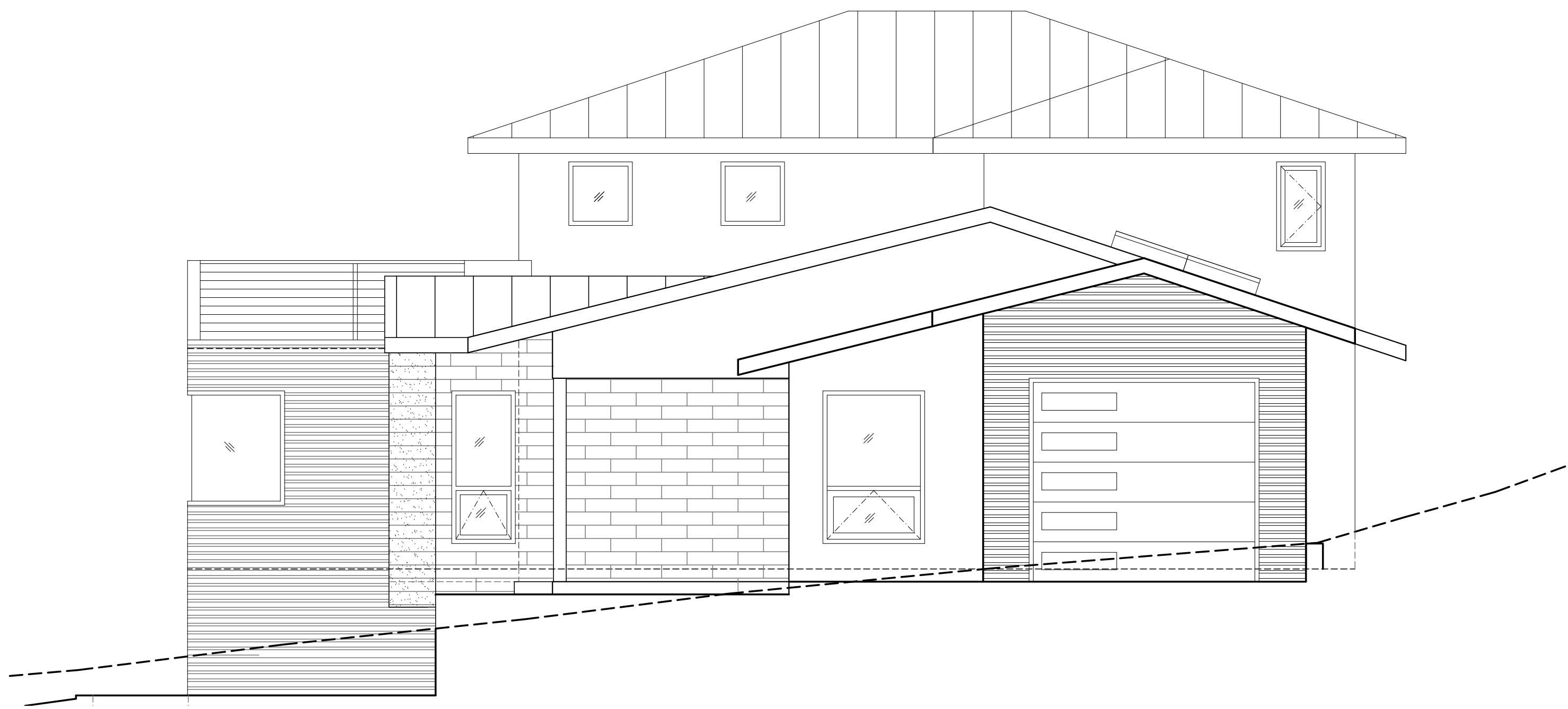


DESIGN REVIEW AND USE PERMIT APPLICATION



APPLICABLE CODES

CALIFORNIA BUILDING CODE2022 EDITION

CALIFORNIA MECHANICAL CODE2022 EDITION

CALIFORNIA PLUMBING CODE2022 EDITION

CALIFORNIA ELECTRICAL CODE2022 EDITION

CALIFORNIA ENERGY CODE2022 EDITION

CALIFORNIA GREEN BUILDING CODE2022 EDITION

CALIFORNIA FIRE CODE2022 EDITION

CALIFORNIA RESIDENTIAL CODE2022 EDITION

SAN MATEO MUNICIPAL CODE2022 EDITION

ALONG WITH ANY OTHER APPLICABLE LOCAL, STATE, FEDERAL LAWS & REGULATIONS.

VICINITY MAP

PROJECT LOCATION

PROJECT INFORMATION

PROJECT SUMMARY:

ARCHITECT : KARTIK PATEL
ARCHEVON INC.
991, MONTAGUE EXPRESSWAY
#208, MILPITAS, CA 95035
408-946-9300

OWNER : SUDHANSHU & PREETI TIKEKAR

PROJECT ADDRESS : 2835 BREWSTER AVENUE,
REDWOOD CITY, CA 94062

PROPOSED USE : (E) HOUSE ADDITION AND REMODEL

(E) DETACHED GARAGE TO BE CONVERTED
TO ADU UNDER SEPARATE APPLICATION BLD2024-00126

APN : 058253290

ZONING DISTRICT : R-H

CONSTRUCTION TYPE : V-N

OCCUPANCY : R-1

TOTAL SITE AREA : 8,392 SF (HOUSE PARCEL 8300+92 TRIANGULAR PORTION)
4,886.0 SF. (SFPUC)

ZONING REQUIREMENTS: REQUIREDEXISTINGPROPOSED

FRONTYARD SETBACK: 20'-0"50'-11"30'-2"

SIDE SETBACKS: 7'-6", 15'-0" TOTAL ON BOTH SIDES7'-2", 15'-0"7'-2", 7'-11"

REAR YARD SETBACK: 20'-0"23'-9"23'-9"

MAX. ALLOWABLE HT: 28'27'-11"27'-11"

FIRE SPRINKLER: AN AUTOMATIC FIRE SPRINKLER SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH SECTION 903.3.

ALLOWABLE LOT COVERAGE = 25% OF 8,392.0
= 2,098.0 SQ. FT.

EXISTING: (E) FOOTPRINT OF HOME 1,749.9 SQ.FT
(E) COVERED PORCH 172.6 SQ.FT
(E) DETACHED GARAGE 560.4 SQ.FT

PROPOSED: (N) FOOTPRINT OF HOME 2,245.2 SQ.FT
(N) ATTACHED GARAGE 261.7 SQ.FT
(N) ENTRY PORCH 87.0 SQ.FT
(N) SIDE BALCONY 30.3 SQ.FT
(N) REAR BALCONY 8.0 SQ.FT
(E) SECOND FLOOR PROJECTION 52.0 SQ.FT
(N) SIDE STEPS +RETAINING WALL 62.0 SQ.FT

TOTAL 2,482.9 SQ.FT
(E) REAR WOOD DECK (UNPERMITTED) 704.9 SQ.FT
PERMITTED REAR DECK (FROM 1984 DWGS.) 126.0 SQ.FT
2ND FLR. PROJECTION+2 SET OF STEPS 18'-49.6 SQ.FT
2ND FLR. BALCONY PROJECTION 25.96 SQ.FT
GRANDFATHERED LOT COVERAGE = 2482.9+126+49.6+25.96 = 2684.46 SQ.FT(31.98%)

ALLOWABLE FLOOR AREA = 30% OF 8,392.0
= 2,517.6 SQ. FT.

EXISTING: (E) FIRST FLOOR AREA 1,749.9 SQ.FT
(E) SECOND FLOOR AREA 738.8 SQ.FT
(E) DETACHED 2 CAR GARAGE 560.4 SQ.FT
(E) COVERED PORCH 172.6 SQ.FT

PROPOSED: (N) FIRST FLOOR AREA 2,245.2 SQ.FT
(N) 2ND FLOOR AREA 738.8 SQ.FT
(N) SINGLE CAR GARAGE 261.7 SQ.FT
(N) COVERED PORCH 87.0 SQ.FT

GRANDFATHERED FLOOR AREA TOTAL 3,241.75 SQ.FT(38.6%)

TOTAL 3,352.7 SQ.FT(39.9%)

AREA DIAGRAM

SHEET INDEX

A-0.0COVER SHEET

C1BOUNDARY & TOPOGRAPHY SURVEY

C2GRADING DRAINAGE & UTILITY PLAN

C3EROSION CONTROL PLAN

C4BEST MANAGEMENT PRACTICES

C5SFPUC ENCROACHMENT &
CONSTRUCTION STAGING PLAN

AD.0DEMO SITE PLAN

AD.1DEMO FIRST FLOOR PLAN

AD.2DEMO SECOND FLOOR/ROOF PLAN

AD.3DEMO ELEVATIONS

AD.4DEMO ELEVATIONS

A-1.0SITE PLAN

A-2.0FIRST FLOOR PLAN

A-2.1SECOND FLOOR PLAN

A-2.2ROOF PLAN

A-3.0EXTERIOR ELEVATION

A-3.1EXTERIOR ELEVATION

A-3.2SECTIONS/ COLOR MATERIAL BOARD

A-3.3SPECIFICATIONS

PROJECT SCOPE NARRATIVE

- ADDITION AND REMODEL OF EXISTING TWO STORY HOUSE ALONG
WITH ADDITION OF ATTACHED SINGLE CAR GARAGE

- NEW PORCH, ENTRANCE PATH AND LANDSCAPE

- NEW STUCCO/ EXTERIOR SIDING AND METAL ROOF

- 61.74 SF INCREASE OVER EXISTING GRANDFATHERED LOT COVERAGE

- 111.0 SF INCREASE OVER EXISTING GRANDFATHERED FLOOR AREA

ARCHEVON Inc.
architecture planning interiors
991 Montague Expressway, #208
Milpitas, California 95035
Tel: 408.946.9300 Fax: 408.946.9309

THIS SHEET IS NOT TO BE USED ALONE.
THIS SHEET IS NOT FOR CONSTRUCTION
UNLESS, CONSTRUCTION STATUS IS
NOTED IN RELEASE STATUS BOX AND
ARCHITECT'S STAMP AND SIGNATURE
APPEAR.
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CONSENT OF THE ARCHITECT IS FORBIDDEN.

TIKEKAR RESIDENCE REMODEL
2835 BREWSTER AVENUE
REDWOOD CITY, CA

RELEASE STATUS:	DATE
● PLANNING APPLICATION	05/08/2024
○ SFPUC PROJECT REVIEW APPLICATION	06/13/2024
○	
○	
○	
○	
○	
○	

REVISIONS:	DATE:
△ PLANNING CYCLE 2	1/24/2025
△ PLANNING CYCLE 3	3/19/2025
△ PLANNING CYCLE 4	3/25/2025
△	
△	
△	

LICENSED ARCHITECT
KARTIK R. PATEL
No. C 27488
REN. 9/30/25
STATE OF CALIFORNIA

COVER SHEET

SCALE:

A-0.0

PROJECT NO : 202302

GRADING NOTES:

1. SITE GRADING & EXCAVATIONS SHALL ADHERE TO ALL RECOMMENDATIONS CONTAINED IN THE PROJECT GEOTECHNICAL REPORT.
2. ALL GRADES SHOWN ARE FINISHED GRADES, UNLESS OTHERWISE NOTED.
3. ALL CUT AND FILL SLOPES AT THE BOUNDARY LINES SHALL BE CONSTRUCTED IN SUCH A MANNER THAT ADJACENT FENCES WILL NOT BE DAMAGED. GRADING SHALL CONFORM AT BOUNDARY LINES.
4. ALL CUT SLOPES SHALL BE ROUNDED TO MEET EXISTING GRADES AND BLEND WITH SURROUNDING TOPOGRAPHY. ALL GRADED SLOPES OVER FIVE FEET IN HEIGHT SHALL BE PLANTED WITH SUITABLE GROUND COVER.
5. DURING GRADING OPERATIONS, THE CONTRACTOR SHALL IMPLEMENT DUST CONTROL MEASURES BOTH ON-SITE. STREETS SHALL BE SWEEP PER REQUIREMENTS SPECIFIED IN BLUEPRINT FOR CLEAN BAY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF SAID GRADING QUANTITIES PRIOR TO THE START OF THE GRADING OPERATION. THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR DISTRIBUTING ANY EXCESS MATERIAL OR SUPPLY MATERIAL FOR DEFICIENCIES TO BRING PAVEMENT OR LOTS TO REQUIRED GRADE. CLARIFICATION OF GRADING SHALL BE DONE BY THE ENGINEER.
7. WASTEWATER GENERATED DURING CONSTRUCTION SHALL NOT BE DISCHARGED TO THE STORM DRAIN SYSTEM. THIS INCLUDES WASTE FROM PAINTING, SAWCUTTING, CONCRETE WORK, ETC. THE CONTRACTOR SHALL MAKE ARRANGEMENTS TO ELIMINATE DISCHARGES TO THE STORM DRAIN SYSTEM AND, IF NECESSARY, PROVIDE AN AREA FOR ON-SITE WASHING ACTIVITIES DURING CONSTRUCTION. MATERIALS WHICH COULD CONTAMINATE STORM RUNOFF SHALL BE STORED IN AREAS WHICH ARE DESIGNED TO PREVENT EXPOSURE TO RAINFALL AND TO NOT ALLOW STORM WATER TO RUN ONTO THE AREA.
8. FLUSHING OF STREETS/PARKING LOTS TO REMOVE DIRT AND CONSTRUCTION DEBRIS IS PROHIBITED UNLESS PROPER SEDIMENT CONTROLS ARE USED. AREAS REQUIRING CLEANING SHOULD BE SWEEP.
9. WHERE UNSTABLE OR UNSUITABLE MATERIALS ARE ENCOUNTERED DURING SUBGRADE PREPARATION, THE AREA IN QUESTION SHALL BE OVER EXCAVATED AND REPLACED BY SELECT BACKFILL MATERIAL AS NEEDED.
10. WHERE ABANDONED UNDERGROUND STRUCTURES ARE ENCOUNTERED IN THE STREET AREAS, REMOVE TO SUFFICIENT DEPTH TO ALLOW UNDERGROUND LINES TO CROSS, BACKFILL AND COMPACT DURING ROUGH GRADING. THE INSPECTOR MAY REQUIRE FURTHER WORK TO BE DONE IF VISUAL INSPECTION INDICATES SO DURING CONSTRUCTION.
11. PRIOR TO ANY GRADING, DEMOLITION OF THE SITE SHOULD BE COMPLETED. DEMOLITION SHOULD INCLUDE THE COMPLETE REMOVAL OF ALL SURFACE AND SUBSURFACE STRUCTURES. IF ANY OF THE FOLLOWING ARE ENCOUNTERED: TREE ROOT SYSTEMS, CONCRETE, SEPTIC TANKS, GAS OR OIL TANKS, STORM INLETS, IRRIGATION PIPES, FOUNDATIONS, ASPHALT, DEBRIS AND TRASH, THESE SHOULD ALSO BE REMOVED, WITH THE EXCEPTION OF ITEMS SPECIFIED BY THE OWNER FOR SALVAGE.
12. EARTHWORK QUANTITIES IF SHOWN ON THESE PLANS ARE APPROXIMATE ESTIMATED QUANTITIES AND ARE FURNISHED FOR THE COUNTY'S INFORMATION ONLY. THE ACTUAL AMOUNT MAY VARY DEPENDING ON COMPACTION, CONSOLIDATION, STRIPPING AND THE CONTRACTOR'S METHOD OF OPERATION.

ABBREVIATIONS

BDPL	BAY DIVISION PIPELINE
CB	CATCH BASIN
CI	CURB INLET
CL	CENTER LINE
DI	DROP INLET
DW, DWY	DRIVEWAY
(E), EX.	EXISTING
EG	EXISTING GRADE
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
FF	FINISH FLOOR
FG	FINISH GRADE
FL	FLOW LINE
FS	FIRE SERVICE
GB	GRADE BREAK
GFF	GARAGE FINISH FLOOR
GND	GROUND
GR	TOP OF GRATE
INV	INVERT
(N)	NEW
P	PAVEMENT GRADE
PCC	PORTLAND CEMENT CONCRETE
PIV	POST INDICATOR VALVE
PVC	POINT ON CURVE
PP	POWER POLE
PSDE	PRIVATE STORM DRAIN EASEMENT
PUE	PUBLIC UTILITY EASEMENT
R.O.W./RW	RIGHT-OF-WAY
SD	STORM DRAIN
SDE	STORM DRAIN EASEMENT
SDMH	STORM DRAIN MANHOLE
SFPUC	SAN FRANCISCO PUBLIC UTILITIES COMMISSION
SS	SANITARY SEWER
SSE	SANITARY SEWER EASEMENT
SSMH	SANITARY SEWER MANHOLE
SSCO	SANITARY SEWER CLEANOUT
SW	SIDEWALK
TC	TOP OF CURB
TG	TOP OF GRATE
W	WATER
WS	WATER SERVICE

LEGEND

SYMBOL	DESCRIPTIONS
	PERCENT GRADE
	BOUNDARY LINE
	CENTERLINE (CL)
	RIGHT OF WAY
	SFPUC R.O.W.
	TREE PROTECTION FENCING (SEE ARBORIST REPORT)
	EXISTING WOOD FENCE
	EXISTING SEWER MAIN
	EXISTING WATER MAIN
	EXISTING OVERHEAD LINE

EARTHWORK SUMMARY

(WITHIN SFPUC ROW)

MEASURED RAW CUT :	17 CY
MEASURED RAW FILL :	23 CY
ESTIMATED EXCESS:	6 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

QUANTITIES MAY CHANGE PRIOR TO GRADING BASED ON REQUIREMENTS OF ANY REMEDIAL WORK THAT MAY BE NEEDED, OR REMOVAL OF UNSUITABLE SOILS OR MATERIALS FROM THE SITE.

NO ADJUSTMENTS HAVE BEEN APPLIED FOR SHRINK OR SWELL.

EARTHWORK SUMMARY

(PRIVATE)

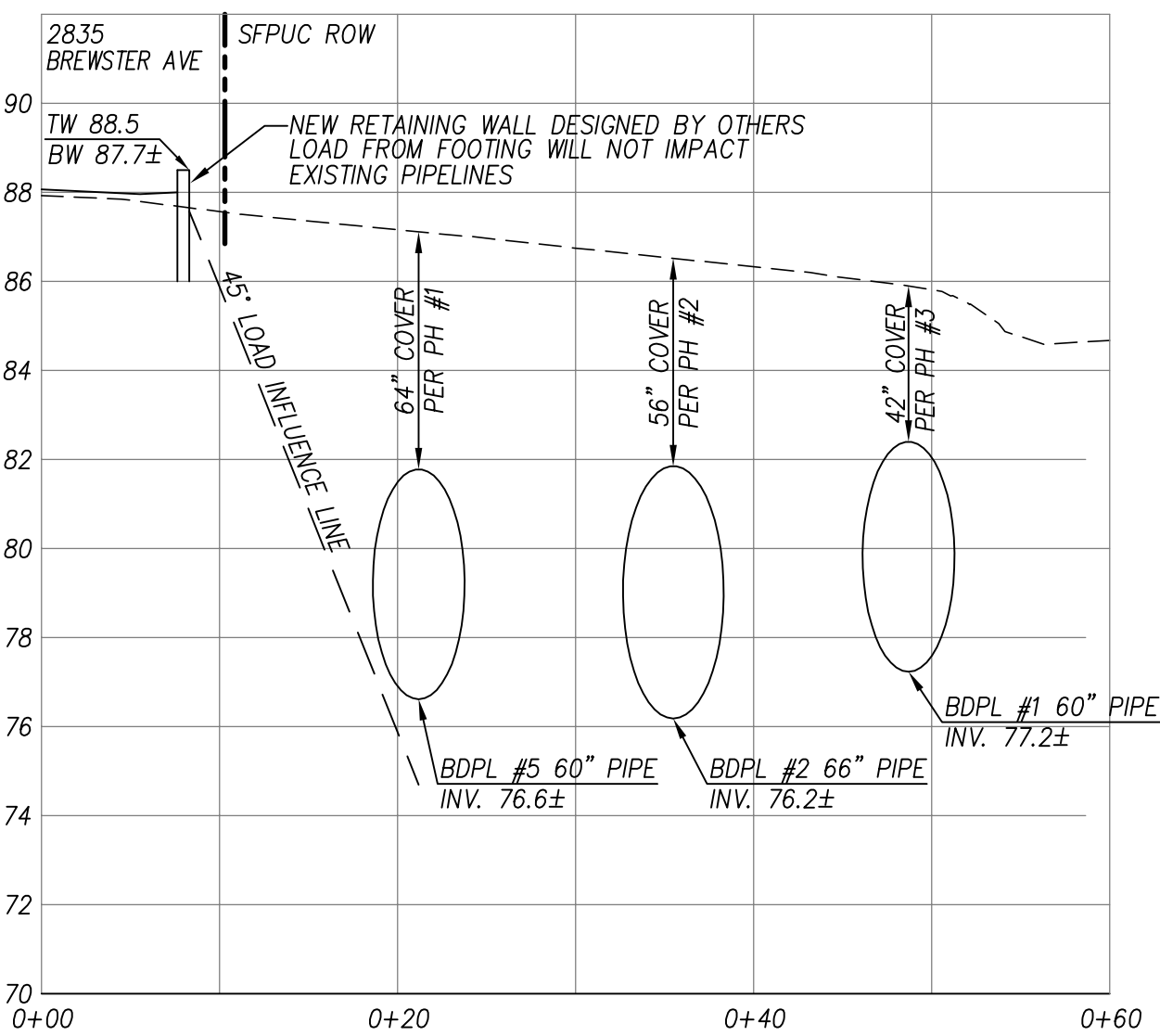
MEASURED RAW CUT :	32 CY
MEASURED RAW FILL :	55 CY
ESTIMATED EXCESS:	23 CY

EARTHWORK QUANTITIES SHOWN HEREON ARE APPROXIMATE ONLY FOR ESTABLISHMENT OF FEES. CONTRACTORS SHALL BASE BID AND OR CONTRACT AMOUNTS UPON THEIR OWN EARTHWORK ESTIMATES FOR COMPLETION OF THE WORK SHOWN HEREON, NOT ON THE QUANTITIES SHOWN ABOVE.

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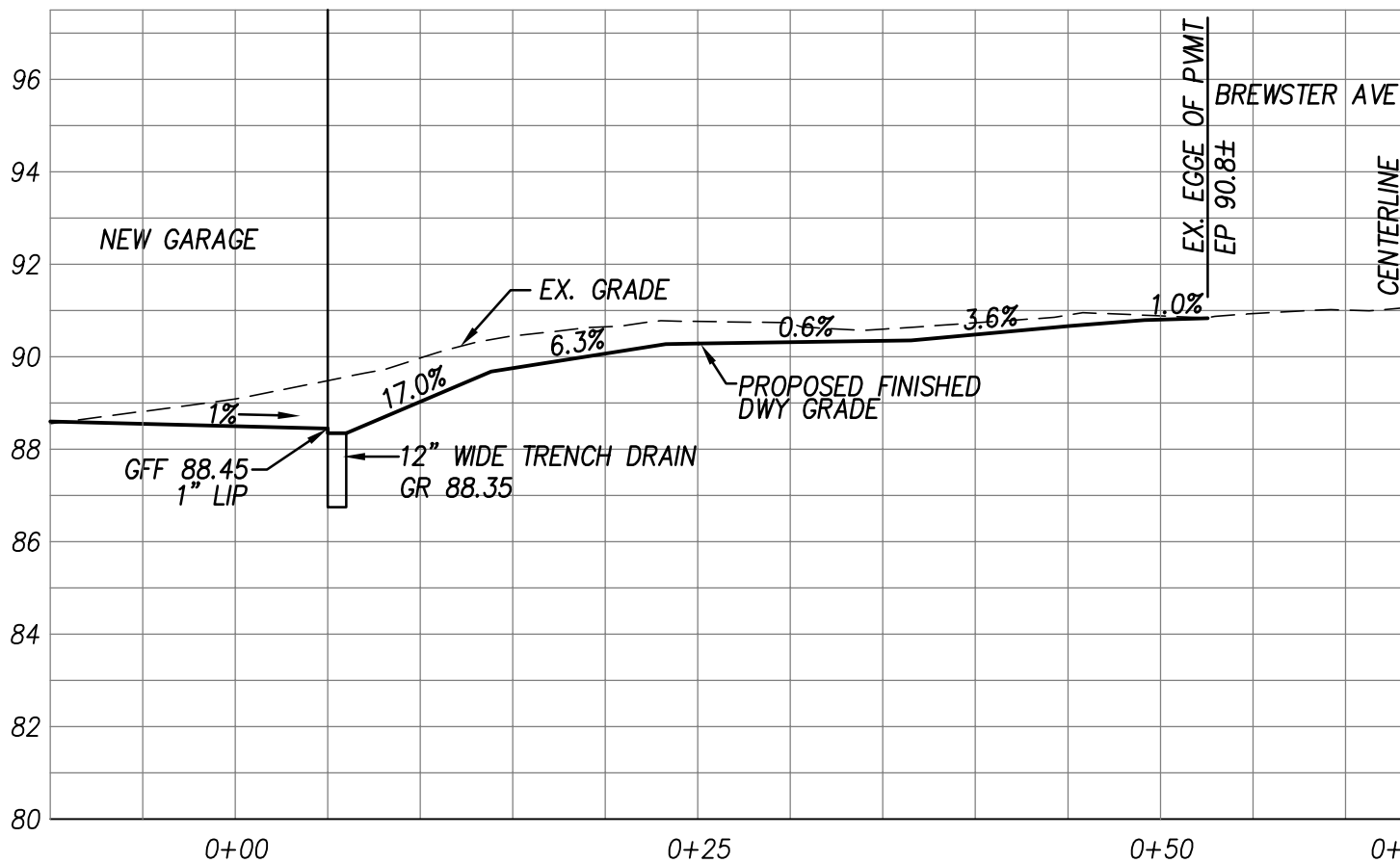
POTHOLE NOTE
POTHOLE INFORMATION PROVIDED BY SFPUC PERMIT NO. CST 918-24 INSPECTION
REPORT DATED 1/9/2025. POTHOLE LOCATIONS AND SURFACE ELEVATIONS WERE
MEASURED BY FIELD SURVEY ON 1/28/2025.



SECTION A-A - RETAINING WALL AND SFPUC PIPELINES

HORI. SCALE: 1\"/>

VERT. SCALE: 1\"/>



PROPOSED DRIVEWAY SECTION

HORI. SCALE: 1\"/>

VERT. SCALE: 1\"/>

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SCALE: AS NOTED					
DRAWN: DSK, KT					
DESIGNED: DSK, KT					
ENGINEER: DSK					
MANAGER: DSK					
NO.	BY	DATE	REVISIONS	CITY APPR	

PREPARED BY, OR UNDER THE DIRECTION OF:
NOT APPROVED FOR CONSTRUCTION

PREPARED BY:

46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:
PREETI & SUDHANSHU TIKEKAR
2835 BREWSTER AVE
REDWOOD CITY, CA 94062

APN: 058-253-290

2835 BREWSTER AVENUE

SHEET NO.

PRELIMINARY GRADING, DRAINAGE AND UTILITY PLAN

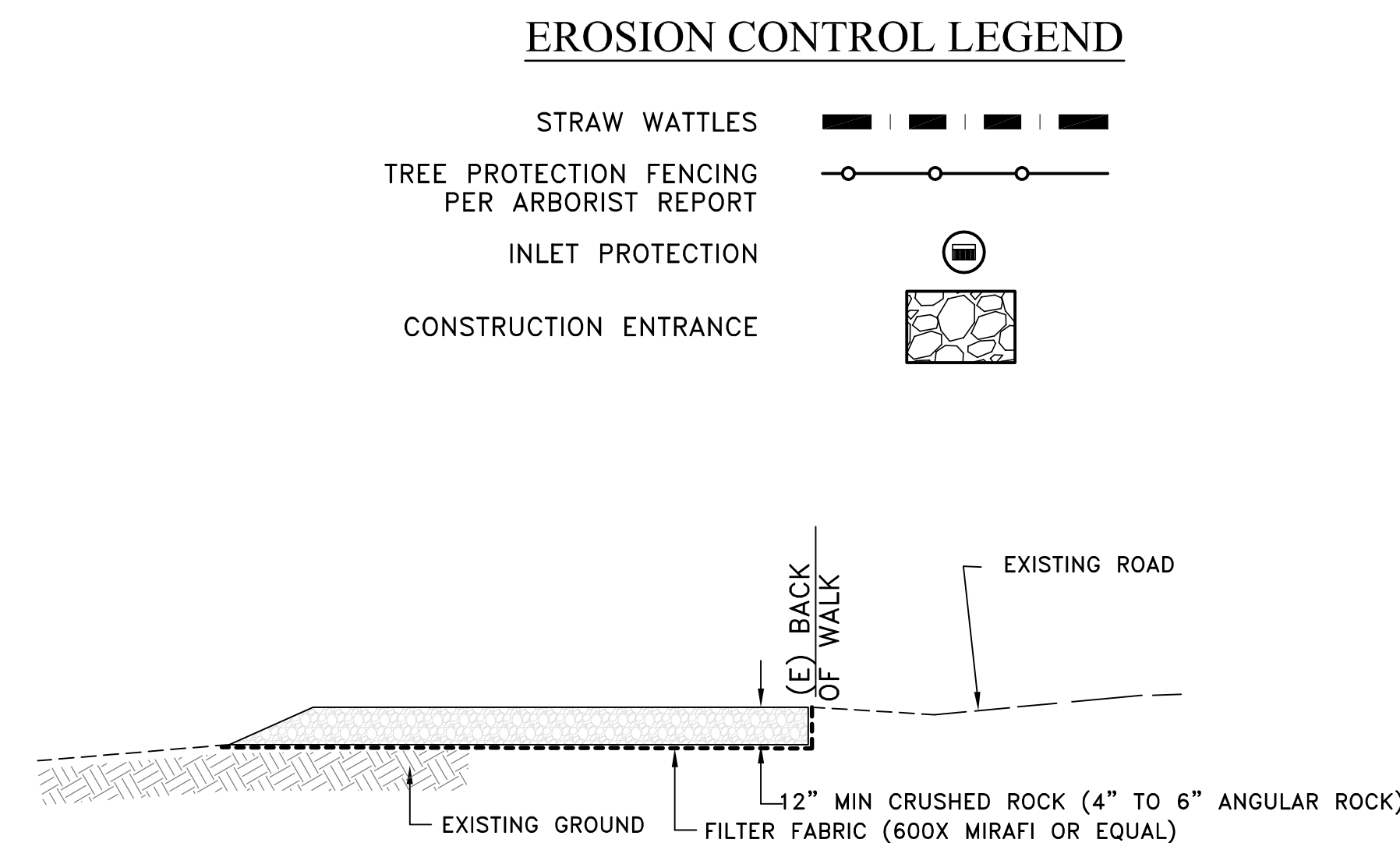
CITY OF REDWOOD CITY

COUNTY OF SAN MATEO

CALIFORNIA

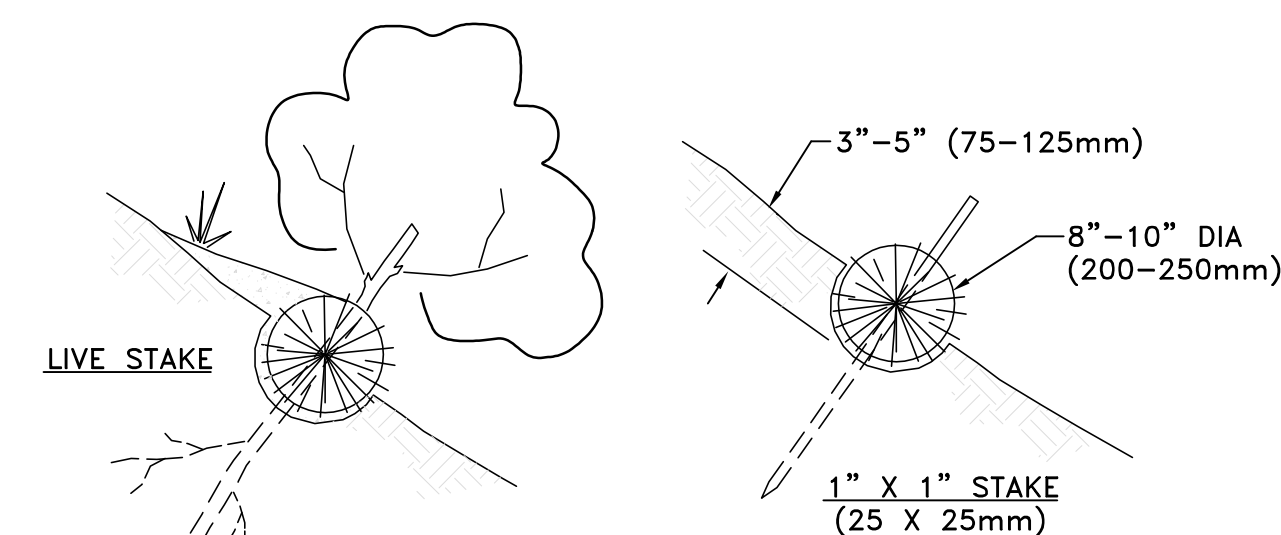
JOB NO.

2022-163



NOTES:

1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
2. INSTALL 20 FEET WIDE STABILIZED CONSTRUCTION ENTRANCE AT EXISTING DRIVEWAY ENTRANCES TO SITE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING W/ ADDITIONAL STONE AS CONDITION DEMANDS.



NOTES: **NOT TO SCALE**

1. STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 5" (75 TO 125 MM) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. FOR SECURING STRAW ROLLS IN EXISTING PAVEMENT AREA USE APPROPRIATE STEEL REBAR STAKES.
3. FOR SECURING STRAW ROLLS ADJACENT TO EXISTING AND/OR NEW CONSTRUCTION FENCE USE APPROPRIATE GAUGED WIRE OR STAKES.
4. INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
5. REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND

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DATE: MARCH 18, 2025				PREPARED BY, OR UNDER THE DIRECTION OF: NOT APPROVED FOR CONSTRUCTION 				PREPARED BY:  STERLING CONSULTANTS 46560 FREMONT BOULEVARD, SUITE NO. 205 FREMONT, CA 94538 1sterlingconsultants@gmail.com PHONE: 510.344.8955				PREPARED FOR: PREETI & SUDHANSHU TIKEKAR 2835 BREWSTER AVE REDWOOD CITY, CA 94062				APN: 058-253-290				2835 BREWSTER AVENUE				SHEET NO.							
SCALE: AS NOTED																												C3			
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DESIGNED: DSK, KT																															
ENGINEER: DSK																															
MANAGER: DSK				NO. BY DATE REVISIONS				CITY APPR												JOB NO. 2022-163											



Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ☐ Store hazardous materials and waste in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:

- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks of/site or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

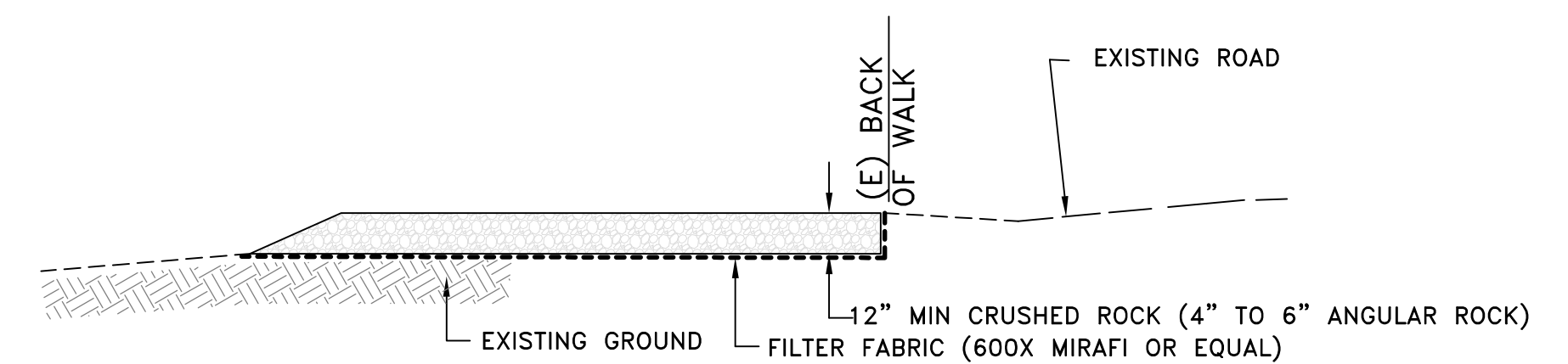
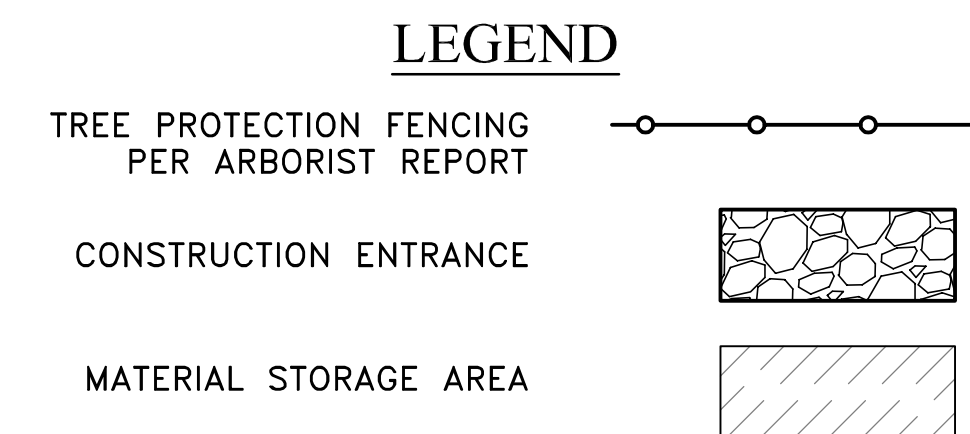
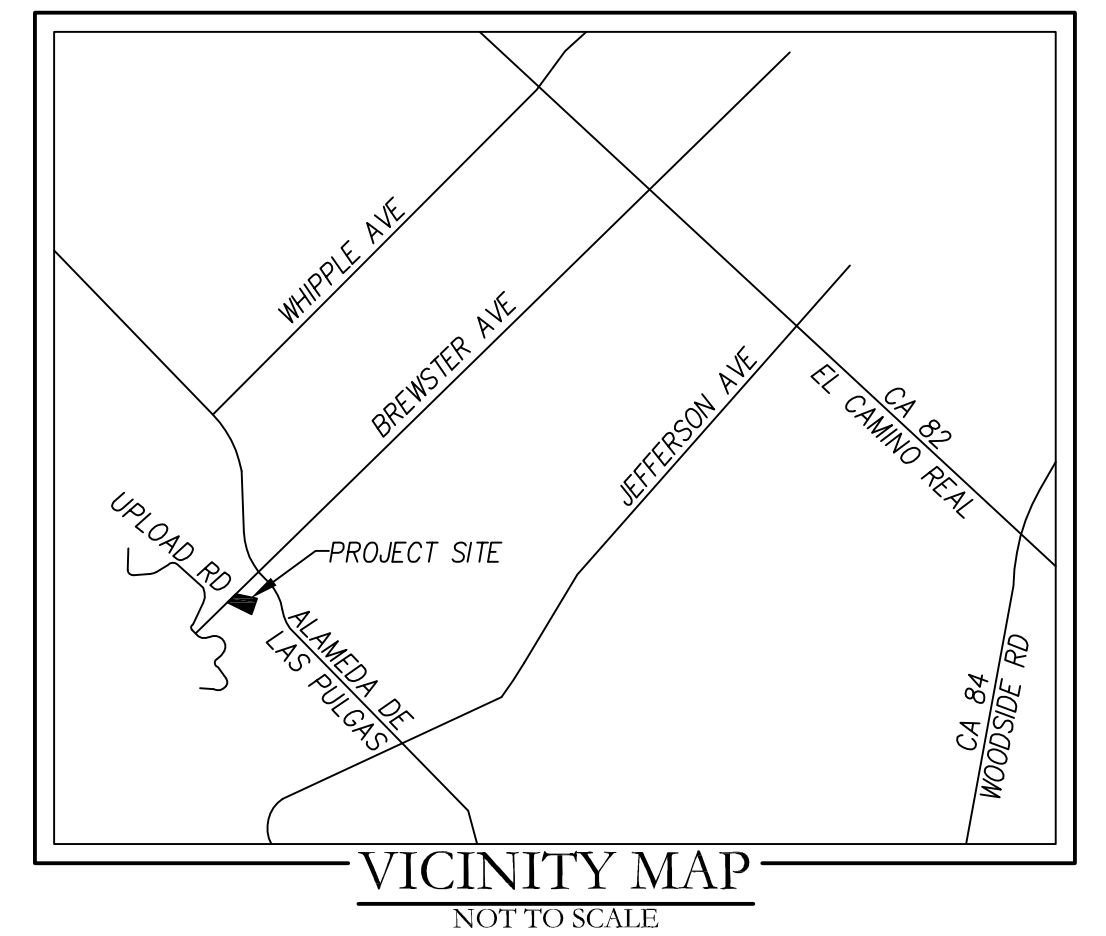
- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

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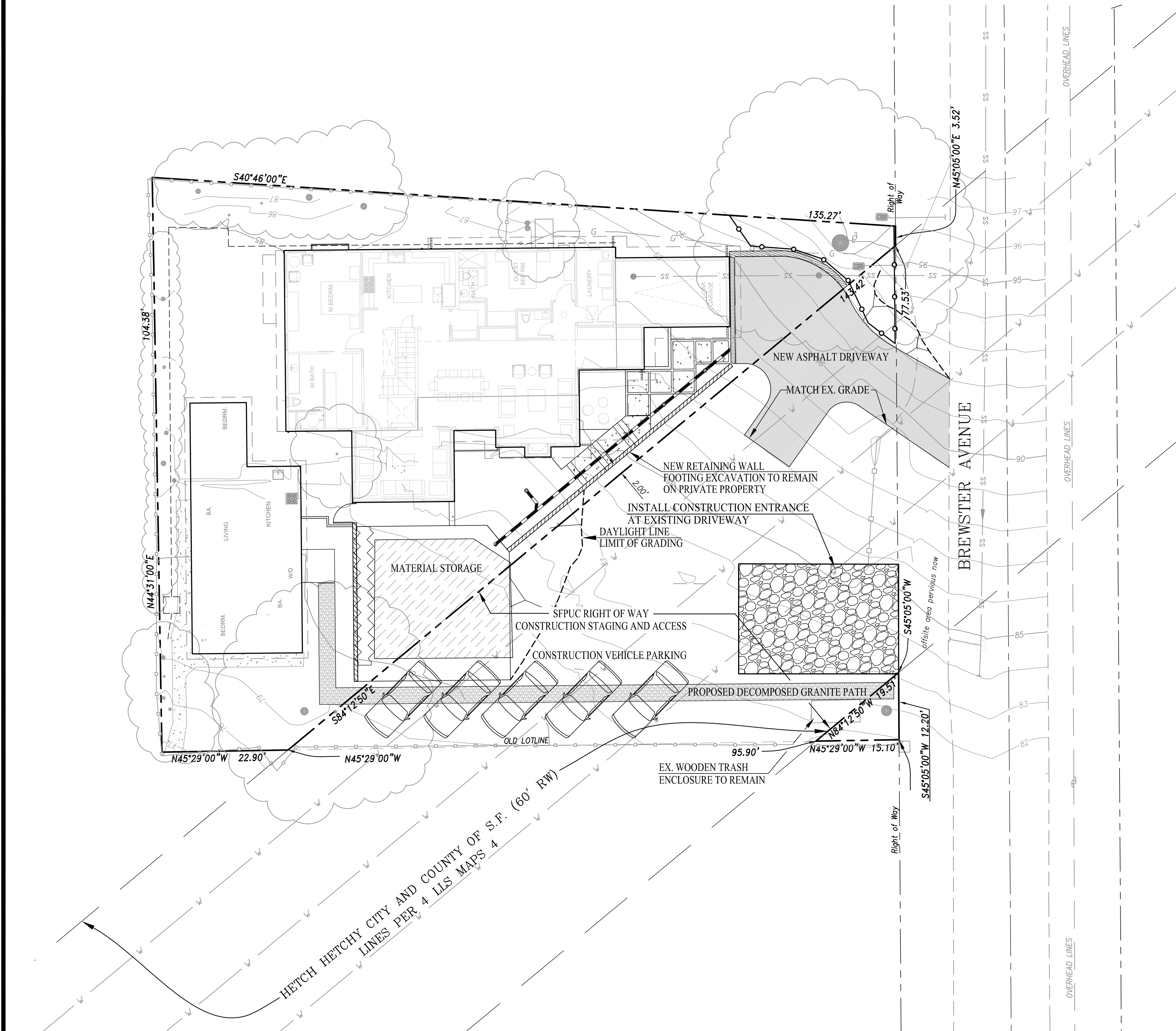
[illegible]



- NOTES:

1. PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET.
2. INSTALL 20 FEET WIDE STABILIZED CONSTRUCTION ENTRANCE AT EXISTING DRIVEWAY ENTRANCES TO SITE.
3. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING W/ ADDITIONAL STONE AS CONDITION DEMANDS.

TEMPORARY STABILIZED CONSTRUCTION ENTRANCE

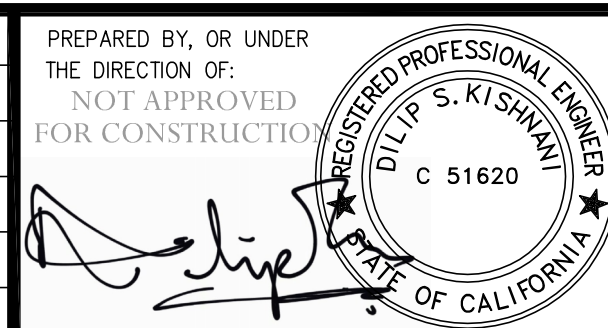


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DRAWN: DSK, KT						
DESIGNED: DSK, KT						
ENGINEER: DSK						
MANAGER: DSK	NO.	BY	DATE	REVISIONS		CITY APPRO

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THE DIRECTION OF:
NOT APPROVED
FOR CONSTRUCTION



PREPARED BY:



46560 FREMONT BOULEVARD, SUITE NO. 205
FREMONT, CA 94538
1sterlingconsultants@gmail.com PHONE: 510.344.8955

PREPARED FOR:

PREETI & SUDHANSHU TIKEKAR
2835 BREWSTER AVE
REDWOOD CITY, CA 94062

APN: 058-253-290

2835 BREWSTER AVENUE

SFPUC ENCROACHMENT & CONSTRUCTION STAGING PLAN

CITY OF REDWOOD CITY

COUNTY OF SAN MATEO

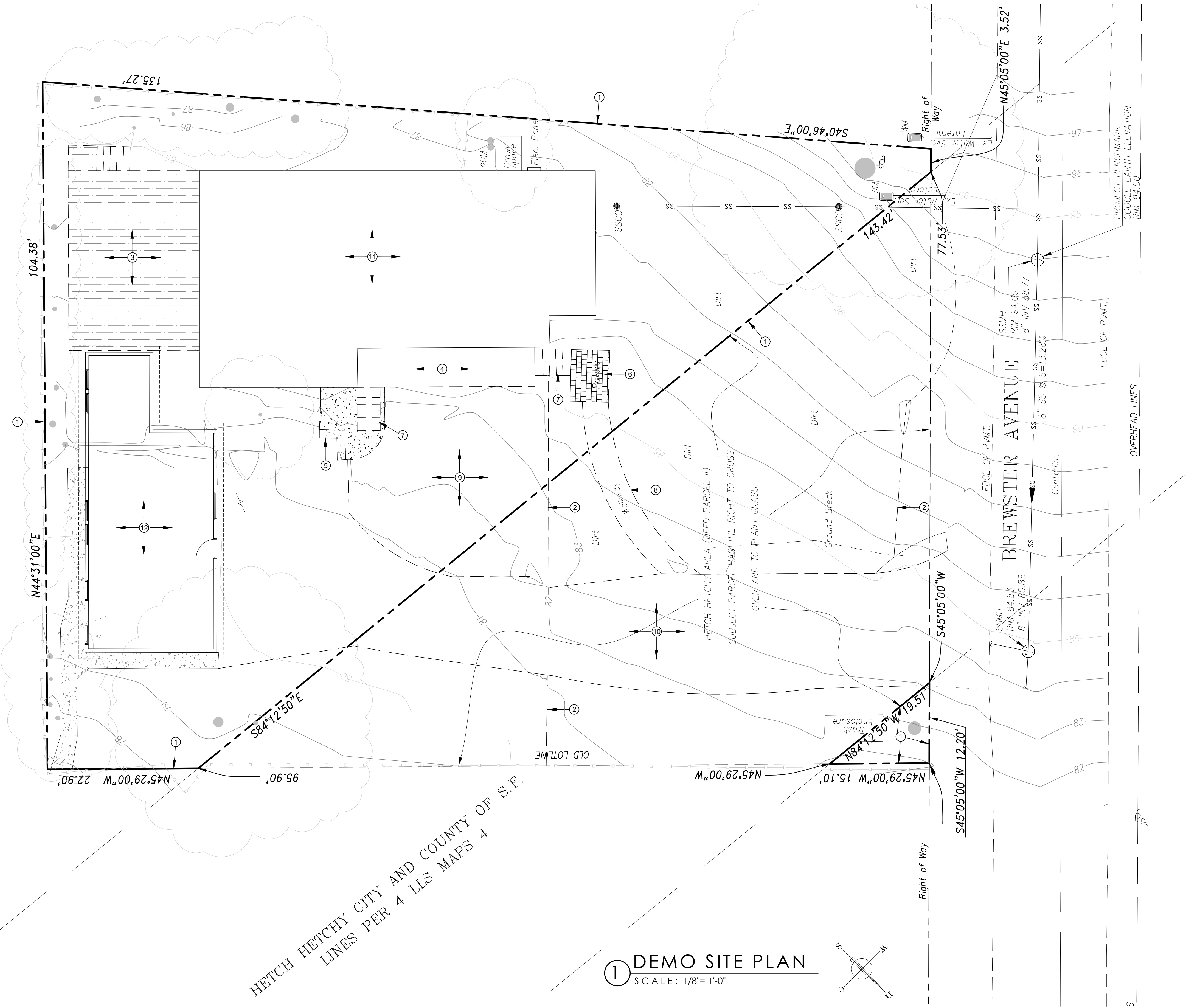
CALIFORNIA

SHEET NO.

C5

OB NO.

2022-163



- KEY NOTES:**
- ① PROPERTY LINE
 - ② (E) FENCE TO BE REMOVED
 - ③ (E) WOOD DECK & STEPS TO BE REMOVED
 - ④ (E) PORCH TO BE REMOVED
 - ⑤ (E) CONCRETE LANDING TO BE REMOVED
 - ⑥ (E) CONC. PAVERS TO BE REMOVED
 - ⑦ (E) STEPS TO BE REMOVED
 - ⑧ (E) WALKWAY TO BE REMOVED
 - ⑨ (E) LAWN TO BE REMOVED
 - ⑩ (E) DRIVEWAY TO BE REMOVED
 - ⑪ FOR DEMO FLOOR PLAN SEE SHEET A-D.1
 - ⑫ FOR ADU RELATED DEMO REFER TO BLD2024-00126

LEGEND

----- TO BE DEMOLISHED

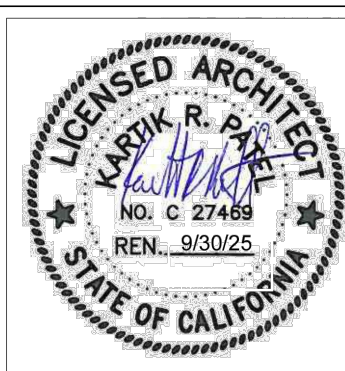
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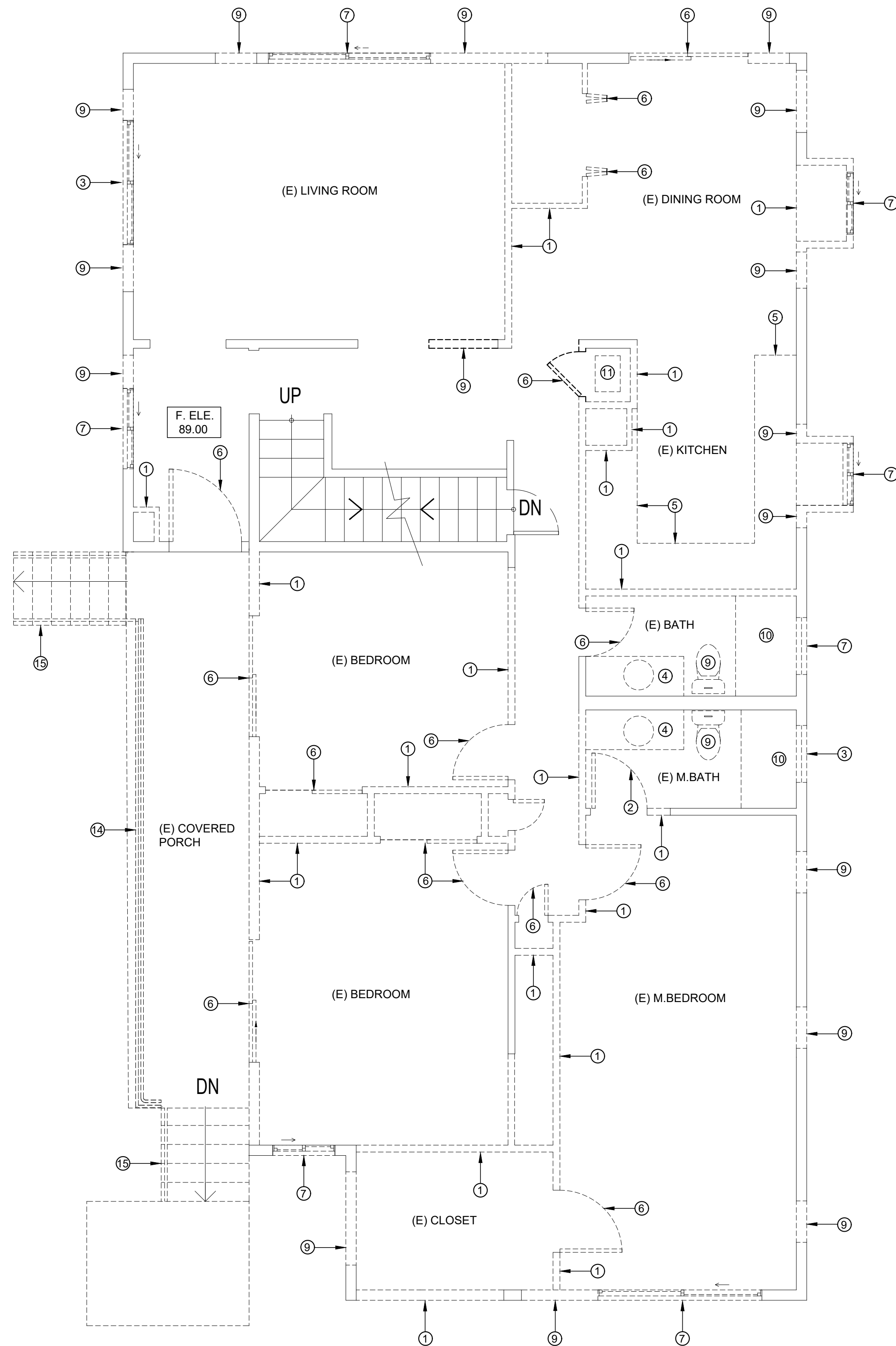


**DEMOLITION
SITE PLAN**

SCALE: AS NOTED

A-D.0

PROJECT NO : 202302



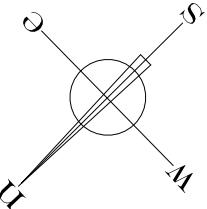
KEY NOTES:

- ① (E) WALL TO BE REMOVED
- ② (E) DOOR TO BE REMOVED AND REPLACED
- ③ (E) WINDOW TO BE REMOVED AND REPLACED
- ④ (E) VANITY TO BE REMOVED
- ⑤ (E) COUNTER/CABINET TO BE REMOVED
- ⑥ (E) DOOR TO BE REMOVED
- ⑦ (E) WINDOW TO BE REMOVED
- ⑧ (E) SKYLIGHT BE REMOVED
- ⑨ (E)WALL TO BE REMOVED FOR NEW OPENING
- ⑩ (E) SHOWER TO BE REMOVED
- ⑪ (E) FAU TO BE RELOCATED
- ⑫ (E) ROOF TO BE REMOVED
- ⑬ (E) ROOF TO BE RETAINED
- ⑭ (E) RAILING TO BE REMOVED
- ⑮ (E) STAIRS TO BE REMOVED
- ⑯ (E) BALCONY TO BE REMOVED
- ⑰ (E) FLOOR TO BE REMOVED
- ⑱ (E) ROOFING TILE TO BE REMOVED

LEGEND:

----- (E) TO BE DEMOLISHED

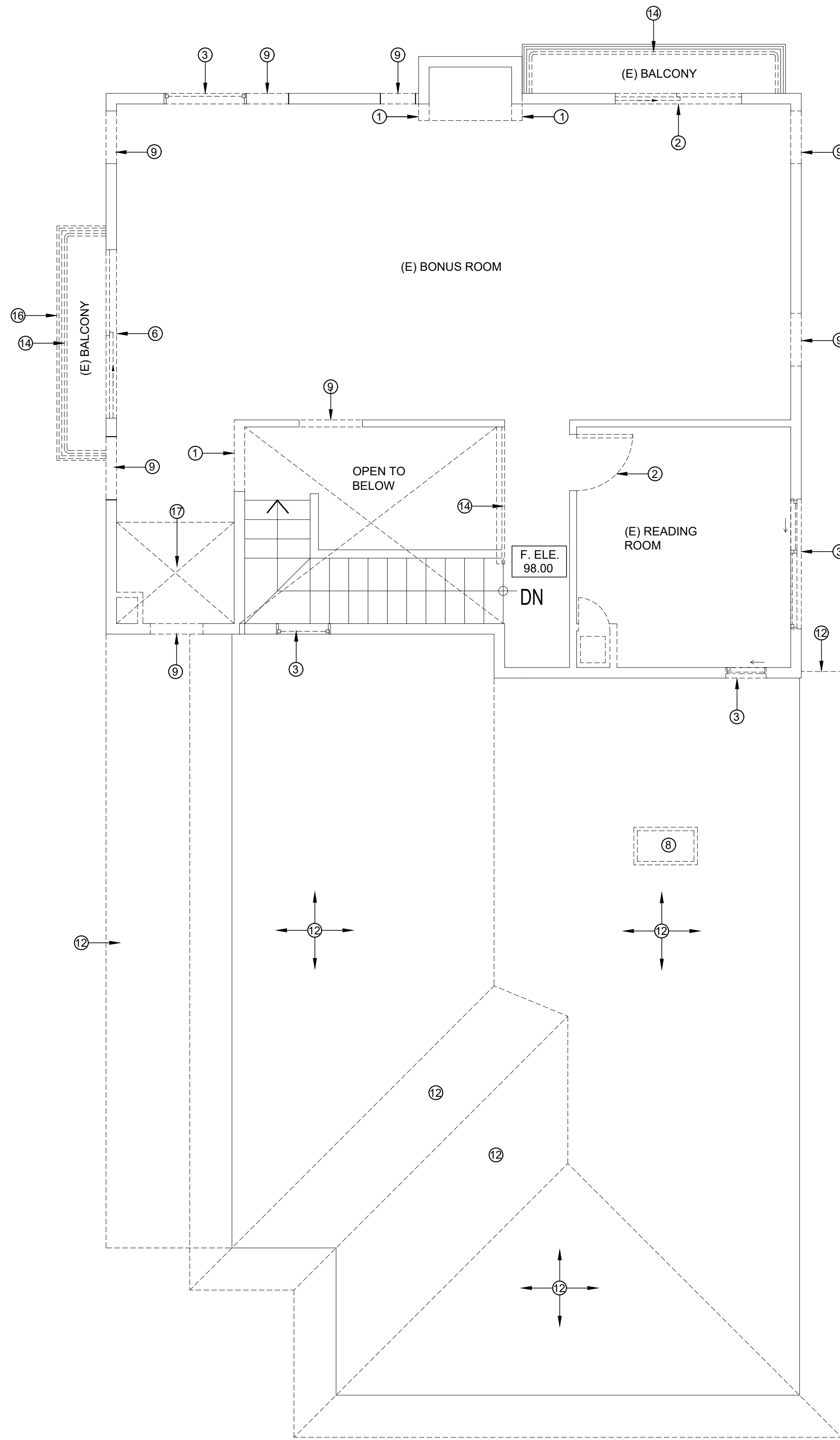
① DEMO FIRST FLOOR PLAN
SCALE: 1/4"= 1'-0"



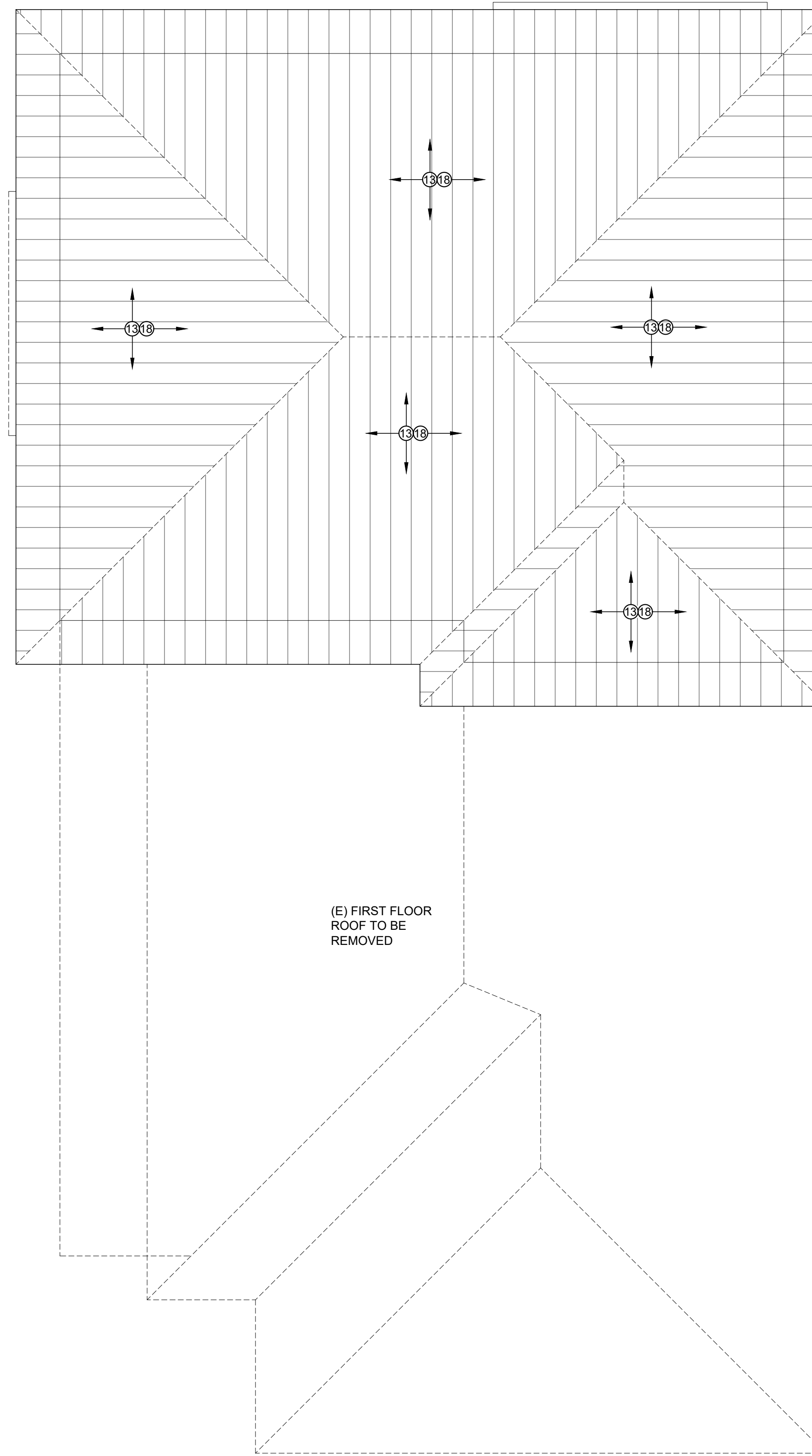
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2 DEMO SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



3 DEMO ROOF PLAN
SCALE: 1/4"=1'-0"

KEY NOTES:

- 1 (E) WALL TO BE REMOVED
- 2 (E) DOOR TO BE REMOVED AND REPLACED
- 3 (E) WINDOW TO BE REMOVED AND REPLACED
- 4 (E) VANITY TO BE REMOVED
- 5 (E) COUNTER/CABINET TO BE REMOVED
- 6 (E) DOOR TO BE REMOVED
- 7 (E) WINDOW TO BE REMOVED
- 8 (E) SKYLIGHT BE REMOVED
- 9 (E)WALL TO BE REMOVED FOR NEW OPENING
- 10 (E) SHOWER TO BE REMOVED
- 11 (E) FAU TO BE RELOCATED
- 12 (E) ROOF TO BE REMOVED
- 13 (E) ROOF TO BE RETAINED
- 14 (E) RAILING TO BE REMOVED
- 15 (E) STAIRS TO BE REMOVED
- 16 (E) BALCONY TO BE REMOVED
- 17 (E) FLOOR TO BE REMOVED
- 18 (E) ROOFING TILE TO BE REMOVED

LEGEND:

--- (E) TO BE DEMOLISHED

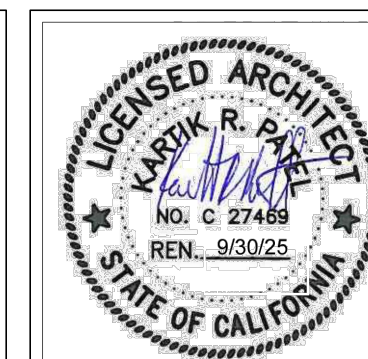
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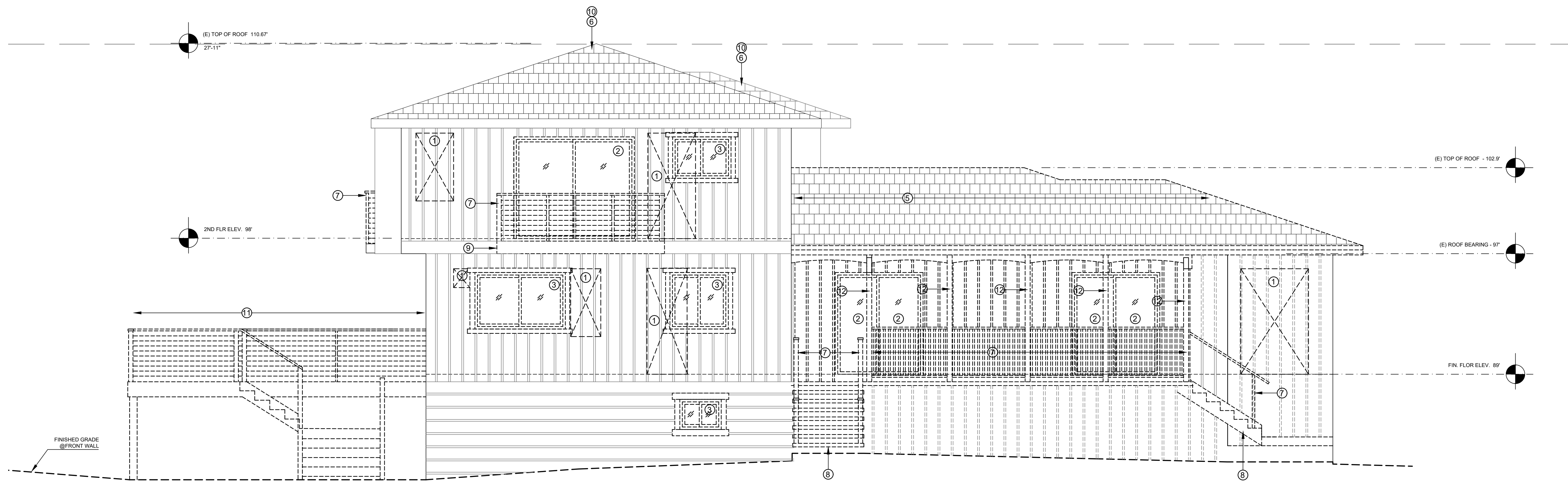


SCALE: 1/4"=1'-0"

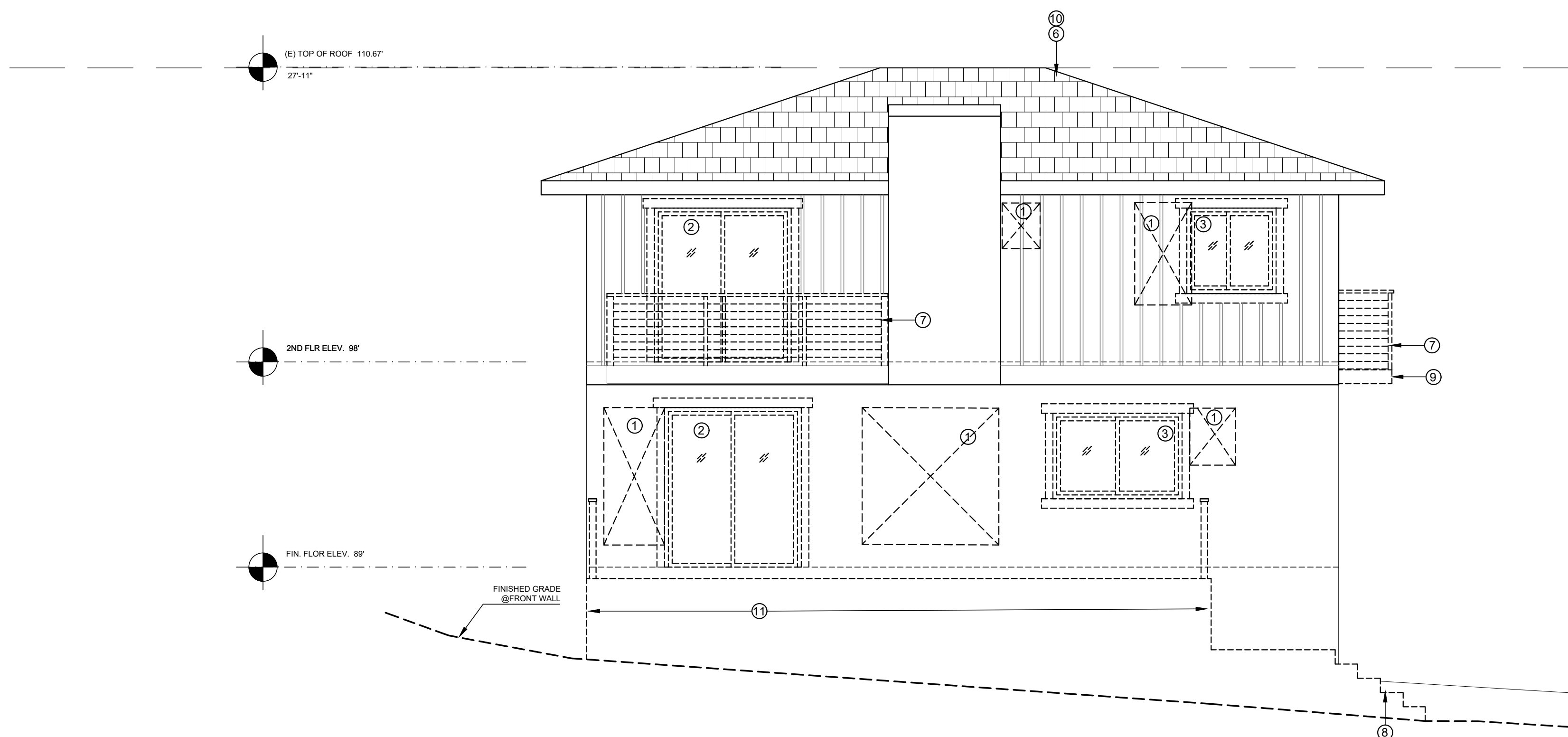
DEMO FLOOR/ROOF PLANS

A-D.2

PROJECT NO : 202302



1 NORTH-EAST ELEVATION
SCALE: 1/4"= 1'-0"



2 SOUTH EAST ELEVATION
SCALE: 1/4"= 1'-0"

KEY NOTES:

- 1 (E) WALL TO BE REMOVED FOR (N) OPENING
- 2 (E) DOOR TO BE REMOVED
- 3 (E) WINDOW W/ TRIM TO BE REMOVED
- 4 (E) SKYLIGHT BE REMOVED
- 5 (E) ROOF TO BE REMOVED
- 6 (E) ROOF TO BE RETAINED
- 7 (E) RAILING TO BE REMOVED
- 8 (E) STAIRS TO BE REMOVED
- 9 (E) BALCONY TO BE REMOVED
- 10 (E) ROOFING TILE TO BE REMOVED
- 11 (E) WOOD DECK/ STEPS AND RAILING TO BE REMOVED
- 12 (E) WOOD POST TO BE REMOVED

LEGEND:

----- (E) TO BE DEMOLISHED

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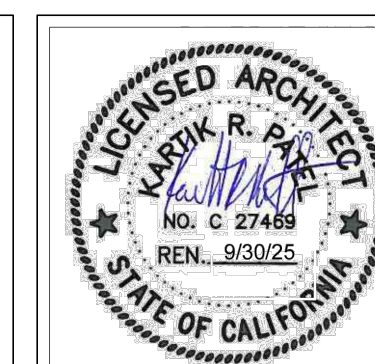
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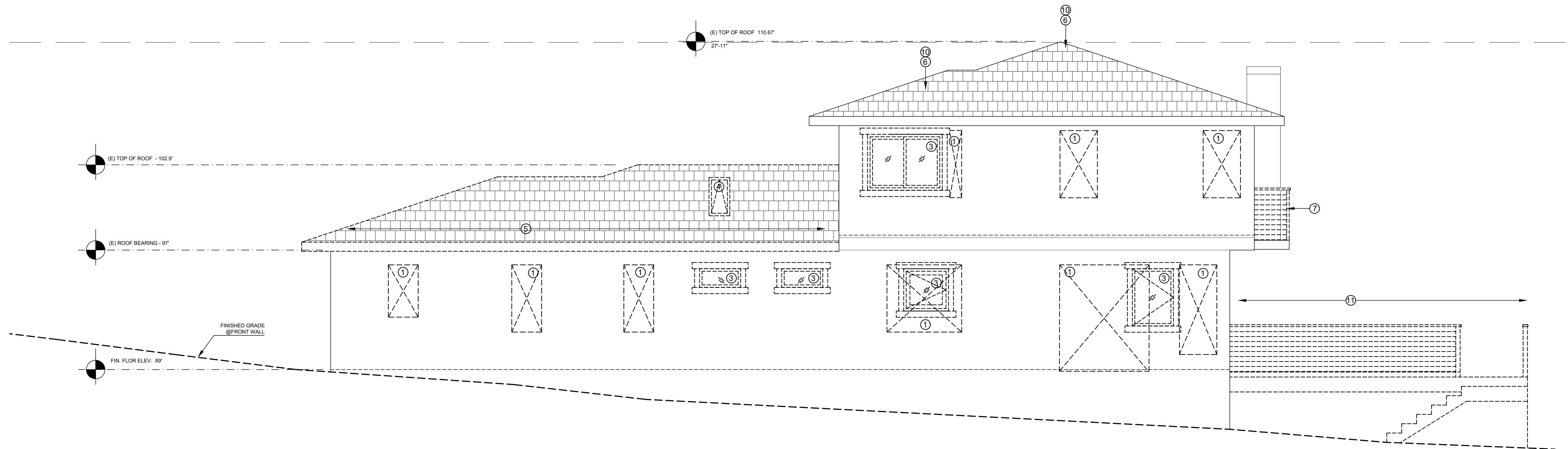


SCALE: 1/4"= 1'-0"

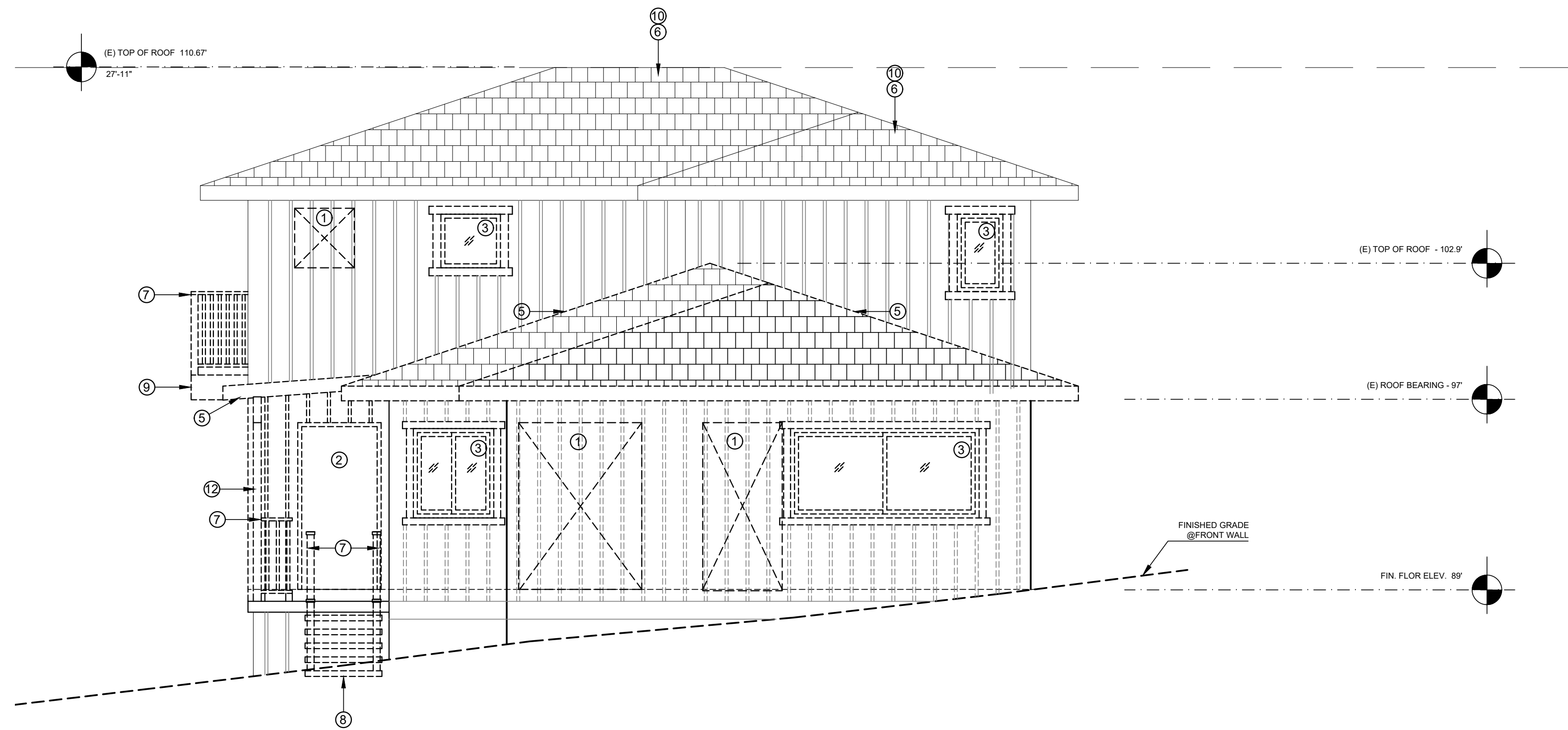
DEMO EXTERIOR
ELEVATIONS

A-D.3

PROJECT NO : 202302



1 SOUTH-WEST ELEVATION
SCALE: 1/4"= 1'-0"



2 NORTH-WEST ELEVATION
SCALE: 1/4"= 1'-0"

KEY NOTES:

- 1 (E) WALL TO BE REMOVED FOR (N) OPENING
- 2 (E) DOOR TO BE REMOVED
- 3 (E) WINDOW W/ TRIM TO BE REMOVED
- 4 (E) SKYLIGHT BE REMOVED
- 5 (E) ROOF TO BE REMOVED
- 6 (E) ROOF TO BE RETAINED
- 7 (E) RAILING TO BE REMOVED
- 8 (E) STAIRS TO BE REMOVED
- 9 (E) BALCONY TO BE REMOVED
- 10 (E) ROOFING TILE TO BE REMOVED
- 11 (E) WOOD DECK/ STEPS AND RAILING TO BE REMOVED
- 12 (E) WOOD POST TO BE REMOVED

LEGEND:

----- (E) TO BE DEMOLISHED

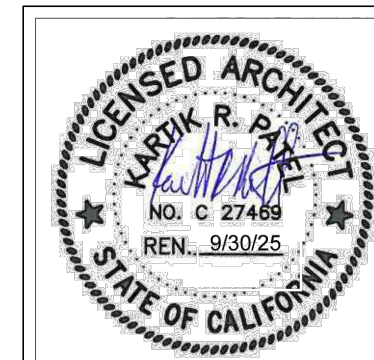
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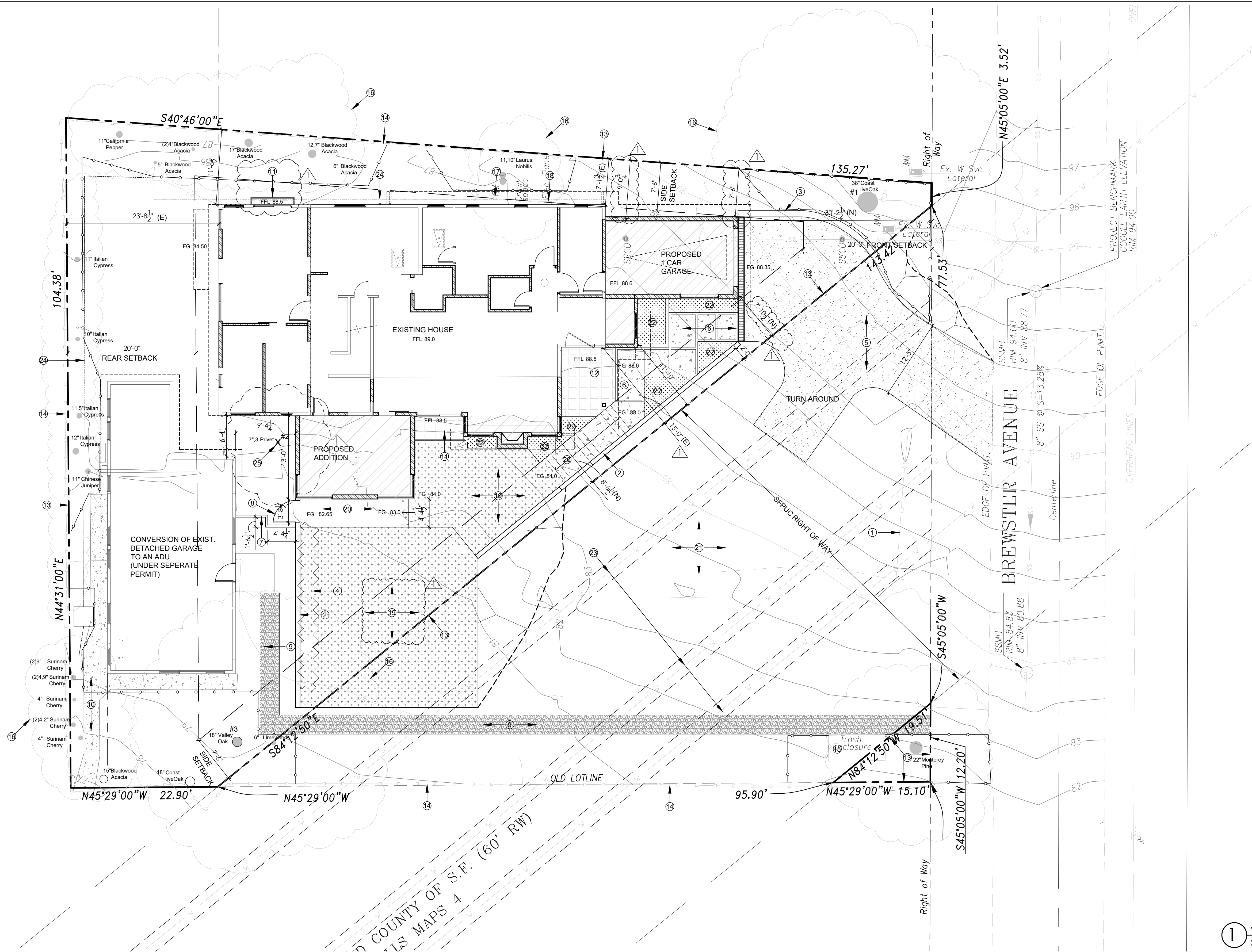


DEMO EXTERIOR
ELEVATIONS

SCALE: 1/4"= 1'-0"

A-D.4

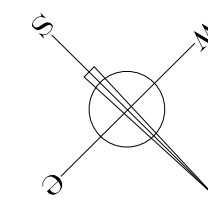
PROJECT NO : 202302



- KEY NOTES:**
- 1 (E) FENCE TO BE REMOVED
 - 2 (N) CONCRETE MASONRY UNIT-RETAINING WALL PLASTER FINISH-PAINT COLOR TO MATCH WITH DRIVEWAY WALL
 - 3 (N) STACKED CONCRETE BLOCK WALL
 - 4 (N) PLANT HEDGE
 - 5 (N) ASPHALT DRIVEWAY
 - 6 (N) CONCRETE STEPPING STONES
 - 7 (N) WOOD SLAT FENCE, 6'-0" HIGH
 - 8 (N) WOOD GATE 6'-0" HIGH
 - 9 (N) DG PATH (PERVIOUS) TO ADU
 - 10 (E) CONCRETE WALKWAY
 - 11 (N) BALONY
 - 12 (N) FRONT PORCH
 - 13 PROPERTY LINE
 - 14 (E) FENCE
 - 15 (E) TRASH ENCLOSURE
 - 16 (E) TREE
 - 17 (E) GAS METER
 - 18 (E) ELECTRIC METER
 - 19 (N) ARTIFICIAL TURF
 - 20 (N) CONCRETE STEPS
 - 21 (N) LANDSCAPING PER SFPUC LANDSCAPE GUIDELINES
 - 22 (N) PLANTER
 - 23 SFPUC PIPELINES
 - 24 (E) FRECH DRAIN & RELOCATED SUMP PUMP
 - 25 (E) TREE TO BE REMOVED

- LEGEND:**
- PROPERTY LINE
 - CONTOUR LINE
 - SET BACK LINE
 - ROOF LINE/ UPPER FLOOR PROJECTION
 - TREE PROTECTION FENCE
- NOTE:**
1 SEE ARBORIST REPORT FOR TREE PROTECTION FENCING
2 FOR ALL RETAINING WALL HEIGHTS REFER TO C2/CIVIL DWGS.
- TYPICAL CONCRETE SPLASH BLOCK. SEE DETAIL 2/-**
- ALL THE ROOF & SURFACE RUNOFF SHALL BE DIRECTED AWAY FROM THE BUILDING**
- SFPUC NOTE**
NO PARKING, STAGING OR STOCKPILING OF CONSTRUCTION EQUIPMENT, VEHICLES OR MATERIALS ON SFPUC RIGHT OF WAY, WITHOUT FORMAL APPROVAL.

1 SITE PLAN
SCALE: 1/8"= 1'-0"



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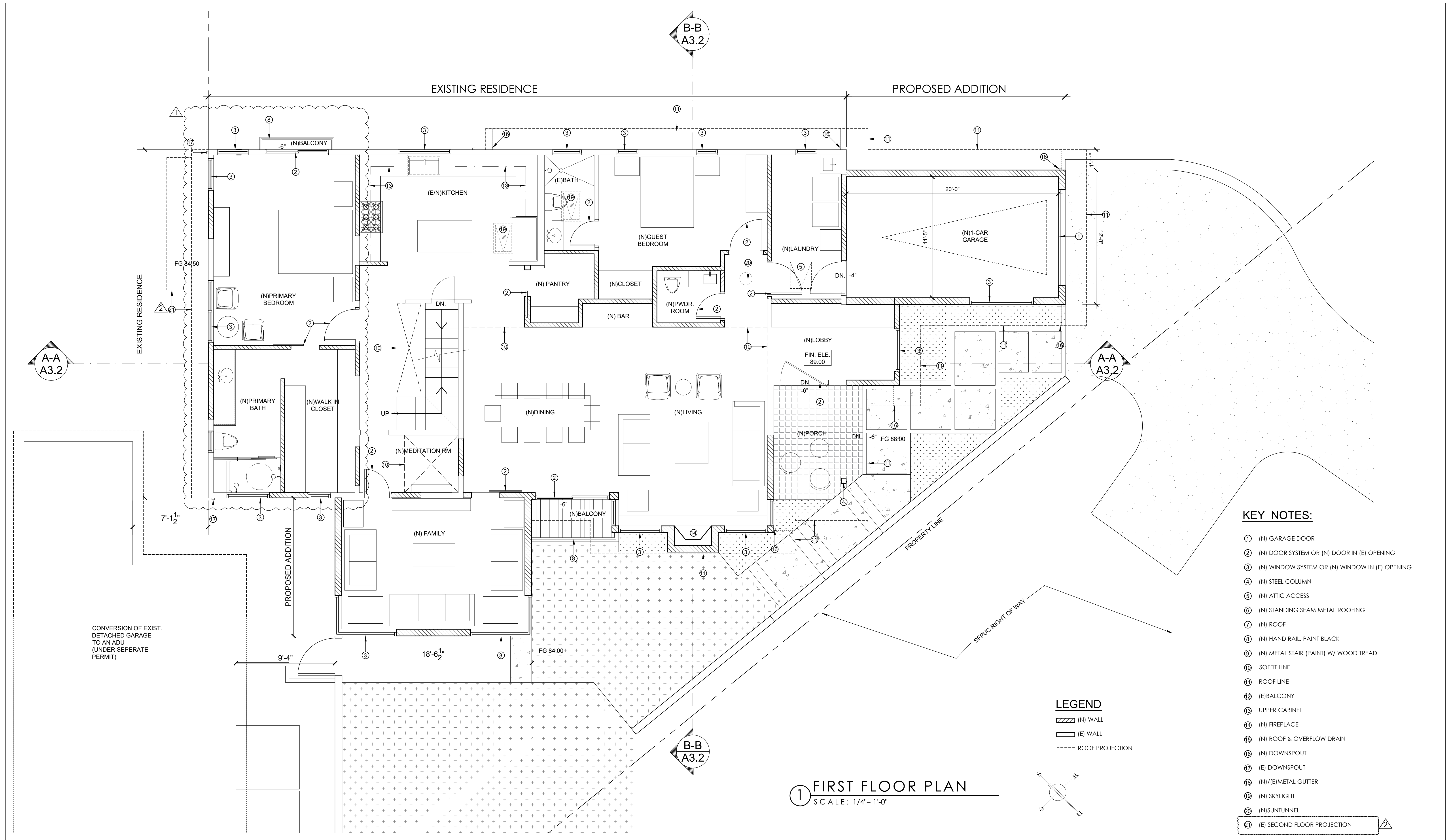


SCALE: 1/8"= 1'-0"

SITE PLAN

A-1.0

PROJECT NO : 202302



- KEY NOTES:**
- ① (N) GARAGE DOOR
 - ② (N) DOOR SYSTEM OR (N) DOOR IN (E) OPENING
 - ③ (N) WINDOW SYSTEM OR (N) WINDOW IN (E) OPENING
 - ④ (N) STEEL COLUMN
 - ⑤ (N) ATTIC ACCESS
 - ⑥ (N) STANDING SEAM METAL ROOFING
 - ⑦ (N) ROOF
 - ⑧ (N) HAND RAIL. PAINT BLACK
 - ⑨ (N) METAL STAIR (PAINT) W/ WOOD TREAD
 - ⑩ SOFFIT LINE
 - ⑪ ROOF LINE
 - ⑫ (E) BALCONY
 - ⑬ UPPER CABINET
 - ⑭ (N) FIREPLACE
 - ⑮ (N) ROOF & OVERFLOW DRAIN
 - ⑯ (N) DOWNSPOUT
 - ⑰ (E) DOWNSPOUT
 - ⑱ (N)/(E) METAL GUTTER
 - ⑲ (N) SKYLIGHT
 - ⑳ (N) SUNTUNNEL
 - ㉑ (E) SECOND FLOOR PROJECTION

LEGEND

- (N) WALL
- (E) WALL
- ROOF PROJECTION

1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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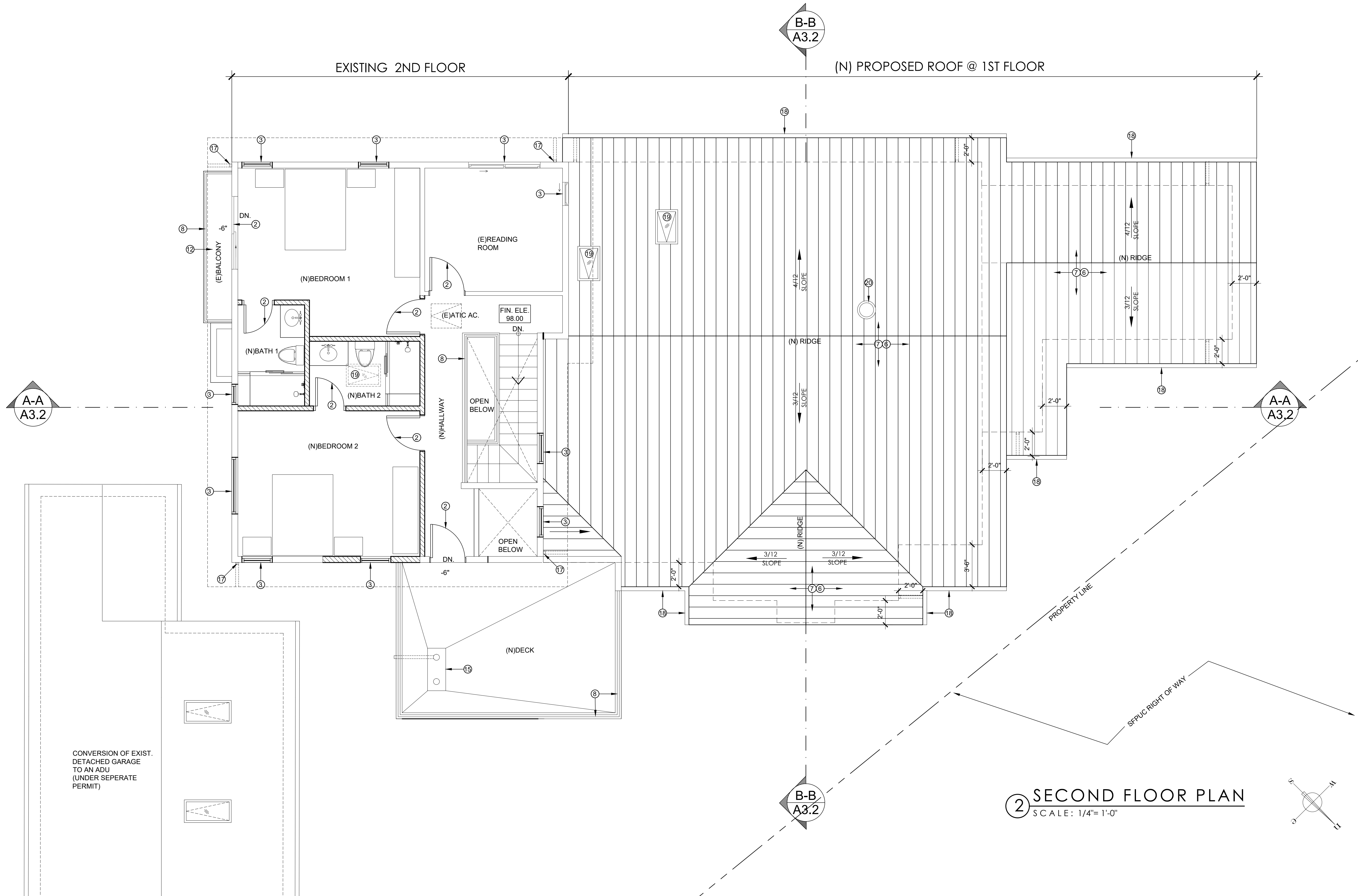
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**PROPOSED
FIRST FLOOR PLAN**
SCALE: 1/8" = 1'-0"

A-2.0
PROJECT NO : 202302



KEY NOTES:

- ① (N) GARAGE DOOR
- ② (N) DOOR SYSTEM OR (N) DOOR IN (E) OPENING
- ③ (N) WINDOW SYSTEM OR (N) WINDOW IN (E) OPENING
- ④ (N) STEEL COLUMN
- ⑤ (N) ATTIC ACCESS
- ⑥ (N) STANDING SEAM METAL ROOFING
- ⑦ (N) ROOF
- ⑧ (N) HAND RAIL, PAINT BLACK
- ⑨ (N) METAL STAIR (PAINT) W/ WOOD TREAD
- ⑩ SOFFIT LINE
- ⑪ ROOF LINE
- ⑫ (E) BALCONY
- ⑬ UPPER CABINET
- ⑭ (N) FIREPLACE
- ⑮ (N) ROOF & OVERFLOW DRAIN
- ⑯ (N) DOWNSPOUT
- ⑰ (E) DOWNSPOUT
- ⑱ (N)/(E) METAL GUTTER
- ⑲ (N) SKYLIGHT
- ⑳ (N) SUNTUNNEL
- ㉑ (E) SECOND FLOOR PROJECTION

LEGEND

- (N) WALL
- (E) WALL
- ROOF PROJECTION

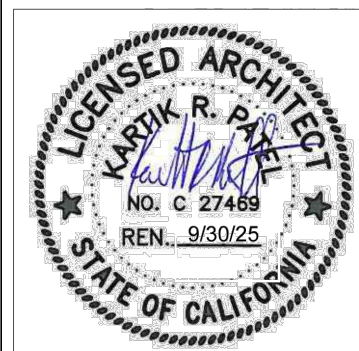
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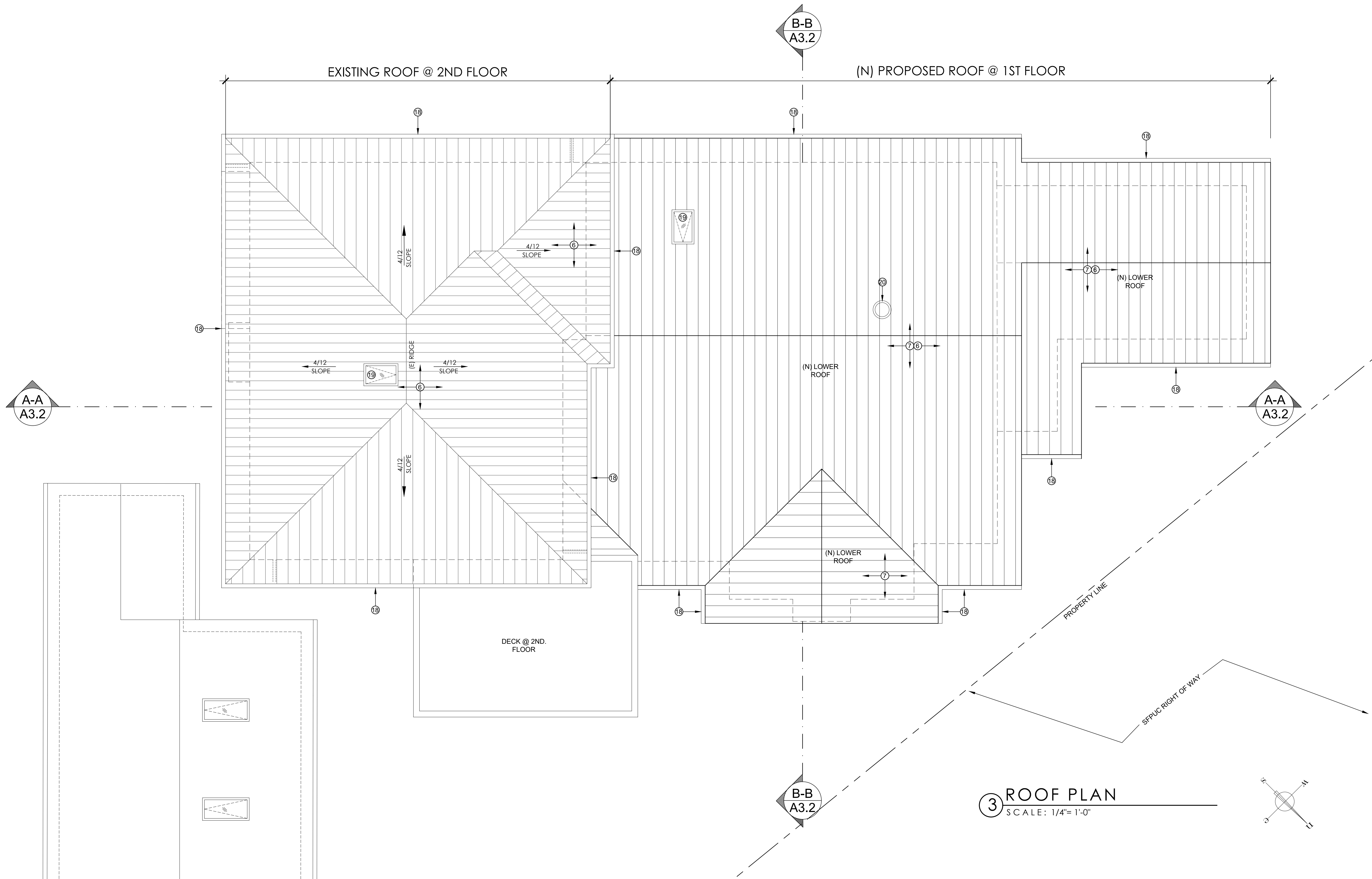


PROPOSED
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"

A-2.1

PROJECT NO : 202302



- KEY NOTES:**
- ① (N) GARAGE DOOR
 - ② (N) DOOR SYSTEM OR (N) DOOR IN (E) OPENING
 - ③ (N) WINDOW SYSTEM OR (N) WINDOW IN (E) OPENING
 - ④ (N) STEEL COLUMN
 - ⑤ (N) ATTIC ACCESS
 - ⑥ (N) STANDING SEAM METAL ROOFING
 - ⑦ (N) ROOF
 - ⑧ (N) HAND RAIL, PAINT BLACK
 - ⑨ (N) METAL STAIR (PAINT) W/ WOOD TREAD
 - ⑩ SOFFIT LINE
 - ⑪ ROOF LINE
 - ⑫ (E) BALCONY
 - ⑬ UPPER CABINET
 - ⑭ (N) FIREPLACE
 - ⑮ (N) ROOF & OVERFLOW DRAIN
 - ⑯ (N) DOWNSPOUT
 - ⑰ (E) DOWNSPOUT
 - ⑱ (N)/(E) METAL GUTTER
 - ⑲ (N) SKYLIGHT
 - ⑳ (N) SUNTUNNEL
 - ㉑ (E) SECOND FLOOR PROJECTION

- LEGEND**
- (N) WALL
 - (E) WALL
 - ROOF PROJECTION

3 ROOF PLAN
SCALE: 1/4" = 1'-0"

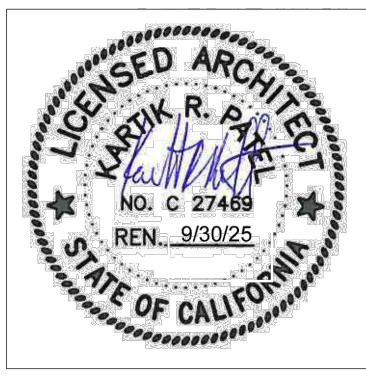
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architecture planning interiors
991 Montague Expressway, #208
Milpitas, California 95035
Tel: 408.946.9300 Fax: 408.946.9309

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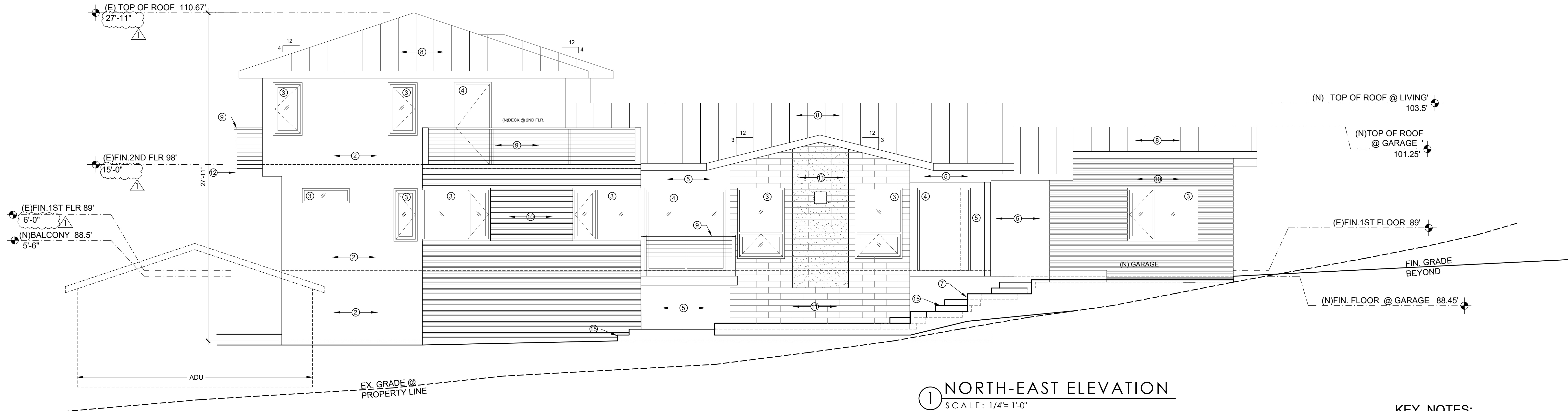


**PROPOSED
ROOF PLAN**

SCALE: 1/8" = 1'-0"

A-2.2

PROJECT NO : 202302



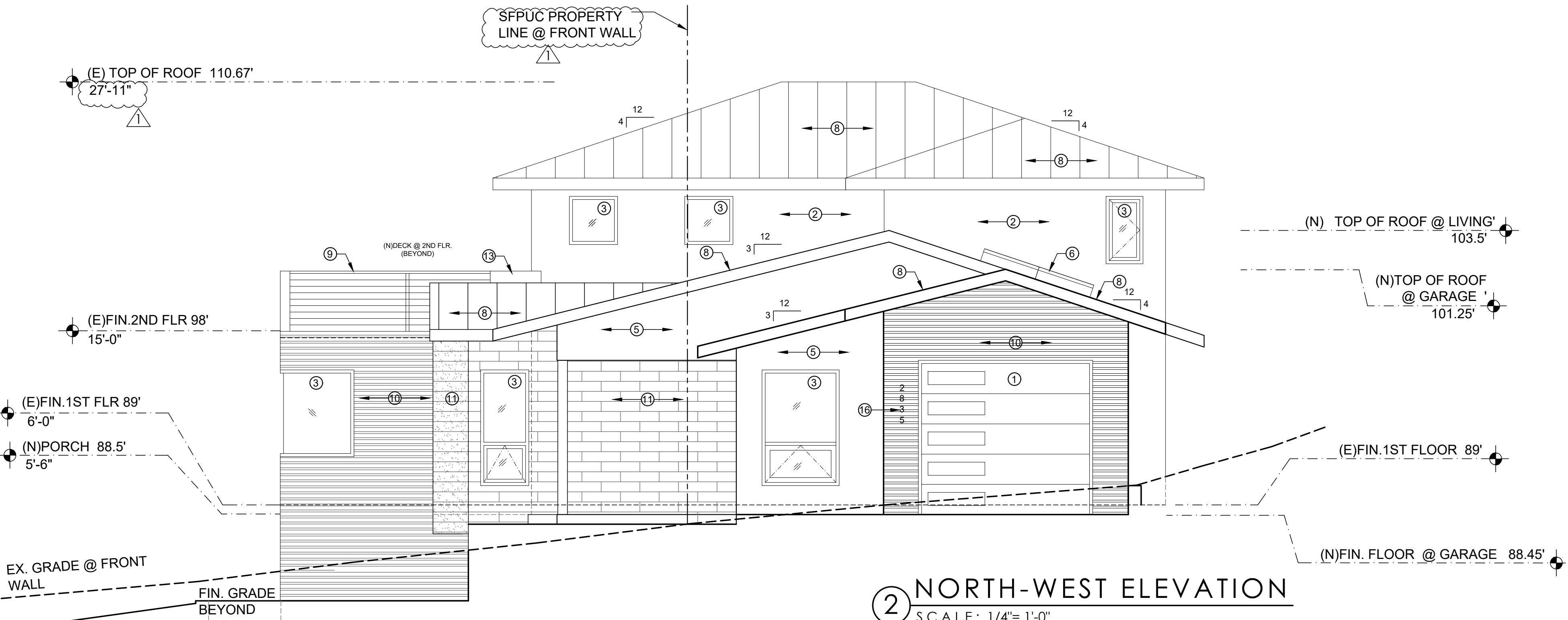
1 NORTH-EAST ELEVATION
SCALE: 1/4"= 1'-0"

KEY NOTES:

- (N) GARAGE DOOR
- (N) 5/8" STUCCO o/ METAL LATH o/ BLDG. PAPER o/ (E) T-111 SIDING
- (N) WINDOW SYSTEM OR (N) WINDOW IN (E) OPENING
- (N) DOOR SYSTEM OR (N) DOOR IN (E) OPENING
- (N) EXTERIOR STUCCO WALL
- (N) SKYLIGHT
- (N) CMU RETAINING WALL-PLASTER FINISH, PAINT COLOR TO MATCH W/ DRIVEWAY RET. WALL
- (N) STANDING SEAM METAL ROOFING
- (N) HAND RAIL, PAINT BLACK
- (N) THERMALLY MODIFIED RADIATA PINE WOOD SIDING - V GROOVE
- (N) TILE CLADDING
- (E) BALCONY
- (N) PARAPET WALL
- (N) GAS FIRE PLACE
- (N) CONCRETE STEPS
- (N) ADDRESS NUMBER MIN. 4" HIGH, ILLUMINATED SHALL BE IN CONTRAST WITH THEIR BACKGROUND

NOTES:

SEE ATTACHED COLOR & MATERIAL BOARD ON SHEET A3.2



2 NORTH-WEST ELEVATION
SCALE: 1/4"= 1'-0"

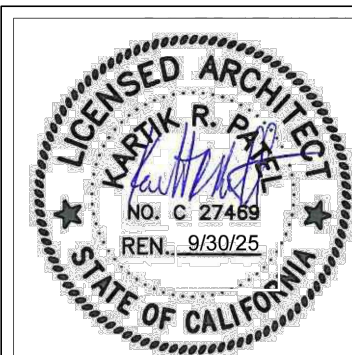
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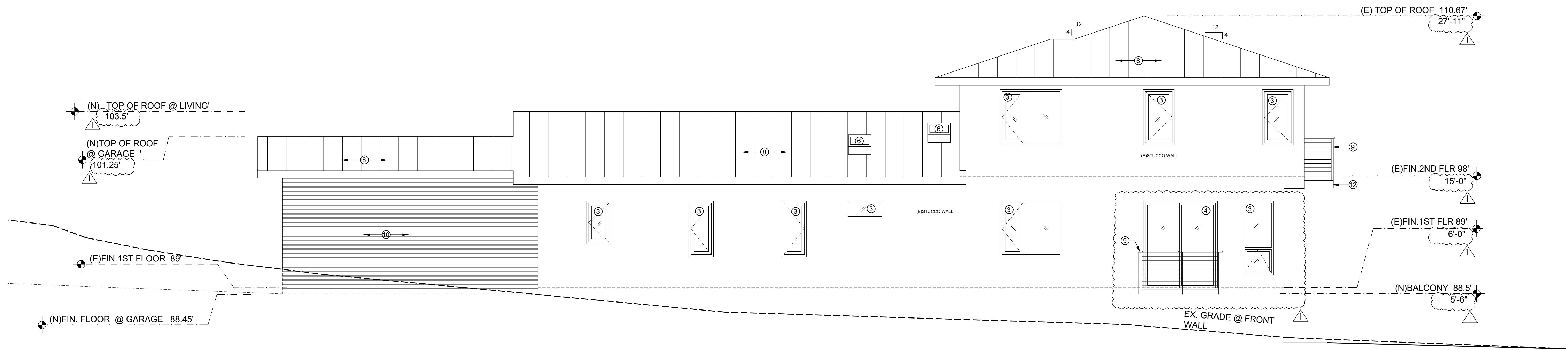


PROPOSED EXTERIOR
ELEVATION

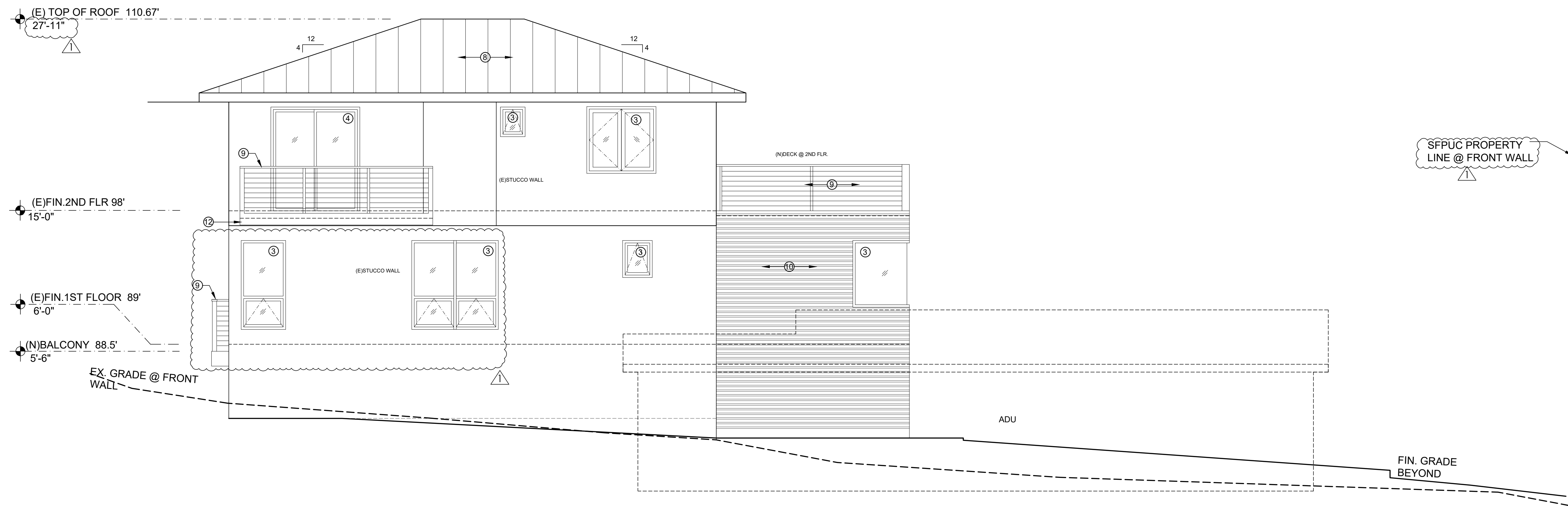
SCALE: 1/8"= 1'-0"

A-3.0

PROJECT NO : 202302



1 SOUTH - WEST ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH - EAST ELEVATION
SCALE: 1/4" = 1'-0"

KEY NOTES:

- (N) GARAGE DOOR
- (N) $\frac{5}{8}$ " STUCCO o/METAL LATH o/BLDG. PAPER o/ (E) T-111 SIDING
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- (N) CONCRETE STEPS
- (N) ADDRESS NUMBER MIN. 4" HIGH, ILLUMINATED, SHALL BE IN CONTRAST WITH THEIR BACKGROUND

NOTES:

SEE ATTACHED COLOR & MATERIAL BOARD ON SHEET A3.2

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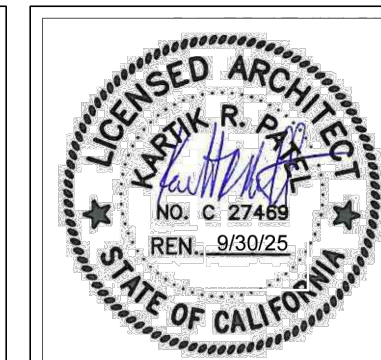
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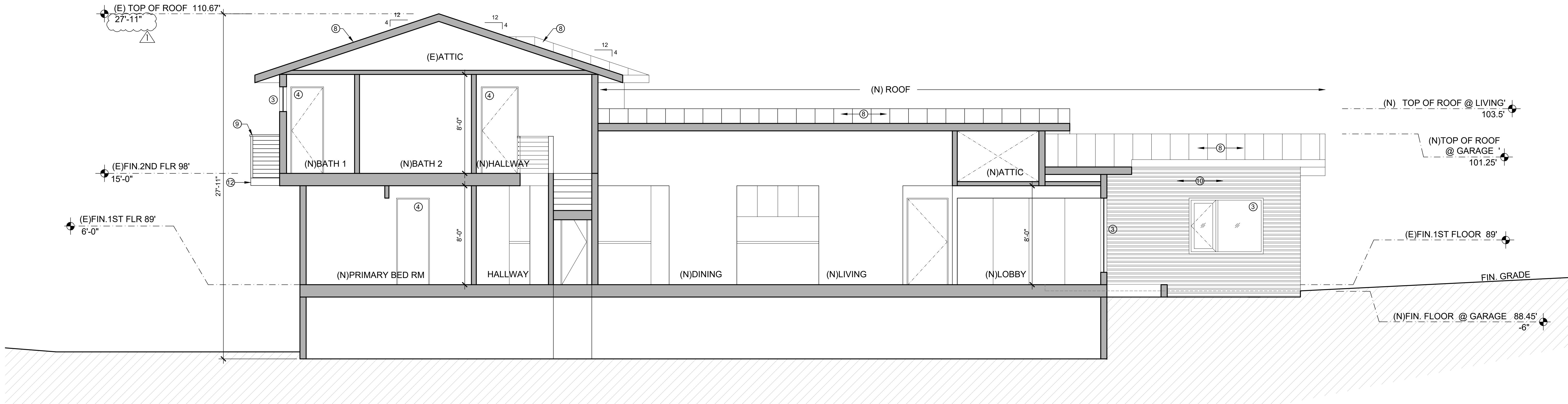


PROPOSED EXTERIOR
ELEVATION

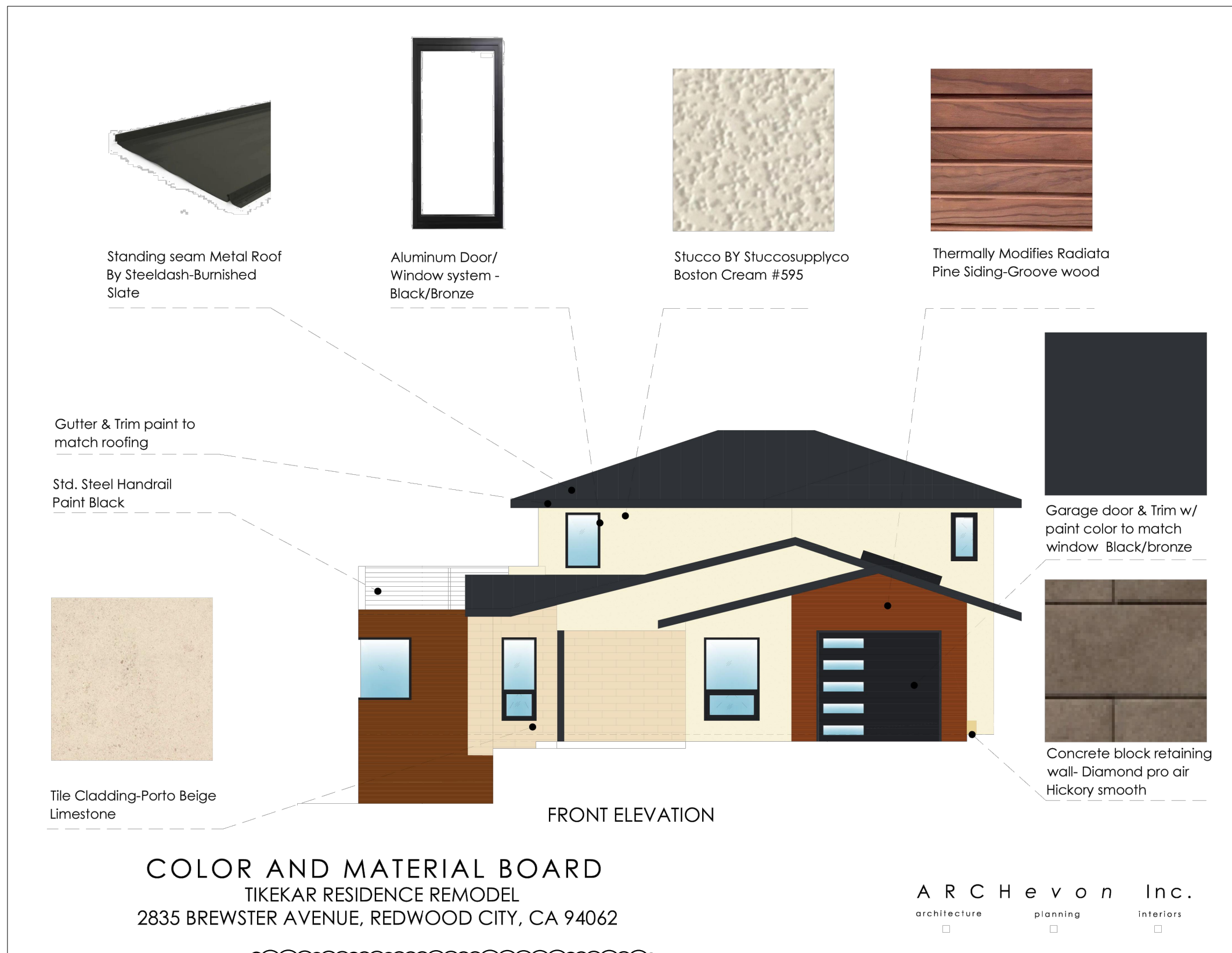
SCALE: 1/8" = 1'-0"

A-3.1

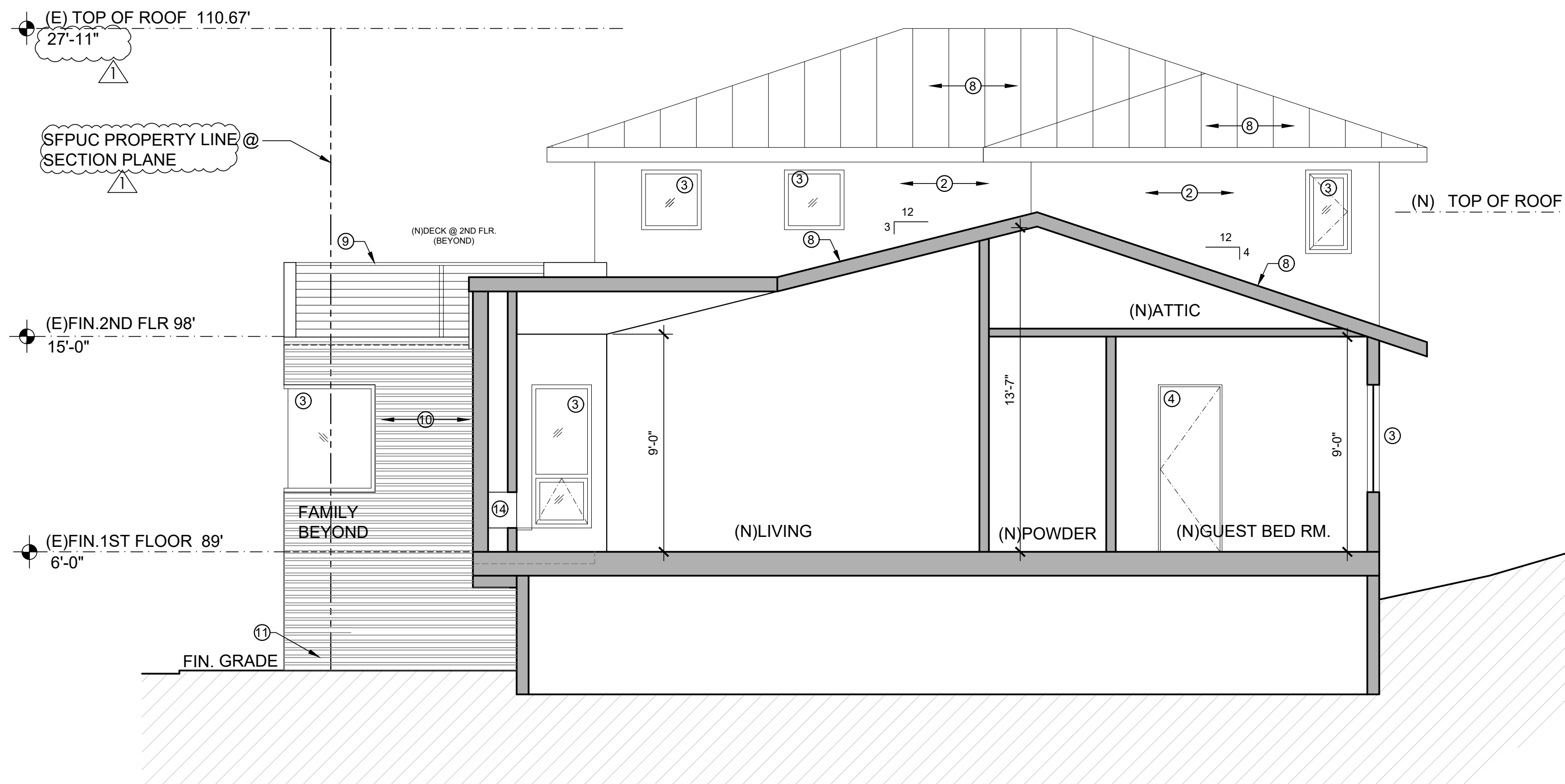
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1 SECTION AA
SCALE: 1/4"= 1'-0"



FOR SPECIFICATIONS, REFER A3.3



2 SECTION BB
SCALE: 1/4"= 1'-0"

KEY NOTES:

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NOTES:

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BUILDING SECTIONS
COLOR & MATERIAL BOARD

SCALE: 1/8"= 1'-0"

A-3.2

PROJECT NO : 202302

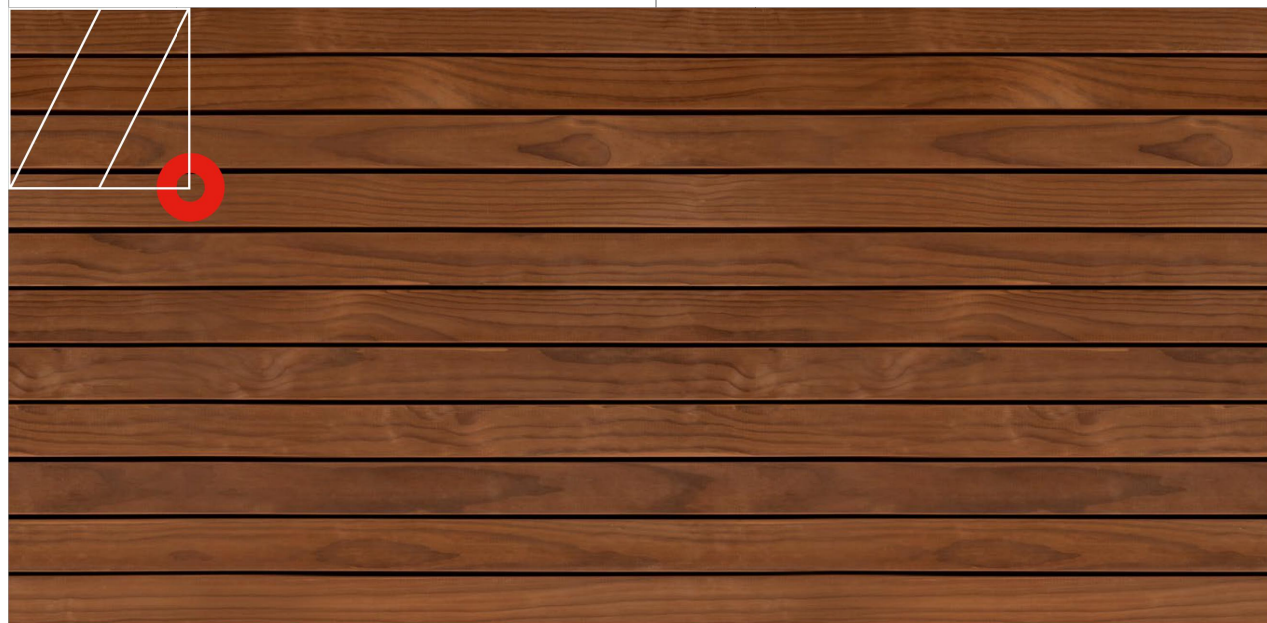
THERMORY®

Data sheet

Thermally modified radiata pine cladding

THERMO-RADIATA PINE

- Radiata pine, also known as clear pine, is a knot-free pine-wood.
- Thermal modification enhances radiata pine's smooth, elegant look by giving it a warm caramel-brown color.
- Each and every board is unique, with the individual natural grains coming together to create a beautiful pattern.
- Thermal modification improves radiata pine's dimensional stability and makes the wood more durable.



THERMAL MODIFICATION	Intense 220 °C
STANDARD LENGTHS:	30 - 57 m; lengths are subject to availability
	Lengths are subject to availability
WOOD SPECIES	Radiata pine (Pinus radiata)
COMMONLY USED CUSTOMS CODE	44091018

© THERMORY 2024



THERMORY®

Data sheet

Thermally modified radiata pine cladding

CHARACTERISTICS OF THERMALLY MODIFIED RADIATA PINE (SAWN, PLANED AND PROFILED):		CORRESPONDING STANDARD/TEST REPORT
DURABILITY CLASS (CATAS)	2 - durable	EN 350:2016
USE CLASS	31 - exterior, above ground, exposed to the weather. Limited wetting conditions.	EN 335:2013
REACTION TO FIRE CLASSIFICATION :	D-s2, d0	EN 13501-1:2018
- thickness: ≥18 mm - min thickness with profile: 9 mm - valid for profiled claddings and straight edged boards without air gap - without surface coating		
INITIAL MOISTURE CONTENT (%)*	11.3 ± 2	Internal factory test 0110:2022
OVEN-DRY DENSITY (KG/M³)*	414.9 ± 9.2	ISO 13061-2:2014
EQUILIBRIUM MOISTURE CONTENT AT 20°C, 65% AT:	RH 35% RH 60% RH 90%	ISO 13061-1:2014
	44 ± 0.3 75 ± 0.2 12.5 ± 0.1	
SWELLING FROM OVEN-DRY DIMENSIONS IN RADIAL FIBRE DIRECTION AT 21 °C 65% AT:	RH 35% RH 60% RH 90%	ISO 13061-15:2017
	0.8 ± 0.1 0.8 ± 0.1 1.3 ± 0.1	
SWELLING FROM OVEN-DRY DIMENSIONS IN TANGENTIAL FIBRE DIRECTION AT 21 °C 65% AT:	RH 35% RH 60% RH 90%	
	1.3 ± 0.1 1.7 ± 0.1 2.4 ± 0.1	
BENDING STRENGTH (N/MM²)*	40 ± 4.6	EN 408:2010
MODULUS OF ELASTICITY (N/MM²)*	10377 ± 703.7	EN 408:2010
COMPRESSIVE STRENGTH (N/MM²)*	50.8 ± 2.6	EN 408:2010
SCREW TRACTION RESISTANCE (N/MM²)	18.3 ± 0.8	EN 1382:2016
JANKA HARDNESS (N)	763 ± 119.7	ISO 13061-12:2017
BRINELL HARDNESS (N/MM²)*	15.39	EN 1534:2010
SCRATCH RESISTANCE (N)	0.2	EN 1588:2012
ACIDITY (PH)*	3.74	ISO 6588-2:2021

*The values given are the mean results of testing, apply only in the aforementioned conditions and are not partially applicable.

THERMORY®

Data sheet

Thermally modified radiata pine cladding

CHARACTERISTICS OF THERMALLY MODIFIED RADIATA PINE (SAWN, PLANED AND PROFILED):	
COLOR	Golden Brown with a slight bronze glow. Colour variations in thermally modified wood are a result of variations in growth conditions of the tree and are fully acceptable. Wood will weather to grey unless an UV resistant coating is applied and maintained.
COATING	Many colour options available. Please contact our sales team for further information.
GRADING	Grades "Clear" and "Country" Grading rules, installation and maintenance manuals are at:
SURFACE	Planed and brushed surface possible on Thermory Radiata Pine Cladding.
EPD (RTS)	THERMALLY MODIFIED SOFTWOOD WITHOUT SURFACE COATING GWP - BIOGENIC A1-A3: -78361 kg CO ₂ e per 1 m² THERMALLY MODIFIED SOFTWOOD WITHOUT SURFACE COATING GWP - BIOGENIC A1-A3: -77161 kg CO ₂ e per 1 m²
COUNTRY OF ORIGIN	Estonia
HANDLING	Thermory® cladding and decking boards should be stored inside, out of the sun, rain and other elements. When this is not possible, boards need to be elevated off the ground, stacked uniformly and covered with a waterproof tarp. Leave the ends of the tarp open so moisture is not trapped inside, making certain the stored wood is not subjected to the elements or sun as UV rays will fade the material. Under no circumstances should Thermory® boards, even in original packaging, be subjected to rain or any moisture as they cannot dry properly when stacked and/or packaged.
WASTE MANAGEMENT	Thermory naturally enhances wood using only heat and steam. Thermally modified wood does not need to be treated as hazardous waste.
CHAIN OF CUSTODY CERTIFICATION	FSC® and PEFC certified products available - please contact our sales team for available profiles and dimensions.
MANAGEMENT SYSTEM CERTIFICATIONS	ISO 9001, ISO 14001, ISO 45001
NORDIC SWAN ECOLABEL PRODUCTS AVAILABLE	Licence no 4086 01010

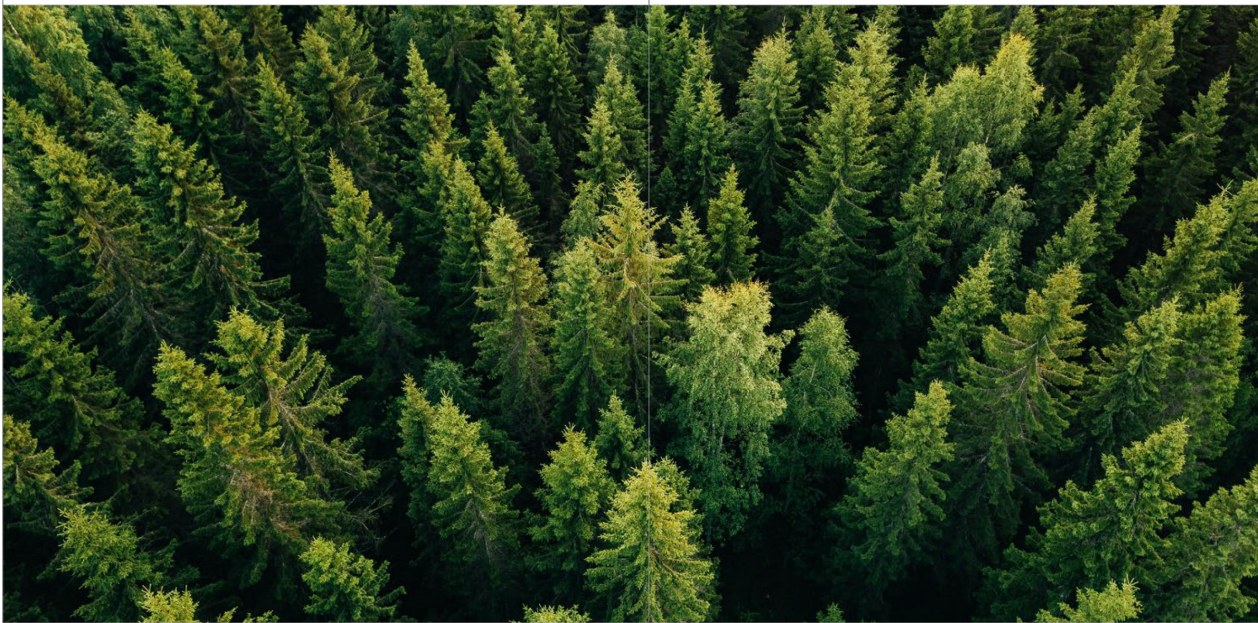
Thermory® Radiata Pine is produced at 220 °C in a special computer-controlled kiln. The process uses only heat and steam, no chemicals are added.

During the modification process, chemical and structural changes occur within the timber which improve some of its basic characteristics. The resulting product is more durable and stable - an ideal material for use in exposed areas such as external facades or decking.

THERMORY®

Data sheet

Thermally modified radiata pine cladding



Leave a lasting impact

THERMORY is a world leader in the thermal modification of wood. We offer high-quality, long-lasting solutions that benefit from environmentally friendly technology. We have spent the past two decades developing our expertise through close collaboration with architects, designers, builders and homeowners - constantly revising our product selection and refining our technology in the process.

THERMORY promotes a transparent and responsible corporate culture. We care about the environment and treat nature with deep respect. Our purchasing process is environmentally responsible, and we exercise high standards for quality and sustainability. Our timber is carefully inspected and harvested from sustainably managed forests. If desired, we can offer PEFC, FSC® or Nordic Swan Ecolabel-certified wood.



As a renewable resource that is both durable and an excellent insulator, wood is one of the most environmentally friendly choices for your construction project.

- Thermory
- Thermory
- Thermorydesign
- Thermory AS

Last updated: May 2024.
All previous versions are null and void.

→ thermory.com

jects. If you think it's important to protect our valuable resources long into the future, then we're on the same mission. We create lasting value, because we want to leave behind a more harmonious and sustainable world.

REAL WOOD PRODUCTS WITH BEAUTY AND STABILITY IN EVERY FIBER

- DECKING
- CLADDING
- INTERIOR
- SAUNA



Thermory's project "Development of Resource-efficient Painted Thermally-modified Wood" is financed in cooperation with Enterprise Estonia (EAS) and the Norwegian Green ICT financing mechanism.



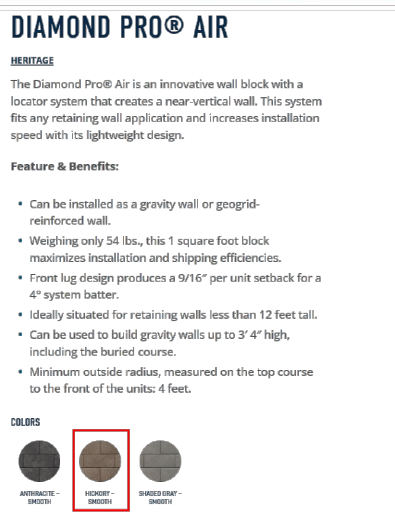
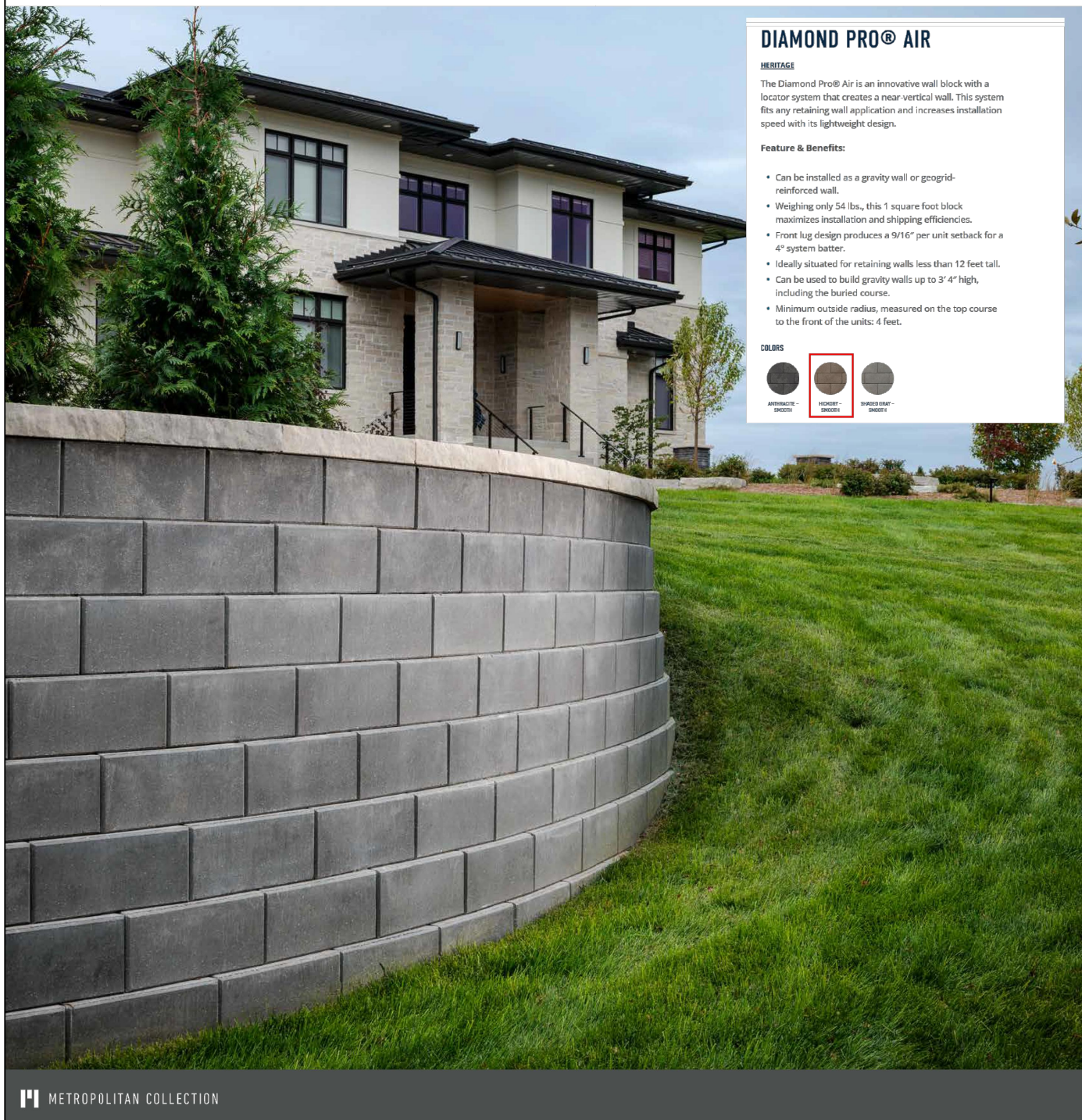
Color chips shown are intended to show the approximate color of the finish. Color will vary depending on the method of application & texture style. Texturing will potentially increase the depth of the color. Weather, job conditions, and base coat are extreme factors in the final color & should be expected. Applying a sample on a substrate before proceeding with the application is recommended. For color confirmation, an actual sample in the texture and color should be requested prior to ordering material. Color should be approved by owner prior to application. Stucco Supply is not responsible for color correctness of applied finish.



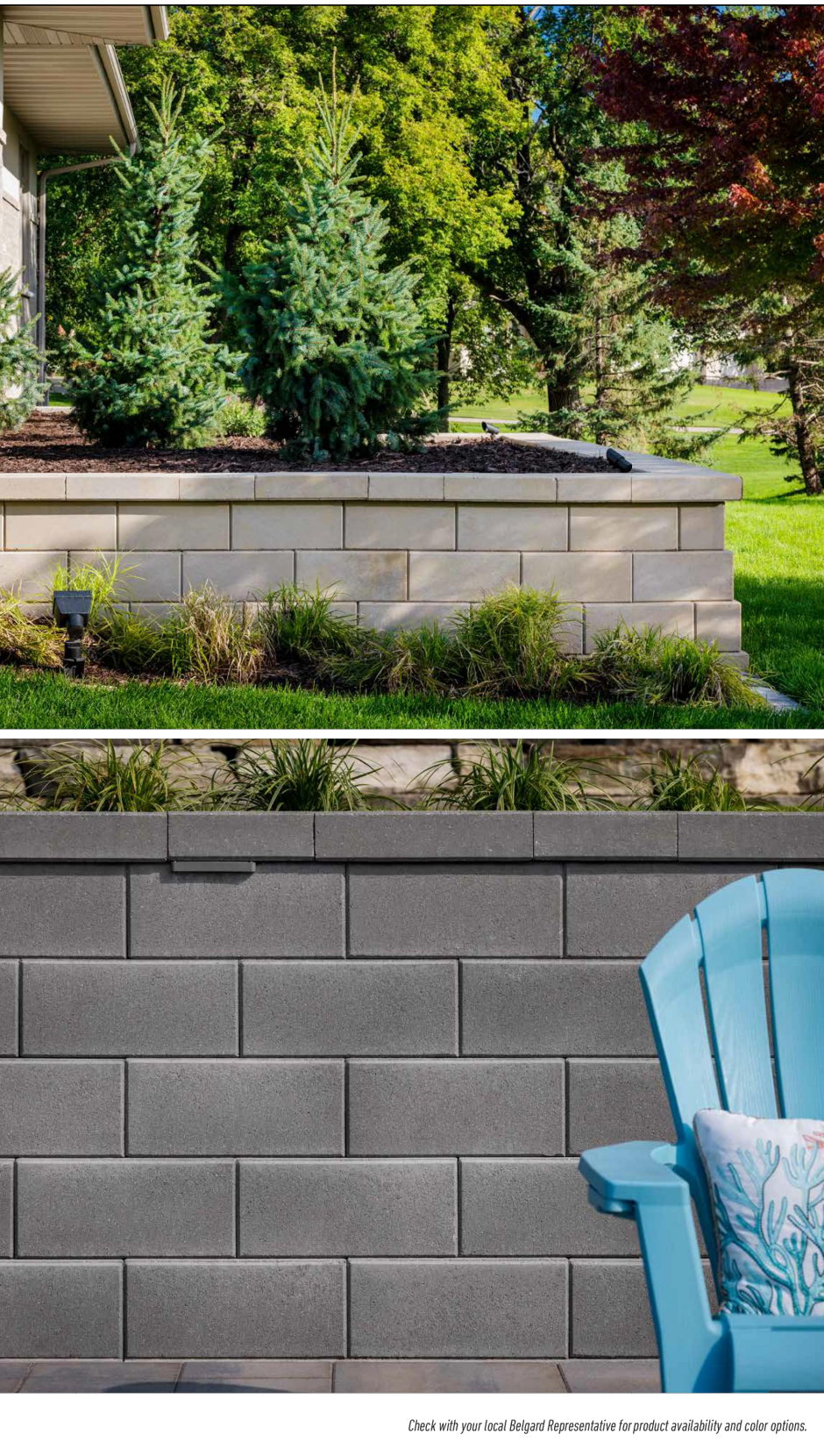
Light Reflectance Value = Percent of light reflected from the surface (100% = White; 0% = Black). The higher the number, the less UV light the color absorbs and the greater the reflectance. These colors are intended to show the approximate color of medium Acrylic Finishes. Other textures and products may slightly vary.

DIAMOND PRO® AIR
SMOOTH FACE

AN INNOVATIVE SQUARE-FOOT BLOCK DESIGN THAT MAXIMIZES INSTALLATION AND SHIPPING EFFICIENCIES



METROPOLITAN COLLECTION



BELGARD® PAVES THE WAY
For more info, visit Belgard.com

DIAMOND PRO® AIR
SMOOTH FACE

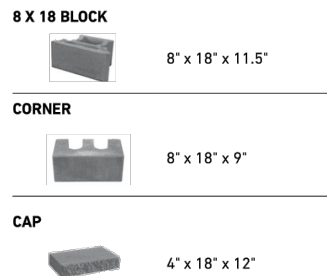
AN INNOVATIVE SQUARE-FOOT BLOCK DESIGN THAT MAXIMIZES INSTALLATION AND SHIPPING EFFICIENCIES

FEATURES & BENEFITS

- Can be installed as a gravity wall or geogrid-reinforced wall.
- Weighing only 54 lbs., this 1 square foot block maximizes installation and shipping efficiencies.
- Front lug design produces a 9/16" per unit setback for a 4" system batter
- Comes align for easy filling
- Top course is placed upside down in order to increase capping efficiency
- Ideally situated for retaining walls up to 12 feet tall
- Can be used to build gravity walls up to 3' 4" high*, including the buried course
- Minimum outside radius, measured on the top course to the front of the units: 6 feet
- Minimum inside radius, measured on the base course to the front of the units: 6 feet

*Gravity wall heights are based on project specific conditions and may be lower than this value. Check with your local Belgard Representative for product availability and color options.

SHAPES & SIZES



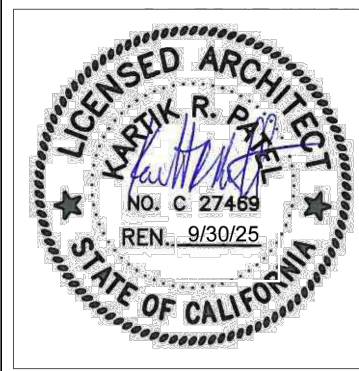
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SPECIFICATIONS

A-3.3

SCALE: 1/8" = 1'-0"

PROJECT NO : 202302