROME	1.75 GPM LESS THAN 1.8 MAXIMUM FLOW AT 80 PSI PER CGBSC 4.303.1.3.1
208 LAUNDRY	SINK FAUCET	ELKAY	PURSUIT LAUNDRY/UTILITY FAUCET WITH FLEXIBLE SPOUT	LK2500	LUSTROUS STEEL	1.5 GPM LESS THAN 1.8 GPM MAXIMUM FLOW RATE PER CGBSC 4.303.1.4.4

APPLIANCE SCHEDULE						
ROOM	TYPE	MANUF.	LINE/STYLE	MODEL NO.	FINISH	REMARKS
103 KITCHEN	REFRIGERATOR	DACOR	36" FRENCH DOOR BOTTOM FREEZER	DRF367500AP	SILVER STAINLESS	
103 KITCHEN	INDUCTION COOKTOP	DACOR	36" TRANSITIONAL STYLE	DT136M977BB	BLACK GLASS	
103 KITCHEN	RANGE HOOD	DACOR	36" PRO-CANOPY WALL HOOD	DHD36U990C	SILVER STAINLESS	
103 KITCHEN	DOUBLE OVEN	DACOR	30" TRANSITIONAL STYLE	DOB30P977D	SILVER STAINLESS	
103 KITCHEN	MICROWAVE DRAWER	DACOR	24" MICROWAVE-IN-A-DRAWER	DMR24M977W	SILVER STAINLESS	
103 KITCHEN	DISHWASHER	DACOR	24" PANEL READY DISHWASHER	DDW24G9000APDA	SILVER STAINLESS	
208 LAUNDRY	WASHER	WHIRLPOOL	4.5 CU FT FRONT LOAD WASHER	WFW5620H	WHITE	
208 LAUNDRY	DRYER	WHIRLPOOL	7.4 CU FT FRONT LOAD HEAT PUMP DRYER	WHD560CH	WHITE	ELECTRIC INSTALLATION PER MVCC 8.20.8 - 8.20.9

**EQUIPMENT SCHEDULE NOTES:**

- ALL EQUIPMENT TO COMPLY WITH LOCAL AHJ GREEN BUILDING CODE AMENDMENTS.
- REFER TO MECHANICAL SHEETS AND PROJECT MANUAL FOR ALL MECHANICAL EQUIPMENT AND SPECIFICATIONS.

Discipline:	
Drawn by:	Author
Product number:	AH2
Product version:	v1
Serial version:	
Revisions:	
3	09/26/2024 NTA REVISION 1.2
No.	Date By

NTA PERMIT SET  
07/18/2024

ENVIRONMENTAL  
QUALITY NOTES &  
EQUIPMENT SCHEDULE

A0.07

3

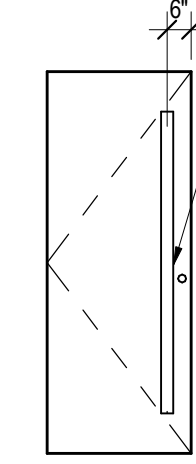
EXTERIOR FINISH DESCRIPTIONS								
ABRV.	MTRL	VENDOR	PRODUCT	SIZE	COLOR / SPECIES	FINISH	USE/LOCATION	COMMENTS
CONC1	CIP CONCRETE						EXPOSED GARAGE SLAB	
FBG1	FIBERGLASS	CASCADIA	UNIVERSAL WINDOWS		CASCADIA BLACK - 200	MATTE	EXTERIOR WINDOW SYSTEM	
MTL1	PAINTED STEEL				MATCH TO WINDOW FRAME	MATTE	EXTERIOR SOFFIT	
MTL2	PAINTED SHEET METAL						STANDING SEAM ROOF	TO BE COORDINATED W PRODUCT SELECTION
PT1	PAINT				MATCH TO WINDOW FRAME	MATTE	EXPOSED SHEET METAL (I.E. FLASHING, GUTTER)	
ROOF1	PAINTED SS ROOF						SITE WALLS	
WD1	SOLID WOOD	ISSAQUAH	RAINSCREEN SIDING		VARIES / WESTERN RED CEDAR		EXTERIOR SIDING	
WD2	SOLID WOOD							NOT USED
WD3	SOLID WOOD	ISSAQUAH	DECKING BOARD		WESTERN RED CEDAR	NO STAIN	EXTERIOR DECK SURFACE	

INTERIOR FINISH DESCRIPTIONS								
ABRV.	MTRL	MANUF/VENDOR	PRODUCT	SIZE	COLOR / SPECIES	FINISH	USE/LOCATION	COMMENTS
GWB20	GYPSUM WALL BOARD						INTERIOR WALLS & CEILINGS	LEVEL 4 FINISH, TO BE PAINTED
PTL1	PAINTED STEEL				MATCH TO WINDOW FRAME	MATTE	RAILINGS	
PT20	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		650096522	MATTE	INTERIOR WALLS	
PT21	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		651049587	FLAT	INTERIOR CEILINGS	
PT22	PAINT	SHERWIN WILLIAMS	INTERIOR LATEX PAINT		651199572	SATIN	BASEBOARD	
SS20	SOLID SURFACE	Q FROM MSI	QUARTZ COUNTERTOP		ARCTIC WHITE	POLISHED	BATHROOM, LAUNDRY, & KITCHEN COUNTERTOPS	
SS21	SOLID SURFACE							NOT USED
TL20	FLOOR TILE	MARCA CORONA	STONECLOUD	12" X 24"	WHITE EMBOSSED	MATTE	SECONDARY BATHROOM FLOOR	GROUT TO MATCH
TL21	WALL TILE	LANKA WALLTILE	BLOC	6" X 24"	WHITE	MATTE	SECONDARY BATHROOM WALL	GROUT TO MATCH
TL22	WALL TILE	NSDG	GLASSALIKE	4" X 12"	TAUPE	GLOSS	KITCHEN BACKSPLASH	GROUT TO MATCH
TL23	FLOOR & WALL TILE	MARCA CORONA	STONECLOUD	12" X 24"	GREY EMBOSSED	MATTE	PRIMARY BATHROOM FLOOR & WALL	GROUT TO MATCH
TL24	WALL TILE	LANKA WALLTILE	TUXEDO	4" X 8"	WHITE	MATTE	LAUNDRY BACKSPLASH	GROUT TO MATCH
WD20	WOOD FLOORING	URBANFLOOR	VILLA CAPRISI	9-1/2"	EUROPEAN WHITE OAK / CARRARA	UV LACQUER	FLOOR	ENGINEERED WOOD FLOORING, GRADE: CHARACTER
WD21	PAINTED WOOD				MATCH TO INTERIOR WALLS		INTERIOR MILLWORKS (I.E. BASEBOARD)	POPLAR, TO BE PAINTED
WD22	WOOD VENEER	BARRY'S KITCHENS			GHERRY	ALPINE / ESPRESSO	CASEWORK	NO GLAZE, 15% SHEEN
WD23	SOLID WOOD	URBANFLOOR	VILLA CAPRISI - STAIR NOSING		MATCH TO FLOORING	UV LACQUER	STAIR NOSING	

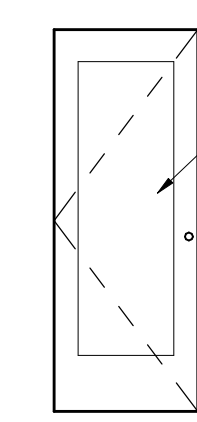
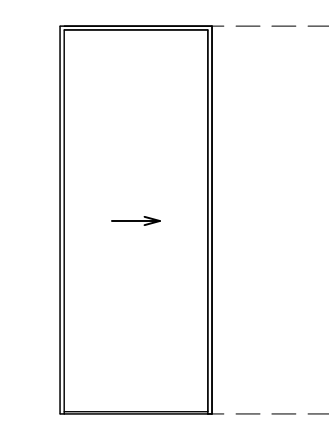
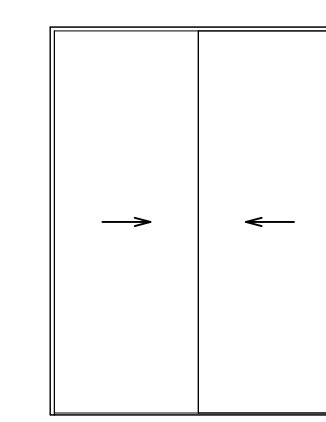
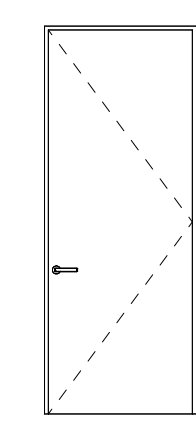
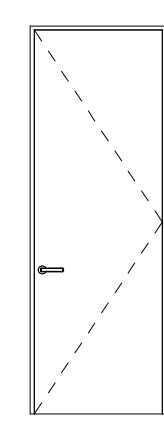
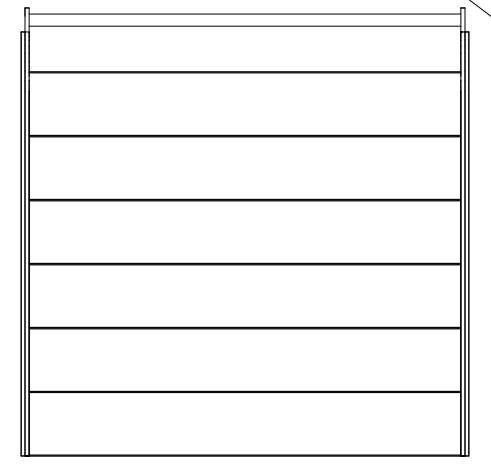
FINISH SCHEDULE									
NUMBER	ROOM NAME	WALL FINISH				CEILING FINISH	FLOOR FINISH	BASE	REMARKS
		NORTH	EAST	SOUTH	WEST				
100	ENTRY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
101	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
102	HALL	-	GWB20	-	GWB20	GWB20	WD20	WD21	
103	KITCHEN	GWB20	TL22	TL22	GWB20	GWB20	WD20	WD21	
104	DINING	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
105	LIVING	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
106	MUDROOM/ PANTRY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
107	GARAGE	GWB20	GWB20	GWB20	GWB20	GWB20	CONC1	WD21	
108	GUEST BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
108.1	CLT 108.1	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
109	STAIR	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
109	STAIR	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
110	BATH	GWB20	GWB20/TL21	TL21	GWB20/TL21	GWB20	TL20	WD21	
111	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
112	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
112.1	CLT	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
200	ENTRY - SECOND FLOOR SPACE	GWB20	GWB20	GWB20	GWB20	GWB20	N/A	N/A	
201	HALLWAY	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
202	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
202.1	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
203	BED	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
203.1	CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
204	PRIMARY CLOSET	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
205	PRIMARY BEDROOM	GWB20	GWB20	GWB20	GWB20	GWB20	WD20	WD21	
206	PRIMARY BATH	GWB20	GWB20/TL23	TL23	GWB20/TL23	GWB20	TL23	WD21	
207	BATH	GWB20/TL21	TL21	GWB20/TL21	GWB20	GWB20	TL20	WD21	
208	LAUNDRY ROOM	GWB20/TL24	GWB20/TL24	GWB20	GWB20	GWB20	WD20	WD21	

2.1

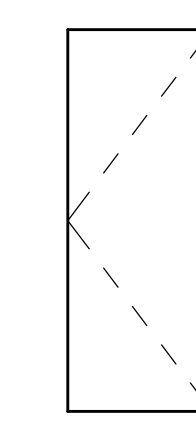
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VERTICAL PULL HANDLE AT FRONT ENTRY. FINISH BLACK W WOOD



GLASS PANEL DOOR



TYPE 1 ENTRY DOOR  
TYPE 1 ALUMINUM SOLID CORE

TYPE 2 OVERHEAD GARAGE DOOR  
TYPE 2 OVERHEAD GARAGE DOOR

TYPE 3 FLUSH PANEL FIRE DOOR  
TYPE 3 SOLID CORE PANEL

TYPE 4 FLUSH PANEL DOOR  
TYPE 4 FLUSH SEMI-SOLID CORE

TYPE 5 BYPASS CLOSET DOOR  
TYPE 5 SEMI-SOLID CORE DOUBLE SLIDING

TYPE 6 POCKET DOOR  
TYPE 6 SEMI-SOLID CORE SINGLE SLIDING

TYPE 7 ENTRY DOOR  
TYPE 7 ALUMINUM FRAME - GLASS PANEL

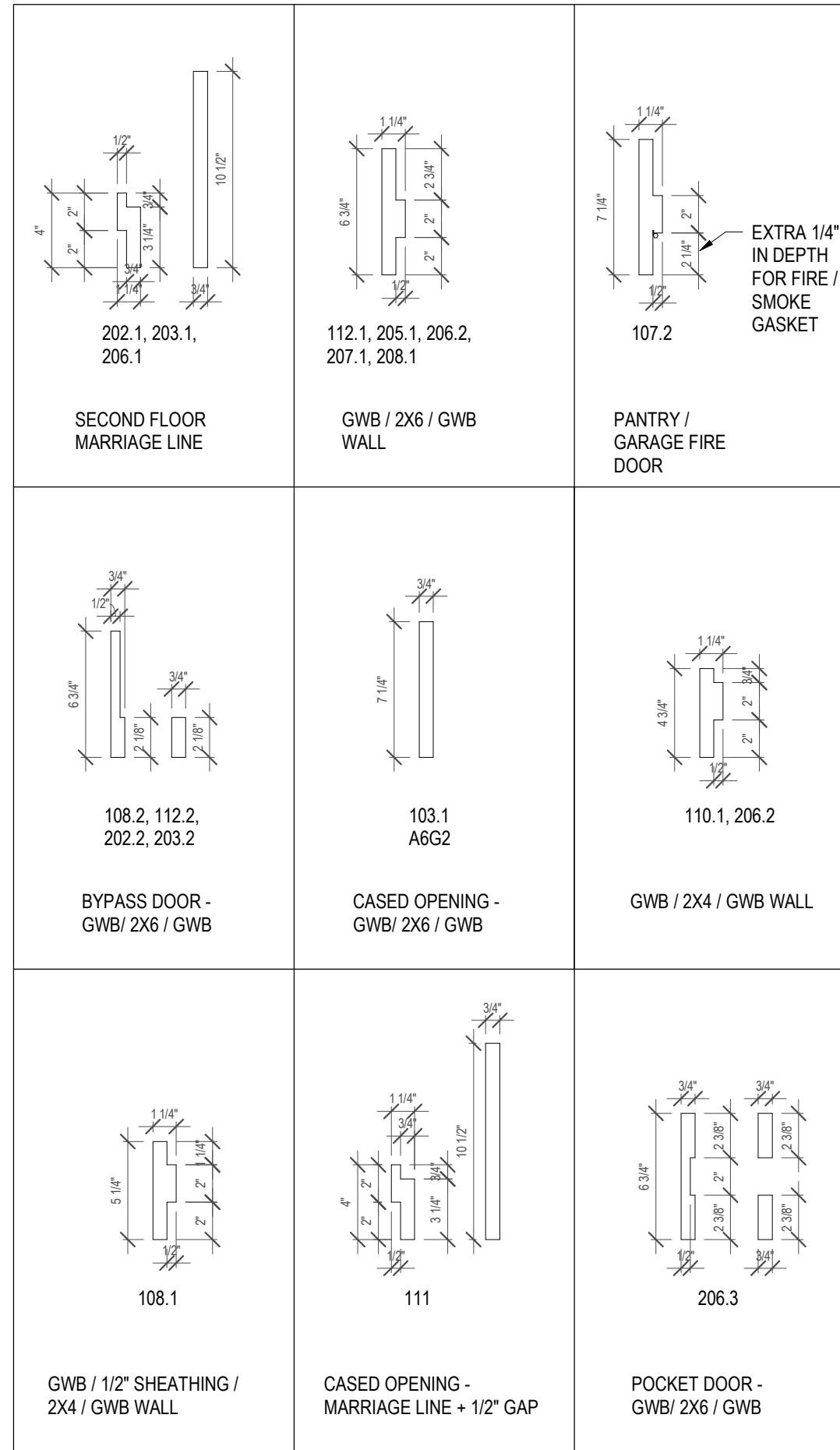
TYPE 8 FLUSH PANEL/FRAME DOOR  
TYPE 8 FLUSH SOLID CORE

EXTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"

INTERIOR DOOR TYPES

SCALE: 1/4" = 1'-0"



Door Frame Profiles  
SCALE: 1 1/2" = 1'-0"

DOOR SCHEDULE - INTERIOR																			
ARO INSTALLED	MARK	LOCATION	DOOR						FRAME		DOOR PART NUMBER	HARDWARE TYPE	DOOR HARDWARE MFG	DOOR HARDWARE PART NUMBER	DOOR HARDWARE DESCRIPTION	REMARKS	DOOR STOP PART NUMBER	DOOR STOP TYPE	
			FUNCTION	OPERATION	TYPE	WIDTH	HEIGHT	THICKNESS	FINISH	TYPE									FINISH
INSTALLED	101	CLOSET	INTERIOR	SWING	8	2'-2"	8'-0"	1 3/4"	PTD	WD	A727	PASSAGE	BALDWIN	A43H	BALDWIN SQUARE DOOR HANDLE		A66Q	FLOOR MOUNT	
INSTALLED	103.1	MUDROOM / PANTRY	INTERIOR	OPENING	N/A	2'-8"	8'-0"	N/A	N/A	WD	A6FU	N/A	N/A	N/A		N/A	N/A		
INSTALLED	107.2	MUDROOM / PANTRY	INTERIOR	SWING	3	2'-8"	8'-0"	1 3/4"	PTD	WD	A4R9	ENTRY	BALDWIN	A43H & A43G	BALDWIN SQUARE DOOR HANDLE AND DEAD BOLT	20-MINUTE FIRE-RATED DOOR	A66Q	FLOOR MOUNT	
INSTALLED	108.1	GUEST BED	INTERIOR	SWING	4	3'-0"	8'-0"	1 3/4"	PTD	WD	A6VE	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT	
INSTALLED	108.2	GUEST BED	INTERIOR	BYPASS	5	5'-0"	8'-0"	1 3/4"	PTD	WD	A6MT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A	
INSTALLED	110.1	BATH	INTERIOR	SWING	4	3'-0"	8'-0"	1 3/4"	PTD	WD	A6VF	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT	
INSTALLED / CM	111	HALL	INTERIOR	OPENING	N/A	2'-8 1/4"	8'-0"	N/A	N/A	WD	A4RC	N/A	N/A	N/A	2nd PART OF JAMB INSTALL ON SITE	N/A	N/A		
INSTALLED	112.1	BED	INTERIOR	SWING	4	2'-8"	8'-0"	1 3/4"	PTD	WD	A4RD	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT	
INSTALLED	112.2	BED	INTERIOR	BYPASS	5	4'-0"	8'-0"	1 3/4"	PTD	WD	A4RP	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A	
INSTALLED / CM	202.1	BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EK	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66Q	FLOOR MOUNT	
INSTALLED	202.2	BED	INTERIOR	BYPASS	5	5'-0"	7'-0"	1 3/4"	PTD	WD	A6FT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A	
INSTALLED / CM	203.1	BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EM	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66Q	FLOOR MOUNT	
INSTALLED	203.2	BED	INTERIOR	BYPASS	5	5'-0"	7'-0"	1 3/4"	PTD	WD	A6FT	SLIDER CLOSET	INOX	A43P	INOX BYPASSDOOR HARDWARE		N/A	N/A	
INSTALLED	205.1	PRIMARY BED	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EN	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66Q	FLOOR MOUNT	
INSTALLED / CM	206.1	PRIMARY BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EM	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK	2nd PART OF JAMB INSTALL ON SITE	A66R	WALL MOUNT	
INSTALLED	206.2	PRIMARY BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EQ	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT	
INSTALLED	206.3	PRIMARY CLOSET	INTERIOR	POCKET	6	2'-8"	7'-0"	1 3/4"	PTD	WD	A6FR	SLIDER CLOSET	INOX	A43M	INOX POCKET DOOR HARDWARE		N/A	N/A	
INSTALLED	207.1	BATH	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EP	PRIVACY	BALDWIN	A43J	BALDWIN SQUARE HANDLE WITH PRIVACY LOCK		A66R	WALL MOUNT	
INSTALLED	208.1	LAUNDRY ROOM	INTERIOR	SWING	4	2'-8"	7'-0"	1 3/4"	PTD	WD	A6EN	PASSAGE	BALDWIN	A43H	BALDWIN SQUARE DOOR HANDLE		A66R	WALL MOUNT	
Grand total: 19																			

DOOR SCHEDULE - EXTERIOR																			
ARO INSTALLED	MARK	LOCATION	DOOR						FRAME		DOOR PART NUMBER	HARDWARE TYPE	DOOR HARDWARE MFG	DOOR HARDWARE PART NUMBER	DOOR HARDWARE DESCRIPTION	REMARKS	DOOR STOP PART NUMBER	DOOR STOP TYPE	
			FUNCTION	OPERATION	TYPE	WIDTH	HEIGHT	THICKNESS	FINISH	TYPE									FINISH
INSTALLED / CM	100.1	ENTRY	EXTERIOR	SWING	1	3'-6"	9'-0"	1 3/4"	POWDERCOAT	ALUMINUM STEEL	PTD	A43V	ENTRY SET	ARKA	NA	INCLUDED WITH THE DOOR	ARKA DOOR	A66Q	FLOOR MOUNT
INSTALLED / CM	107.1	GARAGE	EXTERIOR	OVERHEAD	2	18'-0"	9'-0"	1 3/4"	MTL	N/A	MTL	A43W	GARAGE DOOR	ARKA	NA	DOOR OPERATOR			
INSTALLED / CM	110.9	MUDROOM / PANTRY	EXTERIOR	SWING	7	2'-8"	8'-0"	1 3/4"	POWDERCOAT	ALUMINUM	PTD	A43W	ENTRY LEVER SET	ARKA	NA	INCLUDED WITH THE DOOR	ARKA DOOR	A66Q	FLOOR MOUNT
Grand total: 3																			

- DOOR SCHEDULE NOTES:
- FIELD VERIFY ALL ROUGH OPENINGS BEFORE ORDERING DOORS.
  - ALL DOORS TO BE SOLID CORE.
  - ALL EXTERIOR DOORS TO HEATED SPACES TO BE SOLID CORE OR INSULATED.
  - EXTERIOR SLIDING GLASS DOORS ARE SHOWN ON GLAZING SCHEDULE.



AH2  
ARO HOMES

Discipline:  
 Drawn by: WC  
 Product number: AH2  
 Product version: V1  
 Serial version:  
 Revisions:

NTA PERMIT SET  
 07/18/2024

DOOR SCHEDULE  
 A0.20

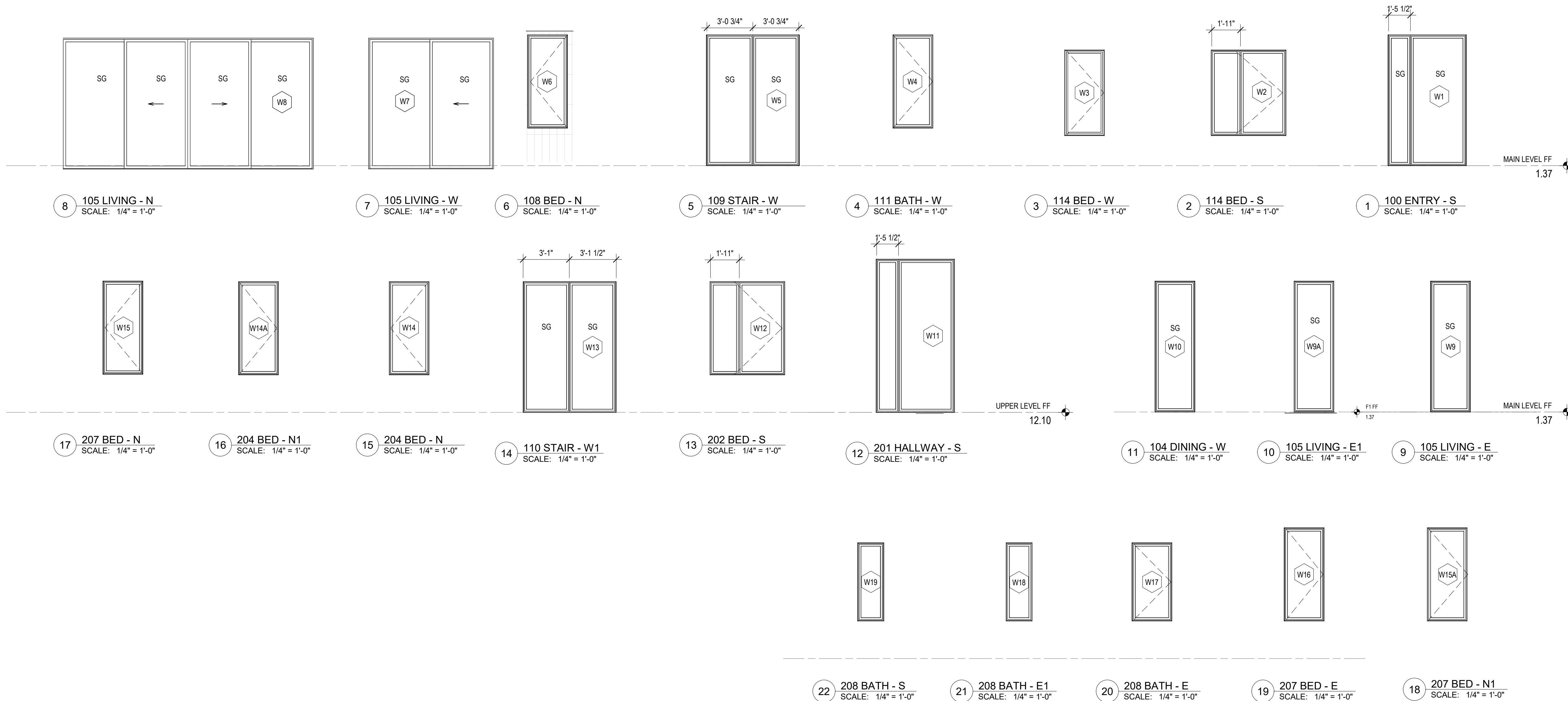
Discipline:  
 Drawn by: Author  
 Product number: AH2  
 Product version: v1  
 Serial version:  
 Revisions:

4 11/05/2024 NTA REVISION 2.0  
 No. Date By

NTA PERMIT SET  
 07/18/2024

GLAZING SCHEDULE

A0.21



Approval: State of CA  
 Certified Design Approval Agency - ICC NTA, LLC 800268  
 Approved: VSTA071924-6  
 Approved Date: 11/7/2024  
 Expiration Date: 7/30/2027

GLAZING SCHEDULE														
GLAZING TAG	LOCATION	ORIENTATION	OPERATION	ROUGH OPENING		FRAME			SILL AFF	U VALUE	DETAILS			
				WIDTH - RO	HEIGHT - RO	WIDTH - FRAME	HEIGHT - FRAME	HEAD			JAMB	SILL		
W1	ENTRY 100	SOUTH	FIXED	5'-2 3/4"	8'-8 3/4"	5'-1 3/4"	8'-7 3/4"	-1/8"	0.26	8/A.20	7& 9/A8.20	7/A8.21		
W2	BED 112	SOUTH	FIXED/CASEMENT	5'-0"	5'-8 1/2"	4'-11"	5'-7 1/2"	2'-0"	0.28	2/A8.20	3/A8.20	1/A8.20		
W3	BED 112	WEST	CASEMENT	2'-8"	5'-8 1/2"	2'-7"	5'-7 1/2"	2'-0"	0.28	2/A8.20	3/A8.20	1/A8.20		
W4	BATH 110	WEST	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W5	STAIR 109	WEST	FIXED	6'-2 1/2"	8'-8 3/4"	6'-1 1/2"	8'-7 3/4"	-1/8"	0.26	6/A8.20	6/A8.21	4/A8.20		
W6	GUEST BED 108	NORTH	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W7	LIVING 105	EAST	SLIDING	8'-4"	8'-8 3/4"	8'-3"	8'-7 3/4"	-2 3/4"	0.17	2/A8.21	3/A8.21	1/A8.21		
W8	LIVING 105	NORTH	SLIDING	16'-9"	8'-8 3/4"	16'-8"	8'-7 3/4"	-2 3/4"	0.17	2/A8.21	3/A8.21	1/A8.21		
W9	LIVING 105	EAST	FIXED	2'-8"	8'-8 3/4"	2'-7"	8'-7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20		
W9A	LIVING 105	EAST	FIXED	2'-8"	8'-8 3/4"	2'-7"	8'-7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20		
W10	DINING 104	EAST	FIXED	2'-8"	8'-8 3/4"	2'-7"	8'-7 3/4"	-1/8"	0.26	5/A8.20	3/A8.20	4/A8.20		
W11	HALLWAY 201	SOUTH	FIXED	5'-2 3/4"	10'-2 3/4"	5'-1 3/4"	10'-1 3/4"	-1/8"	0.26	5/A8.20	9/A8.20	8/A8.20		
W12	BED 202	SOUTH	FIXED/CASEMENT	5'-0"	6'-2 5/8"	4'-11"	6'-1 5/8"	2'-6"	0.26	2/A8.20	2/A8.20	1/A8.20		
W13	STAIR 109	WEST	FIXED	6'-2 1/2"	8'-8 3/4"	6'-1 1/2"	8'-7 3/4"	-1/8"	0.28	5/A8.20	6/A8.21	6/A8.20		
W14	BED 203	NORTH	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W14A	BED 203	NORTH	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W15	BED 205	NORTH	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W15A	BED 205	NORTH	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W16	BED 205	EAST	CASEMENT	2'-8"	6'-2 5/8"	2'-7"	6'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W17	BATH 206	EAST	CASEMENT	2'-8"	5'-2 5/8"	2'-7"	5'-1 5/8"	2'-6"	0.28	2/A8.20	3/A8.20	1/A8.20		
W18	BATH 206	EAST	FIXED	1'-9"	5'-2 5/8"	1'-8"	5'-1 5/8"	2'-6"	0.26	2/A8.20	3/A8.20	1/A8.20		
W19	BATH 206	SOUTH	FIXED	1'-9"	5'-2 5/8"	1'-8"	5'-1 5/8"	2'-6"	0.26	2/A8.20	3/A8.20	1/A8.20		

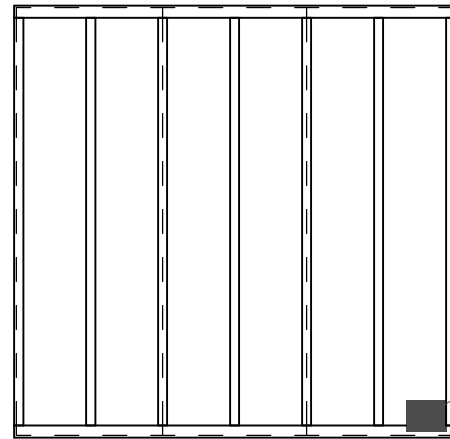
- GLAZING SCHEDULE NOTES:
- CONTRACTOR TO VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO ORDERING WINDOWS AND DOORS.
  - PROVIDE SAFETY GLAZING WHERE REQ'D BY CODE AND WHERE INDICATED ON DRAWINGS AS "SG."
  - PROVIDE EGRESS WINDOWS WHERE REQ'D BY CODE AND WHERE INDICATED ON DRAWINGS.
  - ASSUME 1/2" SHIM SPACE MAX. TYP. UNLESS OTHERWISE NOTED.
  - PROVIDE SATIN ETCHED GLAZING AT W18 & W19.

FACTORY BUILT SCOPE

SITE BUILT/ INSTALLED SCOPE

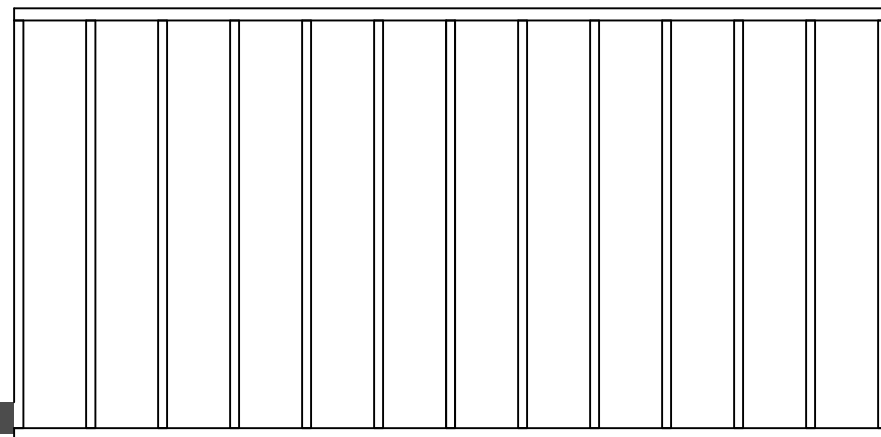
NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.

TYPICAL FACTORY WALL PANEL INSTALLATION - LOOSE PANELS



INSIGNIA INSTALL LOCATION INSIDE OF BOTTOM PLATE

TYPICAL FACTORY FLOOR/CEILING PANEL INSTALLATION - LOOSE PANELS



INSIGNIA INSTALL LOCATION ON OUTSIDE END OF RIM JOIST

2 MAIN LEVEL MOD PLAN  
SCALE: 1/16" = 1'-0"

WALL, FLOOR AND CEILING PANELS - NTA SCHEDULE

- |                      |                      |                      |
|----------------------|----------------------|----------------------|
| <b>GARAGE PANELS</b> | <b>ROOF PANELS</b>   | <b>DECK PANELS</b>   |
| • 2CG.W01            | • F.R07 - ROOF PANEL | • N.D01 - DECK PANEL |
| • 2CG.W02            | • G.R04 - ROOF PANEL | • N.D02 - DECK PANEL |
| • 2CG.W03            | • K.R01 - ROOF PANEL | • P.D01 - DECK PANEL |
| • 2CG.W04            | • R.R01 - ROOF PANEL | • P.D02 - DECK PANEL |
| • 2CG.R01            |                      | • R.D01 - DECK PANEL |
| • 2CG.R02            |                      | • R.D02 - DECK PANEL |
| • 2CG.R03            |                      | • R.D03 - DECK PANEL |
| • 2CG.R04            |                      | • R.D04 - DECK PANEL |
|                      |                      | • R.D05 - DECK PANEL |
|                      |                      | • R.W01 - WALL PANEL |

- NOTES:
- FACTORY BUILT PANEL ARE INSTALL ON SITE.
  - APPROVAL LABELS LOCATED ON THE PANELS:
    - WALLS - ON THE TOP OF THE BOTTOM PLATE OF EACH WALL
    - FLOORS AND CEILINGS - ON THE INSIDE FACE OF THE RIM JOISTS

RESUME OF SITE WORK

SECTION / DESCRIPTION	SHEET NUMBER	PLAN REVIEW		INSPECTION	
		NTA	LAHJ	NTA	LAHJ 2
COVER SHEET, INDEX, DESIGN CRITERIA, CODES	A0.00, A0.01	x	x	x	x
TITLE 24 DOCUMENTS	A0.02	x	x	x	x
SURVEY	TBD		x		x
CIVIL	TBD		x		x
LANDSCAPE	TBD		x		x
ARCHITECTURE (ASSEMBLIES, SCHEDULES)	A0.10, A0.11, A0.20, A0.21	x		x	x
ARCHITECTURE (FLOOR PLANS, ELEVATIONS, SECTIONS)	A2.00, A2.10s, A2.20, A3.0s, A3.10s, A4.00, A6.10, A6.20	x		x	x
ARCHITECTURE (DETAILS)	A7.00, A8.20s	x		x	x
MECHANICAL	M1.00, M1.01, M1.02, M1.03, M1.04, M1.05, M1.06	x		x	x
STRUCTURAL (GENERAL NOTES)	S0.00, S0.01	x		x	x
STRUCTURAL (FOUNDATION)	S2.00, S3.00	x	x		x
STRUCTURAL (PLANS, DETAILS)	S2.01, S2.02, S2.03, S2.04, S2.05, S2.10S, S.301, S4.00s, S5.00	x		x	x

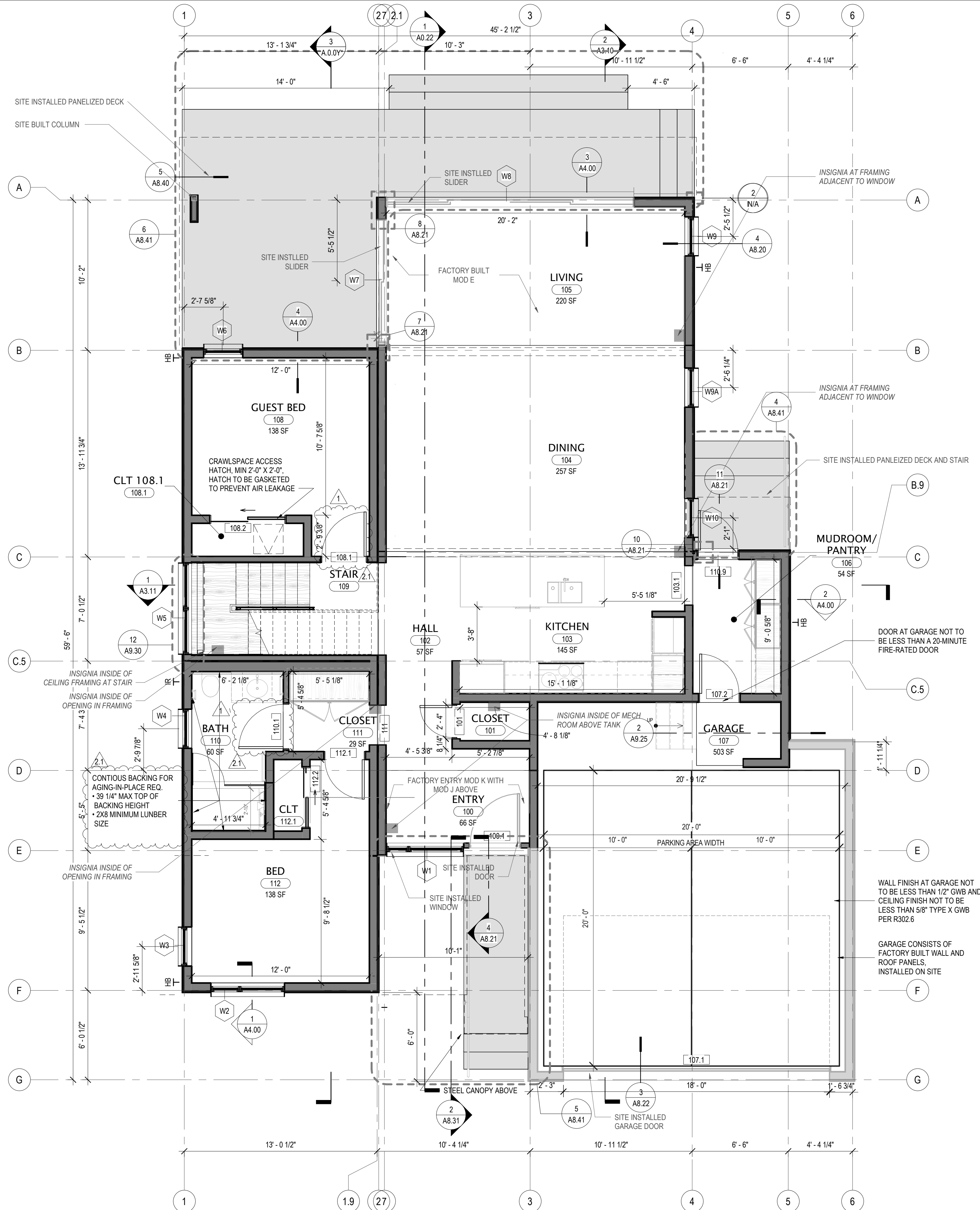
GENERAL NOTES:

- WHEN DRAWINGS AND CONSTRUCTION INCLUDE BOTH FACTORY BUILT AND SITE BUILT CONSTRUCTION, PLAN REVIEW & INSPECTION WILL BE ACCORDING TO THE FOLLOWING RULES:
  - A. FACTORY BUILT ELEMENT WILL BE REVIEWED BY ICC-NTA AND INSPECTED BY ICC-NTA.
  - B. CONNECTIONS BETWEEN FACTORY BUILT COMPONENTS, OR BETWEEN FACTORY AND SITE BUILT COMPONENTS, WILL BE REVIEWED BY DAA AND INSPECTED BY LAHJ.
  - C. SITE BUILT ELEMENTS WILL BE REVIEWED & INSPECTED BY LAHJ EXCEPT FOR STRUCTURAL (SEE NOTE 2).
- STRUCTURAL DRAWINGS & CALCULATIONS (EXCLUDING FOUNDATION) TO BE ENTIRELY REVIEWED BY DAA TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE. LAHJ WILL REVIEW FOUNDATION PLANS & CALCULATIONS. QAA WILL INSPECT FACTORY BUILT STRUCTURAL ELEMENTS. LAHJ WILL INSPECT ALL FIELD CONSTRUCTION & CONNECTIONS.
- ALL OTHER SITE WORK NOT MENTIONED ABOVE (GRADING, LANDSCAPING, ETC) WILL BE REVIEWED & INSPECTED BY LAHJ.

1 MAIN LEVEL PLAN  
SCALE: 1/4" = 1'-0"

MAIN LEVEL GROSS AREA: 2073 SF  
MAIN LEVEL INTERIOR AREA: 1670 SF

TOTAL GROSS AREA: 3196 SF



Approved: State of CA  
Certified Design Approval Agency: ICC-NTA, LLC 50308  
Approved: Factory Built Housing  
ICC-NTA, LLC Plan Approval: VSTA071924-6  
Approved Date: 2/18/2025  
Expiration Date: 7/30/2027



AH2  
ARO HOMES

Discipline:

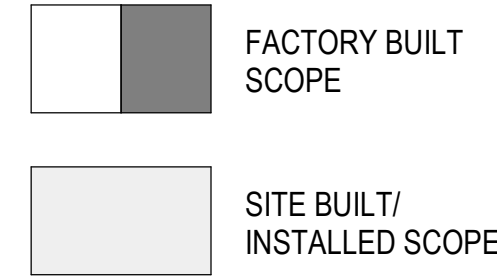
Drawn by:	Author
Product number:	AH2
Product version:	v1
Serial version:	
Revisions:	

No.	Date	By
4	11/05/2024	NTA REVISION 2.0
2.1	02/06/2025	NTA REVISION 2.1
1	07/18/2024	NTA REVISION 1

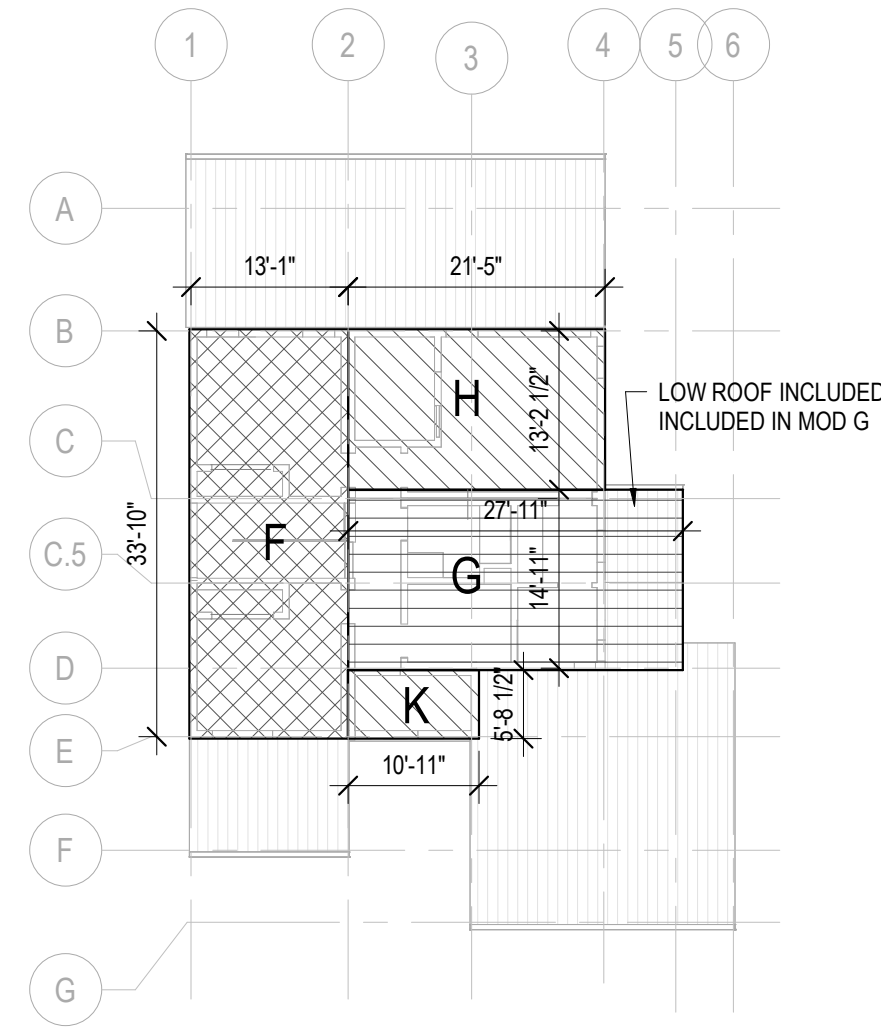
NTA PERMIT SET  
07/18/2024

MAIN LEVEL PLAN

A2.10



NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



2 UPPER LEVEL MOD PLAN  
SCALE: 1/16" = 1'-0"

Approved: State of CA  
Certified Design Approval Agency - ICC NTA, LLC 802688  
Approved Factory Built Housing  
ICCBIA, LLC Plan Approval: VSTA071924-6  
Approval Date: 10/7/2024  
Expiration Date: 7/30/2027

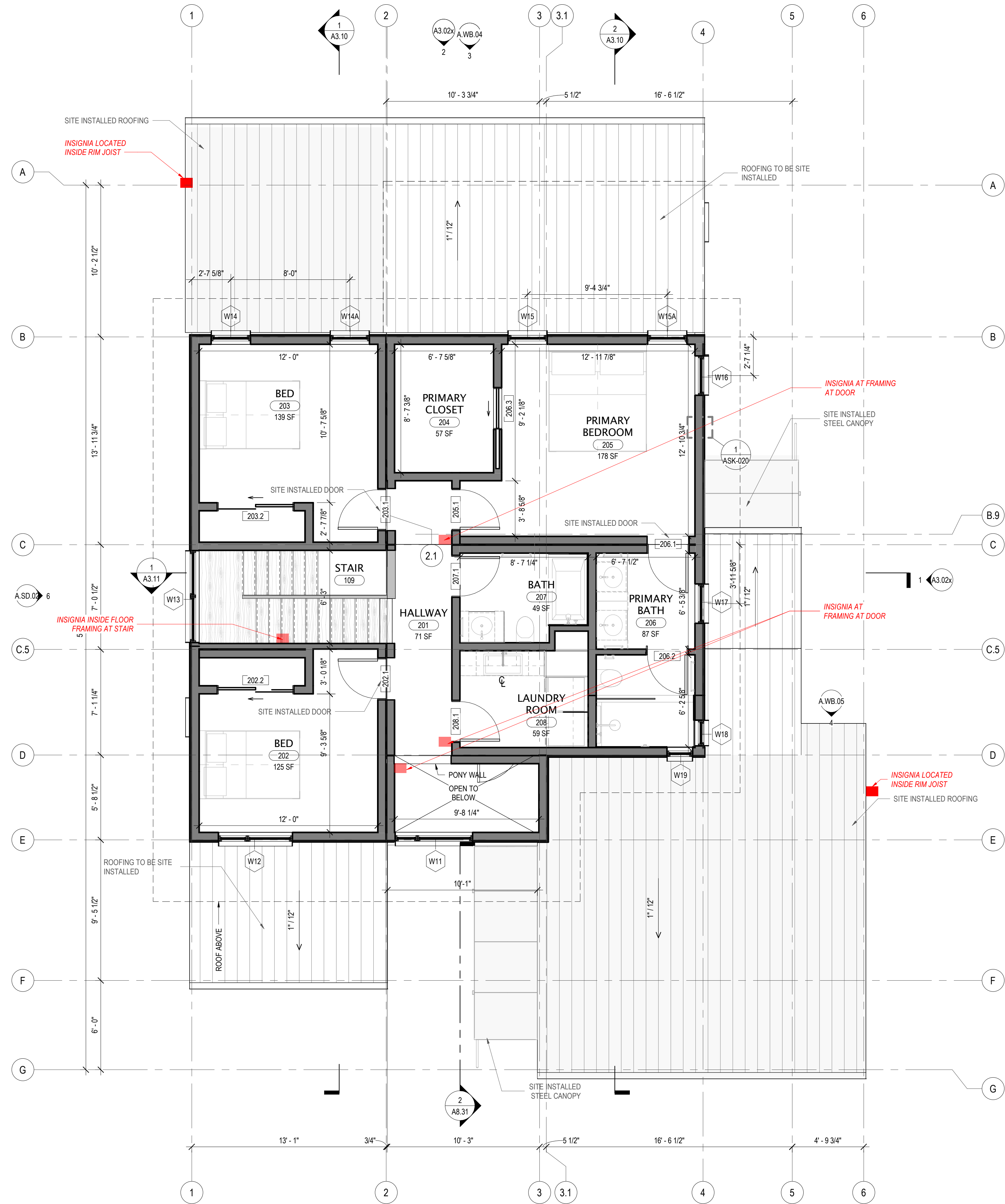
RESUME OF SITE WORK					
SECTION / DESCRIPTION	SHEET NUMBER	PLAN REVIEW		INSPECTION	
		NTA	LAJH	NTA	LAJH 2
COVER SHEET, INDEX, DESIGN CRITERIA, CODES	A0.00, A0.01	x	x	x	x
TITLE 24 DOCUMENTS	A0.02	x	x	x	x
SURVEY	TBD		x		x
CIVIL	TBD		x		x
LANDSCAPE	TBD		x		x
ARCHITECTURE (ASSEMBLIES, SCHEDULES)	A0.10, A0.11, A0.20, A0.21	x		x	x
ARCHITECTURE (FLOOR PLANS, ELEVATIONS, SECTIONS)	A2.00, A2.10s, A2.20, A3.0s, A3.10s, A4.00, A6.10, A6.20	x		x	x
ARCHITECTURE (DETAILS)	A7.00, A8.20s	x		x	x
MECHANICAL	M1.00, M1.01, M1.02, M1.03, M1.04, M1.05, M1.06	x		x	x
STRUCTURAL (GENERAL NOTES)	S0.00, S0.01	x		x	x
STRUCTURAL (FOUNDATION)	S2.00, S3.00	x	x		x
STRUCTURAL (PLANS, DETAILS)	S2.01, S2.02, S2.03, S2.04, S2.05, S2.10S, S.301, S4.00s, S5.00	x		x	x

GENERAL NOTES:

- WHEN DRAWINGS AND CONSTRUCTION INCLUDE BOTH FACTORY BUILT AND SITE BUILT CONSTRUCTION, PLAN REVIEW & INSPECTION WILL BE ACCORDING TO THE FOLLOWING RULES:
  - FACTORY BUILT ELEMENT WILL BE REVIEWED BY DAA AND INSPECTED BY QAA.
  - CONNECTIONS BETWEEN FACTORY BUILT COMPONENTS, OR BETWEEN FACTORY AND SITE BUILT COMPONENTS, WILL BE REVIEWED BY DAA AND INSPECTED BY LAJH.
  - SITE BUILT ELEMENTS WILL BE REVIEWED & INSPECTED BY LAJH EXCEPT FOR STRUCTURAL (SEE NOTE 2).
- STRUCTURAL DRAWINGS & CALCULATIONS (EXCLUDING FOUNDATION) TO BE ENTIRELY REVIEWED BY DAA TO MAINTAIN THE STRUCTURAL INTEGRITY OF THE STRUCTURE. LAJH WILL REVIEW FOUNDATION PLANS & CALCULATIONS. QAA WILL INSPECT FACTORY BUILT STRUCTURAL ELEMENTS. LAJH WILL INSPECT ALL FIELD CONSTRUCTION & CONNECTIONS.
- ALL OTHER SITE WORK NOT MENTIONED ABOVE (GRADING, LANDSCAPING, ETC) WILL BE REVIEWED & INSPECTED BY LAJH.

1 UPPER LEVEL PLAN  
SCALE: 1/4" = 1'-0"

UPPER LEVEL GROSS AREA: 1123 SF  
UPPER LEVEL INTERIOR AREA: 906 SF  
TOTAL GROSS AREA: 3196 SF



AH2  
ARO HOMES

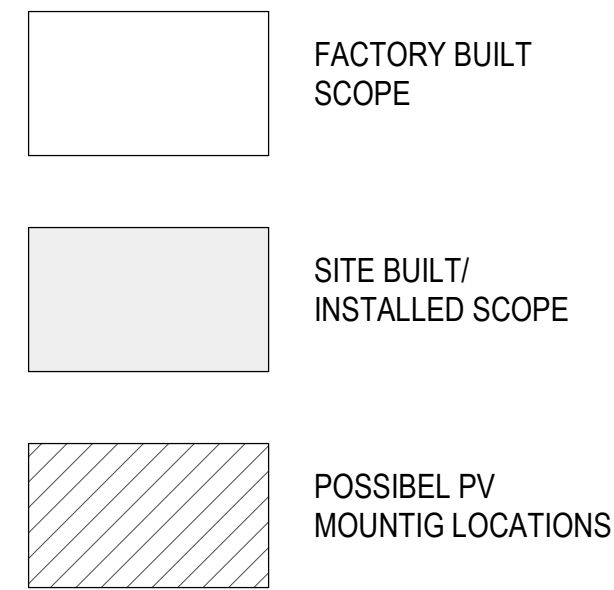
Discipline:  
Drawn by: Author  
Product number: AH2  
Product version: v1  
Serial version:  
Revisions:

No. Date By

NTA PERMIT SET  
07/18/2024

UPPER LEVEL PLAN

A2.11

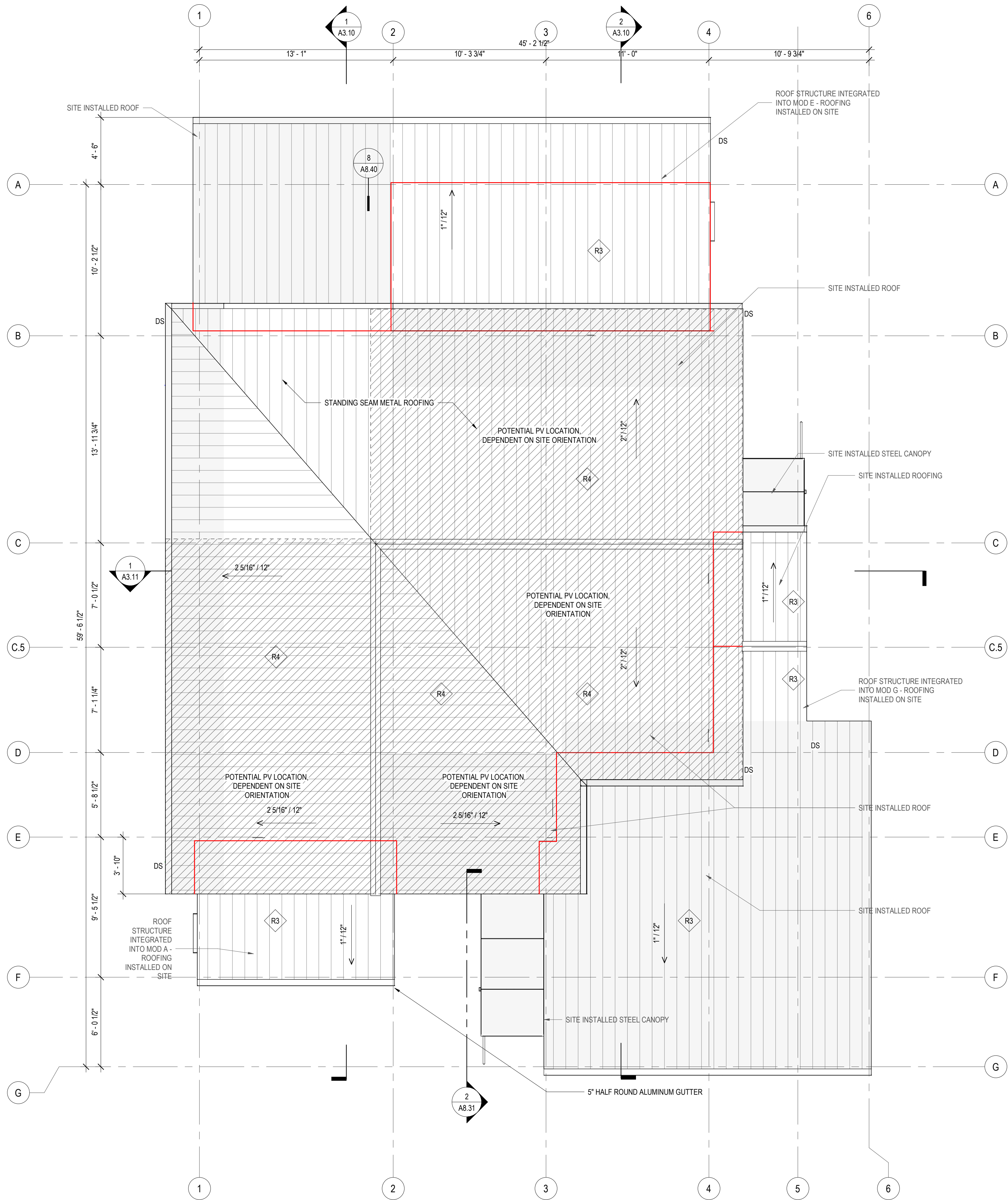


NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



**ROOF VENTILATION NOTES:**  
 ROOF ASSEMBLIES ARE NON-VENTED ASSEMBLIES

**03 ROOF PLAN**  
 SCALE: 1/4" = 1'-0"



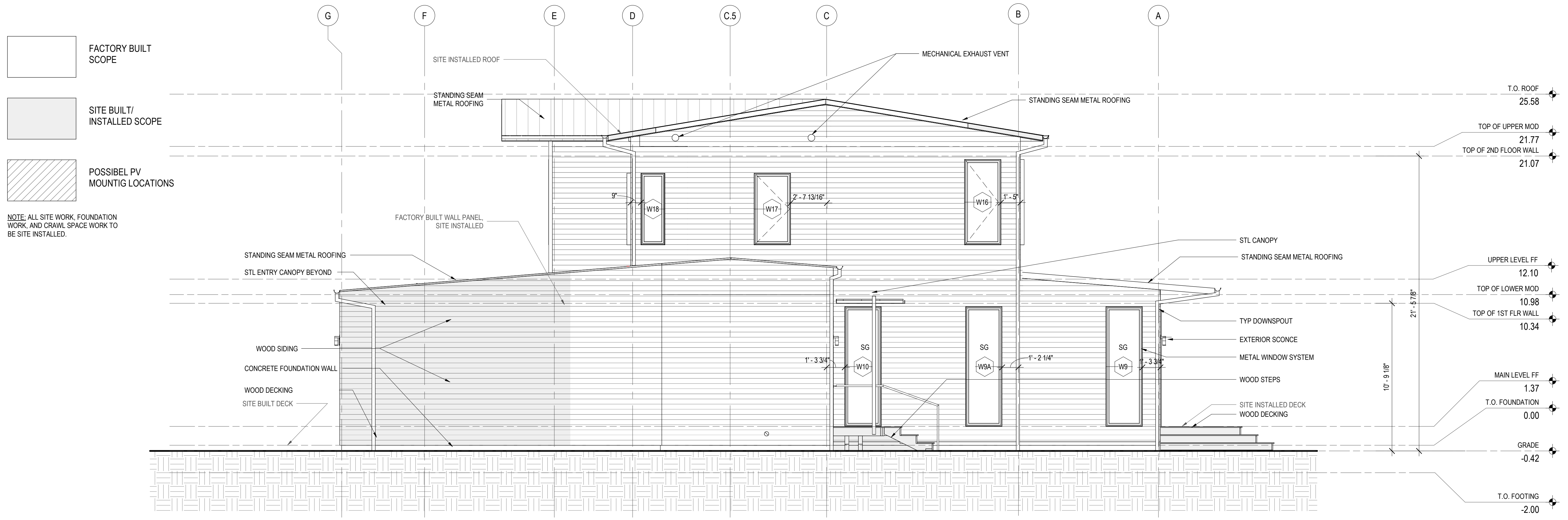
**AH2**  
 ARO HOMES

Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

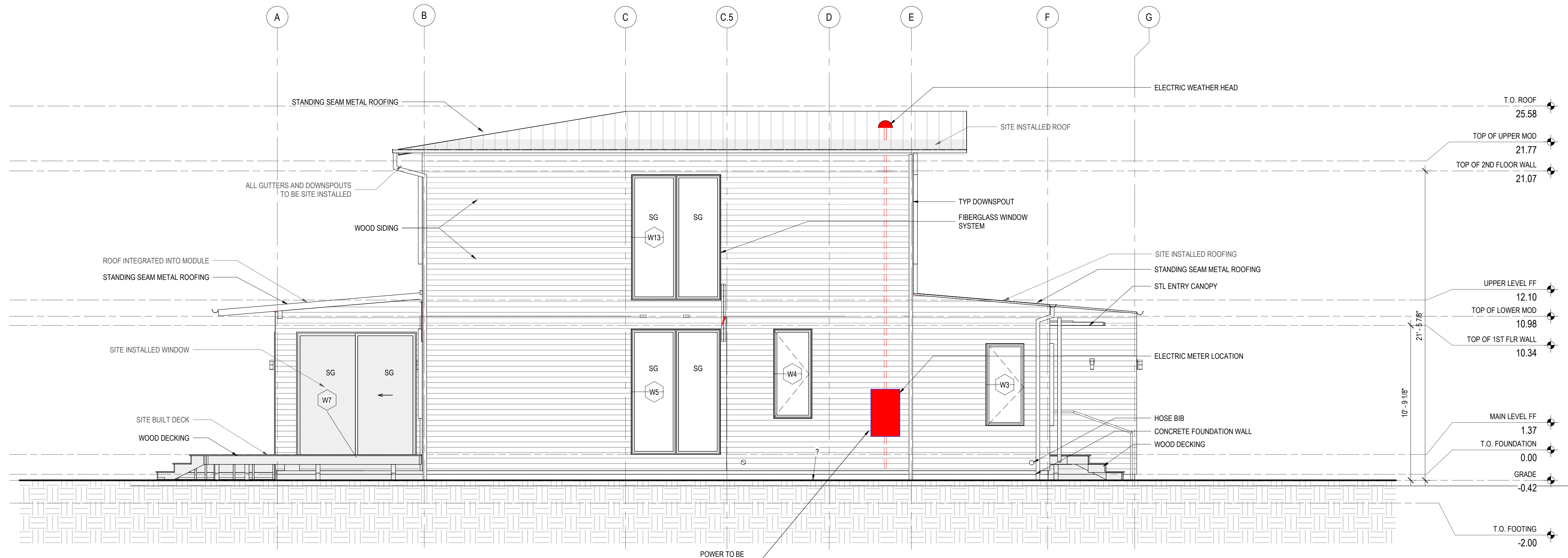
NTA PERMIT SET  
 07/18/2024

ROOF PLAN

**A2.20**



**2 EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"

Approved: State of CA  
Certified Design Approval Agency - ICC NTA, LLC 82828  
Approved: Factory Built Housing  
ICC NTA, LLC Plan Approval: YSTA071924-6  
Approval Date: 7/30/2024  
Expiration Date: 7/30/2027



**AH2**  
ARO HOMES

Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

NTA PERMIT SET  
07/18/2024

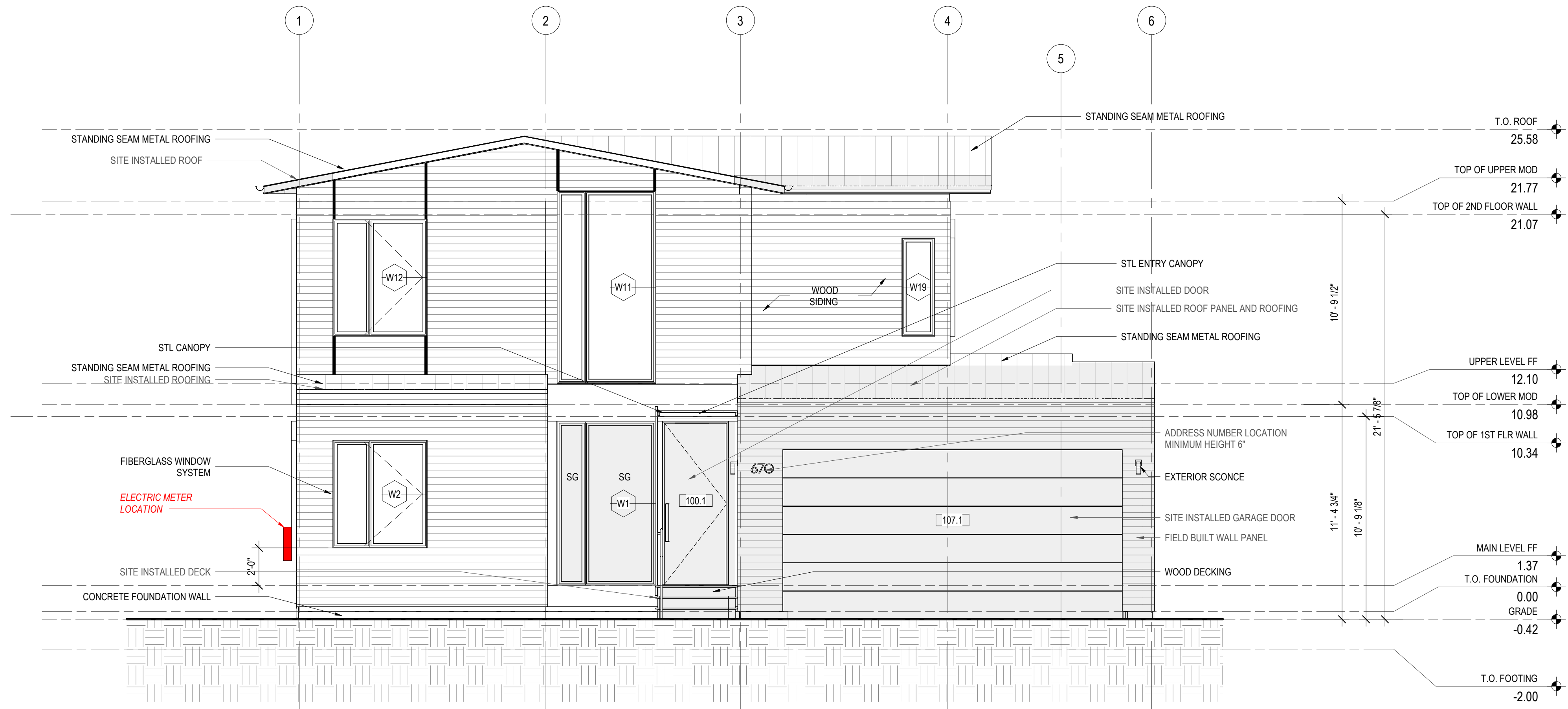
EXTERIOR ELEVATIONS  
01

**A3.00**

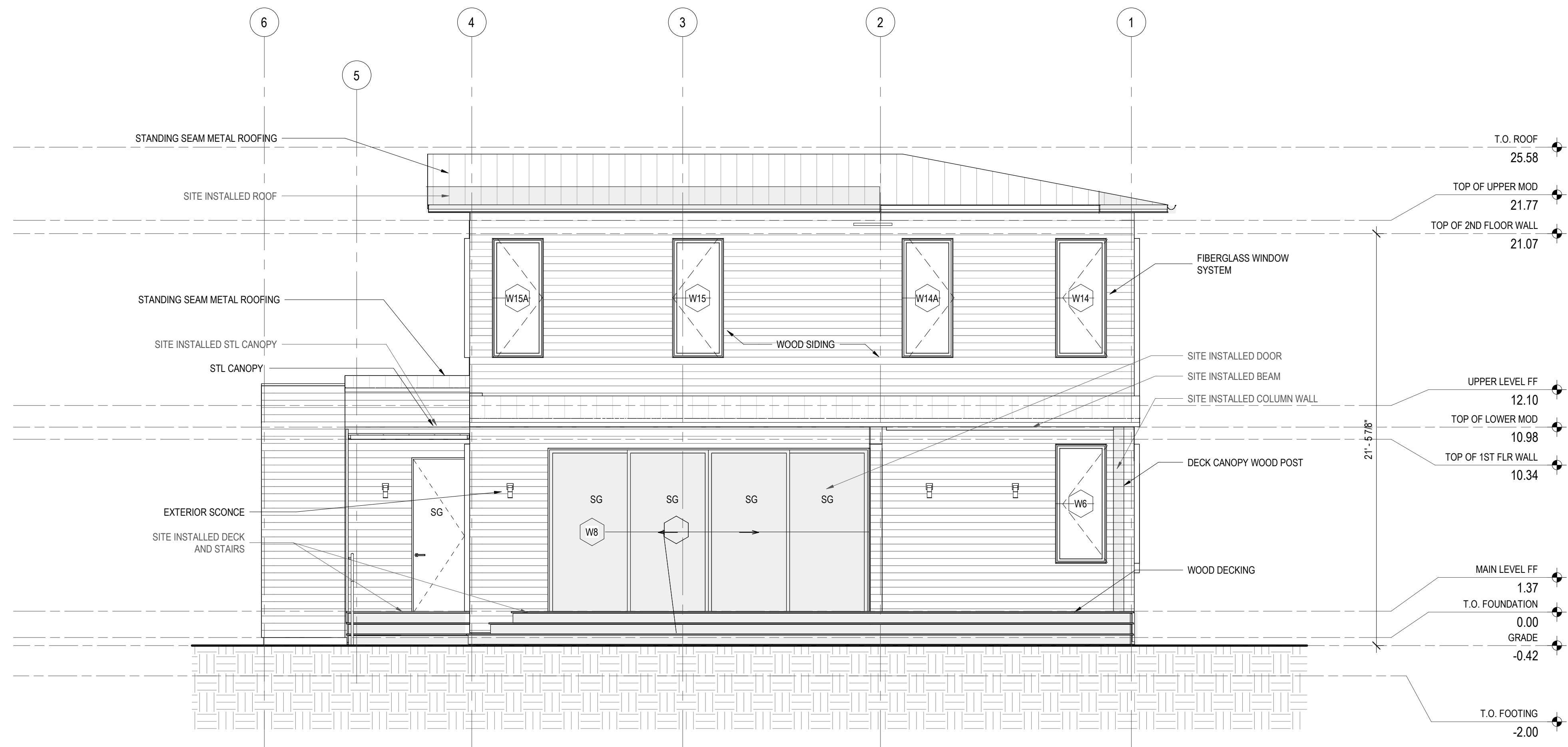
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- FACTORY BUILT SCOPE
- SITE BUILT/ INSTALLED SCOPE
- POSSIBLE PV MOUNTING LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



2 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



1 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"

Approved: State of CA  
 Certified Design Approval Agency - ICC WITH, LLC 90268  
 Approved: Factory Built Housing  
 VSTA071924-6  
 Approved Date: 7/30/2024  
 Expiration Date: 7/30/2027



AH2  
ARO HOMES

Discipline:		
Drawn by:	Author	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

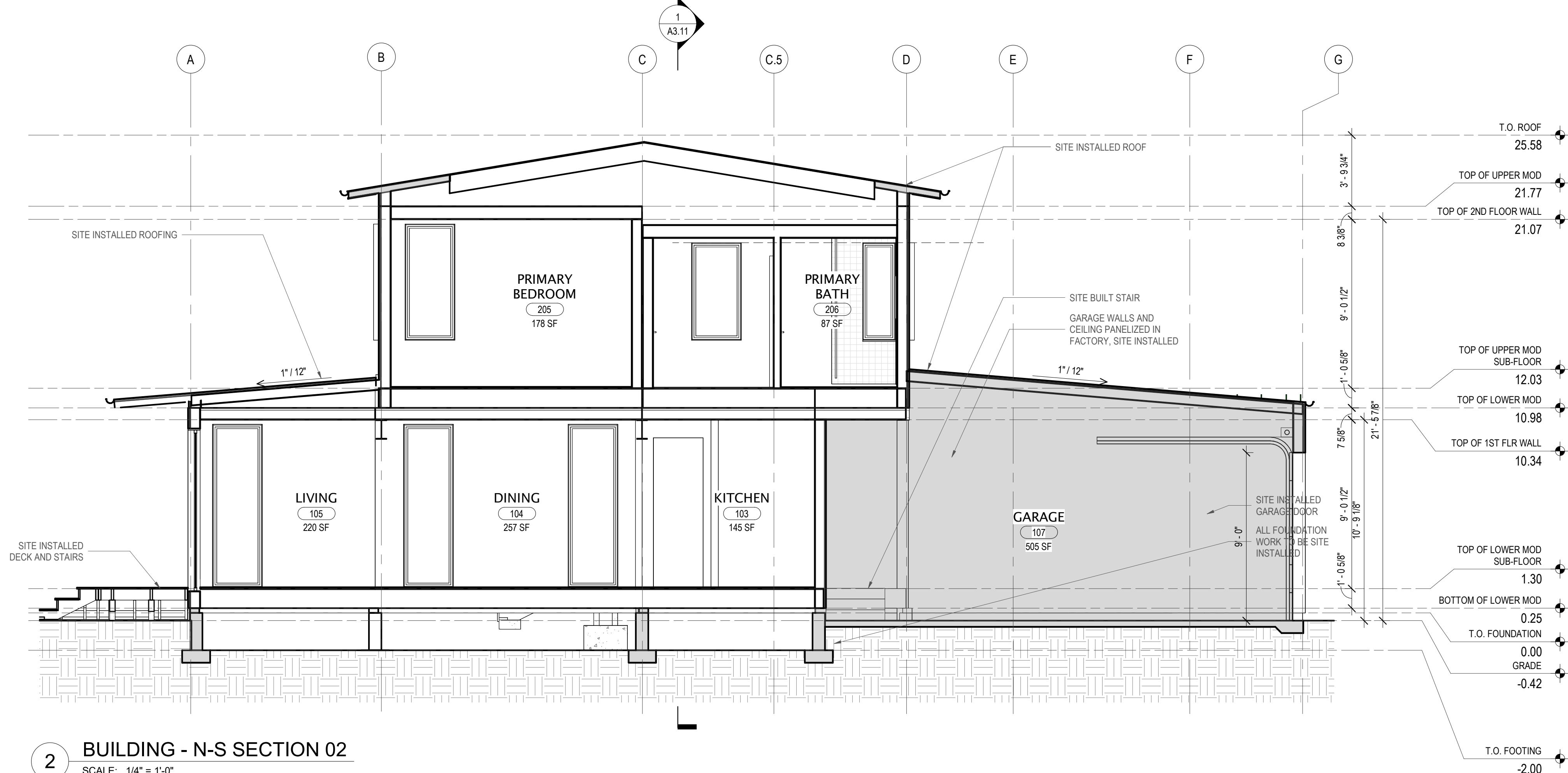
NTA PERMIT SET  
07/18/2024

EXTERIOR ELEVATIONS  
02

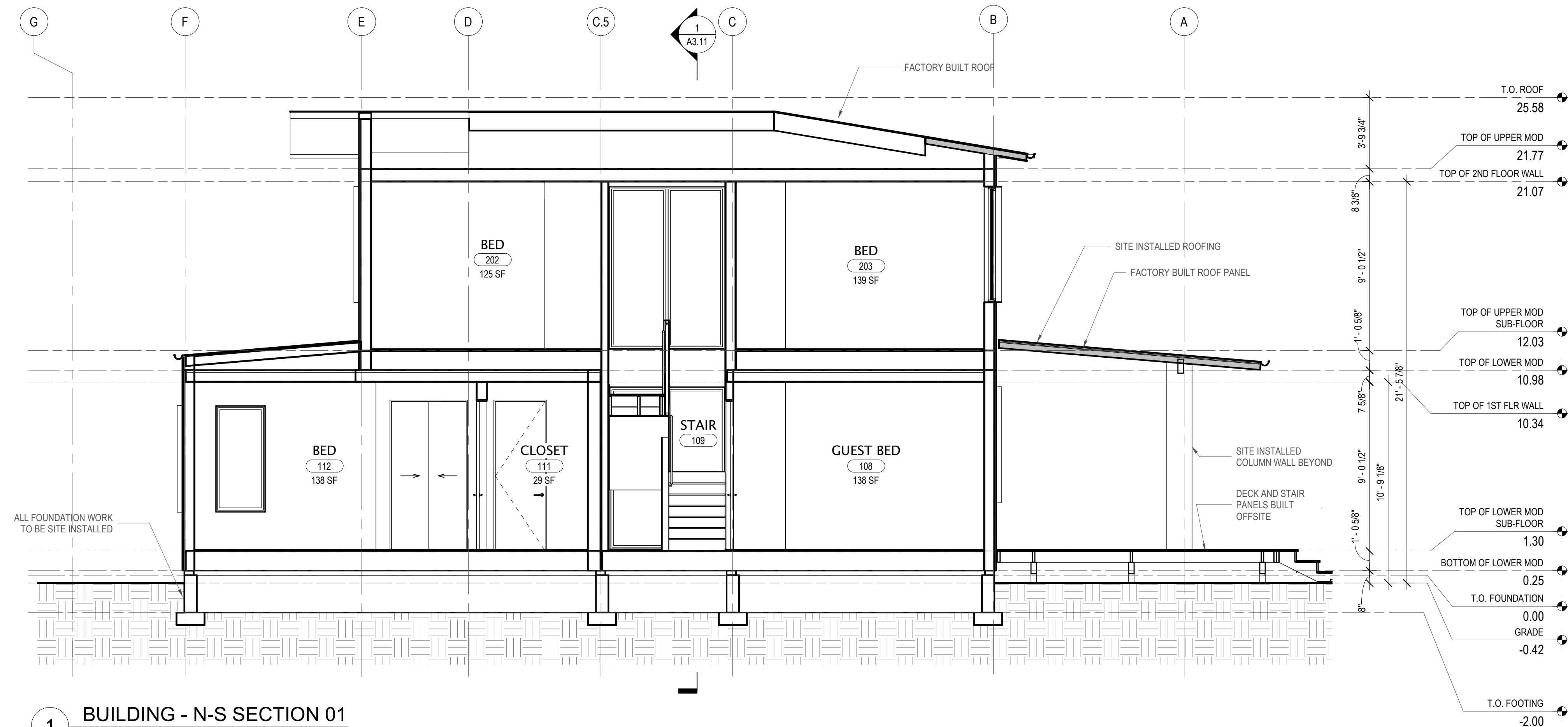
A3.01

- FACTORY BUILT SCOPE
- SITE BUILT/ INSTALLED SCOPE
- POSSIBEL PV MOUNTING LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.



**2** BUILDING - N-S SECTION 02  
SCALE: 1/4" = 1'-0"



**1** BUILDING - N-S SECTION 01  
SCALE: 1/4" = 1'-0"

Approved: State of CA  
 Certified Design Approval Agency - ICC NHA, LIC 90808  
 Approved: Factory Built Housing  
 VSTA071924-6  
 Approved Date: 7/30/2024  
 Expiration Date: 7/30/2027



**AH2**  
ARO HOMES

Discipline:		
Drawn by:	-	
Product number:	AH2	
Product version:	v1	
Serial version:		
Revisions:		
No.	Date	By

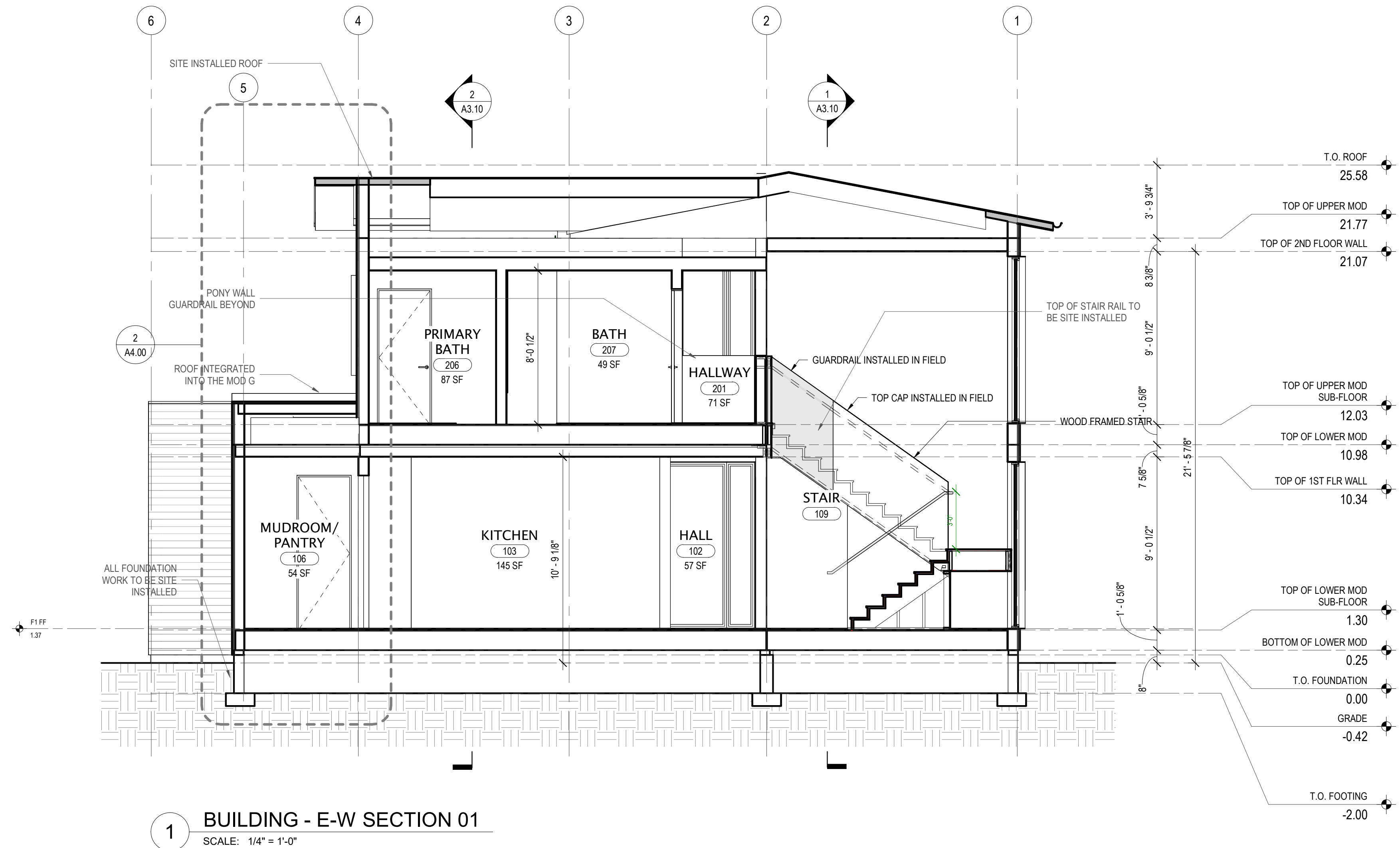
NTA PERMIT SET  
07/18/2024

BUILDING SECTIONS 01  
**A3.10**

- FACTORY BUILT SCOPE
- SITE BUILT/ INSTALLED SCOPE
- POSSIBEL PV MOUNTIG LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.

Approved: State of CA  
 Certified Design Approval Agency: ACE H&A, LLC 503038  
 Approved: Factory Built Housing  
 VSTA071924-6  
 Approved Date: 7/30/2024  
 Expiration Date: 7/30/2027



**1 BUILDING - E-W SECTION 01**  
SCALE: 1/4" = 1'-0"



**AH2**  
ARO HOMES

Discipline:	
Drawn by:	Author
Product number:	AH2
Product version:	v1
Serial version:	
Revisions:	
No.	Date By

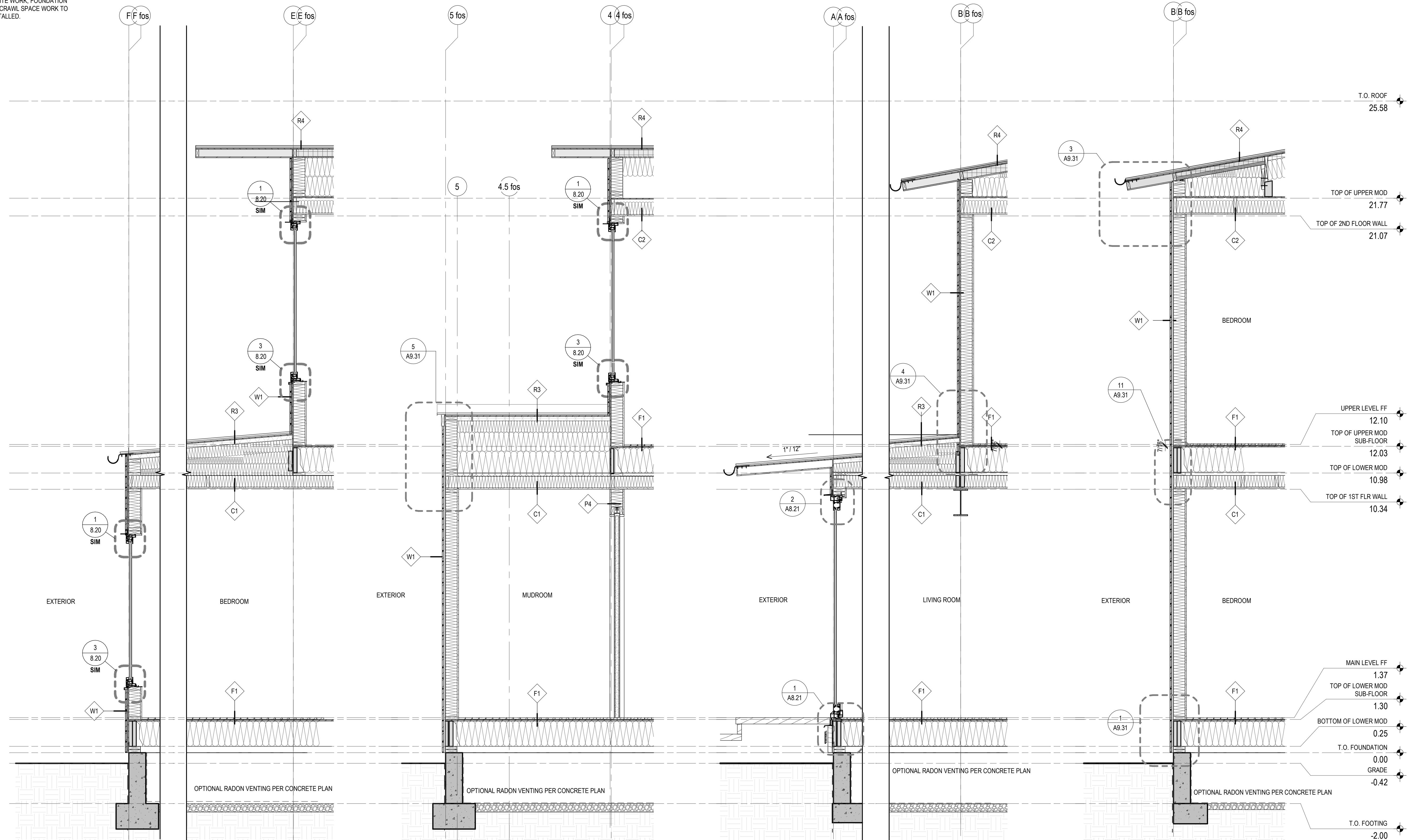
NTA PERMIT SET  
07/18/2024

BUILDING SECTIONS 02  
**A3.11**

- FACTORY BUILT SCOPE
- SITE BUILT/ INSTALLED SCOPE
- POSSIBEL PV MOUNTING LOCATIONS

NOTE: ALL SITE WORK, FOUNDATION WORK, AND CRAWL SPACE WORK TO BE SITE INSTALLED.

Approved: State of CA  
 Certified Design Approval Agency - KC NTA, LLC 102858  
 Approved Factory Built Housing  
 VSTA071924-6  
 Approval Date: 7/30/2024  
 Expiration Date: 7/30/2027



**1 WALL SECTION @ S BEDROOM**  
SCALE: 1/2" = 1'-0"

**2 WALL SECTION @ MUD ROOM / PANTRY**  
SCALE: 1/2" = 1'-0"

**3 WALL SECTION @ LIVING ROOM SLIDER**  
SCALE: 1/2" = 1'-0"

**4 WALL SECTION @ GUEST BED**  
SCALE: 1/2" = 1'-0"



**AH2**  
 ARO HOMES

Discipline: \_\_\_\_\_  
 Drawn by: \_\_\_\_\_ Author  
 Product number: AH2  
 Product version: v1  
 Serial version: \_\_\_\_\_  
 Revisions: \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_ By \_\_\_\_\_

NTA PERMIT SET  
 07/18/2024

WALL SECTIONS

**A4.00**

GWB SITE  
INSTALLED SCOPE

NOTE: HIGHLIGHTED ZONES INDICATE AREAS OF GWB THAT WILL BE SITE INSTALLED. FOR OTHER SITE SCOPE WORK, REFER TO A2.00 - A4.00.

Approved: State of CA  
Certified Design Approval Agency - ICCRMA, LLC 50026  
Approved: Factory Built Housing  
VSTA071924-6  
Approved Date: 11/7/2024  
Expiration Date: 7/30/2027

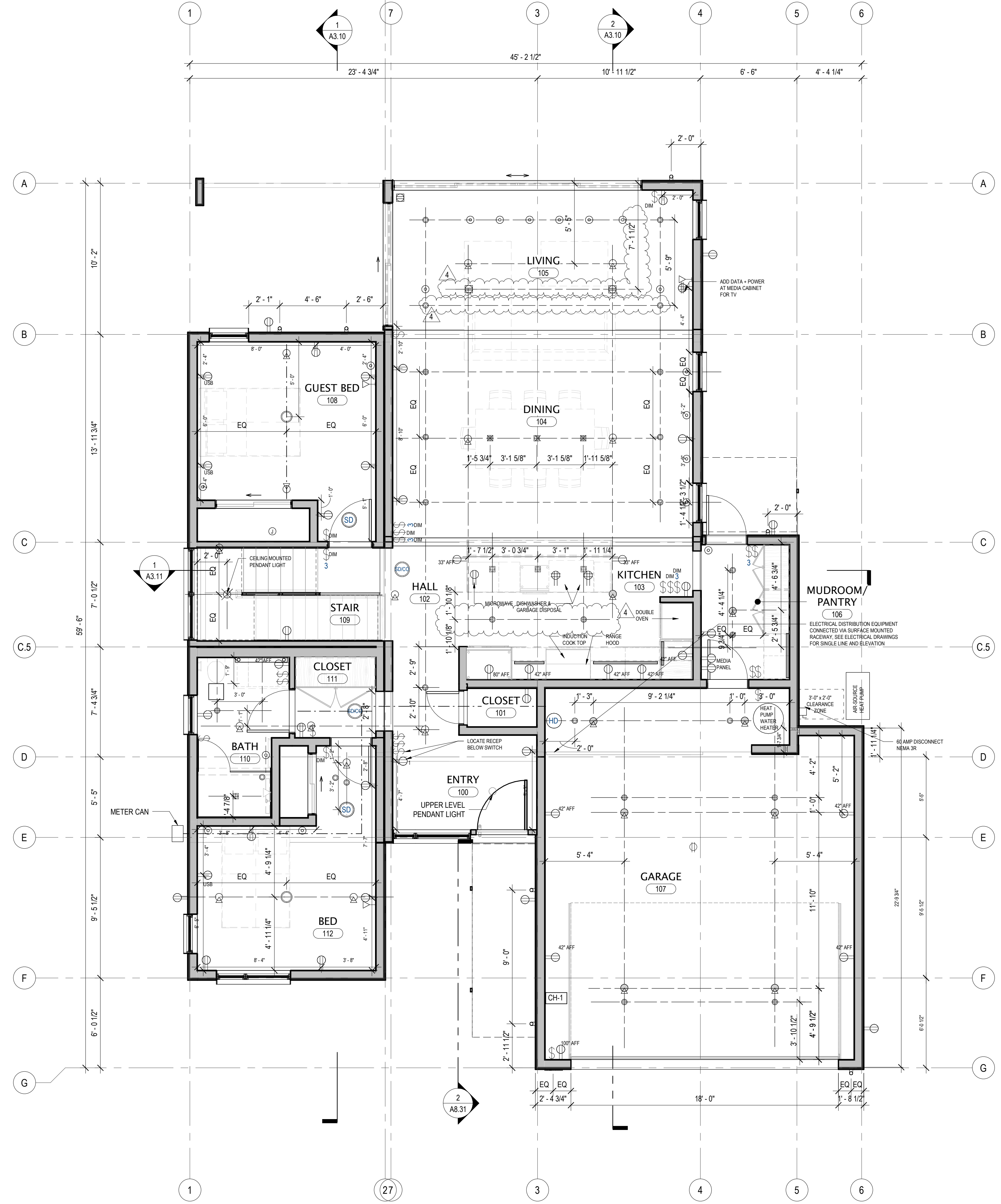
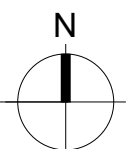
**FIXTURES LEGEND**

- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
- DIFFUSER
- FIRE SPRINKLER
- FLOOR MOUNTED DUPLEX OUTLET
- SINGLE SWITCH
- 3-WAY SWITCH
- UNDERMOUNT LINEAR LIGHT FIXTURE
- CLOSET LINEAR LIGHT FIXTURE
- VANITY MIRROR WITH INTEGRAL LIGHTING
- ROUND CEILING MOUNTED LIGHT FIXTURE
- SQUARE CEILING MOUNTED LIGHT FIXTURE
- CEILING MOUNTED PENDENT LIGHT FIXTURE
- EXTERIOR SCONCE
- FLOOR BOX
- WALL MOUNTED DUPLEX OUTLET

**DRAWING NOTES:**

1. ELECTRICAL APPLIANCE AND EQUIPMENT OUTLETS TO BE MOUNTED PER MANUFACTURER RECOMMENDATIONS.
2. PROVIDE ELECTRICAL OUTLETS TO APPLIANCES WHERE REQUIRED.
3. WALK-THROUGH: PRIOR TO ROUGH-IN OF ELECTRICAL SYSTEMS, CONDUCT WALK-THROUGH TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF CONTROLS, OUTLETS, AND OTHER EXPOSED TO VIEW DEVICES.
4. FOR DEDICATED CIRCUITS AND CIRCUIT NOTES, REFER TO ELECTRICAL SHEETS M4.01.
5. ELECTRICAL OUTLET CENTERLINES ARE 18" AFF UNO.
6. SPRINKLER HEADS ARE SHOWN ON A6 SERIES PLANS FOR AESTHETIC LAYOUT DESIGN INTENT ONLY. LAYOUT SHOWN HERE IS NOT AN ENGINEERED DESIGN SOLUTION. NOTIFY ARCHITECT IF LAYOUTS ON A6 PLANS MUST CHANGE TO MEET CODE REQUIREMENTS.
7. ENTRY 100 PENDANT LIGHT: MOUNT AT 10' - 0" AFF ON LEVEL 1 TO UNDERSIDE OF PENDANT LIGHT.
8. DINING 104 PENDANT LIGHT: MOUNT AT 5' - 0" AFF TO UNDERSIDE OF PENDANT LIGHT.
9. STAIR 109 PENDANT LIGHT: MOUNT AT 8' - 0" ABOVE FF OF LANDING TO UNDERSIDE OF PENDANT LIGHT.

**1 MAIN LEVEL RCP**  
SCALE: 1/4" = 1'-0"



**AH2**  
ARO HOMES

Discipline:		WC
Drawn by:		WC
Product number:		AH2
Product version:		v1.1
Serial version:		
Revisions:		
4	11/05/2024	NTA REVISION 2.0
3	09/26/2024	NTA REVISION 1.2
2	08/30/2024	NTA REVISION 1.1
No.	Date	By

NTA PERMIT SET  
07/18/2024

MAIN LEVEL REFLECTED  
CEILING PLAN

**A6.10**

GWB SITE  
INSTALLED SCOPE

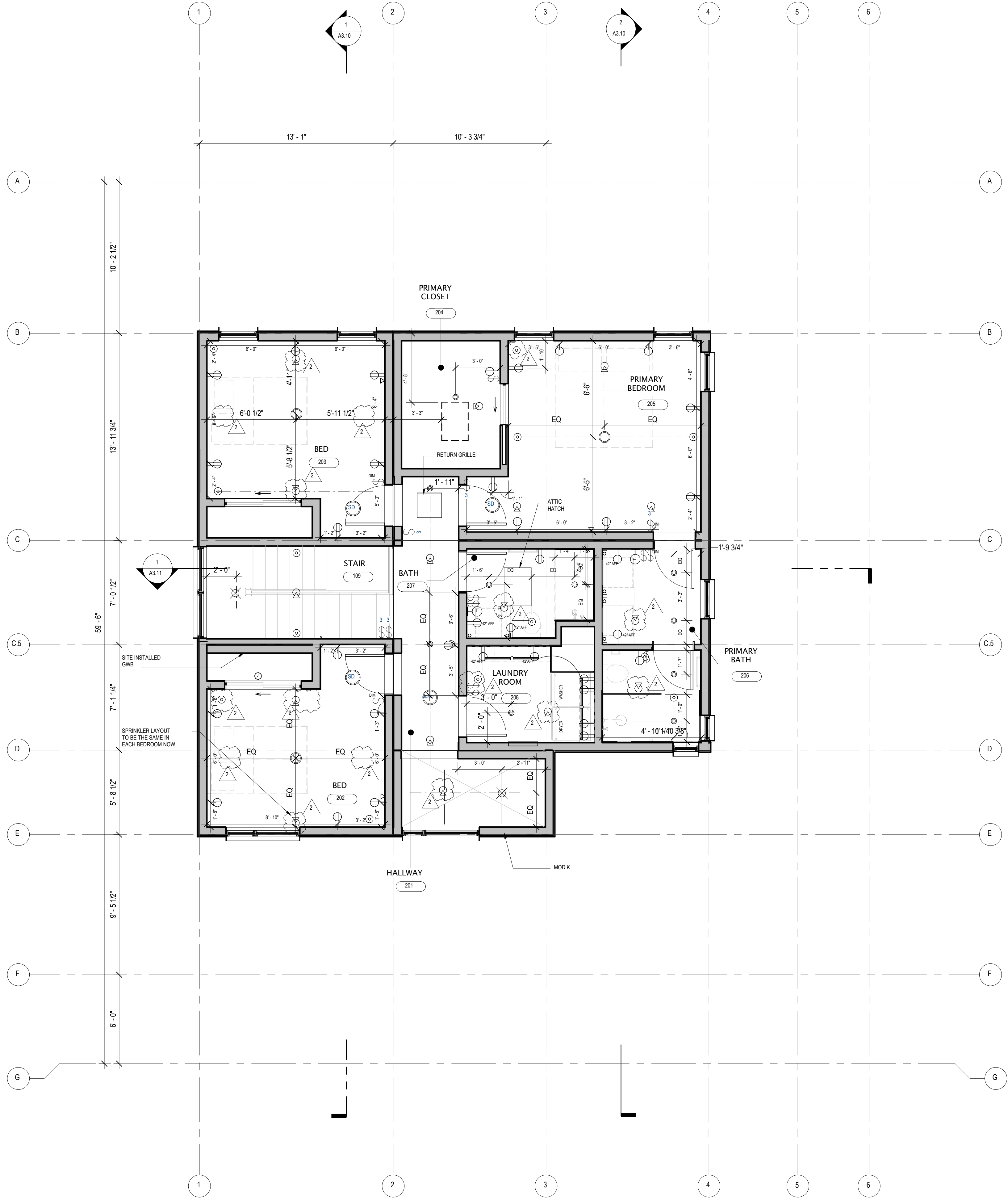
NOTE: HIGHLIGHTED ZONES INDICATE AREAS OF GWB THAT WILL BE SITE INSTALLED. FOR OTHER SITE SCOPE WORK, REFER TO A2.00 - A4.00.

Approved: State of CA  
 Certified Design Approval Agency - ICC WFA, LLC 908269  
 Approved: Factory Built Housing  
 VSTA071924-6  
 Approved: 8/30/2024  
 Expiration Date: 7/30/2027

- FIXTURES LEGEND**
- COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR
  - DIFFUSER
  - FIRE SPRINKLER
  - FLOOR MOUNTED DUPLEX OUTLET
  - SINGLE SWITCH
  - 3-WAY SWITCH
  - UNDERMOUNT LINEAR LIGHT FIXTURE
  - CLOSET LINEAR LIGHT FIXTURE
  - VANITY MIRROR WITH INTEGRAL LIGHTING
  - ROUND CEILING MOUNTED LIGHT FIXTURE
  - SQUARE CEILING MOUNTED LIGHT FIXTURE
  - CEILING MOUNTED PENDENT LIGHT FIXTURE
  - EXTERIOR SCONCE
  - FLOOR BOX
  - WALL MOUNTED DUPLEX OUTLET

- DRAWING NOTES:**
- ELECTRICAL APPLIANCES AND EQUIPMENT OUTLETS TO BE MOUNTED PER MANUFACTURER RECOMMENDATIONS.
  - PROVIDE ELECTRICAL OUTLETS TO APPLIANCES WHERE REQUIRED.
  - WALK-THROUGH: PRIOR TO ROUGH-IN OF ELECTRICAL SYSTEMS, CONDUCT WALK-THROUGH TO VERIFY LOCATIONS AND MOUNTING HEIGHTS OF CONTROLS, OUTLETS, AND OTHER EXPOSED TO VIEW DEVICES.
  - FOR DEDICATED CIRCUITS AND CIRCUIT NOTES, REFER TO ELECTRICAL SHEETS M4.01.
  - ELECTRICAL OUTLET CENTERLINES ARE 18" AFF UNO.
  - SPRINKLER HEADS ARE SHOWN ON A6 SERIES PLANS FOR AESTHETIC LAYOUT DESIGN INTENT ONLY. LAYOUT SHOWN HERE IS NOT AN ENGINEERED DESIGN SOLUTION. NOTIFY ARCHITECT IF LAYOUTS ON A6 PLANS MUST CHANGE TO MEET CODE REQUIREMENTS.

1 UPPER LEVEL RCP  
 SCALE: 1/4" = 1'-0"



AH2  
 ARO HOMES

Discipline:	WC
Drawn by:	WC
Product number:	AH2
Product version:	v1.1
Serial version:	
Revisions:	
2	08/30/2024 NTA REVISION 1.1
No.	Date By

NTA PERMIT SET  
 07/18/2024

UPPER LEVEL REFLECTED CEILING PLAN

A6.20

