



County of San Mateo Planning & Building Department Agricultural Advisory Committee

Natalie Sare, Chair
John Vars, Vice Chair
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Cole Mazariegos-Anastassiou

Crystal Chaix
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Jess Brown
Jim Howard

Dr. Igor Lacan
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Ryan Casey

County Office Building
455 County Center, 2nd Floor
Redwood City, California 94063
650/363-1825
planning.smcgov.org

Regular Meeting and Special Workshop

Date: Monday, April 14, 2025

Time: 6:00 p.m. to 8:30 p.m.

Place: Ted Adcock Community Center – Grand Oak Room
535 Kelly Avenue, Half Moon Bay, California

We are looking for volunteers to help set up chairs and tables before the regular meeting at 5:00 p.m. and to help with clean-up after the special workshop ends at 8:30 p.m. Please show up to assist if you can.

*****IN-PERSON WITH REMOTE PUBLIC PARTICIPATION AVAILABLE*****

This meeting of the Agricultural Advisory Committee will be at the Ted Adcock Community Center, Grand Oak Room, at 535 Kelly Avenue, Half Moon Bay, California. Members of the public will be able to participate in the meeting in person at the Ted Adcock Community Center, Grand Oak Room, or remotely via the Zoom platform. For information regarding how to participate in the meeting, either in person or remotely, please refer to the instructions below.

Public Participation

The Agricultural Advisory Committee meeting may be accessed remotely by members of the public through Zoom online at: <https://smcgov.zoom.us/j/83885617591>. **The meeting ID is:** 838 8561 7591. The meeting may also be accessed via telephone by dialing +1 669-900-6833 (Local). **Enter the meeting ID:** 838 8561 7591 and then press #. Members of the public can also attend this meeting physically in the Ted Adcock Community Center – Grand Oak Room, 535 Kelly Ave, Half Moon Bay.

*Written public comments may be emailed to oboo@smcgov.org, and such written comments should indicate the specific agenda item on which you are commenting.

*Spoken public comments will be accepted during the meeting in-person or remotely through Zoom at the option of the speaker. Public comments in-person will be taken first, followed by speakers on Zoom.

***Please see instructions for written and spoken public comments at the end of this agenda.**

ADA Requests

Individuals who require special assistance or a disability related modification or accommodation to participate in this meeting, or who have a disability and wish to request an alternative format for the meeting, should contact Olivia Boo, Planning Liaison, as early as possible but no later than 10:00 a.m. on the business day before the meeting at (650) 363-1818 and/or oboo@smcgov.org. Notification in advance of the meeting will enable the County to make reasonable arrangements to ensure accessibility to this meeting, the materials related to it, and your ability to comment.

REGULAR MEETING AGENDA

6:00 p.m. – 7:00 p.m.

1. **Call to Order**
2. **Member Roll Call**
3. **Oral Communications** to allow the public to address the Committee on any matter not on the agenda. If your subject is not on the agenda, the Chair will recognize you at this time. Speakers are customarily limited to 3 minutes. See instructions explained at the end of this agenda regarding instruction for public comment. *Please note that the Committee cannot discuss or act on an item not on the agenda.*
4. **Committee Member Update(s) and/or Questions** to allow Committee Members to share news and/or concerns for items not on the agenda.
5. **Planning and Building Department Director’s Report.** (*Planning Liaison*)
The next meeting is May 12, 2025, which is also a special workshop meeting.
 - AAC vacancies – applications are under review by the Board of Supervisors.

Regular Agenda Item

6. **Owner:** Half Moon Bay Properties, LLC
Applicant: Jim Guan
File Number: PLN2023-00334
Location: 12761 San Mateo Road, Half Moon Bay
Assessor’s Parcel No.: 056-270-010, 056-270-030, 056-270-060, 056-270-090 and 056-270-100

Consideration of a Planned Agricultural District Permit, Coastal Development Permit, and Grading Permit, to address facility and operational violations (VIO2023-00035) at Terra Gardens, including grading of 14,050 cubic yards associated with site clean-up, drainage/access improvements, and permitting existing work, located at 12761 San Mateo Road (Highway 92) within the unincorporated Half Moon Bay area of San Mateo County. Please direct any questions to Project Planner, Camille Leung at cleung@smcgov.org.

Action Requested: That the AAC provide a recommendation to the Planning Commission on the subject application.

7. **Adjournment**

SPECIAL WORKSHOP
7:00 p.m. – 8:30 p.m.

Workshop Goal: To gather input from Growers, Ranchers and Rural Property Owners regarding ways to preserve agriculture and help sustain successful farming operations on the San Mateo County coast.

A detailed workshop agenda will be posted in advance online at <https://www.smcgov.org/planning/event/agricultural-advisory-committee-meeting-april-14-2025>

The AAC is looking for volunteers to help set up chairs and tables before the regular meeting at 5:00 p.m. and to help with clean-up after the special workshop ends at 8:30 p.m. Please show up to assist if you can.

ADDITIONAL INFORMATION FOR THE REGULAR MEETING

Materials Presented for the Meeting

Applicants and members of the public may submit materials to the Agricultural Advisory Committee. All materials (including but not limited to models and pictures) submitted on any item on the agenda are considered part of the administrative record for that item and must be retained by the Committee Secretary, or other designee. If you wish to retain the original of an item, a legible copy must be left with the Committee Secretary, or other designee.

Agendas & Staff Reports

To view the agenda, please visit our website at <https://planning.smcgov.org/agricultural-advisory-committee>. Staff reports will be available on the website one week prior to the meeting. For further information on any item listed below, please contact the corresponding Project Planner indicated. To subscribe to the Agricultural Advisory Committee agenda mailing list, please “subscribe” to email updates at the above website link.

Correspondence to the Committee

Olivia Boo, Agricultural Advisory Committee Liaison
455 County Center, 2nd Floor
Redwood City, CA 94062
(650) 363-1818
Email: oboo@smcgov.org

Zoom

For any questions or concerns regarding Zoom, including troubleshooting, privacy, or security settings, please contact Zoom directly. See instructions below for public comment on Zoom.

Next Meeting

The next regularly scheduled Agricultural Advisory Committee meeting is on May 12, 2025.

***INSTRUCTIONS FOR PUBLIC COMMENT DURING MEETINGS**

Public comments in-person will be taken first, followed by speakers on Zoom.

In-person

If you wish to address the Members of the Agricultural Advisory Committee please raise your hand for the Chair to acknowledge you. Once acknowledged, please start by clearly stating your first and last name for the record. If you have anything that you wish distributed to the Agricultural Advisory Committee and included in the official record, please hand it to the Committee Secretary and/or Chair, or other designee, who will distribute the information to the Agricultural Advisory Committee members and staff.

Via Zoom

1. The Agricultural Advisory Committee meeting may be accessed remotely by members of the public through Zoom online at: <https://smcgov.zoom.us/j/83885617591> . **The meeting ID is:** 838 8561 7591. The meeting may also be accessed via telephone by dialing +1 669-900-6833 (Local). **Enter the meeting ID:** 838 8561 7591 and then press #.
2. You may download the Zoom client or connect to the meeting using an internet browser. If using your browser, make sure you are using a current, up to date browser: Chrome 30+, Firefox 27+, Microsoft Edge 12+, Safari 7+. Certain functionalities may be disabled in older browsers including internet explorer.
3. You may be asked to enter an email address and name. We request that you identify yourself by name as this will be visible online and will be used to notify you that it is your turn to speak.
4. When the Committee calls for the item on which you wish to speak, click on “raise hand” or *9 if calling in on a phone. The Secretary will activate and unmute speakers in turn. Speakers will be notified shortly before they are called to speak.
5. When called, please limit your remarks to the time limit allotted.

Written Comments

Written public comments may be emailed in advance of the meeting. Please read the following instructions carefully:

1. Your written comment should be emailed to oboo@smcgov.org.
2. Your email should include the specific agenda item on which you are commenting or note that your comment concerns an item that is not on the agenda or is on the consent agenda.
3. If your emailed comment is received by 5:00 p.m. on the business day before the meeting, it will be provided to the Members of the Agricultural Advisory Committee and made publicly available on the agenda website under the specific item to which your comment pertains. If emailed comments are received after 5:00 p.m. on the business day before the meeting, the Planning Liaison will make every effort to either (i) provide such emailed comments to the Agricultural Advisory Committee and make such emails publicly available on the agenda website prior to the meeting, or (ii) read such emails during the meeting. Whether such emailed comments are forwarded and posted, or are read during the meeting, they will still be included in the administrative record.

Public records that relate to any item on the agenda for a regular meeting are available for public inspection. Those records that are distributed less than 72 hours prior to the meeting are available

for public inspection at the same time they are distributed to all members, or a majority of the members of the Agricultural Advisory Committee.

Roll Sheet – April 14, 2025
 Agricultural Advisory Committee

	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec	Jan	Feb	Mar	Apr
Voting Members													
James Oku Farmer	X	X		X	X	X		X	X	X	X	X	
Natalie Sare Farmer		X	X	X		X	X	X	X	X	X	X	
John Vars Farmer		X	X	X	X	X	X	X	X		X		
Peter Marchi Farmer	X	X	X	X	X	X	X	X	X	X	X	X	
Ryan Casey Farmer	X	X		X	X		X		X	X	X		
Cole Mazariegos- Anastassiou Farmer	X	X	X	X	X	X	X		X		X	X	
Crystal Chaix Farmer	X	X	X	X	X	X		X		X	X	X	
Daniel Theobald Ag Business	X	X	X	X	X	X		X	X	X	X	X	
**Vacant Public Member													
**Vacant Public Member													
**Vacant Conservationist													
Natural Resource Conservation Staff:													
Jim Howard													
San Mateo Co. Agricultural Commissioner: Koren Widdel	X	X	X	X	X	X	X	X	X	X	X	X	
Farm Bureau Exec. Director: Jess Brown		X		X	X	X				X	X	X	
UC Co-Op Extension Rep.: Dr. Igor Lacan		X		X		X			X	X			
San Mateo Co. Planning Liaison:													
Olivia Boo	X	X	X	X	X	X	X	X	X	X	X	X	
X: Present Blank Space: Absent or Excused Grey Color: No meeting *Special Meeting **Position Vacant													



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ITEM

5

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 14, 2025

TO: Agricultural Advisory Committee

FROM: Planning Staff

SUBJECT: Director's Report

CONTACT INFORMATION: Olivia Boo, Planner, oboo@smcgov.org

The following is a list of Planned Agricultural District Permits and Coastal Development Exemptions for the rural area of the County that have been received by the Planning Division from February 27, 2025 to March 31, 2025.

PLANNED AGRICULTURAL DISTRICT (PAD) PERMIT OUTCOMES

One PAD application was heard or considered by the Board of Supervisors and/or Planning Commission during this time period.

- | | |
|------------------------|----------------------------------|
| 1. Owner: | Seahawk Ranch Corporation |
| Applicant: | Chuck Reichel |
| File Number: | PLN2023-00088 |
| Location: | 1 Meyn Road, San Gregorio |
| Assessor's Parcel No.: | 0837-278-080 |

Consideration of a Coastal Development Permit (CDP) and an Architectural Review Permit Exemption to allow for the drilling of one agricultural well on a 186.15-acre parcel located at 1 Meyn Road in the unincorporated San Gregorio area of San Mateo County. The project is located in the Cabrillo Highway State Scenic Corridor and the CDP is appealable to the California Coastal Commission. Project Planner, Kanoa Kelley: kkelley@smcgov.org.

This project was approved by the Planning Commission at their March 26, 2025 hearing.

UPCOMING PLANNED AGRICULTURAL DISTRICT PERMIT PROJECTS

One PAD permit application was received by the Planning Division during this time period.

- | | |
|------------------------|-----------------------------|
| 1. Owner: | Joshua Skolnick |
| Applicant: | Evan Wolk |
| File Number: | PLN2025-00081 |
| Location: | Cabrillo Highway, Pescadero |
| Assessor's Parcel No.: | 086-250-160 |

Planned Agricultural District Permit and Coastal Development Permit (CDP) to allow for four domestic test wells on a vacant parcel located west of Cabrillo Highway. The CDP is appealable to the California Coastal Commission. Application received March 24, 2025. Project Planner: Kanoa Kelley, kkelley@smcgov.org.

COASTAL DEVELOPMENT EXEMPTIONS (CDX) FOR AGRICULTURAL PROJECTS

No CDX applications for agricultural projects were submitted during this time period.

ADDITIONAL ANNOUNCEMENTS

1. Next meeting is on May 12, 2025.



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ITEM

6

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: April 14, 2025

TO: Agricultural Advisory Committee

FROM: Camille Leung, Planning Staff, 650/363-1826

SUBJECT: Consideration of a Planned Agricultural District Permit, Coastal Development Permit, and Grading Permit, to address facility and operational violations (VIO2023-00035) at Terra Gardens, including grading of 14,050 cubic yards (c.y.) associated with site clean-up, drainage/access improvements, and permitting existing work, located at 12761 San Mateo Road (Highway 92) within the unincorporated Half Moon Bay area of San Mateo County.

County File Number: VIO2023-00035, PLN2023-00334 (Smith/Guan)

PROPOSAL

Terra Gardens, an approximately 103-acre mushroom farm property, with a western portion located in the City of Half Moon Bay, but a majority of the site within the Unincorporated County, proposes the following actions, including grading of 14,050 c.y. associated with site clean-up, drainage/access improvements, restoration, and permitting of site improvements, including 54 hoop houses and a cold storage building.

PHASE 1 - CLEAN UP

- a. Completed removal of Farm Labor Housing Units (R-1 and R2) and associated utilities (City of Half Moon Bay).
- b. Completed removal of spent mushroom logs and wood debris located within riparian setback and buffer zone areas.
- c. Completed removal of diversion structure and appurtenances from Pilarcitos Creek.
- d. Completed demolition of failing greenhouses: 12,980 sq. ft greenhouse (G6) and 16,760 sq. ft. greenhouse (G7) and adjacent debris pile and concrete pad.
- e. Remove 7,260 sq. ft. greenhouse (G5; City of Half Moon Bay)

- f. Remove one substandard farm labor housing dwelling unit (R3) and removing associated utilities.

PHASE 2 – PERMITTING

- a. Legalization of fifty-four (54) existing unpermitted hoopouses, existing cold storage buildings, replace a greenhouse, and associated site improvements, including access roads and drainage channels.
- b. Minor road widening to improve fire access.
- c. New Work:
 - (1) Construction of a new Bioretention basin to treat flow from green houses and compost area before entering into Pilarcitos creek and associated vegetated swales.
 - (2) Proposed 5.3-acre restoration area (located in the western portion of the property located in the City of Half Moon Bay) and new wildlife exclusion fence.
 - (3) Onsite 4,389 sq. ft. Composting Facility and Waste Management Plan for spent mushroom logs.
- d. Address CDFW Violations:
 - (1) Proposed three (3) new 5,000-gallon lift station storage tanks on compacted class 2 aggregate pad near bioretention area.
 - (2) Building and electrical improvements to address permit violations at existing dam pumphouse and treatment facilities (P1, P2, and P3).
 - (3) Improvements to address creek and streambed violations noted by CDFW including new diversion location
 - (4) Grading and Drainage improvements to repair existing emergency outfall at reservoir to the south of hoopouses
 - (5) Close existing, unpermitted rail car bridge

DECISION MAKER

Planning Commission

QUESTIONS FOR THE AGRICULTURAL ADVISORY COMMITTEE

1. Will the development, specifically work proposed within the unincorporated County area, have any negative effect on surrounding agricultural uses? If so, can any conditions of approval be recommended to minimize any such impact?
2. What position do you recommend that Planning staff take with respect to the application for this project?

BACKGROUND

Report Prepared By: Camille Leung, Senior Planner

Applicant: Jim Guan

Owner: Half Moon Bay Properties LLC

Location: 12761 San Mateo Road (Highway 92)

APN(s): 056-270-010, -030, -060, -090, and -100 (Also involves work on parcels located in the City of Half Moon Bay)

Approximate Parcel Sizes: 056-270-010 (50.53 acres), - 030 (12.5 acres), - 060 (1 acre), - 090 (7 acres), and - 100 (31.67 acres)

Existing Zoning: Planned Agricultural District/ Coastal District (PAD/CD)

General Plan Designation: Agriculture

Williamson Act: N/A; The subject properties are not under a Williamson Act contract.

Existing Land Use: Agriculture (Mushroom production)

Water Supply: Reservoir, Creek Diversion, and Well System

Sewage Disposal: Septic system

Flood Zone: Flood Zone X; Flood Zone A in areas adjoining Pilarcitos Creek

Environmental Evaluation: Exempt from California Environmental Quality Act (CEQA) under these sections:

- Section 15301 (*Class 1: Repair and Alteration of Existing Facilities, involving negligible or no expansion of existing or former use*): Building and electrical improvements, access road widening, new diversion location
- Section 15303 (*Class 3: New Construction of Small Structures*): Legalization of hoophouses; lift station storage tanks
- Section 15330 (*Class 30: Minor Actions to Prevent, Minimize, Stabilize, Mitigate or Eliminate the Release or Threat of Release of Hazardous Waste or Hazardous Substances*): Minor clean-up activities; new bioretention basin; onsite composting facility

Setting: The subject site and larger Terra Garden property is bordered by Highway 92 (San Mateo Road) to the northwest, rural and agricultural parcels to the north and south, open space (consisting of a relatively steep hillslope dominated by coastal scrub habitat and eucalyptus woodland to the east), and the city limits of Half Moon Bay to the southwest. Pilarcitos Creek and its associated riparian corridor intersect the north and western boundary of the subject site. The subject site includes agricultural facilities surrounded by ruderal vegetation, eucalyptus groves, segments of Pilarcitos Creek and its associated riparian corridor, and an onstream reservoir. Agricultural facilities include glass greenhouses and newer hoophouses, the pump station, and related appurtenances; the former labor housing was primarily in the northernmost extent of the subject site.

Chronology:

<u>Date</u>	<u>Action</u>
2014-2023	- Per aerial maps, the 54 hoophouses were built in stages overtime between 2014 and 2022.
April 10, 2023	- Code Compliance Section staff issues Notice of Violation to property owner, based on violations observed during joint inspections. The NOV identified violations of building code (electrical, plumbing, fire) associated with the pump house/filtration room and unpermitted development; stormwater violations associated with the used mushroom compost storage and site erosion; and nuisance and hazardous conditions associated with general site maintenance.

- May 18, 2023 - CDFW staff issue a Notice of Violation of Fish and Game Code to property owner, based on violations observed during joint County-CDFW inspections. CDFW violations involved an unpermitted structure for water diversion from Pilarcitos Creek and storage of hazardous materials within proximity of Pilarcitos Creek.
- October 26, 2023 - Applicant applies for subject permit. Subsequently, application is deemed incomplete for the applicant to address Planning and review agency comments.
- January 27, 2025 - Application deemed complete, with submittal of revised civil plans and biological report.
- April 14, 2025 - Agricultural Advisory Committee meeting.

Will the project be visible from a public road?

Yes, the project includes permitted the hoophouses constructed on the northeast side of the property, of which a portion are visible from Highway 92, others are located in an area that is screened by eucalyptus trees which line the south side of the highway. Views of the hoophouses from Highway 92 are included in Attachment E.

Will any habitat or vegetation need to be removed for the project?

Yes, approximately 0.22 acres of riparian habitat, and an additional 1.15 acre of riparian buffer area were impacted by project operations. The proposed habitat restoration area, approximately 5.3 acres located on the west side of the processing areas as shown in Attachment D (Figure 6 Proposed Restoration Plan Area) in the City of Half Moon Bay, is proposed in this area to offset the impacted areas.

Is there prime soil on the project site?

Yes, as shown in Attachment F, the areas of mapped prime soils on the property are largely developed with existing and proposed greenhouses and hoophouses. As confirmed with the owner, the hoophouses are not soil dependent (dependent on imported mushroom compost), but do not have building foundations.

DISCUSSION

A. KEY ISSUES

Planning staff has reviewed this proposal and has concluded the following:

1. Compliance with Planned Agricultural District (PAD) Regulations:

The project complies with the applicable development standards and requirements, discussed below:

a. Development Standards

As shown in the table below, the project conforms to Section 8.106 (PAD Regulations) of the San Mateo County Zoning Regulations, which regulate the height and setbacks of structures. The buildings to be permitted include:

- (1) 54 Hoophouses (H1-H54)
- (2) Cold storage buildings (G3, G4, and G4A)
- (3) Replace a greenhouse (G8)

	PAD Development Standard	Proposed Buildings
Minimum Front Setback	50 feet	487 feet
Minimum Side Setbacks	20 feet	525 feet
Minimum Rear Setback	20 feet	450 feet
Maximum Building Height	36 feet	12 feet-6 inches (G3) 18' (G4) 12' (G4A) 13 feet-8-inches (Hoop houses)

b. PAD Permit Requirements

The project conforms to the substantive criteria for the issuance of a PAD Permit, as applicable and outlined in Section 6355 of the Zoning Regulations. As proposed and conditioned, the project conforms to the following applicable policies.

(1) General Criteria

- (a) *The encroachment of all development upon land which is suitable for agricultural uses shall be minimized.*

While the 54 new hoopouses, cold storage, and greenhouse buildings to be permitted were built in an undeveloped area of mapped prime soils, the hoopouses follow the pattern of development of the site, aligning with existing greenhouses (which are also on prime soils) and immediately abutting large undeveloped, sloped areas of the property to the east. Its location clusters development with existing development and natural obstacles (topography; heavy vegetation) to farming and preserves a large area of agricultural land to the north (between hoop houses and Pilarcitos Creek).

The hoopouses are not soil dependent (dependent on imported mushroom compost), but do not have building foundations, and can, therefore, be removed easily from the site. Planning staff has added a condition that, when the hoopouses are no longer being used, that the buildings be removed and that the land be restored for agricultural production. While the current owner operates a mushroom farm that is not soil dependent, use of the converted prime soils land should be allowed for soil dependent agriculture in the future.

- (b) *All development permitted on a site shall be clustered.*

The 54 new hoopouses follow the pattern of development of the site, aligning and clustering with existing greenhouses and abutting large undeveloped, sloped areas of the property to the east.

- (c) *Where possible, structural uses shall be located away from prime agricultural soils.*

While hoopouses are on prime soils, Planning staff has added a condition that, when the hoopouses are no longer being used, that the buildings be removed and that the land restored for agricultural production.

(2) Water Supply Criteria

Adequate and sufficient water supplies needed for agricultural production and sensitive habitat protection in the watershed are not diminished.

The project involves removal of an unpermitted diversion structure, and improvements to address creek and streambed violations noted by CDFW, including a new diversion location at Pilarcitos Creek. At the point of diversion, once creek flow rates exceed the minimum requirements per the water rights license (State Water Board Division of Water Rights Permit 17849; a Compliance and Effectiveness Monitoring Plan will be implemented in accordance with Section 1600), water will overtop the weir plate located within the screen riser and then flow into the pipe buried in the bank. Other sources of water to support agricultural operations include an existing well and reservoir.

Per the Project Biologist, water from the reservoir drainage feature will be redirected to the Restoration Area, consistent with historical conditions, via the Southern Vegetated Swale; water from the swale will be allowed to fan out into the restoration area where it can percolate into the ground to provide recharge to Pilarcitos Creek and its surrounding riparian and wetland habitats, and to increase soil moisture within the riparian setback and nearby upland refugia for sensitive wildlife.

2. Compliance with Local Coastal Program (LCP) Policies:

The project complies with the following applicable LCP Policies:

a. Agricultural Component

Policy 5.5.b (*Permitted Uses on Prime Agricultural Lands Designated as Agriculture*) allows for conditional permitting of non-soil-dependent greenhouses and nurseries and uses ancillary to agriculture.

Policy 5.8 (*Conversion of Prime Agricultural Land Designated as Agriculture*) prohibits conversion of prime agricultural land within a parcel to a conditionally permitted use unless compliance with the following criteria can be demonstrated (Staff discussion follows each criteria):

- (1) That no alternative site exists for the use: The hoopouses, cold storage, and greenhouse buildings to be permitted have already been constructed and are clustered with existing development and immediately abut large undeveloped, sloped areas of the property to the east, preserving as much flat agricultural land as possible to the northwest along Pilarcitos Creek/Highway 92.
- (2) Clearly defined buffer areas are provided between agricultural and non-agricultural uses: All proposed and existing uses at the site are agricultural or accessory to agriculture.
- (3) The productivity of any adjacent agricultural land will not be diminished: No uses are proposed on adjacent agricultural land. Used mushroom compost logs that were once stored on agricultural lands will be stored and processed into compost at a new onsite Compost Waste Management Facility. The new enclosed composting and storage facility onsite would accommodate 200 tons of spent mushroom and other green compost materials. Operational procedures and general guidelines are also included in the plan details (Sheet 6.0, Detail 4 of Attachment B), and serves as the "Waste Management and Soil Management Plan" requested by regulatory agencies. This facility is located outside riparian and wetland buffers.
- (4) Public service and facility expansions and permitted uses will not impair agricultural viability, including by increased assessment costs or degraded air and water quality. The project does not involve a public service and facility expansion.

b. Biological Component

LCP Policy 7.8 (*Designation of Riparian Corridors*) establishes riparian corridors for all perennial and intermittent streams and lakes and other bodies of freshwater in the Coastal Zone. The following existing structures would be permitted within the riparian corridor for Pilarcitos Creek, where removal of the structures would be more damaging to habitat than retaining the structures:

- (1) Maintenance of a small section of a cold storage building (G3)
- (2) Maintenance of an existing rail car bridge to be closed.

LCP Policy 7.11 (*Establishment of Riparian Buffer Zones*) establishes on both sides of riparian corridors, from the “limit of riparian vegetation” extend buffer zones 50 feet outward for perennial streams, such as Pilarcitos Creek. The following work is proposed within the riparian buffer zone, where removal of the structures would be more damaging to habitat than retaining the structures:

- (1) Maintenance of a cold storage building (G3)
- (2) Removal of an unpermitted fire access road located in the western portion of the property in the City of Half Moon Bay.

LCP Policies 7.13 and 7.17 (*Performance Standards in Wetland and Wetland Buffer Zones*) requires that development permitted in wetlands minimize adverse impacts during and after construction, such as elevating paths so as not to impede movement of water, limiting construction to daylight hours, minimizing outdoor lighting, and replacing removed vegetation. These performance standards will be added as conditions of approval. The following work is proposed within the wetland buffer zone:

- (1) Approximately 160 linear feet of the vegetated swale (necessary to treat runoff from the south side of the hoopouses) is located within the wetland buffers; of that, 40 feet is located within the existing wetland.

c. Visual Component

Policy 8.31 (*Regulation of Scenic Corridors in Rural Areas*) applies Primary Scenic Resources Areas Criteria of the Resource Management (RM) Zoning District as specific regulations protecting scenic corridors in the Coastal Zone, including those listed below:

- (1) Public views within and from Scenic Corridors shall be protected and enhanced, and development shall not be allowed to significantly obscure, detract from, or negatively affect the quality of these views. Policy 8.31 requires a minimum setback of 100 feet from the right-of-way line, and greater where possible; however, a 50-foot setback may be permitted when sufficient screening is provided to shield the structure(s) from public view. The project includes permitting the hoopouses constructed on the northeast side of the property, located approximately 600 feet from Highway 92, of which a portion are visible from Highway 92, others are located in an area that is screened by eucalyptus trees which line the highway. Views of the hoopouses from Highway 92 are included in Attachment E.

No mitigation or screening is necessary due to the distance of the buildings from Highway 92, that views of these agricultural buildings are consistent with existing agricultural views along Highway 92, and due to the presence of intervening, screening trees along Highway 92.

ATTACHMENTS

- A. Vicinity Map
- B. Project Plans
- C. County and CDFW Notices of Violation
- D. Biological Report Addendum with Stormwater Management Plan
- E. Views of the hoopouses from Highway 92
- F. Prime soil map for subject property

ATTACHMENT A: VICINITY MAP (AERIAL MAP SHOWS COUNTY/CITY LIMITS)





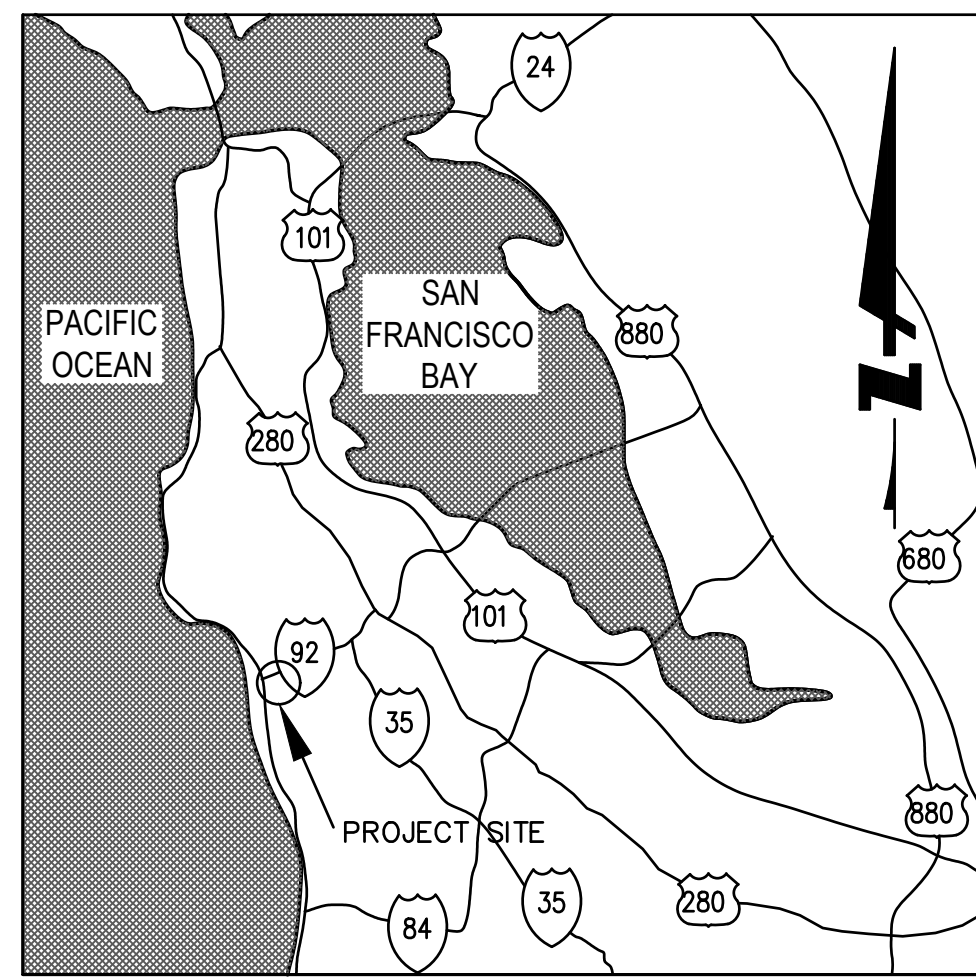
COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B

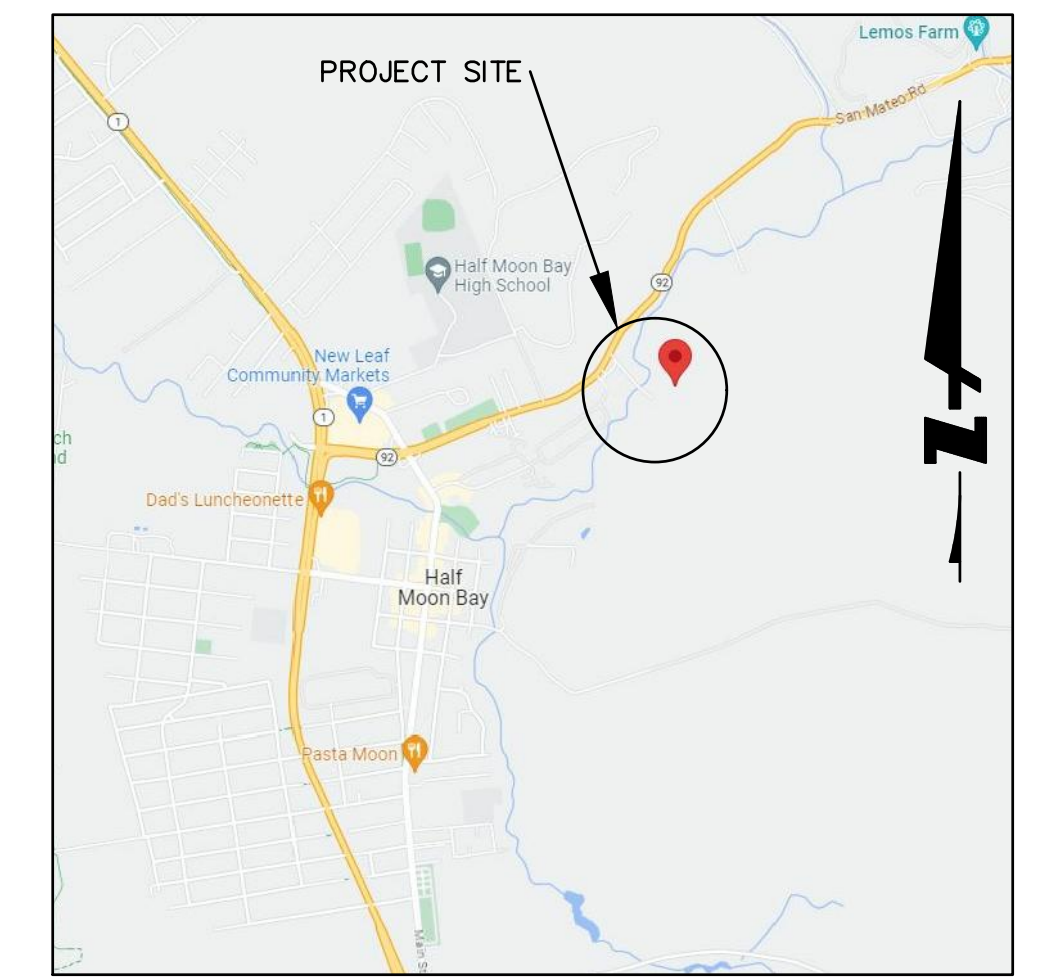
IMPROVEMENT PLANS CALIFORNIA TERRA GARDEN

12761 SAN MATEO ROAD, SAN MATEO COUNTY AND CITY OF HALF MOON BAY

APN: 056-260-020, -030 (CITY OF HALF MOON BAY)
 056-270-010, -030, -060, -090, -100 (SAN MATEO COUNTY)
 056-321-010 (CITY OF HALF MOON BAY)



VICINITY MAP
 N.T.S.



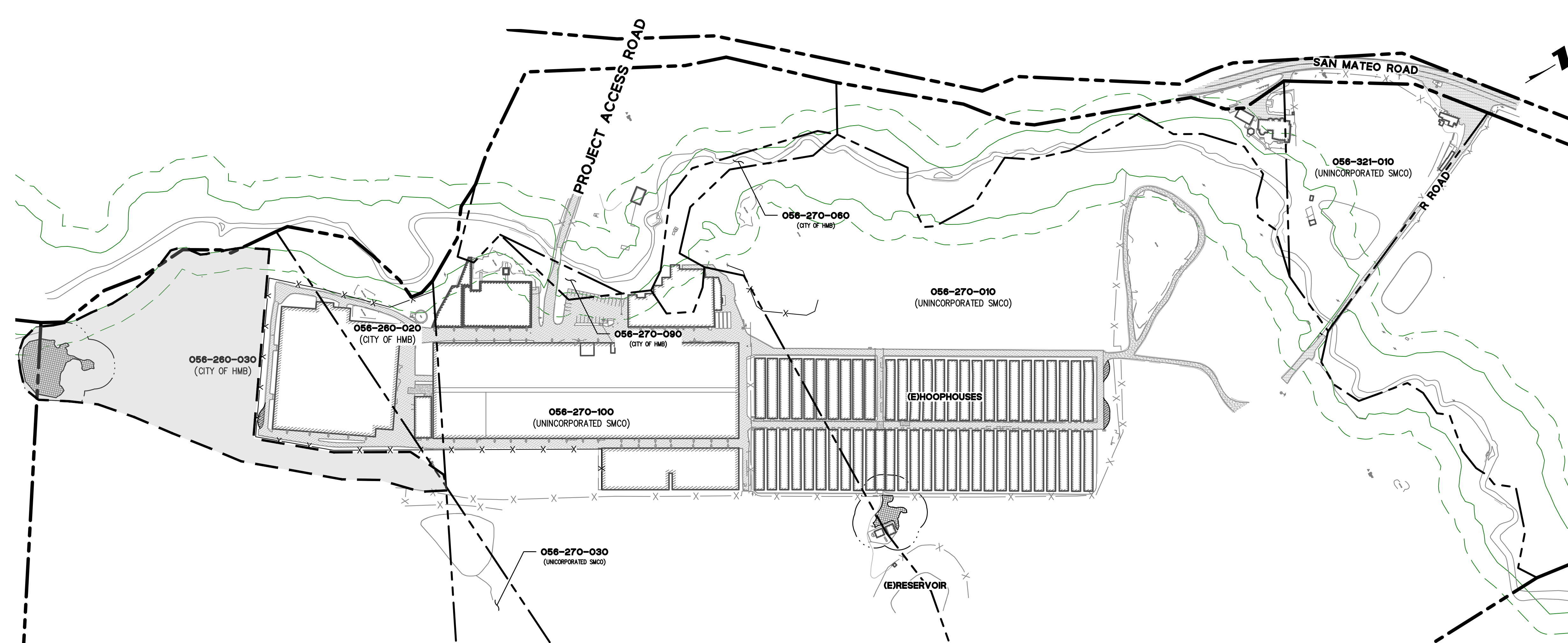
LOCATION MAP
 N.T.S.

LEGEND:

EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY BOUNDARY
---	---	CITY/COUNTY DIVIDING LINE
---	---	APPROXIMATE 100-YR FLOOD ZONE
---	---	LIMIT FOR PILARCITOS CREEK
---	---	LIMIT OF RIPARIAN CORRIDOR
---	---	50-FT RIPARIAN SETBACK FROM LIMIT OF RIPARIAN CORRIDOR
---	---	APPROXIMATE CREEK TOP OF BANK
---	---	50-FT WETLAND BUFFER
---	---	SANITARY SEWER
---	---	SOLID STORM DRAIN
---	---	FORCE MAIN
---	---	DOMESTIC WATER SERVICE
---	---	NATURAL GAS
---	---	ELECTRIC
---	---	OVERHEAD WIRES
---	---	FENCE
---	---	CLEAN OUT TO GRADE
---	---	FOUND MONUMENT
---	---	VALVE
---	---	METER BOX
---	---	DRAIN
---	---	ATRIUM DRAIN
---	---	CATCH BASIN
---	---	SIGN
---	---	SPLASH BLOCK
---	---	STORMWATER SURFACE FLOW
---	---	DETAIL NUMBER
---	---	SHEET LOCATION

ABBREVIATIONS:

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BOT	BOTTOM OF TANK OR PIPE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWL	DRYWELL CATCH BASIN
DWY	DRIVEWAY
E	EXISTING GRADE
EG	ELECTRICAL
ELEC	ELECTRICAL METER
EM	EDGE OF PAVEMENT
EP	FACE OF CURB ELEVATION
FC	FIRE DEPARTMENT CONNECTION
FDC	FINISHED FLOOR ELEVATION
FF	FINISHED GROUND ELEVATION
FG	FLOW LINE ELEVATION
FL	FORCE MAIN LINE
FM	FINISHED SURFACE ELEVATION
FS	FINISHED PAVEMENT ELEVATION
FP	FIRE WATER LINE
FW	GRADE BREAK
GB	GAS METER
GM	GRATE ELEVATION
GR	GATE VALVE
GV	HIGH POINT
HP	INVERT ELEVATION
INV	JOINT POLE
JP	LOCAL COASTAL PROGRAM
LCP	LANDSCAPE DRAIN
LD	LINEAR FEET
LF	LOW POINT
LP	NEW POINT OF CONNECTION
POC	RETAINING WALL
RET	RIM ELEVATION
RIM	SLOPE
S	SEE ARCHITECTURAL PLANS
SAP	STORM DRAIN
SD	STORM DRAIN CLEANOUT
SDCO	SEE GEOTECHNICAL REPORT
SOR	SIDE INLET CATCH BASIN
SIB	SEE LANDSCAPE PLANS
SLP	SEE PLUMBING PLANS
SPP	SANITARY SEWER CLEANOUT
SS	SEE STRUCTURAL PLANS
SSCO	SEE STRUCTURAL PLANS
SSP	TOP OF TANK OR PIPE
TOP	TOP OF WALL ELEVATION
TW	TYPICAL
W	DOMESTIC WATER LINE
WM	WATER METER



PROJECT DESIGN TEAM:

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FEMA FLOOD PLAIN NOTES:

- THE PROJECT SITE IS LOCATED IN ZONE A, WITH AN UNDETERMINED BASE FLOOD ELEVATION.
- REFER TO FEMA PANEL 06081C0260E FOR MORE DETAIL.
- LIMITS OF 100-YR FLOOD PLAIN SHOWN ARE APPROXIMATED BASED ON SAN MATEO COUNTY GIS RECORDS.

CODE COMPLIANCE NOTE:

2022 CALIFORNIA BUILDING, PLUMBING, ELECTRICAL, GREEN CODE AND RELATED APPLICABLE CODE OF REGULATION
 2022 CALIFORNIA FIRE CODE
 COASTSIDE FIRE PROTECTION DISTRICT ADOPTED CODES AND STANDARDS
 COUNTY OF SAN MATEO ADOPTED CODES AND STANDARDS

DEVELOPMENT STANDARDS:

FOR SAN MATEO COUNTY ZONING: PAD/CD
 APNS: 056-270-010, -030, -060, -090, -100
 (PER SAN MATEO COUNTY ZONING REGULATIONS DATED JANUARY 2022)

- AGRICULTURAL PROPERTY SETBACKS: 30 FT FRONT, 20 FT SIDE, 20 FT REAR
- MAXIMUM BUILDING HEIGHT: 36 FT
- MAXIMUM RESIDENTIAL BUILDING FLOOR AREA: 6,200 SQ. FT

FOR CITY OF HALF MOON BAY ZONING: A-1
 APNS: 056-260-020, -030, 056-321-010
 (PER CITY OF HALF MOON BAY ZONING MAP DATED JUNE 2015)

- PROPERTY SETBACKS: 50 FT FRONT, 20 FT SIDES, 25 FT REAR
- MAXIMUM BUILDING HEIGHT: 35 FT
- MINIMUM LOT SIZE: 15 AC
- MINIMUM DISTANCE BETWEEN DWELLINGS: 25 FT

HAUL ROUTE:

CONTRACTOR SHALL UTILIZE THE FOLLOWING HAUL ROUTE FOR IMPORTING/EXPORTING SOILS AND OTHER CONSTRUCTION MATERIALS:

- ACCESS THE PROJECT SITE BY CROSSING THE BRIDGE OVER PILARCITOS CREEK THROUGH CITY PARCEL 056-270-090
- FROM JOB SITE, DRIVE BACK DOWN ACCESS BRIDGE TOWARDS HWY 92
- TURN RIGHT ONTO HWY 92
- TURN LEFT ONTO BFI OX MOUNTAIN LANDFILL ROAD

PROJECT DESCRIPTION:

THE PROJECT PROPOSES DOCUMENTATION OF EXISTING SITE CONDITIONS AND PROPOSED IMPROVEMENTS TO MITIGATE GRADING AND BUILDING PERMIT VIOLATIONS WITH CITY OF HALF MOON BAY, COUNTY OF SAN MATEO, AND CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE.

WORK WITHIN CITY OF HALF MOON BAY INCLUDES THE FOLLOWING SCOPE ITEMS:

- DEMOLITION OF (2) EXISTING PERMITTED MOBILE HOMES, R1 AND R2, AND A GROUP OF UNPERMITTED RESIDENTIAL TRAILER HOOKUPS AND ASSOCIATED UTILITIES, INCLUDING WATER, SEPTIC AND ELECTRICAL SYSTEMS AS PART OF THE HABITAT RESTORATION IMPROVEMENTS.
- DEMOLITION OF EXISTING PERMITTED, BUT FAILING GREENHOUSES G6 AND G7.
- PROPOSED GRADING TO CREATE A NEW VEGETATED SWALE TO DIVERT UPLAND FLOWS AROUND DEVELOPMENT AND AGRICULTURAL OPERATIONS.
- GRADING AND DRAINAGE IMPROVEMENTS TO ROUTE STORMWATER FROM EXISTING HOOPHOUSES AND NEW COMPOST FACILITY AND HARDSCAPE TO A BIORETENTION PLANTER FOR TREATMENT.
- DEMOLITION, GRADING AND REPLANTING TO DEVELOP HABITAT RESTORATION AREAS AS DESCRIBED IN THE PROJECT BIOLOGICAL STUDY. EXISTING SEPTIC TANKS TO BE FILLED WITH CONCRETE AND ABANDONED IN PLACE ALONG WITH DRAINFIELDS PER SAN MATEO COUNTY ENVIRONMENTAL HEALTH STANDARDS.
- BUILDING AND ELECTRICAL PERMITS TO LEGALIZE MODIFICATIONS TO EXISTING HEATING AND COOLING BUILDING B1 AND G4A (DEFERRED).
- IMPROVEMENTS TO ADDRESS CREEK AND STREAMBED VIOLATIONS NOTED BY CDFW INCLUDING NEW DIVERSION LOCATION AND HABITAT RESTORATION AS DESCRIBED IN THE PROJECT BIOLOGICAL STUDY.

WORK WITHIN SAN MATEO COUNTY INCLUDES THE FOLLOWING SCOPE ITEMS:

- GRADING AND DRAINAGE IMPROVEMENTS TO REPAIR EXISTING EMERGENCY OUTFALL AT RESERVOIR TO THE SOUTH OF HOOPHOUSES.
- PROPOSED GRADING AND DRAINAGE TO CREATE A NEW VEGETATED SWALE TO DIVERT UPLAND FLOWS AROUND EXISTING DEVELOPMENT AND AGRICULTURAL OPERATIONS.
- LEGALIZATION OF EXISTING UNPERMITTED HOOPHOUSES AND ASSOCIATED SITE IMPROVEMENTS, INCLUDING STORMWATER TREATMENT.
- IMPROVEMENTS TO ADDRESS INGRESS/EGRESS SAFETY AT EXISTING HOOPHOUSES TO REMAIN.
- REMOVAL OF EXISTING HAZARDOUS MATERIALS WITHIN PROXIMITY OF PILARCITOS CREEK, NAMELY WOOD DEBRIS AND AGRICULTURAL WASTE OUTSIDE OF APPLICABLE RIPARIAN SETBACKS.
- IMPROVEMENTS TO CREATE A DEDICATED COMPOSTING AND STORAGE FACILITY ONSITE FOR PROCESSING OF AGRICULTURAL WASTE OUTSIDE OF APPLICABLE RIPARIAN SETBACKS.
- DEMOLITION OF EXISTING, PERMITTED BUT CONDEMNED, SINGLE FAMILY HOME R3 AND REMOVAL OF UNPERMITTED TRAILER HOOKUPS AND ASSOCIATED UTILITIES.
- BUILDING AND ELECTRICAL IMPROVEMENTS TO ADDRESS PERMIT VIOLATIONS AT EXISTING DAM PUMPHOUSE AND TREATMENT FACILITIES P1, P2 AND P3.
- IMPROVEMENTS TO ADDRESS CREEK AND STREAMBED VIOLATIONS NOTED BY CDFW INCLUDING NEW DIVERSION LOCATION AND HABITAT RESTORATION AS DESCRIBED IN THE PROJECT BIOLOGICAL STUDY.
- STRUCTURAL ASSESSMENT OF THE EXISTING RAIL CAR BRIDGE. EXISTING SIGNAGE TO BE REPLACED AND BARRICADE TO BE INSTALLED AT A FUTURE DATE.

SHEET INDEX

SHEET NO.	DESCRIPTION
C0.0	TITLE SHEET
C0.1	NOTES SHEET
C1.0	OVERALL EXISTING CONDITIONS
C1.1	EXISTING CONDITIONS & DEMOLITION PLAN
C1.2	EXISTING CONDITIONS & DEMOLITION PLAN
C1.3	EXISTING CONDITIONS & DEMOLITION PLAN
C2.1	SITE IMPROVEMENTS PLAN
C2.2	SITE IMPROVEMENTS PLAN
C2.3	SITE IMPROVEMENTS PLAN
C3.0	STORMWATER CONTROL PLAN
C4.0	FIRE ACCESS PLAN
C4.1	FIRE ACCESS PLAN
C4.2	FIRE ACCESS PLAN
C5.0	STAGING & EROSION CONTROL PLAN
C5.1	BEST MANAGEMENT PRACTICES
C6.0	DETAIL SHEET
A100	COVER SHEET
A101	SITE PLAN HOOP HOUSES
A102	HOOP HOUSE DESIGN #1
A103	HOOP HOUSE DESIGN #1
A104	HOOP HOUSE DESIGN #2
A105	HOOP HOUSE DESIGN #2
A106	PUMP HOUSE
A107	C4 AND REF.
A108	C4 & REF. ELEVATIONS
A109	C4 & REF. SECTIONS & DETAILS
A110	B1 PLAN
A111	B1 SECTIONS & DETAILS
A112	B1 ELEVATIONS

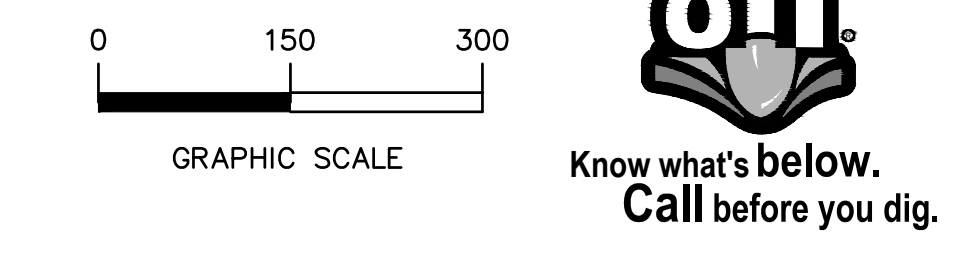
EARTHWORK QUANTITIES

GROSS FIGURES	QUANTITY	QUANTITY BREAKDOWN
CUT	7,975 CUBIC YARDS	(E)UNPERMITTED BLACK HOOPHOUSES
FILL	6,075 CUBIC YARDS	CUT 5,725 CUBIC YARDS
TOTAL	14,050 CUBIC YARDS	FILL 5,725 CUBIC YARDS
BALANCE	1,900 CUBIC YARDS OF EXPORT	(N)BIORETENTION AREA
		CUT 1,900 CUBIC YARDS
		FILL 0 CUBIC YARDS
		(N)SWALE GRADING
		CUT 350 CUBIC YARDS
		FILL 350 CUBIC YARDS

IMPERVIOUS AREAS

TOTAL PROPERTY AREA	131 ACRES
PRE-CONSTRUCTION	372,335 SF
POST-CONSTRUCTION	313,935 SF
CREATED/REPLACED	313,935 SF*

*INCLUDES EXISTING BLACK HOOPHOUSES AND ASSOCIATED ACCESS ROAD CONSTRUCTED IN 2020 WITHOUT PERMITS.



CAUTION:

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION - PHONE (800) 642-2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

GENERAL SITE NOTES:

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF AND FAMILIAR WITH ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING A BID.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED WITH (E) AND REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO PROJECT MANAGER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN, SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE CITY/TOWN HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.

DEMOLITION NOTES :

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF S&B MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.

RECORD DRAWINGS:

- THE CONTRACTOR SHALL KEEP UP-TO-DATE AND ACCURATE A COMPLETE RECORD SET OF PRINTS OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "RE-ROUTED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY/TOWN ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL BY THE CITY/TOWN ENGINEER.

STORM DRAIN MAINTENANCE NOTES:

PLEASE NOTE THAT REGULAR MAINTENANCE ON GRADING AND DRAINAGE STRUCTURES IS REQUIRED TO ENSURE FUNCTIONALITY THROUGHOUT THE LIFE OF THE PROPERTY. MAINTENANCE SHOULD INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:

- THE CLEARING OF DEBRIS FROM THE BIORETENTION, DRAINAGE SWALE AND STORM DRAIN LINES.
- ROOF CUTTERS AND DOWNSPOUTS SHOULD BE CLEARED BEFORE THE BEGINNING OF EACH RAINY SEASON AND AS NEEDED THROUGHOUT THE WINTER MONTHS.
- SURFACE GRADING MAY ALSO REQUIRE CONTINUED REFINEMENT, INCLUDING THE CLEARING AND RE-FINISHING OF VEGETATED SWALES AND SLOPES TO MINIMIZE FLOODING, MAINTAIN POSITIVE DRAINAGE AWAY FROM IMPROVEMENTS AND PROTECT AGAINST EROSION.
- GRADED SLOPES SHOULD BE MONITORED AND RE-VEGETATED AS NEEDED.

TREE/PLANT PROTECTION NOTES:

- PRIOR TO BEGINNING CONSTRUCTION ON-SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY HAZARDOUS MATERIAL, AS WELL AS FROM FLOODING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY/TOWN'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.

HORIZONTAL CONTROL NOTES:

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS THEREOF UNLESS SPECIFICALLY CALLED OUT AS FEET AND INCHES.

PAVEMENT SECTION:

- ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.

SITE MAINTENANCE:

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS POINTS FOR THE SITE AND PLACE STABILIZED CONSTRUCTION ENTRANCES AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SORAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEP MANUALLY.
- CREATE A CONTAINED AND COVERED AREA ON THE SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.

DUST CONTROL:

- GRADING OR ANY OTHER OPERATIONS THAT CREATES DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT NOTES AT ALL TIMES. THE SITE SHALL BE WATERED (BY HAND OR TRUCK) AS NECESSARY TO PREVENT DUST NUISANCE IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST. THE CLIENT RESERVES THE RIGHT TO TAKE WHATEVER MEASURES ARE NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY/TOWN'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARP/AULNS OR OTHER EFFECTIVE COVERS.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.

NPDES REQUIREMENTS:

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE, IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY/TOWN OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEPT UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR BEMHOD OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION-SITE.
- CALL 911 IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, JANUARY 2015, OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY/TOWN INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEARLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

EROSION AND SEDIMENTATION CONTROL NOTES:

- CONTRACTOR SHALL ASSUME THE CONCEPTS ON THE EROSION CONTROL PLAN, IF PROVIDED, ARE SCHEMATIC MINIMUM REQUIREMENTS, THE FULL EXTENT OF WHICH ARE TO BE DETERMINED BY THE CONTRACTOR. CONTRACTOR IS RESPONSIBLE FOR THE EXACT DESIGN AND EXTENT OF THE EROSION CONTROL SYSTEM SO THAT IT WORKS WITH THE CONTRACTOR'S INTENDED USE AND MANAGEMENT OF THE CONSTRUCTION-SITE.
- ALL EROSION CONTROL FACILITIES SHALL BE INSPECTED BY THE CONTRACTOR AND REPAIRED, AS REQUIRED, AT THE CONCLUSION OF EACH WORKING DAY. THE CONTRACTOR SHALL INSPECT THE EROSION CONTROL FACILITIES AND MAKE NECESSARY REPAIRS PRIOR TO ANTICIPATED STORMS AND AT REASONABLE INTERVALS DURING STORMS OF EXTENDED DURATION. REPAIRS TO DAMAGED FACILITIES SHALL BE MADE IMMEDIATELY UPON DISCOVERY.
- AS SOON AS PRACTICAL FOLLOWING EACH STORM, THE CONTRACTOR SHALL REMOVE ANY ACCUMULATION OF SILT OR DEBRIS FROM THE EROSION CONTROL SEDIMENT BASINS AND SHALL CLEAN THE OUTLET PIPES OF ANY BLOCKAGE.
- STOCKPILED MATERIAL SHALL BE COVERED WITH WOODEN OR A TARP/AULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER.
- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR EXCAVATION, THE CONTRACTOR SHALL VERIFY THAT THE CLIENT HAS SUBMITTED TO THE STATE WATER RESOURCES CONTROL BOARD A NOTICE OF INTENT (NOI) FOR COVERAGE UNDER THE STATE CONSTRUCTION STORM WATER GENERAL PERMIT, IF REQUIRED BY THE STATE. THE CONTRACTOR SHALL MAINTAIN A COPY OF THE NOI ON THE CONSTRUCTION-SITE.
- NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
- PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING OR OTHER MEASURES AS APPROPRIATE.
- CONTRACTOR SHALL MAINTAIN ADJACENT STREETS IN A NEAT, CLEAN, DUST FREE AND SANITARY CONDITION AT ALL TIMES AND TO THE SATISFACTION OF THE CITY/TOWN INSPECTOR. THE ADJACENT STREET SHALL BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCE BEING CONTROLLED AT ALL TIMES. DEVELOPER SHALL BE RESPONSIBLE FOR ANY CLEAN UP ON ADJACENT STREETS AFFECTED BY THEIR CONSTRUCTION. METHOD OF STREET CLEANING SHALL BE BY DRY SWEEPING OF ALL PAVED AREAS. NO STOCKPIILING OF BUILDING MATERIALS WITHIN THE CITY/TOWN'S RIGHT-OF-WAY IS PERMITTED.
- ALL EROSION CONTROL MATERIALS SHALL BE FURNISHED AND INSTALLED BY CONTRACTOR UNLESS OTHERWISE NOTED.
- PROTECT DOWN SLOPE DRAINAGE COURSES, STREAMS AND STORM DRAINS WITH ROCK FILLED SAND BAGS, TEMPORARY DRAINAGE SWALES, SILT FENCES, EARTH BERMS, STORM DRAIN INLET FILTERS AND/OR STRAW BALES USED ONLY IN CONJUNCTION WITH PROPERLY INSTALLED SILT FENCES.

SITE FENCE NOTES:

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6" HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION-SITE TO THE CITY/TOWN STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

GENERAL UTILITY SYSTEM NOTES:

- ALL TRENCHES SHALL BE BACKFILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, PLUMBING, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, SATELLITE DISH, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL. IF RECOMMENDED BY THE GEOTECHNICAL REPORT CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
- COMPLETE SYSTEMS. ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED OR SHOWN ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER INSTALLATION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UP-STREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS:
 - A MINIMUM OF SIX (6) INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE TYPICALLY INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES.
 - WHERE NEW WATER PIPELINES ARE REQUIRED TO CROSS UNDER EXISTING AND/OR NEW SANITARY SEWER PIPELINES, THE MINIMUM VERTICAL SEPARATION SHALL BE 12 INCHES. WATER LINE PIPE ENDS SHALL BE INSTALLED NO CLOSER THAN 10' MINIMUM HORIZONTAL DISTANCE FROM CENTERLINE OF UTILITY CROSSINGS, WHERE FEASIBLE.
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5' FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10' MINIMUM, UNLESS OTHERWISE NOTED.
 - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND JOINT TRENCH SHALL BE 5 FEET.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

FIRE PROTECTION NOTES:

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND CITY/TOWN STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV's, FDC's, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.
- ALL WORK MUST COMPLY WITH THE APPLICABLE PROVISIONS OF THE CFC CHAPTER 33 "FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION."

GENERAL CONSTRUCTION NOTES:

- CONSTRUCTION WORK SHALL BE LIMITED TO THE HOURS OF 7:00 AM TO 6:00 PM MONDAY THROUGH FRIDAY, 8:00 AM TO 6:00 PM SATURDAYS, AND 10:00 AM TO 6:00 PM SUNDAYS AND HOLIDAY, EXCEPT AS EXPRESSLY AUTHORIZED BY THE CITY ENGINEER IN CONFORMANCE WITH SECTION 14.40.020 OF THE HALF MOON BAY MUNICIPAL CODE.
- THE PERMITTEE SHALL PROVIDE WRITTEN NOTICE TO AFFECTED PROPERTY AND BUSINESS OWNERS AND A COPY OF SUCH NOTICE TO THE CITY ENGINEER A MINIMUM OF TWO BUSINESS DAYS PRIOR TO ANY PLANNED DISRUPTION OF PEDESTRIAN OR VEHICULAR TRAFFIC, PARKING, OR PUBLIC SERVICE FACILITIES.
- CONSTRUCTION MATERIAL SHALL NOT BE STORED IN THE STREET RIGHT-OF-WAY WITHOUT PRIOR APPROVAL FROM THE CITY ENGINEER.

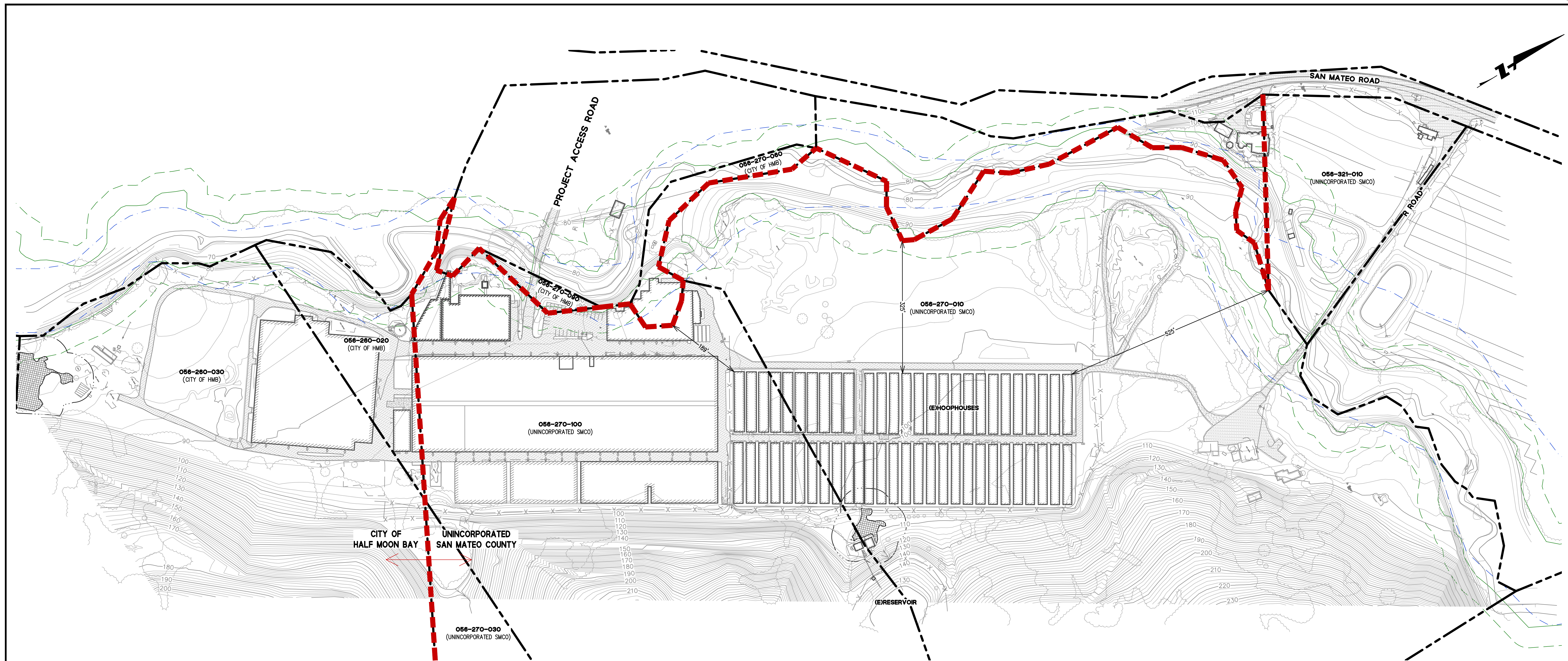


CALIFORNIA

NOTES
IMPROVEMENT PLANS
12761 SAN MATEO ROAD
SAN MATEO COUNTY

HALF MOON BAY

Date	No.	Revisions	Date
10/24/2023	1	PLAN CHECK COMMENTS	09/17/2024
	2	PLAN CHECK COMMENTS	12/20/2024
	3	DEMOLITION PLAN UPDATE	04/09/2025
		Approved D/L	
		Job No: 20230873-10	



EXISTING CONDITIONS:

- EXISTING AERIAL TOPOGRAPHIC SURVEY PERFORMED BY VERTICAL MAPPING RESOURCES ON JULY 1, 2023 (JOB #23-3772). GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
- CLIENT SHALL HOLD HARMLESS BKF ENGINEERS FROM ANY AND ALL OCCURRENCES RESULTING FROM THE INACCURACY OF THE CLIENT SUPPLIED TOPOGRAPHIC AND BOUNDARY SURVEY (AS PREPARED BY OTHERS).

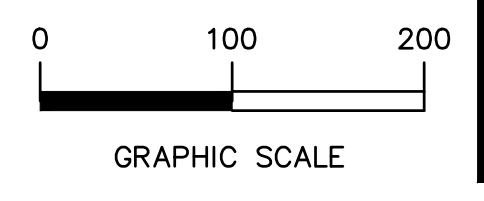
SURVEYOR'S NOTES:

UTILITY NOTE
 CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION

- GENERAL NOTES:**
- MAP MUST BE PROPERLY FILED CHECKED AND VERIFIED BEFORE USE. ALTERATIONS SERVICED PROMPTLY.
 - STRUCTURE OUTLINES INDICATE DRIP LINE, BUT MAY ALSO INCLUDE ELEVATED STAIRS AND MISC. ATTACHMENTS.
 - FEATURES IN SHADOWS, VEGETATION AND NEAR TALL OBJECTS MAY BE OMITTED FOR CLARITY OR DUE TO BEING OBSCURED, AND/OR MAY NOT MEET MAP ACCURACY STANDARDS DUE TO BEING OBSCURED.
 - MAPPING OUTSIDE OF THE SURVEY CONTROL PERIMETER MAY NOT MEET ACCURACY STANDARDS.
 - PLOTTED CONTROL POINT ELEVATIONS ARE AT GROUND LEVEL UNLESS OTHERWISE INDICATED.

BOUNDARY NOTE:

- BASED ON RECORD AND DO NOT CONSTITUTE A RESOLVED BOUNDARY SURVEY.
- EXISTING EASEMENTS NOT SHOWN OR PLOTTED.



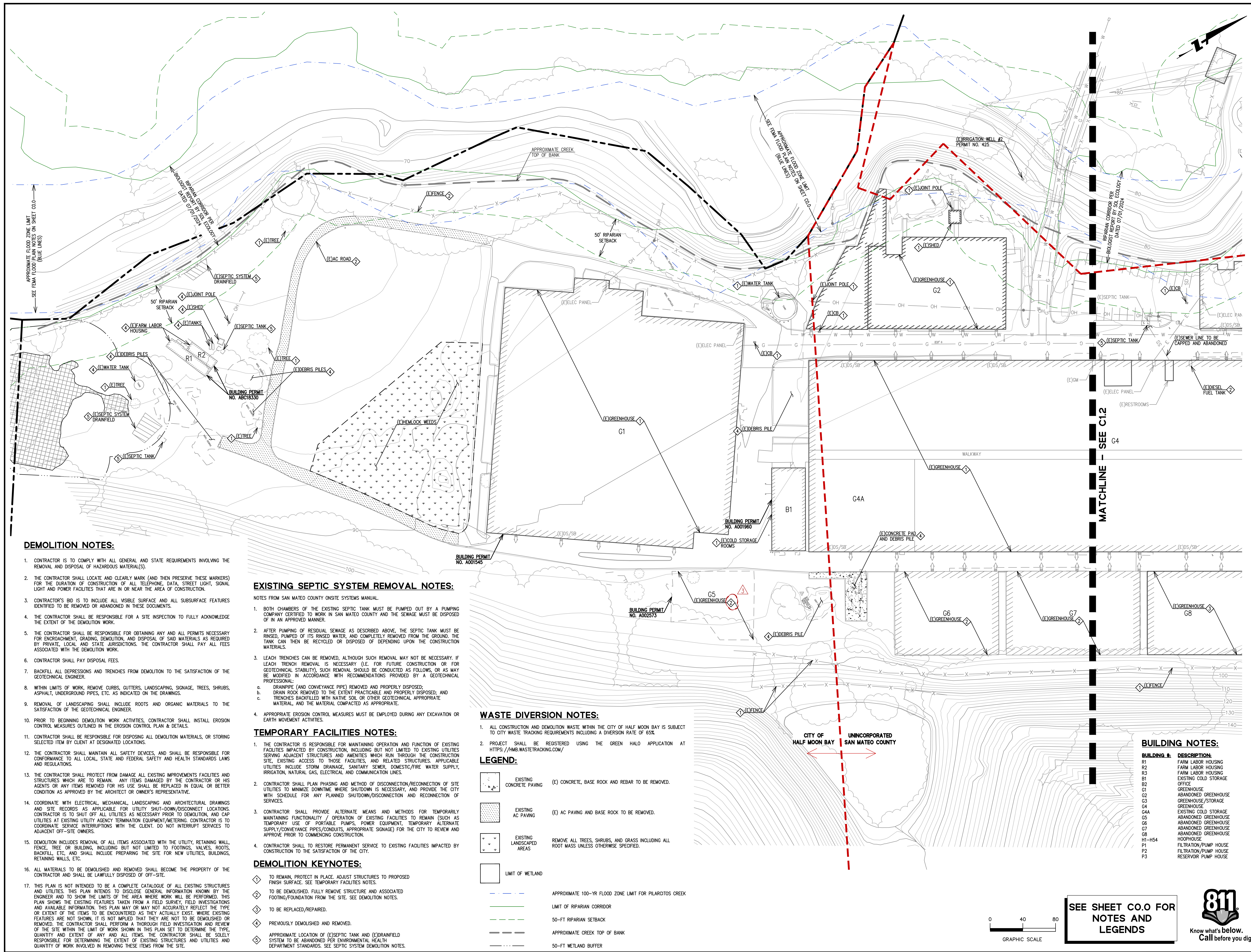
**SEE SHEET CO.0 FOR
 NOTES AND
 LEGENDS**



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 PLOT DATE: 04-02-25 PLOTTED BY: ange.hernandez

No.	Date	Revisions
1	10/24/2023	PLAN CHECK COMMENTS
2	09/17/2024	PLAN CHECK COMMENTS
3	12/20/2024	PLAN CHECK COMMENTS
4	04/02/2025	DEMOLITION PLAN UPDATE

Date: 10/24/2023
 Scale: 1" = 100'
 Design: DJP
 Drawn: AHM
 Approved: DJL
 Job No: 20230873-10



DEMOLITION NOTES:

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- THE CONTRACTOR SHALL LOCATE AND CLEARLY MARK (AND THEN PRESERVE THESE MARKERS) FOR THE DURATION OF CONSTRUCTION OF ALL TELEPHONE, DATA, STREET LIGHT, SIGNAL LIGHT AND POWER FACILITIES THAT ARE IN OR NEAR THE AREA OF CONSTRUCTION.
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- CONTRACTOR SHALL PAY DISPOSAL FEES.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- WITHIN LIMITS OF WORK, REMOVE CURBS, GUTTERS, LANDSCAPING, SIGNAGE, TREES, SHRUBS, ASPHALT, UNDERGROUND PIPES, ETC. AS INDICATED ON THE DRAWINGS.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR DISPOSING ALL DEMOLITION MATERIALS, OR STORING SELECTED ITEM BY CLIENT AT DESIGNATED LOCATIONS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AS APPROVED BY THE ARCHITECT OR OWNER'S REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS AND SITE RECORDS AS APPLICABLE FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION, AND CAP UTILITIES AT EXISTING UTILITY AGENCY TERMINATION EQUIPMENT/METERING. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS.
- DEMOLITION INCLUDES REMOVAL OF ALL ITEMS ASSOCIATED WITH THE UTILITY, RETAINING WALL, FENCE, TREE OR BUILDING, INCLUDING BUT NOT LIMITED TO FOOTINGS, VALVES, ROOTS, BACKFILL, ETC. AND SHALL INCLUDE PREPARING THE SITE FOR NEW UTILITIES, BUILDINGS, RETAINING WALLS, ETC.
- ALL MATERIALS TO BE DEMOLISHED AND REMOVED SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE LAWFULLY DISPOSED OF OFF-SITE.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MAY OR MAY NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. WHERE EXISTING FEATURES ARE NOT SHOWN, IT IS NOT IMPLIED THAT THEY ARE NOT TO BE DEMOLISHED OR REMOVED. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

EXISTING SEPTIC SYSTEM REMOVAL NOTES:

- NOTES FROM SAN MATEO COUNTY ONSITE SYSTEMS MANUAL.
- BOTH CHAMBERS OF THE EXISTING SEPTIC TANK MUST BE PUMPED OUT BY A PUMPING COMPANY CERTIFIED TO WORK IN SAN MATEO COUNTY AND THE SEWAGE MUST BE DISPOSED OF IN AN APPROVED MANNER.
 - AFTER PUMPING OF RESIDUAL SEWAGE AS DESCRIBED ABOVE, THE SEPTIC TANK MUST BE RINSED, PUMPED OF ITS RINSED WATER, AND COMPLETELY REMOVED FROM THE GROUND. THE TANK CAN THEN BE RECYCLED OR DISPOSED OF DEPENDING UPON THE CONSTRUCTION MATERIALS.
 - LEACH TRENCHES CAN BE REMOVED, ALTHOUGH SUCH REMOVAL MAY NOT BE NECESSARY. IF LEACH TRENCH REMOVAL IS NECESSARY (I.E. FOR FUTURE CONSTRUCTION OR FOR GEOTECHNICAL STABILITY), SUCH REMOVAL SHOULD BE CONDUCTED AS FOLLOWS, OR AS MAY BE MODIFIED IN ACCORDANCE WITH RECOMMENDATIONS PROVIDED BY A GEOTECHNICAL PROFESSIONAL:
 - DRAINPIPE (AND CONVEYANCE PIPE) REMOVED AND PROPERLY DISPOSED;
 - DRAIN ROCK REMOVED TO THE EXTENT PRACTICABLE AND PROPERLY DISPOSED; AND TRENCHES BACKFILLED WITH NATIVE SOIL OR OTHER GEOTECHNICAL APPROPRIATE MATERIAL, AND THE MATERIAL COMPACTED AS APPROPRIATE.
 - APPROPRIATE EROSION CONTROL MEASURES MUST BE EMPLOYED DURING ANY EXCAVATION OR EARTH MOVEMENT ACTIVITIES.

TEMPORARY FACILITIES NOTES:

- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING OPERATION AND FUNCTION OF EXISTING FACILITIES IMPACTED BY CONSTRUCTION, INCLUDING BUT NOT LIMITED TO EXISTING UTILITIES SERVING ADJACENT STRUCTURES AND AMENITIES WHICH RUN THROUGH THE CONSTRUCTION SITE, EXISTING ACCESS TO THOSE FACILITIES, AND RELATED STRUCTURES. APPLICABLE UTILITIES INCLUDE STORM DRAINAGE, SANITARY SEWER, DOMESTIC/FIRE WATER SUPPLY, IRRIGATION, NATURAL GAS, ELECTRICAL AND COMMUNICATION LINES.
- CONTRACTOR SHALL PLAN PHASING AND METHOD OF DISCONNECTION/RECONNECTION OF SITE UTILITIES TO MINIMIZE DOWNTIME WHERE SHUTDOWN IS NECESSARY, AND PROVIDE THE CITY WITH SCHEDULE FOR ANY PLANNED SHUTDOWN/DISCONNECTION AND RECONNECTION OF SERVICES.
- CONTRACTOR SHALL PROVIDE ALTERNATE MEANS AND METHODS FOR TEMPORARILY MAINTAINING FUNCTIONALITY // OPERATION OF EXISTING FACILITIES TO REMAIN (SUCH AS TEMPORARY USE OF PORTABLE PUMPS, POWER EQUIPMENT, TEMPORARY ALTERNATE SUPPLY/CONVEYANCE PIPES/CONDUITS, APPROPRIATE SIGNAGE) FOR THE CITY TO REVIEW AND APPROVE PRIOR TO COMMENCING CONSTRUCTION.
- CONTRACTOR SHALL TO RESTORE PERMANENT SERVICE TO EXISTING FACILITIES IMPACTED BY CONSTRUCTION TO THE SATISFACTION OF THE CITY.

DEMOLITION KEYNOTES:

- ◇ TO REMAIN, PROTECT IN PLACE. ADJUST STRUCTURES TO PROPOSED FINISH SURFACE. SEE TEMPORARY FACILITIES NOTES.
- ◇ TO BE DEMOLISHED. FULLY REMOVE STRUCTURE AND ASSOCIATED FOOTING/FOUNDATION FROM THE SITE. SEE DEMOLITION NOTES.
- ◇ TO BE REPLACED/REPAIRED.
- ◇ PREVIOUSLY DEMOLISHED AND REMOVED.
- ◇ APPROXIMATE LOCATION OF (E)SEPTIC TANK AND (E)DRAINFIELD SYSTEM TO BE ABANDONED PER ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS. SEE SEPTIC SYSTEM DEMOLITION NOTES.

WASTE DIVERSION NOTES:

- ALL CONSTRUCTION AND DEMOLITION WASTE WITHIN THE CITY OF HALF MOON BAY IS SUBJECT TO CITY WASTE TRACKING REQUIREMENTS INCLUDING A DIVERSION RATE OF 65%.
- PROJECT SHALL BE REGISTERED USING THE GREEN HALO APPLICATION AT [HTTPS://HMB.WASTETRACKING.COM/](https://hmb.wastetracking.com/)

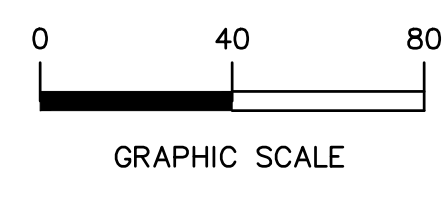
LEGEND:

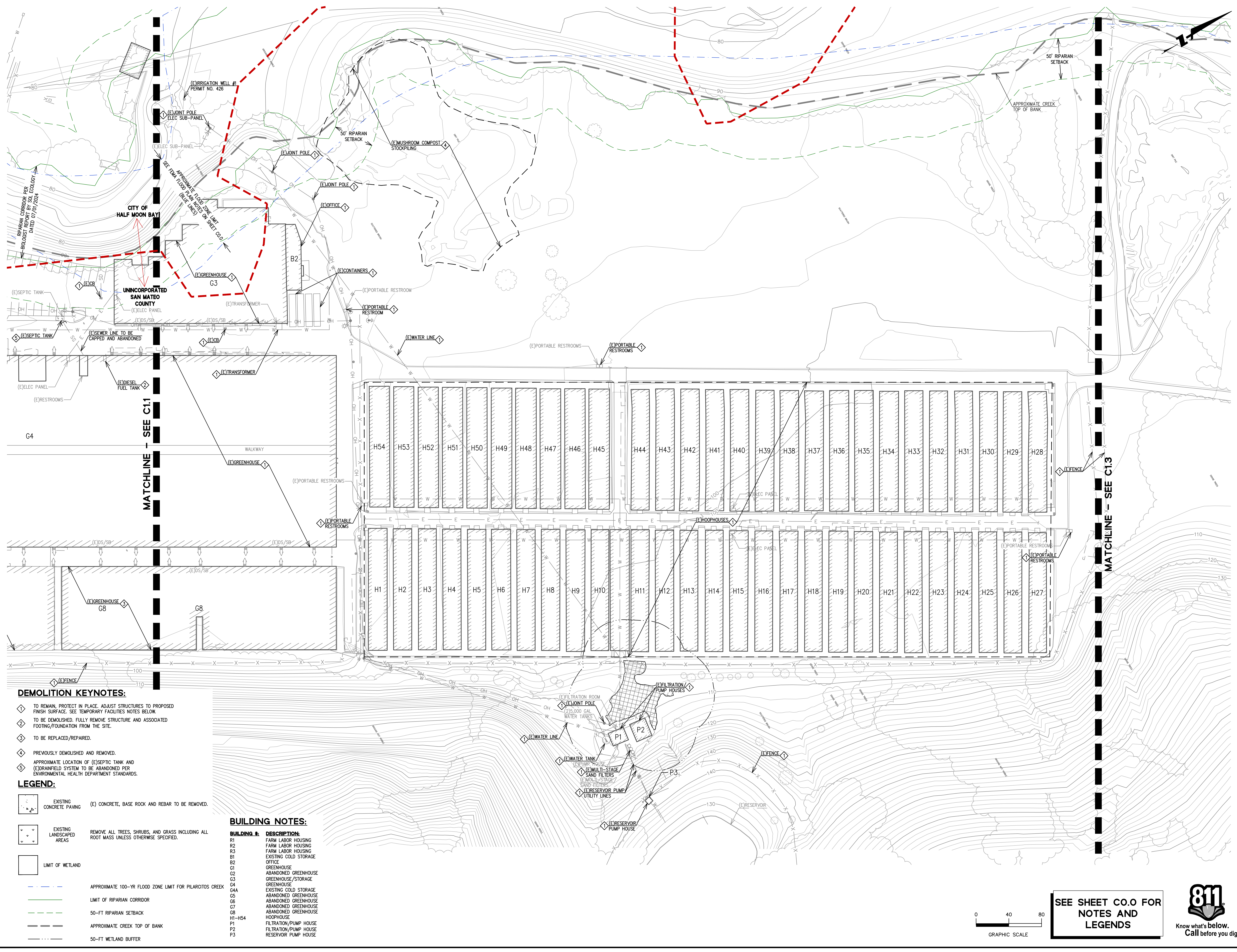
- EXISTING CONCRETE PAVING (E) CONCRETE, BASE ROCK AND REBAR TO BE REMOVED.
- EXISTING AC PAVING (E) AC PAVING AND BASE ROCK TO BE REMOVED.
- EXISTING LANDSCAPED AREAS REMOVE ALL TREES, SHRUBS, AND GRASS INCLUDING ALL ROOT MASS UNLESS OTHERWISE SPECIFIED.
- LIMIT OF WETLAND
- APPROXIMATE 100-YR FLOOD ZONE LIMIT FOR PILARCITOS CREEK
- LIMIT OF RIPARIAN CORRIDOR
- 50'-FT RIPARIAN SETBACK
- APPROXIMATE CREEK TOP OF BANK
- 50'-FT WETLAND BUFFER

BUILDING NOTES:

BUILDING #	DESCRIPTION
R1	FARM LABOR HOUSING
R2	FARM LABOR HOUSING
R3	FARM LABOR HOUSING
B1	EXISTING COLD STORAGE
B2	OFFICE
G1	GREENHOUSE
G2	ABANDONED GREENHOUSE
G3	GREENHOUSE/STORAGE
G4	GREENHOUSE
G4A	EXISTING COLD STORAGE
G5	ABANDONED GREENHOUSE
G6	ABANDONED GREENHOUSE
G7	ABANDONED GREENHOUSE
G8	ABANDONED GREENHOUSE
H1-H54	HOOPHOUSE
P1	FILTRATION/PUMP HOUSE
P2	FILTRATION/PUMP HOUSE
P3	RESERVOIR PUMP HOUSE

SEE SHEET CO.0 FOR NOTES AND LEGENDS





DEMOLITION KEYNOTES:

- ◆ TO REMAIN, PROTECT IN PLACE, ADJUST STRUCTURES TO PROPOSED FINISH SURFACE. SEE TEMPORARY FACILITIES NOTES BELOW.
- ◆ TO BE DEMOLISHED, FULLY REMOVE STRUCTURE AND ASSOCIATED FOOTING/FOUNDATION FROM THE SITE.
- ◆ TO BE REPLACED/REPAIRED.
- ◆ PREVIOUSLY DEMOLISHED AND REMOVED.
- ◆ APPROXIMATE LOCATION OF (E)SEPTIC TANK AND (E)DRAINFIELD SYSTEM TO BE ABANDONED PER ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.

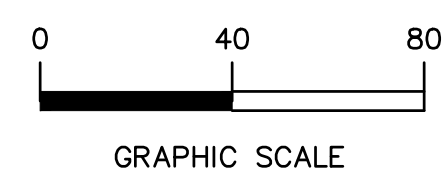
LEGEND:

- EXISTING CONCRETE PAVING (E) CONCRETE, BASE ROCK AND REBAR TO BE REMOVED.
- EXISTING LANDSCAPED AREAS REMOVE ALL TREES, SHRUBS, AND GRASS INCLUDING ALL ROOT MASS UNLESS OTHERWISE SPECIFIED.
- LIMIT OF WETLAND
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| R1 | FARM LABOR HOUSING |
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| G2 | ABANDONED GREENHOUSE |
| G3 | GREENHOUSE/STORAGE |
| G4 | GREENHOUSE |
| G4A | EXISTING COLD STORAGE |
| G5 | ABANDONED GREENHOUSE |
| G6 | ABANDONED GREENHOUSE |
| G7 | ABANDONED GREENHOUSE |
| G8 | ABANDONED GREENHOUSE |
| H1-H54 | HOOPHOUSE |
| P1 | FILTRATION/PUMP HOUSE |
| P2 | FILTRATION/PUMP HOUSE |
| P3 | RESERVOIR PUMP HOUSE |

SEE SHEET CO.0 FOR NOTES AND LEGENDS



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4	04/02/2025	DEMOLITION PLAN UPDATE

BUILDING NOTES:

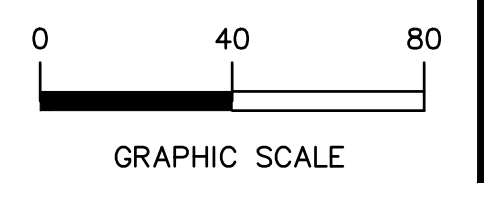
BUILDING #	DESCRIPTION
R1	FARM LABOR HOUSING
R2	FARM LABOR HOUSING
R3	FARM LABOR HOUSING
B1	EXISTING COLD STORAGE
B2	OFFICE
G1	GREENHOUSE
G2	ABANDONED GREENHOUSE
G3	GREENHOUSE/STORAGE
G4	GREENHOUSE
G4A	EXISTING COLD STORAGE
G5	ABANDONED GREENHOUSE
G6	ABANDONED GREENHOUSE
G7	ABANDONED GREENHOUSE
G8	ABANDONED GREENHOUSE
H1-H54	HOOPHOUSE
P1	FILTRATION/PUMP HOUSE
P2	FILTRATION/PUMP HOUSE
P3	RESERVOIR PUMP HOUSE

DEMOLITION KEYNOTES:

- 1 TO REMAIN, PROTECT IN PLACE. ADJUST STRUCTURES TO PROPOSED FINISH SURFACE. SEE TEMPORARY FACILITIES NOTES BELOW.
- 2 TO BE DEMOLISHED. FULLY REMOVE STRUCTURE AND ASSOCIATED FOOTING/FOUNDATION FROM THE SITE.
- 3 TO BE REPLACED/REPAIRED.
- 4 PREVIOUSLY DEMOLISHED AND REMOVED.
- 5 APPROXIMATE LOCATION OF (E)SEPTIC TANK AND (E)DRAINFIELD SYSTEM TO BE ABANDONED PER ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.

DEMOLITION LEGEND:

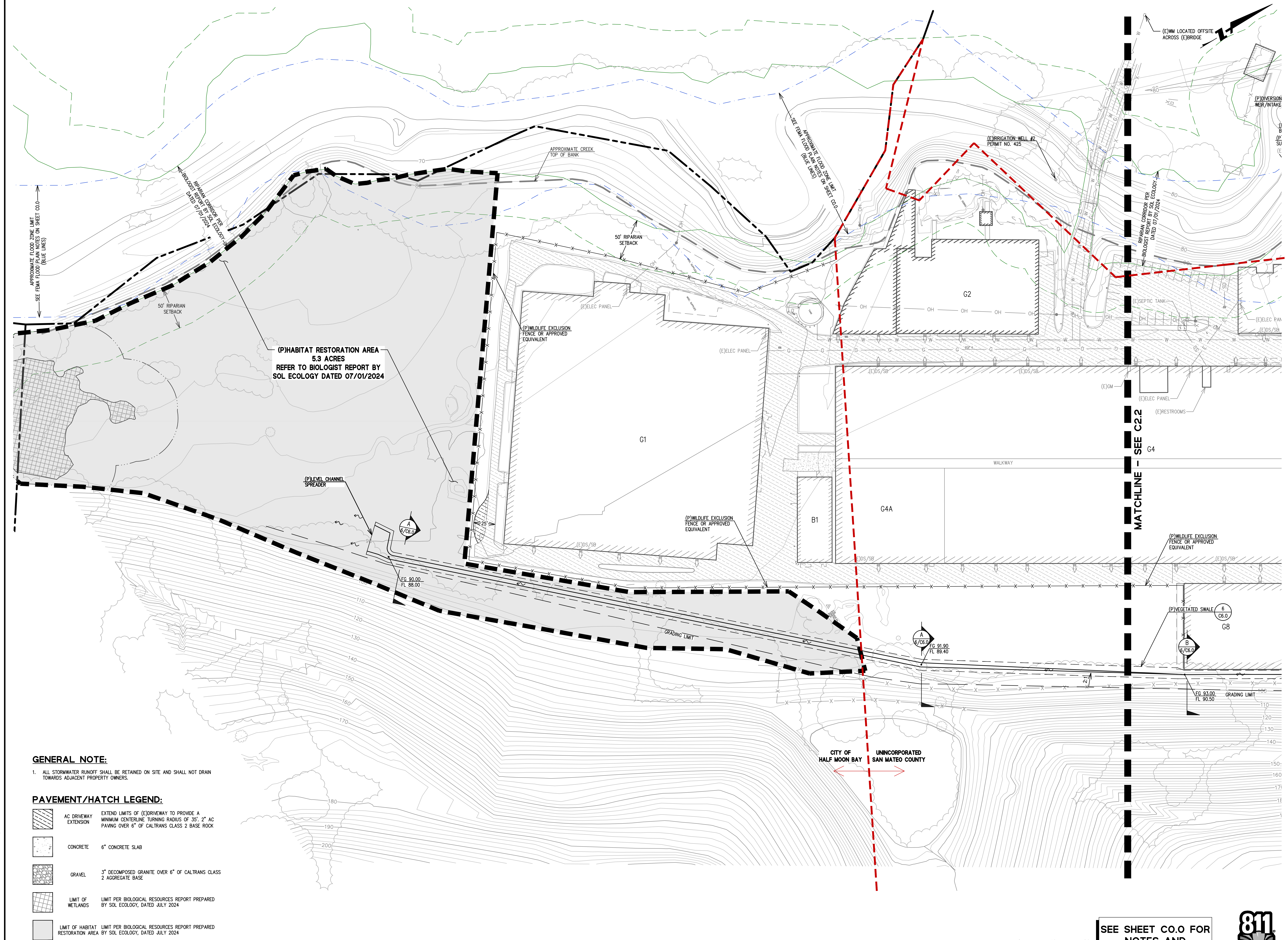
- EXISTING CONCRETE PAVING (E) CONCRETE, BASE ROCK AND REBAR TO BE REMOVED.
- EXISTING AC PAVING (E) AC PAVING AND BASE ROCK TO BE REMOVED.
- EXISTING LANDSCAPED AREAS REMOVE ALL TREES, SHRUBS, AND GRASS INCLUDING ALL ROOT MASS UNLESS OTHERWISE SPECIFIED.
- LIMIT OF WETLAND
- APPROXIMATE 100-YR FLOOD ZONE LIMIT FOR PILARCITOS CREEK
- LIMIT OF RIPARIAN CORRIDOR
- 50-FT RIPARIAN SETBACK
- APPROXIMATE CREEK TOP OF BANK
- 50-FT WETLAND BUFFER



SEE SHEET CO.0 FOR
NOTES AND
LEGENDS



Date	10/24/2023
Scale	1" = 40'
Design	DJP
Drawn	AHM
Approved	DJL
Job No.	20230873-10
Revisions	
1	PLAN CHECK COMMENTS
2	PLAN CHECK COMMENTS
3	DEMOLITION PLAN UPDATE
Drawing Number: C2.1	
OF	

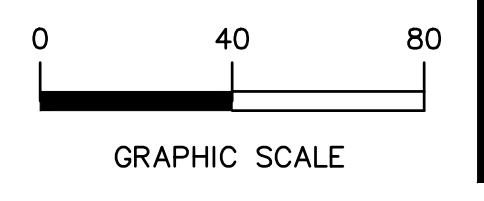


GENERAL NOTE:

- ALL STORMWATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS.

PAVEMENT/HATCH LEGEND:

	AC DRIVEWAY EXTENSION	EXTEND LIMITS OF (E)DRIVEWAY TO PROVIDE A MINIMUM CENTERLINE TURNING RADIUS OF 35'. 2" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK
	CONCRETE	6" CONCRETE SLAB
	GRAVEL	3" DECOMPOSED GRANITE OVER 6" OF CALTRANS CLASS 2 AGGREGATE BASE
	LIMIT OF WETLANDS	LIMIT PER BIOLOGICAL RESOURCES REPORT PREPARED BY SOL ECOLOGY, DATED JULY 2024
	LIMIT OF HABITAT RESTORATION AREA	LIMIT PER BIOLOGICAL RESOURCES REPORT PREPARED BY SOL ECOLOGY, DATED JULY 2024



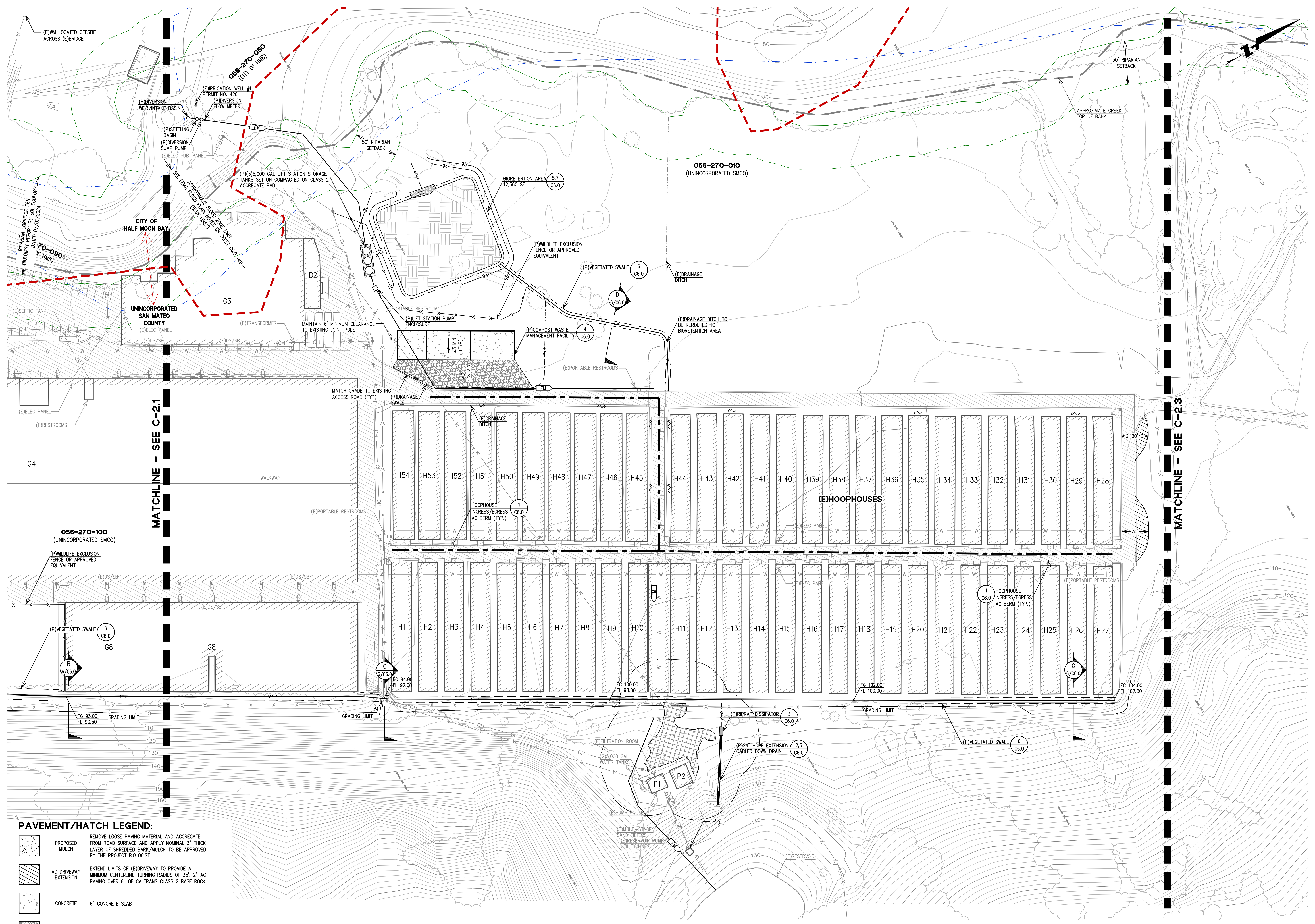
SEE SHEET CO.0 FOR NOTES AND LEGENDS



DRAWING NAME: K:\2023\230873_Terra_Garden_Improvements\ENG-L\ctsheets\c30x42.dwg
 PLOTTED BY: ange herrandez

No.	Date	Revisions
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2	09/17/2024	PLAN CHECK COMMENTS
3	12/20/2024	DEMOLITION PLAN UPDATE

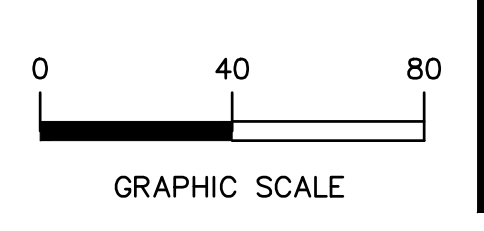
Date	10/24/2023
Scale	1" = 40'
Design	DJP
Drawn	AHM
Approved	DLL
Job No.	20230873-10



PAVEMENT/HATCH LEGEND:

	REMOVE LOOSE PAVING MATERIAL AND AGGREGATE FROM ROAD SURFACE AND APPLY NOMINAL 3" THICK LAYER OF SHREDDED BARK/MULCH TO BE APPROVED BY THE PROJECT BIOLOGIST
	EXTEND LIMITS OF (E)DRIVEWAY TO PROVIDE A MINIMUM CENTERLINE TURNING RADIUS OF 35'. 2" AC PAVING OVER 6" OF CALTRANS CLASS 2 BASE ROCK
	6" CONCRETE SLAB
	3" DECOMPOSED GRANITE OVER 6" OF CALTRANS CLASS 2 AGGREGATE BASE
	LIMIT PER BIOLOGICAL RESOURCES REPORT PREPARED BY SOL ECOLOGY, DATED JULY 2024
	COMPOST FACILITY ACCESS ROUTE

GENERAL NOTE:
 1. ALL STORMWATER RUNOFF SHALL BE RETAINED ON SITE AND SHALL NOT DRAIN TOWARDS ADJACENT PROPERTY OWNERS.



SEE SHEET CO.0 FOR NOTES AND LEGENDS



DRAWING NAME: K:\2023\230873_Terra_Garden_Improvements\ENG-L\cgsheets\30x42.dwg
 PLOT DATE: 04-02-25 PLOTTED BY: ange hernandez

No.	Date	Revisions
1	10/24/2023	PLAN CHECK COMMENTS
2	09/17/2024	PLAN CHECK COMMENTS
3	12/20/2024	PLAN CHECK COMMENTS
4	04/02/2025	DEMOLITION PLAN UPDATE
5		APPROVED D.J.L.
Job No. 20230873-10		

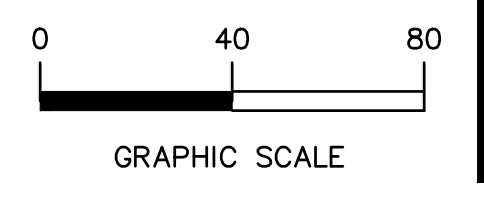
GENERAL NOTE:
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	CONCRETE	6" CONCRETE SLAB
	GRAVEL	3" DECOMPOSED GRANITE OVER 6" OF CALTRANS CLASS 2 AGGREGATE BASE
	LIMIT OF WETLANDS	

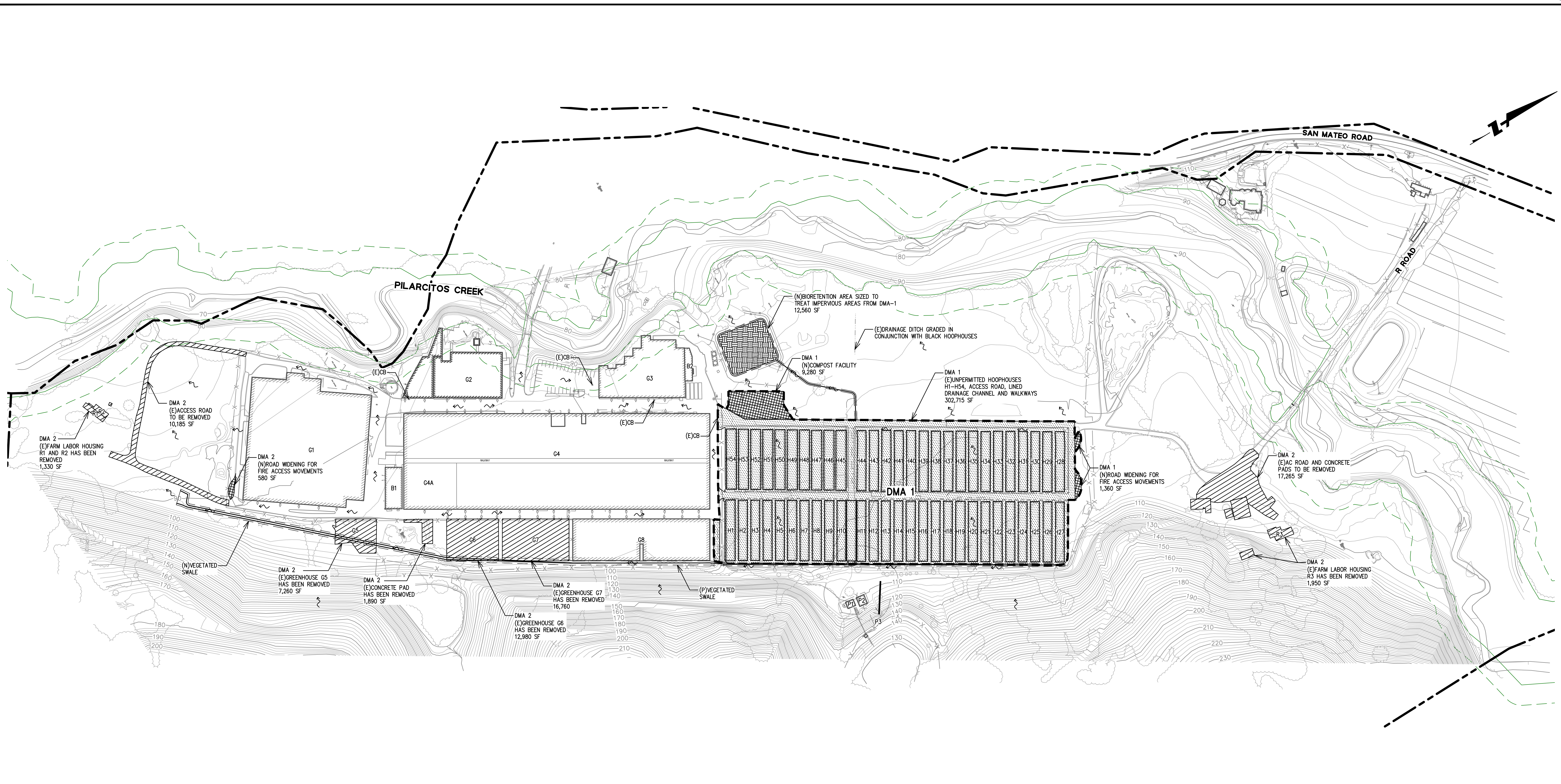


MATCHLINE - SEE C12



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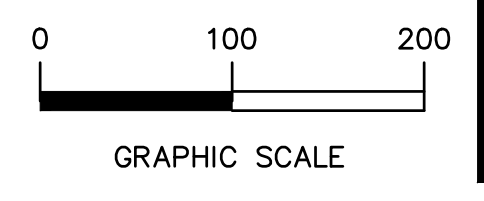


DRAINAGE MANAGEMENT AREA (DMA)	TOTAL AREA (SF)	PERVIOUS SURFACE (SF)	RETAINED IMPERVIOUS SURFACE (SF)	EXISTING IMPERVIOUS SURFACE TO BE REMOVED (SF)	CREATED/REPLACED IMPERVIOUS SURFACE (SF)	TYPE OF IMPERVIOUS SURFACE	TREATMENT MEASURE	LID SIZING (SF) ¹	
								REQUIRED (SF)	PROVIDED (SF)
DMA 1 ¹	317,950	4,595	302,715	-	10,640	ROOF, AC, CONC	BIORETENTION	12,534	12,560
DMA 2 ²	-	-	-	69,620	580	ROOF, AC, CONC	-	-	-

¹ DMA 1 INCLUDES IMPERVIOUS AREAS ASSOCIATED WITH THE BLACK HOOPHOUSES THAT WERE NOT PREVIOUSLY PERMITTED, A NEW COMPOST FACILITY, AND NEW IMPERVIOUS SURFACES FOR FIRE ACCESS TURNING MOVEMENTS.
² DMA 2 INCLUDES THE AREA WITHIN THE LIMIT OF IMPROVEMENTS THAT IS OUTSIDE OF DMA 1. DMA 2 IMPERVIOUS SURFACES INCLUDE A PORTION OF (N)ROAD WIDENING FOR FIRE ACCESS TURNING MOVEMENTS AND IMPERVIOUS SURFACES TO BE REMOVED OUTSIDE OF DMA 1 TO HELP OFFSET THE INCREASE IN IMPERVIOUS SURFACES.

LEGEND

- (E) UNPERMITTED IMPERVIOUS AREAS
- (E) IMPERVIOUS AREA TO BE REMOVED
- (P) IMPERVIOUS HARDSCAPE FOR FIRE ACCESS
- (P) TREATMENT AREA



SEE SHEET CO.0 FOR NOTES AND LEGENDS

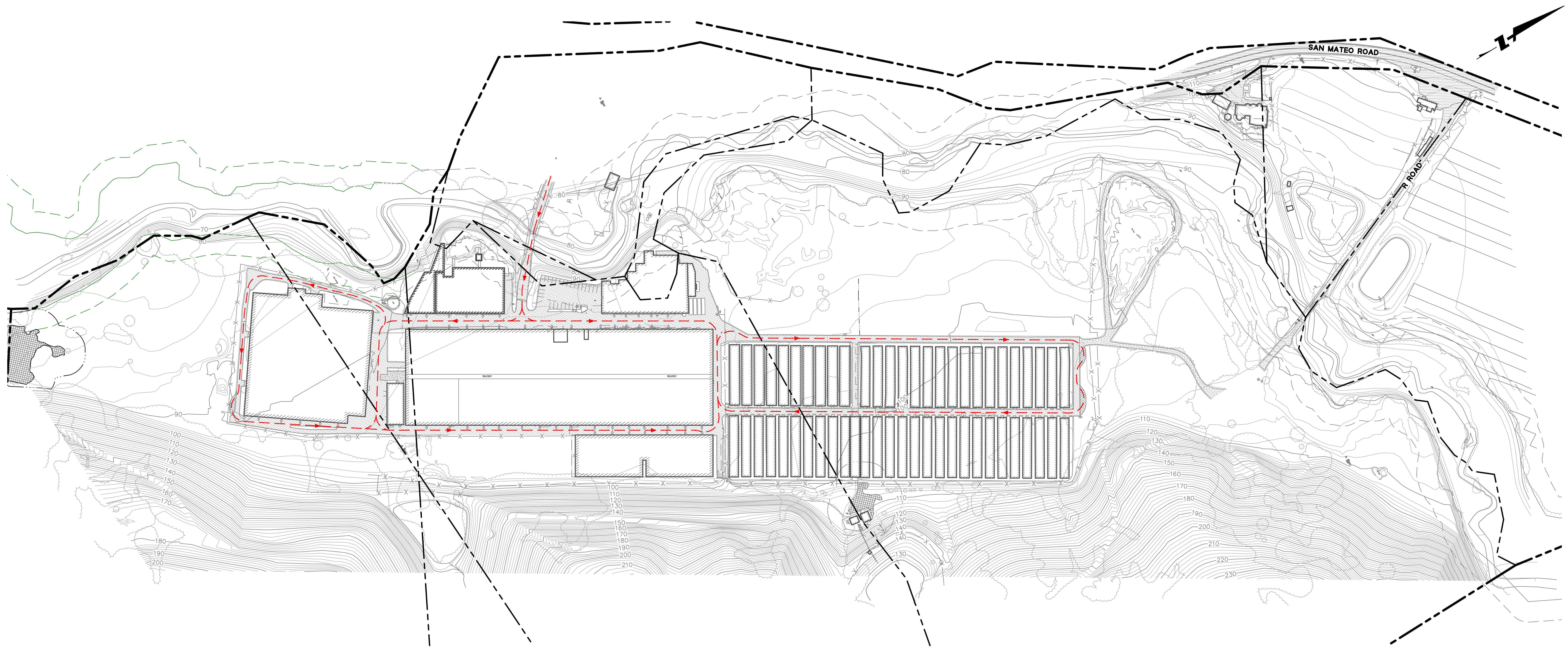


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No.	Date	Revisions
1	10/24/2023	PLAN CHECK COMMENTS
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4	04/02/2025	DEMOLITION PLAN UPDATE

Date: 10/24/2023
 Scale: 1" = 100'
 Design: DJP
 Drawn: AHM
 Approved: DJL
 Job No: 20230873-10
 Drawing Number: **C3.0**
 OF

No.	Date	Revisions
1	09/17/2024	PLAN CHECK COMMENTS
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3	04/02/2025	DEMOLITION PLAN UPDATE



FIRE WATER SUPPLY NOTES:

1. THE MINIMUM WATER SUPPLY FOR FIRE SUPPRESSION IS 1,185,250 GAL PER NFPA 1142.

FIRE WATER SUPPLY TABLE:

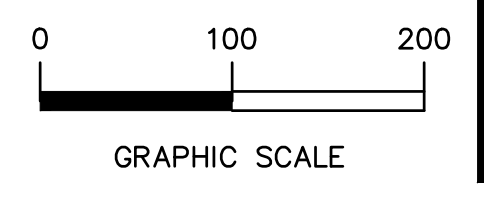
STRUCTURE	STORAGE VOLUME (GAL)
(E)DOMESTIC WATER STORAGE TANK	55,000
(E)RESERVOIR STORAGE TANKS	13,000
(E)RESERVOIR	2,169,350

FIRE NOTES:

1. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.
2. TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10' TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.

LEGEND:

FIRE ACCESS PATH OF TRAVEL TO BE A MINIMUM OF 12'-6" ALL-WEATHER SURFACE DRIVEWAY WITH 15' VERTICAL CLEARANCE AND 20' UNOBSTRUCTED HORIZONTAL CLEARANCE.



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 NOTES AND
 LEGENDS**



DRAWING NAME: K:\2023\230873_Terra_Garden_Improvements\ENG-L\c\sheet_s_30x42.dwg
 PLOT DATE: 04-02-25 PLOTTED BY: ange herrandez

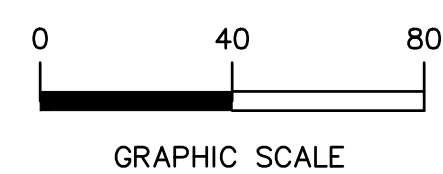
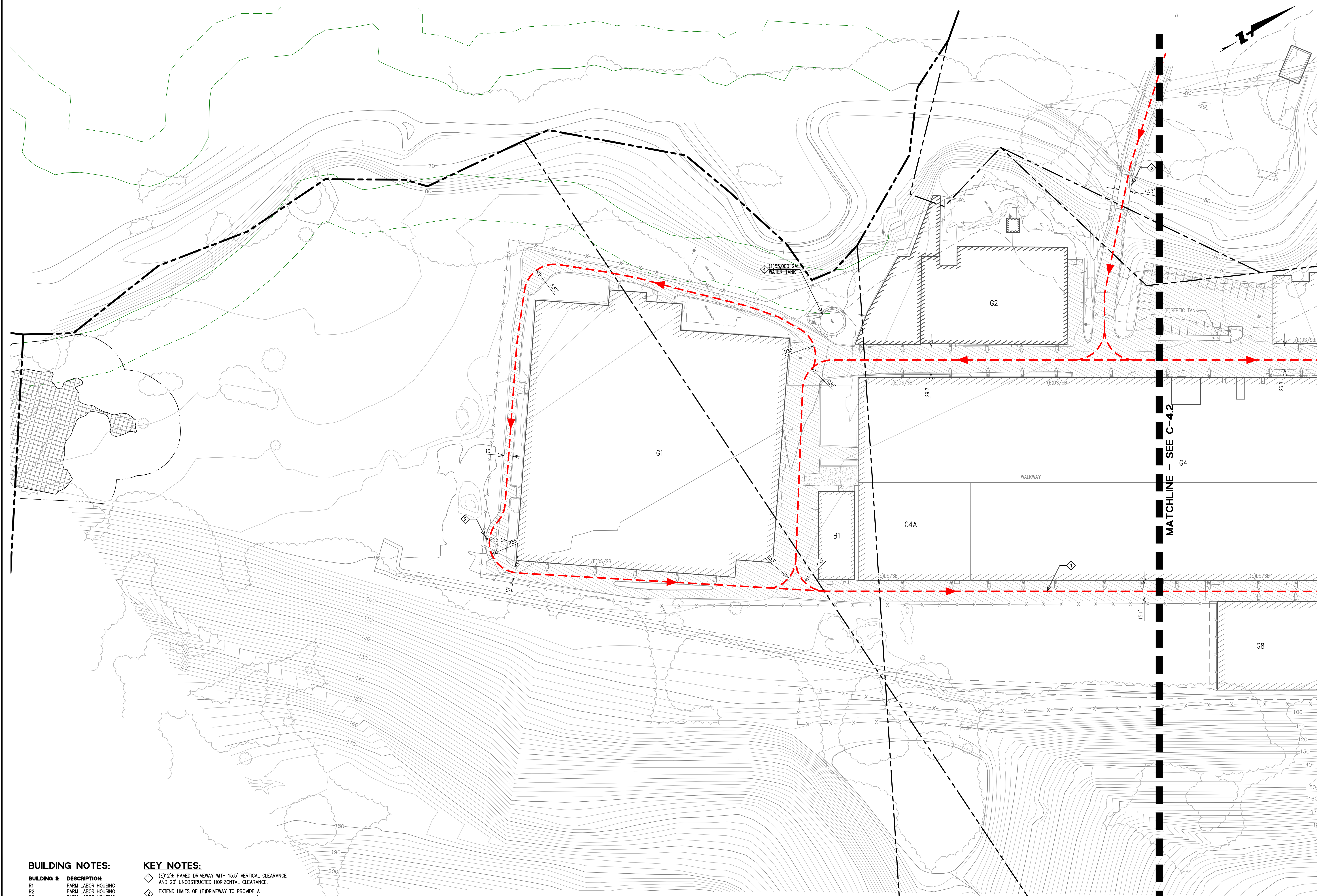
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 PLOT DATE: 04-02-25 PLOTTED BY: ange herrandez

BUILDING NOTES:

BUILDING #:	DESCRIPTION:
R1	FARM LABOR HOUSING
R2	FARM LABOR HOUSING
R3	FARM LABOR HOUSING
B1	EXISTING COLD STORAGE
B2	OFFICE
G1	GREENHOUSE
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G4	GREENHOUSE/STORAGE
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G7	ABANDONED GREENHOUSE
G8	ABANDONED GREENHOUSE
H1-H54	HOOPHOUSE
P1	FILTRATION/PUMP HOUSE
P2	FILTRATION/PUMP HOUSE
P3	RESERVOIR PUMP HOUSE

KEY NOTES:

- ◆ (E)12'-6" PAVED DRIVEWAY WITH 15.5' VERTICAL CLEARANCE AND 20' UNOBSTRUCTED HORIZONTAL CLEARANCE.
- ◆ EXTEND LIMITS OF (E)DRIVEWAY TO PROVIDE A MINIMUM CENTERLINE TURNING RADIUS OF 35'.
- ◆ (E)BRIDGE
- ◆ (E)WATER STORAGE TANKS
- ◆ (E)RESERVOIR CAPACITY = 2,169,350 GAL



SEE SHEET CO.0 FOR NOTES AND LEGENDS



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SUITE 200
REDWOOD CITY, CA 94065
(650) 482-6300
www.bkf.com

BKF

CALIFORNIA

**FIRE ACCESS PLAN
IMPROVEMENT PLANS
12761 SAN MATEO ROAD**

SAN MATEO COUNTY
HALF MOON BAY

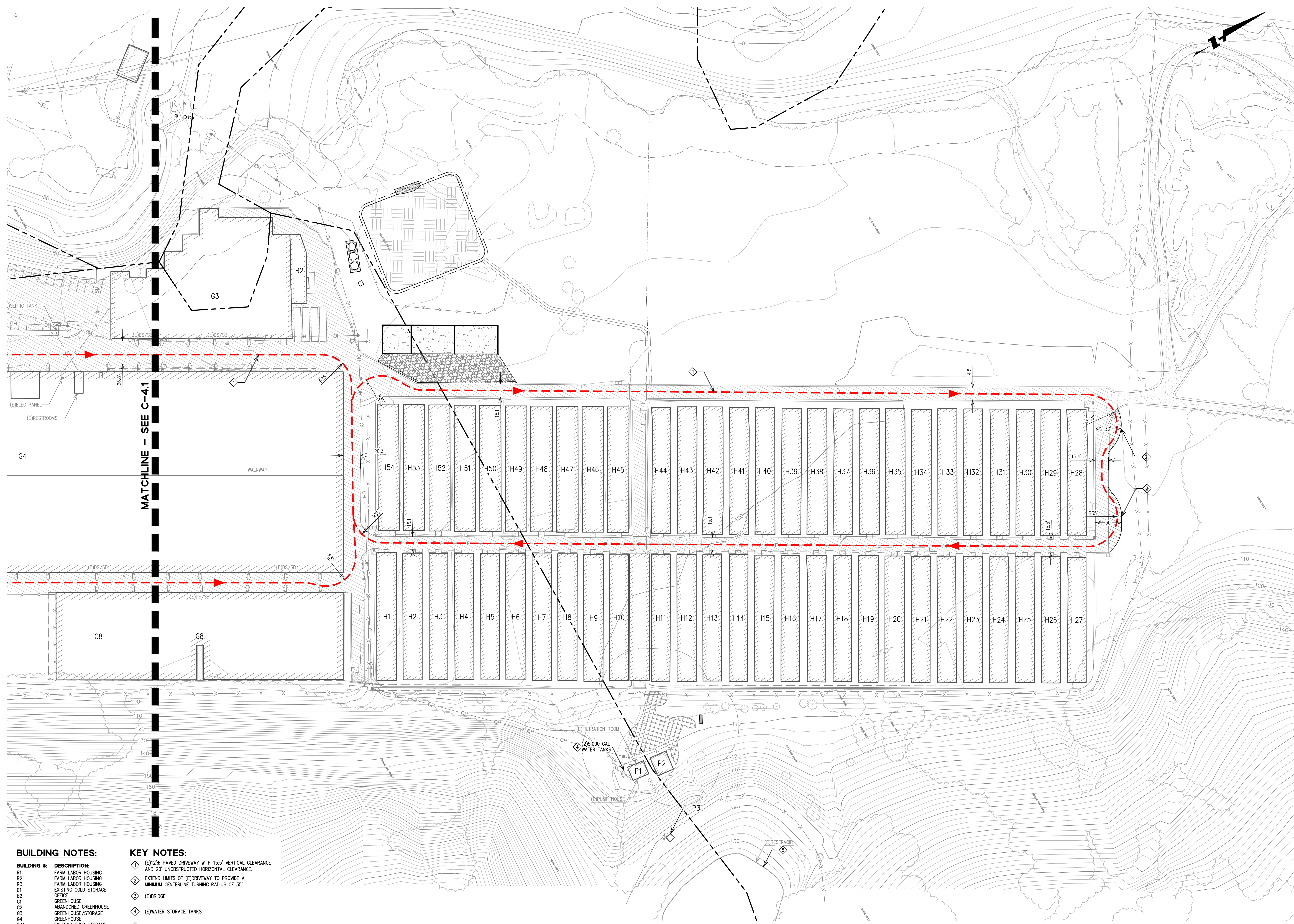
No.	Date	Revisions
1	10/24/2023	PLAN CHECK COMMENTS
2	09/17/2024	PLAN CHECK COMMENTS
3	12/20/2024	DEMOLITION PLAN UPDATE
4	04/02/2025	DEMOLITION PLAN UPDATE

Date: 10/24/2023
 Scale: 1" = 40'
 Design: DJP
 Drawn: AHM
 Approved: DJL
 Job No: 20230873-10

C4.1
OF

No.	Date	Revisions
1	09/17/2024	PLAN CHECK COMMENTS
2	12/20/2024	PLAN CHECK COMMENTS
3	04/02/2025	DEMOLITION PLAN UPDATE

Date	10/24/2023
Scale	1" = 40'
Design	DJP
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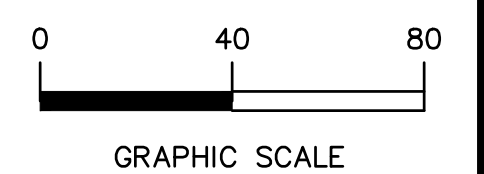


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G6	ABANDONED GREENHOUSE
G7	ABANDONED GREENHOUSE
G8	ABANDONED GREENHOUSE
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- KEY NOTES:**
- ① (E)12'-6" PAVED DRIVEWAY WITH 15.5' VERTICAL CLEARANCE AND 20' UNOBSTRUCTED HORIZONTAL CLEARANCE.
 - ② EXTEND LIMITS OF (E)DRIVEWAY TO PROVIDE A MINIMUM CENTERLINE TURNING RADIUS OF 35'.
 - ③ (E)BRIDGE
 - ④ (E)WATER STORAGE TANKS
 - ⑤ (E)RESERVOIR CAPACITY = 2,169,350 GAL

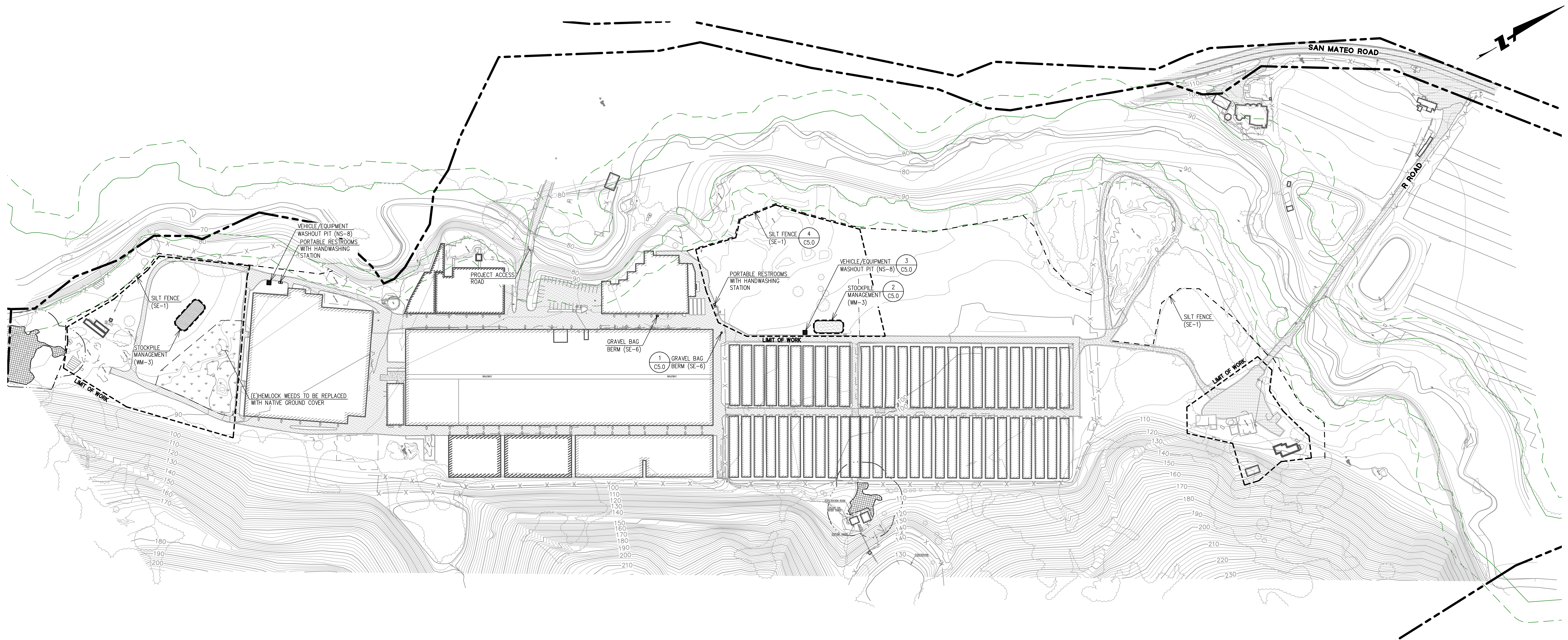
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 PLOT DATE: 04-02-25 PLOTTED BY: ange herrandez



SEE SHEET CO.0 FOR NOTES AND LEGENDS

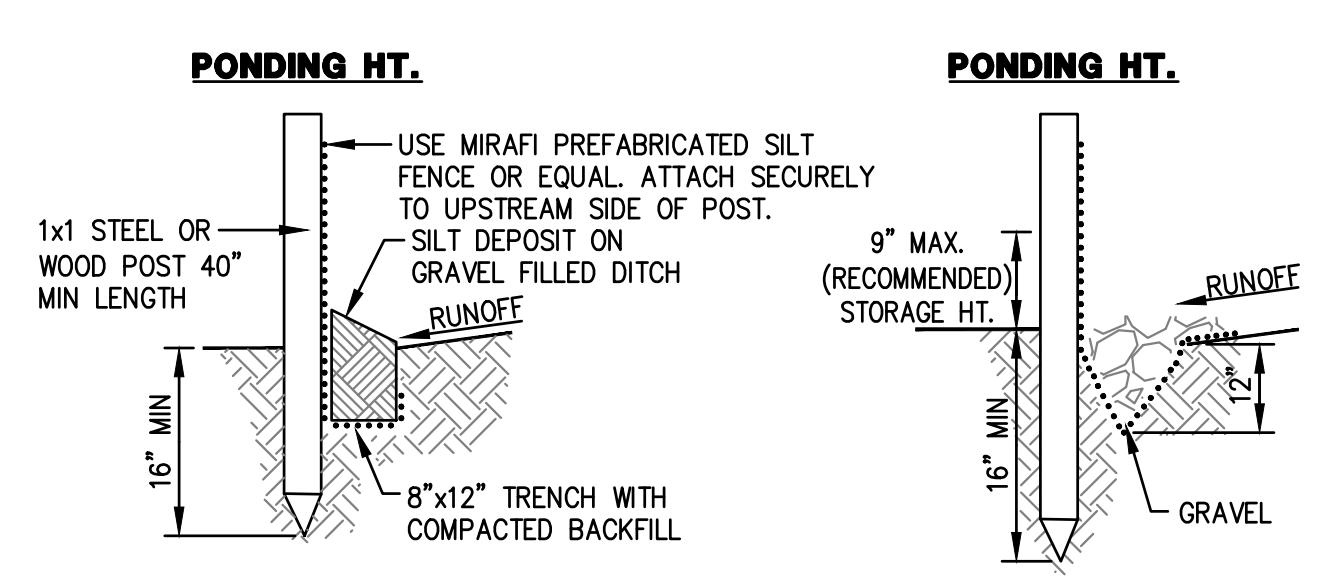


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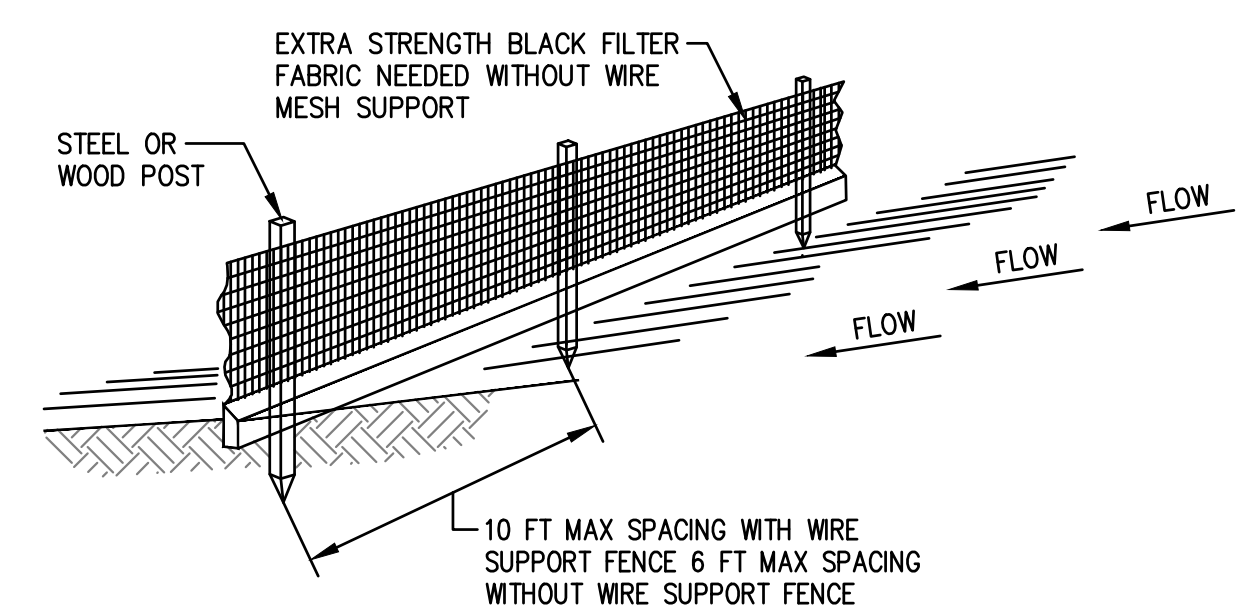


PERMANENT EROSION/SEDIMENT CONTROLS:

- CONTRACTOR SHALL PROVIDE POST-CONSTRUCTION PERMANENT EROSION/SEDIMENT CONTROL THROUGHOUT THE SITE IN THE FORM OF FINISH LANDSCAPING.
- PERMANENT EROSION CONTROLS SHOULD CONSIST OF VEGETATION OR OTHER MEANS OF STABILIZING ALL DISTURBED AREAS OF THE SITE. SUITABLE EROSION CONTROLS INCLUDE TURF, SHRUBS, ESTABLISHED HYDROSEEDING, MULCH, BARK, AND OTHER GROUNDCOVERS.
- ALL DISTURBED GROUND SURFACES SHALL BE STABILIZED UPON COMPLETION OF CONSTRUCTION ACTIVITIES.
- FINAL LANDSCAPING PLAN TO BE DEVELOPED IN COORDINATION WITH THE PROJECT ARCHITECT AND TO BE CONSISTENT WITH EXISTING LANDSCAPING AND TREES TO REMAIN, AND MEET THE APPROVAL OF THE PROJECT ARBORIST.
- LANDSCAPING PROPOSED SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MODEL WATER EFFICIENT LANDSCAPE ORDINANCE.
- DISTURBED AREAS OF THE SITE SHOULD BE STABILIZED DURING THE RAINY SEASON USING STRAW MULCH (EC-6) OR WOOD MULCHING (EC-8).
- PERMANENT EROSION CONTROL SHALL BE PROVIDED BY LANDSCAPING SUCH AS SHRUBS, SOD OR MULCH. LANDSCAPE DESIGN MAY BE SUBJECT TO CHANGE.

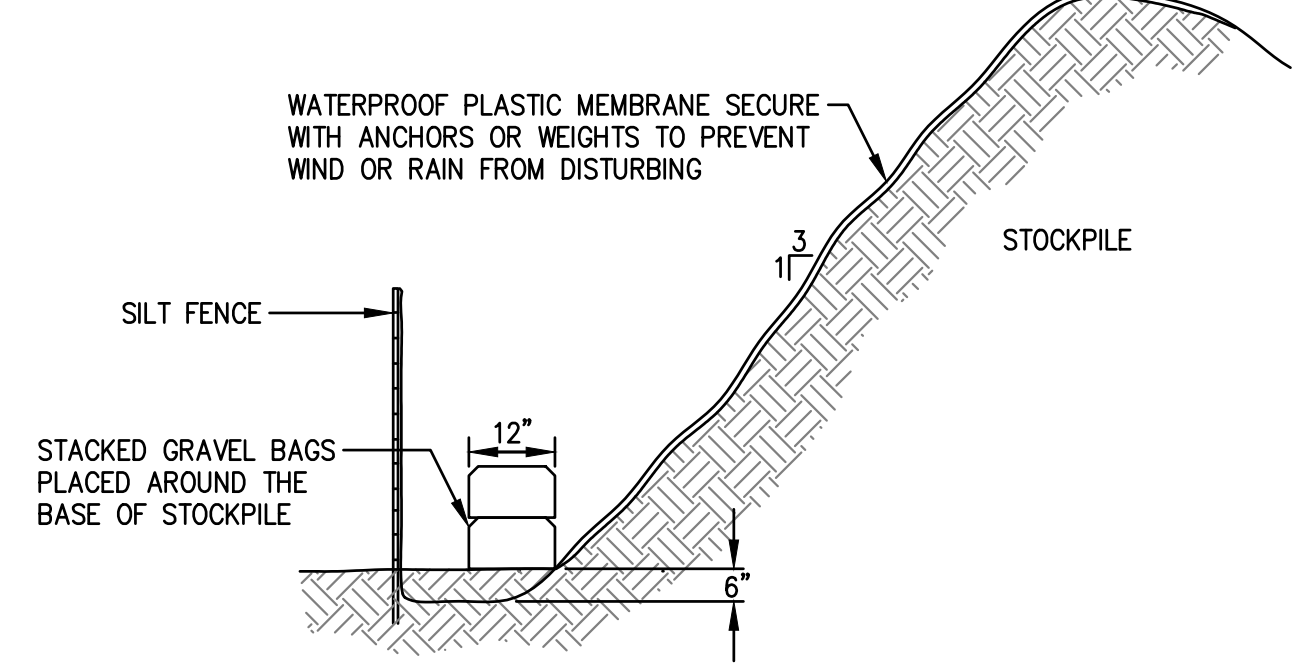


STANDARD DETAIL TRENCH WITH NATIVE BACKFILL
ALTERNATE DETAIL TRENCH WITH GRAVEL

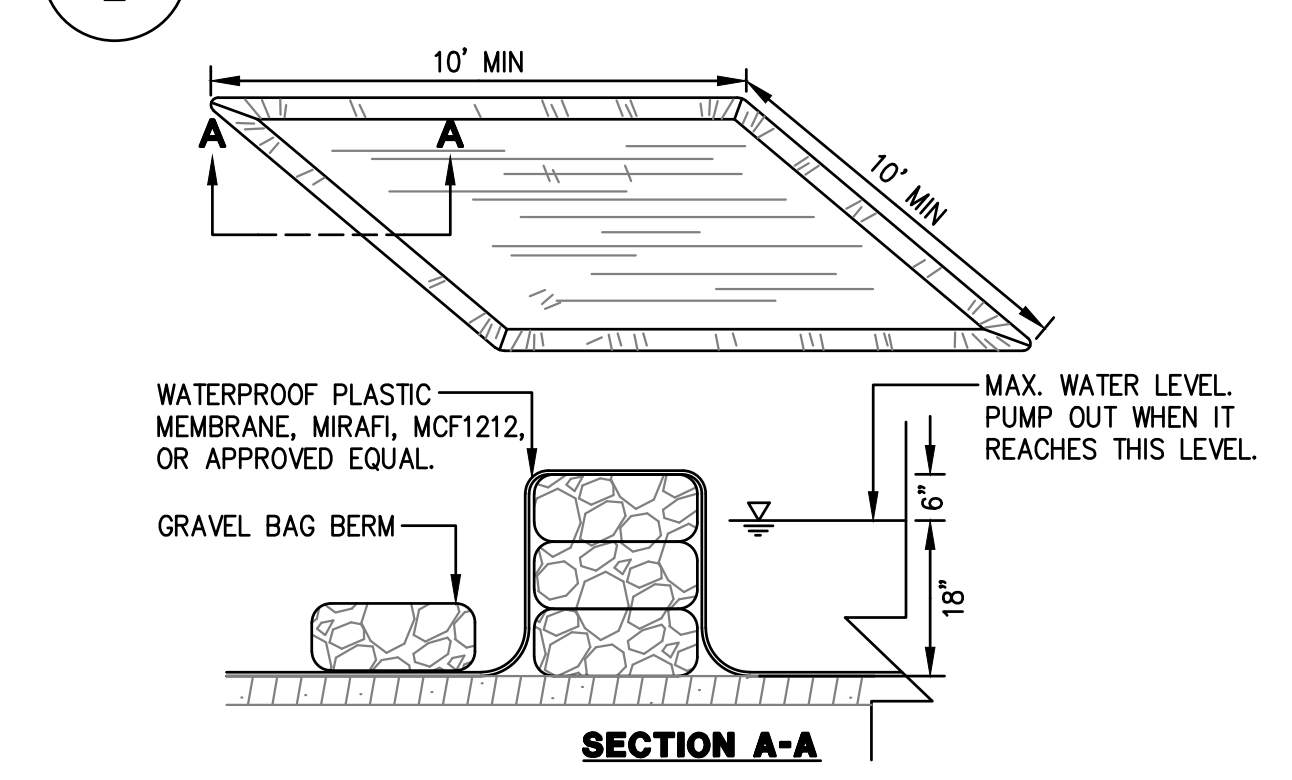


NOTES:
 1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

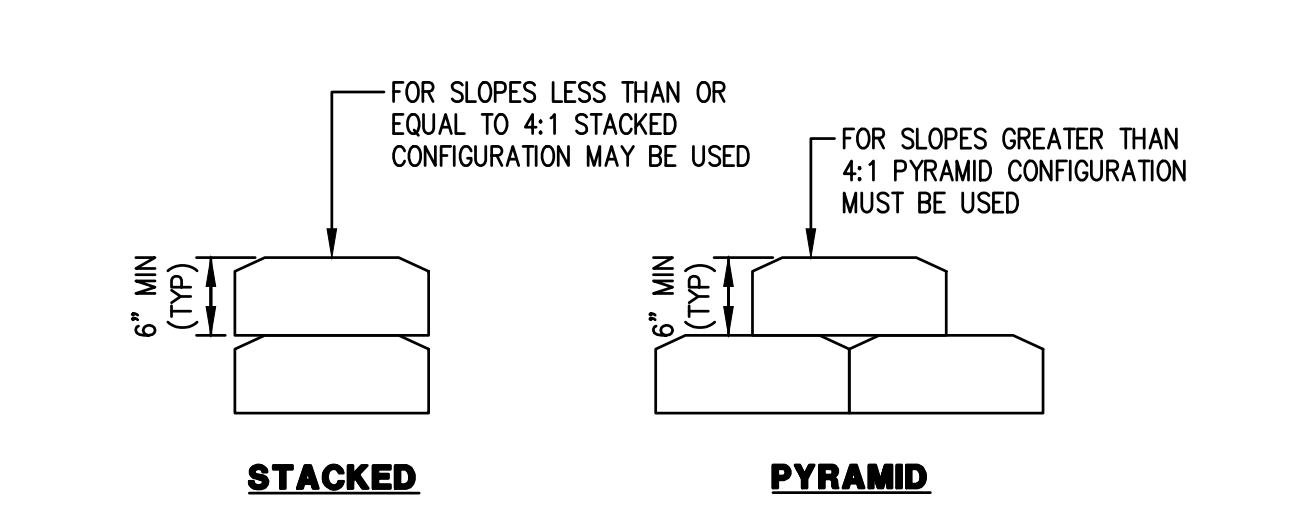
4 SILT FENCE
 NTS



2 STOCKPILE COVERING
 NTS

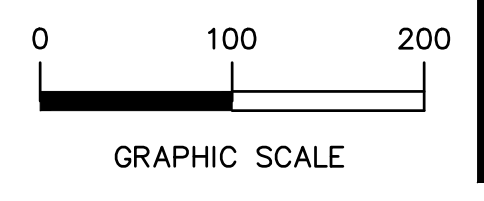


1 GRAVEL BAG BERM
 NTS



NOTES:
 1. INSTALL AT LOCATIONS AS SHOWN ON EROSION CONTROL PLAN, AND IN ADDITION, PROTECT ALL EXISTING AND PROPOSED STORM DRAIN STRUCTURES WITH GRAVEL BAGS.

3 VEHICLE/EQUIPMENT WASHOUT PIT
 NTS



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C5.0
 OF

DRAWING NAME: K:\2023\230873_Terra_Garden_Improvements\ENG-L\ctsheets_30x42.dwg
 PLOT DATE: 04-02-25 PLOTTED BY: angeherranidez

No.	Date	By	Check	Comments
1	10/24/2023		PLAN CHECK	COMMENTS
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4	04/02/2025		APPROVED	D.L.

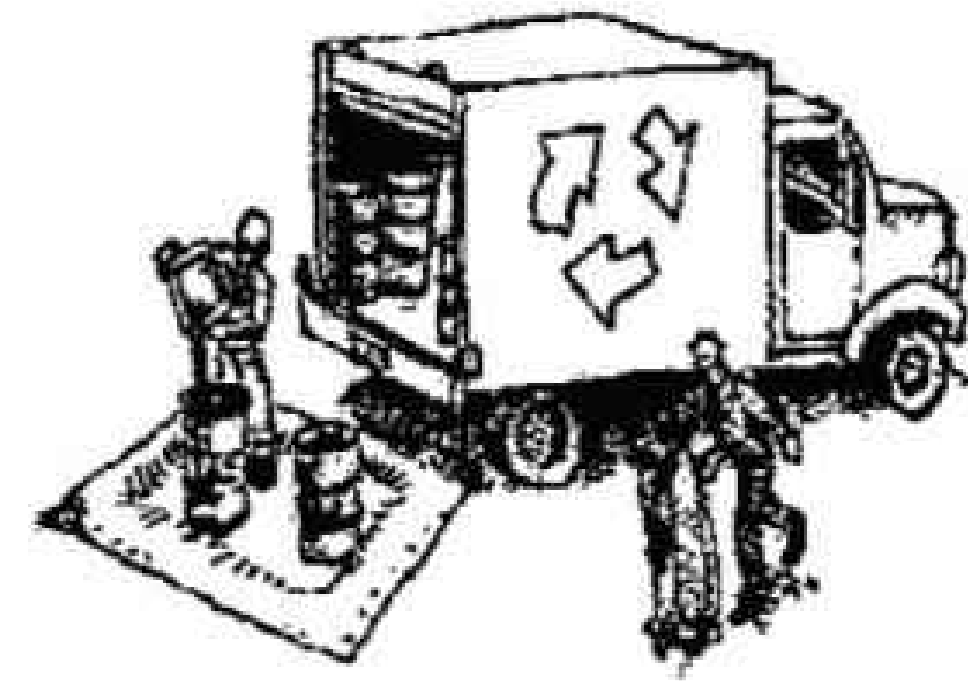


SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



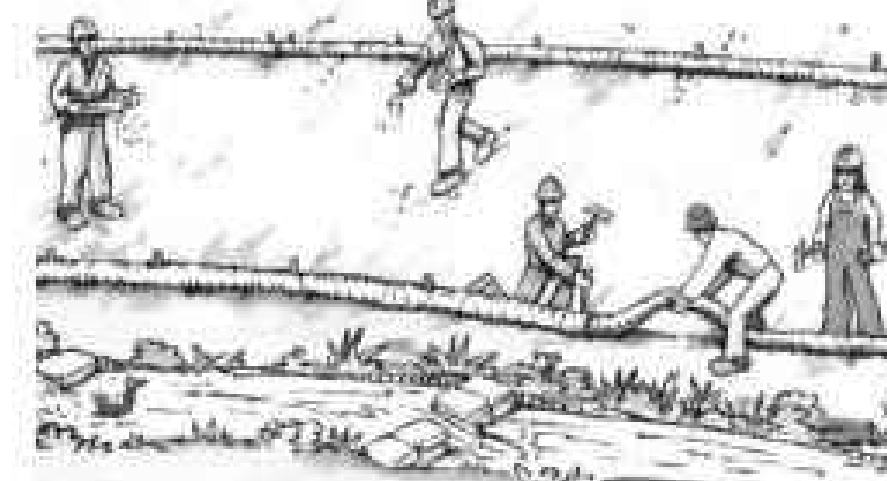
Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

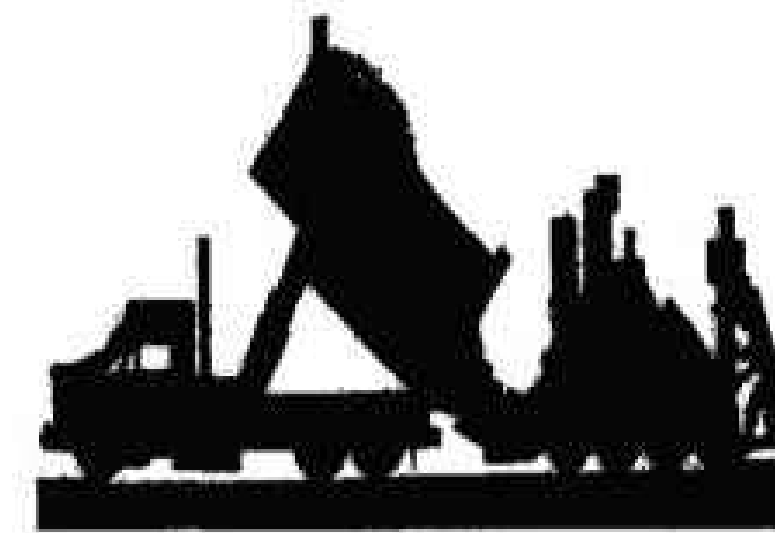


- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work



- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



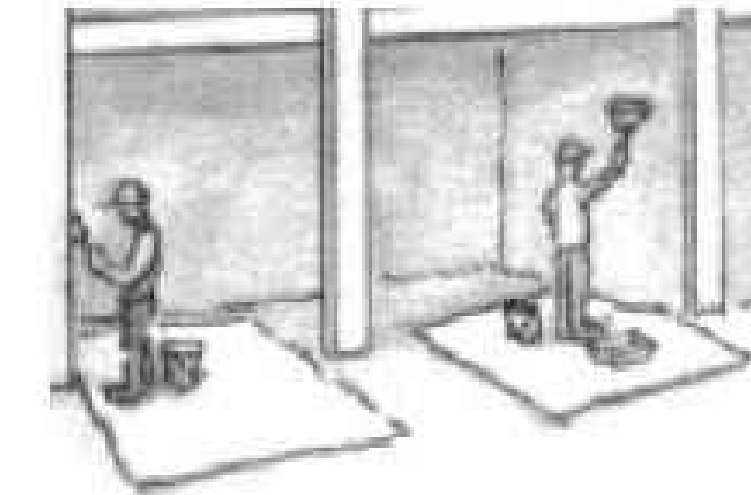
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

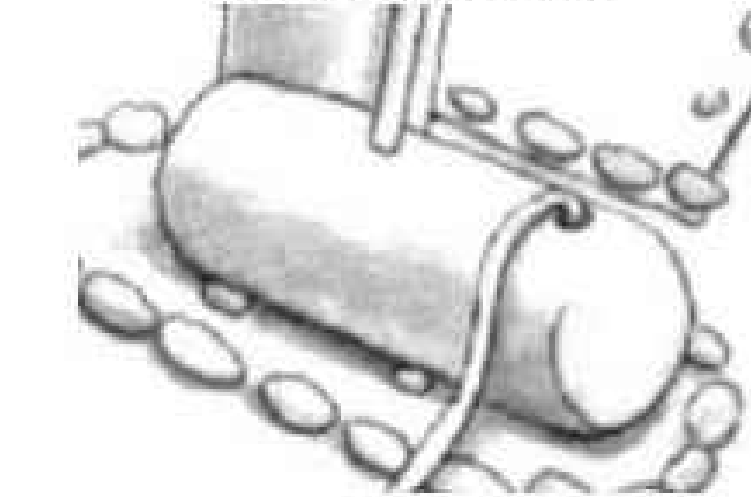
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



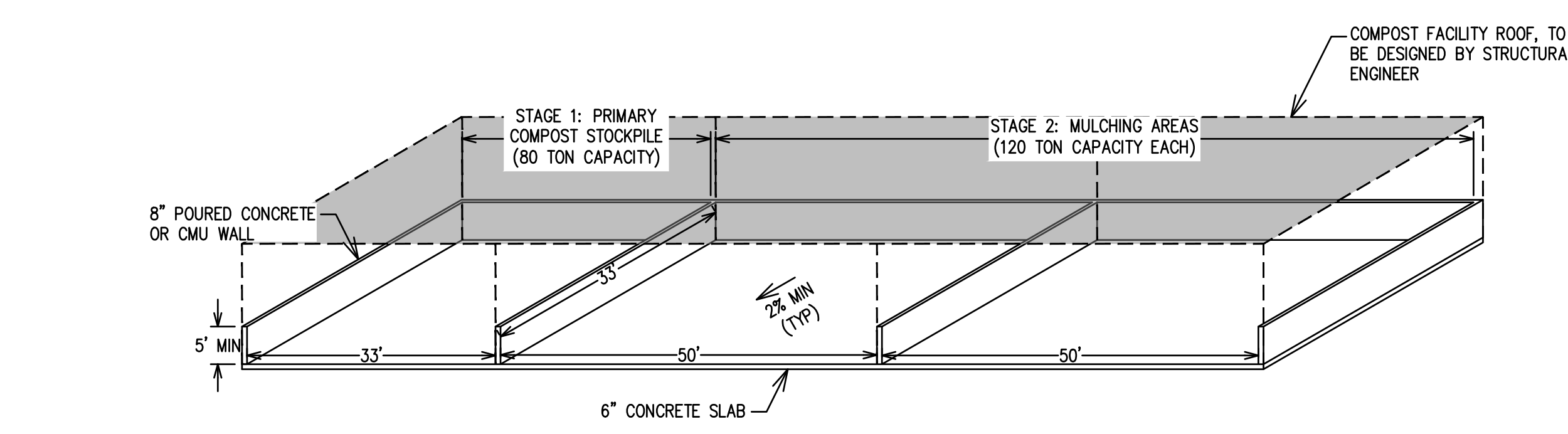
- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

No.	Date	Revisions
1	10/24/2023	PLAN CHECK COMMENTS
2	09/17/2024	PLAN CHECK COMMENTS
3	12/20/2024	PLAN CHECK COMMENTS
4	04/02/2025	DEMOLITION PLAN UPDATE
5		APPROVED D.I.L.

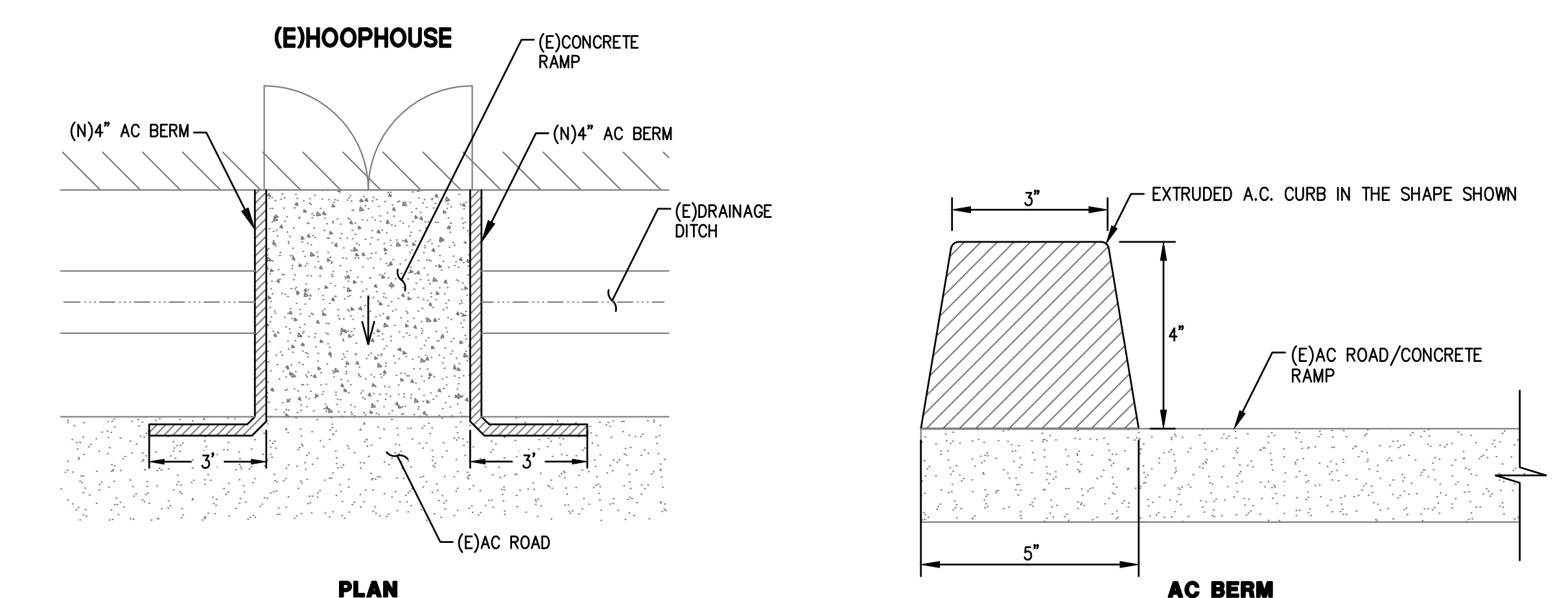
Date: 10/24/2023
 Scale: AS SHOWN
 Design: DFP
 Drawn: AHM
 Approved: D.I.L.
 Job No: 20230873-10

DRAWING NAME: K:\2023\230873_Terra_Garden_Improvements\ENG-L\cgsheet_s_30x42.dwg
 PLOT DATE: 04-02-25 PLOTTED BY: ange herrandez



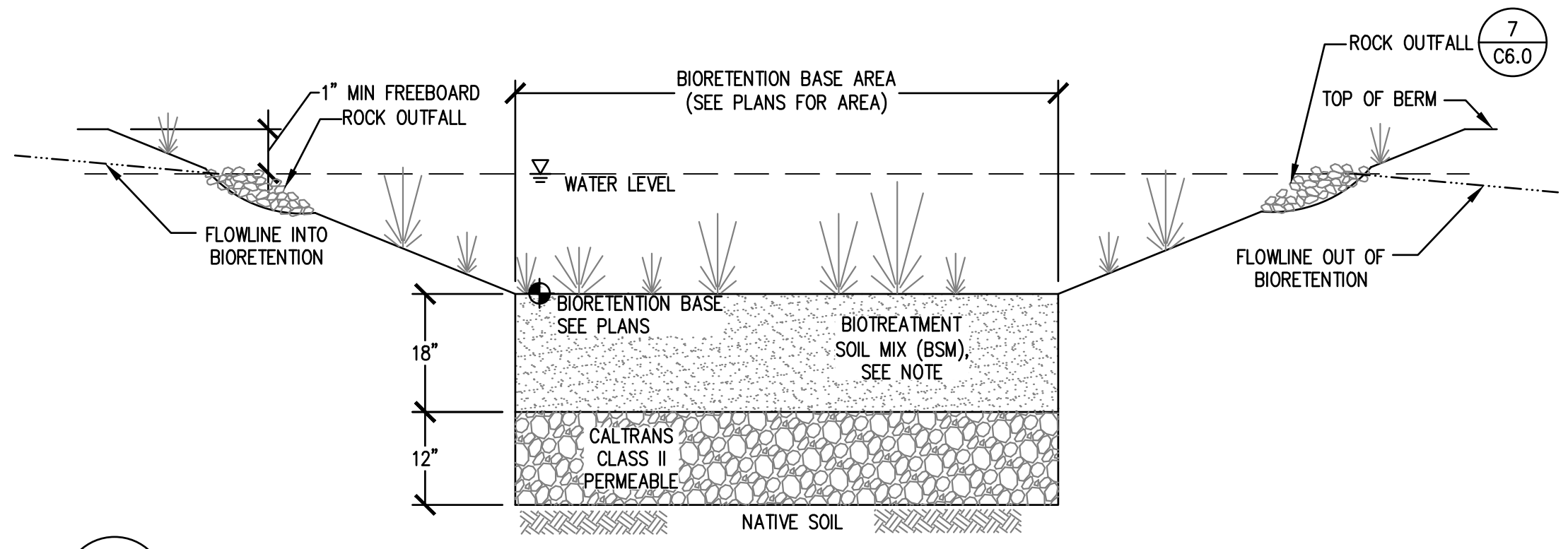
- COMPOSTING PROCEDURE:**
1. REMOVE ANY PLASTIC WRAPPING FROM SUBSTRATE PRIOR TO STOCKPILING.
 2. WHEN STOCKPILE BIN IS FULL, BEGIN BUILDING COMPOST PILE IN ONE OF THE TWO EMPTY MULCHING AREAS (STAGE 2 IN DETAIL).
 3. BUILD ALTERNATING LAYERS OF MUSHROOM SUBSTRATE AND "GREEN" COMPOST AT A 60:40 RATIO OF MUSHROOM SUBSTRATE TO "GREEN" COMPOST.
 4. ADD WATER TO EACH LAYER UNTIL A SMALL AMOUNT OF WATER CAN BE SQUEEZED FROM A HANDFUL OF COMPOST.
 5. COVER PILE WITH TARP.
 6. TURN PILES APPROXIMATELY 3 TIMES PER WEEK, ADDING WATER AS NEEDED.
 7. COMPOSTING PROCESS MAY BE CONSIDERED COMPLETE WHEN PILE TEMPERATURE FALLS TO AMBIENT LEVELS AND DOES NOT INCREASE AGAIN AFTER TURNING.
 8. SPREAD AGED COMPOST ON SITE. SURFACE APPLICATION OF COMPOST NOT TO EXCEED 0.5" DEPTH OR 2 CUBIC YARDS PER 1,000SF.
- COMPOST FACILITY GENERAL NOTES:**
1. COMPOST FACILITY IS INTENDED FOR SPENT MUSHROOM SUBSTRATE ONLY. OTHER COMPOSTING SHOULD BE DONE IN A SEPARATE LOCATION.
 2. STOCKPILE BIN (STAGE 1 IN DETAIL) IS SIZED FOR APPROXIMATELY 80 TONS OF MUSHROOM SUBSTRATE (APPROXIMATELY 1 MONTH OF PRODUCTION WASTE).
 3. MULCHING BIN (STAGE 2 IN DETAIL) IS SIZED FOR THE CONTENTS OF THE STOCKPILE BIN PLUS AN ADDITIONAL 50% VOLUME OF "GREEN" COMPOST MATERIAL (E.G. GRASS TRIMMINGS OR MANURE).
 4. COMPOST PILES SHALL BE COVERED BY TARP OR OTHERWISE PROTECTED FROM RAIN WHEN NOT BEING WORKED OR MOVED.
 5. COMPOST PILE HEIGHT NOT TO EXCEED 4 FEET.
 6. MAINTAIN 50-60% MOISTURE CONTENT IN PILES TO PROMOTE MICROBIAL GROWTH.
 7. COMPOST PILE INTERNAL TEMPERATURE SHOULD BE 122-144° F. TEMPERATURE SHOULD BE CHECKED WITH A PROBE THERMOMETER WHEN TURNING OCCURS. TURN PILES AND ADD WATER AS NEEDED TO MAINTAIN APPROPRIATE TEMPERATURE.
 8. COMPOST TO BE AGED FOR A MINIMUM OF 2 MONTHS FROM DATE OF COMPOST PILE CONSTRUCTION. AGED COMPOST SHOULD THEN BE SPREAD ON SITE.
 9. SPENT COMPOST LOGS WILL BE TRANSPORTED TO THE COMPOST FACILITY BY A TRACTOR AND TRAILER USING THE ACCESS ROADS BETWEEN THE HOOPHOUSES. SEE SHEET C2.2 FOR ACCESS ROUTE.

4 COMPOST WASTE MANAGEMENT FACILITY
 NTS

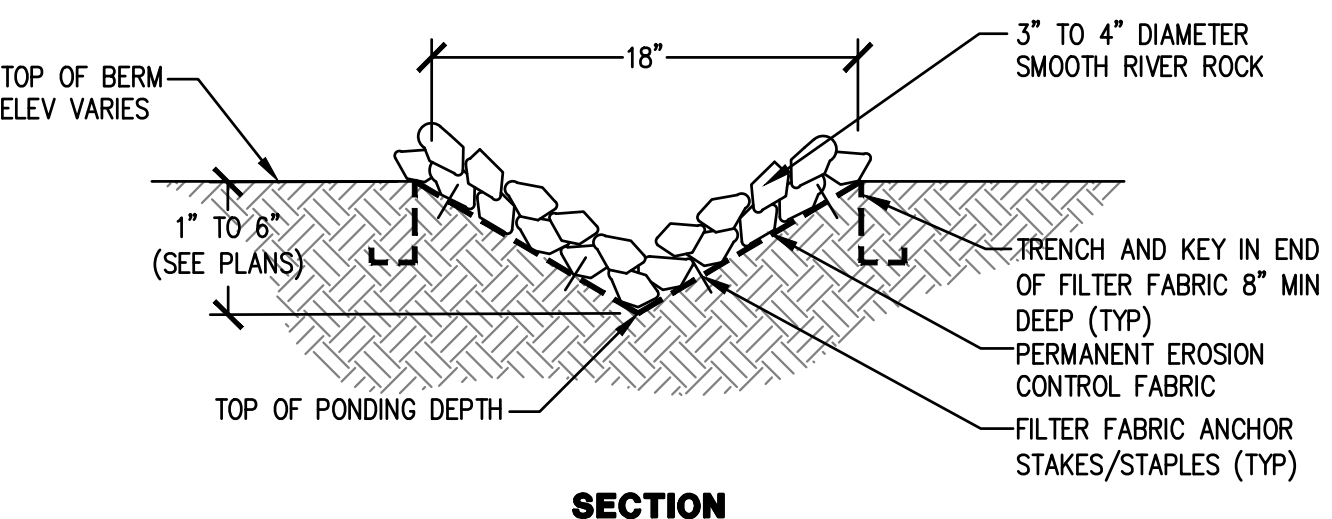
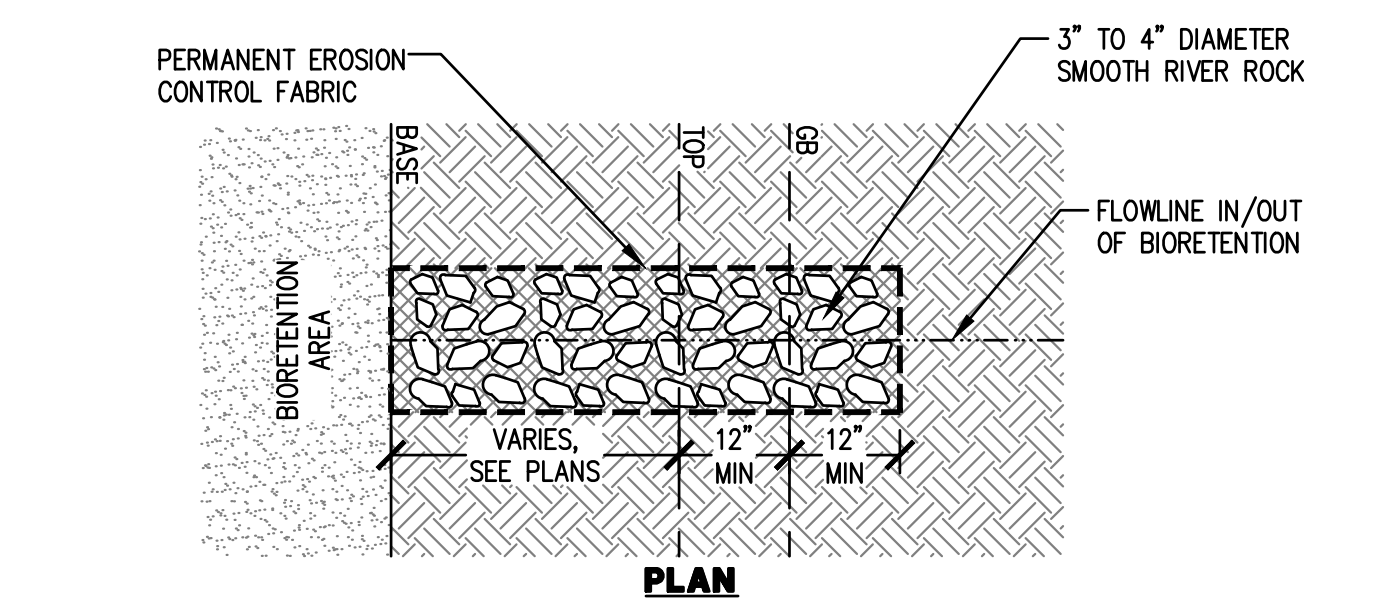


- NOTES:**
1. THE EXISTING CONCRETE RAMP SHALL BE CONSIDERED AS THE PERMANENT INGRESS/EGRESS ACCESS POINT TO THE HOOPHOUSE. ALL OTHER TEMPORARY ENTRY POINTS SHALL BE REMOVED.

1 HOOPHOUSE INGRESS/EGRESS AC BERM
 NTS

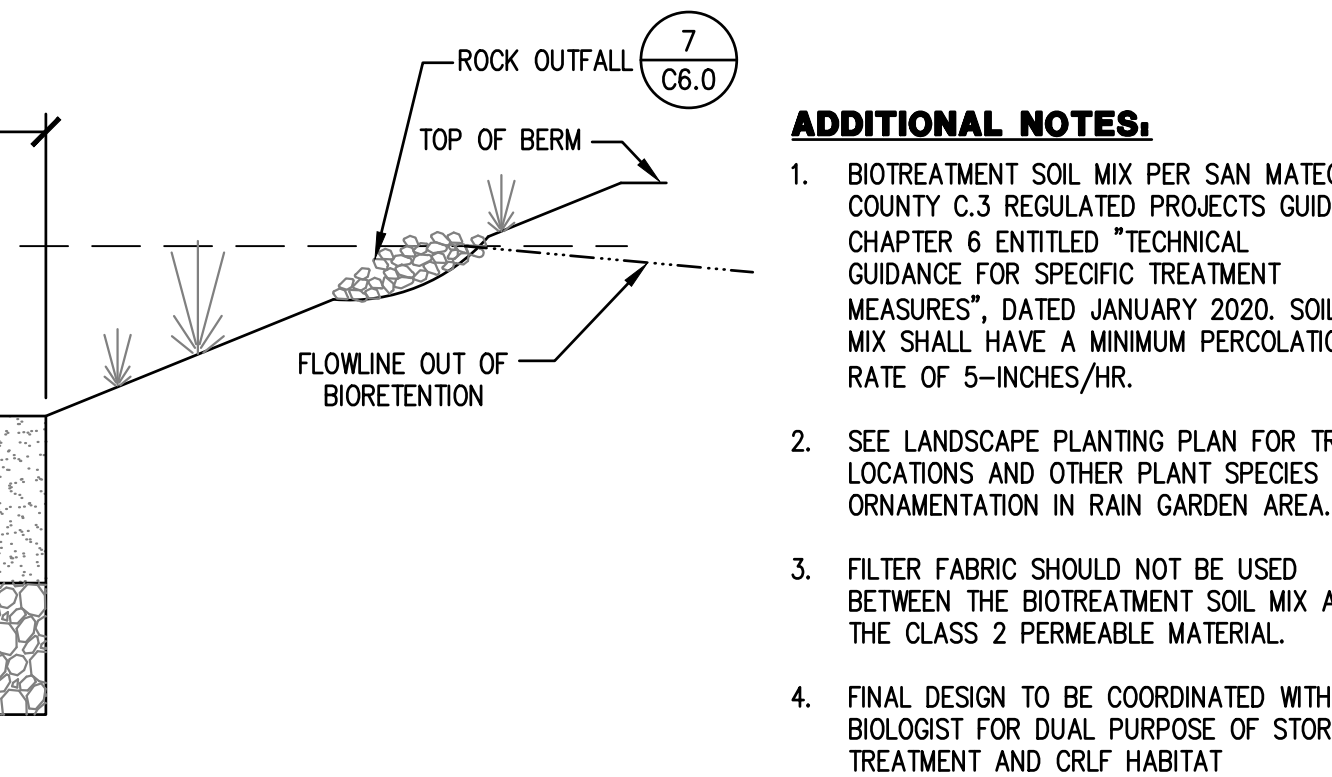


5 BIORETENTION AREA
 NTS



- NOTES:**
1. SWALE SHALL BE LINED WITH A PERMANENT EROSION CONTROL FABRIC SUCH AS MIRAFI 140N OR EQUIVALENT.
 2. THE CONTRACTOR SHALL HANDLE, STORE, PLACE AND INSTALL/ANCHOR THE PERMANENT EROSION CONTROL FABRIC IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.
 3. THE CONTRACTOR AND/OR HOME OWNER SHALL INSPECT, MAINTAIN AND REPAIR ROCK LINED SWALE DIMENSIONS, SLOPE AND EROSION CONTROL FABRIC IN ACCORDANCE WITH THE EROSION CONTROL PLAN NOTES AND RECOMMENDATIONS.

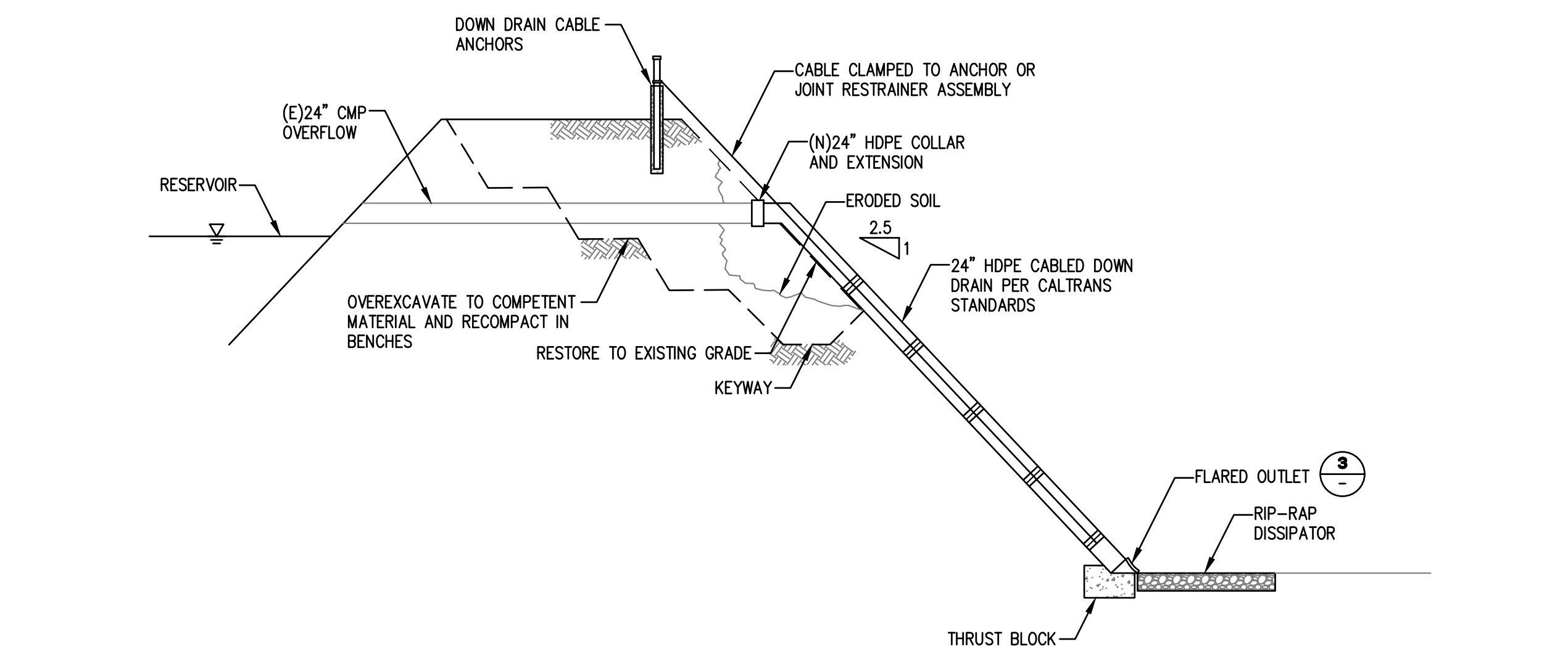
7 BIORETENTION ROCK OUTFALL
 NTS



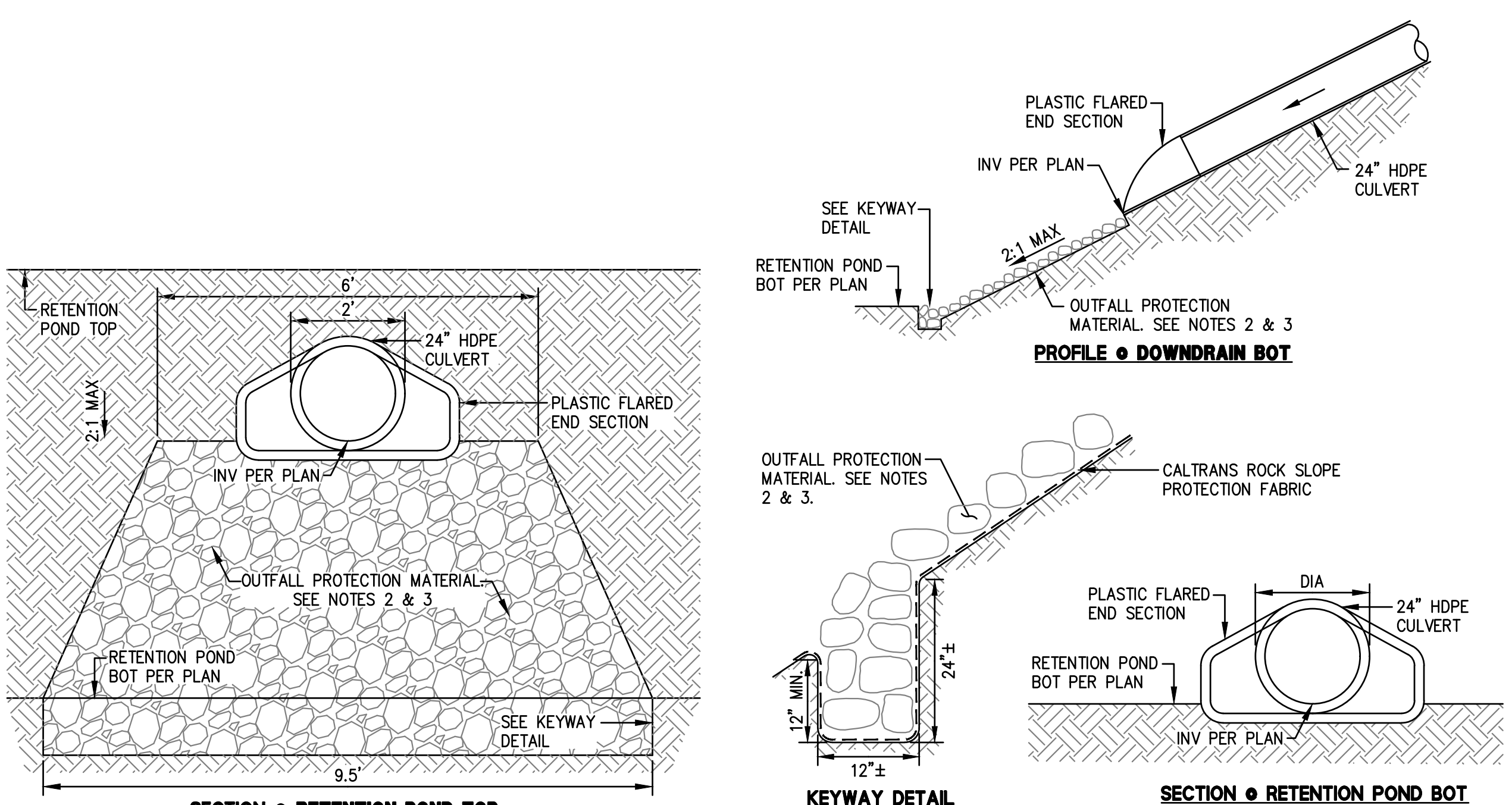
6 VEGETATED SWALE
 NTS

SECTION (SEE C2.1 & C2.2)	B DIM (IN)	Y DIM (IN)	SLOPE (FT/FT)	CAPACITY (CFS)
A	60	24	0.0025	51.0
B	0	30	0.0042	43.7
C	0	21	0.0060	18.4
D	0	12	0.0150	9.9

- NOTES:**
1. ALL GRASS SWALES SHALL BE LINED WITH A PERMANENT EROSION CONTROL FABRIC SUCH AS VMAX SC250 OR APPROVED EQUIVALENT.
 2. THE CONTRACTOR SHALL HANDLE, STORE, PLACE AND INSTALL/ANCHOR THE PERMANENT EROSION CONTROL FABRIC IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.
 3. THE CONTRACTOR AND/OR OWNER SHALL INSPECT, MAINTAIN AND REPAIR VEGETATED SWALE DIMENSIONS, SLOPE AND EROSION CONTROL FABRIC IN ACCORDANCE WITH THE EROSION CONTROL PLAN NOTES AND RECOMMENDATIONS.



2 RESERVOIR OVERFLOW DOWNDRAIN REPAIR
 NTS



- NOTES:**
1. ALL HEADWALLS SHALL BE PLASTIC AND CONSTRUCTED IN CONFORMANCE WITH CALTRANS STANDARD PLAN D94A AND SECTION 70-5.02 OF THE CALTRANS STANDARD SPECIFICATIONS, 2015.
 2. AREA OF ROCK RIP-RAP OUTFALL/EROSION PROTECTION IN ACCORDANCE WITH FEDERAL HIGHWAY ADMINISTRATION (FHWA) HEC-14.
 3. OUTFALL PROTECTION MATERIAL:
 - CALTRANS ROCK SLOPE PROTECTION FABRIC WITH NO. 2 BACKING CONFORMING TO SECTION 72 OF THE CALTRANS STANDARD SPECIFICATIONS.
 - CALTRANS NO. 2 TO BE ~8" SIZE ANGULAR ROCK (25 LBS. TYP.) BROWN TO DARK BROWN/BLACK IN COLOR.

3 FLARED END SECTION
 NTS

Date	Revisions	No.	By	Check	Comments
09/17/2024		1	AS	DP	PLAN CHECK COMMENTS
12/20/2024		2	DP	DP	PLAN CHECK COMMENTS
04/02/2025		3	ARM	ARM	DEMOLITION PLAN UPDATE
					APPROVED D.I.L.
					Job No 20230873-10



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

NOTICE OF VIOLATION

Issue Date: 04/10/2023
Case Number: VIO2023-00035
Issued By: John Bologna/Senior Code Compliance Officer
Phone: (650) 363-4825
Email: jbologna@smcgov.org

Issued to Property Owner:
Half Moon Bay Properties LLC aka California Terra Gardens
12950 San Mateo Rd.
Half Moon Bay, CA 94019

Assessor's Parcel Number: 056270010, 056321010
Zone: PAD/CD

RE: 12950 San Mateo Rd., Half Moon Bay, CA 94019
12761 Highway 92, Half Moon Bay, CA 94019

The staff members of City of Half Moon Bay (Joe Butcher, John Doughty, Jill Ekas, Maziar Bozorginia); 4Leaf, Inc. (Farris Hix, Mike Leontiades); California Dept. of Fish and Wildlife (Gabrielle Stauffer, Amanda Culpepper, Will Kanz); Cal Fire (John Riddell, Austin Seely); County of San Mateo Environmental Health Services or EHS (Aris Veloso, Ed Diaz, Emily Pfeifer, Dirk Jensen, Allen Chiu), Building Division (Fred Lustenberger), District Attorney's Office (Kevin Raffaelli, James Haggerty), and Code Compliance Division (Tim Sullivan, John Bologna, Eleonor Hilario, Kevin Thorpe, Glenn Morton) conducted joint inspections on January 31, 2023, February 9, 2023, and February 16, 2023, and observed/noted the following violations:

1. Violation: Pump House/Filtration Room/Pond

- Corroded 3-phase electrical panel in pump house needs to be upgraded/corrected immediately
- Chlorine treatment of pond water
- New pipes added without a permit
- Filtration Room – not permitted

Code: CA Electrical Code 89.108.4, et al., ART.90.2 et al.

Code: CA Plumbing Code Sections 1.8.3-1.8.5

Code: SMC Ordinance No. 4873 Building Regulations Section 9006

- **Further directions concerning water treatment are forthcoming from CA Department of Fish and Wildlife.**

2. Violation: Mushroom Compost Storage

- Per Planning Division, compost needs to be properly disposed of
- Per Cal Fire, piles need to be turned over occasionally and cannot be more than 4' high

Code: 2019 CA Fire Code

Code: Chapter 4.100 Stormwater Ordinance of County Code

Code: SMC Ordinance No. 4273 Building Regulations Section 9281 *et al.*

3. Violation: Hazardous/Unsafe Conditions

- Piles of wood construction debris need to be removed
- Remove metal debris
- Hole in the ground close to dilapidated, single-family house needs to be covered
- Plastic/wood bridge connectors/walkways to greenhouses need to be building code standard
- Trash/junk/debris need to be removed
- Four containers (next to the greenhouses) need safety lock mechanisms and egress
- Dilapidated, abandoned, single-family house needs to be securely boarded. A building permit is needed to legalize or demolish the structure
- Derelict greenhouse structures need to be demolished or restored
- Hoop house greenhouses must have approved egress
- Diesel fuel tank installed inside building structure (work with CalFire in correcting this violation)

Code: SMC Sec. 1.12.010 (4) Nuisance

Code: SMC Ordinance No. 4873 Building Regulations Section 9006

Code: CA Building Code Section 1006.2 *et al.*

Code: CA Building Code Section 1008 *et al.*

Code: CA Building Code Section 1009 *et al.*

Code: CA Building Code Section 1010 *et al.*

Code: CA Building Code Section 11B-401.1 *et al.*

Code: CA Building Code Section 116 *et al.*

Code: CA Fire Code Section 5704

4. Violation: Trailers

- Three vacant, not connected, abandoned fifth wheel trailers will be removed - located on the east side of the property near the dilapidated house

Code: SMC Sec. 1.12.010 (4) Nuisance

Code: SMC Sec. 2.60.040 – IPMC 302.8 Motor Vehicles

5. Violation: New Construction Without Permits

- New refrigeration unit with new electrical panels

Code: CA Building Code Section 1.8.4.1 *et al.*

Code: CA Building Code Section 105 *et al.*

Code: SMC Ordinance No. 4873 Building Regulations Section 9006

6. Violation: Erosion

- Qualified engineer needs to assess soil erosion behind pump house

Code: CA Building Code Section 116 et al.

7. Violation: Miscellaneous

- Electric meter not in use needs to be disconnected (meter #1NG10064560281009; 00135002009FA92D) - located on the east side of the property near the dilapidated house

Code: SMC Ordinance No. 4873 Building Regulations Section 9006

NOTE: Reports/Violations from CalFire and San Mateo County Environmental Health Services Department MUST be corrected by indicated compliance due dates. Please work with each department/agency individually.

Required Corrections:

Please contact me no later than 04/24/2023 so we can set up a meeting to discuss the required corrections with Terra Gardens property owners and the Terra Gardens Licensed Design Professional (Architect/Engineer).

Provide **Building Division** the following:

- A Site and Floor Plan of the complex from a Licensed Design Professional (Architect/Engineer)
- Include in the plan how you are going to address the above violations
- All violations related to structural/building, mechanical, plumbing, electrical MUST be corrected and done with permits

Submit digital plans to the Building Division at buildingcounter@smcgov.org.
If you have any questions, the Building Division can be reached at 650-599-7311.

Violations MUST be corrected by 10/10/2023. The County may conduct a reinspection after that date. If the violations are not corrected by the date shown above, Administrative Citations ranging from \$100 to \$500 per violation per day or more severe enforcement remedies may be implemented.

This Notice of Violation may be recorded against the property with the San Mateo County Recorder's Office.

All building permits are to be applied for online at aca-prod.accela.com/smcgov/Welcome.aspx

The main business operation of California Terra Garden is located within the jurisdiction of San Mateo County, which has adopted a “Red Tag” ordinance. See SMC Code of Ordinances Chapter 3.108 (Property Owner Obligations With Respect to Tenants Displaced from Unsafe or Substandard Units). Under the County’s ordinance, you have liability and obligations for relocation expenses for having allowed illegal and unsafe housing for these individuals. The conditions and relocation expenses will be provided at a later date.

Thank you for your cooperation,

John Bologna

Senior Code Compliance Officer

County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor

(650) 363-4825

Email: jbologna@smcgov.org

www.smcgov.org/planning



State of California – Natural Resources Agency

DEPARTMENT OF FISH AND WILDLIFE

Bay Delta Region

2825 Cordelia Road, Suite 100

Fairfield, CA 94534

(707) 428-2002

www.wildlife.ca.gov**GAVIN NEWSOM, Governor****CHARLTON H. BONHAM, Director**

May 18, 2023

Mr. Jim Guan

California Terra Garden, Inc.

12761 San Mateo Road

Half Moon Bay, California 94019

Jim.Guan@ca-terragarden.com**Subject: Notice of Violation of Fish and Game Code Section 1602, 5650, 5652, and 5937**

Dear Mr. Guan:

On February 16, 2023, California Department of Fish and Wildlife (CDFW) environmental scientific staff and a wildlife officer, along with San Mateo County staff, conducted a site inspection with your permission at the property at Assessor's Parcel Numbers (APN) 056-270-100, 056-270-060, and 056-270-010, managed by California Terra Garden, Inc. (Property). The Property is associated with the address 12761 San Mateo Road in unincorporated San Mateo County. During that visit, CDFW staff observed activities that are in violation of Fish and Game Code sections 1602, 5650, 5652, and 5937.

CDFW Observations at the Property

During the site inspection, CDFW staff observed evidence of water diversion from Pilarcitos Creek, associated with State Water Resources Control Board (SWRCB) statement of use S022526. Reported water diversion associated with statement of use S022526 includes diversion during summer month low flow periods in 2021, 2019, 2015, 2014, 2013, and 2012. Water diversion occurred near the southwest side of the Property where broken water diversion and other equipment along Pilarcitos Creek was observed (Figure 1). Mr. Guan stated this diversion was active prior to the large storm events in December 2022 and January 2023 when it is believed the diversion system broke. CDFW staff viewed a pump station, electrical panel, as well as a green pipe entering Pilarcitos Creek (Figure 2). Alongside the pump station was a steep-walled open pit lined with wooden boards (Figure 3) and a container with old pump hoses that matched the diameter and color of the pipe that entered Pilarcitos Creek (Figure 4). Other hoses, pipes, trash, and debris were observed within the stream banks of Pilarcitos Creek. Some of those pipes and debris were buried under sand and woody debris.

CDFW staff observed a large pile of organic mushroom waste piled approximately 150 feet from Pilarcitos Creek (Figure 5). Stormwater runoff appeared to have flowed from the organic waste down the earthen path to Pilarcitos Creek.

Mr. Jim Guan
California Terra Garden, Inc.
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Mr. Guan informed CDFW staff that diverted water from Pilarcitos Creek was pumped to a reservoir at the southeastern end of the property, associated with SWRCB appropriative water right application A025407. CDFW staff visited the reservoir and associated pump house and 5,000-gallon water storage tank (Figure 6). CDFW staff walked the perimeter of the reservoir and observed an unnamed tributary that was draining into the reservoir (Figure 7). The reservoir is acting as an on-stream reservoir with an earthen dam, typically preventing the unnamed tributary from entering Pilarcitos Creek. However, when the reservoir reaches a certain elevation, it begins flowing into a metal culvert on the embankment of the earthen dam (Figure 8). From the metal culvert the water travels into a concrete-lined modified tributary with plastic filter fabric for approximately 350 feet, adjacent to buildings where mushrooms are grown (Figure 9). The water flows through various plastic culverts in the modified concrete tributary until it passes through a final 26-inch corrugated metal pipe road crossing and exits into an earthen channel, a modified tributary, for another approximately 400 feet before entering Pilarcitos Creek (Figure 10). All irrigation run-off from mushroom-growing activities appears to eventually enter the earthen channel. CDFW staff observed a three-spined stickleback (*Gasterosteus aculeatus aculeatus*) (Figure 11) in the earthen channel approximately 250 feet upstream of Pilarcitos Creek. No flow measurements were taken during our site visit on February 16, 2023. CDFW staff observed inflow into the on-stream reservoir, but did not observe any streamflow below the reservoir.

CDFW staff walked to the northern end of the Property where, according to Mr. Guan, an old slaughterhouse used to be. CDFW staff observed large piles of wood, including some pressure-treated lumber from the recently demolished building approximately 75 feet from Pilarcitos Creek (Figure 12). CDFW staff also observed trash and debris in Pilarcitos Creek, as well as an existing railroad flatcar bridge over the stream.

Violations observed by CDFW are further summarized in Table 1 and the map in Figure 13.

Fish and Game Code Section 1602

Fish and Game Code section 1602 requires a person to notify CDFW before: 1) substantially diverting or obstructing the natural flow of a river, stream, or lake; 2) substantially changing the bed, channel, or bank of a river, stream, or lake; 3) using any material from the bed, channel, or bank of a river, stream, or lake; and/or 4) depositing or disposing of debris, waste, or material containing crumbled, flaked, or ground pavement where it may pass into a river, stream, or lake. Hence, any person who engages in an activity subject to section 1602 without first notifying CDFW violates section 1602.

In CDFW's view, notification under Fish and Game Code section 1602 was required for the water diversion, installation and maintenance of the on-stream reservoir, placement

Mr. Jim Guan
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Page 3

of waste and debris along the banks of Pilarcitos Creek, as well as the installation of a railroad flatcar bridge. However, CDFW was unable to locate a Lake and Streambed Alteration (LSA) Notification or LSA Agreement for those activities. The location and brief description of the items listed above are provided in Table 1.

Fish and Game Code Section 5937

Fish and Game Code section 5937 requires the owner of any dam to allow sufficient water at all times to pass through a fishway, or in the absence of a fishway, allow sufficient water to pass over, around or through the dam, to keep in good condition any fish¹ that may be planted or exist below the dam.

The Property's on-stream reservoir that dams the unnamed tributary to Pilarcitos Creek must ensure sufficient water downstream to keep fish in good condition.

Fish and Game Code Sections 5650 and 5652

Fish and Game Code sections 5650 and 5652 make it unlawful to pollute waters of the state². Section 5650 makes it unlawful to deposit in, permit to pass into, or place where it can pass into waters of the state any substance or material deleterious to fish, plant life, mammals, or bird life, including, but not limited to gasoline, oil, petroleum products, and sediment. Section 5652 makes it unlawful to deposit in, permit to pass into, or place where it can pass into waters of the state, or to abandon, dispose of, or throw away, within 150 feet of the high water mark of the waters of the state, any garbage, refuse, or waste, among other materials.

The Property contains waters of the state, including the streamflow in the unnamed tributary to Pilarcitos Creek and within Pilarcitos Creek. CDFW staff observed placement of trash and debris along the banks of Pilarcitos Creek, which violates section 5650 and/or 5652, as further described in Table 1.

¹ Fish, as defined in Fish and Game Code section 45, means a wild fish, mollusk, crustacean, invertebrate, amphibian, or part, spawn, or ovum of any of those animals.

² Pursuant to Fish and Game Code section 89.1 and Water Code section 13050 subdivision (e), "Waters of the state," means any surface water or groundwater, including saline waters, within the boundary of the state."

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 Page 4

TABLE 1 Fish and Game Code Section Violations at the Property				
Site ID	Approximate coordinates	Description of Activity	Fish and Game Code Section	Description of Violation
WS-1	37.4707, -122.4206	Water diversion from Pilarcitos Creek.	1602(a)	Substantial diversion of streamflow.
PP-1	37.4708, -122.4709	Piles of hoses, PVC, and plastic pipes.	5652(a)	Trash and debris placed within 150 feet of the high water mark of Pilarcitos Creek.
PP-2	37.4710, -122.4201	Mushroom waste found within the Pilarcitos Creek channel.	5650(a)(6)	Deleterious nutrient pollution from organic matter placed where it has/can pass into waters of the state.
WSt-2	37.4711, -122.4170	Earthen dam used to impound streamflow from an unnamed tributary and to store diverted water from Pilarcitos Creek.	1602(a)	Substantial obstruction of streamflow; Substantial alteration of a stream channel.
		Water diversion located within the on-stream reservoir	1602(a)	Substantial diversion of streamflow.
		On-stream reservoir operated without any infrastructure to release water downstream.	5937	Insufficient flow to keep fish in good condition.
PL-1	37.4716, -122.4189	Modified unnamed tributary to Pilarcitos Creek, including concrete, geotextile lining, multiple culverts, and channelization	1602(a)	Substantial alteration of a stream bed, bank, and channel.

Mr. Jim Guan
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TABLE 1 Fish and Game Code Section Violations at the Property				
Site ID	Approximate coordinates	Description of Activity	Fish and Game Code Section	Description of Violation
PL-1	37.4716, -122.4189	Hoop-houses containing mushroom growing infrastructure built along the top of a streambank and along a stream. Concrete pad built along a stream. Porta potty placed over a stream.	1602(a)	Substantial stream channel alterations.
			5650(a)(6)	Deleterious organic materials placed where they can pass into waters of the state.
PP-3	37.4739, -122.4168	Wood waste including pressure treated lumber, as well as metal and trash piled and strewn on the ground.	5650(a)(6)	Deleterious substances/materials placed where it can pass into waters of the state.
			5652(a)	Wood and debris placed within 150 feet of the high water mark of waters of the state.
PP-3	37.4741, -122.4169	Railroad flatcar bridge installed over Pilarcitos Creek	1602(a)	Substantial stream channel alteration.
Violation Summary				
Fish and Game Code Section			Count	
1602			6	
5650			3	
5652			2	
5937			1	
Total			12	

Mr. Jim Guan
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Impacts to Fish and Wildlife Resources

The Property is located in the San Gregorio Creek-Frontal Pacific Ocean watershed (Hydrologic Unit Code 10) and consists of both developed and undeveloped land, including vegetative communities such as red alder (*Alnus rubra*) forests, coyote brush (*Baccharis pilularis*) scrub, and eucalyptus (*Eucalyptus* spp.) groves. Pilarcitos Creek and the unnamed tributary to Pilarcitos Creek on the Property are fish-bearing streams that provide habitat for a variety of aquatic and terrestrial species. Pilarcitos Creek supports the Central California Coast Distinct Population Segment of steelhead (*Oncorhynchus mykiss irideus* pop. 8), federally listed as threatened pursuant to the Endangered Species Act (ESA). In addition, the Property is within the range of the San Francisco garter snake (*Thamnophis sirtalis tetrataenia*), federally and state listed as endangered pursuant to the ESA and the California Endangered Species Act (CESA) and a state Fully Protected species, and the federally threatened California red-legged frog (*Rana draytonii*) is likely to occur on or near the Property. These are just some of the species that are likely to be present on or near the Property and must be considered and appropriately avoided during any activities at the site.

The violations of Fish and Game Code identified above have adversely affected fish and wildlife resources on and near the Property by altering and reducing streamflow through diversions, obstructing streamflow, degrading riparian habitat through placement of trash and debris, and polluting streams with organic and inorganic waste.

Steps to Address the Violations

Immediate Actions

In order to avoid the potential for incurring additional Fish and Game Code violations, you will need to immediately:

- 1) Stop all diversions from Pilarcitos Creek if you have not done so already.
- 2) Remove all loose trash and debris that exists within 150 feet from the ordinary high water mark of Pilarcitos Creek.
- 3) Prevent mushroom waste runoff from entering Pilarcitos Creek.
- 4) Provide CDFW with evidence these immediate actions have been completed within **15 days** of receipt of this letter by submitting via email to Will.Kanz@wildlife.ca.gov or mailing to the CDFW Fairfield regional office.

Additional Actions and LSA Notification

CDFW requests you seek LSA permit compliance by submitting a complete 1602

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notification package via EPIMS: <https://epims.wildlife.ca.gov/index.doc> with correct notification fees for activities discussed below. CDFW requests the complete 1602 notification be submitted by **July 1, 2023**, unless otherwise approved in writing by CDFW. This notification should include itemized project activities by location, with corresponding fees.

- 1) Water diversion infrastructure built without a prior 1602 notification used to divert Pilarcitos streamflow under riparian basis of right S022526, (37.4707, - 122.4206). As part of a complete LSA notification for this activity, include if any actions will be needed to repair the damaged water diversion equipment at Pilarcitos Creek. If the damaged water diversion equipment will not be repaired, it should be completely removed. Any future water diversion activities from Pilarcitos Creek must obtain 1602 authorization prior to diverting streamflow. In order for CDFW to evaluate potential adverse impacts to fish and wildlife resources, supporting information regarding water diversion, timing, rates and volumes will be needed.
- 2) On-stream reservoir built and operated without a prior 1602 notification. The reservoir should be evaluated by a qualified professional to determine any modifications or upgrades necessary to protect fish and wildlife including downstream resources. Examples could include installation of plumbing infrastructure to bypass streamflow, spillway repairs, and/or development of an invasive species management plan.
- 3) Water diversion infrastructure built without a prior 1602 notification used to divert out of the reservoir.
- 4) Rail car bridge built without a prior 1602 notification. As part of a complete LSA notification for this activity, include an assessment of the bridge by a licensed engineer and any actions needed to meet engineering standards.
- 5) Hoop-houses and a concrete pad placed on-top of an unnamed stream without a prior 1602 notification.
- 6) Multiple culverts placed within a concrete channelized unnamed stream without a prior 1602 notification. As part of complete LSA notification, these culverts shall be assessed by a qualified professional who can determine if the culverts are properly sized to meet the 100-year flood flow and debris. The qualified professional should be evaluated for placement and function.

In addition, as part of the complete LSA notification package, CDFW requests a property remediation plan be included for more long-term actions needed beyond the immediate actions listed above. The remediation plan should include the following:

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- 1) Completely cover any steep-walled holes or pits such as those identified in Figure 3. Prior to covering the holes or pits, they must be thoroughly inspected for trapped wildlife. Wildlife shall not be able to enter the hole or pit once covering is completed.
- 2) Removal of all remaining trash and debris that exists within 150 feet from the ordinary high water mark of Pilarcitos Creek. This shall include any buried trash and debris (i.e., buried pipes that are no longer being used), as well as treated wood, and all other waste, debris, etc.
- 3) Removal of mushroom waste that is within 150 feet of the ordinary high water mark of Pilarcitos Creek and any actions needed to prevent mushroom waste runoff from entering Pilarcitos Creek.


If you have not already done so, CDFW recommends you seek assistance from a qualified professional to assist with immediate actions and the LSA notification, as well as potentially other permits from agencies with permitting authority. Additional environmental review and permitting may include, but are not limited to, the California Environmental Quality Act environmental review process, County of San Mateo, U.S. Army Corps of Engineers, U.S. Fish and Wildlife Service, SWRCB, and the San Francisco Bay Regional Water Quality Control Board. Depending on specific project infrastructure and needs, various professional disciplines may be needed to assist such as a restoration specialist, consulting biologist, engineering geologist and/or hydrologist. A qualified professional can assist with appropriate project designs for both long-term and short-term actions needed to address the violations identified in Table 1.

Please submit the notification and fee by **July 1, 2023**.

Conclusion

CDFW appreciates your cooperation. If you have any questions regarding this letter, please contact Will Kanz, Environmental Scientist, via email at Will.Kanz@wildlife.ca.gov; or Mr. Wesley Stokes, Senior Environmental Scientist (Supervisory), at Wesley.Stokes@wildlife.ca.gov.

Sincerely,

DocuSigned by:

Erin Chappell
B77E9A6211EF486
Erin Chappell
Regional Manager
Bay Delta Region

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ec: **California Department of Fish and Wildlife**

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Regional Water Quality Control Board

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FIGURES



Figure 1. Broken equipment at the bank of Pilarcitos Creek, associated with water diversion and pumping, at WS-1.

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Figure 2. View of debris located at WS-1 includes an electrical panel within 150 feet of

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Pilarcitos Creek (top). A green pipe (circled in red) is visible in Pilarcitos Creek partially buried in sediment and debris (bottom). The pipe was previously associated with a diversion from Pilarcitos Creek.



Figure 3. Steep-walled hole or pit next to the water diversion system (WS-1).

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Figure 4. Old pipes and debris within 150 feet of Pilarcitos Creek located at PP-1.

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Figure 5. View of a portion of the mushroom waste pile in the foreground at PP-2 (on the right of the red line). Pilarcitos Creek flows in the background along the tree line, within 150 feet.

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Figure 6. Site WSt-1 includes a 5,000-gallon storage tank next to a shed (top). The storage tank is situated below the on-stream reservoir at WSt-2 (bottom).



Figure 7. An unnamed stream in the foreground flows to the on-site reservoir (WSt-2) in the background.

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Figure 8. An existing earthen dam built on-top of an unnamed tributary prevents water from flowing downstream until the water surface level in the reservoir (WSt-2) reaches the culvert spillway (circled in red).

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Figure 9. A concrete and geotextile-lined modified tributary adjacent to a mushroom building (left and right picture, PL-1). The reservoir embankment is visible in the background (red arrow in left picture).

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Figure 10. A 26-inch corrugated metal pipe (red circle, SC-1) marks the transition to a modified tributary that flows to Pilarcitos Creek.

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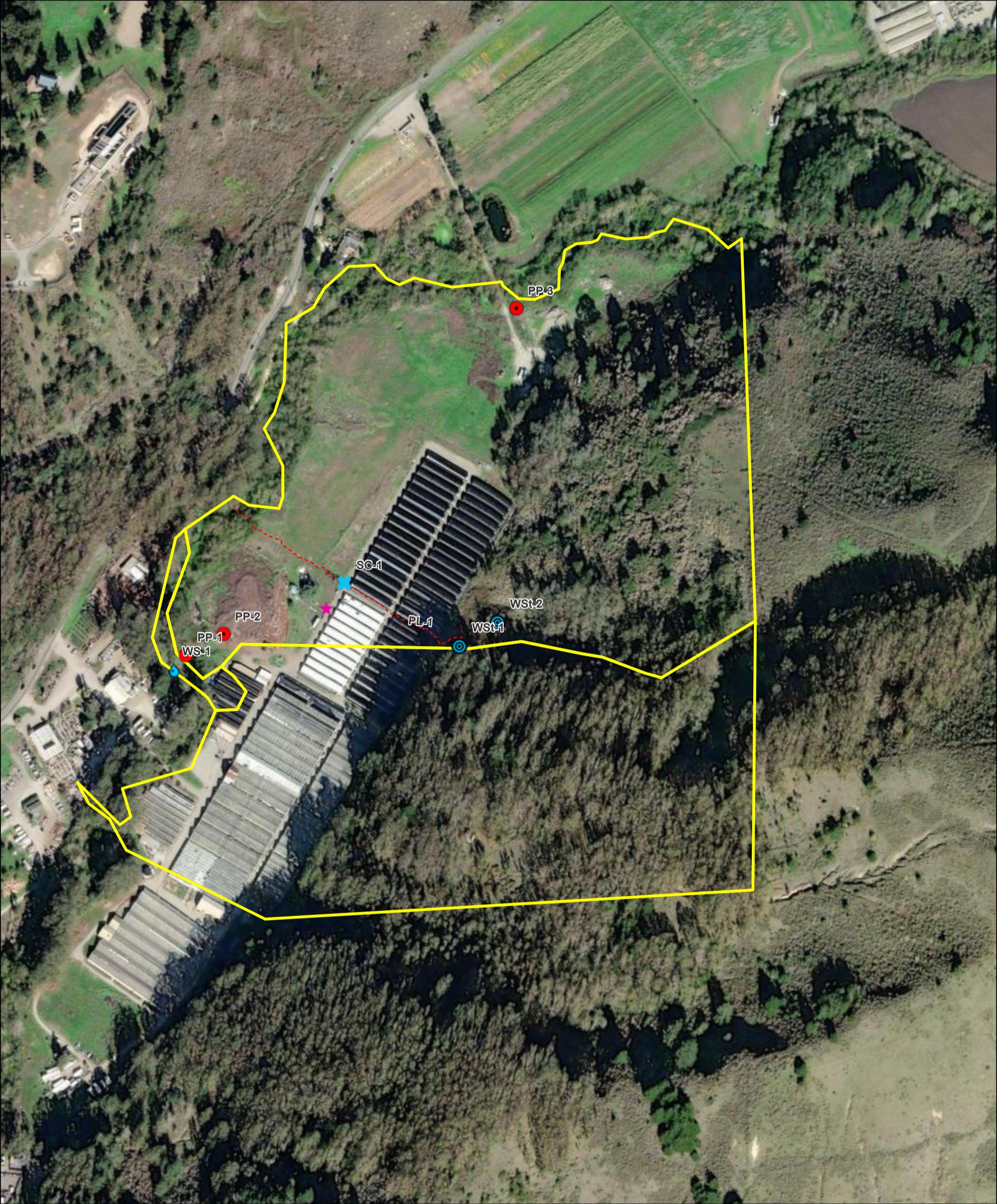
Figure 11. A three-spined stickleback (*Gasterosteus aculeatus aculeatus*) was located within an isolated drying pool located in the same modified tributary as Figure 9.

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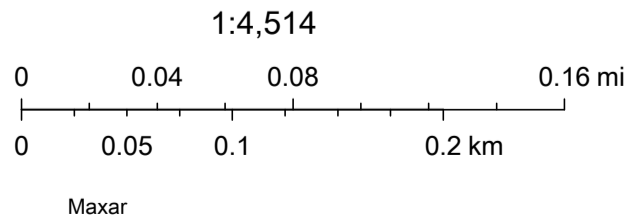
Figure 12. Wooden debris from a demolished building at PP-3 within 150 feet of Pilarcitos Creek.

Figure 13. Map of Observations at the Property



3/2/2023, 9:39:05 AM

- ★ Site Visit
- ✕ Stream Crossing
- 💧 Water Source
- Pollution Point
- 🕒 Water Storage
- Pollution Line
- ▭ Associated Parcels





COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

MEMORANDUM

TO: Camille Leung, San Mateo County Planning and Building Department

FROM: Dana Riggs, Sol Ecology

SUBJECT: California Terra Garden Biological Resources Report Addendum and Remedial Action Plan

DATE: April 1, 2025

CC: Jim Guan, property owner
Craig Smith, BKF Engineers

This is an Addendum to the California Terra Garden Biological Resources Report prepared by Sol Ecology and submitted to the San Mateo County (County) in July 2024 (Biology Report, **Attachment 1**) to reflect additions and revisions in the plan set submitted to permitting agencies, and to address requested changes by San Mateo County Planning Staff (County staff). Initially, the Biology Report was prepared to document biological resource impacts described in the notice of violation issued by the California Department of Fish and Wildlife (CDFW) on May 18, 2023 (CDFW NOV). This Addendum describes the remedial actions that have been completed and identifies additional proposed remedial actions to correct the remaining outstanding violations identified by the County, City of Half Moon Bay, and CDFW. This report also includes an analysis of potential biological impacts associated with implementing the proposed Remedial Action Plan and provides recommendations for ensuring future operations minimize impacts to surrounding sensitive habitats and special status species.

The Project Description in this addendum includes all of the completed and proposed remedial actions provided with the revised Cycle 2 Improvement Plans updated on December 20, 2024 (**Attachment 2**).

This Addendum includes the following sections:

- 1.3 Project Description (**new**)
- 5.0 Impact Discussion (**revised**)
- 6.1 Recommended Avoidance and Minimization Measures (**revised**)

1.3 Remedial Action Plan

Completed and proposed actions within each agency’s jurisdiction are indicated in Table 1. If the project action addresses a specific CDFW violation, it is indicated in the table. These actions are described in greater detail in the following sections.

Table 1. Remedial Action Plan Summary

Action No.	Action Description	Plan Sheet No.	County	City	CDFW
COMPLETED					
1	Demolition of two existing permitted mobile homes (R1, R2) and a group of unpermitted residential trailer hookups and associated utilities, including water, septic, and electrical systems as part of the habitat restoration improvements.	C1.1		X	
3	Removal of existing hazardous materials within proximity of Pilarcitos Creek, namely wood debris and agricultural waste outside of applicable creek setbacks	C1.1 C1.2 C1.3	X		DFW-1, Section 5650/5652
4	Diversion structure removal	N/A			DFW-1
PROPOSED					
2	Demolition of greenhouse G5 and removal of adjacent debris pile and concrete pad	C1.1			
5	Demolition of existing permitted, but failing, greenhouses G6 and G7	C1.1		X	
6	Proposed grading to create a new vegetated swale to divert upland flows around development and agricultural operations	C2.1 C2.2 C6.0/6	X	X	DFW- 2
7	Grading and drainage improvements to route stormwater from existing hoopouses and new compost facility to a new bioretention planters for treatment	C2.2 C6.0/5, 6, 7		X	DFW-5
8	Demolition, grading, and replanting to develop habitat restoration areas as described in the project biological study. Existing septic tanks to be filled with concrete and abandoned in place along with drainfields per San Mateo County Environmental Health Standards.	C1.1 C2.1		X	DFW-1 DFW-5 DFW-6
9	Building and electrical permits to legalize modifications to existing heating and cooling building B1 and G4A (deferred)	C2.1		X	
10	Improvements to address creek and streambed violations noted by CDFW including new diversion location and habitat restoration as described in the project biological study	C2.1 C2.2	X	X	DFW-1 DFW-3
11	Grading and drainage improvements to repair existing emergency outfall at reservoir to the south of hoopouses	C2.2 C6.0/2, 3	X		DFW-2
12	Legalization of existing unpermitted hoopouses and associated site improvements, including stormwater treatment	C2.2 C6.0/5,7	X		DFW-5
13	Improvements to address ingress/egress safety at existing hoopouses to remain	C4.0	X		

Action No.	Action Description	Plan Sheet No.	County	City	CDFW
14	Improvements to create a dedicated composting and storage facility onsite for processing of agricultural waste outside of applicable creek setbacks	C2.2 C6.0/4, 5, 6, 7	X		Section 5650/5652
15	Demolition of existing permitted but condemned single family home R3 and removal of unpermitted trailer hookups and associated utilities	C1.3	X		
16	Building and electrical improvements to address permit violations at existing dam pumphouse and treatment facilities P1, P2, and P3	C2.2	X		
17	Structural assessment at the existing rail car bridge. Existing signage to be replaced and barricade to be installed at a future date.	C2.3	X		DFW-4
18	Wildlife exclusion fence installation along 50' riparian setback	C2.1 C2.2			

Source: Attachment 2. Improvement Plans (December 20, 2024 revisions), Sheet C0.0: Project Description

Completed Actions

Actions completed to date address the “immediate actions” and “remedial plan” items requested in the CDFW NOV and include structure demolition and debris piles removal (Actions 1, 2, and 3). Structure demolition also includes removal of existing water diversion structure (Action 4).

Action 1: Structure Demolition. Demolition of two existing permitted mobile homes (R1, R2) and removing unpermitted residential trailer hookups and associated utilities, including water, septic, and electrical systems have occurred, and this is part of the site preparation for the habitat restoration improvements. This includes abandonment of two septic system drainfields that are located within the 50’ riparian setback zone and within the 50’ wetland setback zone; these drainfields will be abandoned per Environmental Health Department Standards as indicated via the Existing Septic System Removal Notes on Sheet C1.1, which generally include cleaning and disposing of septic system materials appropriately and backfilling leach trenches with native fill. Photos 1 and 2 provide documentation of removal.

Action 3: Debris Pile Removal. consists of removal of debris piles that were located within the 50-foot riparian setback; this includes the mushroom compost stockpile located near greenhouse G3 (sheet C1.2) and the wood construction debris (sheet 1.3). Mushroom compost stockpile removal addresses CDFW NOV Immediate Action 3 and Remediation Plan 3. Wood construction debris removal addresses CDFW NOV Immediate Action 2 and Remediation Plan 2. Photos 3 and 4 provide documentation of removal.

Action 4: Removal of Diversion Structure. Water diversion ceased upon receipt of the CDFW NOV and diversion structure, and appurtenances were removed. This was not depicted in the plan set. This addresses Immediate Action 1 and Remediation Plan 1. Documentation is shown via Photos 5 and 6.

Proposed Actions

The proposed actions (Actions 5 through 18) collectively address remaining violation items identified by the CDFW NOV as “additional action and LSA notification,” or as shown in Table 1 as DFW-1 through DFW-6. The goals of the proposed actions are to address all of the biological impacts identified in the July 2024 Biological Resources Report. Specifically, proposed actions described below will ensure avoidance of direct and indirect effects to sensitive habitats and special status species by moving existing facilities out of sensitive habitats, as appropriate; providing appropriate and adequate solid waste and water processing systems; and ensuring that all new and existing structures are up to code. Actions that require additional detail beyond what is described in Table 1 are discussed below; potential permanent and temporary impacts to biological resources that may occur during implementation of proposed remedial actions are described in Section 5.0. Implementation of the Remedial Action Plan will be subject to the review and approval of respective agencies, including the County and CDFW.

Action 6: Southern Vegetated Swale. Grading will occur to create a new vegetated swale that is approximately 2,000 linear feet, ranging from 21-30 inches in depth. The vegetated swale will intercept water from both the reservoir overflow and upland flows around development/agricultural operations and direct water westwards towards Pilarcitos Creek where it is expected to terminate at a level channel spreader within the restoration area (see additional details under Action 8: Restoration). The new vegetated swale will be located along the southern length of the greenhouses and hoophouses and will be graded to drain in a westerly direction. The siting of this feature is consistent with historical conditions present from 1943 up until 1968 when hoophouses were first constructed on the property (refer to Appendix B of the Biology Report). The capacity of the vegetated swale is designed to accommodate flows from the reservoir and site operations. See Sheet 6.0: Detail 6, Cross Sections A, B, and C for additional specifications. Approximately 160 linear feet of the vegetated swale is located within the wetland buffers; of that, 40 feet is located within the existing wetland (refer to Section 5.0 regarding this temporary impact).

Action 7: Bioretention Facility. The earthen drainage ditch, previously constructed to direct water from the reservoir overflow pipe along with stormwater flows originating from the hoophouses into a historic ditch that drains to Pilarcitos Creek, will be redirected to flow into a newly constructed bioretention basin (note, flows from the reservoir will be captured in the Southern Vegetated Swale and redirected to the Restoration Area). The ditch will then be reconstructed to follow vegetated swale designs as detailed on Sheet 6.0: Detail 6, Cross Section D. The new swale will be lined with grass species and will be designed such that it does not pond water to avoid attracting aquatic species to the processing area. The majority of the flow that enters the bioretention basin is designed to infiltrate into the ground, where the vegetation and abiotic substrate would capture organic materials like nitrogen from the grow operations. Overflows that occur during periods of intense and/or prolonged rain events would be directed out via the northern outlet, dissipated over the upland area, and into Pilarcitos Creek. Overflow water quality is not expected to be compromised due to high quantities of freshwater input from precipitation, and ongoing filtration during the dry season or times of low rain. The bioretention facility is located in upland areas, outside of the riparian and wetland buffer zones. The

bioretention area will encompass 12,560 square feet, or roughly $\frac{1}{4}$ acre, with the cross-section shown on Sheet 6.0: Detail 5. The rock outfall specifications is shown on Sheet 6.0: Detail 7.

Action 8: Restoration. Habitat restoration is proposed to offset temporal losses associated with areas of impact throughout the property. The proposed habitat restoration area is approximately 5.3 acres and is located on the west side of the processing areas as shown in Attachment 4 (Figure 6 Proposed Restoration Plan Area). Habitat restoration is proposed in this area to offset 0.22 acres of impacts to riparian habitat, and an additional 1.15 acre of impacts to riparian buffers from activities as identified in the Biology Report. (Additional restoration will be performed at the site of the diversion point to restore riparian function at this location). The goal of the restoration plan is to create high quality habitat within an existing wildlife corridor to avoid or reduce potential future effects from agricultural operations on the site, and to enhance and restore riparian functions to historic conditions prior to development of the site. Site preparation includes Action 1 (removing existing structures and septic systems) and invasive species removal. The area would then be revegetated with native species that are appropriate for riparian, wetland, and upland areas and supportive of target species breeding, foraging, and dispersal needs. The primary objectives will be to increase riparian function and values for native species, improve the buffer areas to provide refugia for target species, and lengthen an existing wildlife corridor. Additionally, water from the reservoir drainage feature will be redirected to the Restoration Area, consistent with historical conditions, via the Southern Vegetated Swale; water from the swale will be allowed to fan out into the restoration area where it can percolate into the ground to provide recharge to Pilarcitos Creek and its surrounding riparian and wetland habitats, and to increase soil moisture within the riparian setback and nearby upland refugia for sensitive wildlife. Maintenance and monitoring would follow to ensure successful establishment of planted species. The full restoration plan will include a planting palette, planting plan, success criteria, and guidance for adaptive management.

Action 10: New Water Diversion Facilities. The new water diversion facilities include a new diversion weir/intake basin, a settling basin, a diversion sump pump, diversion flow meter, and storage tanks, all connected to the reservoir via buried piping. The general configuration of this equipment is shown on Sheet C2.2. The diversion weir/intake basin, settling basin, diversion sump pump, and diversion flow meter will be at the same location as the previously removed system, below top of bank on the east side of Pilarcitos Creek and south of the existing well. Appurtenances will be installed outside the active floodplain and only the diversion pipe and bypass will be placed in the wetted channel (subject to federal/state permitting). The instream portion of the water diversion system will consist of a 36-inch circular HDPE pipe (riser) embedded vertically into the stream bed and bank. The open end of the riser will be covered with a secured lid and act to encase the intake pipe and allow for incorporation of an appropriately sized fish screen that meets National Marine Fisheries Service (NMFS) and CDFW screening criteria and limits entrainment of fish into the diversion system. The riser will be cut and fitted with the screen, leaving no gaps. An adjustable rectangular weir plate will be secured inside the riser to allow for adjustment of the intake system, as necessary to meet permit requirements. At the point of diversion, once creek flow rates exceed the minimum requirements per the water

rights license¹, water will overtop the weir plate located within the screen riser and then flow into the pipe buried in the bank.

Moving upslope, there will be approximately 120 feet of buried piping below the top of bank, and an additional 120 feet within the riparian buffer zone. The diverted water will be piped to three 5,000-gallon lift station storage tanks set on a pad consisting of class 2 aggregate material; these tanks are located outside of riparian and wetland buffer zones. From there, the pipes lead to the reservoir, where approximately 200 feet of buried piping will be located in the wetland buffer zone. All pipes would be buried approximately 18" to 24" deep. A ditch approximately 12" wide and 18"-24" deep would be dug to accommodate the pipes, then backfilled with native fill.

A new streambed alteration agreement will be obtained prior to re-installing the new diversion facilities; information including the maximum rate of diversion rates, timing of diversion, maximum volume diverted per year, and the minimum rate of flow at the point of diversion will be provided with notification to CDFW. A flow meter will be installed at the in-stream diversion array and a Compliance and Effectiveness Monitoring Plan will be prepared and implemented to ensure diversion operations, including bypass flow monitoring is performed in accordance with the respective water rights licenses for the property.

Action 11: Reservoir Improvements. The structural integrity of the reservoir will be improved via geotechnical engineering as detailed on Sheet 6.0, Detail 2. Existing grade is to remain after excavation, compacting, and fill is completed. Existing pumphouses (P1, P2) located within the wetland buffer zone are to be left in place to minimize potential impacts. The emergency outfall will be relocated to direct water away from existing wetland via a 24" HDPE culvert outfitted with a riprap dissipater at the end, as shown on Sheet 6.0, Detail 3. Reservoir overflow will be directed into the Southern Vegetated Swale as described in Action 6. The reservoir outfall will be relocated to be outside of the wetland buffer. A floating pond ladder and/or ramp will be installed to allow any trapped wildlife to escape, as water levels drop.

Action 14: Compost Waste Management Facility. A new enclosed composting and storage facility onsite will accommodate 200 tons of spent mushroom and other green compost materials. Materials will be transported to this facility by tractor and trailer via dedicated asphalt concrete roads as shown on Sheet 2.2. The composting facility will be enclosed via a 6-inch-thick concrete slab on the ground, with an 8-inch-thick poured concrete or concrete masonry unit as surrounding walls, per Sheet 6.0, Detail 4. Operational procedures and general guidelines are also included in the plan details on Sheet 6.0, Detail 4 and serves as the "Waste Management and Soil Management Plan" requested by regulatory agencies. Any incidental drainage from the composting facility would be directed towards the gravel apron located in front of the facility. The gravel apron would consist of 3 inches of decomposed granite over 6 inches of Caltrans class 2 aggregate base, for a total of 9 inches in depth. Further drainage would flow into the

¹ State Water Board Division of Water Rights Permit 17849; a Compliance and Effectiveness Monitoring Plan will be implemented in accordance with Section 1600.

bioretention area as described in Action 7. A roof will also be constructed over the composting facility to minimize runoff generated from rain events. This facility is located outside riparian and wetland buffers. Wildlife exclusion fencing will be placed between the new facility and the nearby bioretention facility.

Action 17: Rail Car Bridge. The rail car bridge will be abandoned in place; permanent barricades and signage to prevent vehicular use will be installed at either end of the bridge.

Action 18: Permanent Wildlife Exclusion Fence. Permanent WEF is proposed between the riparian setback and places that contain movement of machinery and other processes that may be harmful to wildlife as shown on the accompanying plan set. Design and installation requirements are further described in Section 6.1.

5.0 Impact Discussion

The following actions would not have any direct or indirect impacts to water quality, sensitive habitats, or special status species either due to the nature of the work or its location outside of sensitive habitats and/or respective buffer zones:

Action 5: Demolition of Greenhouses G6 and G7

Action 9: Building and Electrical Permits for Structures B1 and G4A

Action 12: Legalization of Hoophouses and Stormwater Treatment (see Action 7 for Stormwater Treatment)

Action 13: Circulation Improvements

Action 15: Demolition of Structure R3 and Associated Facilities

Action 16: Building and Electrical Permits at Structures P1, P2, and P3

The remaining actions and their respective potential biological impacts are discussed below.

Action 1: Housing Demolition and Septic System Removal. The removed structures and related appurtenances (with the exception of septic systems) are outside of the riparian and wetland buffer zone and therefore did not have an impact on sensitive areas. Removal of the drainfields that are located within the riparian and wetland buffer zones would be done in accordance with Environmental Health Department Standards and is not expected to result in any impacts to riparian and wetland habitats. Earth disturbance in this area could potentially impact special status amphibians and/or nesting birds if present. Pre-construction surveys are recommended prior to work to ensure mortality does not occur, as described AAM [AMM] 1 and 2 of the Biology Report. No additional avoidance or minimization measures are needed for this action.

Action 2: Greenhouse (G5) Removal. This is located outside of riparian and wetland buffer zones. Implementation of this action would not result in impacts to water quality, sensitive habitats, wildlife, or any special status species.

Action 3: Debris Pile Removal. Removal of debris piles located within the riparian buffer zone has a net positive effect on water quality and wildlife. Implementation of this action complies with Section 5650/5652 of the Fish and Game Code.

Action 4: Diversion Structure Removal. The removal of the old diversion structure was performed prior to the initial site assessment by the biologist. Based on existing conditions noted during the June 7, 2023, site walk, little cover was observed that would offer refugia to sensitive aquatic wildlife within the area where the diversion facility was located. This area was largely denuded as described in the Biology Report. Additional appurtenances on the bank were removed at a later date. Restoration of habitat in the area of the diversion point is proposed and will be described in the forthcoming Restoration Plan; additional mitigation for up to 0.22 acres of temporal impacts to riparian habitat will be accomplished in the proposed restoration area (Action 8) as shown in Figure 6 (Attachment 4) and in the forthcoming restoration plan.

Action 6: Southern Vegetated Swale. Construction of the new Southern Vegetated Swale within the coastal wetland and wetland buffer would result in a small amount of permanent impact to the coastal wetland. Minor impacts to the coastal wetland will occur but such impacts will enhance the biological productivity of the wetland consistent with permitted uses described in the LCP (LCP 2021). See LCP Policy 7.16 (7): “diking, dredging, and filling in any other wetland only if such activity serves to restore or enhance the biological productivity of the wetland.”

Action 7: Bioretention Facility. Implementation of the bioretention facility would not result in impacts to water quality or sensitive habitats since it is located outside of sensitive habitats and/or setbacks. The location of the facility is designed to be away from processing areas, separated by a permanent WEF (AMM 2). The facility is designed infiltrate into the ground and as such would not likely hold water long enough to support California red-legged frog (CRLF) breeding but may provide aquatic non-breeding foraging habitat for CRLF, which would result in a net beneficial effect. The pond will be designed with sloped sides to allow CRLF to move freely in and out of the facility. Construction of the facility could potentially impact CRLF, and/or nesting birds if present in uplands at the time of construction. Implementation of AAM [AMM] 1 and 2 will ensure no adverse effects during construction of the facility. No additional avoidance or minimization measures are proposed.

Action 8: Restoration. Implementation of the restoration plan may result in temporary impacts during the site preparation/construction stage, as septic fields are being removed. However, following Environmental Health Department standards and the implementation of AAM [AMM] 1, 2, and 5 would ensure no impacts to sensitive habitats and/or species. Additional restoration at the diversion point will replace lost riparian habitat in this area, reduce potential sedimentation to downstream habitats in Pilarcitos Creek, and reduce cover and dispersal of invasive species to downstream habitats. Implementation of this action will offset impacts described in the Biology Report including temporal effects, provide a net increase in riparian habitat and buffers, and will provide greater refugia for dispersing wildlife including CRLF within an existing wildlife corridor, resulting in a net benefit for target wildlife species.

Action 10: New Water Diversion Facilities. Implementation of the new water diversion facilities may result in temporary impacts to water quality and wildlife during the installation and construction. AAM [AMM] 1, 2, and 5 will ensure effects associated with construction of the new facilities do not result in any new deleterious effects to Pilarcitos Creek or its associated riparian habitat, and/or aquatic wildlife. Regulatory permits including a new Section 1600 Notification, Section 404 permit, and Section 401 Water Quality Certification are required prior to installation of the new facilities within the stream channel. Adherence to permit standards is also required.

Action 11: Reservoir Improvements. The existing pumphouses do not currently have any adverse impacts on the adjacent wetland feature based on analysis provided in the Biology Report; leaving the pumphouses in place would avoid potential impacts associated with removal. Implementation of the reservoir outfall within the wetland buffer would not result in impacts to the adjacent wetland feature; the plan was designed to avoid the wetland feature. Implementation of AMM 2, including a new pond ladder will ensure the reservoir improvements, including the outfall repair and relocation do not result in mortality to CRLF or other sensitive wildlife that may be present.

Action 14: Compost Waste Management Facility. The new facility will be located away from all sensitive habitats and all potential runoff would be contained within appropriate treatment facilities. Implementation of the compost waste management facility would not result in impacts to water quality, sensitive habitats, wildlife, or any special status species. AMM 2, including a new permanent WEF between riparian setback areas, and the new facility will prevent potential adverse effects to CRLF that may forage in the nearby uplands and/or bioretention facility.

Action 17: Rail Car Bridge. Leaving the rail car bridge in place is the least environmentally damaging option, is consistent with the recommendation in the 2024 biology report, and would not result in impacts to water quality, sensitive habitats, wildlife, or any special status species. The completion of a structural engineering analysis and a plan to safely abandon the bridge in place fully addresses DFW-4.

Action 18: Permanent Wildlife Exclusion Fence (WEF). Implementation of a permanent WEF is intended to deter wildlife from active work areas to prevent direct impacts to wildlife. This action is further described under AMM-2 below.

6.1 Recommended Avoidance and Minimization Measures

The following additional avoidance and minimization measures (AMMs) are proposed to ensure remedial actions do not result in any new adverse effects to sensitive habitats and/or special status species. Additional regulatory permits including a new Lake and Streambed Alteration Agreement (and other permits as outlined above) shall be obtained prior to implementation of the Remedial Action Plan.

AMM-2. CRLF (AND OTHER SENSITIVE AQUATIC WILDLIFE)

- **Permanent wildlife exclusion fencing** is recommended to be installed between existing aquatic habitats (e.g., Pilarcitos Creek, Southern Vegetated Swale, bioretention facility, etc.) to deter special status species, including CRLF from accessing active processing areas where they may be subject to mortality. A permanent WEF fence plan shall be submitted to CDFW for review and approval prior to installation. The fence should be constructed of durable materials that will not leach into ground water (e.g., no pressure-treated wood, nor degradable plastic may be used), and be maintained in good repair for the life of the project. Installation of the WEF should be performed under the supervision of a CDFW-approved biologist. An annual inspection of the permanent wildlife exclusion fencing is recommended to occur in October, prior to the start of the rainy season to ensure fencing.
- **A pond ladder, ramp, or similar structure** shall be constructed and maintained in the on-site reservoir to allow trapped wildlife to escape. The design and placement of the ladder should be performed under the supervision of a CDFW-approved biologist and shall be constructed from durable materials which will not leach chemicals nor discharge any material into the waterbody. An annual inspection of the ladder is recommended to take place during the pond draw-down period, around June to ensure that the structure is intact and is serving the intended purpose.
- **Diversion structure inspections.** An annual inspections of the diversion facility, including fish screens, shall be performed by a biologist prior to the start of pumping each year. Periodic inspections are recommended during the winter season following any major storm events for the first 1-3 years to monitor performance.

AMM-5. CONSTRUCTION BEST MANAGEMENT PRACTICES FOR WORKING IN WATERWAYS

Work Period and Erosion Control

- No work during wet weather or where saturated ground conditions exist; if a 60% chance of a one-half inch of rain or more within a 24-hour period is forecasted, then the site shall be treated with erosion control measures and construction operations will cease until 24 hours after rain has ceased.
- In areas expected or forecasted to get rainfall during the construction season, effective erosion control measures shall be in place at all times during construction activities. Construction within the 5-year floodplain may not begin until all temporary erosion controls (e.g., straw bales, silt fences that are effectively keyed in) are in place, downslope of project activities within the riparian area. Erosion control structures shall be maintained throughout, and possibly after, construction activities. Sediment shall be removed from sediment controls once it has reached one-third of the exposed height of the control. Whenever straw bales are used, they shall be staked and dug into the ground 12 centimeters (cm). Catch basins shall be maintained so that no more than 15 cm of sediment depth accumulates within traps or sumps.
- Adequate erosion control supplies (gravel, straw bales, shovels, etc.) shall be stored on site.

Hazardous Waste

- A Spill Prevention and Control Plan shall be created, and the Plan and all materials necessary to implement shall be accessible on site
- All construction equipment will be maintained to prevent leaks of fuel, lubricants, or other fluids by checking heavy equipment daily for leaks. Do not use equipment until any leaks are repaired.
- Refuel outside of active stream channel, more than 100 feet away from top of bank.
- Petroleum products, chemicals, fresh cement, or water contaminated by the aforementioned shall not be allowed to enter flowing waters.
- Stationary equipment such as motors, pumps, generators, and compressors, located within the dewatered portion of the stream channel or adjacent to the stream, will be positioned over drip pans.

General

- Where available, use existing ingress or egress points, or perform work from the top of the stream banks.
- All food scraps, paper wrappers, food containers, cans, bottles, and other trash will be deposited in securely covered containers to prevent wildlife from accessing.

Attachments:

Attachment 1. Site Plans (BKF; December 20, 2024)

Attachment 2. Stormwater Management Plan (BKF; December 2024)

Attachment 3. Photographs Documenting Completed Project Actions (January 2025)

Attachment 4. Figure 6 - Proposed (On-Site) Restoration Plan Area

**APPENDICES OF ATTACHMENTS ARE NOT
INCLUDED IN THIS REPORT; AVAILABLE FROM
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STORMWATER MANAGEMENT PLAN

California Terra Garden
12761 San Mateo Road
Half Moon Bay, CA 94019
BKF Job No: 20230873-10

September 2024

Revised December 2024

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1.0 INTRODUCTION

This Stormwater Management Plan (SWMP) is prepared for the California Terra Garden (CATG) Improvements located at 12761 San Mateo Road, Half Moon Bay, CA. The project proposes to address Notices of Violations (NOVs) issued by the City of Half Moon Bay dated 04/10/2023, San Mateo County dated 04/10/2023 and the California Department of Fish and Wildlife (CDFW) dated 05/18/2023. As part of the improvements to address the NOVs, the project proposes to legalize unpermitted black hoophouse structures, and to analyze stormwater hydrology and quality impacts from new improvements and existing unpermitted hoophouses. Best Management Practices (BMP's) from the project biologist and the reviewing agencies will be implemented. This SWMP is subject to revisions as the reviewing agencies provide feedback and as needed by the project engineer.

1.1 Site Overview

California Terra Garden is located off of San Mateo Road on the east side of Pilarcitos Creek, and approximately one mile east of Highway 1. The property is accessed by two bridges, one crossing Pilarcitos Creek at the entrance from San Mateo Road and the other located on the northeastern corner of the site. Pilarcitos Creek and its associated Riparian Corridor intersect the north and western boundary of the site. The project site is further bordered by the City of Half Moon Bay Corp Yard to the southwest, a nursery farm to the northeast and open space to the east. See Figure 1: Vicinity Map. The CATG site includes a total area of approximately 131 acres that slopes west towards Pilarcitos Creek.

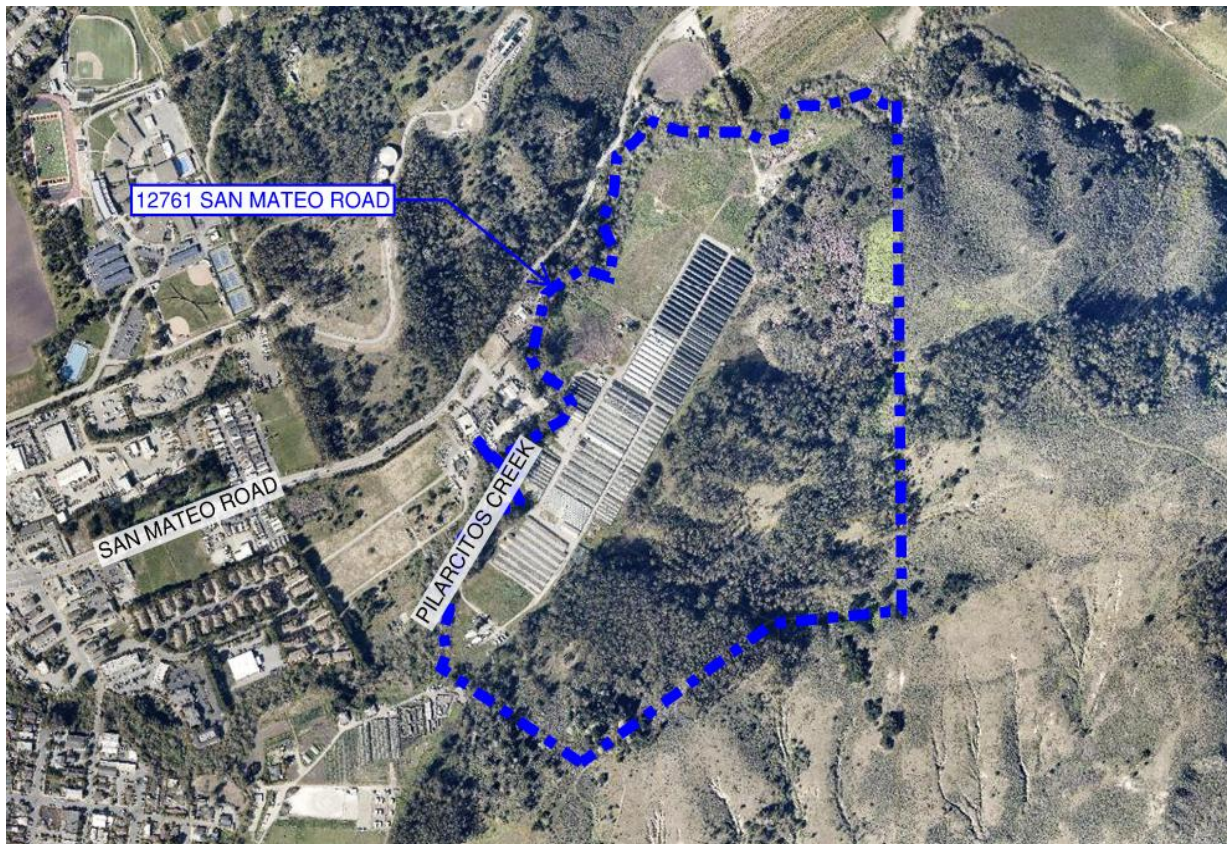


Figure 1: Vicinity Map

1.2 Existing Site Conditions

1.2.1 Unpermitted Black Hoophouses

In 2020, CATG completed the construction of 54 black hoophouses and associated access road. They were built over flat concrete pads with concrete channels around the hoophouse clusters. In this area, the topography generally slopes at 1% northwesterly towards Pilarcito Creek. Runoff from the roof of the hoophouses and access road flow into the channels where it spills out into an open space to the northwest of the hoophouses. San Mateo County and CDFW have noted these hoophouses as violations for being unpermitted structures and for being an obstruction to the uphill drainage channel. See section below.

1.2.2 Uphill Drainage Channel

The existing onsite tributary area consists of the uphill slope at the rear of the hoophouses with a total area of approximately 35.9 acres and has an average slope of 18%. The area is heavily vegetated with trees, shrubs and grass. Historically, this runoff sheet flowed down the slope where it would dissipate across the open field and eventually drain into Pilarcitos Creek. Around 1980, an on-stream reservoir was constructed for storage of irrigation water along with a drainage ditch to direct was from the uphill drainage to Pilarcitos Creek. Water from Pilarcitos Creek is pumped up to the reservoir where it is collected and treated. Any overflow from the reservoir will discharge through an existing culvert spillway at the base of the reservoir, and will be collected by the same concrete channels around the hoophouses. As part of the NOVs, CDFW have noted these hoophouses as violations for being an obstruction to the natural flow of a stream and has requested to implement a drainage channel to bypass the reservoir and the hoophouses.

1.3 Proposed Site Conditions

1.3.1 Unpermitted Black Hoophouses

The project proposes to legalize the 54 existing hoophouses and the associated access roads, as well as create a concrete pad for composting operations and extend portions of the access roads. The black hoophouses and the new onsite impervious will amount to a total created and replaced area of 313,935 square feet (see below Table 1: Site Area Summary Table). The new impervious area will be treated by a bioretention area before discharging to Pilarcitos Creek. A vegetated channel is proposed to convey the runoff from the hoophouses and adjacent impervious areas to the bioretention area. The proposed vegetated swale was sized by analyzing the 100-year peak flow of the existing hoophouse tributary area (see Appendix 4: Vegetated Swale Sizing Calculations).

Onsite Area Summary Table	
Total Onsite Area	388,150 sf
Existing Impervious Area	372,335 sf
Proposed Impervious Area	313,935 sf
Difference	58,400 sf
Impervious Area to be Created/Replaced	313,935 sf

Table 1: Site Area Summary Table

1.3.2 Uphill Drainage Channel

As recommended by the project biologist, water originating from upstream of the hoopouses should bypass and flow to Pilarcitos Creek. A vegetated swale is proposed at the rear of the black hoopouses to route the runoff to a designated restoration area to the southwest. The swale widens out at the end to direct the runoff overland and flow to Pilarcitos Creek. Routing the runoff in this manner will help establish a habitat restoration area that is away from agricultural operations and better connects with the creek and an existing wetland area. The proposed vegetated swale was sized by analyzing the 100-year peak flow of the existing onsite tributary area (see Appendix 4: Vegetated Swale Sizing Calculations).

1.4 Project Requirements

San Mateo County requires all projects to meet the Peak Flow and Volume Control requirements: post-development runoff peak flow and volume must be less than or equal to undeveloped runoff peak flow and volume. In addition, per the SMCWPPP C.3 Stormwater Handbook, "Projects that create and/or replace 10,000 square feet or more of impervious surface must comply with Provision C.3". Therefore, the Project is a Regulated Project and will comply with Provision C.3 of the Municipal Regional Stormwater Permit (MRP), see Appendix 1: San Mateo County NPDES Forms and Worksheets for C.3 requirements checklist. See "Section 2.0 Stormwater Quality" of this report for discussion of opportunities, constraints and proposed measures for the Project and "Section 3.0 Stormwater Detention" of this report for discussion of proposed detention analysis.

2.0 STORMWATER QUALITY

2.1 Opportunities and Constraints for Stormwater Quality Measures

As described in the SMCWPPP C.3 Stormwater Handbook, identification of the opportunities and constraints presented by a project site can assist in the selection and design of storm water treatment and flow control facilities. An opportunity for this project is to retain existing landscape areas, creating a designated habitat restoration area and removing existing impervious area.

Constraints presented by this project include:

- Proximity to Pilarcitos Creek.
- Riparian Corridor and Environmentally Sensitive Habitat Areas
- Inclusion of Habitat Restoration Area

2.2 Source Control Measures

2.2.1 Permanent Controls and Operational BMPs

Potential pollutant sources, which will be present onsite, include, landscape/outdoor pesticide use and refuse areas. The following table, based on the SMCWPPP Model Source Control Measures List, details the permanent controls and operational BMPs for each of these pollutant sources.

Potential Sources of Runoff Pollutants	Permanent Controls	Operational BMPs
Illegal Dumping to Storm Drain Inlets and Waterways	<ul style="list-style-type: none"> • On-site storm drain inlets shall be clearly marked with the words "No Dumping! Flows to Bay", or equivalent, using methods approved by the co-permittee. 	<ul style="list-style-type: none"> • Maintenance staff to inspect on-site storm drain inlets and report any observations of illegal dumping to the co-permittee. • All on-site storm drain inlets shall be cleaned at least once per year immediately prior to the rainy season
Refuse Areas	<ul style="list-style-type: none"> • Refuse shall be disposed of in designated collection areas. • Adequate numbers of refuse and recycling receptacles shall be placed in public areas. • Signs shall be posted on or near dumpsters with the words "Do not dump hazardous materials here" or similar 	<ul style="list-style-type: none"> • Adequate numbers of refuse and recycling receptacles shall be placed in public areas. • Receptacles shall be inspected regularly, and leaky receptacles shall be repaired or replaced. • Receptacles shall be covered. • Signs shall be posted on or near dumpsters with the words "Do not dump hazardous materials here" or similar. • Litter shall be picked up daily when the facility is in use and spills shall be cleaned up immediately.

	<ul style="list-style-type: none"> • Keep spill control materials available onsite. • See Fact Sheet SC-34, "Waste Handling and Disposal" in the CASQA Stormwater Quality Handbooks at www.cabmphandbooks.com
<p>Landscape/Outdoor Pesticide Use</p> <p>Final landscape plans for the project will:</p> <ul style="list-style-type: none"> • Preserve existing native trees, shrubs and ground cover to the maximum extent possible. • Design landscaping to minimize irrigation and runoff, to promote surface infiltration where appropriate, and to minimize the use of fertilizers and pesticides that can contribute to storm water pollution. • Where landscape areas are used to retain or detain storm water, specify plants that are tolerant of saturated solid conditions. • Consider using pest-resistant plants, especially adjacent to hardscape. • To ensure successful establishment, select plans appropriate to site soils, slopes, climate, sun, wind, rain, land use, air movement, ecological consistency, and plant interaction. 	<ul style="list-style-type: none"> • Maintain landscaping using minimum or no pesticides. • See applicable operation BMPs in Fact Sheet SC-41, "Building and Grounds Maintenance," in the CASQA Stormwater Quality Handbooks at www.cabmphandbooks.com • Distribute Integrated Pest Management (IPM) educational materials to maintenance staff. At a minimum, educational materials will address the following topics: <ul style="list-style-type: none"> • Keeping pests out of buildings and landscaping using barriers, screens and caulking • Physical pest elimination techniques, such as weeding, squashing, trapping, washing or pruning out pests • Relying on natural enemies to eat pests • Proper use of pesticides as a last line of defense.

Table 2: Source Control Measures

2.2.2 Construction Stormwater BMPs

Common sources of pollutants from construction sites include: sediments from soil erosion; construction materials and waste (e.g., paint, solvents, concrete, drywall); landscaping runoff containing fertilizers and pesticides; and spilled oil, fuel, and other fluids from construction vehicles and heavy equipment. See Worksheet A in Appendix 1: C.3 and C.6 Development Review Checklist for a list of construction stormwater BMPs to be implemented during construction.

2.3 Site Design Measures

Site design measures are used during project planning with the purpose of minimizing stormwater pollutants. The most effective way to reduce the impact on stormwater is to maximize landscaping and pervious areas and minimize impervious surfaces on the site.

Some examples of Site Design Measures include:

- Minimize land disturbed
- Minimize impervious surfaces
- Minimum-impact street or parking lot design
- Cluster structures/pavement
- Pervious pavement
- Microdetention in landscape
- Other self-treating area
- Rainwater harvesting and use (e.g. rain barrel, cistern connected to roof drains)
- Protected riparian and wetland areas, riparian buffers

The proposed project intends to incorporate the following Site Design Measures:

- Direct runoff from roof, sidewalks, walkways, patios, driveways, and/or parking areas onto vegetated areas – Runoff from sidewalk and road directed to landscape areas and bioretention planters.
- Limit disturbance of natural water bodies and drainage systems – Stormwater runoff from project site treated and discharged in locations to mimic existing conditions.
- Conserve natural areas, including existing trees, other vegetation and soils – Project is clustered and preserves the remainder of the parcel in its existing condition.
- Minimize impervious surfaces – Impervious surface minimized through use of clustering development.

By implementing the above measures, the project will minimize runoff and the transport of pollutants in runoff by increasing infiltration of reducing impervious area meeting the intent of the C.3 requirements.

2.4 Stormwater Treatment Measures

2.4.1 Drainage Management Areas (DMAs)

The SMCWPPP C.3 Handbook states that the project site shall be divided into Drainage Management Areas (DMAs) and each DMA should be classified as one of the following: self-treating areas, self-retaining areas, or areas draining to Best Management Practices (BMPs). Preliminary sizing of the BMPs has been provided for DMA 1. This preliminary sizing has been calculated using 4% of the created and replaced impervious surface area with the inclusion of the 54 hoopouses to be permitted.

The DMAs for the project are described below and are delineated on the Stormwater Control Plan (see Appendix 2: Stormwater Control Plan).

2.4.2 LID Treated DMAs

Stormwater treatment for the proposed project will be comprised of 100% LID treatment method in the form of a bioretention area. No mechanical treatment methods are proposed.

DMA 1 includes the impervious areas associated with the black hoopouses that were not previously permitted, a new compost facility, and new impervious surfaces for fire access turning movements. The runoff will be directed to a bioretention area for treatment. In large storm events, stormwater will overtop the bioretention area overflow and swale and sheet flow towards Pilarcitos Creek.

DMA 2 includes the rest of the impervious area outside of DMA 1 and within the proposed improvements. These areas include a new area for fire access turning movements and existing structures to be removed. No treatment is proposed for DMA 2 as the removal of existing impervious area will exceed the amount of new area outside of DMA 1.

DMA	Type of LID Treatment	Retained Existing Impervious Area (sf)	Created/Replaced Impervious Area (sf)	Existing Impervious Area Removed (sf)	Required LID Treatment ¹ (sf)	Provided LID Treatment (sf)
1	Bioretention Area	302,715	10,640	-	12,534	12,560
2	-	-	580	69,620	-	-
Total	-	302,715	11,220	69,620	12,534	12,560

1. The size of the bioretention area calculated using the 4% of the total created and replaced impervious area as described in the San Mateo County C.3 Regulated Project Guide.

Table 3: Drainage Management Areas

3.0 STORMWATER HYDROLOGY

3.1 Stormwater Detention

To satisfy the detention requirements, the project will utilize a bioretention area for volume storage. The proposed bioretention area will store runoff from the existing hoopouses and new improvements within DMA 1. The impervious area totals to 313,355 square feet and requires a storage volume of roughly 12,735 cubic feet. The proposed bioretention area will provide a storage volume of roughly 13,816 cubic feet, exceeding the required amount. DMA 2 will include a new impervious surface of 580 square feet; however, the project proposes the removal of existing abandoned and derelict greenhouses, farm labor housing units and sections of associated access roads to help offset the created area. Overall, the proposed bioretention area for DMA 1 provides adequate ponding volume; discharge from the bioretention area will be metered by the infiltration rate of the bio soil mix to be less than or equal to the existing peak discharge. See Appendix 3: Stormwater Detention and Volume Calculations.

4.0 MAINTENANCE

The operation and maintenance of the post-construction BMPs and the source control BMPs is the responsibility of the site owner.

3.1 Post-Construction BMPs

Post-construction BMPs are to be maintained in perpetuity. It will be the responsibility of the property owner to install, and then maintain the BMPs in accordance with this document. Maintenance requirements for LID Measures are shown below. For information regarding Source Control BMP maintenance, refer to the California Stormwater Quality Association (CASQA) Best Management Practice Handbook. It shall be noted that preventative maintenance such as removal of trash and debris from the site will help ensure proper function of the BMPs. See Appendix 5 for San Mateo County Technical Guidance on bioretention areas.

LID	Responsible Party	Minimum Maintenance Frequency	Unit/Annual Maintenance Costs
Bioretention Area	Owner	Semiannual inspection of plants and removal of sediment and debris. Plants to be irrigated during dry weather and replanted if necessary. If ponded water is observed 72 hours after a rainfall event, add soil to raise local low point; soils may need to be replaced after 5-10 years.	Included in Normal Landscape Maintenance

Table 4: Post Construction BMP Maintenance

3.2 Additional Inspection and Maintenance

In addition to inspecting and maintaining the Bioretention Areas, the owner should regularly maintain grading and drainage structures to ensure functionality throughout the lifetime of the residence. This maintenance should include:

- The clearing of debris and sediment build-up from the roof gutters, downspouts, and drainage lines.
- Continual refinement of surface grading, including clearing/re-finishing of vegetated swales and slopes, to: minimize ponding, provide positive drainage away from structures, and protect against erosion

Attachment 3. Photographs Documenting Completed Project Actions



Photo index map. Aerial imagery basemap from September 2020 (Google Earth).



Photo 1. Action 1 – mobile home (R1, R2) removal



Photo 2. Action 1 – mobile home (R1, R2) removal)



Photo 3. Action 3 - mushroom waste removal



Photo 4. Action 3 – wood debris removal

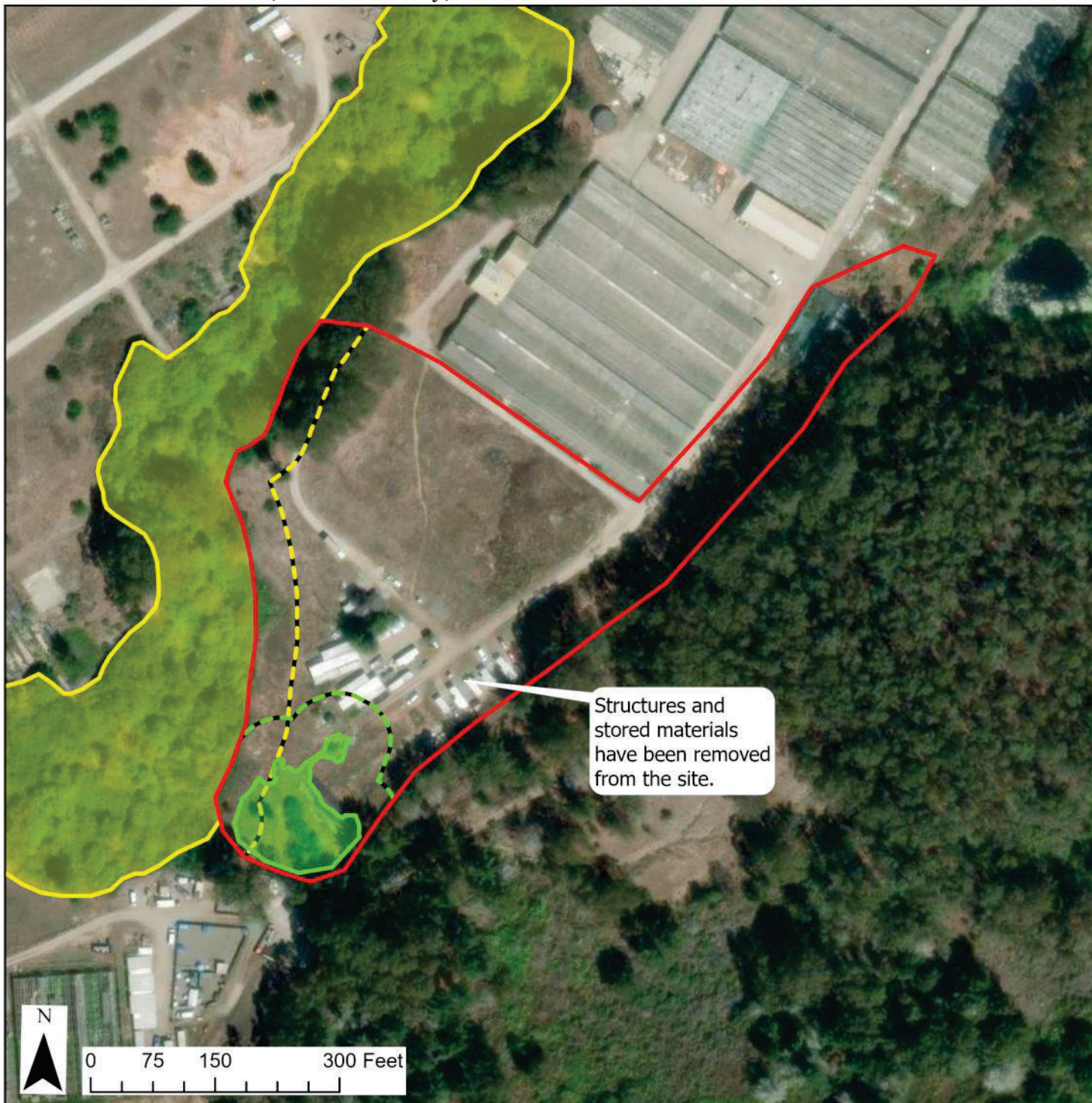







Photo 5. Action 4 – diversion structure removal location.



Photo 6. Action 4 – Diversion structure removed as of June 7, 2023

Figure 6: Proposed Restoration Plan Area
California Terra Garden, Half Moon Bay, CA



- | | | |
|--|--|--|
|  Mitigation Area |  Existing Wetland |  Existing Riparian Habitat |
|  50-foot Wetland Buffer |  50-foot Riparian Buffer | |

ATTACHMENT E: Views of the hoophouses from Highway 92





ATTACHMENT F: PRIME SOILS MAP

