

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** May 1, 2025

**TO:** Zoning Hearing Officer

**FROM:** Planning Staff

**SUBJECT:** Consideration of a Use Permit, pursuant to Section 6500 of the San Mateo County Zoning Regulations, to allow the construction of an attached 506 sq. ft. Accessory Dwelling Unit, located at 201 Magellan Avenue in the unincorporated Miramar area of San Mateo County.

County File Number: PLN2024-00280 (Hodge)

**PROPOSAL**

The applicant is seeking a Use Permit to allow for the construction of an attached 506 sq. ft. Accessory Dwelling Unit (ADU) to an existing non-conforming 2,193 sq. ft. single-family residence on a legal 10,800 sq. ft. parcel. The existing residence a partial two-story residence and the ADU is proposed to be constructed over the garage area which is a tall but single-story portion of the residence. The residence is also a legal non-conforming structure due to non-conforming left and right side yard setbacks. The Use Permit is required as the proposed ADU will have windows above 10-feet, proposed stairs to access the ADU will encroach into the required side yard setback resulting in a 1-foot setback where 10 feet is required, and because the project does not provide the required single-car off street parking space.

**RECOMMENDATION**

That the Zoning Hearing Officer approve the Use Permit, County File Number PLN2024-00280, by adopting the required findings and conditions of approval listed in Attachment A.

**BACKGROUND**

Report Prepared By: Angela Chavez, Senior Planner

Applicants/Owners: David and Hi-Jin Hodge

Public Notification: Ten-day advanced notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing posted in a newspaper (San Mateo County Times) of general public circulation.

Location: 201 Magellan Avenue, Miramar

APN: 048-016-010

Size: 10,800 sq. ft.

Existing Zoning: R-1/S-94/DR/CD (One-Family Residential/10,000 sq. ft. Minimum Parcel Size/ Design Review District/Coastal Development District)

General Plan Designation: Residential

Local Coastal Plan Designation: Medium-Low Density Residential

Sphere-of-Influence: Half Moon Bay

Existing Land Use: The property is currently developed with a single-family residence.

Water Supply: The property is served by an existing water connection provided by Coastside County Water District. The project has been reviewed and conditional approval of the project was issued.

Sewage Disposal: The property is served by an existing sewer connection provided by Granada Community Services District. The project has been reviewed and conditional approval of the project was issued.

Flood Zone: FEMA Flood Zone X (Area of Minimal Flood Hazard); Community Panel No. 06081C0252F, effective August 2, 2017.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Section 15303, Class 3(a), relating to the construction of an accessory dwelling unit in a residential zone.

Setting: The project parcel is developed with a two-story single-family residence. The parcel is located on Magellan Avenue, west of Cabrillo Highway, within the designated Cabrillo Highway State Scenic Corridor. The parcel is a "U" shaped parcel, with the middle portion of the "U" shape comprised of a single parcel owned by the Parks Department. The Parks Department parcel is part of the Mirada Surf County Park and provides access to the beach and California Coastal Trail and is developed with a restroom. Adjacent to and within the Mirada Surf property is an existing perennial creek surrounded by riparian habitat. The riparian habitat encroaches into the northeast corner of the project site and is protected by a recorded deed restriction. The area to the south of the project site is zoned residential and consists of a mix of residentially developed and undeveloped parcels.

The existing single-family residence was approved by the California Coastal Commission (CCC) in 2013. Given the project location (between the sea and the first through road) the proposed project requires a Coastal Development Permit (CDP). While County staff would generally process the required CDP, since the single-family residence was approved by the CCC, commission staff opted to take permit jurisdiction on the CDP required for the ADU. On November 14, 2024, the CCC approved an amendment to the approved CDP to allow the ADU as an immaterial change.

## **DISCUSSION**

### **A. KEY ISSUES**

#### **1. Conformance with General Plan**

##### **Visual Quality**

Policy 4.36 (*Urban Area Design Concept*) seeks to maintain the visual character of development in urban areas and ensure that new development is designed and constructed to contribute to the orderly and harmonious development of the locality.

The project proposes to construct an attached ADU over the existing garage area of a single-family dwelling. The ADU complies with the applicable development standards with the exception of the proposed access stairs, windows located above 10 feet, and the required off-street parking spaces, all of which are allowable with the approval of the subject Use Permit. The proposed project continues the design aesthetic of the main residence which was reviewed and found to be consistent with the applicable design review standards at the time of its construction. The proposed ADU is designed and located so that it does not exceed the height of the existing structure and minimizes disturbance of the overall parcel.

##### **Urban Land Use**

Policy 8.39 (*Height, Bulk and Setbacks*) calls for the regulation of height, bulk, and setback requirements in zoning districts to: (1) ensure that the size and scale of development is compatible with the parcel size, (2) provide sufficient light and air in and around structures, (3) ensure that development of permitted densities is feasible, and (4) ensure public health and safety.

The proposed second story ADU conforms to the maximum allowable height requirement set by the S-94 zoning district and is consistent with other two-story buildings found in the neighborhood. While the project is seeking relief from the required side yard setback for the access stairway, the proposed location is the only allowable area to place the stairs due to a deed restriction implemented by the CCC at the time of the construction of the

main residence. The proposed project conforms to the additional ADU regulations with the exception of the windows located above 10 feet (where the ADU does not meet the setbacks required for the main house) and the additional off-street parking space. The proposed windows are consistent with the design of the existing residence and given the unusual u-shape and semi-corner lot of the parcel do not result in privacy issues as the windows overlook Magellan Avenue on the right side and the neighboring County Parks owned property on the left side. Finally, while the subject property is within the mapped “ADU Parking Area- El Granada and Pillar Point” the waiver of providing the additional required off street parking space was determined to be infeasible for this parcel given that the majority of the existing driveway is located within the public right-of-way and the previously noted deed restriction that covers the majority of the parcel aside from the existing development footprint.

## 2. Conformance with Zoning Regulations

### a. Conformance with the S-94 District Development Standards

As shown in the table below the existing parcel and development is conforming, with the exception of the required side yard setbacks which was approved at the time of the original project construction. The development standards required for the construction of an ADU are discussed in Section 2.b. below:

|                                | <b>A</b>                 | <b>B</b>                                  | <b>C</b>                                      |
|--------------------------------|--------------------------|-------------------------------------------|-----------------------------------------------|
|                                | <b>S-94 Standards</b>    | <b>Existing</b>                           | <b>Proposed</b>                               |
| Minimum Lot Size               | 10,000 sq. ft.           | 10,800 sq. ft.                            | No Change                                     |
| Maximum Building Site Coverage | 30% or 3,240 sq. ft.     | 1,411 sq. ft.                             | 1,466.7 sq. ft.                               |
| Maximum Building Floor Area    | 53% or 5,724 sq. ft.     | 2,193 sq. ft.                             | 2,699 sq. ft.                                 |
| Minimum Front Setback          | 20 feet                  | 20 feet                                   | No Change                                     |
| Minimum Side Setback           | 10 feet                  | 5 feet -Left Side*<br>6 feet- Right Side* | No Change- Left Side<br>9 inches -Right Side* |
| Maximum Height                 | 28 feet                  | 28 feet                                   | 22 feet 11.5 inches                           |
| Parking Spaces                 | 2 covered<br>1 uncovered | 2 covered                                 | No Change*                                    |

\*Indicates a Non-Conformity to the required standard

b. Accessory Dwelling Unit Regulations

Section 6439.5 of the Zoning Regulations provides the development standards for all accessory dwelling units. The proposed attached ADU complies with the development standards (for second dwelling units) as they pertain to height, floor area, lot coverage, stepbacks, and setbacks (front, rear, and left side yards).

While the ADU regulations do provide for some relief from the stricter provisions for setbacks required by the S-94 zoning district standards by requiring a 4-foot side yard setback (Section 6439.5.4.b.) given the deed restriction the only non-encumbered area of the parcel is the area immediately adjacent to the residence in the side yard. Therefore, the proposed stairs to access the ADU will result in a 9-inch setback where 4-feet is required.

The ADU regulations also limit window placement for ADUs that do not meet the setback requirements that would apply to a primary residence in the same district. Specifically, the regulations disallow windows located above or extending above 10 feet on the accessory dwelling unit, measured from finished grade, except on: (1) the side(s) of the accessory dwelling unit facing the primary residence, and (2) the side(s) of the accessory dwelling unit that comply with the normal setback requirements of the district. As discussed previously, the existing residence is a legal non-conforming structure as it does not confirm the required 10-foot side yard setbacks required by the S-94 zoning district. However, the subject parcel is unique in its shape and location so that the proposed non-conforming windows will overlook the neighboring County Parks owned parcel and Magellan Avenue.

Finally, the ADU regulations provide specific parking requirements for mapped areas defined under LCP Map 3.2 ADU Parking Areas - El Granada and Moss Beach, which includes the Miramar area. The subject parcel falls within this mapped area and therefore requires at least one off-street parking space for the ADU, and all off-street parking requirements associated with other residential uses at the site shall be met onsite. The existing residence is developed with an attached two-car garage but is unable to provide the additional onsite parking space. While there is an existing driveway it is located within a largely undeveloped portion of the public right-of-way along Magellan

Avenue. Given the recorded deed restriction there is no alternative onsite area to provide an onsite parking space.

Section 6439.11 of the Zoning Regulations provides relief for ADUs that do not meet all applicable standards of the chapter may be conditionally permitted, subject to the issuance of a conditional use permit.

3. Conformance with Use Permit Findings

As noted above, Section 6439.11 of the ADU regulations allows for relief from the applicable standards of the chapter with the issuance of a conditional use permit.

The following finding, as required by Section 6503, must be made in order to approve a use permit for the proposed project:

- a. **The establishment, maintenance and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.**

The subject property is located within the coastal zone and a Coastal Development Permit Amendment was reviewed and approved by the California Coastal Commission. The project has been reviewed by and received conditional approvals from the Building Inspection Section, Coastside Fire Protection District, Coastside County Water District, and Granada Community Services District. The proposed largely ADU conforms to the regulations currently in effect and given the site constraints results in only minor exceptions. The project is limited to the subject parcel and avoids sensitive habitats and visual impacts by locating above the existing garage area and keeping the height below the existing structure. The project does not involve any significant grading or tree removal but does include minor landscaping in accordance with the approved Coastal Development Permit amendment. Therefore, as proposed and conditioned the ADU will not be detrimental to the public welfare or be injurious to property or improvements in the neighborhood.

B. MIDCOAST COMMUNITY COUNCIL

The proposed project was referred to the Midcoast Community Council (MCC). The MCC noted that this particular structure is highly visible and in the middle of a number of public access sites. Given this, the MCC expressed that allowing the construction of an ADU that further intrudes into this milieu is ill-advised.

Staff's Response: Magellan Avenue is one of the two access roads which serve the northern portion of Miramar. Therefore, the subject residence and neighboring structures are visible from public viewpoints. However, the proposed ADU's location over the garage and within the existing footprint results in an addition that is approximately 5 feet lower than the highest point of the existing residence and avoids any significant ground disturbance. Given its design and placement, the ADU minimizes impacts to and from these viewpoints.

C. ENVIRONMENTAL REVIEW

The project is categorically exempt from environmental review under Section 15301, Class 1, of the California Environmental Quality Act (CEQA) which allows for additions to existing structures.

D. REVIEWING AGENCIES

Building Inspection Section  
Coastside Fire Protection District  
Coastside County Water District  
Granada Community Services District  
Drainage Section  
Department of Public Works

**ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plans
- D. California Coastal Commission- Coastal Development Permit Approval Letter

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN2024-00280

Hearing Date: May 1, 2025

Prepared By: Angela Chavez,  
Senior Planner

For Adoption By: Zoning Hearing Officer

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. That this project is exempt from CEQA, under Section 15301 (Class 1) of the CEQA Guidelines, regarding minor additions to existing structures.

Regarding the Use Permit, Find:

2. That the establishment, maintenance, and/or conducting of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said the neighborhood. As proposed and conditioned, the proposed project will be contained entirely on the subject property and is designed to remain consistent with the existing development on the parcel and within the neighborhood. The proposed project does not pose a detriment to public welfare or neighboring properties. The project will have no impact on coastal resources, as determined by the California Coastal Commission's review and approval of the associated Coastal Development Permit amendment.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on May 1, 2025. Minor revisions or modifications may be approved by the Director of Planning and Building if they are consistent with the intent of and in substantial conformance with this approval.

2. This Use Permit shall be for the proposed project only. Any change in use or intensity of use shall require an amendment to the Use Permit. Amendments to this Use Permit require an application for amendment, payment of applicable fees, and consideration at a public hearing.
3. The Use Permit final approval shall be valid for one year from the date of approval, in which time a building permit shall be issued. If a building permit has not been issued within this time period, the Use Permit approval will expire. The Director of Planning and Building will consider an extension of this approval upon written request and payment of the applicable fees 60 days prior to the permits' expiration.
4. Prior to the issuance of the building permit the applicant shall submit an erosion and sediment control plan which includes construction staging (i.e., location of material storage, portable toilet, concrete wash-out, path of travel, etc.) for review and approval by the Current Planning Section.
5. Prior to beginning any construction activities, the applicant shall implement the approved erosion and sediment control plan, which shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo Countywide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:
  - a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of hay bales or coir netting, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
  - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
  - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
  - d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
  - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.

- f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses.
  - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
  - h. Performing clearing and earth-moving activities only during dry weather.
  - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
  - j. Limiting construction access routes and stabilizing designated access points.
  - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
  - l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction Best Management Practices including, but not limited to, those listed above.
  - m. Additional Best Management Practices, in addition to those shown on the plans, may be required by the building inspector to maintain effective stormwater management during construction activities and for post-construction site stabilization. Any water leaving the site shall be clear and running slowly at all times.
6. This permit does not allow for the removal of any trees. Any tree removal will require a separate permitting process.
7. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo Ordinance Code Section 4.88.360).

#### Building Inspection Section

8. A building permit is required for this project.
9. The applicant shall comply with all Building Inspection Section requirements at the building permit stage.

### Coastside County Water District

10. The applicant shall comply with all Coastside County Water District requirements at the building permit stage.

### Coastside Fire Protection District

11. The applicant shall comply with all Coastside Fire Protection District requirements at the building permit stage.
12. OSFM IB 21-005 - New junior accessory dwelling units and accessory dwelling units shall have setback of a minimum of four feet. No setback is required for existing buildings that are converted into accessory dwelling units when they are located within the same dimensions.
13. OSFM IB 21-005 - Senate Bill 1069 adds the following exception for automatic residential fire sprinkler systems if all the following conditions exist:
  - a. The unit meets the definition of an Accessory Dwelling Unit in the Government Code (section 65852.2).
  - b. The existing primary residence is not required to have an automatic residential sprinkler system.
  - c. The detached accessory dwelling unit does not exceed 1,200 sq. ft. in size.
  - d. The unit is on the same lot as the primary residence.
14. CFC 2022 Section 505.1 [Amended] - New residential buildings shall have internally illuminated address numbers contrasting with the background so as to be seen from the public way fronting the building. Residential address numbers shall be at least six feet above the finished surface. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire Protection District. This remote signage shall consist of a 6-inch by 18-inch green reflective metal sign with 4-inch reflective numbers and letters similar to Hy-Ko 911 or equivalent.
15. CFC 2022 Section 507.5.1 - Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official.

Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).

16. CBC 2022 Section 705A.1 - Roofs shall comply with the requirements of Chapter 7A and Chapter 15. Roofs shall have a roofing assembly installed in accordance with its listing and the manufacturer's installation instructions. Roof assemblies in the Fire Hazard Severity Zones shall be Class A rating when tested in accordance with ASTM E108 or UL790.

#### Granada Community Services District

17. The applicant shall comply with all Granada Community Services District requirements at the building permit stage.

#### Drainage Section

18. DRA 1. Advisory Comment: Based on the information received, this project appears to be exempt from a drainage review during the planning permit submittal. It is possible that new or additional information provided upon the building permit submittal could advance the project classification. To avoid delays or additional plan review cycles, please reference the San Mateo County Drainage Manual (SMCDM) online at: <https://planning.smcgov.org/drainage-manual>.
19. DRA 2. Advisory Comment: Project will comply with County drainage policy to prevent stormwater from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the Building permit or Planning permit for new residential development, the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
20. DRA 3. Advisory Comment: The project parcel is near a FEMA flood zone. At the time of the review, the project site is not in a FEMA flood zone. During the building permit phase, if the FEMA flood maps get updated where they show the project site is in a FEMA flood zone, then the project will be subject to FEMA regulations and must comply with FEMA standards in the building code and ASCE 24.

21. DRA 4. Advisory Comment: During the building permit submittal, if project is no longer exempted from a drainage review, a final C.3 and C.6 Development Review Checklist, a final drainage plan, and a drainage analysis/drainage report/prescriptive sizing handout will be provided.



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT      B**



0.04 0 0.02 0.04 Miles

WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
© Latitude Geographics Group Ltd.

1:1,128



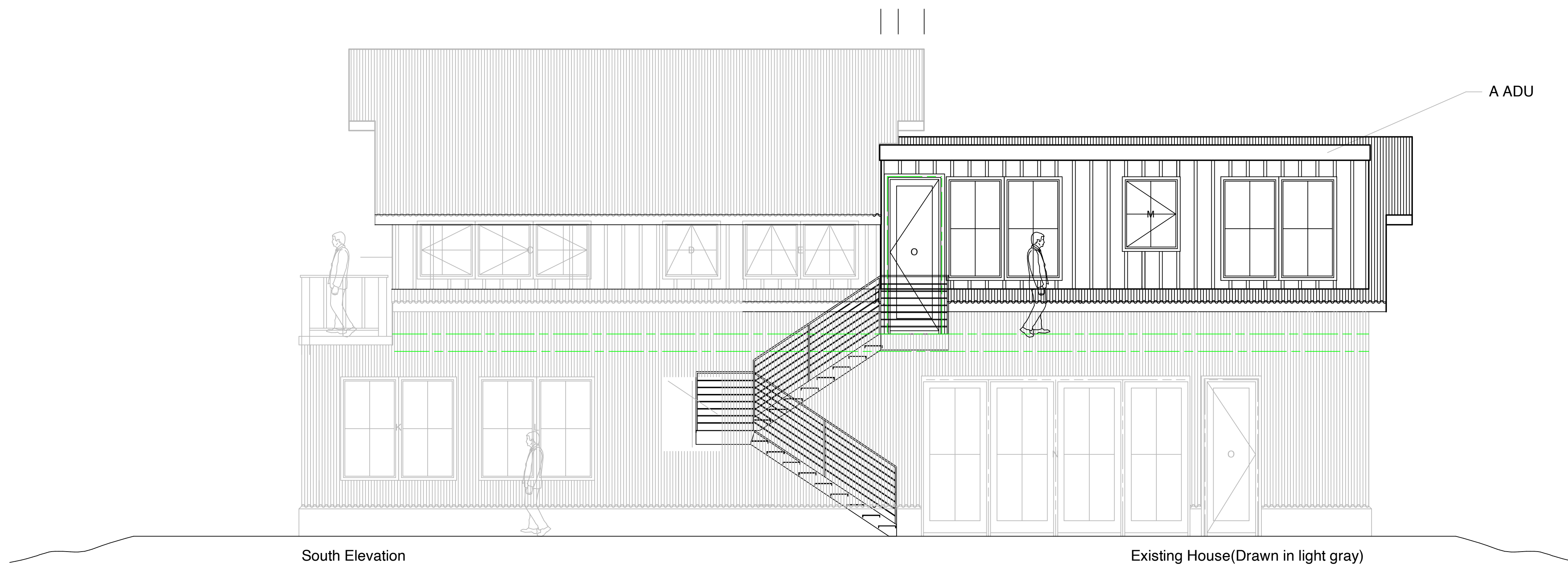
This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

# **ATTACHMENT C**



- a.) The Codes applicable to the work proposed (e.g. 2013 CBC, CRC, CEC, CMA, CPC, and California Building Energy Standards.
- b.) The Occupancy classifications and type of construction in accordance with building codes. (e.g. Occupancy group: R3 and U; and type of Construction : Type VB

#### Sheet Index:

- Cover Sheet
- SU -1 Boundry and Topographic Survey
- C2 Construction best managment practices (BMPs)
- A-1 Location map and size calculations
- A-2 Placement - Setbacks - Fencing
- A-3 First floor plan
- A-4 North Elevation
- A-5 East / West Elevation(s)
- A-6 South Elevation
- A-7 Roof Plan South Elevation
- A-8 Interior Section
- A-9 Window and door schedule
- A-10 Interior Elevations
- E-11Electrical Plan
- L-1 Planting Plan
- L-2 Irrigation Plan
- CG-1 Calgreen Checklist
- CG-2 Calgreen Checklist
- T24.1 Title 24 energy compliance
- T24.2 Title 24 energy compliance
- STD1
- STD2
- STD3
- S1
- S2

# 201 MAGELLAN AVENUE A-ADU ADDITION - REVISION

201 Magerllan Avenue (corner of Alameda)  
Half Moon Bay, CA 94019

Parcel No. 048-016-010

revised - 11.20.2024

Contact David or Hi-Jin Hodge

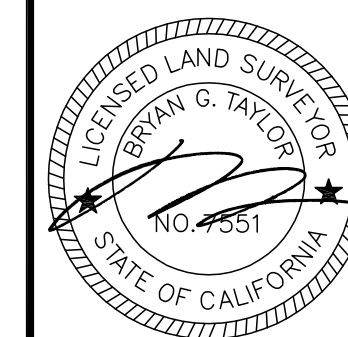
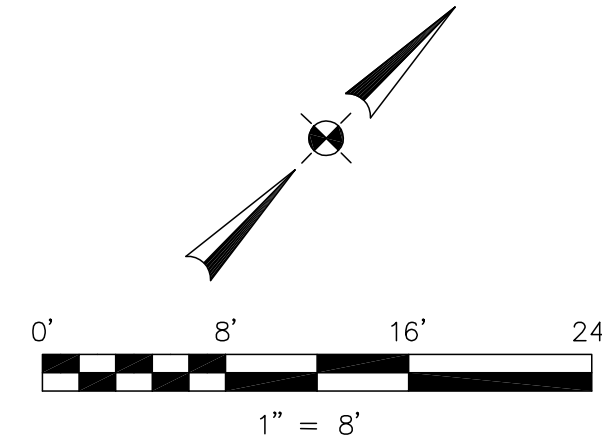
201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550 phone

david@hodgearts.com

LANDS OF THE COUNTY OF SAN MATEO

FOUND 3/4" IP WITH SAN MATEO  
PLASTIC PLUG AND TACK



**BASIS OF BEARINGS**

THE BEARING, SOUTH 45°45'00" WEST, OF THE MONUMENT LINE OF MEDIO AVENUE, AS SHOWN ON THAT CERTAIN PARCEL MAP BY JOSEPH R. BENNIE, WHICH WAS FILED FOR RECORD IN BOOK 72 OF PARCEL MAPS PAGE 92 ON JUNE 26, 2000, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 1929 DATUM ("MEAN SEA LEVEL"). TBM TO USE FOR SITEWORK IS THE CENTER OF THE SEWER MANHOLE WITH AN ELEVATION OF 21.14 FEET.

**NOTES:**

BGT RELIED UPON A LAWYERS TITLE PRELIMINARY TITLE REPORT, ORDER NO. 0052001063, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: MARCH 22, 2021  
JOB NUMBER: 05-107

RIPIARIAN DATA PROVIDED BY: SOL ECOLOGY soleecology.com

BOOK 3 MAPS 95  
BLOCK 2

**LEGEND**

AC ASPHALT CONCRETE  
CB CATCH BASIN  
CO CLEAN OUT BOX  
EV ELECTRIC VAULT  
FF FINISHED FLOOR  
FL FLOWLINE  
FH FIRE HYDRANT  
GV GAS VALVE  
IP IRON PIPE  
JP JOINT POLE  
MON-MON MONUMENT TO MONUMENT DISTANCE  
PGE PG&E VALULT  
SDMH STORM DRAIN MANHOLE  
SSMH SANITARY SEWER MANHOLE  
SSV SANITARY SEWER VAULT  
WM WATER METER BOX  
WV WATER VALVE

APN 048-016-010

10,800 SQ. FT.

BOUNDARY AND TOPOGRAPHIC SURVEY - SIT E PLAN

LOT 1, 2, AND 3, BLOCK 2, "SHORE ACRES" (BOOK 3 MAPS 95)

201 MAGELLAN AVENUE

MIRAMAR, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:  
048-016-010

Prepared For:  
HODGE PROPERTY

Date: JANUARY, 2024  
Scale: 1" = 8'  
Contour Interval: 1'  
Drawn by: LHL  
Revisions: JAN, 2022

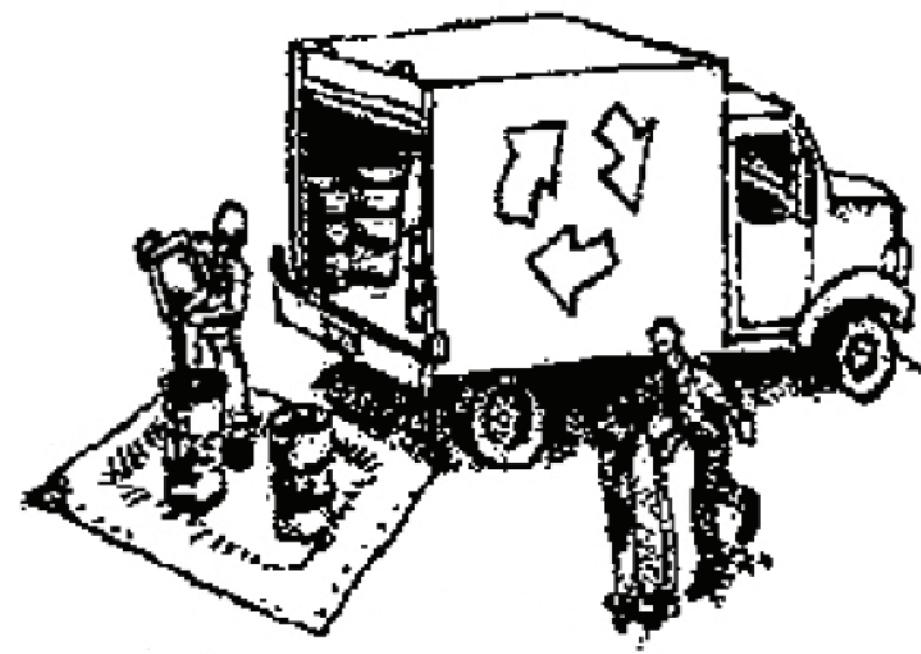
SU-1

Job No. 05-107

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☒ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ☒ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☒ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☒ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☒ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☒ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ☒ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☒ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



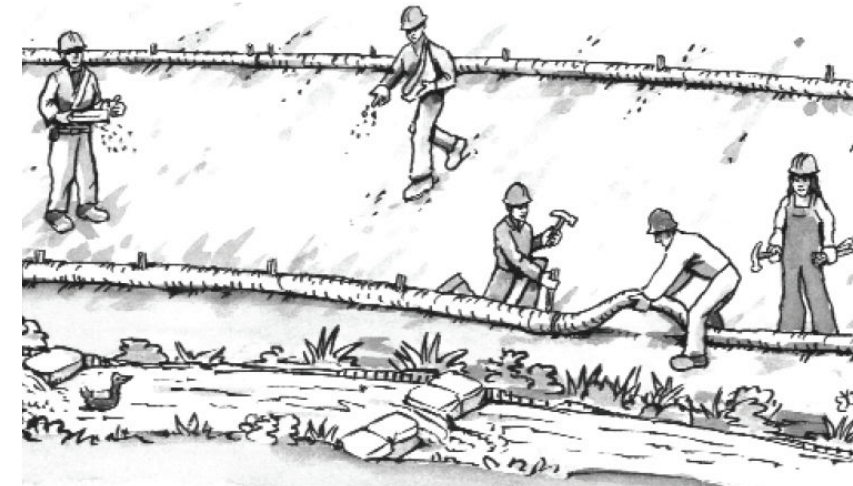
### Maintenance and Parking

- ☐ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ☒ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☒ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☒ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ☒ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ☒ Schedule grading and excavation work during dry weather.
- ☒ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☒ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☒ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ☒ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☒ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☒ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



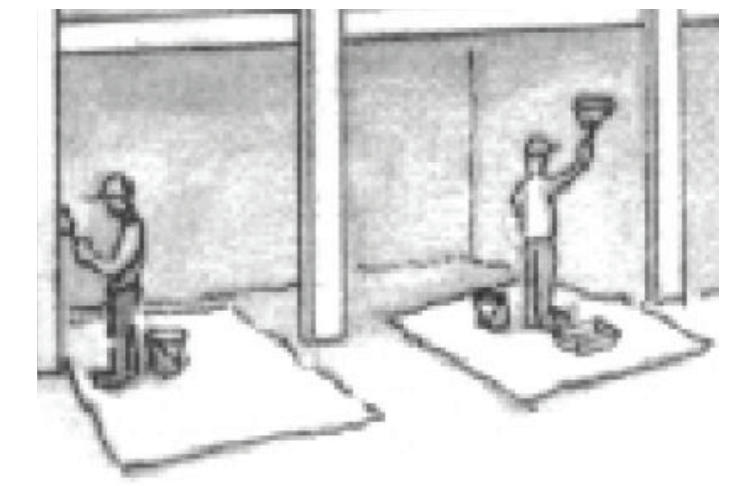
- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☒ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☒ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

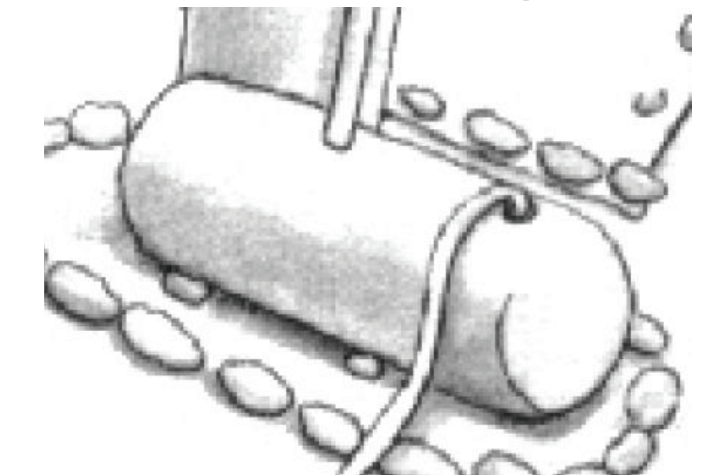
## Painting & Paint Removal



### Painting Cleanup and Removal

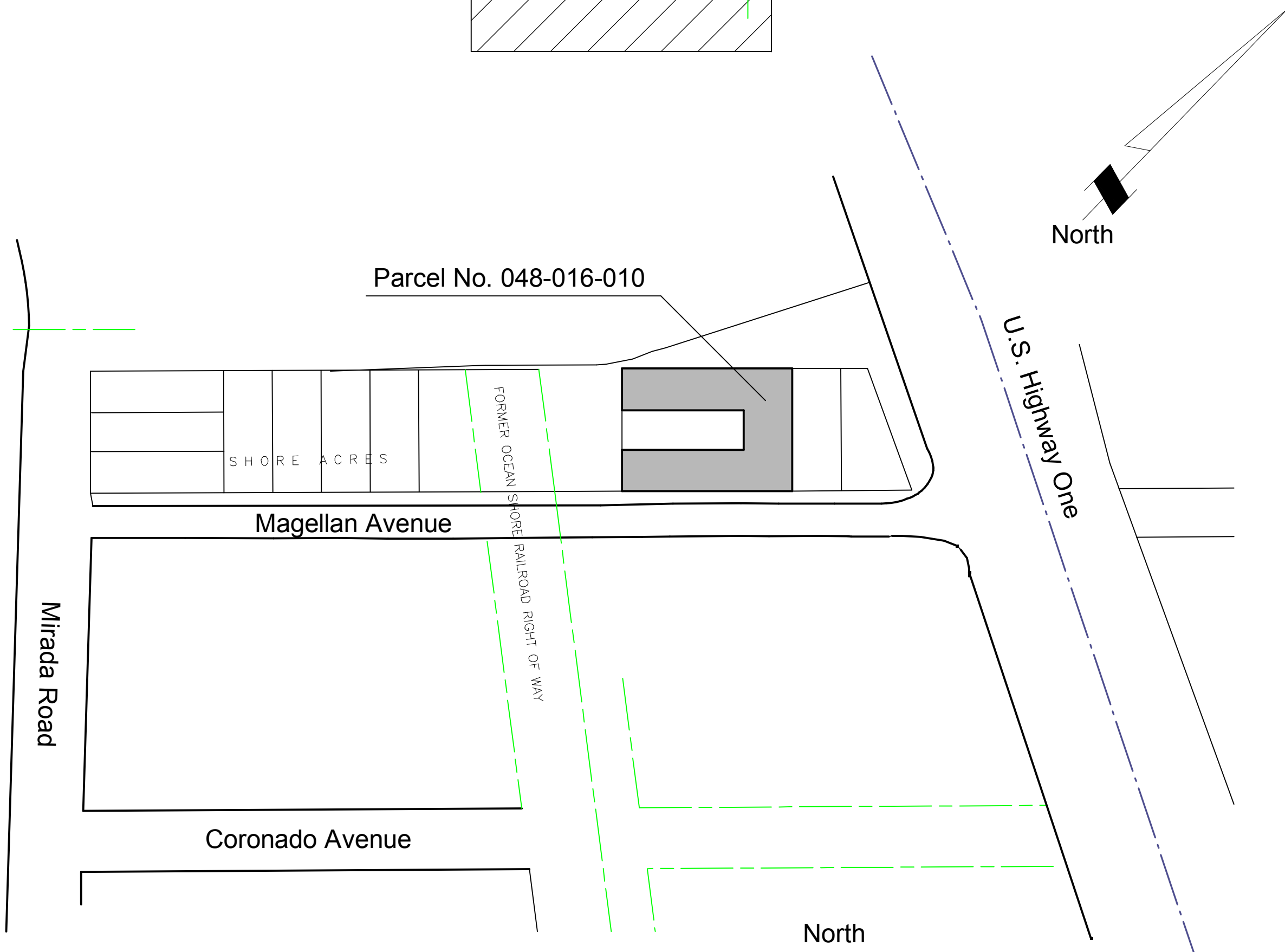
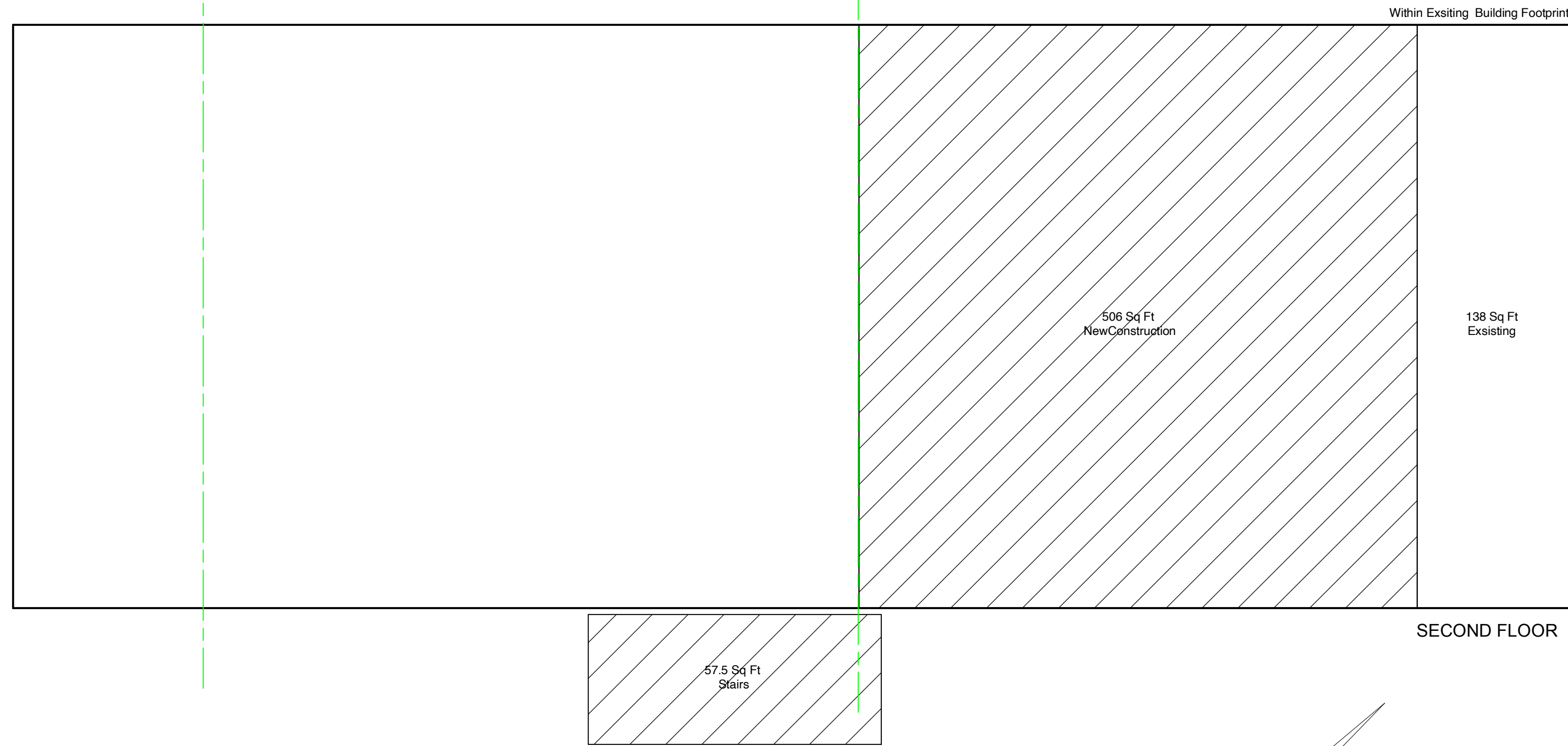
- ☒ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☒ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



|                          |                       |
|--------------------------|-----------------------|
| <b>Lot Coverage</b>      |                       |
| House (including garage) | 1,411.0 sq ft         |
| A-ADU                    | 0.0 sq ft             |
| Exterior Stair           | 55.7 sq ft            |
| <hr/>                    |                       |
| Total floor area         | 1,466.7 sq ft (13.6%) |

|                |                |
|----------------|----------------|
| Lot Area       | 10,800.0 sq ft |
| Lot coverage % | 13.6%          |

|                              |               |
|------------------------------|---------------|
| <b>Floor Area</b>            |               |
| 1st Floor (including garage) | 1,411.0 sq ft |
| 2nd Floor                    | 782.0 sq ft   |
| New Construction AADU        | 506.0 sq ft   |

|                  |               |
|------------------|---------------|
| Total floor area | 2,699.0 sq ft |
| Floor area %     | 25.0%         |

HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

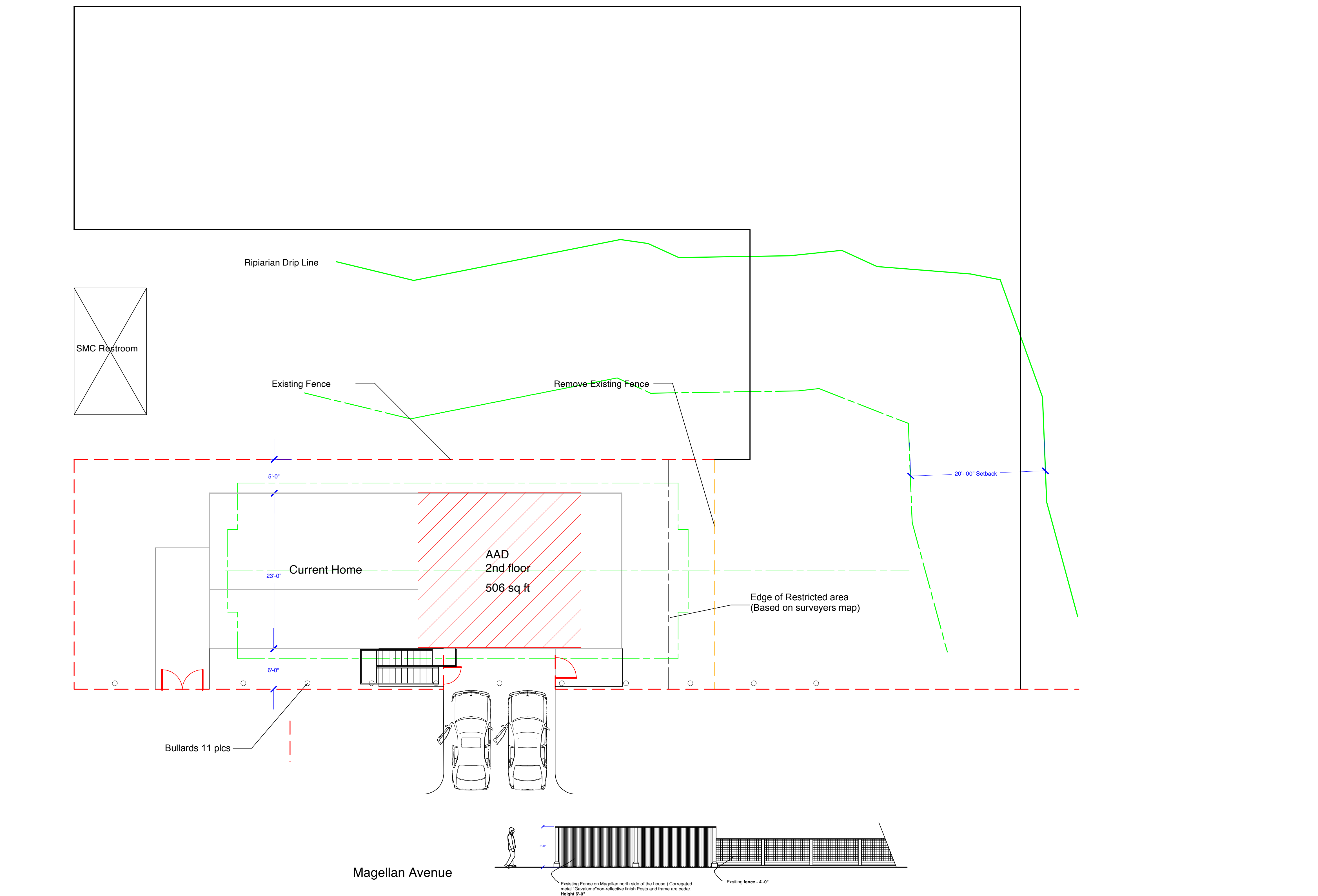
Parcel No. 048-016-010

Sheet Number

A -1

scale: not to scale

Location Map / Size  
Calculations  
Revised 11/05/24



HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

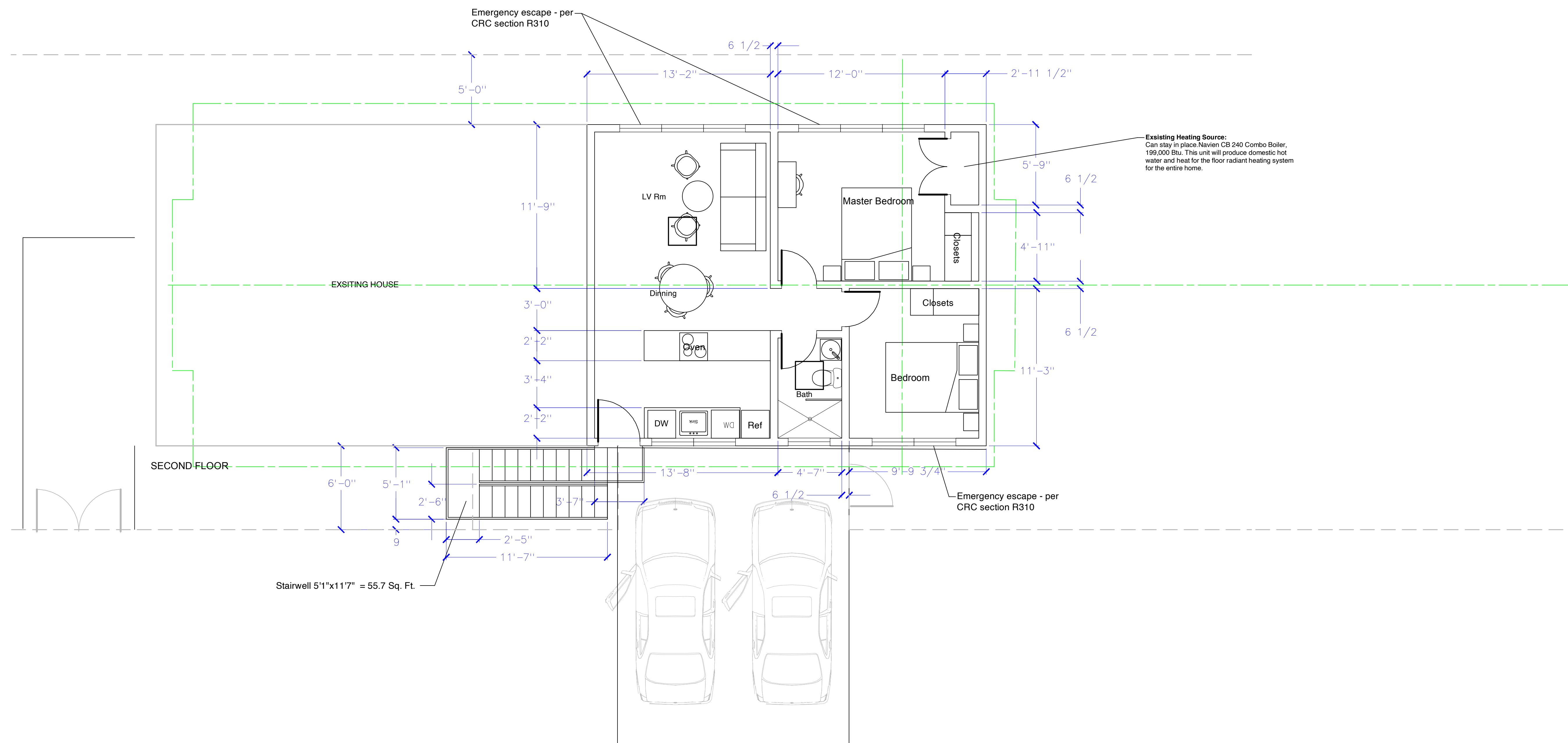
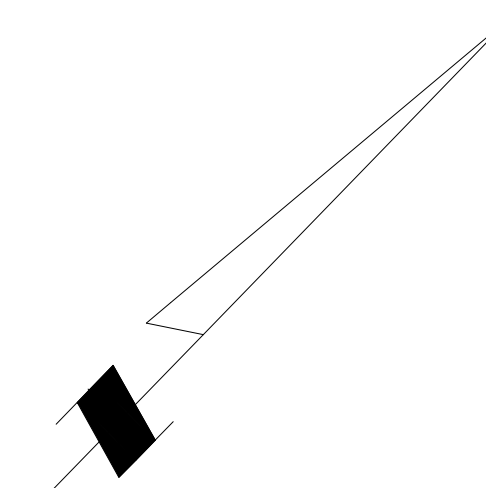
Parcel No. 048-016-010

Sheet Number

**A -2**

scale: 1/8" = 1'-0"

Placement, Setbacks, Fencing  
04/01/21  
Revised 11.05.2024



**HODGE ARTS**

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

**201 Magellan Avenue A-ADU Addition**

Parcel No. 048-016-010

Sheet Number

**A-3**

scale: 1/4"=1'-0"

Second Floor Plan

04.01.2021

Revised 11/05/2024

1. Smoke Alarm which are hard wired: As per the California Building Code, and State Fire Marshal regulations, the applicant is required to install State Fire Marshal approved and listed smoke detectors which are hard wired, interconnected, and have battery backup. These detectors are required to be placed in each new and recondition sleeping room and at a point centrally located in the corridor or area giving access to each separate sleeping area. In existing sleeping rooms, areas may have battery powered smoke alarms. A minimum of one detector shall be placed on each floor. Smoke detectors shall be tested and approved prior to the building final. Date of installation must be added to exterior of the smoke alarm and will be checked at final.
2. Escape or rescue windows shall have a minimum net clear openable area of 5.7 square feet, 5.0 sq. ft. allowed at grade. The minimum net clear openable height dimension shall be 24 inches. The net clear openable width dimension shall be 20 inches. Finished sill height shall be not more than 44 inches above the finished floor. (2019 CFC 1030.2).
3. Identify rescue windows in each bedroom and verify that they meet all requirements. Add this to plans.
4. As per Coastside Fire District Standard CI-013, building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address signs shall be 4 inches in height with a minimum 1/2-inch stroke. Such letters/numerals shall be internally illuminated and facing the direction of access. Residential address numbers shall be at least six feet above the finished surface of the driveway. Where buildings are located remotely to the public roadway, additional signage at the driveway/roadway entrance leading to the building and/or on each individual building shall be required by the Coastside Fire District. This remote signage shall consist of a 6 inch by 18-inch green reflective metal sign with 3-inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent shall be placed at the entrance from the nearest public roadway.
5. ADU using the same street address numbers, shall have suite or unit identification posted as required by the Coastside Fire Protection District.
6. ADU for rear addressing – When required by the Chief, approved numbers or addresses shall be placed on all new and existing buildings in such a position as to be plainly visible and legible from the fire apparatus road at the back of the property. Number stroke and size will comply with Section 505.1 for residential buildings.

7. As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
8. Vegetation Management (LRA) – Add note to plans: The Coastside Fire District Ordinance 2019-03, the 2016 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
9. A Knox padlock or key switch will be required if there is limited access to property. CFC 506.1. For application and instructions please email [clpdfiremarshal@fire.ca.gov](mailto:clpdfiremarshal@fire.ca.gov) if you need further assistance please contact Coastside Fire Protection District at 650-726-5213.
10. IF ADU MEETS ALL THE REQUIREMENTS FOR ADU THEN FIRE SPRINKLERS ARE NOT REQUIRED, see ADU standard to see if it qualifies. Automatic Fire Sprinkler System: (Fire Sprinkler plans will require a separate permit). As per San Mateo County Building Standards and Coastside Fire District Ordinance Number 2019-01, the applicant is required to install an automatic fire sprinkler system throughout the proposed or improved dwelling and garage. All attic access locations will be provided with a pilot head on a metal upright. Sprinkler coverage shall be provided throughout the residence to include all bathrooms, garages, and any area used for storage. The only exception is small linen closets less than 24 square feet with full depth shelving. The plans for this system must be submitted to the San Mateo County Planning and Building Division or The City of HMB. A building permit will not be issued until plans are received, reviewed and approved. Upon submission of plans, the County or City will forward a complete set to the Coastside Fire District for review.
11. Installation of underground sprinkler pipe shall be flushed and visually inspected by Fire District prior to hook-up to riser. Any soldered fittings must be pressure tested with trench open. Please call Coastside Fire District to schedule an inspection. Fees shall be paid prior to plan review.
12. Exterior bell and interior horn/strobe: are required to be wired into the required flow switch on your fire sprinkler system. The bell, horn/strobe and flow switch, along with the garage door opener are to be wired into a separate circuit breaker at the main electrical panel and labeled.
13. Building will be protected by an automatic fire sprinkler system.

Corrugated metal roof and two sides of the house as drawn w/"Gavalume" non-reflective finish

West and South Elevations are Cedar Batt & Board

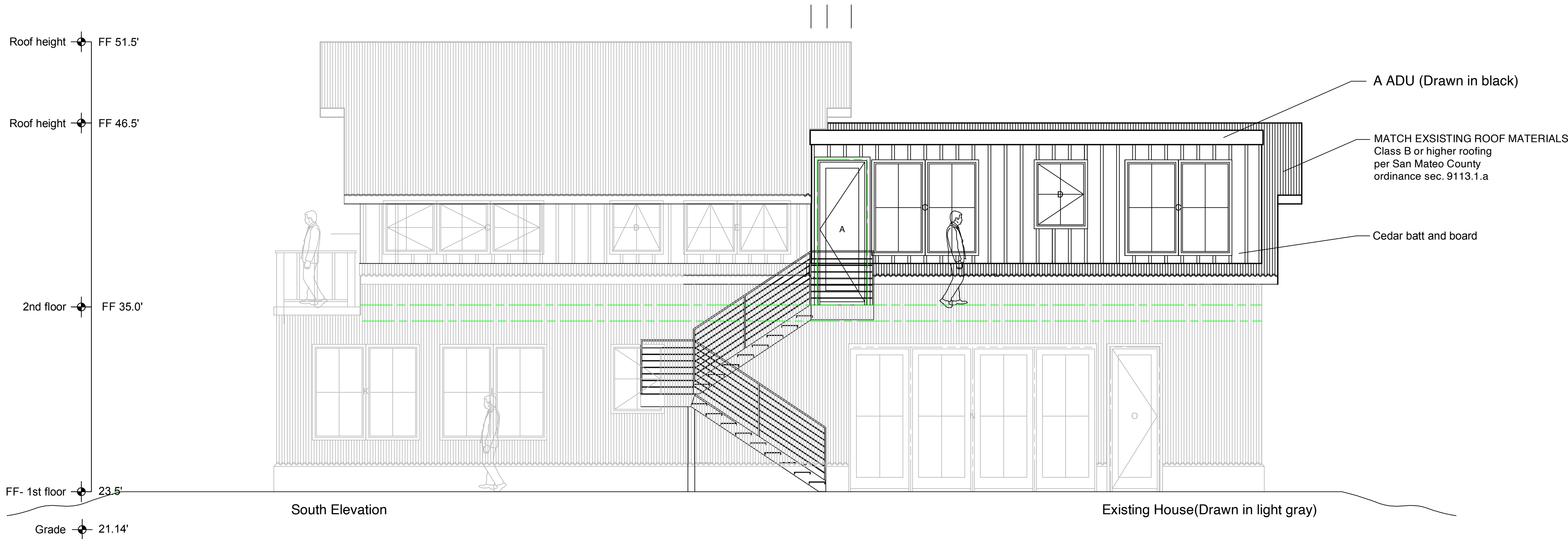
All trellis parts and related trim, railings, and fence posts will be western red cedar.

1x 2 window and door trim( typ) on areas that are wood sided

Windows are casement or single hung sash  
Exterior Door is french style

All exterior doors and windows are Anderson -  
Except Bathroom are Marvin)

Rain Gutters and downspouts to match existing house



HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
[david@hodgearts.com](mailto:david@hodgearts.com)

201 Magellan Avenue A-ADU Addition

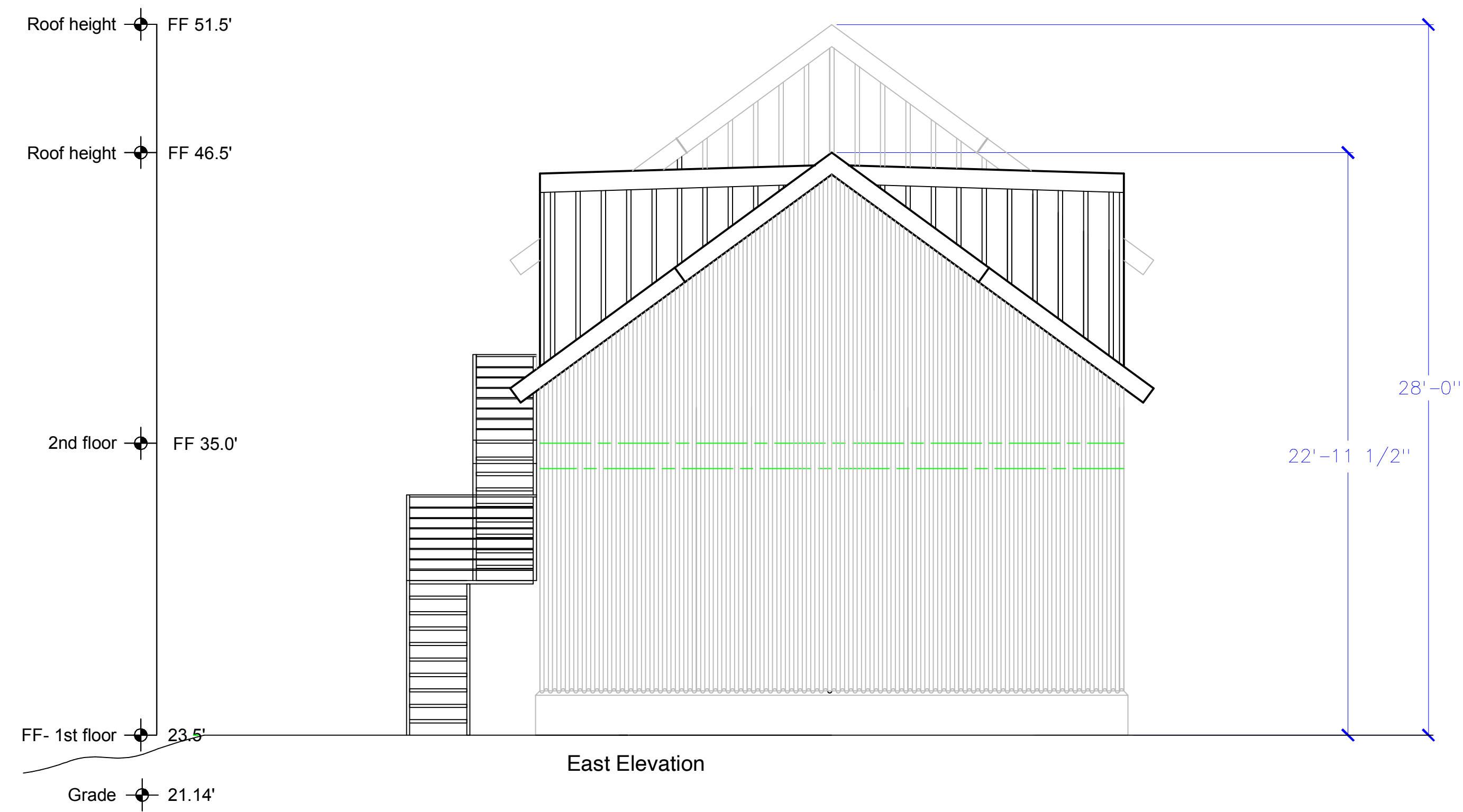
Parcel No. 048-016-010

Sheet Number

A-4

scale: 1/4"=1'-0"

South Elevation  
04.01.2021  
Revised 11/20/2024



**HODGE ARTS**

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

**201 Magellan Avenue A-ADU Addition**

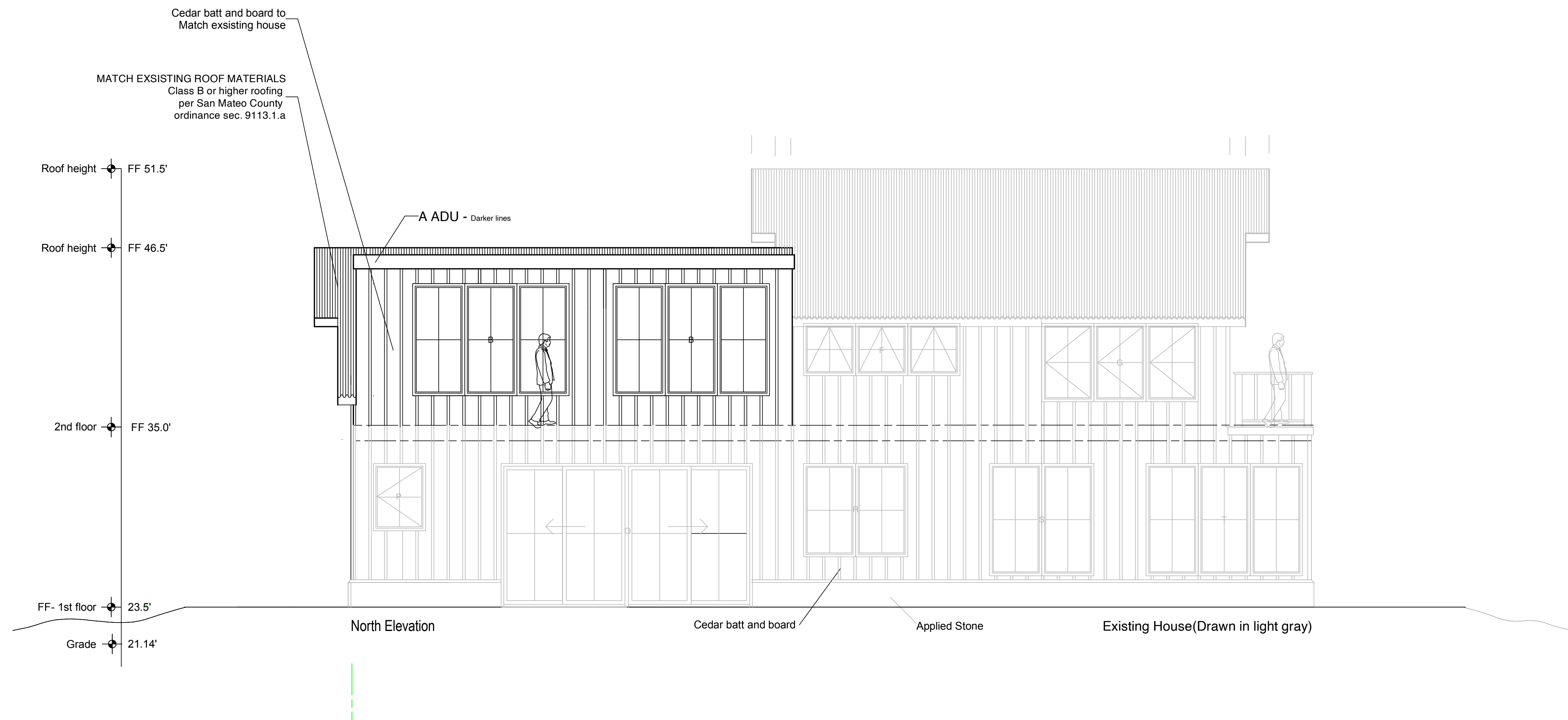
Parcel No. 048-016-010

Sheet Number

**A-5**

scale: 1/4"=1'-0"

East - Elevations  
04.01.2021  
Revised 11/05/2024



HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

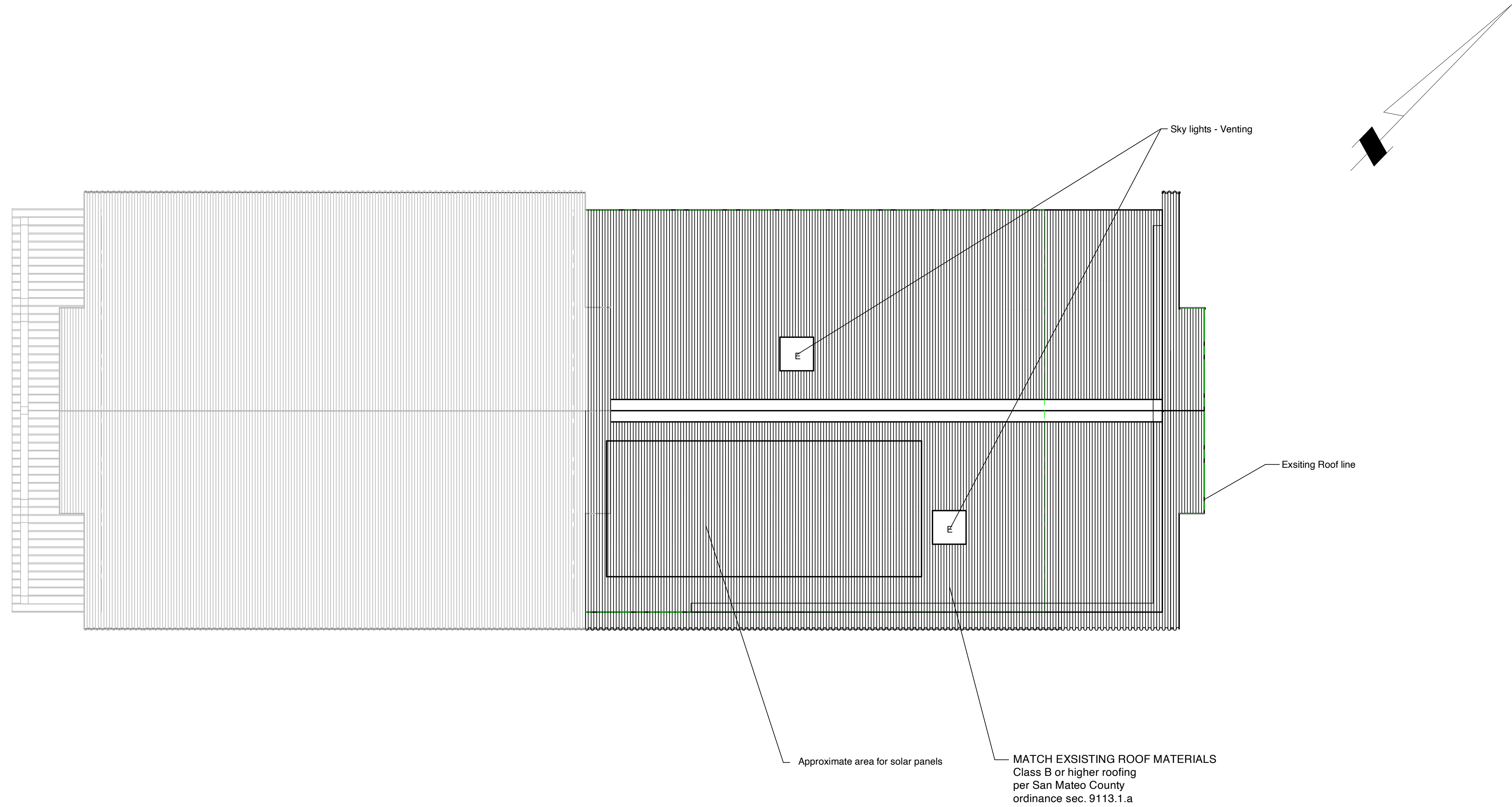
Parcel No. 048-016-010

Sheet Number

**A-6**

scale: 1/4"=1'-0"

North Elevation  
4/01/21  
Revised 11/20/2024



Corrugated metal roof w/"Gavalume"non-reflective finish  
Rain Gutters and downspouts to match exsiting house

HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

Parcel No. 048-016-010

Sheet Number

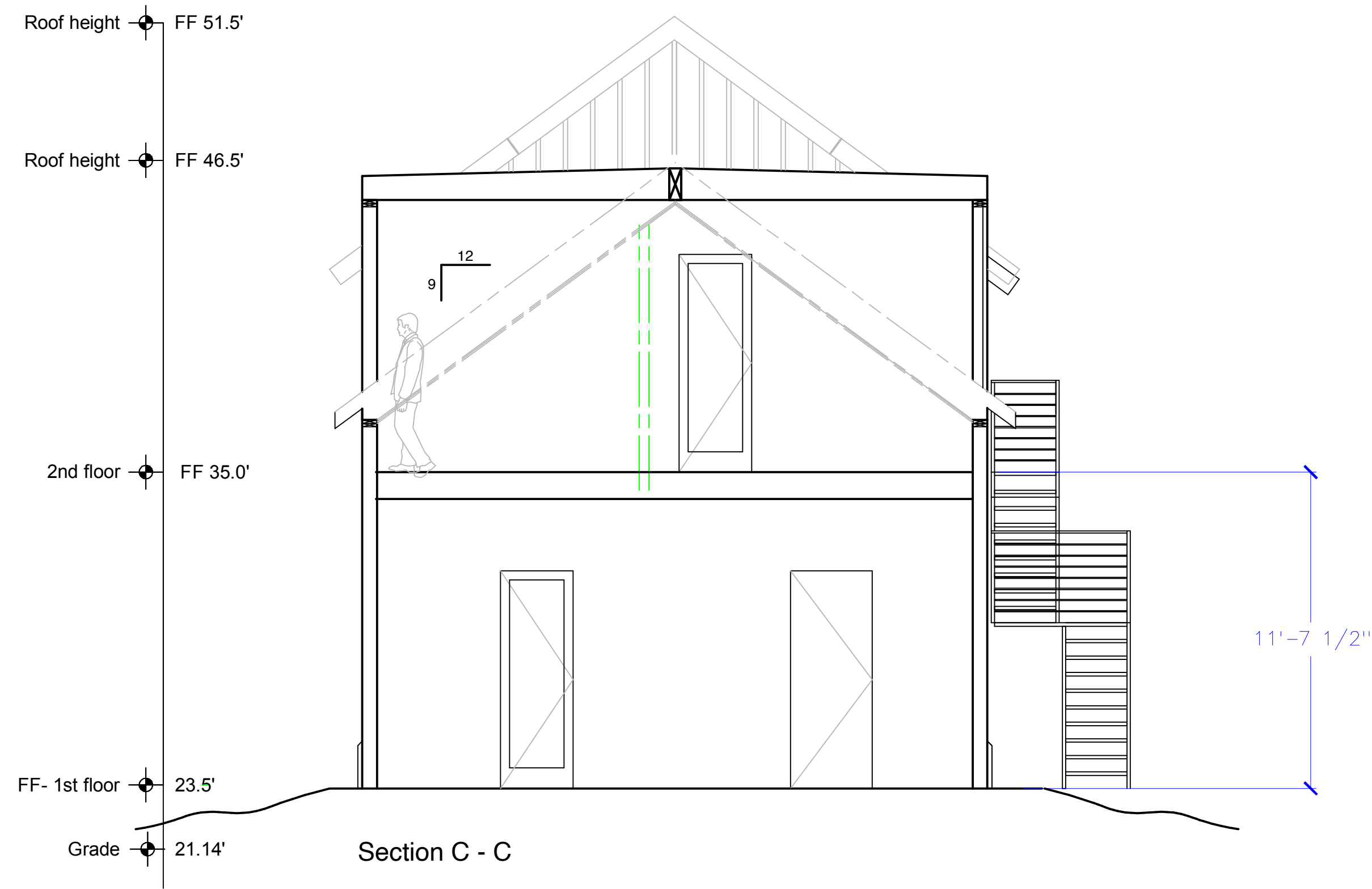
**A-7**

scale: 1/4"=1'-0"

Roof Plan

4/01/21

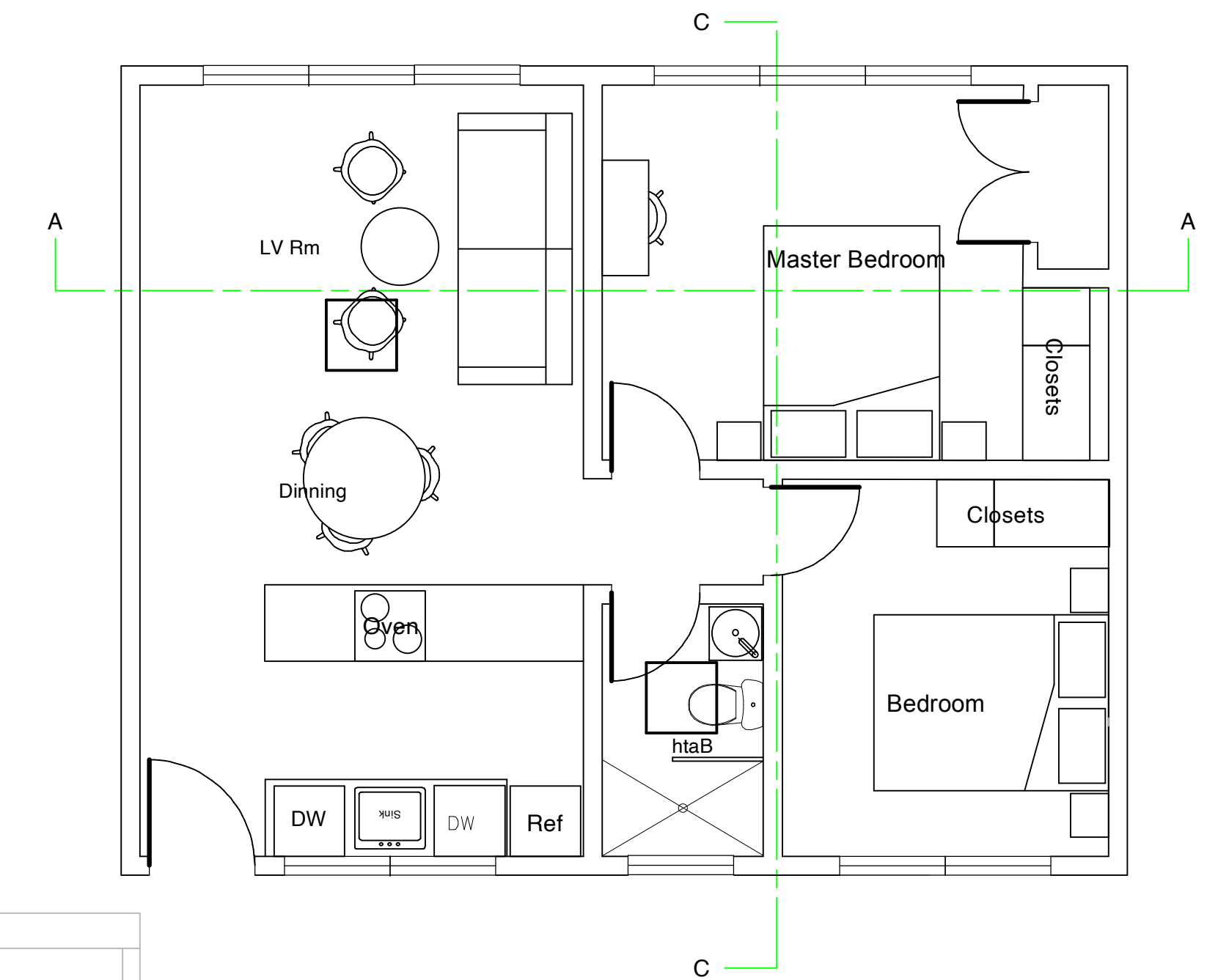
Revised 11.05.2024



Section C - C



Section A - A



HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

Parcel No. 048-016-010

Sheet Number

A-8

scale: 1/4"=1'-0"

Interior Sections  
4/01/21  
Revised 11.05.2024

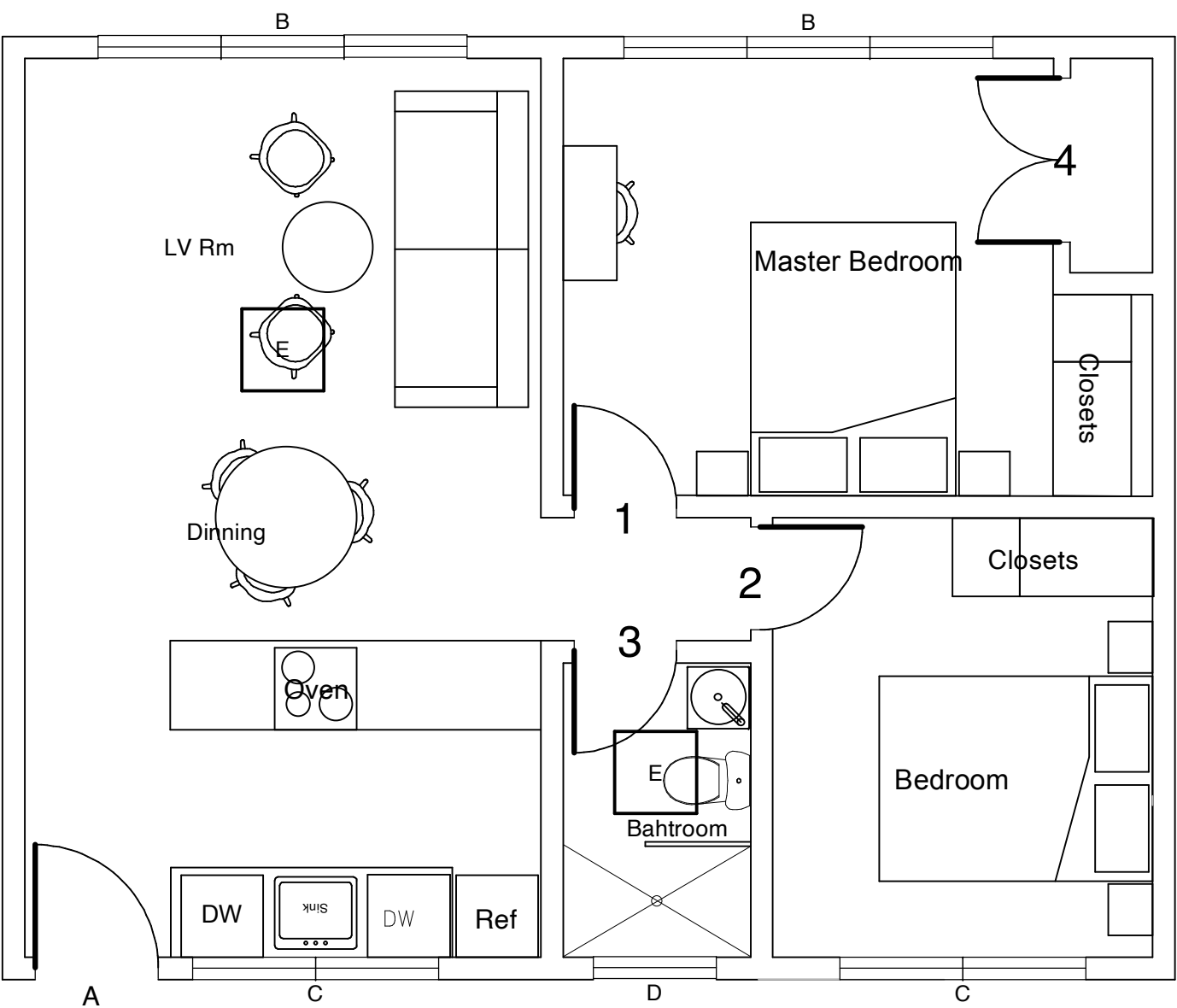
All windows are casement

Doors and windows are Marvin & Anderson

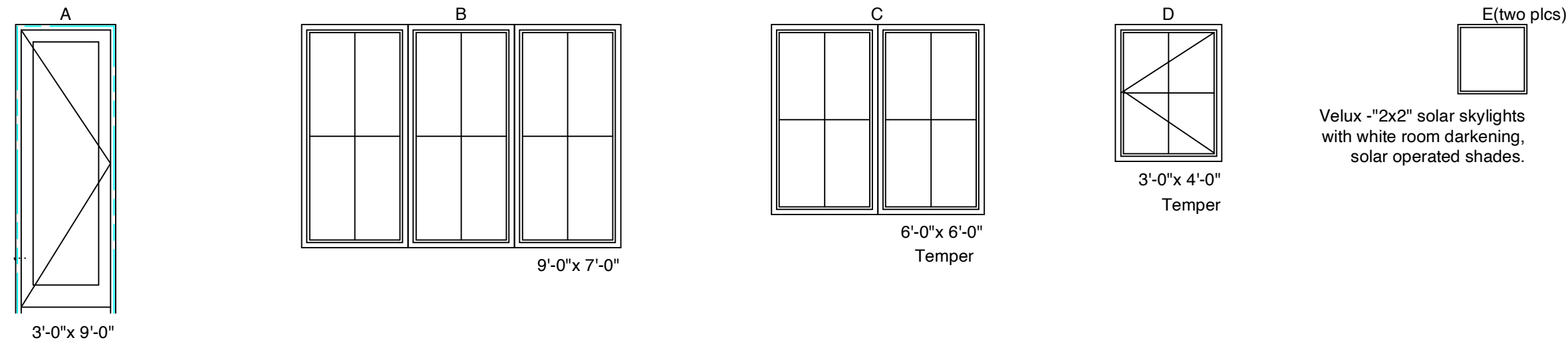
Ocean Hardward package

Alarm Sensors for entry doors

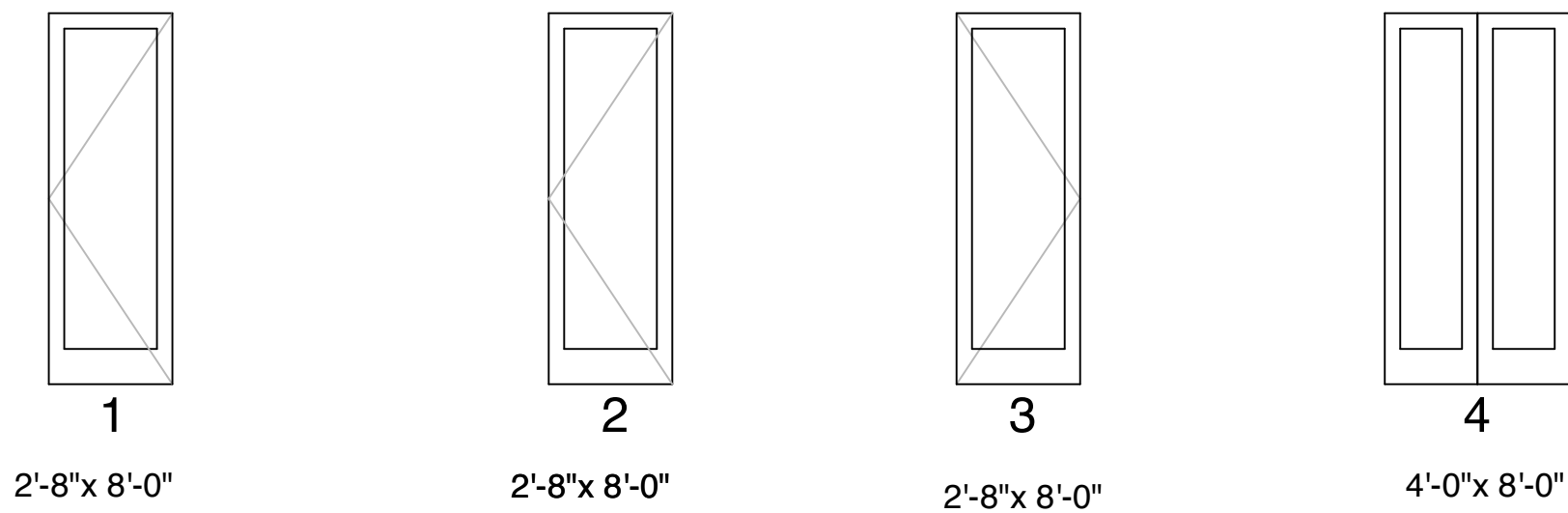
Window and doors to be tempered as per CRC R308.4 - UNITS D, H,



Exterior Windows and Doors



Interior Doors



5

HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

Parcel No. 048-016-010

Sheet Number

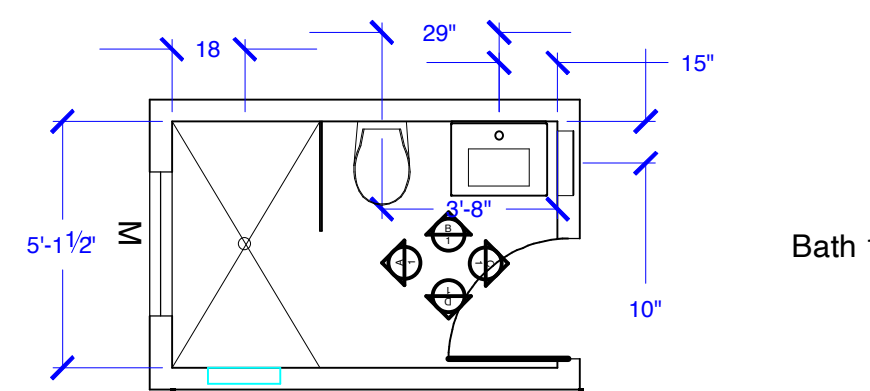
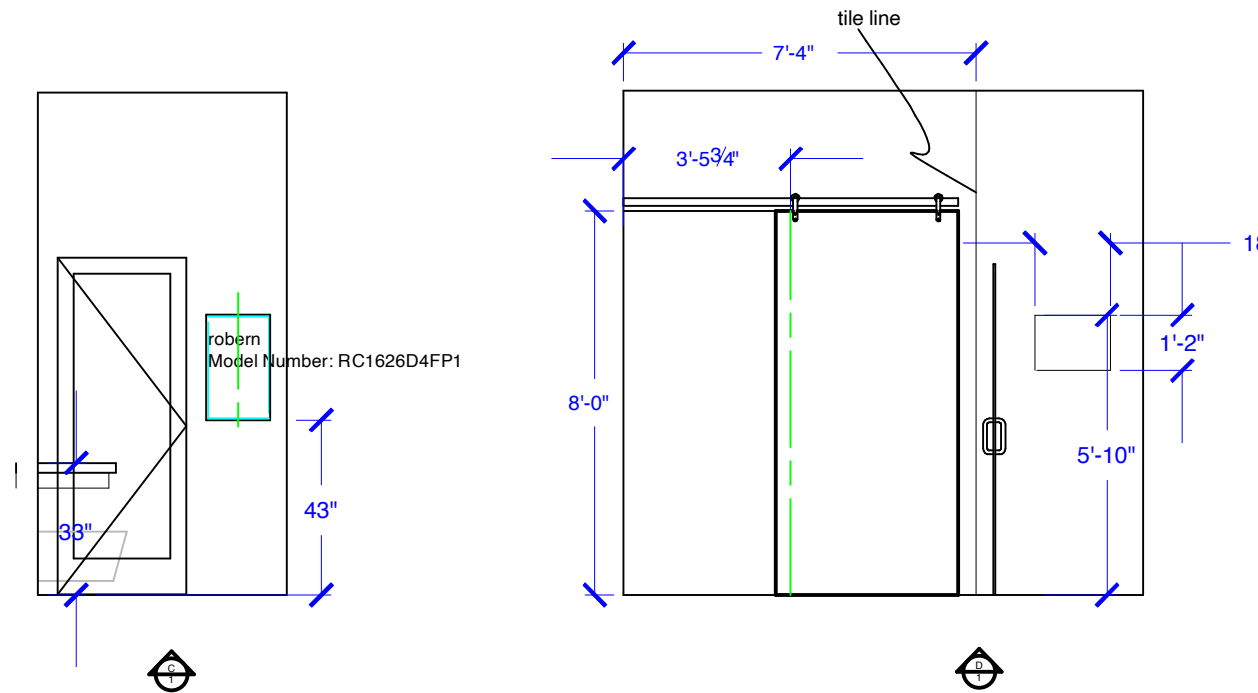
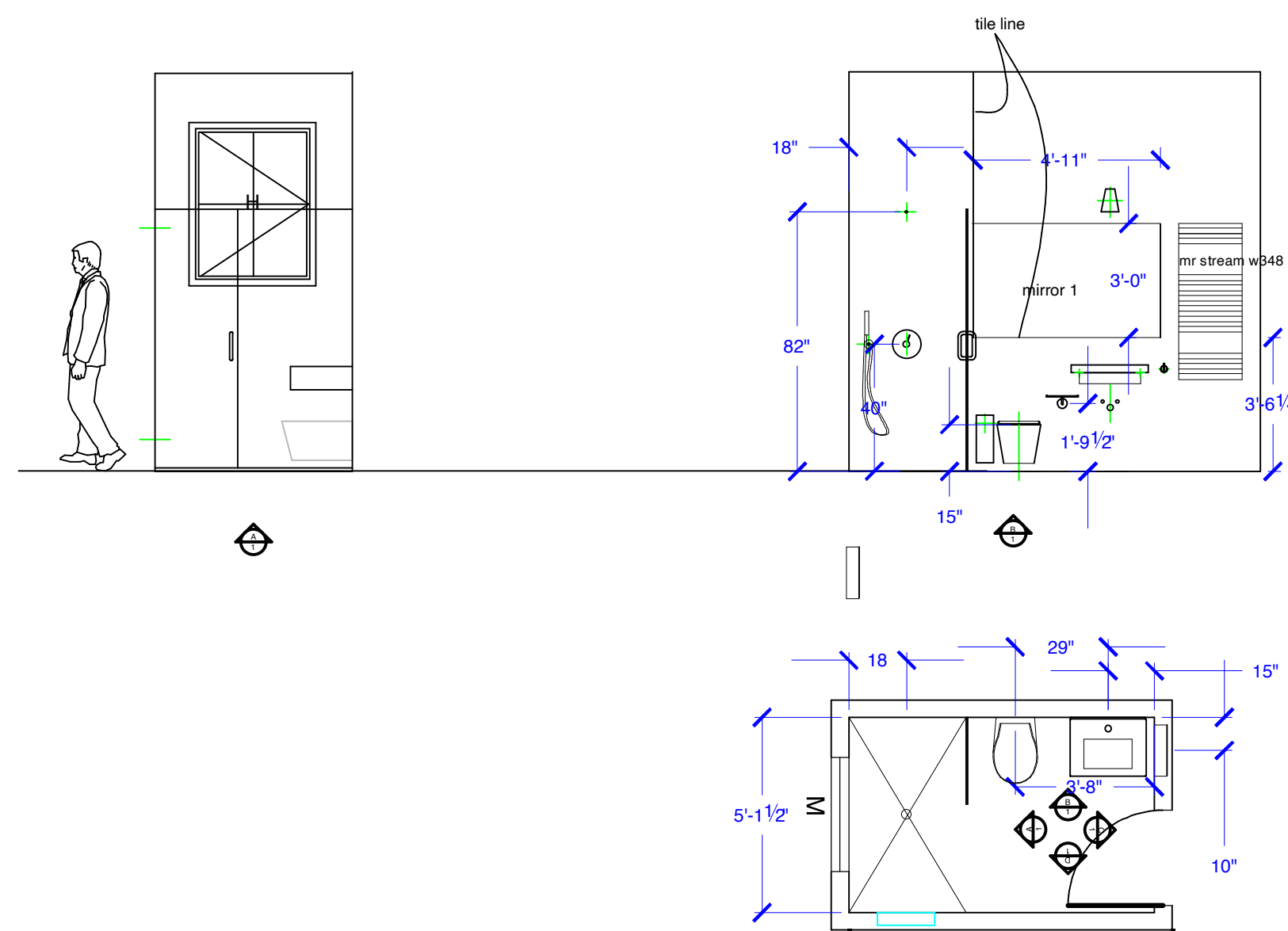
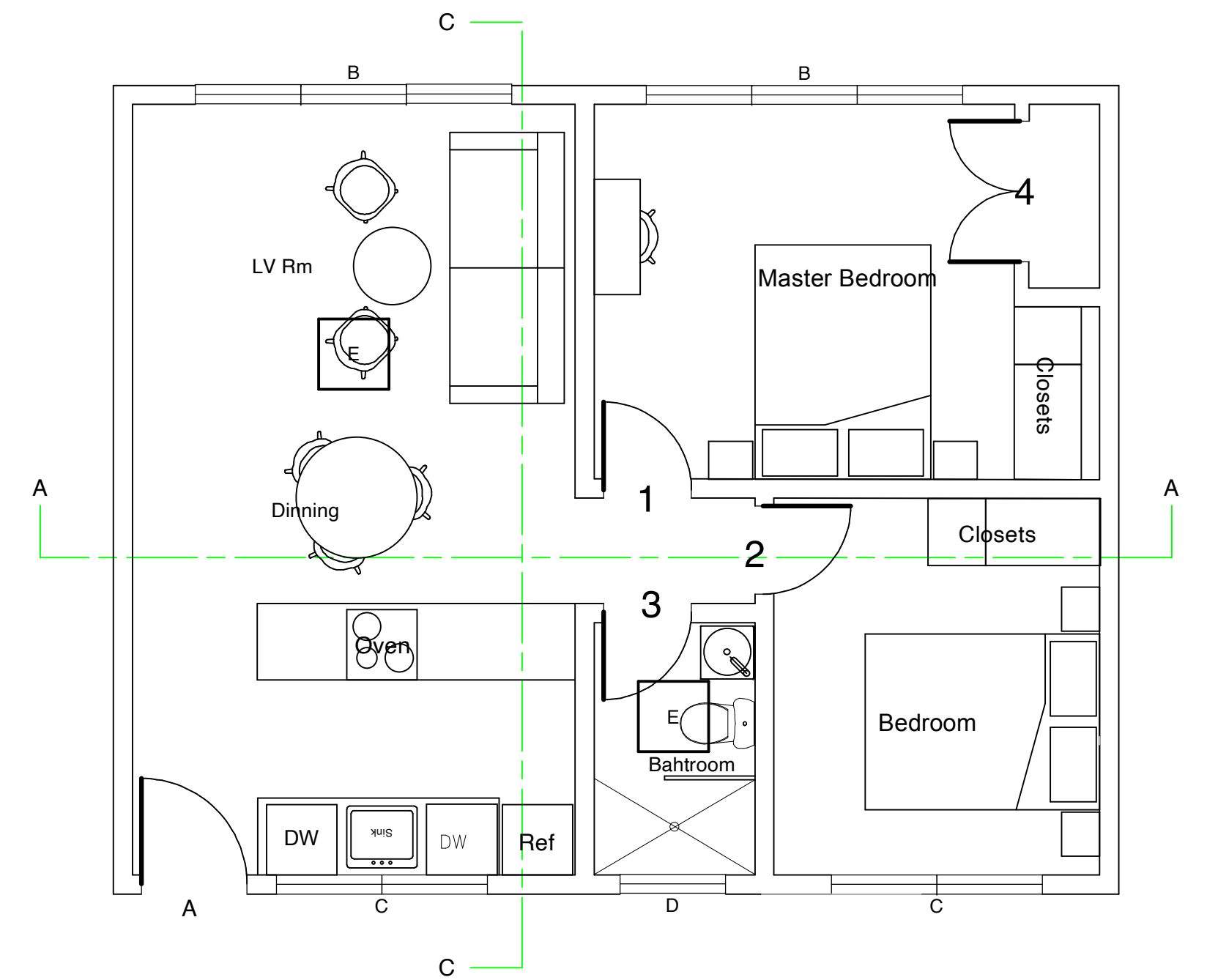
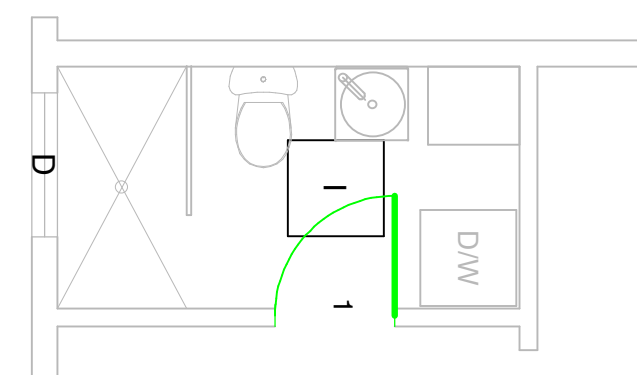
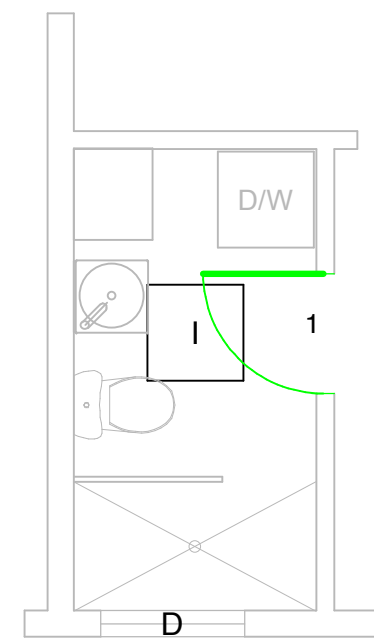
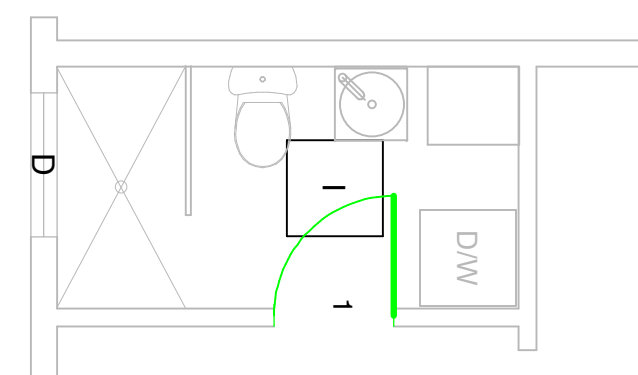
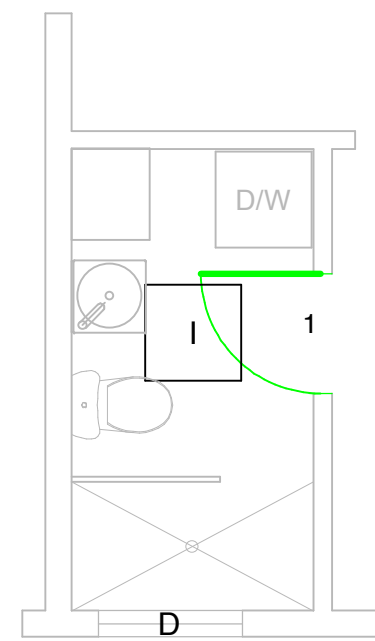
A-9

scale: 1/4"=1'-0"

Door & Window Schedule

4/01/21

revised 08.20.2024



Bath 1

HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

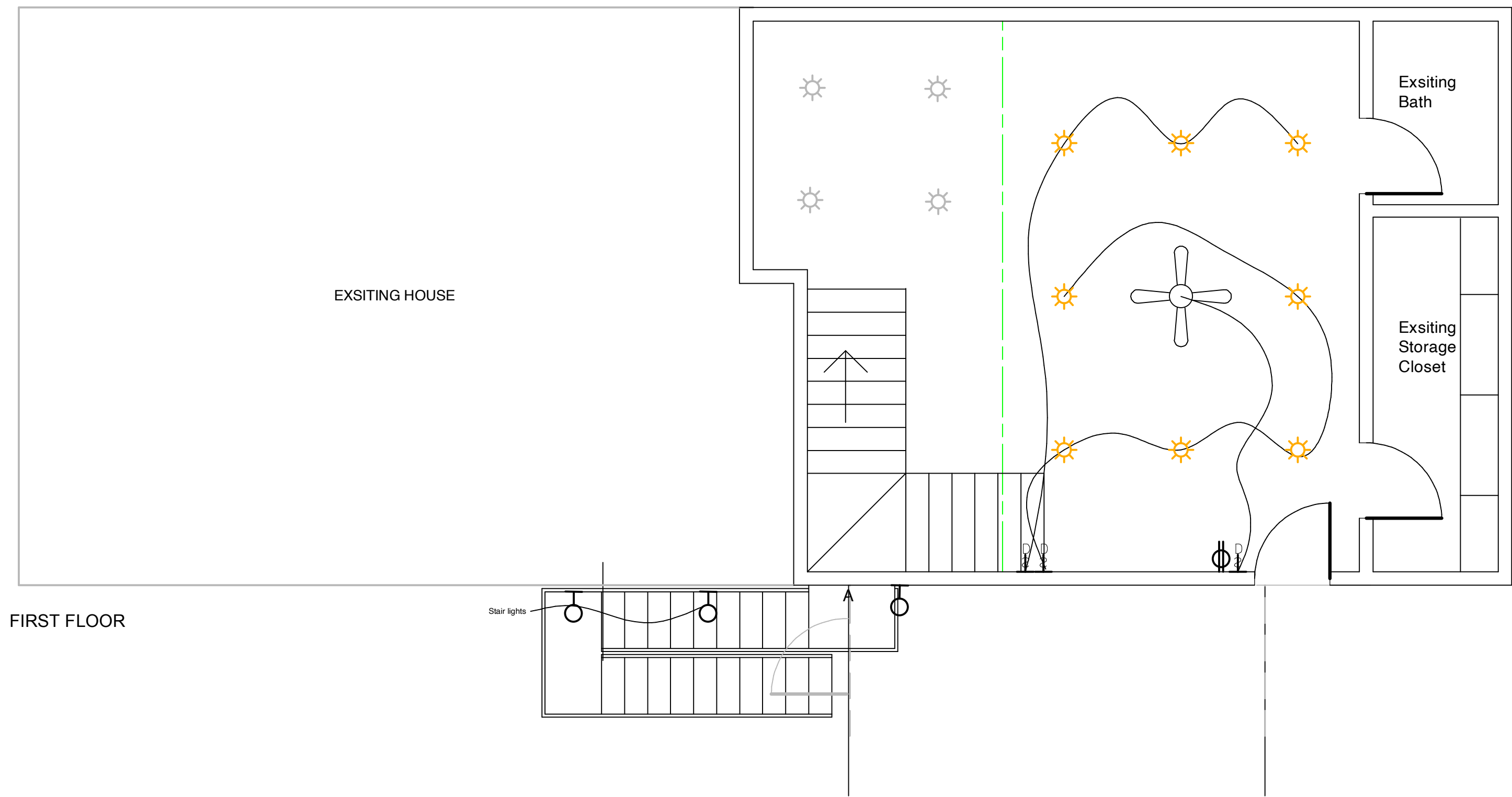
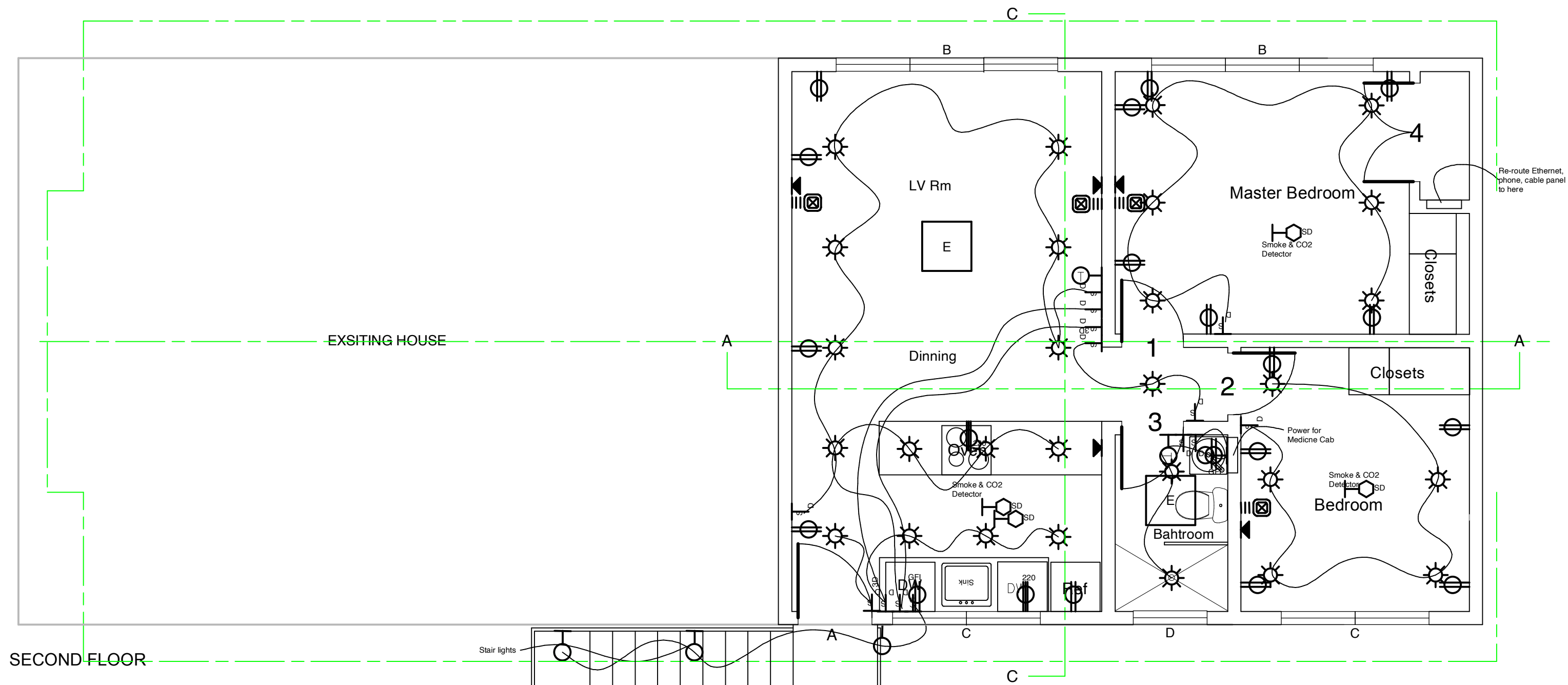
415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

Parcel No. 048-016-010

Sheet Number  
**A-10**  
scale: 1/4"=1'-0"  
Interior Elevations  
4/01/21  
revised 08.20.2024

- CARBON MONOXIDE ALARM
- DUPLEX
- DUPLEX w Ground Fault Interrupter
- 220
- SWITCHED PLUG
- 93"
- CENTER LINE OF BOX
- WALL MOUNT
- SMOKE ALARM
- Communications Cable Point - 2x 4 pair 22 ga. double gang box Home run to closet
- CEILING MOUNTED
- LOW VOLTAGE FIXTURE
- INCANDESCENT FIXTURE
- TRACK LIGHTS
- THERMOSTAT
- WATER
- HOSE BIB
- GAS HOOK-UP
- WALL SWITCH
- WALL SWITCH W/ DIMMER
- SWAY WALL SWITCH W/ DIMMER
- SWAY WALL SWITCH
- SPEAKER
- SOUND SOURCE
- COAX CABLE - Home run
- TV
- INDOOR AIR QUALITY FAN (Equal or equivalent to Panasonic Whisper Ceiling Bathroom Fan - 80 CFM)



Sheet Number

A-11

scale: 1/4"=1'-0"

Electrical Plan

7/21/21

Revised 11.18.2024

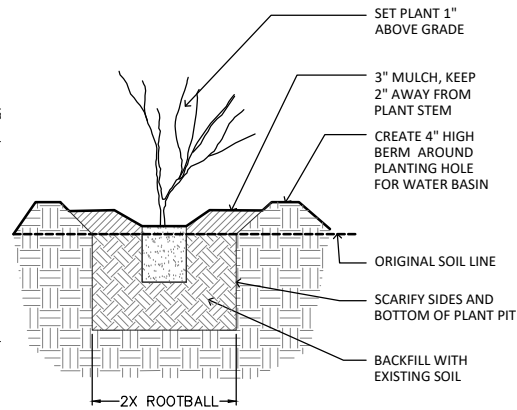
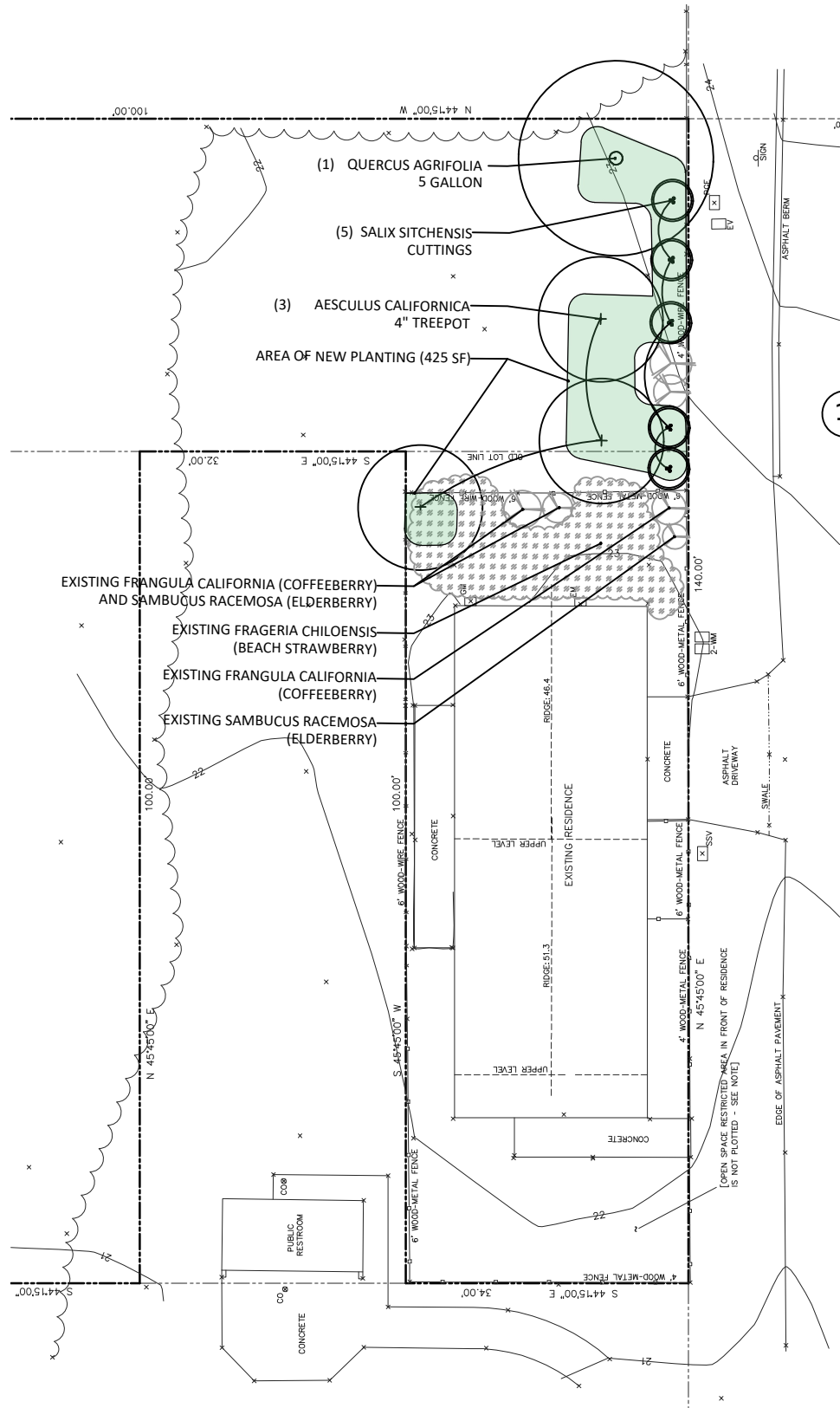
HODGE ARTS

201 Magellan Avenue  
Half Moon Bay, CA 94019

415 370 2550  
david@hodgearts.com

201 Magellan Avenue A-ADU Addition

Parcel No. 048-016-010



## 1 PLANTING DETAIL

NOT TO SCALE

### PLANTING NOTES

- PLANTING SUBMITTALS
  - PLANT ORDER FORMS: WITHIN 20 DAYS OF THE AWARD OF THE CONTRACT, THE CONTRACTOR SHALL VERIFY THAT ALL OF THE PLANT MATERIAL IS AVAILABLE FROM NURSERY SUPPLIERS BY SUBMITTING PLANT ORDER FORMS THAT INCLUDE ALL OF THE PLANTS REQUIRED FOR THE PROJECT. THE PLANT ORDER FORMS SHALL INCLUDE CONTACT INFORMATION FOR THE PLANT SUPPLIER, BOTANICAL NAME OF EACH SPECIES, CONTAINER SIZE, QUANTITY, AND SCHEDULED DELIVERY DATE. ANY SUBSTITUTIONS OR DEVIATION FROM THE PLANTING PLANS SHALL BE CLEARLY IDENTIFIED TO THE LANDSCAPE ARCHITECT. UPON REJECTION OF ANY PLANT MATERIAL, NEW PLANT MATERIAL SHALL BE SELECTED UNTIL ALL OF THE PLANT MATERIAL IS IN COMPLIANCE WITH THE SPECIAL CONSTRUCTION PROVISIONS AS DETERMINED SOLELY BY THE LANDSCAPE ARCHITECT.
  - PRODUCT DATA: MANUFACTURER'S SPECIFICATIONS FOR PLANT FERTILIZER.
- QUALITY ASSURANCE
  - CONTAINER PLANTS SHALL BE FROM A LOCALLY COLLECTED SOURCE OF PLANT MATERIAL (WITHIN SANTA CRUZ, SANTA CLARA, ALAMEDA, CONTRA COSTA, MARIN, OR MENDOCINO COUNTIES) UNLESS ALTERNATIVE SOURCE IS APPROVED BY LANDSCAPE ARCHITECT.
  - PLANT SPECIES IDENTIFICATION SHALL BE IN ACCORDANCE WITH THE AMERICAN STANDARDS FOR NURSERY STOCK (ANSI Z60.11-2004). PLANT ACCORDING TO ANSI A300 PART 6.
  - PLANT ESTABLISHMENT GUARANTEE: THE CONTRACTOR SHALL GUARANTEE THE SURVIVAL OF ALL OF THE PLANTS FOR THIS SECTION FOR THE DURATION OF THE GUARANTEE PERIOD. THE GUARANTEE PERIOD SHALL BE 120 DAYS AFTER COMPLETION OF THE PLANTING AND APPROVAL OF THE INSTALLATION BY THE LANDSCAPE ARCHITECT. AT THE END OF THE GUARANTEE PERIOD, THE CONTRACTOR SHALL REPLACE, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIAL THAT IS DETERMINED BY THE LANDSCAPE ARCHITECT TO BE EITHER DEAD OR IN POOR HEALTH. SUBSEQUENT REPLACEMENT PLANT MATERIAL SHALL BE SUBJECT TO AN IDENTICAL GUARANTEE.
  - ACCEPTANCE CRITERION FOR MATERIALS AND WORKMANSHIP: THE LANDSCAPE ARCHITECT SHALL INSPECT ALL MATERIALS AND WORKMANSHIP FOR COMPLIANCE WITH THE DRAWINGS. ACCEPTANCE OF ALL MATERIALS AND WORKMANSHIP IS AT THE DISCRETION OF THE LANDSCAPE ARCHITECT.
- PRODUCTS
  - PLANT FERTILIZER: USE SLOW RELEASE FERTILIZER AS APPROVED BY THE LANDSCAPE ARCHITECT. THE FERTILIZER SHALL HAVE THE FOLLOWING RATIO OF NITROGEN, PHOSPHOROUS, AND POTASSIUM FORMULATION: 16-16-16.
- MATERIALS AND FABRICATION
  - SPECIES, SIZE, AND SPACING: THE PLANT LEGENDS ON THE DRAWINGS INDICATE THE SPECIES, SIZE, AND SPACING REQUIREMENTS FOR THIS SECTION.
  - PLANT QUANTITIES: THE DRAWINGS CONTAIN ESTIMATES OF THE PLANT QUANTITIES REQUIRED FOR THIS SECTION. PLANT QUANTITIES ARE PROVIDED AS A CONVENIENCE TO THE CONTRACTOR AND DO NOT SUPERSEDE THE QUANTITIES CALCULATED DIRECTLY FROM THE DRAWINGS.
  - CRITERION FOR ACCEPTING CONTAINERIZED TREES AND SHRUBS:
    - THE CONTAINER SIZE SHALL BE AT LEAST AS LARGE AS INDICATED IN THE DRAWINGS. PLANTS SHALL NOT BE REJECTED IF SUPPLIED IN CONTAINERS LARGER THAN SPECIFIED.
    - UPON REMOVAL OF THE PLANTS FROM THE CONTAINERS, THE SOIL/ROOT MASSES SHALL BE THE SIZE OF THE SPECIFIED CONTAINER SIZE. IF THE SOIL/ROOT MASSES ARE SUBSTANTIALLY SMALLER THAN THE SPECIFIED CONTAINER SIZE AND LOOSE SOIL EXISTS ON THE BOTTOM OF THE CONTAINERS, THE PLANTS SHALL BE REJECTED SINCE THEY HAVE NOT BEEN GROWN SUFFICIENTLY LONG IN THE CONTAINERS TO ROOT INTO THE SOIL CONTAINED THEREIN.
    - SHOULD SPIRALING PRIMARY WOODY ROOTS EXIST ON THE OUTSIDE OF THE SOIL/ROOT MASS UPON THE REMOVAL OF THE PLANTS FROM THE CONTAINERS, THE CONTRACTOR SHALL BE INSTRUCTED TO EITHER CUT THESE ROOTS OR SEPARATE AND SPREAD THEM OUT FROM THE SOIL/ROOT MASS PRIOR TO PLANTING.
    - IF GROWING, THE PLANTS SHALL APPEAR HEALTHY WITH NO LEAF SPOTS, LEAF DAMAGE, LEAF DISCOLORATION, CHLOROSIS, LEAF WILTING OR CURLING, OR EVIDENCE OF INSECTS ON THE LEAVES.
    - IF DORMANT, WOODY PLANTS SHALL HAVE AN ABUNDANCE OF WELL-DEVELOPED TERMINAL BUDS ON THE LEADERS AND BRANCHES, AND HAVE A CAMBIUM, WHICH IS LIGHT GREEN TO YELLOWISH GREEN IN COLOR.
    - THE SOIL AND ROOT MASS OF CONTAINERIZED PLANT MATERIAL SHALL BE SATURATED UPON DELIVERY TO THE JOB SITE. PLANTS THAT ARE DRY OR LIGHTWEIGHT SHALL BE REJECTED. IF NOT PLANTED IMMEDIATELY AFTER DELIVERY TO THE JOB SITE, THE PLANTS SHALL BE STORED IN A AREA THAT IS NOT EXPOSED TO DIRECT SUN OR WIND AND SHALL BE MAINTAINED MOIST, THROUGH PERIODIC WATERING, UNTIL TIME OF PLANTING.
  - TREE AND SHRUB GROWTH FORM: CONTRACT GROWN TREES AND SHRUBS SHALL BE OF A NATURAL FORM SUCH THAT THEY HAVE AN IRREGULAR OR ASYMMETRICAL CROWN AND LACK A STRONG LEADER. NURSERY STOCK SHALL BE SELECTED FOR THE NATURAL FORM WHENEVER POSSIBLE.

### TREE PLANTING LEGEND

| BOTANICAL NAME       | COMMON NAME        | SIZE        | SPACING  | QTY | WUCOLS | SUNSET ZONE  |
|----------------------|--------------------|-------------|----------|-----|--------|--------------|
| QUERCUS AGRIFOLIA    | COAST LIVE OAK     | 5 GAL       | 24' O.C. | 1   | 0.1    | 7-9 & 14-24  |
| AESCULUS CALIFORNICA | CALIFORNIA BUCKEYE | 4" TREE POT | 15' O.C. | 3   | 0.1    | 3-10 & 14-24 |
| SALIX SPP            | WILLOW             | CUTTING     | 6' O.C.  | 5   | 0.85   | 1 - 24       |
| TOTAL                |                    |             |          | 9   |        |              |

#### NOTES:

- TREES SHALL BE SOURCED FROM WITHIN SAN MATEO COUNTY WHENEVER POSSIBLE.
- AVERAGE WUCOLS IS CALCULATED FOR 75% OF THE PLANTING AREA. THREE SITKA WILLOWS ARE IN THE EXCLUDED 25% AREA:  
 $(4 \times 0.1 + 2 \times 0.85) = 0.3$

- COMPOST: INCORPORATE AT LEAST 1.75 CUBIC YARDS OF COMPOST TO A DEPTH OF AT LEAST 6" IN ALL PLANTING AREAS.
  - MULCH: A MINIMUM 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUNDCOVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED. MULCH SHALL BE KEPT 4-6" AWAY FROM THE BASE OF THE NEW PLANTS. MULCH SHALL BE ORGANIC WEED-FREE CHIPPED OR SHREDDED WOOD WITH THE LARGEST DIAMETER OF 1-3 INCHES.
- INSTALLATION
    - PLANTING WINDOW: PLANTING SHALL NOT OCCUR UNTIL THE AUTOMATIC IRRIGATION SYSTEM IS OPERATING, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
    - LAYOUT: TREES, SHRUBS, AND HERBACEOUS PLANTS SHALL BE LOCATED IN ACCORDANCE WITH THE PLANTING PLANS. THE CONTRACTOR SHALL USE PIN FLAGS TO MARK THE LOCATION OF THE PLANTS IN THE FIELD FOR REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO THE INSTALLATION OF THE IRRIGATION SYSTEM AND THE INSTALLATION OF THE PLANTS.
    - PLANTING HOLES: PLANTING HOLES FOR ALL PLANTS SHALL BE AT LEAST TWICE THE DIAMETER OF THE CONTAINER SIZE AND EQUAL IN DEPTH TO THE CONTAINER SIZE. PLANTING HOLE SHALL BE FLAT BOTTOMED. PLANTS GROWN IN FLAT-BOTTOMED CONTAINERS SHALL NOT BE PLANTED IN V-SHAPED HOLES THAT RESULT WHEN USING A DIBBLE OR POINTED SPADE IN THE PLANTING OPERATION. OTHERWISE, THE AIR POCKETS AT THE BOTTOM OF THE HOLES MAY LEAD TO PLANT MORTALITY.
    - FERTILIZER PACKS: DISTRIBUTE FERTILIZER UNIFORMLY ON THE BOTTOM OF THE PLANTING HOLE PRIOR TO PLANTING TREE/SHRUB PER MANUFACTURER'S RECOMMENDATION FOR PLANT SIZE.
    - TOPSOIL: TOPSOIL SHALL BE BACKFILLED INTO THE PLANTING HOLE. THE LEFTOVER SOILS FROM CREATING THE PLANTING HOLES SHALL BE RAKED ABOUT THE PLANTS AS NOT TO ALTER THE SURROUNDING GRADES SIGNIFICANTLY.
    - WATERING: NEWLY PLANTED TREES AND SHRUBS SHALL BE WATERED REGULARLY TO PREVENT PLANT MATERIAL FROM WILTING. ALL TREES AND SHRUBS SHALL BE PLANTED AFTER THE AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED AND TESTED. IN THE CASE THAT THIS IS NOT POSSIBLE, TREES AND SHRUBS SHALL BE WATERED FROM THE TIME THAT THEY ARE PLANTED UNTIL THE TIME THAT THE AUTOMATIC IRRIGATION SYSTEM IS IN OPERATION. WATERING SHALL BE INCIDENTAL TO THIS ITEM.
    - UPON COMPLETION OF WORK, THE CONTRACTOR SHALL REMOVE ALL MATERIALS, TOOLS, RUBBISH AND DEBRIS ASSOCIATED WITH THIS WORK.

## 201 MAGELLAN AVE WETLAND ENHANCEMENT CONCEPT HALF MOON BAY, CALIFORNIA

0 20  
SCALE: 1" = 20'



## TREE PLANTING PLAN

SHEET

# L-1



11/8/2024

ORIGINAL DRAWING SIZE: 11 X 17

130 Mono Ave  
Fairfax, CA 94930

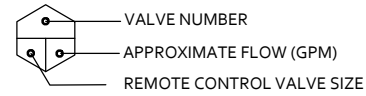
415.938.6340  
mwstromberg.com



MWS Consulting  
LANDSCAPE ARCHITECTURE



## VALVE CALLOUT



### IMPORTANT- FLEX HOSE ROUTING:

1. DISTRIBUTION LINE FLEX HOSE BEYOND DRIP. LATERAL LINES ARE NOT SHOWN ON PLANS. CONTRACTOR TO DETERMINE SPECIFIC ROUTING FROM DRIP LATERAL LINES TO EMITTERS.
2. FROM THE DRIP LATERAL LINES, MAKE THE SHORTEST ROUTES TO ALL EMITTERS USING THE LEAST AMOUNT OF DISTRIBUTION LINE FLEX HOSE.
3. LOOP FLEX HOSE TO MINIMIZE DEAD ENDS.
4. DIVIDE ZONES EVENLY TO LIMIT LONG RUNS.
5. MAKE THE TWO LONGEST RUNS EQUAL DISTANCE.

IRRIGATION NOTES:

1. THESE IRRIGATION DRAWINGS ARE DIAGRAMMATIC AND INDICATIVE OF THE WORK TO BE INSTALLED. ALL PIPING, VALVES, ETC. SHOWN IS FOR GRAPHIC CLARITY ONLY AND ARE TO BE INSTALLED AS EFFICIENTLY POSSIBLE. DUE TO THE SCALE OF THE DRAWINGS, IT IS NOT POSSIBLE TO INDICATE ALL OFFSETS, FITTINGS, SLEEVES, ETC., WHICH MAY BE REQUIRED. THE CONTRACTOR IS REQUIRED TO INVESTIGATE THE STRUCTURAL AND FINISHED CONDITIONS AFFECTING ALL OF THE CONTRACT WORK INCLUDING OBSTRUCTIONS, GRADE DIFFERENCES OR AREA DIMENSIONAL DIFFERENCES WHICH MAY NOT HAVE BEEN CONSIDERED IN THE ENGINEERING. IN THE EVENT OF FIELD DIFFERENCES, THE CONTRACTOR IS REQUIRED TO PLAN THE INSTALLATION WORK ACCORDINGLY BY NOTIFICATION AND APPROVAL OF THE LANDSCAPE ARCHITECT AND ACCORDING TO THE SPECIAL CONSTRUCTION PROVISIONS. THE CONTRACTOR IS ALSO REQUIRED TO NOTIFY AND COORDINATE IRRIGATION CONTRACT WORK WITH ALL APPLICABLE CONTRACTORS FOR THE LOCATION AND INSTALLATION OF PIPE, CONDUIT OR SLEEVES THROUGH OR UNDER WALLS, ROADWAYS, PAVING, STRUCTURE, ETC., BEFORE CONSTRUCTION. IN THE EVENT THESE NOTIFICATIONS ARE NOT PERFORMED, THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REQUIRED REVISIONS.
2. THE INTENT OF THIS IRRIGATION SYSTEM IS TO PROVIDE THE MINIMUM AMOUNT OF WATER REQUIRED TO SUSTAIN GOOD PLANT HEALTH.
3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROGRAM THE IRRIGATION CONTROLLERS TO PROVIDE THE MINIMUM AMOUNT OF WATER NEEDED TO SUSTAIN GOOD PLANT HEALTH. THIS INCLUDES MAKING ADJUSTMENTS TO THE PROGRAM FOR SEASONAL WEATHER CHANGES, PLANT MATERIAL, WATER REQUIREMENTS, MOUNDS AND SLOPES, SUN, SHADE, AND WIND EXPOSURES.
4. THE CONTRACTOR SHALL FLUSH AND ADJUST ALL SPRAY HEADS FOR OPTIMUM PERFORMANCE. PROVIDE FULL AND EVEN COVERAGE OF DESIGNATED AREAS AND PREVENT OVER SPRAY ON WALKS, ROADWAYS, AND/OR BUILDINGS AS MUCH AS POSSIBLE.
5. MANUAL SHUTOFF VALVES (ISOLATION VALVE) SHALL BE INSTALLED AS CLOSE AS POSSIBLE TO THE POINT OF CONNECTION OF THE WATER SUPPLY.
6. AREAS LESS THAN 10-FOOT IN WIDTH IN ANY DIRECTION SHALL BE IRRIGATED WITH SUBSURFACE IRRIGATION OR OTHER MEANS THAT PRODUCES NO RUNOFF OR OVERSPRAY.
7. FOR NON-RESIDENTIAL PROJECTS WITH LANDSCAPE AREAS OF 1,000 SQ. FT. OR MORE, PRIVATE SUB-METER(S) TO MEASURE LANDSCAPE WATER USE SHALL BE INSTALLED.
8. AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
9. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE OPERATING PRESSURE SHOWN ON THE IRRIGATION DRAWINGS. THE CONTRACTOR SHALL VERIFY WATER PRESSURE PRIOR TO CONSTRUCTION. REPORT ANY DIFFERENCE BETWEEN THE WATER PRESSURE INDICATED ON THE DRAWINGS AND THE ACTUAL PRESSURE READING AT THE IRRIGATION POINT OF CONNECTION TO THE LANDSCAPE ARCHITECT.
6. MAXIMUM IRRIGATION DEMAND: 0.3 GPM AT 30 PSI. VERIFY STATIC PRESSURE OF AT LEAST 30 PSI AT THE POINT OF CONNECTION.

### INITIAL IRRIGATION SCHEDULE

1. OPERATE THE IRRIGATION SYSTEM BETWEEN FEBRUARY 28 AND DECEMBER 1ST.
2. OPERATE THE IRRIGATION SYSTEM BETWEEN DECEMBER 1ST AND FEBRUARY 28 IF PRECIPITATION IS LESS THAN FIFTY PERCENT 50% OF NORMAL PRECIPITATION FOR A 30-DAY PERIOD.

### IRRIGATION OPERATION SCHEDULE

**DRIP ZONES -**  
OPERATE FOR THREE CYCLES PER WEEK, 90  
MINS PER CYCLE.

ADJUST WATERING SCHEDULE TO  
IMPROVE PLANT HEALTH.



ORIGINAL DRAWING SIZE: 11 X 17

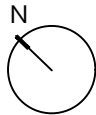
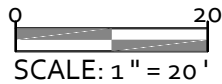


130 Mono Ave  
Fairfax, CA 94930  
415.938.6340  
mwstromberg.com

mwstromberg.com

**MWS Consulting**  
LANDSCAPE ARCHITECTURE

201 MAGELLAN AVE  
WETLAND ENHANCEMENT CONCEPT  
HALF MOON BAY, CALIFORNIA



## IRRIGATION PLAN

SHEET

# L-2

**MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL)**  
**SHORT FORM PRESCRIPTIVE COMPLIANCE**

**Applicant Information:**

Name: \_\_\_\_\_

Phone: \_\_\_\_\_

Address: \_\_\_\_\_

Email: \_\_\_\_\_

**Project**

Site Address: \_\_\_\_\_

Project Type (*new dwelling, commercial, or rehab*): \_\_\_\_\_

- ☐ This project does incorporate landscaping equal to or less than 2500 sq ft and will be using this form to identify prescriptive requirements which will be included as part of the landscape project. *(Please provide the information below specific to the landscape area and identify the location on the plans each design measure can be found using the LANDSCAPE WATER-EFFICIENCY (MWEL) APPENDIX – D CHECKLIST on page two):*

Total Landscape Area (sq. ft.): \_\_\_\_\_ Turf Area (sq. ft.): \_\_\_\_\_

Non-Turf Plan Area (sq. ft.): \_\_\_\_\_ Special Landscape Area (sq. ft.): \_\_\_\_\_

Water Type (*potable, recycled, well*): \_\_\_\_\_

Name of water purveyor (*If not served by private well*): \_\_\_\_\_

**Signature**

I certify the above information is correct and agree to comply with the requirements of the MWEL.

  
\_\_\_\_\_  
Signature of property owner or authorized representative

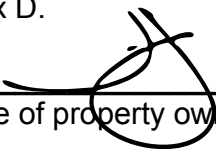
\_\_\_\_\_  
Date

**LANDSCAPE WATER-EFFICIENCY (MWELO) APPENDIX – D CHECKLIST**  
 (Can only be used when aggregate landscape areas are 2,500 square feet or less)

| <b>Landscape Parameter</b> | <b>Design Measures</b>                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>Location on Plans</b> |
|----------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------|
| <b>Compost</b>             | Incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).                                                                                                                                                                                                                                                                             |                          |
| <b>Plant Water Use</b>     | <u>Residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 75% of the plant area excluding edibles and areas using recycled water.<br><u>Non-residential</u> : Install climate adapted plants that require occasional, little or no summer water (average WUCOLS plant factor 0.3) for 100% of the plant area excluding edibles and areas using recycled water. |                          |
| <b>Mulch</b>               | A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of turf or creeping or rooting groundcovers.                                                                                                                                                                                                                                                                                    |                          |
| <b>Turf</b>                | Total turf area shall not exceed 25% of the landscape area. Turf is not allowed in non-residential projects.                                                                                                                                                                                                                                                                                                                                      |                          |
|                            | Turf (if utilized) is limited to slopes not exceeding 25% and is not used in parkways less than 10 feet in width.                                                                                                                                                                                                                                                                                                                                 |                          |
|                            | Turf, if utilized in parkways is irrigated by sub-surface irrigation or other technology that prevents overspray or runoff.                                                                                                                                                                                                                                                                                                                       |                          |
| <b>Irrigation System</b>   | Irrigation controllers use evapotranspiration or soil moisture data and utilize a rain sensor.                                                                                                                                                                                                                                                                                                                                                    |                          |
|                            | Irrigation controller programming data will not be lost due to an interruption in the primary power source.                                                                                                                                                                                                                                                                                                                                       |                          |
|                            | Areas less than 10 feet in any direction utilize sub-surface irrigation or other technology that prevents overspray or runoff.                                                                                                                                                                                                                                                                                                                    |                          |
|                            | A private landscape submeter is installed at non-residential landscape areas of 1,000 sq. ft. or more.                                                                                                                                                                                                                                                                                                                                            |                          |

**Signature**

I agree to comply with the requirements of the prescriptive compliance option of the MWELO per Appendix D.

  
 \_\_\_\_\_  
 Signature of property owner or authorized representative

\_\_\_\_\_  
 Date

**Note**

For the purposes of this for landscape area includes all the planting areas, turf areas, and water features in a landscape design plan subject to the Maximum Applied Water Allowance calculation. The landscape area does not include footprints of buildings or structures, sidewalks, driveways, parking lots, decks, patios, gravel or stone walks, other pervious or non-pervious hardscapes, and other non-irrigated areas designated for non-development (e.g., open spaces and existing native vegetation).



P.O. Box 5214  
Petaluma, CA 94955  
(707) 241-7718  
[www.solecology.com](http://www.solecology.com)

October 25, 2024

Isobel Cooper  
California Coastal Commission  
North Central Coast District  
455 Market St. Suite 300  
San Francisco, CA 94105  
[Isobel.cooper@coastal.ca.gov](mailto:Isobel.cooper@coastal.ca.gov)

**RE: Updated Landscaping/Restoration Plan for 201 Magellan Avenue, Half Moon Bay, San Mateo County, California**

Dear Ms. Cooper,

Please find the requested habitat restoration/landscaping screening plan for the Hodge Property located at 201 Magellan Avenue to address the concerns raised in our Year 5 Monitoring Report regarding the need for a planting palette appropriate for conditions on the site, given the lack of adequate hydrology for wetland plants. The plan includes all planting notes and installation requirements. All other maintenance requirements (e.g., weed control, erosion control etc) as set forth in the original HRMP remain in effect. An as-built will be prepared and submitted 2-years post installation to document plan effectiveness.

Please do not hesitate to contact me with any questions at [driggs@solecology.com](mailto:driggs@solecology.com).

Respectfully,

A handwritten signature in black ink, appearing to read "Dana Riggs".

Dana Riggs, CEO

Cc: Oceane Ringuette, CCC



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT D**

**CALIFORNIA COASTAL COMMISSION**

NORTH CENTRAL COAST DISTRICT OFFICE  
455 MARKET STREET, SUITE 300  
SAN FRANCISCO, CA 94105  
PHONE: (415) 904-5260  
WEB: WWW.COASTAL.CA.GOV

**AMENDMENT TO COASTAL DEVELOPMENT PERMIT**

Coastal Development Permit No. **A-2-SMC-11-041**

Amendment No. **A-2-SMC-11-041-A2**

Permittees: **David and Hi-Jin Hodge**

Amendment Issue Date: **November 14, 2024**

**Original CDP Approval**

CDP A-2-SMC-11-041 was originally approved by the Coastal Commission on December 11, 2013 and provided for the development of a 2,081 square-foot single-family residence with an integral 2-car garage on a 10,802 square-foot parcel where essentially everything outside of the footprint of the residence deed restricted to only wetland and riparian habitat restoration, landscaping, stormwater, and erosion control related development, all located immediately seaward of Highway 1, between Magellan Avenue and the Mirada Surf open space recreational area in unincorporated San Mateo County (all as more specifically described in the Commission's CDP file). The Applicants previously proposed a CDP amendment to construct a 795 square-foot, one-story detached accessory dwelling unit (ADU) between the approved single-family residence and Highway 1, and within the CDP-required deed restriction area. The Executive Director determined that the proposed detached ADU amendment would lessen and avoid the intended effect of the original CDP terms and conditions, and thus the proposed amendment was rejected as more specifically described in the staff report for A-2-SMC-11-041-A1-EDD, adopted by the Commission on June 13, 2024.

**CDP Amendment**

The CDP was issued on October 7, 2015, and construction of the approved single-family residence was completed in 2016. The Applicant now requests that the CDP be amended to allow for the construction of a 506 square-foot accessory dwelling unit (ADU), which will be added above the existing garage with an exterior stairway seaward of the existing driveway, adjacent to Magellan Avenue. The Applicant also proposes to remove a portion of unpermitted fencing which encroaches into the deed restricted area where such development is not allowed per the original CDP.

**Coastal Commission Concurrence**

This amendment was determined by the Executive Director to be immaterial, was duly noticed, and no objections were received and/or the Commission concurred with the Executive Director's determination of immateriality. This amendment will become effective upon return of a signed copy of this form to the North Central Coast District Office. Please note that the CDP terms and conditions, including as modified by this amendment and/or previous amendments if applicable, remain in effect.

**AMENDMENT TO COASTAL DEVELOPMENT PERMIT**  
Coastal Development Permit Amendment A-2-SMC-11-041-A2

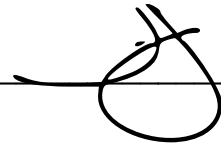
Authorized by Stephanie Rexing, North Central Coast District Manager

DocuSigned by:  
  
035096250A8E49E...

**ACKNOWLEDGMENT**

I have read and understand the above permit and agree to be bound by the conditions as amended of Coastal Development Permit A-2-SMC-11-041-A2.

Date: November 19, 2024

Signature: \_\_\_\_\_