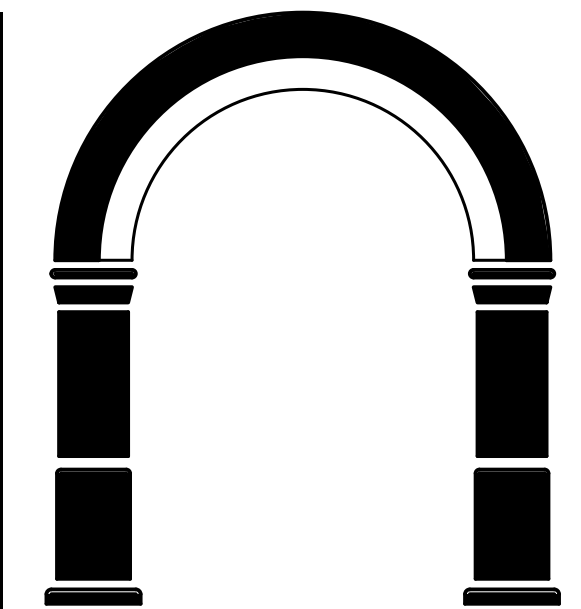


# Amerman-Klingler Residence

## DESIGN REVIEW



CJW ARCHITECTURE

130 Portola Road, suite A  
Portola Valley, CA 94028

(650) 851-9335 / (Fax) 851-9337

These plans are copyrighted and are subject to copyright protection as an "architectural work" under Sec. 102 of the Copyright Act, 17 U.S.C. as amended December 1990 and known as Architectural Works Copyright Protection Act of 1990. The protection includes but is not limited to the overall form as well as the arrangement and composition of spaces and elements of the design. Under such protection, unauthorized use of these plans, work or home represented, can legally result in the cessation of construction or building being seized and/or monetary compensation to CJW Architecture.



### PROJECT

Amerman-Klingler Residence  
28 Dover Ct  
San Carlos CA 94070

### SHEET TITLE

Title Sheet

### REVISIONS

No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

JOB: 2018-2800

DATE: 10/14/2022

SHEET: T-0.1

### ABBREVIATIONS

ACCESS DOOR AD.	EXPANSION JOINT EXP.	PAINTED PTD.
ACCESS PANEL AP.	EXPANSION JOINT EXP JT.	PANIC BAR PB.
ACOUSTICAL AC.	EXTENSION EXT.	PARTITION PTN.
ADHESIVE ADH.	EXTERIOR EXT.	PERFORATED PERF.
ADJUSTABLE ADJ.	FACE OF FO.	PLASTER PLAS.
AGGREGATE AGGR.	FACE OF FACE OF BOARD FB.	PLASTIC PLSTC.
AIR CONDITIONER AC	FINISH FIN.	PLYWOOD PLY. WD.
ALUMINUM AL.	FIRE ALARM FA.	POINT PT.
ANCHOR BOLT AB.	FIRE EXTINGUISHER F.E.	POLISHED PLATE GLASS PPGL.
AREA DRAIN AD.	FIRE EXTINGUISHER CABINET F.E.C.	POLYVINYL CHLORIDE PVC.
ASBESTOS ASB.	FIRE TREATED F.T.	POUNDS PER SQUARE FOOT PSF.
ASBESTOS CEMENT PIPE ACP.	FLASHING FL.	POUNDS PER SQUARE INCH PSI.
ASPHALT ASPH.	FLAT BAR FB.	PRE CAST CONCRETE PC.
ASPHALTIC CONCRETE AC.	FLAT HEADED WOOD SCREW FHWS.	PROPERTY LINE PROP. LINE.
BEGINNING OF VERTICAL CURVE B.V.C.	FLOOR FLR.	PROPERTY LINE PROP. LINE.
BENCH MARK B.M.	FLOOR DRAIN FLD.	RADIUS R.
BLOCKING BLK.	FLOORING FLG.	REDWOOD RDW.
BOARD BD.	FLOW LINE FLW.	REFRIGERATOR REF.
BOTTOM BTM.	FLUORESCENT FLUOR.	REINFORCED CONCRETE PIPE RCP.
BUILDING BLDG.	FOOTING FDN.	REINFORCING REINF.
CABINET CAB.	FOUNDATION FDN.	REQUIRED REQD.
CARRIAGE BOLT CB.	GAGE OR GAUGE GA.	RESILIENT RESIL.
CAST-IN-PLACE CIP.	GALVANIZED GALV.	RESISTANT RES.
CAST-IRON CI.	GALVANIZED IRON GI.	ROOF DRAIN RD.
CAST-IRON PIPE CIP.	GLASS GL.	ROOM RM.
CATCH BASIN CB.	GLUE-LAM BEAM GLB.	ROUND HEADED WOOD SCREW R.H.W.S.
CEILING CEL.	GRADE GR.	RIGHT OF WAY R.O.W.
CEMENT CEM.	GROUND GRND.	SCHEDULE SCHD.
CENTER CTR.	GYPSON GYP.	SECTION SECT.
CENTER TO CENTER C.T.C.	HANGER HGR.	SELECT SECT.
CERAMIC CER.	HARDBOARD HDB.	SHEATHING SHTG.
CLEAN OUT TO FLOOR C.O.F.	HARDWARE HW.	SIDING SDG.
CLEAN OUT TO GRADE C.O.G.	HARDWOOD HW.	SIMILAR SIM.
CLEAR CLR.	HEADER HDR.	SINGLE ACTING SA.
CLOSED CLO.	HEATER HTR.	SLOPE S.
COLUMN COL.	HEIGHT HT.	SOLID CORE SC.
CONCRETE CONC.	HIGH STRENGTH BOLT HSB.	SPACE SP.
CONCRETE PIPE, UN-REINFORCED CP.	HOLLOW CORE HC.	SQUARE SQ.
CONSTRUCTION CONSTR.	HORIZONTAL HOR.	STAINLESS STEEL S.S.
CONSTRUCTION JOINT CJ.	HOSE BIB HB.	STANDARD STD.
CONTINUOUS CONT.	HOUR HR.	STEEL STL.
CORRUGATED METAL PIPE CMP.	INSIDE DIAMETER ID.	STRUCTURAL STR.
COUNTER CTR.	INSULATION INS.	SUSPENDED SUSP.
COUNTERSINK CSK.	INTERIOR INT.	SYMBOL SYMB.
CUBIC YARD CY.	INVERT INV.	SYMMETRICAL SYMM.
CURB INLET CI.	INVERT ELEVATION IE.	TELEPHONE TEL.
DETAIL DET.	JOINT JT.	TEMPERED TEMP.
DIAMETER DIA.	LAMINATE(D) LAM.	TERRAZZO TER.
DIMENSION DIM.	LAVATORY LAV.	TIE DOWN TD.
DISPENSER DISP.	MACHINE MACH.	TONGUE AND GROOVE T&G.
DOOR DR.	MACHINE BOLT MB.	TOP OF CURB TC.
DOUBLE DBL.	MAN HOLE MH.	TOP OF RAIL TR.
DOUBLE ACTING DA.	MANUFACTURE(R) MFR.	TYPICAL TYP.
DOUGLAS FIR DF.	MANUFACTURING MFG.	UNDERGROUND UG.
DOWN DN.	MAXIMUM MAX.	UNLESS OTHERWISE NOTED U.O.N.
DOWN SPOUT DS.	MECHANICAL MECH.	URNAL UR.
DRAIN DR.	METAL MTL.	VENT THROUGH ROOF VTR.
DRINKING FOUNTAIN DF.	MINIMUM MIN.	VERTICAL VERT.
DRAWING DWG.	MOUNTING MTG.	VERTICAL CURVE VC.
DUCTILE IRON PIPE DIP.	NEW NEW.	VERTICAL GRAIN VG.
EACH EACH.	NOMINAL NOM.	VINYL ASBESTOS TILE VAT.
EACH FACE EF.	NOT IN CONTRACT N.I.C.	VITREOUS CLAY PIPE VCP.
EACH WAY EW.	OBSCURE OB.	WAREHOUSE WHSE.
EDGE OF PAVEMENT EP.	ON CENTER OC.	WATER CLOSET WC.
ELECTRIC ELEC.	OPENING OPNG.	WATER HEATER WH.
ELECTRIC WATER COOLER EWC.	OPPOSITE OPP.	WATERPROOF W.P.
ELEVATION EL.	OUTSIDE DIAMETER OD.	WEAKENED PLANE JOINT W.P.J.
ELEVATOR ELEV.	OUTSIDE FACE OF STUD OFS.	WINDOW WDW.
EQUAL EQ.	OVAL HEADED WOOD SCREW OWHS.	WITH W.
EQUIPMENT EQUIP.		WITHOUT WO.
EXISTING (E)		WOOD WD.

### SYMBOLS LEGEND

	SECTION NO. DWG. NO.		ELEVATION		LEVEL LINE CONTROL POINT ON DATUM
	ELEVATION NO. DWG. NO.		MATCH LINE		KEYNOTES
	DETAIL NO. DWG. NO.		DOOR TYPE HARDWARE GROUP		WINDOW TYPE
	DOOR TYPE HARDWARE GROUP		DIMENSIONS TO FACE OF STUD OR WALL		DIMENSION TO CENTERLINE
	REVISION				

### MATERIALS LEGEND

	EARTHY COMPACTED FILL		ROUGH STRUCTURAL WOOD
	ROCK FILL		BLOCKING
	CONCRETE		FINISH WOOD
	MASONRY		PLYWOOD
	STONE		GYPSON WALL BOARD
	METAL		CERAMIC TILE

### PROJECT DATA

CJW Job No. 2018-2800  
PROJECT ADDRESS: 28 Dover Court, San Carlos, CA 94070  
ASSESSOR'S PARCEL No. 049-020-320

SCOPE OF WORK:  
RENOVATION OF, AND ADDITION TO, EXISTING RESIDENCE AND GARAGE;  
(N) ATTACHED ADU

BUILDING OCCUPANCY GROUPS:  
OCCUPANCY GROUP: R-3U  
TYPE OF CONSTRUCTION: V-B  
NUMBER OF STORIES: 3  
AUTOMATIC SPRINKLER SYSTEM: YES  
SEPTIC SYSTEM: NO

SITE DATA:  
ZONING DISTRICT: S-71 DISTRICT  
SITE AREA: 0.68 ACRES (24,529 S.F.)  
MAX LOT COVERAGE: N/A  
MAX ALLOWABLE BUILDING AREA: N/A  
MAX BUILDING HEIGHT: 30 FT FROM NAT. GRD.

SETBACKS:  
FRONT SETBACK: 20 FT  
REAR SETBACK: 20 FT  
SIDE SETBACKS: 5 FT

PROPOSED IMPERVIOUS SURFACE:  
DRIVES & PARKING: 1,605 SF  
PATIOS, WALKS & STAIRS: 3,843 SF  
TOTAL: 5,448 SF

ARCHITECT: CJW ARCHITECTURE  
130 PORTOLA ROAD, SUITE A  
PORTOLA VALLEY, CA 94028  
ATT.: KEVIN SCHWARTZKOPF  
TEL.: 650-851-9335 F. 650-851-9337  
E-MAIL: KEVIN@CJWARCHITECTURE.COM

SURVEYOR: B&H SURVEYING, INC.  
401 WALTERMIRE STREET  
BELMONT, CA 94002  
ATT.: MAYNE HAAS, P.L.S.  
TEL.: 650-637-1540  
E-MAIL: BTAYLOR@BGSURVEYING.COM

APPLICABLE CODES  
ALL CONSTRUCTION SHALL CONFORM TO THE:  
2019 CALIFORNIA BUILDING CODE  
2019 CALIFORNIA RESIDENTIAL CODE  
2019 CALIFORNIA PLUMBING CODE  
2019 CALIFORNIA MECHANICAL CODE  
2019 CALIFORNIA ELECTRICAL CODE  
2019 CALIFORNIA ENERGY CODE  
2019 CALIFORNIA FIRE CODE  
2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

AND LOCAL JURISDICTION OF THE COUNTY OF SAN MATEO

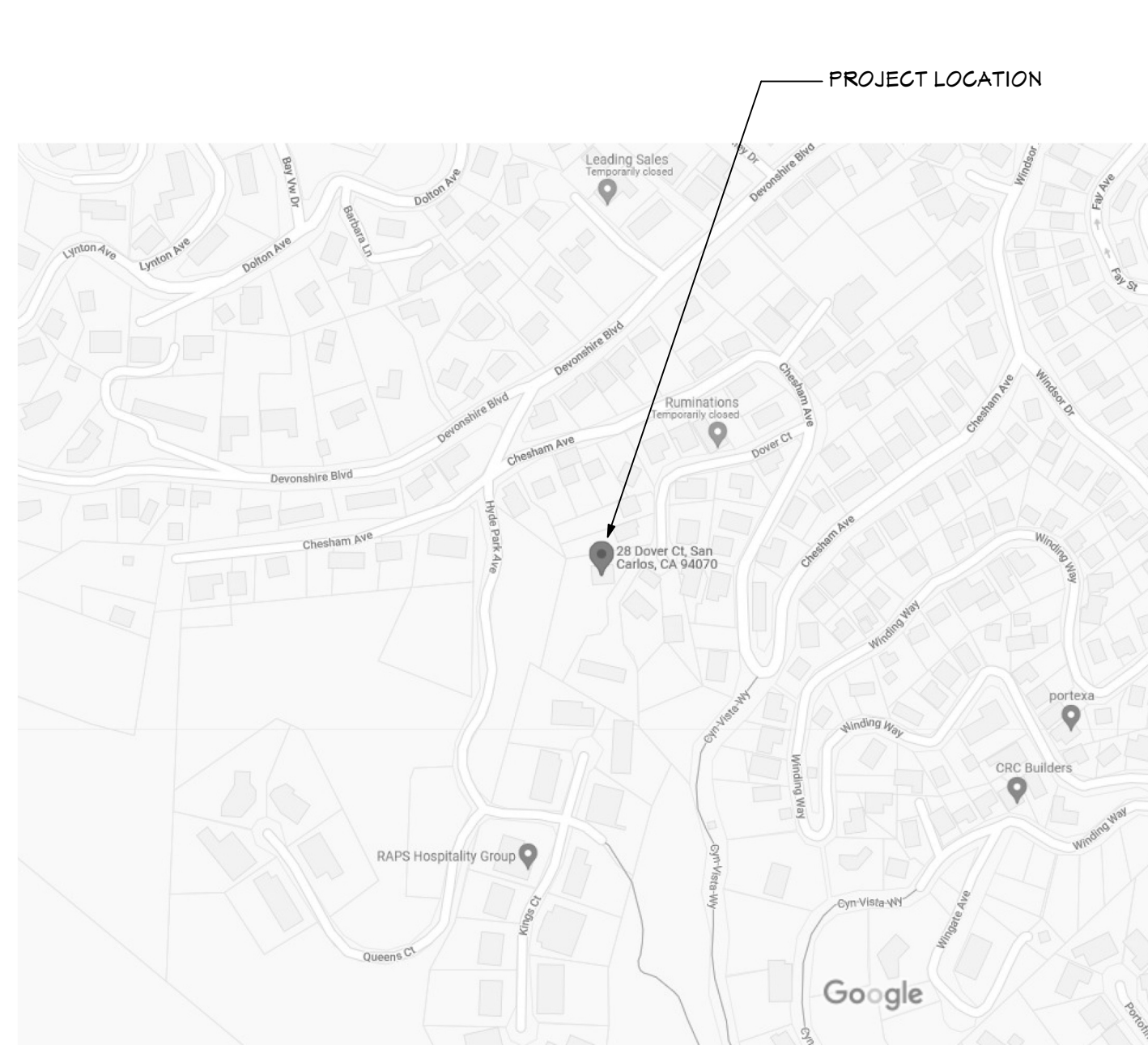
(E) MAIN HOUSE FLOOR AREA: 1,474 SF  
(E) MAIN LEVEL: 397 SF  
(E) LOWER LEVEL: 0 SF  
(E) ATTACHED GARAGE: 547 SF

TOTAL FLOOR AREA: 2,468 SF  
LOT COVERAGE: 1,474 SF

(N) PROPOSED FLOOR AREA: SEE CALCULATIONS T-0.2  
RESIDENCE MAIN LEVEL (E+N): 2,002 SF  
LOWER LEVEL (E+N): 1,194 SF  
BASEMENT LEVEL (N): 0 SF  
ATTACHED GARAGE (E): 547 SF

TOTAL RESIDENCE: 3,196 SF  
ATTACHED A.D.U. (N): 114 SF  
TOTAL (N) FLOOR AREA SITE: 4,502 SF  
LOT COVERAGE: 2,241 SF

### SITE LOCATION MAP



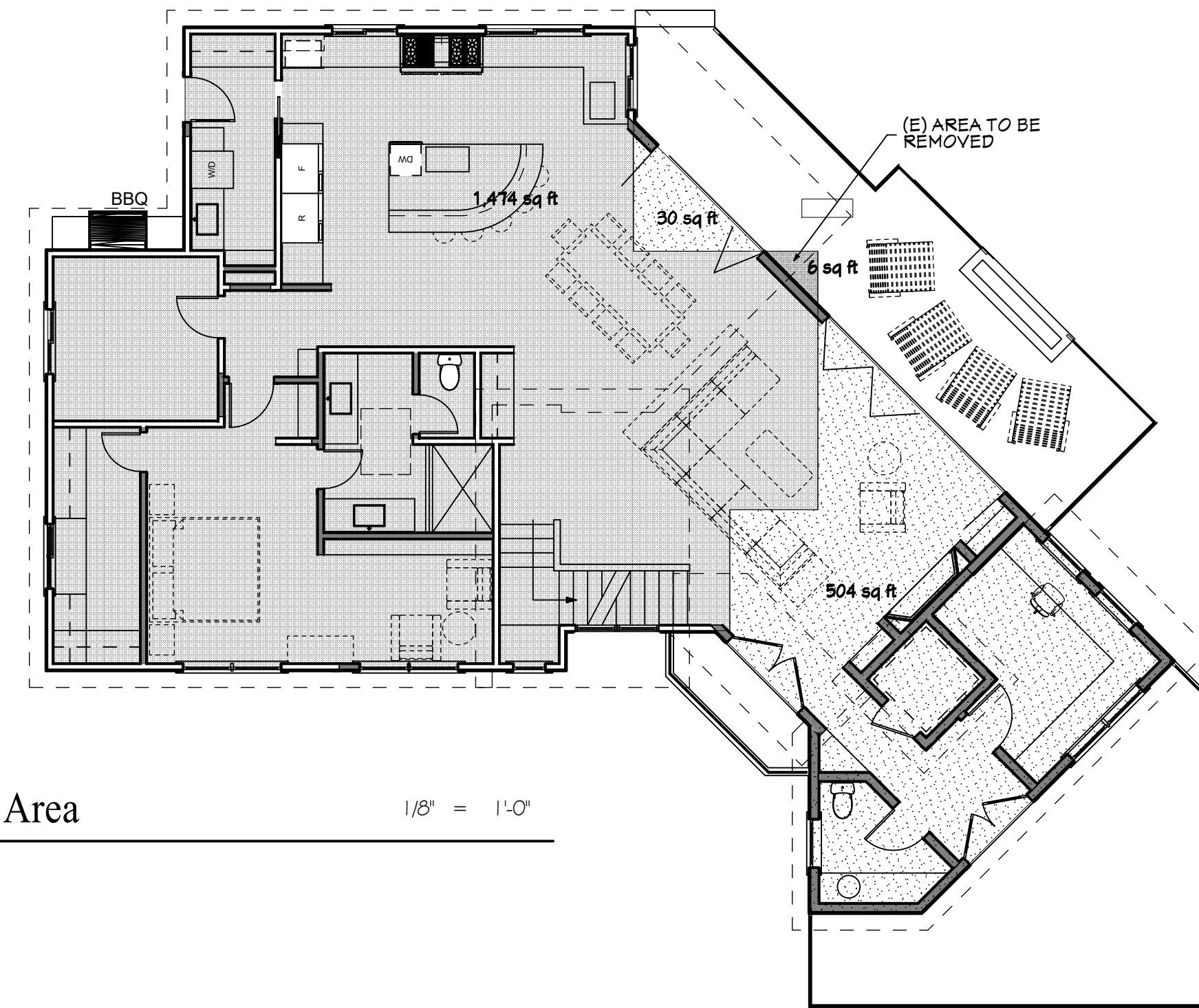
VICINITY MAP  
N.T.S.



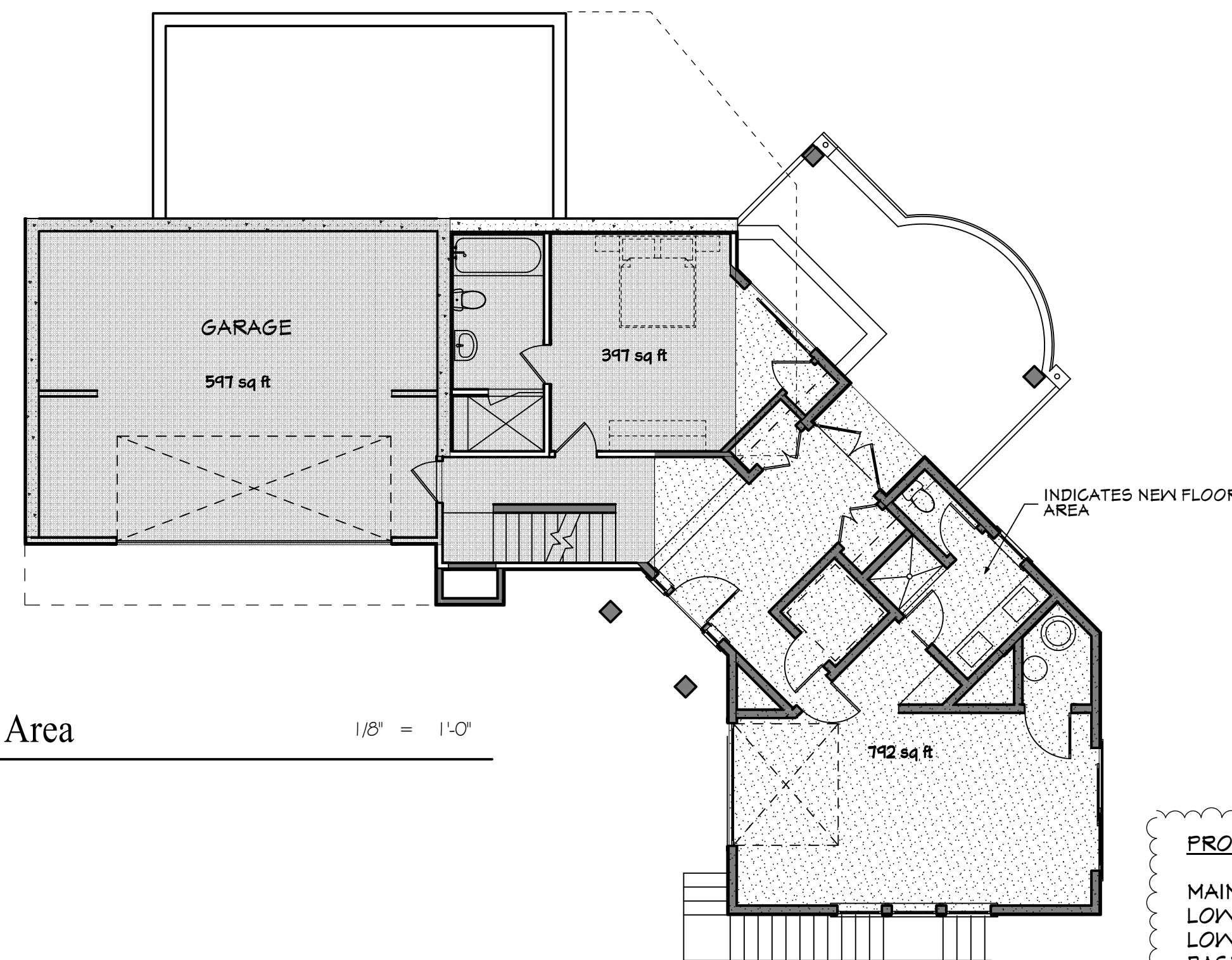
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Tuesday, October 24, 2023

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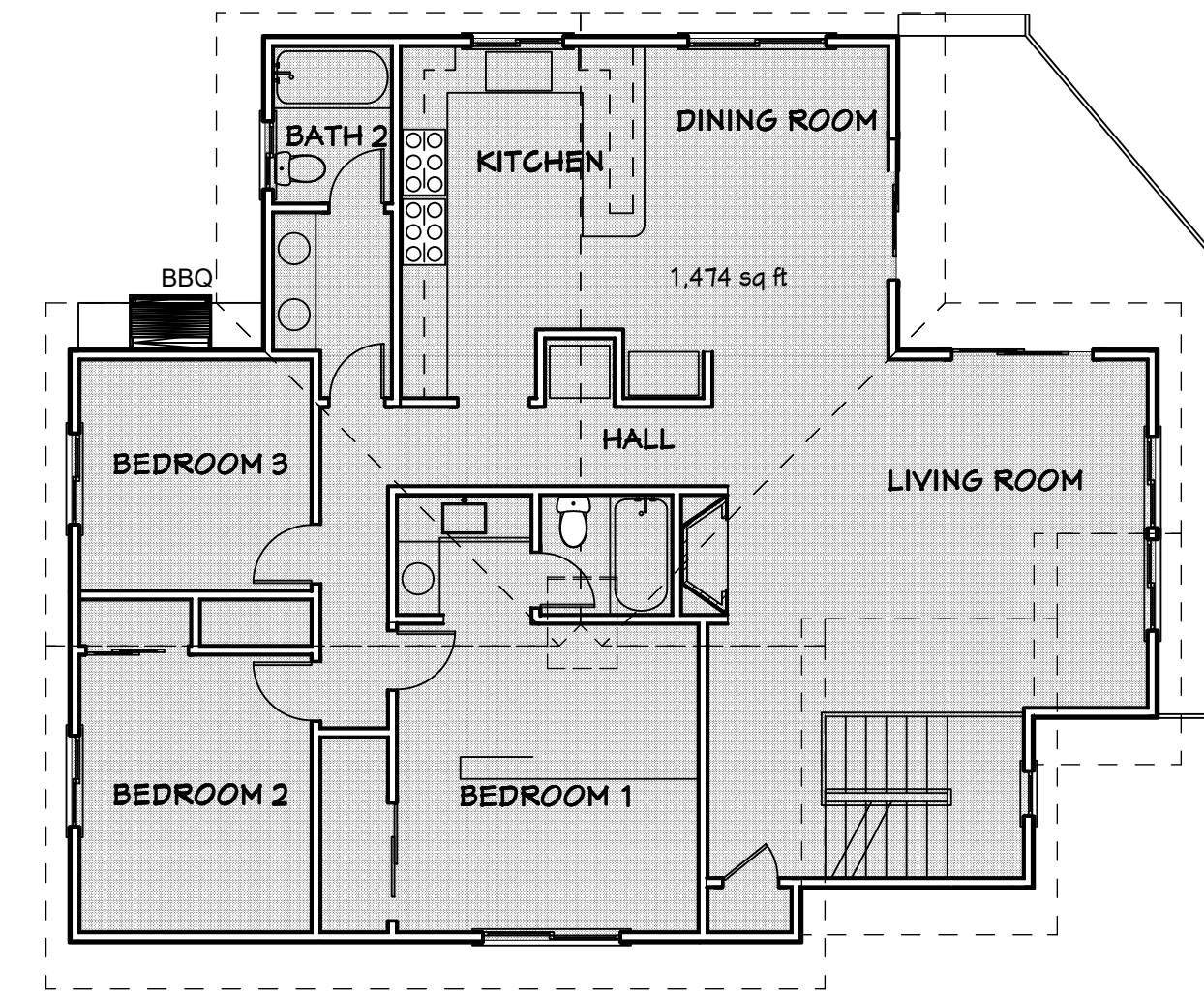


**3** (N) Main Level Floor Area 1/8" = 1'-0"

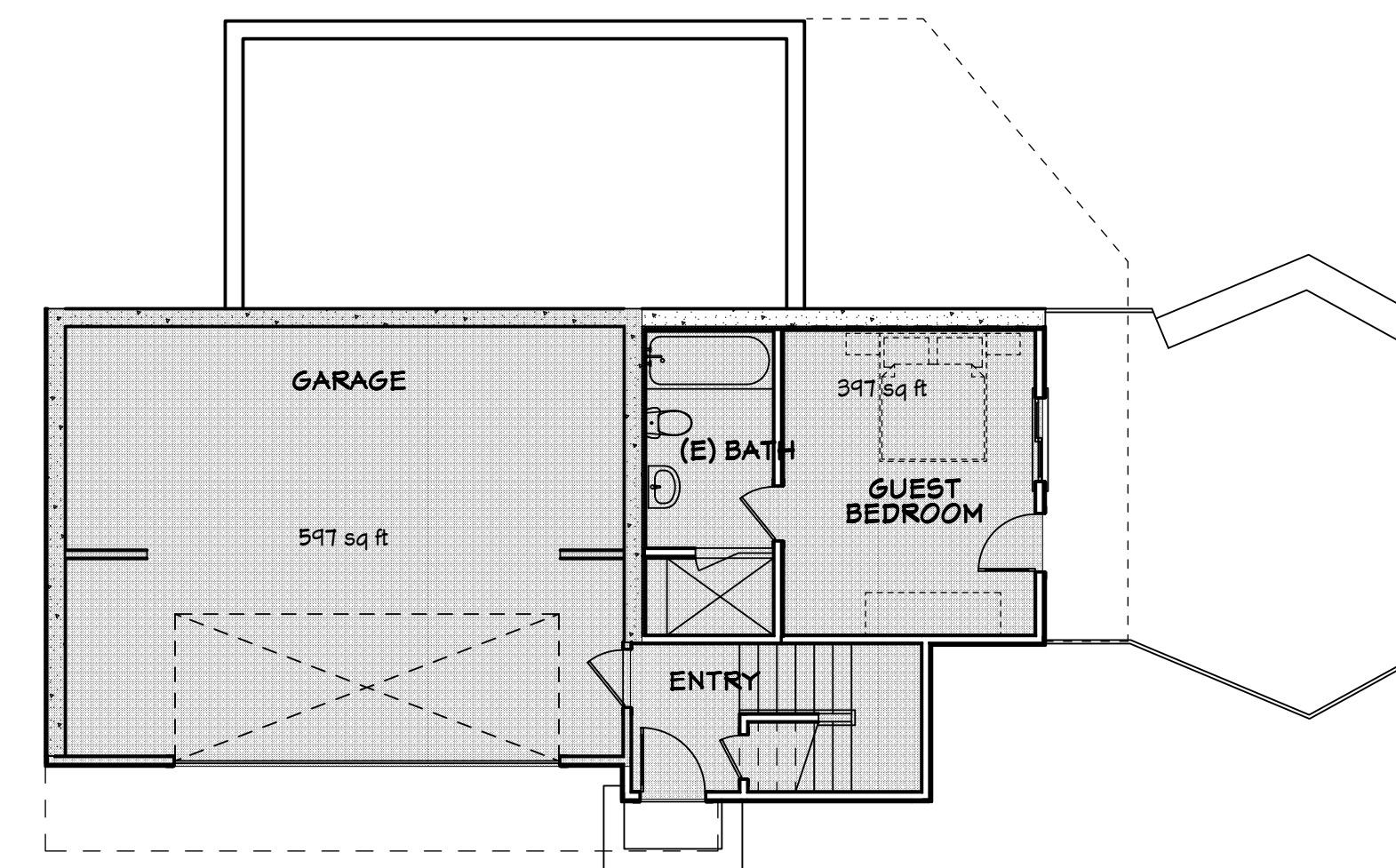


**4** (N) Lower Level Floor Area 1/8" = 1'-0"

PROPOSED FLOOR AREA	
MAIN FLOOR LIVING SPACE:	2,002 SF
LOWER LEVEL LIVING SPACE:	1,189 SF
LOWER LEVEL GARAGE:	597 SF
BASEMENT ADU:	714 SF
<b>TOTAL:</b>	<b>4,502 SF</b>

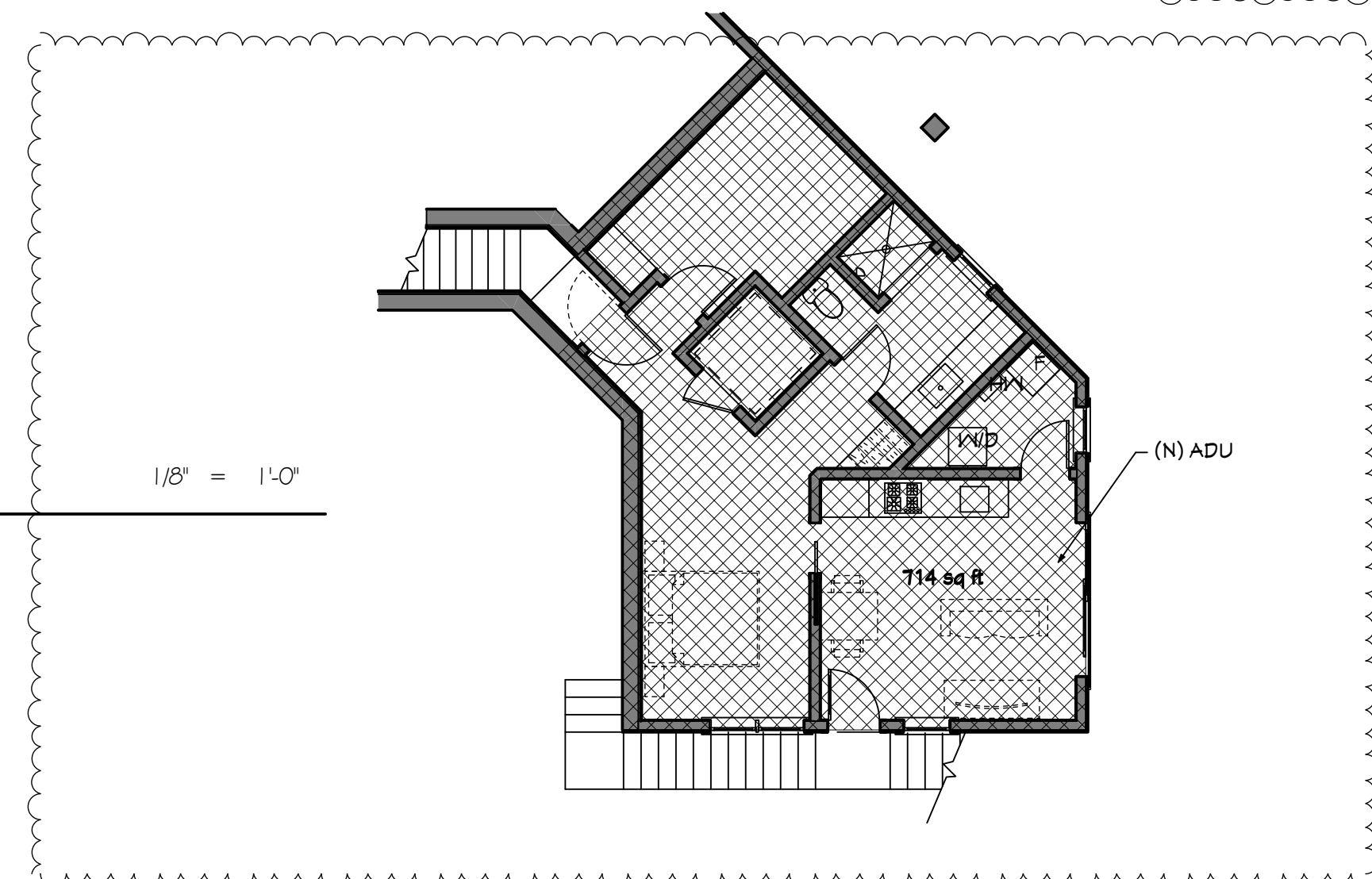


**1** (E) Main Level Floor Area 1/8" = 1'-0"

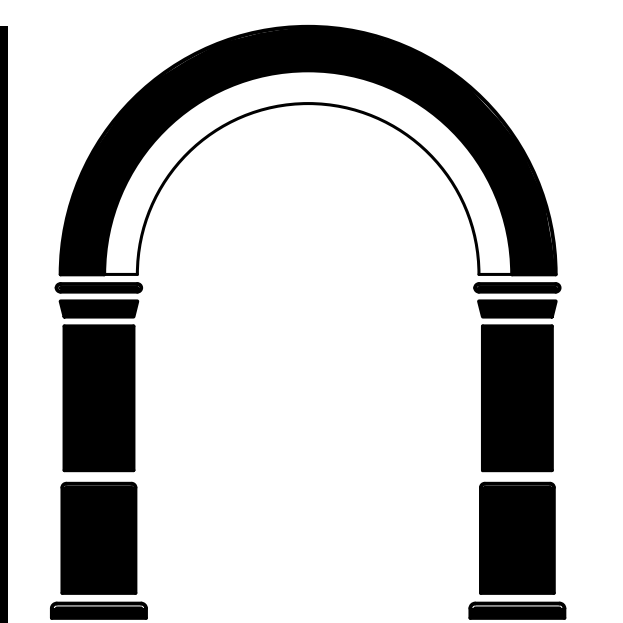


**2** (E) Lower Level Floor Area 1/8" = 1'-0"

EXISTING FLOOR AREA	
MAIN FLOOR LIVING SPACE:	1,474 SF
LOWER LEVEL LIVING SPACE:	397 SF
LOWER LEVEL GARAGE:	597 SF
<b>TOTAL:</b>	<b>2,468 SF</b>

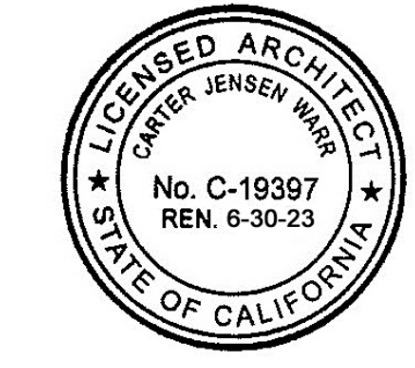


**5** (N) Basement Level Floor Area 1/8" = 1'-0"



**CJW ARCHITECTURE**  
 130 Portola Road, suite A  
 Portola Valley, CA 94028  
 (650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Amerman-Klingler Residence  
 28 Dover Ct  
 San Carlos CA 94070

• SHEET TITLE •

Floor Area Calculations

• REVISIONS •

No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

• JOB: 2018-2800

• DATE: 10/14/2022

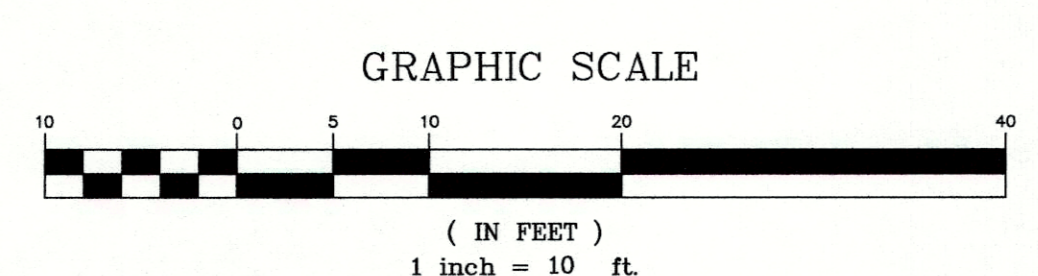
• SHEET: T-0.2

LANDS OF KLINGLER AND AMERMAN  
 DOC. NO. 2008-002468  
 AREA = 29,529± SQ. FT.  
 PARCEL B

LANDS OF ZAAROUR  
 DOC. NO. 2014-002261  
 PARCEL A

LANDS OF MERITT AND MORILLA  
 DOC. NO. 9A-024173

- LEGEND:**
- FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "—" 3138" AND TACK, PER 54 PM 99-100, UNLESS OTHERWISE NOTED
  - FOUND 3/4" BRASS TAG (ILLEGIBLE) AND NAIL PER COR. REC. #596, UNLESS OTHERWISE NOTED
  - A/C ASPHALTIC CONCRETE
  - BW BACK OF WALK
  - CB CATCH BASIN
  - CIP CAST IRON PIPE
  - CM CORRUGATED METAL PIPE
  - CONC CONCRETE
  - CO CLEAN-OUT
  - DI DROP INLET
  - EM ELECTRIC METER
  - FD FOUND
  - FF FINISHED FLOOR
  - FL FLOW LINE
  - FM FIRE HYDRANT
  - GA GUY ANCHOR
  - GM GAS METER
  - GRD GROUND
  - HCR HANDICAP RAMP
  - INV INVERT
  - IP IRON PIPE
  - JP JOINT POLE
  - LAT LATERAL
  - LC LIP OF CUTTER
  - O/H OVERHEAD
  - P.U.E. PUBLIC UTILITIES EASEMENT
  - RCF REINFORCED CONCRETE PIPE
  - RET. WALL RETAINING WALL
  - R/W RIGHT OF WAY
  - SSCO SANITARY SEWER CLEAN-OUT
  - SSMH SANITARY SEWER MANHOLE
  - SDMHS STORM DRAIN MANHOLE
  - TBC TOP BACK OF CURB
  - T/W TOP OF WALL
  - U/G UNDERGROUND
  - VCP VITRIFIED CLAY PIPE
  - WV WATER VALVE
  - WM WATER METER BOX
  - CTV CABLE TELEVISION LINE
  - EL ELECTRICAL LINE
  - GL GAS LINE
  - SSL SANITARY SEWER LINE
  - SDM STORM DRAIN LINE
  - TL TELEPHONE LINE
  - W WATER LINE
  - STK STACKED STONE
  - RET. WALL RETAINING WALL
  - STR. WALL STRUCTURAL (CONCRETE) RETAINING WALL



SCALE: 1" = 10'

**UTILITY NOTE:**

THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**EASEMENT NOTES:**

- 1) AN EXCLUSIVE EASEMENT EXISTS OVER THE LANDS OF KLINGLER AND AMERMAN, BENEFITING THE LANDS OF ZAAROUR, FOR INGRESS, EGRESS, AND MAINTAINING AND REPLACING A DRIVEWAY AND LIGHT FIXTURES, PER DOC. NO. 87-004299 (PARCEL THREE, DOC. 2014-002261). NO BOUNDARY IS DEFINED FOR THIS EASEMENT. REFER TO SAID DOCUMENT FOR MORE DETAILS.
- 2) DOC. NO. 84-094623 GRANTS THE RIGHT FOR THE SEWER LINE AND EASEMENT TO BE RELOCATED WITHIN PARCEL B (OUR SUBJECT PARCEL), AND FOR A NEW SEWER EASEMENT TO BE RECORDED. THE SEWER LINE APPEARS TO HAVE BEEN RELOCATED, AS SHOWN, BUT NO NEW SEWER EASEMENT IS STATED IN THE TITLE REPORT.
- 3) THE 5' P.U.E. SHOWN HEREON WAS CREATED BY DOCUMENT 667 O.R. 109 RECORDED IN 1935 AND REFERENCED IN THE TITLE REPORT. THE EASEMENT IS NOT SHOWN ON THE PARCEL MAP 54 PM 99 - 100 FILED IN 1984. IT WAS LIKELY ABANDONED AND REPLACED BY THE 10' SEWER EASEMENT SHOWN ON THE PARCEL MAP. THE TITLE COMPANY SHOULD BE CONSULTED FOR CLARIFICATION.

**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
 TBM: FOUND MAG NAIL AND WASHER IN DOVER COURT, AS SHOWN.  
 ELEVATION = 104.33'

**BASIS OF BEARINGS:**

THE BEARING S46°58'25"E BETWEEN A FOUND BRASS TAG AND A FOUND PK NAIL, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN VOLUME 28 OF L.L.S. MAPS AT PAGE 72, SAN ANTEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LANDS OF KLINGLER AND AMERMAN  
 DOCUMENT # 2008-002468 O.R.

PARCEL B  
 "PARCEL MAP, BEING A RESUBDIVISION... 8013 O.R. 2183..."  
 VOLUME 54 OF PARCEL MAPS AT PAGES 99 - 100  
 ASSESSOR'S PARCEL NUMBER: 049-030-320  
 (28 DOVER COURT, SAN CARLOS)  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA  
 SCALE: 1" = 10' SEPTEMBER, 2019

**B & H SURVEYING, INC.**  
 PROFESSIONAL LAND SURVEYING  
 901 WALTERMIRE ST.  
 BELMONT, CA 94002  
 OFFICE (650) 637-1590







**Airis Large Dark Sky Friendly Outdoor Sconce**

Base Item #307930  
Configured Item #307930-1024  
307930-SKT-77-110241

**FINISH**  
Coastal Dark Smoke - 77

**GLASS**  
Seeded Clear Glass (8)

**LAMPING**  
Incandescent

**OPTIONS**

FINISH	GLASS	LAMPING
Coastal Oil Rubbed Bronze - 14	Seeded Clear Glass (8)	Incandescent
Coastal Natural Iron - 20		
Coastal Bronze - 75		
Coastal Dark Smoke - 77		
Coastal Burnished Steel - 78		
Coastal Black - 80		

**SPECIFICATIONS**

**Airis Large Dark Sky Friendly Outdoor Sconce**  
Base Item # 307930  
Configured Item # 307930-1024  
307930-SKT-77-110241

- Aluminum direct wire exterior wall sconce. Designed and built to Dark Sky standards.
- Handcrafted to order by skilled artisans in Vermont, USA
- Lifetime Limited Warranty when installed in residential setting
- Features our robust Coastal Outdoor finish specifically formulated to resist some of the harshest environmental conditions.

**Socket Lamping**  
Socket: GU10  
Bulb: MR-16 reflector, 50W Max  
Number of Bulbs: 1 (not included)  
IES Files Available: N

**Location Rating**  
Outdoor Wet  
**Safety Rating**  
UL, CUL listed

Dimensions	
Height	33.00"
Width	6.80"
Projection	4.00"
Product Weight	12.00 lbs
Backplate	33.00" x 6.10"
Vertical Mounting Height	18.50"
Packed Weight	16.00 lbs
Shipping (DIM) Weight	31.00 lbs

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**FXLuminaire**

Down Lights

**ZC Down Light DESIGNER PLUS**

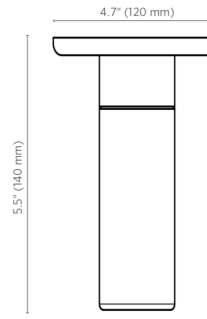


The ZC is designed for external spaces where recessed down lights are not practical. The fixture is ideal for use in modern architectural designs.

**Quick Facts**

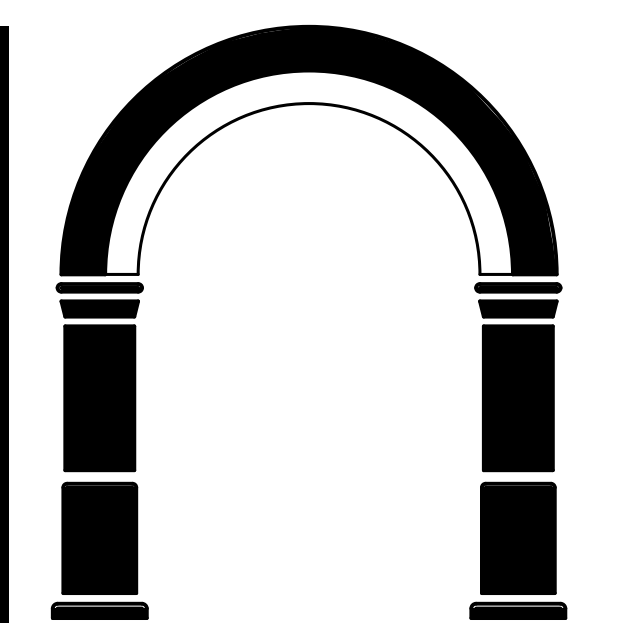
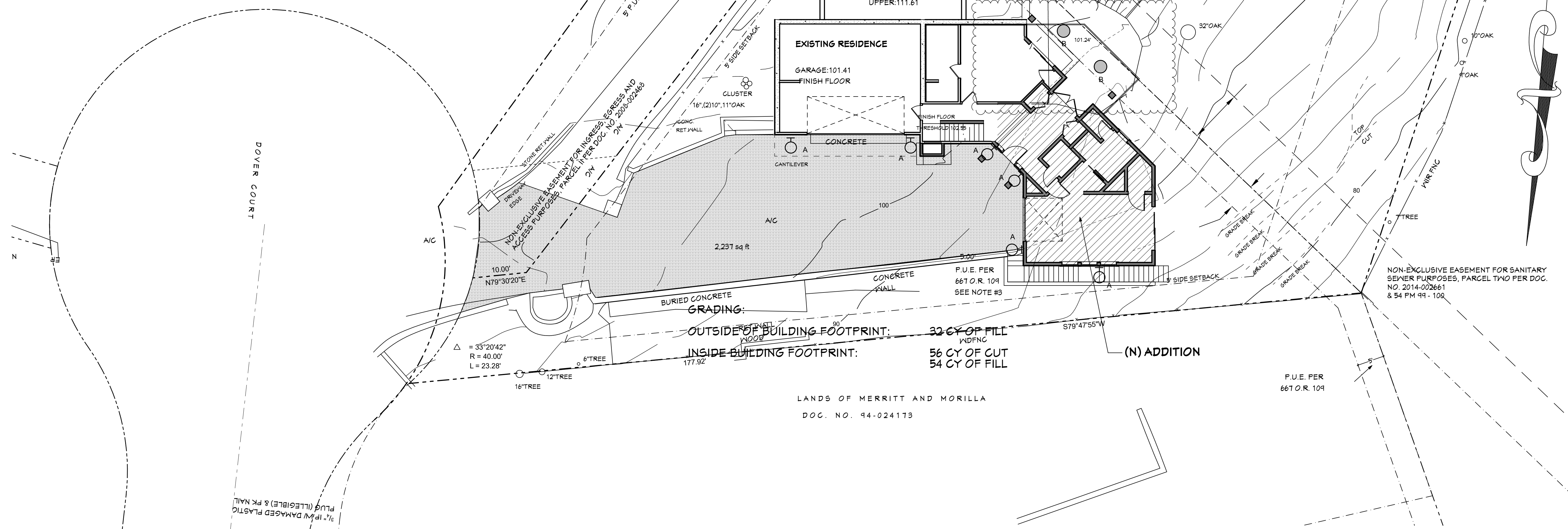
- Powder-coated aluminum, natural stainless steel, or natural copper finishes
- Compatible with Luxor® technology
- Input voltage: 10-15 V
- Creed® integrated LEDs
- Phase and PWM dimmable

PROJECT \_\_\_\_\_  
CATALOG# \_\_\_\_\_  
TYPE \_\_\_\_\_  
NOTES \_\_\_\_\_



**SITE LIGHT FIXTURE A**

**SITE LIGHT FIXTURE B**



**CJW ARCHITECTURE**

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(650) 851-9335 / (Fax) 851-9337

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• PROJECT •

Amerman-Klingler Residence

28 Dover Ct  
San Carlos CA 94070

• SHEET TITLE •

(N) Site Plan

• REVISIONS •

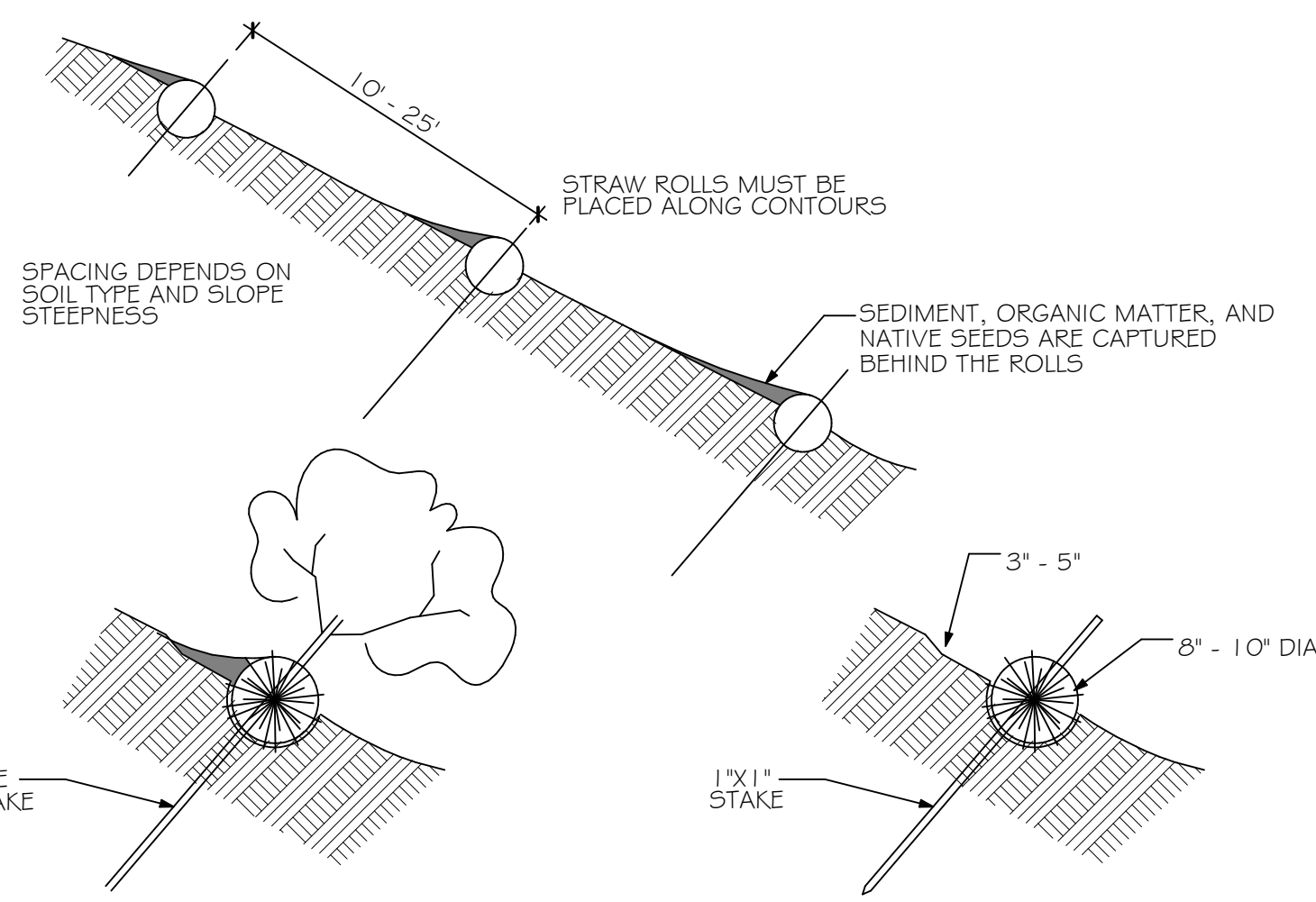
No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

• JOB: 2018-2800

• DATE: 10/14/2022

• SHEET: A-1.2

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 Tuesday, October 24, 2023 9:49 AM



- NOTES:
- STRAW ROLL INSTALLATION REQUIRES THE REPLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH 3'-5" DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND THE ROLL. ROLLS ARE TO BE STAKED EVERY 3'-4', AND ADJACENT ROLLS SHALL TIGHTLY ABUT.
  - VERTICAL SPACING FOR SLOPE INSTALLATIONS:
    - 1:1 SLOPES = 10 FEET APART
    - 2:1 SLOPES = 20 FEET APART
    - 3:1 SLOPES = 30 FEET APART
    - 4:1 SLOPES = 40 FEET APART
  - INSPECT AND REPAIR STRAW ROLLS AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
  - REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.

## 2 Straw Rolls

1/2" = 1'-0"

### POLLUTION PREVENTION

- PROTECT DOWN SLOPE DRAINAGE COURSE, STREAMS, AND STORM DRAINS WITH ROCK BAGS, HAY BALES, TEMPORARY DRAINAGE SWALES, SILT FENCES, BERMS, OR STORM DRAIN INLET FILTERS.
- THE EXISTING DRIVEWAY (PAVED) WILL BE USED AS A STABILIZED CONSTRUCTION ENTRANCE TO THE PROPERTY.
- STRAW ROLLS SHALL BE INSTALLED PRIOR TO THE INCEPTION OF ANY WORK ON-SITE, AND SHALL REMAIN IN PLACE UNTIL THE LANDSCAPING GROUND COVER IS INSTALLED.
- DRY SWEEPING METHODS SHALL BE USED TO REMOVE ANY DEBRIS AND/OR SOIL TRACKED ONTO WESTRIDGE DRIVE. DRY SWEEPING SHALL BE DONE AT THE END OF EACH WORK DAY.
- THE CONTRACTOR SHALL FOLLOW AND USE BEST MANAGEMENT PRACTICES (BMP) FOR DISCHARGE INTO THE TOWN'S STORM WATER SYSTEM DURING SITE STRIPPING, HAULING, EARTH MOVING ACTIVITIES, HEAVY EQUIPMENT OPERATIONS AND GENERAL CONSTRUCTION. THOROUGHLY SUPERVISE THE WORK AT ALL TIMES TO INSURE NO PAINTING MATERIALS, SOLVENTS, ADHESIVES, LANDSCAPING MATERIALS OR OTHER SUCH MATERIALS WASH AWAY FROM THE SITE OR OTHERWISE ENTER THE FLOW OF STORM WATER RUNOFF.
- STOCKPILED MATERIAL SHALL BE COVERED WITH POLY-ETHYLENE SHEETING OR A TARPULIN UNTIL THE MATERIAL IS REMOVED FROM THE SITE. ANY REMAINING BARE SOIL THAT EXISTS AFTER THE STOCKPILE HAS BEEN REMOVED SHALL BE COVERED UNTIL A NATURAL GROUND COVER IS ESTABLISHED, OR IT MAY BE SEEDED OR PLANTED TO PROVIDE GROUND COVER PRIOR TO THE FALL RAINY SEASON.
- DUST CONTROL SHALL BE DONE BY WATERING.
- IF EROSION DEVELOPS IN A TEMPORARY EROSION PROTECTED AREA OR ANY ESTABLISHED VEGETATED AREA, THE CONTRACTOR SHALL IMMEDIATELY ALLEVIATE AND REMEDY THE PROBLEM AND TAKE PREVENTATIVE MEASURES TO MINIMIZE THE POSSIBILITY OF ITS REURRENCE, AND ALSO TO PREVENT THE RESULTING FLOW OF SOILS OR WATER WITH SUSPENDED SOILS FROM GETTING INTO THE TOWN'S DRAINAGE SYSTEM OR ANY NATURAL DRAINAGE CHANNEL OR DITCH.
- ALL DISTURBED SOILS SHALL BE "MATTED" AND SEEDED WITHIN TWO (2) WEEKS OF "FINAL DISTURBANCE".
- STOCKPILE SHALL BE COVERED, PROTECTED WITH SANDBAGS, AND PROVIDED WITH ADDITIONAL PROTECTION AT THE BASE UNTIL AFTER APRIL 15. NO FILLING OR SPREADING OF MATERIAL CAN OCCUR UNTIL AFTER APRIL 15.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSPECTED AND APPROVED PRIOR TO THE RELEASE OF PERMITS.
- STEEP GRADED SLOPES SHALL BE PROTECTED WITH A PERMANENT EROSION CONTROL FABRIC, SUCH AS ENKAMAT 7000 SERIES OR EQUIVALENT.
  - A) ENKAMAT CONTACT INFO: P.O. BOX 1057, SAND HILL ROAD, ENKA, NC 28728, PHONE (800) 365-7391, (828) 665-5050
  - B) THE CONTRACTOR SHALL HANDLE, STORE, PLACE, AND INSTALL ANCHOR THE PERMANENT EROSION CONTROL SLOPE FABRIC IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS AND INSTALLATION SPECIFICATIONS AND DETAILS.
  - C) THE CONTRACTOR AND/OR HOME OWNER SHALL INSPECT, MAINTAIN AND REPAIR PERMANENT EROSION CONTROL SLOPE FABRIC IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS AND NOTES IDENTIFIED ABOVE.

FOR FURTHER INFORMATION, CONTACT: Mr. Howard Young, Portola Valley Public Works Director, (650) 851-1700 ex. 14, hyoung@portolavalley.net

SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, 555 COUNTY CENTER, REDWOOD CITY, CA 94063, (650) 363-4100

### TREE PROTECTION NOTES

- PLEASE NOTE THAT THE PRESERVATION OF TREES ON THIS SITE IS OF PARTICULAR INTEREST TO THE OWNER, NEIGHBORS AND THE TOWN OF PORTOLA VALLEY. TAKE EXTRAORDINARY MEASURES TO INSURE THE HEALTH OF ALL TREES TO REMAIN INCLUDING PERIODIC WATERING, FEEDING AND OTHER MAINTENANCE RECOMMENDED BY THE ARBORIST.
- GRADING OPERATIONS TO ENCROACH NO CLOSER THAN EIGHT TIMES THE TRUNK DIAMETER (I.E. 30" DIA. x 8 = 240" DISTANCE), SHOULD ENCROACHMENT WITHIN THE AREA BECOME NECESSARY, HAND DIGGING IS MANDATORY.
- PRIOR TO INITIATION OF CONSTRUCTION ACTIVITY, INSTALL TEMPORARY BARRICADES AROUND ALL TREES IN THE CONSTRUCTION AREA DESIGNATED TO RECEIVE TREE PROTECTION. PROVIDE 5' HIGH CHAIN LINK FENCING, MOUNTED ON STEEL POSTS, DRIVEN 2 FEET INTO THE GROUND, AT NO GREATER THAN 10-FOOT SPACING. THE FENCES SHALL ENCLOSE THE ENTIRE AREA UNDER THE DRIP LINE OF THE TREES OR AS CLOSE TO THE DRIP LINE AS PRACTICAL. THESE BARRICADES SHALL BE PLACED AROUND INDIVIDUAL TREES AND/OR GROUPS OF TREES AS THE EXISTING ENVIRONMENT DICTATES AND AS DIAGRAMED ON THE PLAN.
- NO STORAGE OF MATERIAL, TOPSOIL, VEHICLES OR EQUIPMENT SHALL BE PERMITTED WITHIN THE TREE ENCLOSURE AREA. THE GROUND AROUND THE TREE CANOPY SHALL NOT BE ALTERED. TREE PROTECTION FENCING SHALL REMAIN IN PLACE UNTIL FINAL INSPECTION APPROVAL BY THE BUILDING OFFICIAL OR AS DIRECTED BY THE ARCHITECT.

### CONSTRUCTION STAGING NOTES

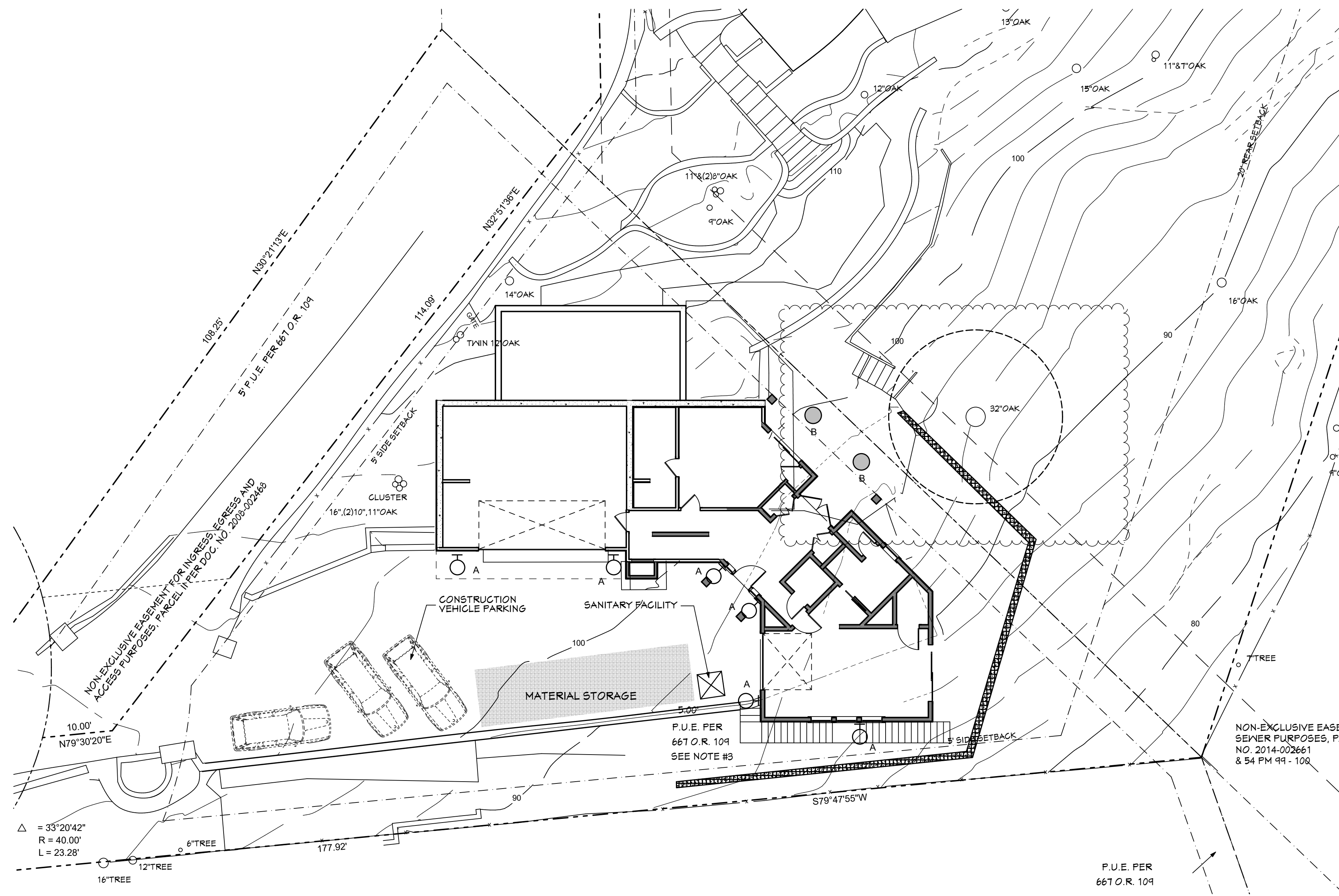
- CONSTRUCTION ACCESS IS VIA EXISTING DRIVEWAY.
- PROPOSED ON-SITE CONSTRUCTION VEHICLE PARKING AS SHOWN ON STAGING SITE PLAN. ALLOW FOR 6 VEHICLES.
- STORAGE OF MATERIALS OR EQUIPMENT ON THE STREET IS STRICTLY PROHIBITED. STORE MATERIALS AND EQUIPMENT AWAY FROM TREE PROTECTION AREAS OR EROSION CONTROL MEASURES.
- LOCATION OF PORT-A-POTTY AND DUMPSTER PER PLANS.
- PROVIDE AND INSTALL FENCING FOR TREE PROTECTION AS DIRECTED ABOVE AND AS FURTHER REQUIRED BY THE TOWN OR ARCHITECT.
- PORTOLA VALLEY CONSTRUCTION HOURS ARE LIMITED TO MONDAY THROUGH FRIDAY ONLY BETWEEN 8:00 a.m. AND 5:30 p.m. NO DELIVERIES OR RUNNING OF EQUIPMENT PRIOR TO 8:00 a.m. FAILURE TO COMPLY WITH TOWN CONSTRUCTION HOURS MAY RESULT IN A STOP WORK NOTICE.
- AT NO TIME SHALL THE STREET BE CLOSED OR BLOCKED. USE FLAGMEN WHEN DELIVERIES OR CONSTRUCTION RESTRICT ANY PORTION OF THE RIGHT OF WAY.
- LIMIT ON-STREET VEHICLE PARKING TO ONE SIDE OF THE STREET ONLY. VEHICLES MAY NOT PARK ON BOTH SIDES OF THE STREET.
- ALL PROTECTIVE FENCING SHALL BE MAINTAINED IN PLACE THROUGHOUT THE DURATION OF CONSTRUCTION.
- NO DEMOLITION OR CONSTRUCTION MAY COMMENCE UNTIL ALL PROTECTIVE FENCING HAS BEEN INSTALLED, INSPECTED, AND APPROVED BY THE PORTOLA VALLEY PUBLIC WORKS INSPECTOR.
- MAINTAIN A CLEAN SITE AND CLEAR RIGHT-OF-WAY. CLEAN ANY DEBRIS OR DIRT FROM STREET IMMEDIATELY. MAINTAIN THE SITE IN AN ORDERLY FASHION PER THE APPROVAL OF THE ARCHITECT.
- ESTABLISH TEMPORARY POWER FOR CONSTRUCTION FROM THE EXISTING SERVICE. LOCATE THE TEMPORARY PANEL IN A CONVENIENT LOCATION AS ACCEPTABLE TO THE ARCHITECT.

**LEGEND**

STRAW ROLLS, SEE (1)/A-O.2

**TREE PROTECTION**

5' HIGH MIN. CHAIN LINK FENCE FOR TREE PROTECTION STAKED @ 4' DIA. MIN. FROM TREE TRUNKS, TYP. TREE PROTECTION FENCING IS TO BE INSTALLED PRIOR TO CONSTRUCTION COMMENCING. THE FENCING SHALL REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.



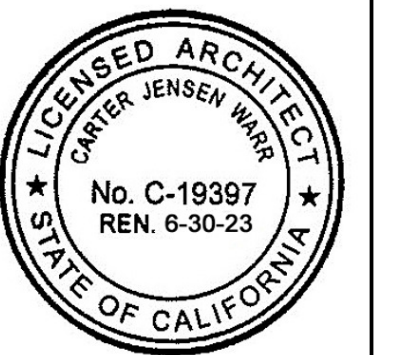
## 1 Construction Staging / Erosion Control

1" = 10'

CJW ARCHITECTURE

130 Portola Road, suite A  
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• PROJECT •

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• SHEET TITLE •

Construction Staging &  
Erosion Control

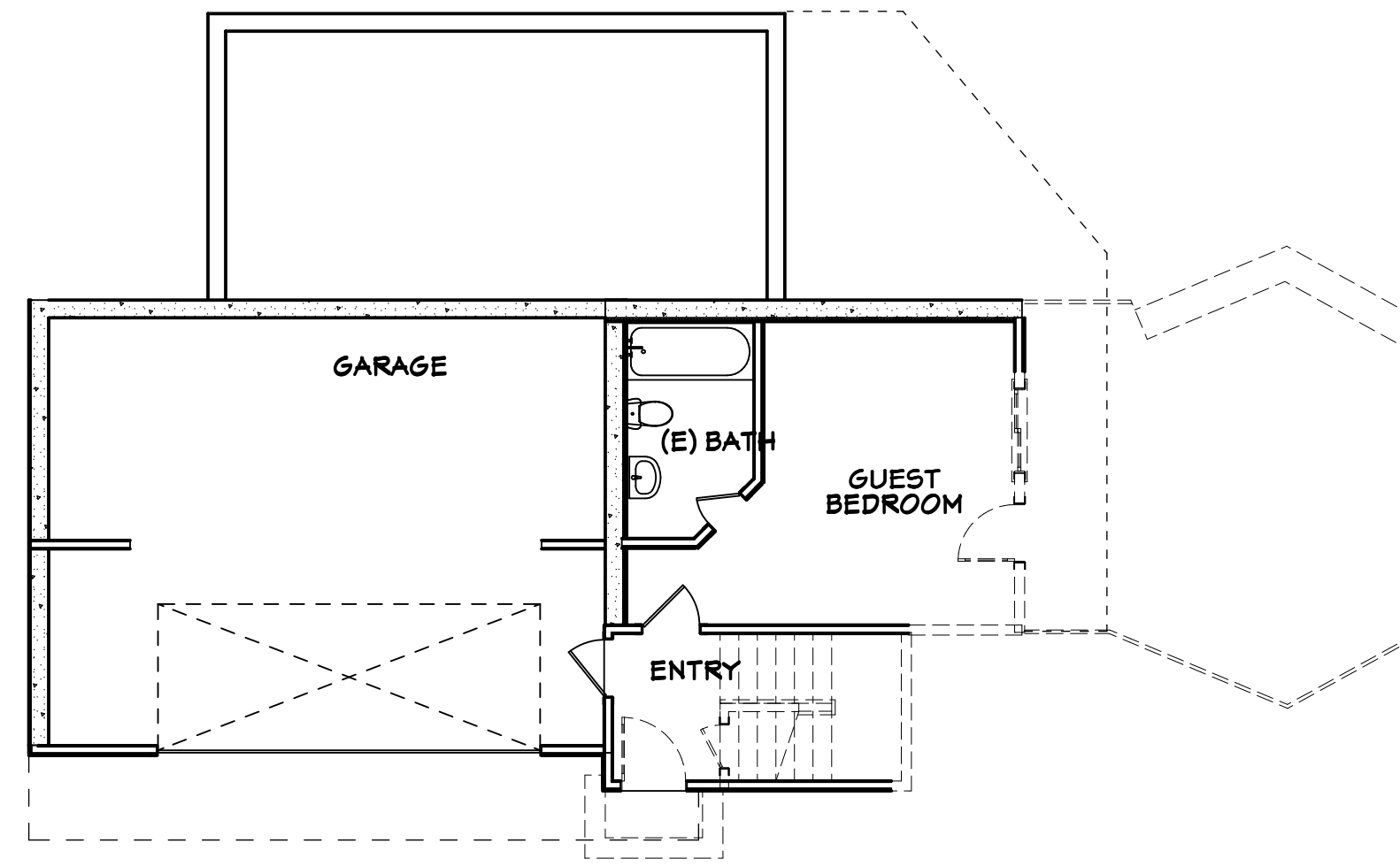
• REVISIONS •

No.	Date	Notes
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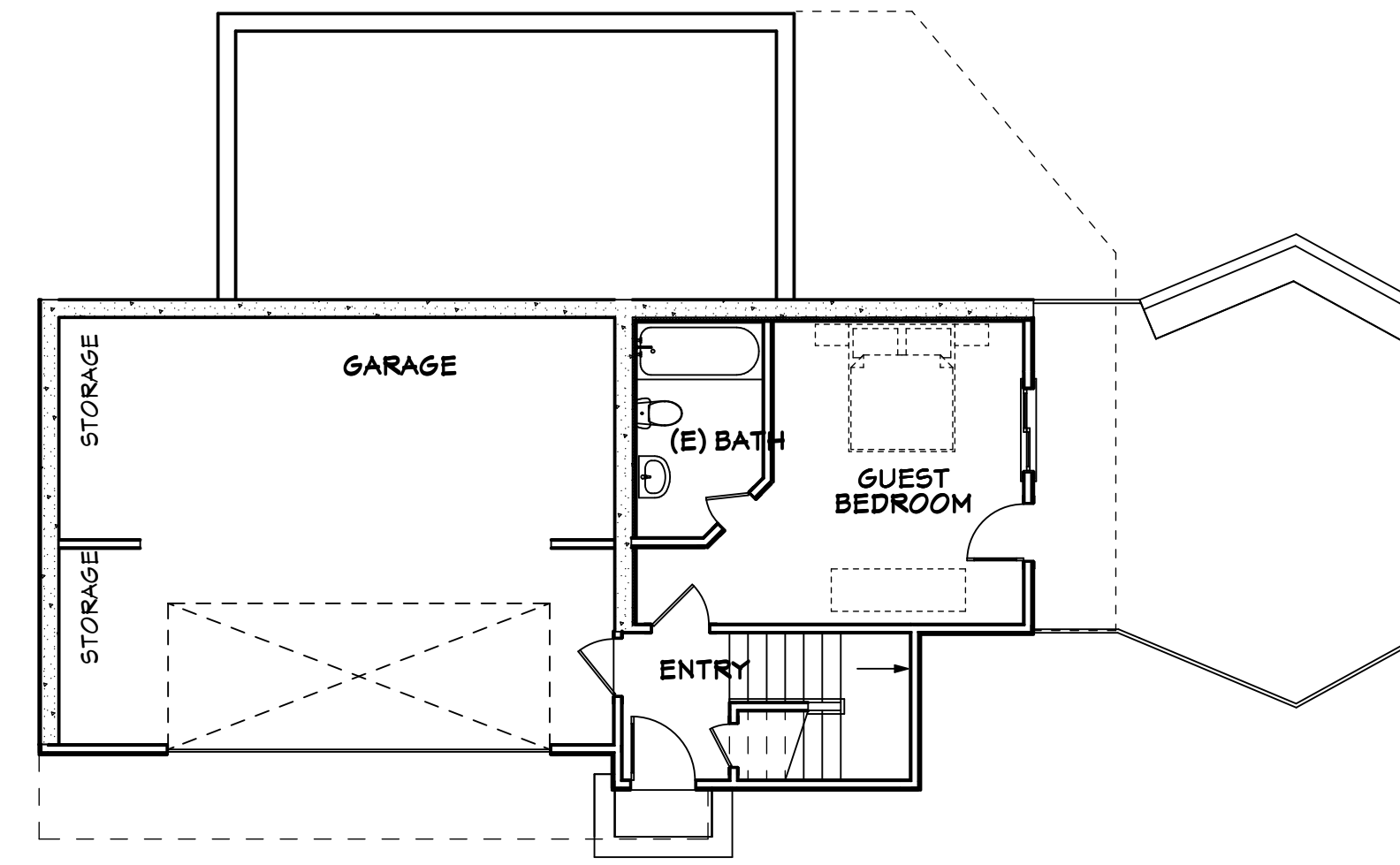
• JOB: 2018-2800

• DATE: 10/14/2022

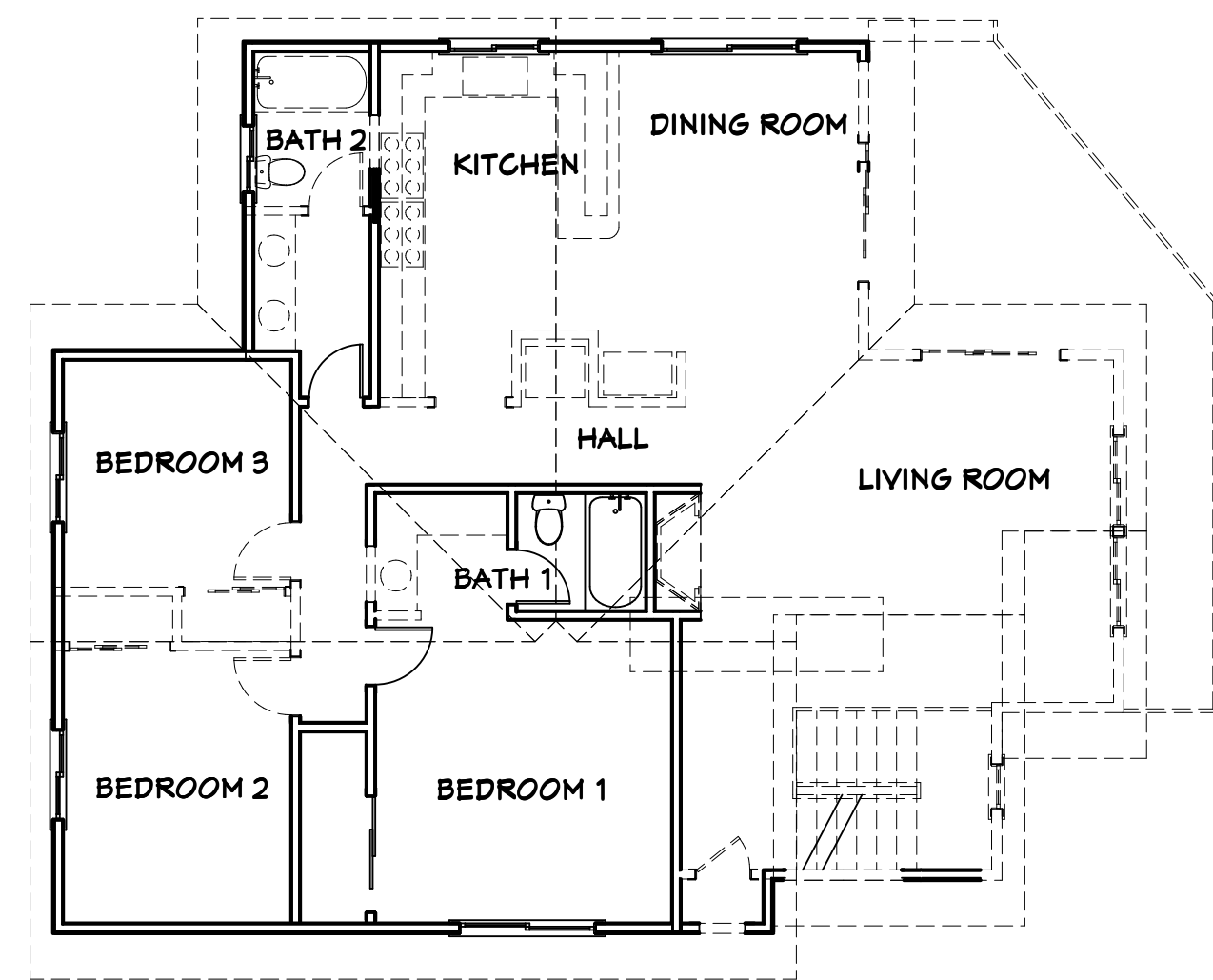
• SHEET: A-1.3



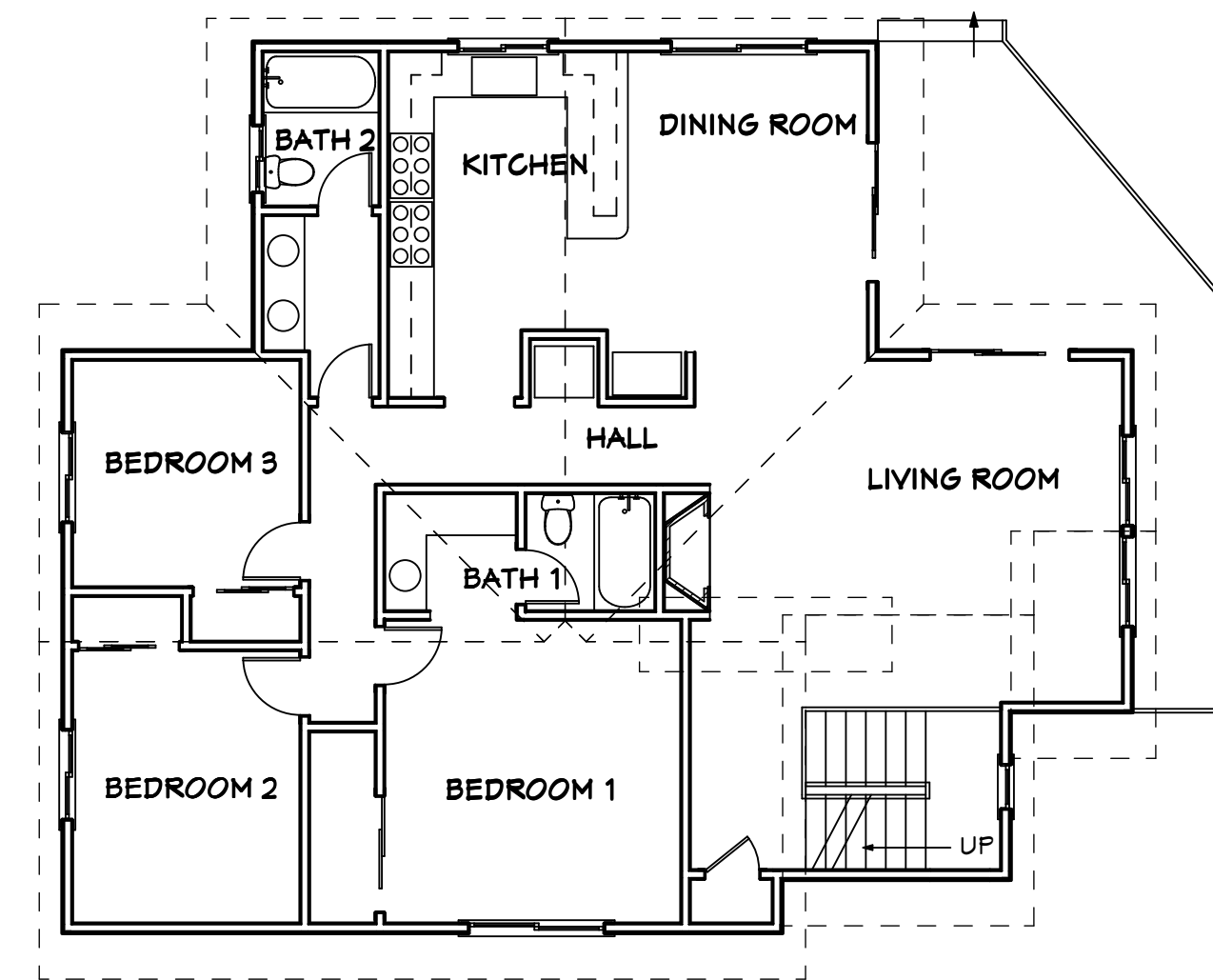
**3** (D) Garage Plan 1/8" = 1'-0"



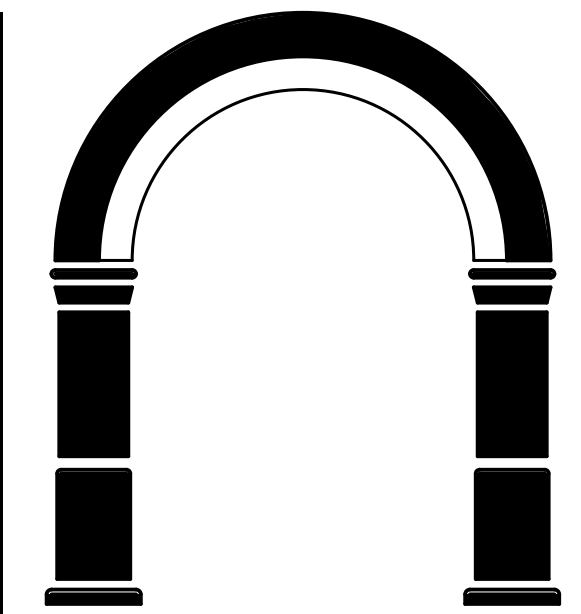
**1** (E) Garage Level Plan 1/8" = 1'-0"



**4** (D) Main Floor Plan 1/8" = 1'-0"



**2** (E) Main Floor Plan 1/8" = 1'-0"



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• SHEET TITLE •

(E) & (D) Plans

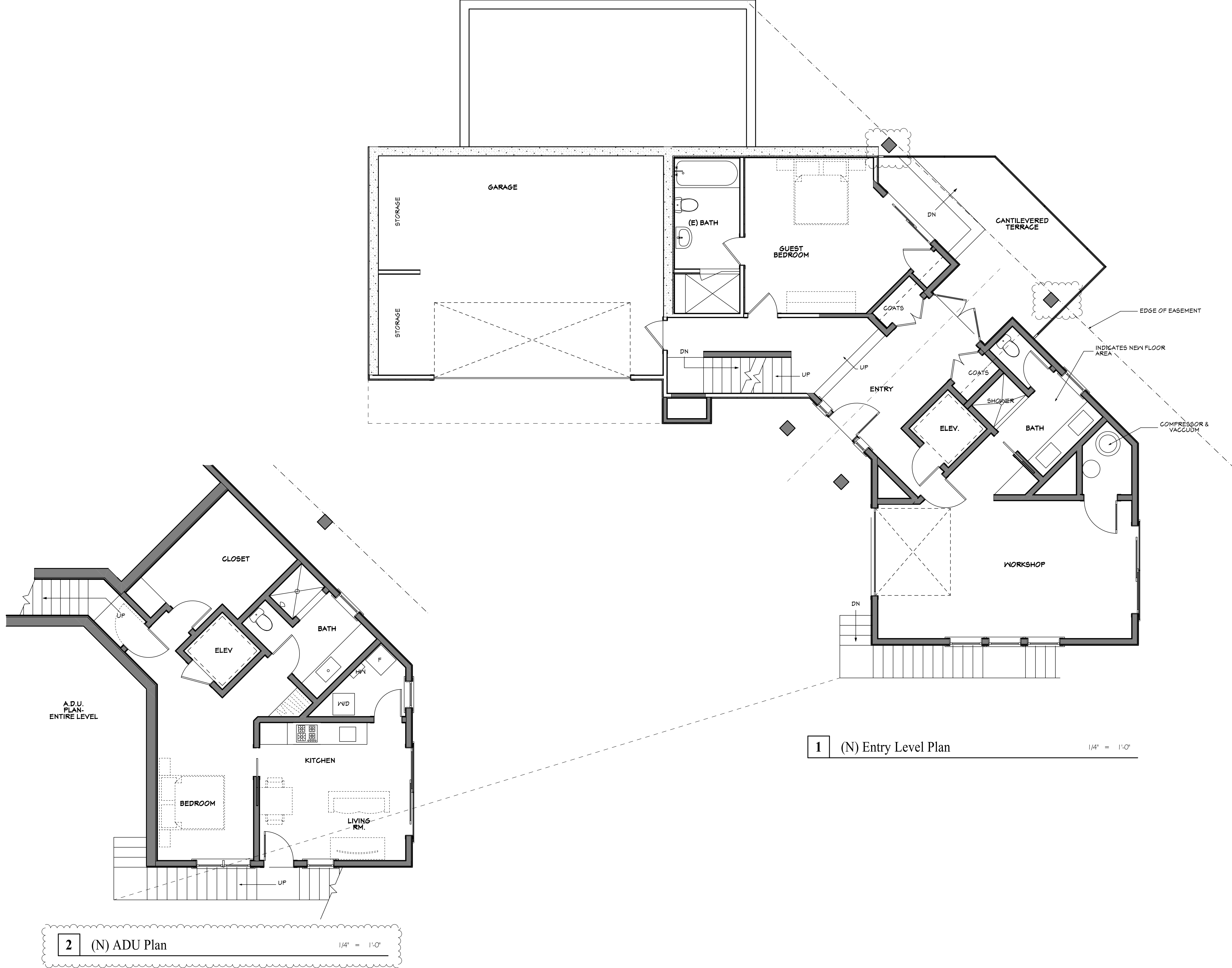
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2800

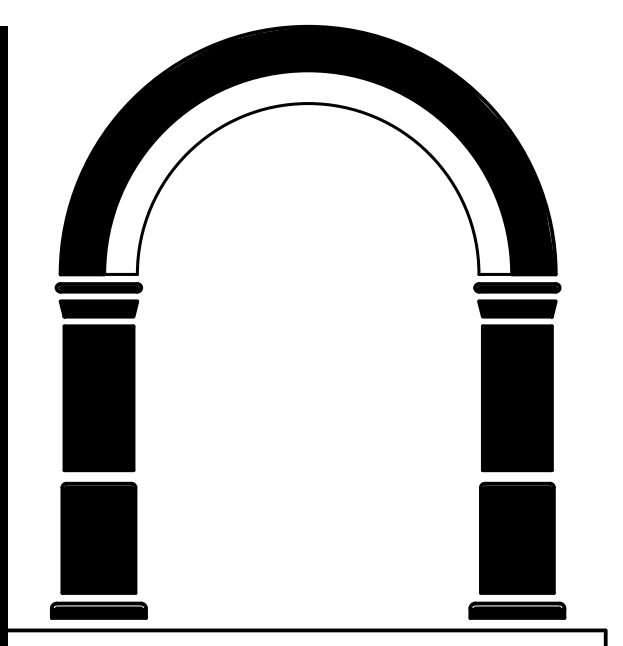
• DATE: 10/14/2022

• SHEET: A-2.1



**1** (N) Entry Level Plan 1/4" = 1'-0"

**2** (N) ADU Plan 1/4" = 1'-0"



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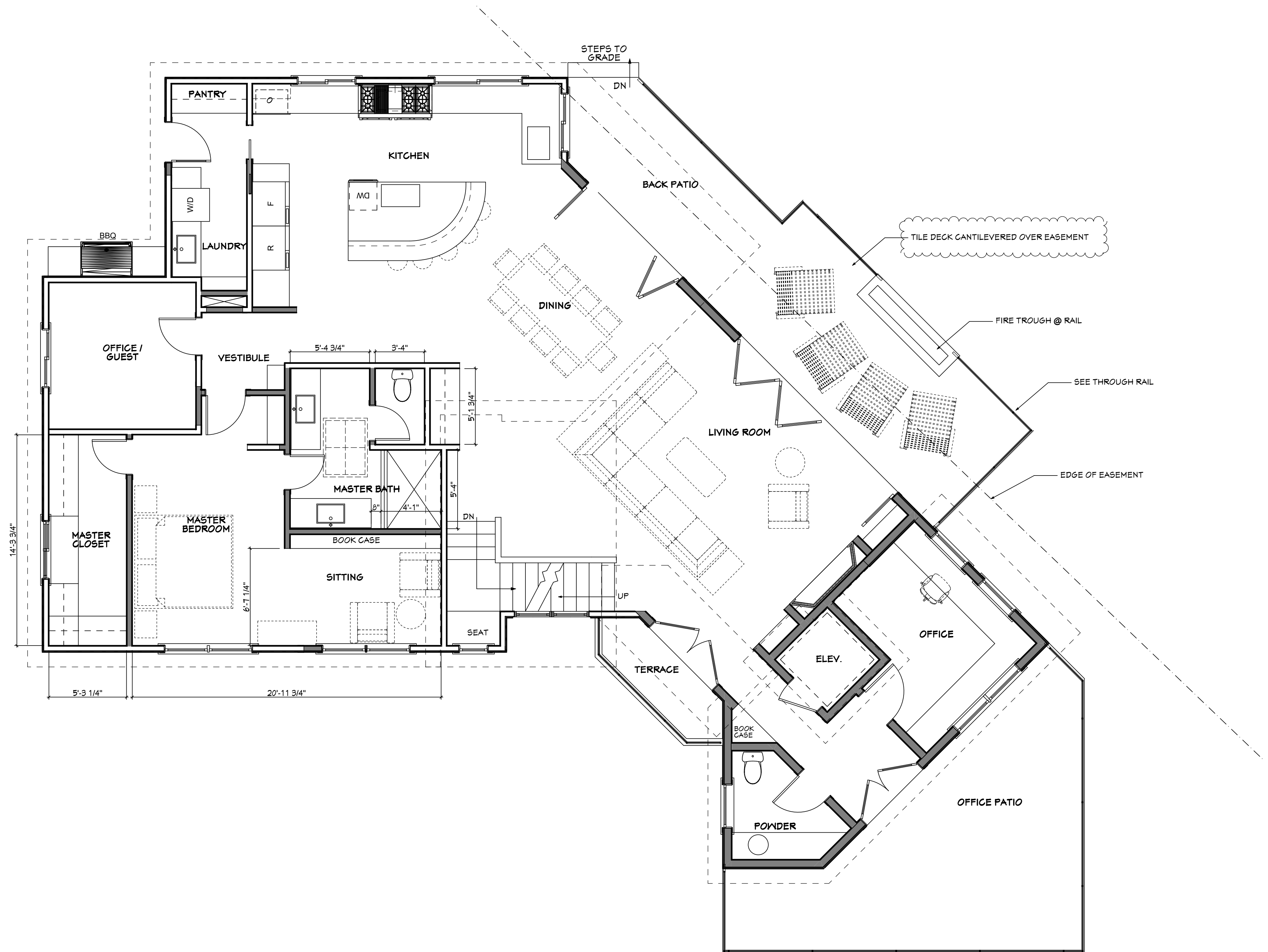
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(N) Entry & ADU Floor Plans

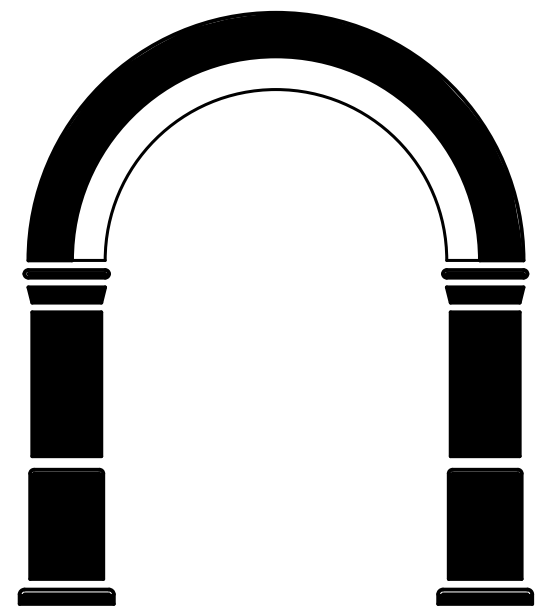
• REVISIONS •

No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

• JOB: 2018-2800  
 • DATE: 10/14/2022  
 • SHEET: A-2.2

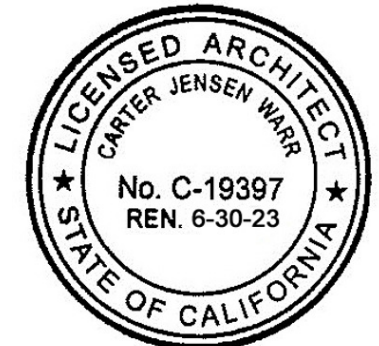


**1** (N) Main Floor Plan 1/4" = 1'-0"



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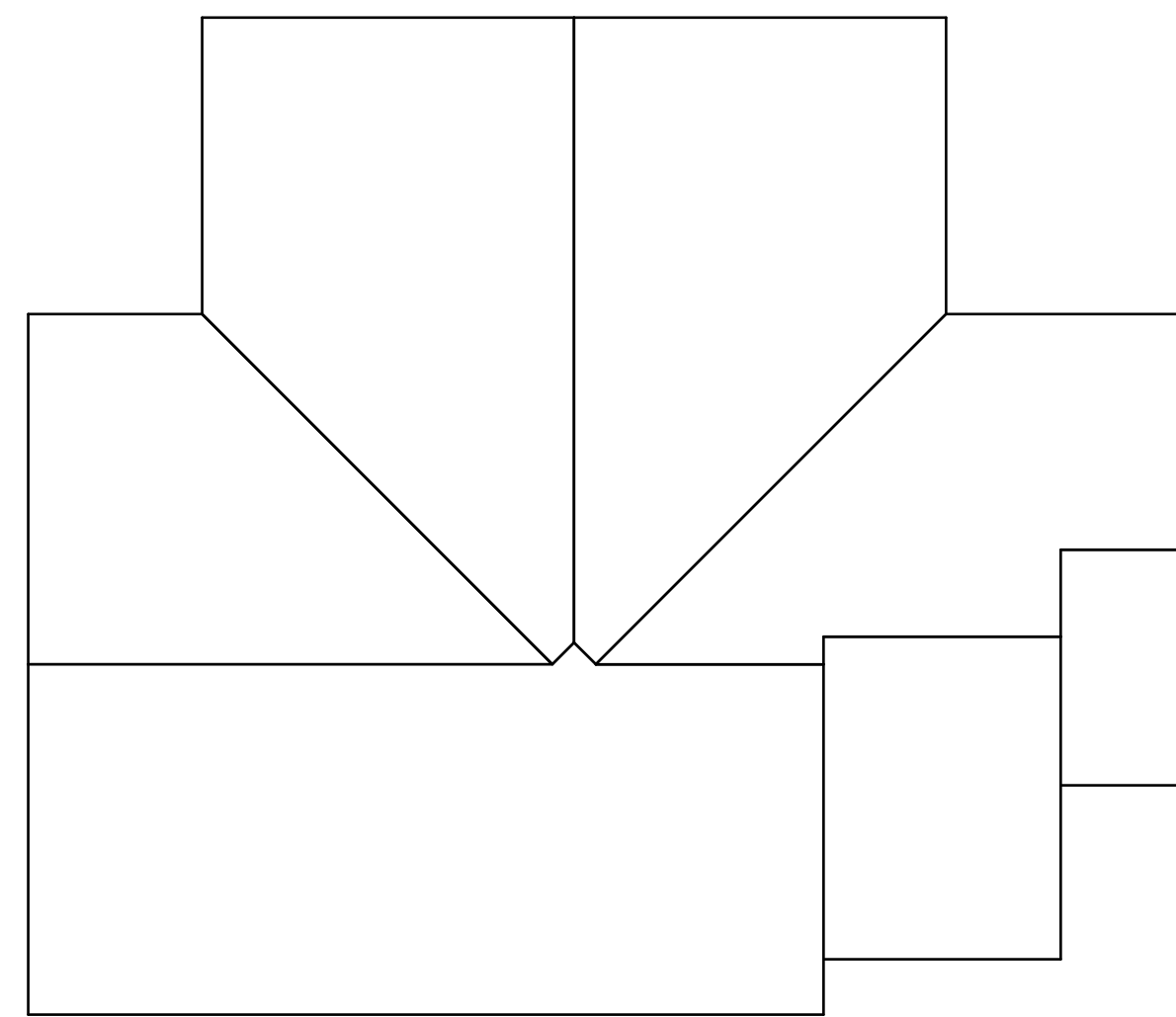
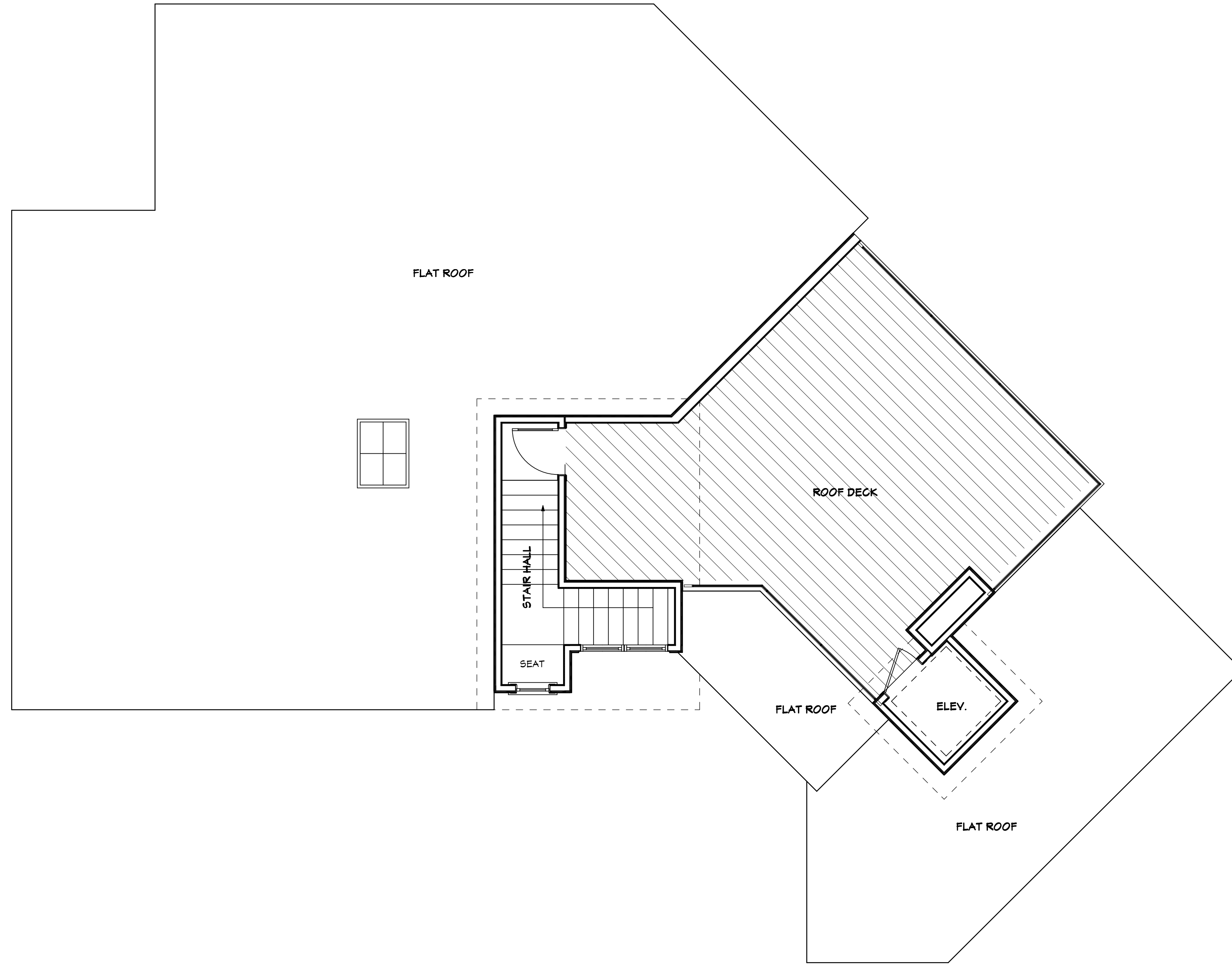
• SHEET TITLE •

(N) Main Floor Plan

• REVISIONS •

No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

• JOB: 2018-2800  
 • DATE: 10/14/2022  
 • SHEET: A-2.3

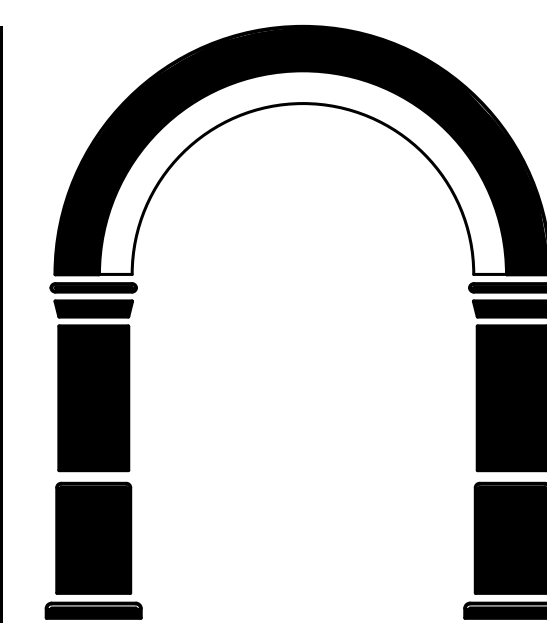


**2** (E) Roof Plan

1/8" = 1'-0"

**1** (N) Roof Plan

1/4" = 1'-0"

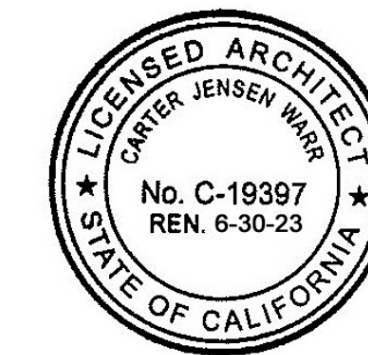


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• SHEET TITLE •

(N) Roof Plans

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2800

• DATE: 10/14/2022

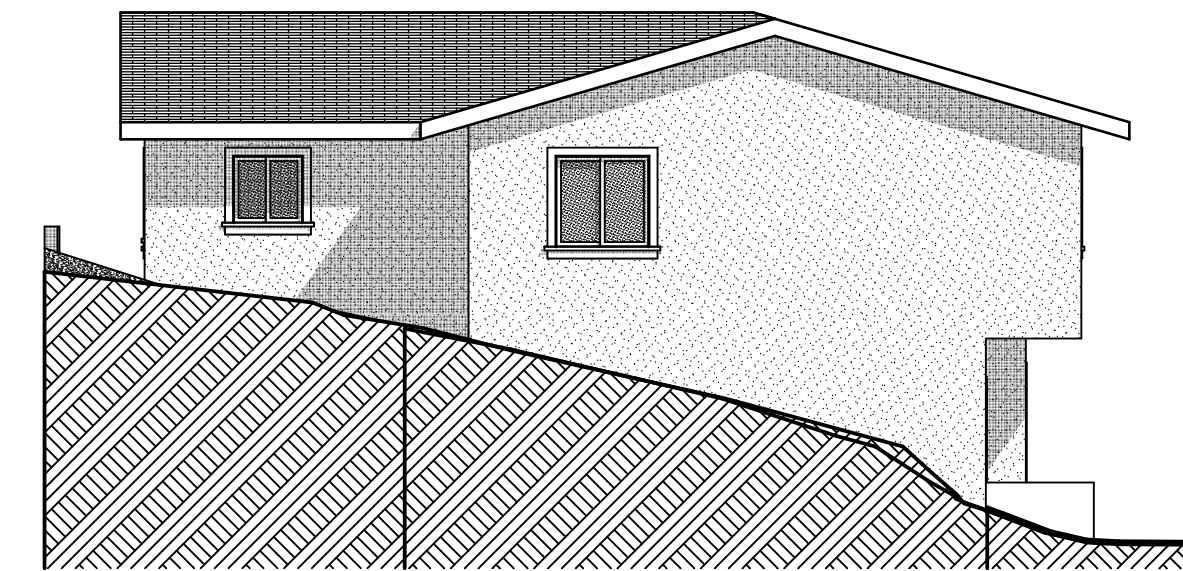
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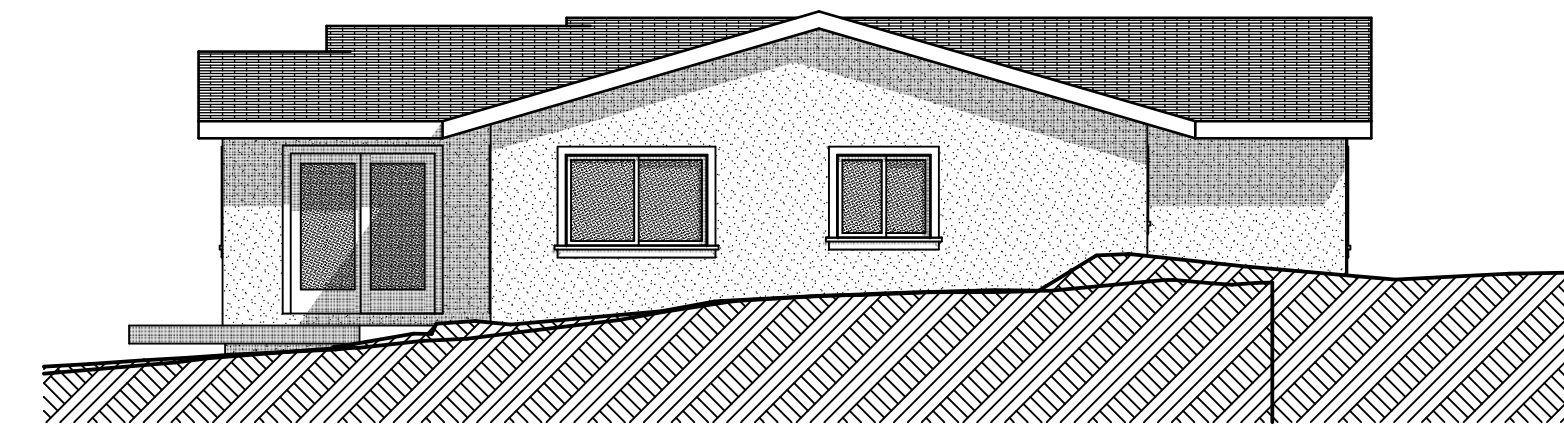
4 (E) West Elevation 1/8" = 1'-0"



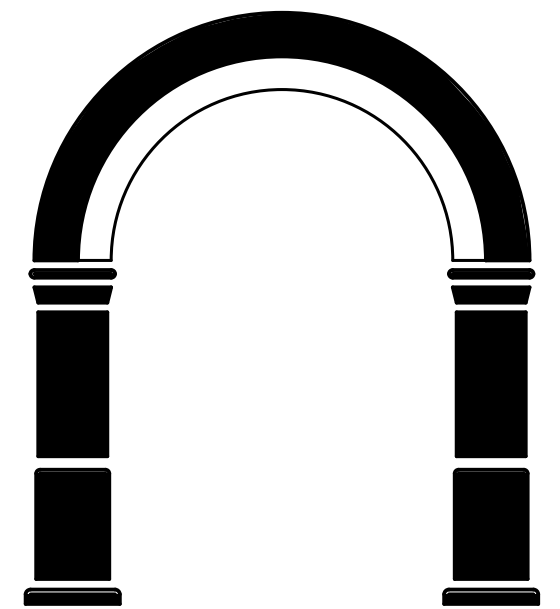
1 (E) North Elevation 1/8" = 1'-0"



2 (E) East Elevation 1/8" = 1'-0"



3 (E) South Elevation 1/8" = 1'-0"



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• SHEET TITLE •

(E) Exterior Elevations

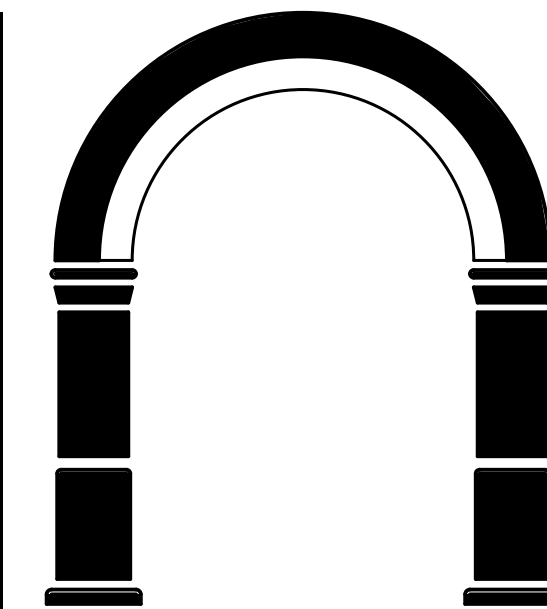
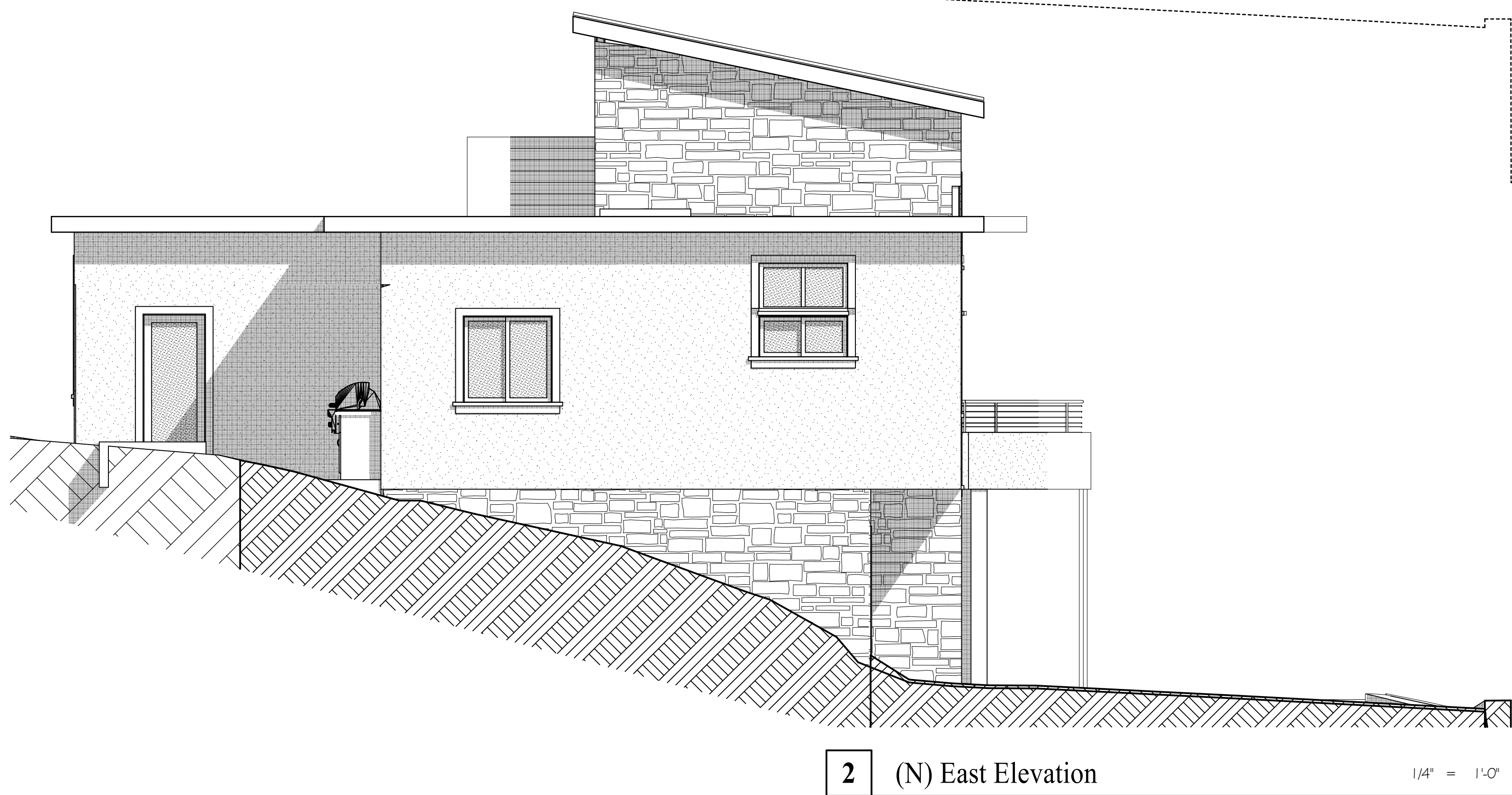
• REVISIONS •

No.	Date	Notes

• JOB: 2018-2800

• DATE: 10/14/2022

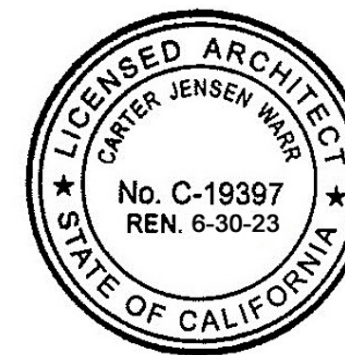
• SHEET: A-3.1



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• SHEET TITLE •

(N) Exterior Elevations

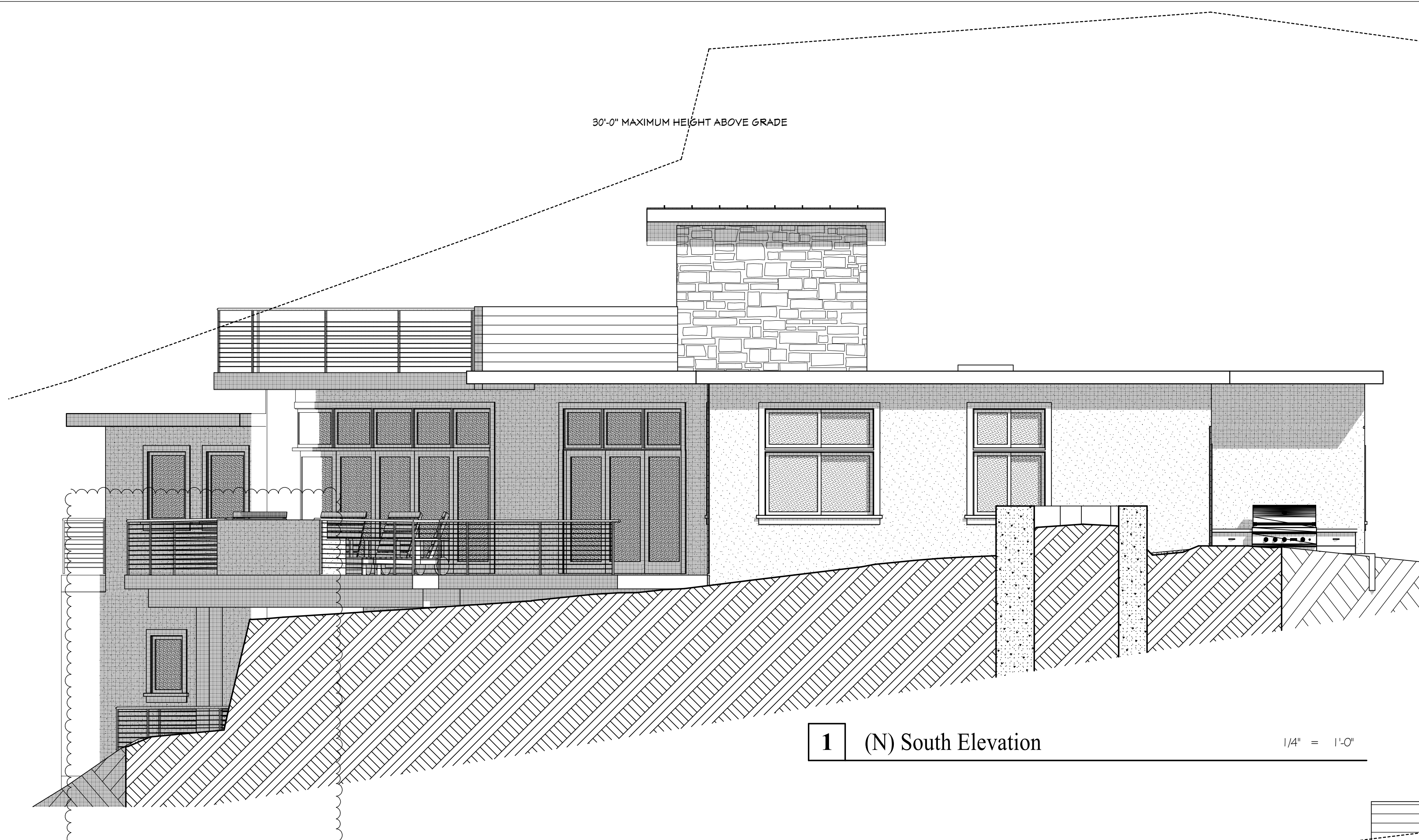
• REVISIONS •

No.	Date	Notes

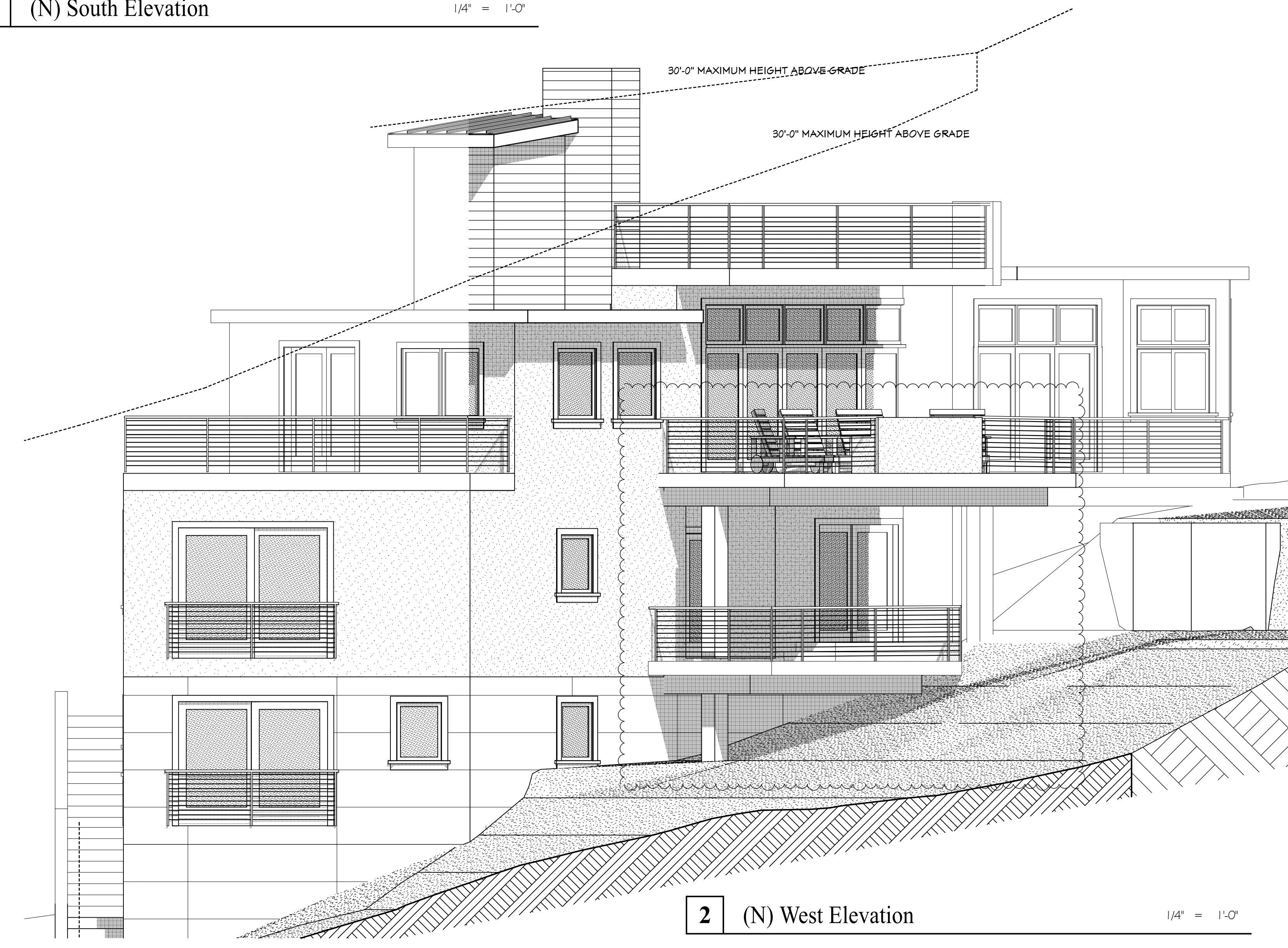
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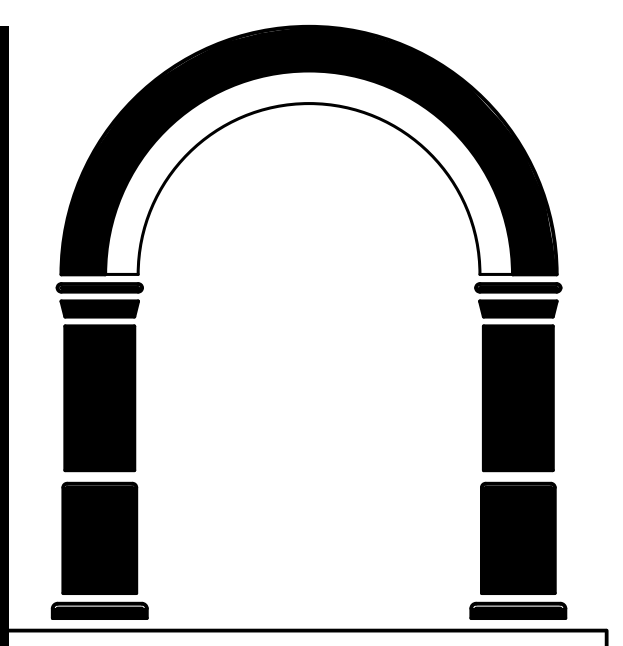
• SHEET: A-3.2



**1** (N) South Elevation 1/4" = 1'-0"



**2** (N) West Elevation 1/4" = 1'-0"



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• PROJECT •

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28 Dover Ct  
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• SHEET TITLE •

(N) Exterior Elevations

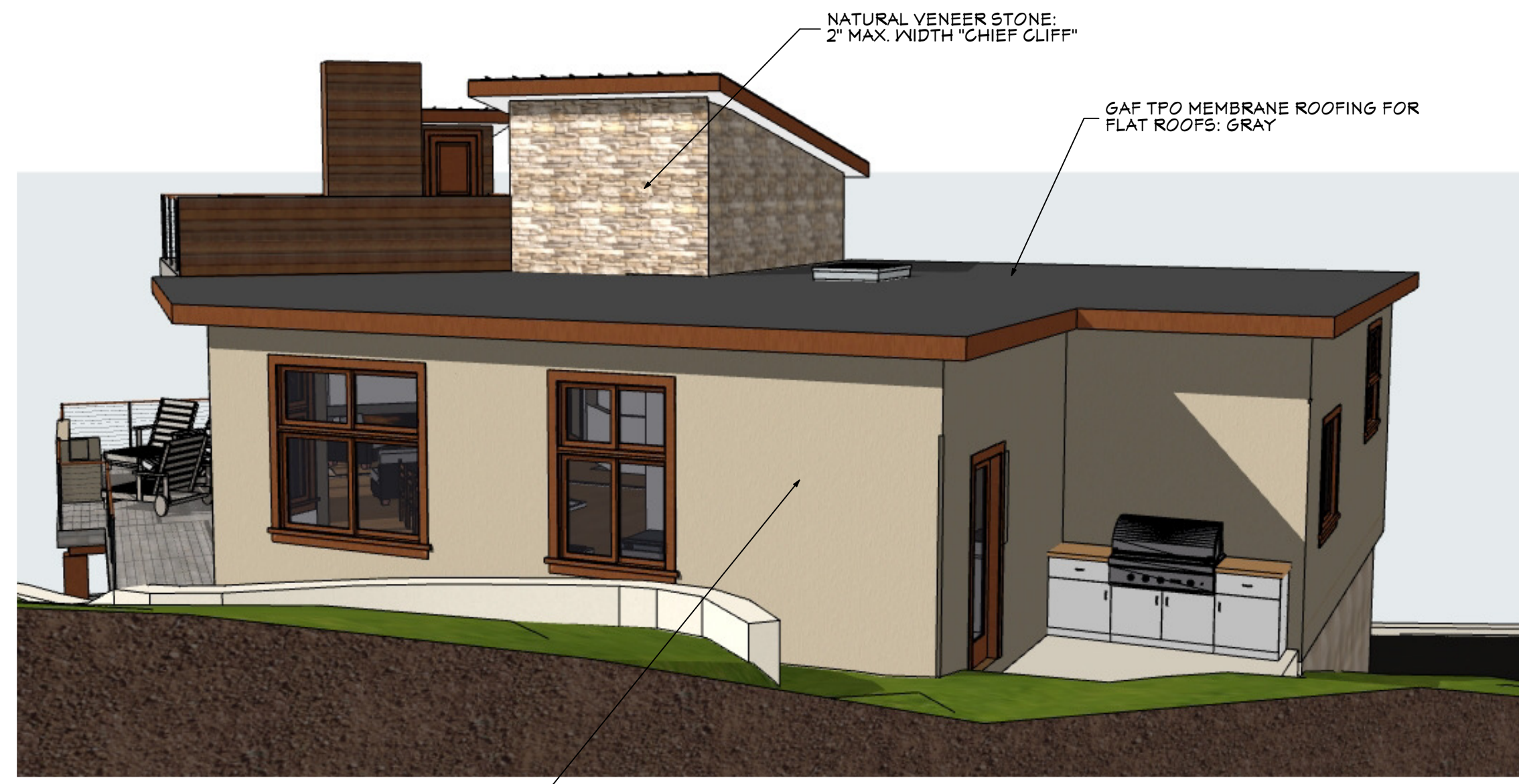
• REVISIONS •

No.	Date	Notes
1	10/21/23	COMMENT RESPONSE

• JOB: 2018-2800

• DATE: 10/14/2022

• SHEET: A-3.3



KOLBE METAL GLAD WOOD WINDOWS: COLOR - NUTMEG

EASTERN VIEW



KOLBE METAL GLAD WOOD WINDOWS: COLOR - NUTMEG

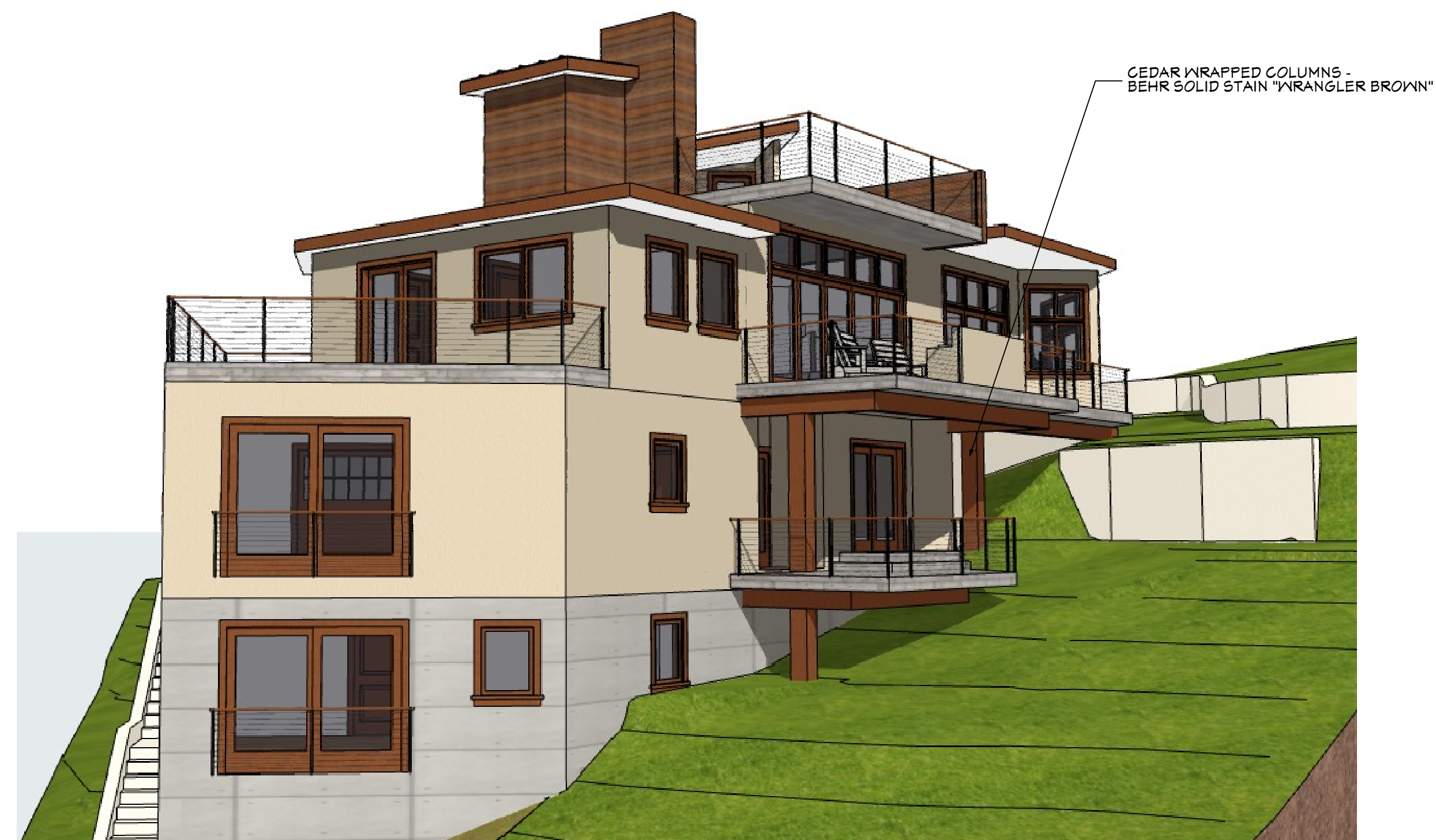
WOOD GARAGE DOOR - BEHR SOLID STAIN FINISH "WRANGLER BROWN"

ENTRY VIEW



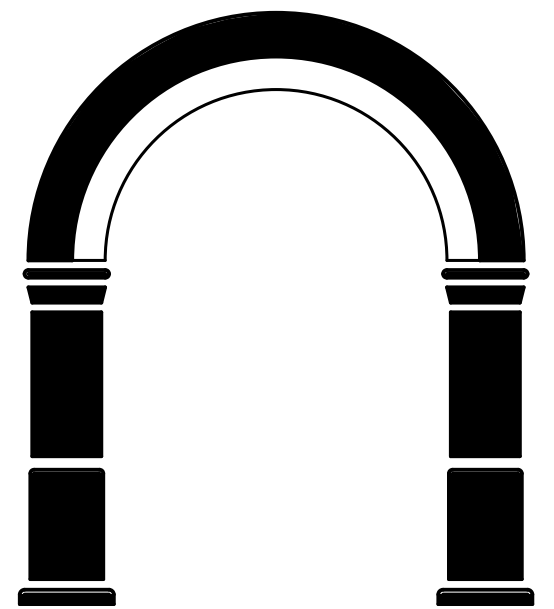
SOUTHERN VIEW

POURED CONCRETE WALLS



WESTERN VIEW

SEE COLOR BOARD FOR ACTUAL COLORS



CJW ARCHITECTURE

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• SHEET TITLE •

(N) Color Renderings

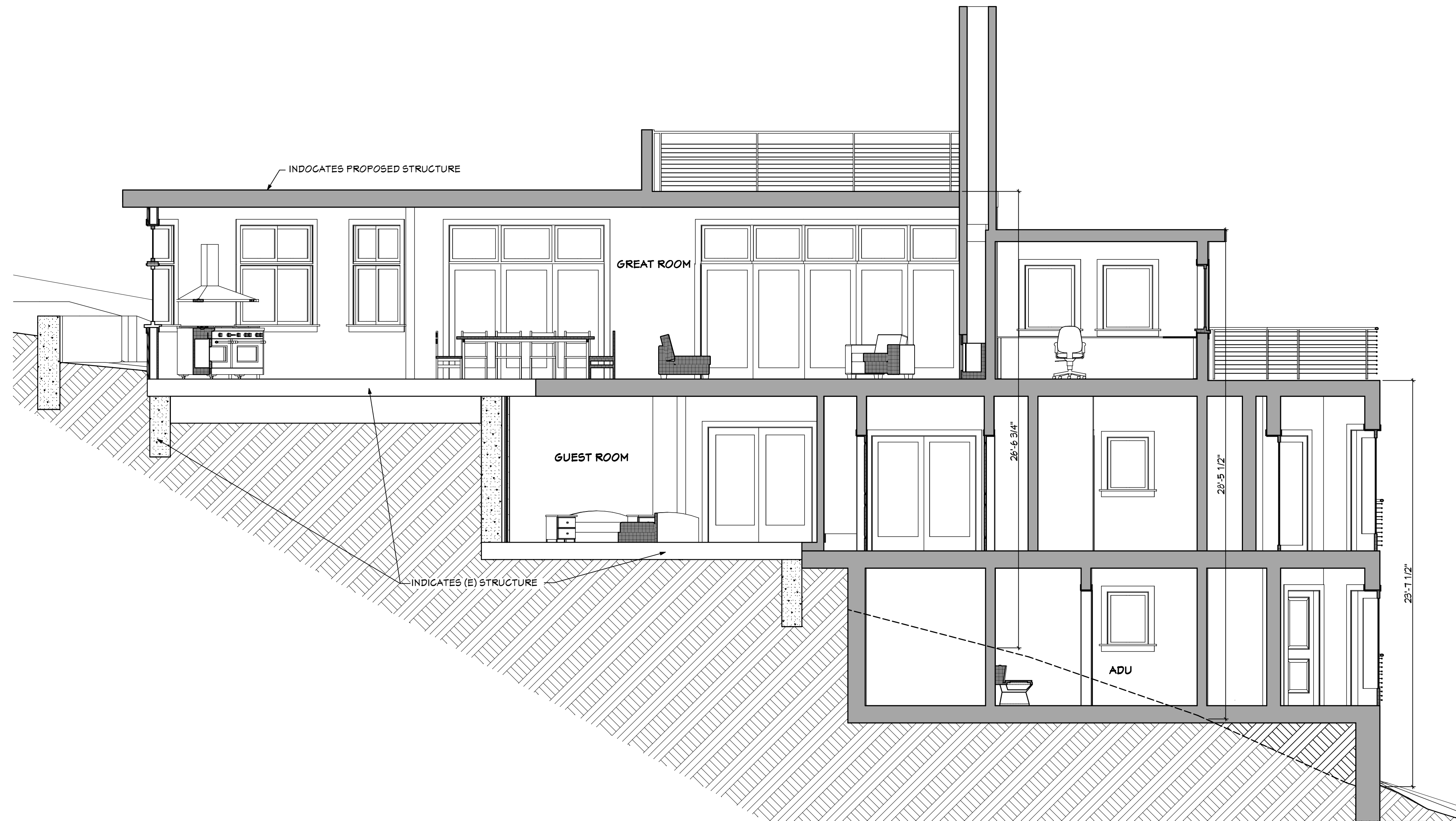
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No.	Date	Notes
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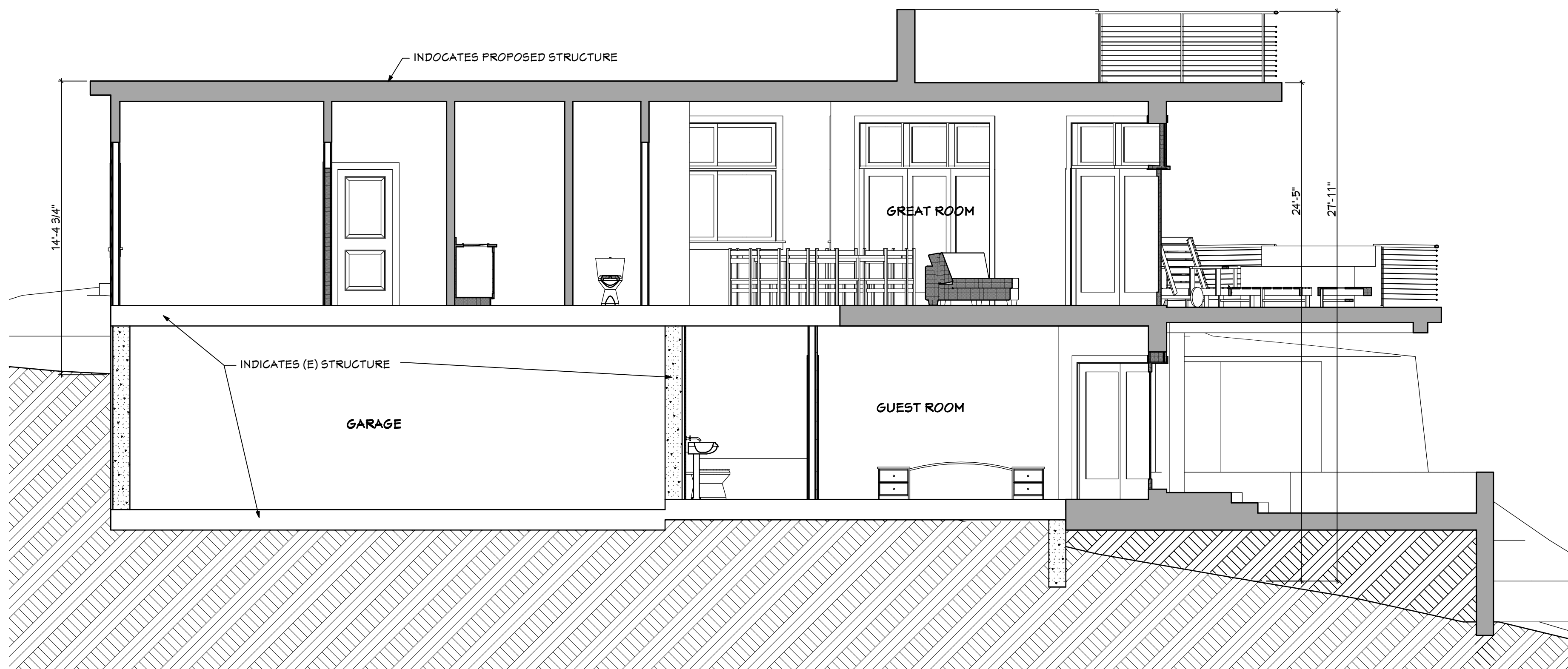
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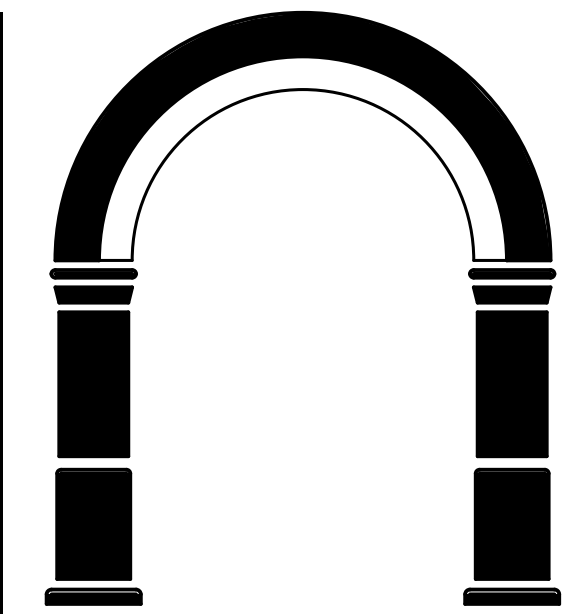
• SHEET: A-3.4



2 Section A 1/4" = 1'-0"



1 Section B 1/4" = 1'-0"



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• SHEET TITLE •

Building Sections

• REVISIONS •

No.	Date	Notes

• JOB: 2018-2800

• DATE: 10/14/2022

• SHEET: A-4.1

ABBREVIATIONS:

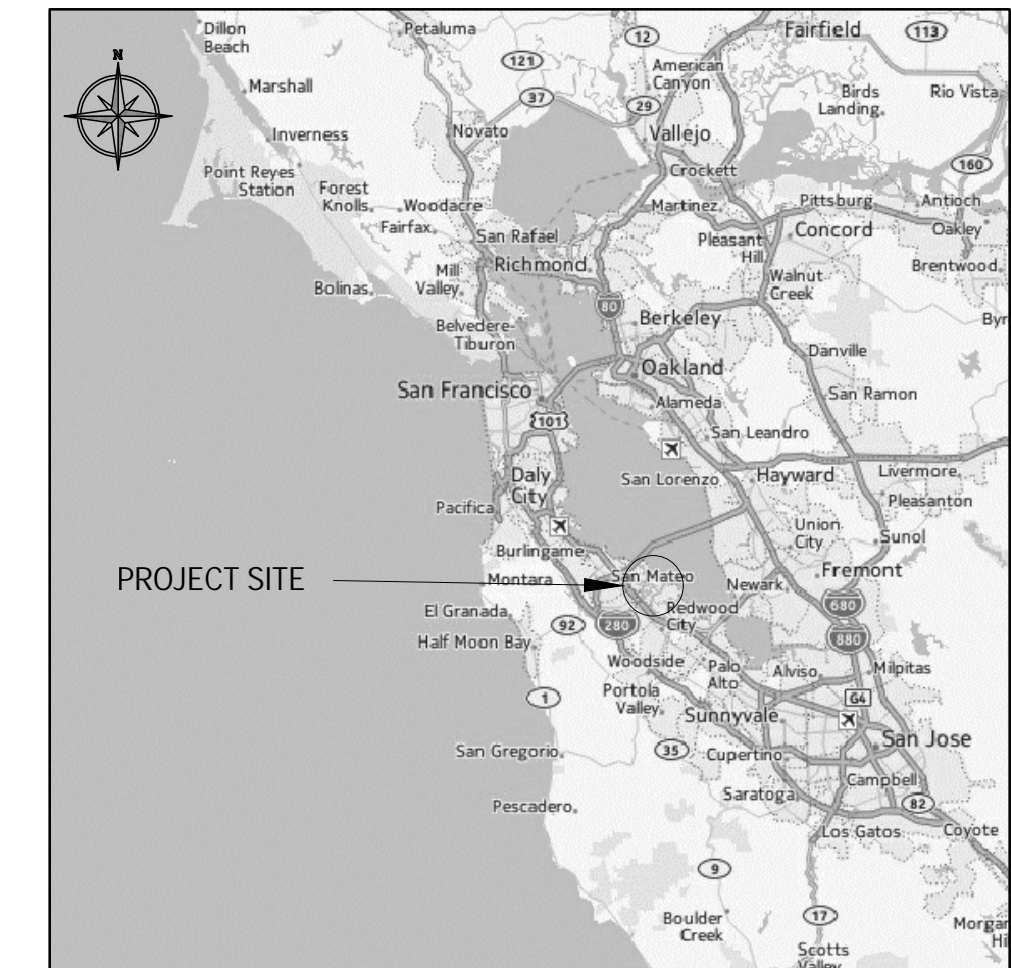
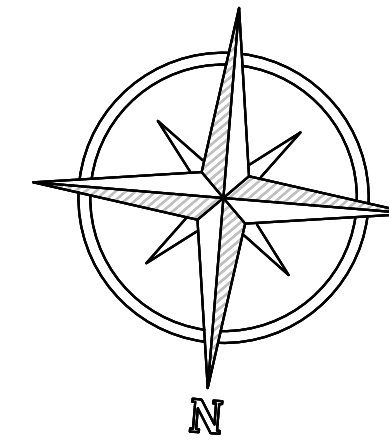
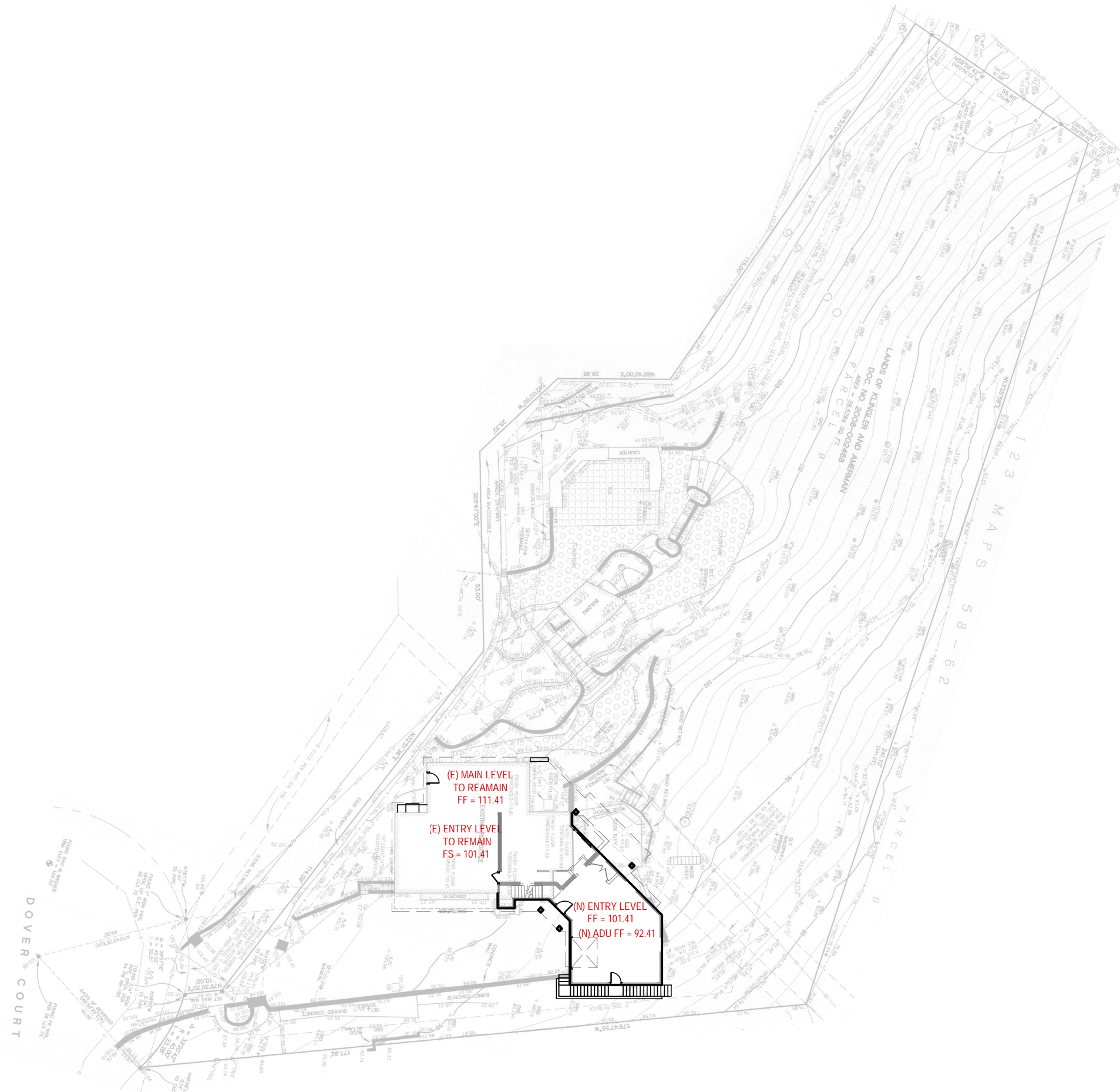
AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BWV	BACKWATER VALVE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DW	DOMESTIC WATER LINE
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FFB	FINISHED FLOOR BASEMENT
FFU	FINISHED FLOOR UPPER LEVEL
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIP	SIDE INLET CATCH BASIN
SIP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TSF	TOP OF SUBFLOOR
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

LEGEND:

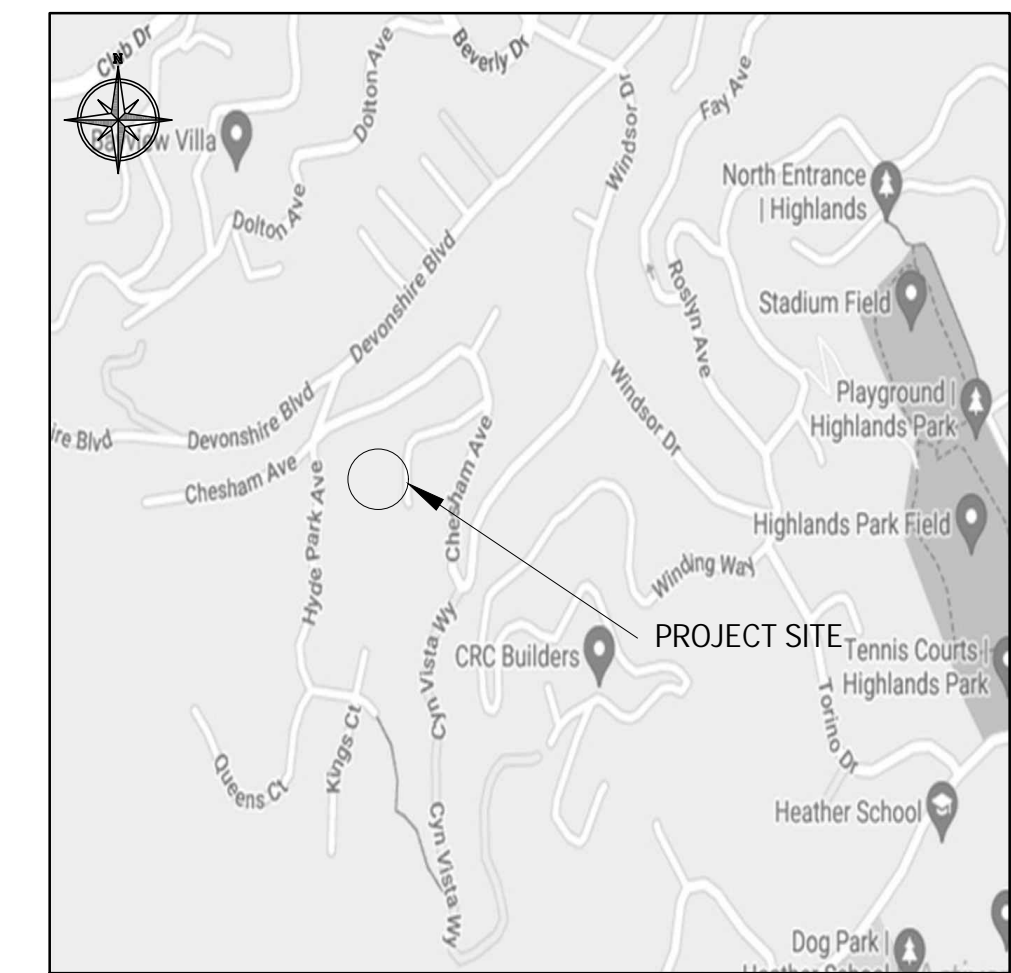
EXISTING	PROPOSED	
—6" SS—	—6" SS—	SANITARY SEWER
—10" SD—	—10" SD—	SOLID PIPE STORM DRAIN
—4" SBD—	—4" SBD—	PERFORATED PIPE SUB DRAIN
—FM—	—2" FM—	FORCE MAIN
—10" FW—	—10" FW—	FIRE WATER SERVICE
—2" W—	—2" W—	DOMESTIC WATER SERVICE
—IRR—	—2" IRR—	IRRIGATION SERVICE
—G—	—G—	NATURAL GAS
—T—	—T—	TELEPHONE
—TV—	—TV—	TV/CABLE TV
—E—	—E—	ELECTRICAL LINES/CONDUITS
—JT—	—JT—	JOINT TRENCH
—O/H—	—O/H—	OVERHEAD WIRES
—X—	—X—	FENCE
—○—	—○—	CLEAN OUT TO GRADE
—○—	—○—	POST INDICATOR VALVE
—○—	—○—	BACKFLOW PREVENTOR DEVICE
—○—	—○—	BACKWATER VALVE
—○—	—○—	GATE VALVE
—○—	—○—	METER BOX
—○—	—○—	STREET LIGHT
—○—	—○—	DRAIN
—○—	—○—	CATCH BASIN
—○—	—○—	FIRE HYDRANT
—○—	—○—	FIRE DEPARTMENT CONNECTION
—○—	—○—	BENCHMARK
—○—	—○—	MANHOLE
—○—	—○—	SIGN
—○—	—○—	SPLASH BLOCK
—○—	—○—	DETAIL NUMBER
—○—	—○—	SHEET LOCATION
—○—	—○—	OVERLAND RELEASE

# AMERMAN-KLINGLER RESIDENCE

28 DOVER COURT  
SAN CARLOS, CA 94070  
UNINCORPORATED SMCO



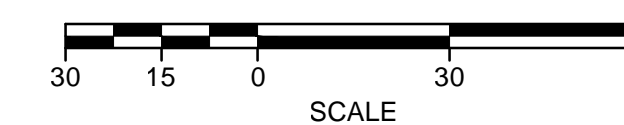
VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.

SHEET INDEX

SHEET	DESCRIPTION
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C3.1	DRAINAGE AND UTILITY PLAN
C4.1	EROSION CONTROL PLAN
C4.2	BEST MANAGEMENT PRACTICES
C5.1	DETAILS



PRINCIPAL IN CHARGE:  
NORMAN I. KONTOROVSKY | mk@kprox.com

DATE:  
10/13/2023

DESCRIPTION:  
PERMIT SUBMITTAL

**AMERMAN-KLINGLER  
RESIDENCE  
28 DOVER COURT  
SAN CARLOS, CA 94070  
UNINCORPORATED SMCO**

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DATE:	08/21/2023
SCALE:	AS SHOWN
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE

TITLE & SHEET INDEX

**C0.0**

## SMCO EROSION AND SEDIMENTATION

### CONTROL NOTES:

- NO GRADING SHALL BE ALLOWED DURING THE WINTER SEASON (OCTOBER 1 TO APRIL 30) TO AVOID POTENTIAL SOIL EROSION, UNLESS THE APPLICANT APPLIES FOR AN EXCEPTION TO THE WINTER GRADING MORATORIUM AND THE COMMUNITY DEVELOPMENT DIRECTOR GRANTS THE EXCEPTION. EXCEPTIONS WILL ONLY BE GRANTED IF DRY WEATHER IS FORECASTED DURING SCHEDULED GRADING OPERATIONS, AND THE EROSION CONTROL PLAN INCLUDES ADEQUATE WINTERIZATION MEASURES (AMONGST OTHER DETERMINING FACTORS).
- MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
- CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
- EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
- THE APPLICANT IS REQUIRED TO REPLACE ANY VEGETATION REMOVED DURING CONSTRUCTION, INCLUDING GROUND COVER, PER SECTION 6324.2. VEGETATION FOR STABILIZATION OF ALL GRADED AND DISTURBED AREAS OR FOR REPLACEMENT OF EXISTING VEGETATION SHALL BE SELECTED AND LOCATED TO BE COMPATIBLE WITH SURROUNDING VEGETATION, RECOGNIZING CLIMATE, SOIL AND ECOLOGICAL CHARACTERISTICS OF THE REGION. THIS SHALL OCCUR AND BE CONFIRMED PRIOR TO THE BUILD PERMIT'S FINAL INSPECTION APPROVAL.
- PRIOR TO THE BEGINNING OF ALL CONSTRUCTION, THE APPLICANT SHALL IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN. THE GOAL IS TO PREVENT SEDIMENT AND OTHER POLLUTANTS FROM LEAVING THE PROJECT SITE AND TO PROTECT ALL EXPOSED EARTH SURFACES FROM EROSION FORCES. THE PROPERTY OWNER SHALL ADHERE TO THE SAN MATEO COUNTY WIDE STORMWATER POLLUTION PREVENTION PROGRAM "GENERAL CONSTRUCTION AND SITE SUPERVISION GUIDELINES", INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:
  - DELINEATION WITH FIELD MARKERS OF CLEARING LIMITS, EASEMENTS, SETBACKS, SENSITIVE OR CRITICAL AREAS, BUFFER ZONES, TREES, AND DRAINAGE COURSES WITHIN THE VICINITY OF AREAS TO BE DISTURBED BY CONSTRUCTION AND/OR GRADING.
  - PROTECTION OF ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
  - PERFORMING CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER.
  - STABILIZATION OF ALL DENUDED AREAS AND MAINTENANCE OF EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
  - STORAGE, HANDLING, AND DISPOSAL OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
  - CONTROL AND PREVENTION OF THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
  - USE OF SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN ALL NECESSARY PERMITS.
  - AVOIDING CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
  - LIMITING AND TIMING APPLICATION OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
  - LIMITING CONSTRUCTION ACCESS ROUTES AND STABILIZATION OF DESIGNATED ACCESS POINTS.
  - AVOIDING TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEANING OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
  - TRAINING AND PROVIDING INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
  - ADDITIONAL BEST MANAGEMENT PRACTICES IN ADDITION TO THOSE SHOWN ON THE PLANS MAY BE REQUIRED BY THE BUILDING INSPECTOR TO MAINTAIN EFFECTIVE STORMWATER MANAGEMENT DURING CONSTRUCTION ACTIVITIES. ANY WATER LEAVING THE SITE SHALL BE CLEAR AND RUNNING SLOWLY AT ALL TIMES.
  - FAILURE TO INSTALL OR MAINTAIN THESE MEASURES WILL RESULT IN STOPPAGE OF CONSTRUCTION UNTIL THE CORRECTIONS HAVE BEEN MADE AND FEES PAID FOR STAFF ENFORCEMENT TIME.
  - REMOVING SPOILS PROMPTLY AND AVOIDING STOCKPILING OF FILL MATERIALS. WHEN RAIN IS FORECAST, IF RAIN THREATENS, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH A TARP OR OTHER WATERPROOF MATERIAL.
- THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
- USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
- DUST CONTROL IS REQUIRED YEAR-ROUND. THE APPLICANT SHALL IMPLEMENT THE FOLLOWING DUST CONTROL MEASURES DURING GRADING AND CONSTRUCTION ACTIVITIES:
  - WATER ALL ACTIVE CONSTRUCTION AND GRADING AREAS AT LEAST TWICE DAILY.
  - COVER ALL TRUCK HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
  - APPLY WATER TWO TIMES DAILY OR APPLY (NON-TOXIC) SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS AT THE PROJECT SITE.
  - SWEEP STREETS DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO ADJACENT PUBLIC STREETS/ROADS.
  - ENCLOSE, COVER, WATER TWICE DAILY OR APPLY (NON-TOXIC) SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.)
- EROSION AND SEDIMENT CONTROL DURING THE COURSE OF THIS GRADING WORK SHALL BE INSTALLED AND MAINTAINED ACCORDING TO A PLAN PREPARED AND SIGNED BY THE ENGINEER OF RECORD AND APPROVED BY THE CURRENT PLANNING SECTION. REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN SHALL BE PREPARED AND SIGNED BY THE ENGINEER.
- IT SHALL BE THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO REGULARLY INSPECT THE EROSION CONTROL MEASURES FOR THE DURATION OF ALL GRADING REMEDIATION ACTIVITIES, ESPECIALLY AFTER MAJOR STORM EVENTS, AND DETERMINE THAT THEY ARE FUNCTIONING AS DESIGNED AND THAT PROPER MAINTENANCE IS BEING PERFORMED. DEFICIENCIES SHALL BE IMMEDIATELY CORRECTED AS DETERMINED BY AND IMPLEMENTED UNDER THE OBSERVATION OF THE ENGINEER OF RECORD.

### TREE PROTECTION:

- PRIOR TO BEGINNING CONSTRUCTION ON SITE, CONTRACTOR SHALL IDENTIFY AND PROTECT EXISTING TREES AND PLANTS DESIGNATED AS TO REMAIN.
- PROTECT EXISTING TREES TO REMAIN FROM SPILLED CHEMICALS, FUEL OIL, MOTOR OIL, GASOLINE AND ALL OTHER CHEMICALLY INJURIOUS MATERIAL AS WELL AS FROM PUDDING OR CONTINUOUSLY RUNNING WATER. SHOULD A SPILL OCCUR, STOP WORK IN THAT AREA AND CONTACT THE CITY'S ENGINEER/INSPECTOR IMMEDIATELY. CONTRACTOR SHALL BE RESPONSIBLE TO MITIGATE DAMAGE FROM SPILLED MATERIAL AS WELL AS MATERIAL CLEAN UP.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ONGOING MAINTENANCE OF ALL TREES DESIGNATED TO REMAIN AND FOR MAINTENANCE OF RELOCATED TREES STOCKPILED DURING CONSTRUCTION. CONTRACTOR WILL BE REQUIRED TO REPLACE TREES THAT DIE DUE TO LACK OF MAINTENANCE.
- ALL TREE PROTECTION AND/OR TREE REMOVAL GUIDELINES SHALL FOLLOW THE RECOMMENDATIONS OF THE PROJECT'S ARBORIST. THE CONTRACTOR SHALL ENSURE THAT ALL TREES NOT CALLED OUT TO BE REMOVED ARE PRESERVED.

### NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES):

- ALL CONSTRUCTION ON OFF-SITE OR ON-SITE IMPROVEMENTS SHALL ADHERE TO NPDES (NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM) BEST MANAGEMENT PRACTICES TO PREVENT DELETERIOUS MATERIALS OR POLLUTANTS FROM ENTERING THE CITY OR COUNTY STORM DRAIN SYSTEMS.
- ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
- STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
- FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
- EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT-OF-WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
- TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION AND DISPERSAL BY WIND.
- SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT-OF-WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEP UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
- ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
- CLEAN UP ALL SPILLS USING DRY METHODS.
- SWEEP ALL GUTTERS AT THE END OF EACH WORKING DAY. GUTTERS SHALL BE KEPT CLEAN AFTER LEAVING CONSTRUCTION SITE.
- CALL 911 AND THE APPROVING AGENCY IN CASE OF A HAZARDOUS SPILL.
- BMP'S AS OUTLINED IN, BUT NOT LIMITED TO, CALIFORNIA STORM WATER QUALITY TASK FORCE, SACRAMENTO, CALIFORNIA, LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY CITY INSPECTORS).
- UPON SATISFACTORY COMPLETION OF THE WORK, THE ENTIRE WORK SITE SHALL BE CLEANED BY THE CONTRACTOR AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION WASTE, RUBBISH, AND DEBRIS OF ANY NATURE.

### FIRE PROTECTION:

- CONTRACTOR SHALL INSTALL THE DESIGN BUILD FIRE SERVICE LINE, BACKFLOW PREVENTOR, SPRINKLERS AND EQUIPMENT IN ACCORDANCE WITH THE FIRE PROTECTION CONSULTANT'S PLANS, SPECIFICATIONS, LATEST EDITION OF THE UNIFORM/CALIFORNIA FIRE CODE AND THE APPROVING AGENCY STANDARDS.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL PREPARE SHOP DRAWINGS SHOWING ALL INFORMATION REQUIRED BY THE LOCAL FIRE MARSHAL, INCLUDING ANGLES, THRUST BLOCKS, VALVES, FIRE HYDRANTS, PIV'S, FDC'S, BACKFLOW ASSEMBLIES, FLEXIBLE CONNECTIONS, VAULTS, ETC.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE LOCAL FIRE MARSHAL, THE RATING AGENCY AND THE PROJECT MANAGER, ALLOWING TIME FOR REVIEW AND ACCEPTANCE, PRIOR TO START OF WORK.
- THE UNDERGROUND FIRE PROTECTION SYSTEM INSTALLER SHALL OBTAIN ALL APPROVALS AND PERMITS PRIOR TO ORDERING MATERIALS, FABRICATING SYSTEMS OR ANY INSTALLATION.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS AND EQUIPMENT LOCATIONS. RISER LOCATIONS ARE SHOWN ON ARCHITECTURAL AND PLUMBING DRAWINGS AND ARE TO BE COORDINATED WITH ACTUAL FIELD CONDITIONS.

### CONSTRUCTION FENCE:

- CONTRACTOR SHALL PROVIDE A CONSTRUCTION FENCE AROUND THE ENTIRE AREA OF DEMOLITION AND CONSTRUCTION, INCLUDING ALL STAGING, STORAGE, CONSTRUCTION OFFICE AND LAYDOWN AREAS.
- CONSTRUCTION FENCE SHALL BE A MINIMUM OF A 6' HIGH GALVANIZED CHAIN LINK WITH GREEN WINDSCREEN FABRIC ON THE OUTSIDE OF THE FENCE.
- CONSTRUCTION FENCE ADDRESSED IN THESE NOTES IS ONLY FOR VISUAL CONFORMANCE OF THIS CONSTRUCTION SITE TO THE CITY STANDARDS. CONTRACTOR MAY BE REQUIRED TO PROVIDE ADDITIONAL FENCING, BARRICADES OR OTHER SAFETY DEVICES TO KEEP THE SITE SECURE AND SAFE.

### PROJECT DUST CONTROL:

- WATER TRUCKS SHALL BE PRESENT AND IN USE AT THE CONSTRUCTION SITE. ALL PORTIONS OF THE SITE SUBJECT TO BLOWING DUST SHALL BE WATERED AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR IN ORDER TO ENSURE PROPER CONTROL OF BLOWING DUST FOR THE DURATION OF THE PROJECT.
- ALL PUBLIC STREETS AND MEDIANS SOILED OR LITTERED DUE TO THIS CONSTRUCTION ACTIVITY SHALL BE CLEANED AND SWEEP ON A DAILY BASIS DURING THE WORK WEEK, OR AS OFTEN AS DEEMED NECESSARY BY THE CLIENT/INSPECTOR, OR TO THE SATISFACTION OF THE CITY'S DEPARTMENT OF PUBLIC WORKS.
- ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS SHALL BE COVERED WITH TARPAULINS OR OTHER EFFECTIVE COVERS.
- WHEEL WASHERS SHALL BE INSTALLED AND USED TO CLEAN ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE. IF WHEEL WASHERS CANNOT BE INSTALLED, TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT SHALL BE WASHED OFF BEFORE LEAVING THE CONSTRUCTION SITE.
- THE CONTRACTOR SHALL DEMONSTRATE DUST SUPPRESSION MEASURES, SUCH AS REGULAR WATERING, WHICH SHALL BE IMPLEMENTED TO REDUCE EMISSIONS DURING CONSTRUCTION AND GRADING IN A MANNER MEETING THE APPROVAL OF THE CONSTRUCTION MANAGER. THIS SHALL ASSIST IN REDUCING SHORT-TERM IMPACTS FROM PARTICLES WHICH COULD RESULT IN NUISANCES THAT ARE PROHIBITED (FUGITIVE DUST).
- GRADING OR ANY OTHER OPERATIONS THAT CREATE DUST SHALL BE STOPPED IMMEDIATELY IF DUST AFFECTS ADJACENT PROPERTIES. THE CONTRACTOR SHALL PROVIDE SUFFICIENT DUST CONTROL FOR THE ENTIRE PROJECT SITE IN ACCORDANCE WITH THE PROJECT SWPPP (IF ONE EXISTS) OR AS APPLICABLE PER LOCAL REGULATIONS AT ALL TIMES. THE SITE SHALL BE WATERED AS NECESSARY TO PREVENT DUST NUISANCE. IN THE EVENT THAT THE CONTRACTOR NEGLECTS TO USE ADEQUATE MEASURES TO CONTROL DUST, THE CLIENT RESERVES THE RIGHT TO TAKE ANY MEASURES NECESSARY TO CONTROL DUST AND CHARGE THE COST TO THE CONTRACTOR.
- THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND FOR OBTAINING ALL REQUIRED PERMITS AND APPROVALS. ALL GRADING OPERATIONS SHALL BE SUSPENDED DURING SECOND (OR WORSE) STAGE SMOG ALERTS.

### UNDERGROUND WORK CAUTION:

- CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FOR LOCATION OF UNDERGROUND UTILITIES AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. FOR NORTHERN CALIFORNIA DIAL 811 OR (800) 642 2444. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO BEGINNING ANY WORK ON THIS SITE.

### DEMOLITION NOTES:

- CONTRACTOR IS TO COMPLY WITH ALL GENERAL AND STATE REQUIREMENTS INVOLVING THE REMOVAL AND DISPOSAL OF HAZARDOUS MATERIAL(S).
- CONTRACTOR'S BID IS TO INCLUDE ALL VISIBLE SURFACE AND ALL SUBSURFACE FEATURES IDENTIFIED TO BE REMOVED OR ABANDONED IN THESE DOCUMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR A SITE INSPECTION TO FULLY ACKNOWLEDGE THE EXTENT OF THE DEMOLITION WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY AND ALL PERMITS NECESSARY FOR ENCROACHMENT, GRADING, DEMOLITION, AND DISPOSAL OF SAID MATERIALS AS REQUIRED BY PRIVATE, LOCAL AND STATE JURISDICTIONS. THE CONTRACTOR SHALL PAY ALL FEES ASSOCIATED WITH THE DEMOLITION WORK.
- BACKFILL ALL DEPRESSIONS AND TRENCHES FROM DEMOLITION TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- REMOVAL OF LANDSCAPING SHALL INCLUDE ROOTS AND ORGANIC MATERIALS TO THE SATISFACTION OF THE GEOTECHNICAL ENGINEER.
- PRIOR TO BEGINNING DEMOLITION WORK ACTIVITIES, CONTRACTOR SHALL INSTALL EROSION CONTROL MEASURES OUTLINED IN THE EROSION CONTROL PLAN & DETAILS.
- THE CONTRACTOR SHALL MAINTAIN ALL SAFETY DEVICES, AND SHALL BE RESPONSIBLE FOR CONFORMANCE TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL PROTECT FROM DAMAGE ALL EXISTING IMPROVEMENTS FACILITIES AND STRUCTURES WHICH ARE TO REMAIN. ANY ITEMS DAMAGED BY THE CONTRACTOR OR HIS AGENTS OR ANY ITEMS REMOVED FOR HIS USE SHALL BE REPLACED IN EQUAL OR BETTER CONDITION AND SHALL BE APPROVED BY THE ARCHITECT OR BY THE OWNER'S LEGAL REPRESENTATIVE.
- COORDINATE WITH ELECTRICAL, MECHANICAL, LANDSCAPING AND ARCHITECTURAL DRAWINGS FOR UTILITY SHUT-DOWN/DISCONNECT LOCATIONS. CONTRACTOR IS TO SHUT OFF ALL UTILITIES AS NECESSARY PRIOR TO DEMOLITION. CONTRACTOR IS TO COORDINATE SERVICE INTERRUPTIONS WITH THE CLIENT. DO NOT INTERRUPT SERVICES TO ADJACENT OFF-SITE OWNERS. ALSO SEE ARCHITECTURAL PLANS FOR ADDITIONAL DEMOLITION SCOPE OF WORK.
- THIS PLAN IS NOT INTENDED TO BE A COMPLETE CATALOGUE OF ALL EXISTING STRUCTURES AND UTILITIES. THIS PLAN INTENDS TO DISCLOSE GENERAL INFORMATION KNOWN BY THE ENGINEER AND TO SHOW THE LIMITS OF THE AREA WHERE WORK WILL BE PERFORMED. THIS PLAN SHOWS THE EXISTING FEATURES TAKEN FROM A FIELD SURVEY, FIELD INVESTIGATIONS AND AVAILABLE INFORMATION. THIS PLAN MIGHT NOT ACCURATELY REFLECT THE TYPE OR EXTENT OF THE ITEMS TO BE ENCOUNTERED AS THEY ACTUALLY EXIST. THE CONTRACTOR SHALL PERFORM A THOROUGH FIELD INVESTIGATION AND REVIEW OF THE SITE WITHIN THE LIMIT OF WORK SHOWN IN THIS PLAN SET TO DETERMINE THE TYPE, QUANTITY AND EXTENT OF ANY AND ALL ITEMS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR DETERMINING THE EXTENT OF EXISTING STRUCTURES AND UTILITIES AND QUANTITY OF WORK INVOLVED IN REMOVING THESE ITEMS FROM THE SITE.

### GENERAL SITE NOTES:

- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING ON THIS WORK AND CONSIDER THE EXISTING CONDITIONS AND SITE CONSTRAINTS IN THE BID. CONTRACTOR SHALL BE IN THE POSSESSION OF, AND FAMILIARIZED WITH, ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS AND SPECIFICATIONS PRIOR TO SUBMITTING OF A BID AND PRIOR TO STARTING ANY WORK.
- ALL WORK ON-SITE AND IN THE PUBLIC RIGHT-OF-WAY SHALL CONFORM TO ALL APPLICABLE GOVERNING AGENCIES STANDARD DETAILS & SPECIFICATIONS.
- PRIOR TO BEGINNING WORK, AND AFTER INITIAL HORIZONTAL CONTROL STAKING, CONTRACTOR SHALL FIELD CHECK ALL ELEVATIONS MARKED AS "EXISTING" AND SHALL REPORT ANY DISCREPANCIES GREATER THAN 0.05' TO THE PROJECT MANAGER. DO NOT CONTINUE UNTIL RECEIVING APPROVAL FROM THE ARCHITECT AND/OR THE CIVIL ENGINEER.
- DAMAGE TO ANY EXISTING SITE IMPROVEMENTS, UTILITIES AND/OR SERVICES TO REMAIN SHALL BE RESPONSIBILITY OF THE CONTRACTOR. CONTRACTOR SHALL REPAIR AND/OR REPLACE IN KIND.
- CONTRACTOR AGREES TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND INDEMNIFY AND HOLD THE CLIENT, THE CONSULTING ENGINEER AND THE APPROVING AGENCIES HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CLIENT OR THE CONSULTING ENGINEER.
- THE GEOTECHNICAL ASPECTS OF THE CONSTRUCTION, INCLUDING SITE GRADING, PIER AND FOOTING EXCAVATIONS, SWIMMING POOL EXCAVATION, PREPARATION OF SUBGRADE AND PLACEMENT OF NON-EXPANSIVE FILL BENEATH SLABS-ON-GRADE, RETAINING WALL BACKFILL, AND INSTALLATION OF SURFACE AND SUBSURFACE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. THE GEOTECHNICAL ENGINEER SHALL BE GIVEN AT LEAST 48 HOURS ADVANCE NOTIFICATION OF ANY EARTHWORK OPERATIONS AND SHOULD BE PRESENT TO OBSERVE AND TEST THE EARTHWORK, FOUNDATION, AND DRAINAGE INSTALLATION PHASES OF THE PROJECT.

GEOTECHNICAL REPORT PREPARED BY: GEOFORENSICS, INC.  
JOB NUMBER: 200068.  
DATE: 04/02/2000.  
CONTACT: DANIEL F. DYCKMAN, PE, GE (GE 2145).  
PHONE NUMBER: 650-349-3369.

### RECORD DRAWINGS:

- THE CONTRACTOR SHALL KEEP AN ACCURATE AND COMPLETE RECORD SET OF THE CONTRACT DRAWINGS SHOWING EVERY CHANGE FROM THE ORIGINAL DRAWINGS MADE DURING THE COURSE OF CONSTRUCTION INCLUDING EXACT FINAL LOCATION, ELEVATION, SIZES, MATERIALS, AND DESCRIPTION OF ALL WORK. RECORDS SHALL BE "REDLINED" ON A SET OF CONSTRUCTION PLAN DRAWINGS. A COMPLETE SET OF CORRECTED AND COMPLETED RECORD DRAWING PRINTS SHALL BE SUBMITTED TO THE CITY ENGINEER AND DEVELOPER'S CIVIL ENGINEER PRIOR TO FINAL ACCEPTANCE FOR REVIEW AND APPROVAL.

### PROJECT SITE MAINTENANCE:

- REMOVE ALL DIRT, GRAVEL, RUBBISH, REFUSE, AND GREEN WASTE FROM STREET PAVEMENT AND STORM DRAINS ADJOINING THE SITE. LIMIT CONSTRUCTION ACCESS ROUTES ONTO THE SITE AND PLACE GRAVEL PADS AT THESE LOCATIONS. DO NOT DRIVE VEHICLES AND EQUIPMENT OFF THE PAVED OR GRAVELED AREAS DURING WET WEATHER.
- SWEEP OR VACUUM THE STREET PAVEMENT AND SIDEWALKS ADJOINING THE PROJECT SITE AND THE ON-SITE PAVED AREAS ON A DAILY BASIS. SCRAPE CAKED-ON MUD AND DIRT FROM THESE AREAS BEFORE SWEEPING. CORNERS AND HARD TO REACH AREAS SHALL BE SWEEPED MANUALLY.
- CREATE A CONTAINED AND COVERED AREA ON SITE FOR THE STORAGE OF BAGS, CEMENT, PAINTS, OILS, FERTILIZERS, PESTICIDES, OR OTHER MATERIALS USED ON THE SITE THAT HAVE THE POTENTIAL OF BEING DISCHARGED INTO THE STORM DRAIN SYSTEM THROUGH EITHER BEING WIND-BLOWN OR IN THE EVENT OF A MATERIAL SPILL.
- NEVER CLEAN MACHINERY, EQUIPMENT OR TOOLS INTO A STREET, GUTTER OR STORM DRAIN.
- ENSURE THAT CEMENT TRUCKS, PAINTERS, OR STUCCO/PLASTER FINISHING CONTRACTORS DO NOT DISCHARGE WASH WATER FROM EQUIPMENT, TOOLS OR RINSE CONTAINERS INTO GUTTERS OR DRAINS.
- UPON PROJECT COMPLETION THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIENNIAL BASIS OR AS FOUND NECESSARY.

### DIMENSIONS:

- ALL DIMENSIONS ON THE PLANS ARE IN FEET OR DECIMALS UNLESS SPECIFICALLY CALLED OUT OTHERWISE.

### PAVEMENT SECTIONS:

- SEE STRUCTURAL DRAWINGS FOR BUILDING SLAB SECTIONS AND PAD PREPARATIONS.
- SEE GEOTECHNICAL REPORT FOR ALL FLATWORK AND VEHICULAR PAVEMENT SECTIONS AND BASE REQUIREMENTS.
- THE FINAL SURFACE LAYER OF ANY ASPHALT CONCRETE TO BE USED ON SITE, IF APPLICABLE, SHALL NOT BE PLACED UNTIL ALL ON-SITE IMPROVEMENTS HAVE BEEN COMPLETED, INCLUDING ALL GRADING, AND ALL UNACCEPTABLE CONCRETE WORK HAS BEEN REMOVED AND REPLACED, UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER AND/OR DEVELOPER'S CIVIL ENGINEER.
- AT A MINIMUM, ALL PAVING SHALL BE IN CONFORMANCE WITH SECTION 26 "AGGREGATE BASE" AND SECTION 39 "ASPHALT CONCRETE" PER THE LATEST EDITION OF CALTRANS STANDARD SPECIFICATIONS.



555 BRYANT STREET, SUITE 368  
PALO ALTO, CA 94301  
P: (650) 949-4249  
info@kprox.com  
www.kprox.com



PRINCIPAL IN CHARGE:  
MILARIST KONTOROVSKY | mk@kprox.com

DATE:  
10/13/2023

DESCRIPTION:  
PERMIT SUBMITTAL

AMERMAN-KLINGLER  
RESIDENCE  
28 DOVER COURT  
SAN CARLOS, CA 94070  
UNINCORPORATED SMCO

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PROJECT No: 23-3202  
DATE: 08/21/2023  
SCALE: AS SHOWN  
DESIGN/DRAWN: MK  
CHECKED: IK

SHEET TITLE

PROJECT NOTES

C0.1



Underground Service Alert  
1-800-642-2444

**EASEMENTS NOTES:**

- 1) AN EXCLUSIVE EASEMENT EXISTS OVER THE LANDS OF KLINGLER AND AMERMAN, BENEFITING THE LANDS OF ZAAOOUR, FOR INGRESS, EGRESS, AND MAINTAINING AND REPLACING A DRIVEWAY AND LIGHT FIXTURES, PER DOC. NO. 87-004299 (PARCEL THREE, DOC. 2014-002261). NO BOUNDARY IS DEFINED FOR THIS EASEMENT. REFER TO SAID DOCUMENT FOR MORE DETAILS.
- 2) DOC. NO. 84-094623 GRANTS THE RIGHT FOR THE SEWER LINE AND EASEMENT TO BE RELOCATED WITHIN PARCEL B (OUR SUBJECT PARCEL), AND FOR A NEW SEWER EASEMENT TO BE RECORDED. THE SEWER LINE APPEARS TO HAVE BEEN RELOCATED, AS SHOWN, BUT NO NEW SEWER EASEMENT IS STATED IN THE TITLE REPORT.
- 3) THE 5' P.U.E. SHOWN HEREON WAS CREATED BY DOCUMENT 667 O.R. 109 RECORDED IN 1935 AND REFERENCED IN THE TITLE REPORT. THE EASEMENT IS NOT SHOWN ON THE PARCEL MAP 54 PM 99 - 100 FILED IN 1984. IT WAS LIKELY ABANDONED AND REPLACED BY THE 10' SEWER EASEMENT SHOWN ON THE PARCEL MAP. THE TITLE COMPANY SHOULD BE CONSULTED FOR CLARIFICATION.



BOUNDARY & TOPOGRAPHIC SURVEY NOT BY KPROX, INC. EXISTING CONDITIONS ARE SHOWN AS PROVIDED TO US

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS

**EXISTING CONDITIONS:**

1. EXISTING TOPOGRAPHIC SURVEY IS SHOWN AS PROVIDED BY:  
LAND SURVEYOR: B&H SURVEYING, INC.  
JOB NUMBER: 7439-19  
DATE: SEPTEMBER, 2019  
CONTACT: WAYNE HAAS (PLS 7701)
2. GRADES ENCOUNTERED ON-SITE MAY VARY FROM THOSE SHOWN. CONTRACTOR SHALL REVIEW THE PLANS AND CONDUCT FIELD INVESTIGATIONS AS REQUIRED TO VERIFY EXISTING CONDITIONS AT THE PROJECT SITE.
3. THE BASIS OF ELEVATIONS AS WELL AS THE LOCATION OF THE BOUNDARY (AS PROVIDED TO KPROX) HAVE BEEN USED FOR THE PREPARATION OF CIVIL ENGINEERING PLANS. THE CIVIL ENGINEERING SCOPE OF WORK DOES NOT INCLUDE SURVEY VERIFICATION SERVICES.
4. UTILITIES SHOWN ON THIS SURVEY ARE BASED ON SURFACE OBSERVATIONS. NO WARRANTIES ARE EXPRESSED OR IMPLIED CONCERNING THE EXISTENCE, SIZE, DEPTH, CONDITION, CAPACITY, OR LOCATION OR ANY UTILITY EXISTING ON THE SITE, WHETHER PRIVATE, MUNICIPAL, OR PUBLIC OWNED.
5. CONTRACTOR SHALL VERIFY ALL UTILITIES PRIOR TO CONSTRUCTION AND REPORT BACK TO CIVIL ENGINEER ANY DISCREPANCIES WITH PLAN PRIOR TO COMMENCEMENT OF WORK (VIA FORMAL RFI). CONTRACTOR SHALL PROVIDE EXHIBITS REPRESENTING THE FOUND CONDITIONS.

**ABBREVIATIONS & LEGEND:**

●	FOUND 3/4" IRON PIPE WITH PLASTIC PLUG "-- 3138" AND TACK, PER 54 PM 99-100, UNLESS OTHERWISE NOTED
●	FOUND 3/4" BRASS TAG (ILLEGIBLE) AND NAIL PER COR. REC. #596, UNLESS OTHERWISE NOTED
A/C	ASPHALTIC CONCRETE
BW	BACK OF WALK
CB	CATCH BASIN
CIP	CAST IRON PIPE
CMP	CORRUGATED METAL PIPE
CONC	CONCRETE
CO	CLEAN-OUT
DI	DROP INLET
EM	ELECTRIC METER
FD	FOUND
FF	FINISHED FLOOR
FL	FLOW LINE
FLH	FIRE HYDRANT
GA	GUY ANCHOR
GM	GAS METER
GRD	GROUND
HCR	HANDICAP RAMP
INV.	INVERT
IP	IRON PIPE
JP	JOINT POLE
LAT.	LATERAL
LG	LIP OF GUTTER
O/H	OVERHEAD
P.U.E.	PUBLIC UTILITIES EASEMENT
RCP	REINFORCED CONCRETE PIPE
RET. WALL	RETAINING WALL
R/W	RIGHT OF WAY
R/W	SANITARY SEWER CLEAN-OUT
SSCO	SANITARY SEWER MANHOLE
SSMH	STORM DRAIN MANHOLE
SDMH	STORM DRAIN MANHOLE
TBC	TOP BACK OF CURB
T/W	TOP OF WALL
U/G	UNDERGROUND
VOP	VITRIFIED CLAY PIPE
WV	WATER VALVE
WM	WATER METER BOX
-CTV-	CABLE TELEVISION LINE
-E-	ELECTRICAL LINE
-G-	GAS LINE
-SS-	SANITARY SEWER LINE
-SD-	STORM DRAIN LINE
-T-	TELEPHONE LINE
-W-	WATER LINE
	STACKED STONE RETAINING WALL
	STRUCTURAL (CONCRETE) RETAINING WALL

**UTILITY NOTE:**

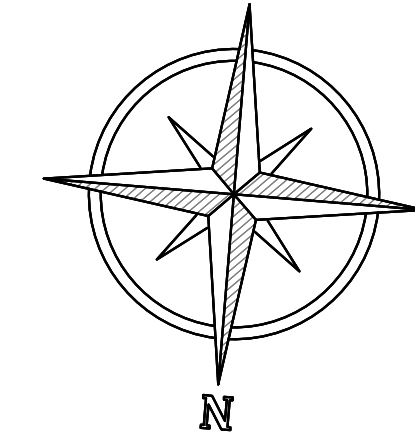
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

**BASIS OF BEARINGS:**

THE BEARING S46°58'25"E BETWEEN A FOUND BRASS TAG AND A FOUND PK NAIL, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY FILED IN VOLUME 28 OF L.L.S. MAPS AT PAGE 72, SAN AMTEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BASIS OF ELEVATIONS:**

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.  
 TBM: FOUND MAG NAIL AND WASHER IN DOVER COURT, AS SHOWN.  
 ELEVATION = 104.33'



PRINCIPAL IN CHARGE:  
MILUARIET KONTOROVSKY | mk@kprox.com

DATE:  
10/13/2023

DESCRIPTION:  
PERMIT SUBMITTAL

**AMERMAN-KLINGLER  
RESIDENCE  
28 DOVER COURT  
SAN CARLOS, CA 94070  
UNINCORPORATED SMC0**

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PROJECT No: 23-3202  
 DATE: 08/21/2023  
 SCALE: 1" = 20'  
 DESIGN/DRAWN: MK  
 CHECKED: IK

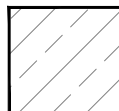
SHEET TITLE  
 EXISTING CONDITIONS AND TREE DISPOSITION

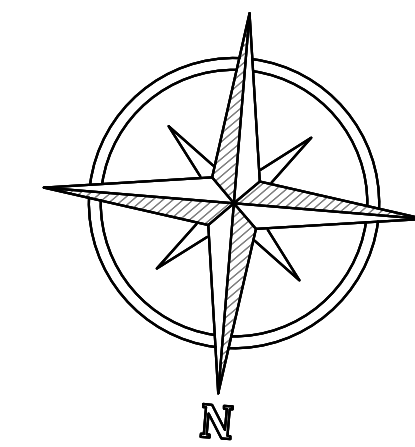
**C1.1**

**ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BWV	BACKWATER VALVE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOT DOWN SPOUT
DW	DOMESTIC WATER LINE
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FFB	FINISHED FLOOR BASEMENT
FFU	FINISHED FLOOR UPPER LEVEL
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIQB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TSF	TOP OF SUBFLOOR
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

**HATCH LEGEND:**

	ASPHALTIC CONCRETE PAVEMENT	PER GEOTECHNICAL REPORT RECOMMENDATIONS.
---	-----------------------------	--



**GRADING REQUIREMENTS:**

1. PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM ALL STRUCTURES BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5%, UNLESS OTHERWISE NOTED ON THE PLANS. SLOPE PAVED AREAS SUCH AS PORCHES, LANDINGS AND TERRACES 2% (1/4" PER FOOT) AWAY FROM, STRUCTURES UNLESS OTHERWISE NOTED ON PLANS.
2. CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS WITH ARCHITECTURAL PLANS.
3. CONTRACTOR SHALL DETERMINE EARTHWORK QUANTITIES BASED ON THE TOPOGRAPHIC SURVEY, THE GEOTECHNICAL INVESTIGATION AND THE PROPOSED SURFACE THICKNESS AND BASE THE BID ACCORDINGLY. IT IS THE CONTRACTORS RESPONSIBILITY TO CONFIRM IF A SEPARATE DEMOLITION CONTRACT HAS BEEN ISSUED TO TAKE THE SITE FROM THE WAY IT IS AT THE TIME OF THE BID TO THE CONDITIONS DESCRIBED IN THESE DOCUMENTS. ANY DIFFERENCES BETWEEN THE STATE IN WHICH THE SITE IS DELIVERED TO THE CONTRACTOR AND THESE DOCUMENTS SHOULD BE NOTED TO THE ENGINEER/ARCHITECT.
4. ALL FILL SHALL BE COMPACTED PER THE GEOTECHNICAL REPORT. THE CONTRACTOR SHALL COORDINATE AND COMPLY WITH APPROPRIATE TESTS TO VERIFY COMPACTION VALUES.
5. IMPORT SOILS SHOULD MEET THE REQUIREMENTS OF THE SOILS REPORT AND SPECIFICATIONS.
6. COORDINATE THE PLACEMENT OF ALL SLEEVES FOR LANDSCAPE IRRIGATION (WATER AND CONTROL WIRING) AND SITE LIGHTING PRIOR TO THE PLACEMENT OF ANY ASPHALT, BASEROCK OR CONCRETE SURFACING. SEE LANDSCAPE PLANS AND SITE ELECTRICAL DRAWINGS.
7. DO NOT ADJUST GRADES ON THIS PLAN WITHOUT PRIOR WRITTEN APPROVAL OF THE ENGINEER/ARCHITECT.
8. SITE STRIPPINGS THAT CONTAIN ONLY ORGANIC MATERIAL (NO DEBRIS TRASH, BROKEN CONC. OR ROCKS GREATER THAN 1" IN DIAMETER) MAY BE USED IN LANDSCAPE AREAS, EXCEPT FOR AREAS IDENTIFIED AS IMPORT TOP SOIL BY THE LANDSCAPE DRAWINGS. EXCESS STRIPPINGS SHALL BE REMOVED FROM SITE.
9. ROUGH GRADING TO BE WITHIN 0.1' AND FINISH GRADES ARE TO BE WITHIN 0.05' PROVIDED THAT THESE MEET ADA REQUIREMENTS. CONTRACTOR SHALL NOT CONSTRUCT ANY IMPROVEMENTS THAT WILL CAUSE WATER TO POND OR NOT MEET REQUIREMENTS IN GRADING NOTE #1.
10. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THESE PLANS. ALL GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN ON PLANS. WHERE GRADED AREAS DO NOT CONFORM TO TOLERANCES, THE CONTRACTORS SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT NO EXTRA COST TO THE CLIENT, UPON WRITTEN CONFIRMATION TO PROCEED FROM THE CIVIL ENGINEER.
11. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO THE START OF CONSTRUCTION AS TO THE ACCURACY BETWEEN THE WORK SET FORTH ON THESE PLANS AND THE WORK IN THE FIELD. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE CONSTRUCTION MANAGER AND CIVIL ENGINEER IN WRITING PRIOR TO START OF CONSTRUCTION. IF APPLICABLE, THESE MAY REQUIRE CHANGES IN DESIGN AND/OR EARTHWORK QUANTITIES.
12. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT IN EXISTING PUBLIC STREET AREAS. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING WITH ADEQUATE CUTBACK TO PREVENT SHIFTING OF STEEL PLATE AND/OR HOT-MIX ASPHALT REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF THE WORKING DAY.
13. PER CBC (WOOD SUPPORTED BY CONCRETE FOUNDATIONS) PROVIDE 8" MINIMUM CLEARANCE FROM WOOD ELEMENTS TO THE EXTERIOR FINISHED GROUND SURFACE. EXCEPTIONS APPLY PER CODE ONLY.

**NOTES:**

1. AS PART OF THE SCOPE OF WORK, CONTRACTOR SHALL VERTICALLY LOCATE THE EXISTING SEWER LATERAL OR THE SEPTIC SYSTEM. BRING DISCREPANCIES TO THE CIVIL ENGINEER VIA FORMAL RFI PRIOR TO COMMENCING ACTIVITIES (PARTICULARLY GRADING OPERATIONS) WITHIN THE AREAS WHERE THE SYSTEM COULD BE IMPACTED.
2. AREAS LACKING TOPOGRAPHIC INFORMATION (ELEVATIONS) HAVE BEEN INTERPOLATED USING STANDARD ENGINEERING METHODS. CONTRACTOR SHALL FIELD VERIFY ALL ELEVATIONS AT CONFORMS PRIOR TO COMMENCEMENT OF CONSTRUCTION AND REPORT BACK ANY DISCREPANCIES TO THE CIVIL ENGINEER.
3. ALL TREE REMOVAL SHALL BE PERFORMED AS SHOWN ON ARCHITECTURAL SHEETS AND FOLLOWING THE ARBORIST REPORT FOR THE PROJECT. THIS INCLUDES BUT IT IS NOT LIMITED TO GRADING OPERATIONS ADJACENT TO EXISTING TREES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PRESERVE THE INTEGRITY OF TREES TO REMAIN WHICH SHALL NOT BE AFFECTED BY CONSTRUCTION ACTIVITIES.
4. CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT OF ALL IMPROVEMENTS DAMAGED DURING CONSTRUCTION.
5. AS APPLICABLE, DRIVEWAYS USED FOR FIRE ACCESS SHALL NOT EXCEED 14% (FIRE DEPARTMENT STANDARDS FOR FIRE TRUCK ACCESS). CONTRACTOR SHALL FIELD MEASURE THE EXISTING SLOPES AND REPORT BACK TO THE CIVIL ENGINEER ANY SLOPES EXCEEDING THIS REQUIREMENT.

**EARTHWORK:**

PRELIMINARY EARTHWORK QUANTITIES (GROSS NUMBERS)	
BUILDING:	105 C.Y. CUT
BUILDING:	30 C.Y. FILL
SITE:	0 C.Y. CUT
SITE:	55 C.Y. FILL
BALANCE:	20 C.Y. EXPORT
DISTURBANCE:	190 C.Y.

CONTRACTOR SHALL PERFORM THEIR OWN EARTHWORK QUANTITY CALCULATION, AND USE THEIR CALCULATION FOR BIDDING AND COST ESTIMATING PURPOSES. EARTHWORK QUANTITIES SHOWN ARE PRELIMINARY AND FOR PLANNING PURPOSES ONLY.

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



PRINCIPAL IN CHARGE:  
NORMAN I. KONTOROVSKY | nk@kprox.com

DATE:	10/13/2023
DESCRIPTION:	PERMIT SUBMITTAL

**AMERMAN-KLINGLER  
RESIDENCE  
28 DOVER COURT  
SAN CARLOS, CA 94070  
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PROJECT No:	23-3202
DATE:	08/21/2023
SCALE:	1" = 20'
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE  
**GRADING PLAN**  
**C2.1**

**ABBREVIATIONS:**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFPD	BACK FLOW PREVENTION DEVICE
BWV	BACKWATER VALVE
BSTD	BRICKSLOT TRENCH DRAIN
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DIP	DUCTILE IRON PIPE
DS	ROOT DOWN SPOUT
DW	DOMESTIC WATER LINE
DWY	DRIVEWAY
(E)	EXISTING
EG	EXISTING GRADE
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FFB	FINISHED FLOOR BASEMENT
FFU	FINISHED FLOOR UPPER LEVEL
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
INV	INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
PKG	PARKING
POC	POINT OF CONNECTION
RET	RETAINING WALL
RM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCC	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SIGB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TSF	TOP OF SUBFLOOR
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
USD	UNDERSLAB DRAIN
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

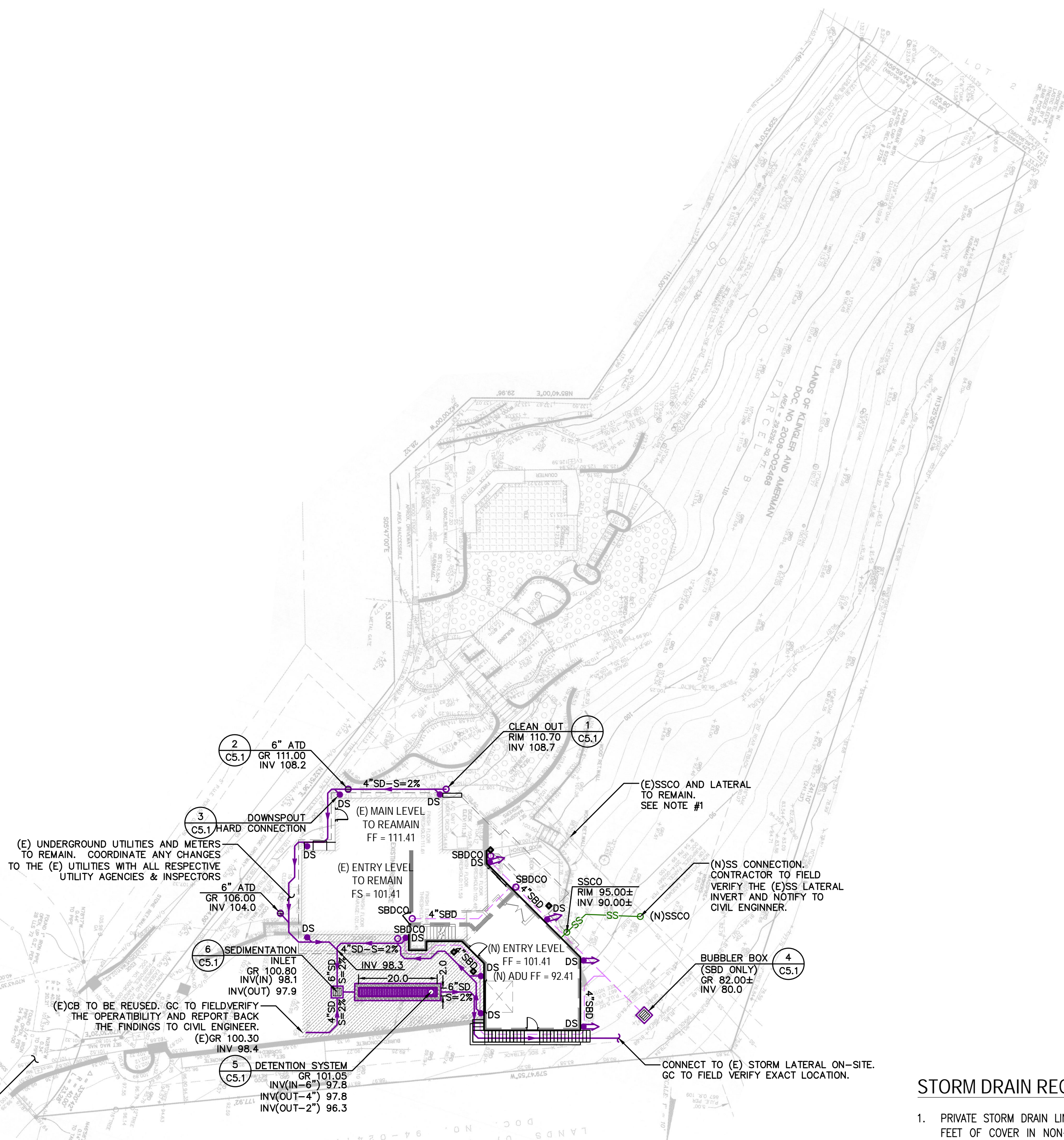
**SANITARY SEWER REQUIREMENTS:**

- ALL SEWER WORK SHALL BE IN CONFORMANCE WITH THE COUNTY'S ENVIRONMENTAL HEALTH DEPARTMENT STANDARDS.
- PRIVATE SANITARY SEWER MAIN AND SERVICE LINE 4-INCH THROUGH 8-INCH SHALL BE POLYVINYL CHLORIDE (PVC) SDR 26 GREEN SEWER PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS. DO NOT USE 90° ELBOWS AND TEE'S.
- ALL LATERALS SHALL HAVE A CLEANOUT AT THE FACE OF BUILDING AND AS SHOWN ON PLANS PER TOWN STANDARDS OR APPROPRIATE SANITARY SEWER DISTRICT. PROVIDE A CLEANOUT ADJACENT TO THE PROPERTY LINE, IN PRIVATE PROPERTY.
- IF THE EXISTING SEWER LATERAL IS TO BE USED, CONTRACTOR SHALL PERFORM A PRESSURE TEST ON (E) SEWER LATERAL, AND SHALL PERFORM ANY NEEDED REPAIRS. SLOPE AT 2% MINIMUM.

**NOTES:**

- CONTRACTOR SHALL VIDEO INSPECT AND FIELD VERIFY THE OPERABILITY OF THE EXISTING SANITARY SEWER LATERAL PRIOR TO BEGINNING ANY DEMOLITION ON SITE. REPORT BACK THE FINDINGS TO THE CIVIL ENGINEER AND PROJECT ARCHITECT.
- CONTRACTOR SHALL FIELD VERIFY ALL OTHER EXISTING UTILITY LATERALS TO BE RE-USED (DOMESTIC WATER, IRRIGATION, ETC).
- ALL SURFACE STORM WATER SHALL BE ROUTED TO A DETENTION SYSTEM / SHALLOW GRAVEL BASIN PER CITY STANDARDS AS SHOWN ON PLANS.

SEE SHEETS C0.0 AND C0.1 FOR ADDITIONAL NOTES AND LEGENDS



**STORM DRAIN REQUIREMENTS:**

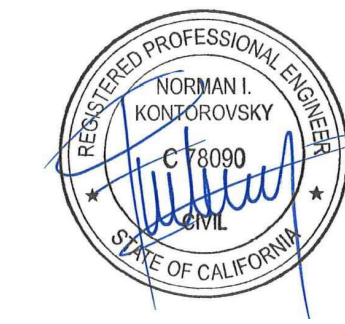
- PRIVATE STORM DRAIN LINE 4-INCH THROUGH 12-INCH WITH A MINIMUM OF TWO (2) FEET OF COVER IN NON-TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) SDR 35 WHITE PIPE AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM DESIGNATION D 3034-73 WITH GLUED JOINTS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS. DO NOT USE 90° ELBOWS AND TEE'S.
- PRIVATE STORM DRAIN LINE 6-INCH THROUGH 12-INCH WITH LESS THAN THREE (3) FEET OF COVER IN VEHICULAR TRAFFIC AREAS SHALL BE POLYVINYL CHLORIDE (PVC) C900, RATED FOR 150 PSI CLASS PIPE. PROVIDE AND INSTALL "STORM DRAIN" MARKER TAPE FOR THE ENTIRE LENGTH OF PIPE TRENCH IN ACCORDANCE WITH CITY STANDARDS. ALL DIRECTION CHANGES SHALL BE MADE WITH WYE CONNECTIONS, 22.5° ELBOWS, 45° ELBOWS OR LONG SWEEP ELBOWS. DO NOT USE 90° ELBOWS AND TEE'S.
- ALL AREA DRAINS AND CATCH BASINS GRATES WITHIN PEDESTRIAN ACCESSIBLE AREAS SHALL MEET ADA REQUIREMENTS. ALL TRENCHES SHALL BE BACK FILLED PER THE SPECIFICATIONS WITH APPROPRIATE TESTS BY THE GEOTECHNICAL ENGINEER TO VERIFY COMPACTION VALUES.
- FOR GRAVITY FLOW SYSTEMS CONTRACTOR SHALL VERIFY (POTHOLE IF NECESSARY) SIZE, MATERIAL, LOCATION AND DEPTH OF ALL SYSTEMS THAT ARE TO BE CONNECTED TO OR CROSSED PRIOR TO THE TRENCHING OR INSTALLATION OF ANY GRAVITY FLOW SYSTEM.
- DRAINS SHOWN ON CIVIL PLANS ARE NOT INTENDED TO BE THE FINAL NUMBER AND LOCATION OF ALL DRAINS. PLACEMENT AND NUMBER OF LANDSCAPING DRAINS ARE HIGHLY DEPENDENT ON GROUND COVER TYPE AND PLANT MATERIAL. CONTRACTOR SHALL ADD ADDITIONAL AREA DRAINS AS NEEDED AND AS DIRECTED BY THE LANDSCAPE ARCHITECT.
- INSTALL SEPARATE SUB-DRAIN SYSTEM BEHIND RETAINING WALLS PER GEOTECHNICAL REPORT AND CONNECT TO STORM DRAIN SYSTEM SEPARATELY FROM THE STORM SURFACE-WATER SYSTEM.
- ALL DOWN SPOUTS SHALL DISCHARGE ONTO ADJACENT PERVIOUS SURFACES THROUGH SPLASH BLOCKS UNLESS OTHERWISE NOTED ON PLANS. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.

**GENERAL UTILITY SYSTEM REQUIREMENTS:**

- ALL TRENCHES SHALL BE BACKFILLED PER GEOTECHNICAL RECOMMENDATIONS AND/OR PER CITY STANDARDS.
- CLEAN OUTS, CATCH BASINS AND AREA DRAINS ARE TO BE ACCURATELY LOCATED BY THEIR RELATIONSHIP TO THE BUILDING, FLATWORK, ROOF DRAINS, AND/OR CURB LAYOUT, NOT BY THE LENGTH OF PIPE SPECIFIED IN THE DRAWINGS (WHICH IS APPROXIMATE).
- CONTRACTOR SHALL STAKE LOCATION OF ABOVE GROUND UTILITY EQUIPMENT (BACKFLOW PREVENTOR, TRANSFORMER, GAS METER, ETC.) AND MEET WITH CLIENT TO REVIEW LOCATION PRIOR TO INSTALLATION. PLANNING DEPARTMENT MUST SPECIFICALLY AGREE WITH LOCATION PRIOR TO PROCEEDING WITH THE INSTALLATION.
- CONTRACTOR SHALL PREPARE AN ACCURATE COMPOSITE UTILITY PLAN THAT TAKES INTO ACCOUNT THE ACTUAL LOCATION OF EXISTING UTILITIES AS DETERMINED DURING THE DEMOLITION WORK, THE UTILITIES SHOWN ON THE CIVIL DRAWINGS, AND THE SITE POWER, CONDUITS AND LIGHTING SHOWN ON THE ELECTRICAL PLANS. THE FIRE SPRINKLER SYSTEM SHALL BE INCLUDED AS DESIGNED BY THE DESIGN/BUILD UNDERGROUND FIRE SPRINKLER CONTRACTOR.
- CATHODIC PROTECTION MAY BE REQUIRED ON ALL METALLIC FITTINGS AND ASSEMBLIES THAT ARE IN CONTACT WITH THE SOIL, IF RECOMMENDED BY A GEOTECHNICAL REPORT. CONTRACTOR IS RESPONSIBLE TO FULLY ENGINEER AND INSTALL THIS SYSTEM AND COORDINATE ANODE AND TEST STATION LOCATIONS WITH OWNER'S PROJECT MANAGER.
- COMPLETE SYSTEMS: ALL UTILITY SYSTEMS ARE DELINEATED IN A SCHEMATIC MANNER ON THESE PLANS. CONTRACTOR IS TO PROVIDE ALL FITTINGS, ACCESSORIES AND WORK NECESSARY TO COMPLETE THE UTILITY SYSTEM SO THAT IT IS FULLY FUNCTIONING FOR THE PURPOSE INTENDED.
- UNDERGROUND UTILITIES OR STRUCTURES ARE SHOWN IN THEIR APPROXIMATE LOCATIONS AND EXTENT BASED UPON RECORD INFORMATION. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CLIENT, BY ACCEPTING THESE PLANS OR PROCEEDING WITH IMPROVEMENTS PURSUANT THERETO, AGREES TO ASSUME LIABILITY AND TO HOLD UNDERSIGNED HARMLESS FOR ANY DAMAGES RESULTING FROM THE EXISTENCE OF UNDERGROUND UTILITIES OR STRUCTURES NOT REPORTED TO THE UNDERSIGNED, NOT INDICATED ON THE PUBLIC RECORDS EXAMINED, LOCATED AT VARIANCE WITH THOSE REPORTED, OR SHOWN DIFFERENTLY ON RECORDS EXAMINED.
- CONTRACTOR SHALL VERIFY ALL EXISTING INVERT ELEVATIONS FOR STORM DRAIN AND SANITARY SEWER CONSTRUCTION PRIOR TO COMMENCEMENT OF ANY WORK. ALL WORK FOR STORM AND SANITARY SEWER INSTALLATION SHALL BEGIN AT THE DOWNSTREAM CONNECTION POINT. THIS WILL ALLOW FOR ANY NECESSARY ADJUSTMENTS TO BE MADE PRIOR TO THE INSTALLATION OF THE ENTIRE LINE. IF THE CONTRACTOR FAILS TO BEGIN AT THE DOWNSTREAM CONNECTION POINT AND WORKS UPSTREAM, HE SHALL PROCEED AT HIS OWN RISK AND BE RESPONSIBLE FOR ANY ADJUSTMENTS NECESSARY. CONTRACTOR SHALL VERIFY LOCATION OF SANITARY SEWER LATERAL WITH OWNER PRIOR TO CONSTRUCTION.
- EXISTING UTILITY CROSSINGS OF NEW PIPELINE ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. GAS, WATER AND SEWER SERVICE LATERALS ARE SHOWN ACCORDING TO THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY THE TYPE, SIZE, LOCATION AND DEPTH OF ALL THE UTILITY CROSSING (BOTH MAINS AND LATERALS) ARE CORRECT AS SHOWN. NO GUARANTEE IS MADE THAT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) ARE SHOWN. THE CONTRACTOR SHALL EXERCISE CAUTION WHEN EXCAVATING AND SHALL PROTECT ALL EXISTING UTILITIES (BOTH MAINS AND LATERALS) FROM DAMAGE DUE TO HIS OPERATION.
- VERTICAL SEPARATION REQUIREMENTS:
  - A MINIMUM OF 6 INCHES VERTICAL CLEARANCE SHALL BE PROVIDED BETWEEN CROSSING UTILITY PIPES, EXCEPT THAT THE MINIMUM VERTICAL CLEARANCE BETWEEN WATER AND SANITARY SEWER PIPELINES SHALL BE 12 INCHES AND ALL NEW WATER PIPES SHALL BE INSTALLED TO CROSS ABOVE/OVER EXISTING SANITARY SEWER PIPELINES UNLESS OTHERWISE APPROVED BY THE CIVIL ENGINEER.
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED.
- HORIZONTAL SEPARATION REQUIREMENTS:
  - A MINIMUM HORIZONTAL SEPARATION BETWEEN NEW PIPELINES AND ANY EXISTING UTILITIES SHALL BE 5 FEET, EXCEPT THAT THE MINIMUM HORIZONTAL SEPARATION FOR WATER AND SANITARY SEWER PIPELINES SHALL BE 10 FEET MINIMUM, UNLESS OTHERWISE NOTED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING APPROPRIATE UTILITIES AND REQUESTING VERIFICATION OF SERVICE POINTS, FIELD VERIFICATION OF LOCATION, SIZE, DEPTH, ETC. FOR ALL THEIR FACILITIES AND TO COORDINATE WORK SCHEDULES.
- ANY EXISTING UNDERGROUND UTILITY LINES TO BE ABANDONED, SHOULD BE REMOVED FROM WITHIN THE PROPOSED BUILDING ENVELOPE AND THEIR ENDS CAPPED OUTSIDE OF THE BUILDING ENVELOPE.

**WATER SYSTEM REQUIREMENTS:**

- MAINTAIN WATER LINES 10 FEET AWAY FROM SANITARY SEWER LINES.
- WHERE WATER LINES HAVE TO CROSS SANITARY SEWER LINES, DO SO AT A 90 DEGREE ANGLE AND WATER LINES SHALL BE MINIMUM OF 12 INCHES ABOVE THE TOP OF SANITARY SEWER LINES.
- ALL WATER SERVICE CONNECTIONS SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVING AGENCY OR APPLICABLE WATER DISTRICT STANDARDS.
- THE CONTRACTOR SHALL PAY THE ACTUAL COSTS OF CONSTRUCTION UPON APPROVAL AND WITH A PERMIT IN HANDS, THE CONTRACTOR SHALL PERFORM ALL EXCAVATION, PREPARE THE SITE, FURNISH ALL MATERIALS, INSTALL TAPPING TEE, VALVE AND ALL THRUST BLOCKS, BACKFILL, RESTORE THE SURFACE, AND CLEAN UP. THE CITY WILL PROVIDE THE CLIENT WITH A LIST OF APPROVED CONTRACTORS FOR MAKING WET TAPS. NONMETALLIC WATER LINES SHALL HAVE TRACER WIRES INSTALLED.
- ALL WATER LINES SHALL BE INSTALLED WITH 36 INCHES MINIMUM COVER.
- CONTRACTOR SHALL SIZE AND INSTALL ALL NEW DESIGN BUILD DOMESTIC IRRIGATION AND FIRE WATER LINE(S) IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM/CALIFORNIA PLUMBING AND FIRE CODES. (ALL FIXTURE UNIT COUNTS SHALL BE REVIEWED AND APPROVED BY AGENCY'S BUILDING AND/OR WATER DEPARTMENT PRIOR TO CONSTRUCTION.)
- CONCRETE THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, CROSSES, BENDS (HORIZONTAL AND VERTICAL), AT SIZE CHANGES AND AT FIRE HYDRANTS PER THE APPROVING AGENCY STANDARDS.



PRINCIPAL IN CHARGE: IGOR M. KONTOROVSKY | imk@kprox.com

DATE: 10/13/2023

DESCRIPTION: PERMIT SUBMITTAL

**AMERMAN-KLINGLER**  
**RESIDENCE**  
 28 DOVER COURT  
 SAN CARLOS, CA 94070  
 UNINCORPORATED SMC0

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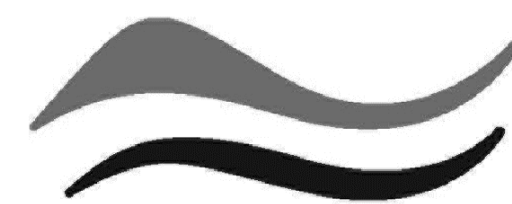
PROJECT No:	23-3202
DATE:	08/21/2023
SCALE:	1" = 20'
DESIGN/DRAWN:	MK
CHECKED:	IK

SHEET TITLE

DRAINAGE AND UTILITY PLAN

**C3.1**





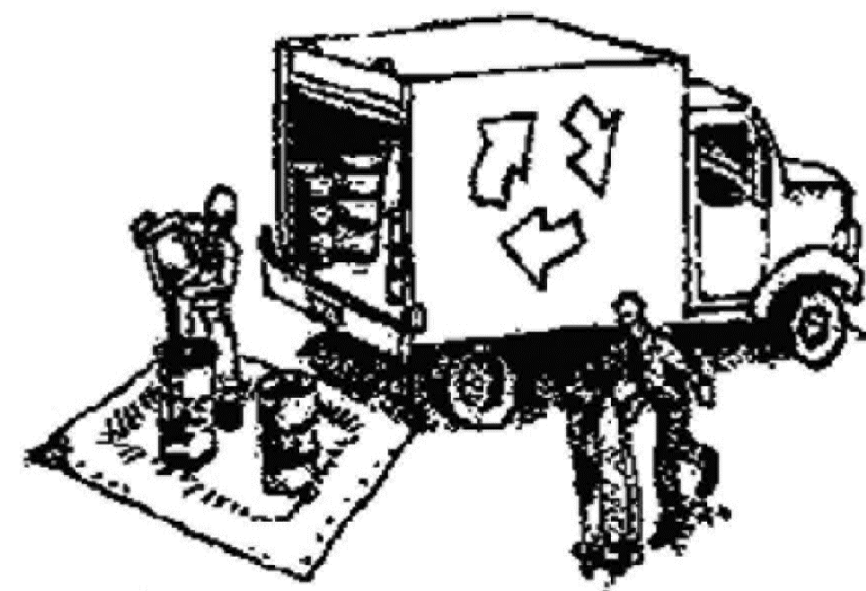
SAN MATEO COUNTYWIDE  
**Water Pollution  
Prevention Program**

Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



### Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

### Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control



### Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving



- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

### Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work

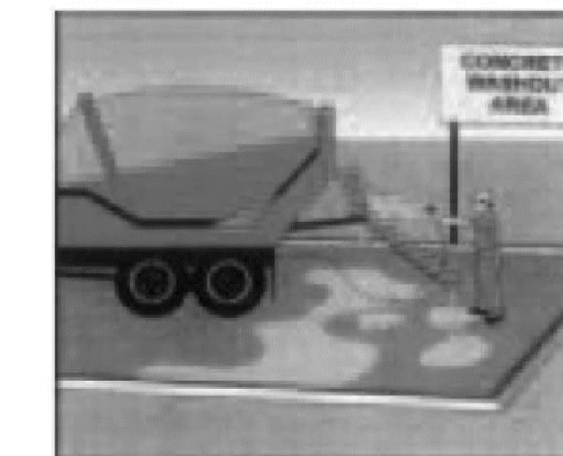


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

### Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar Application



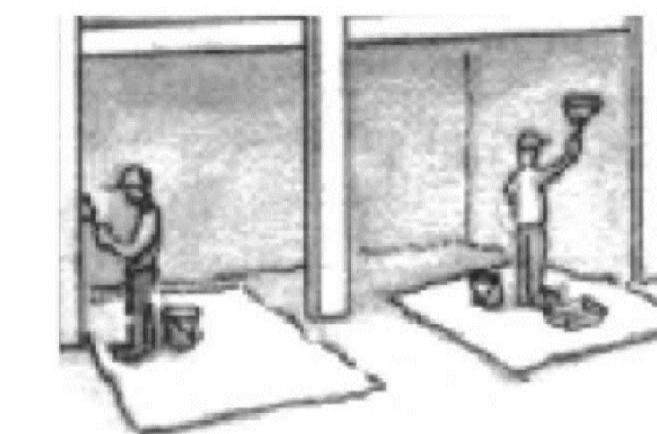
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

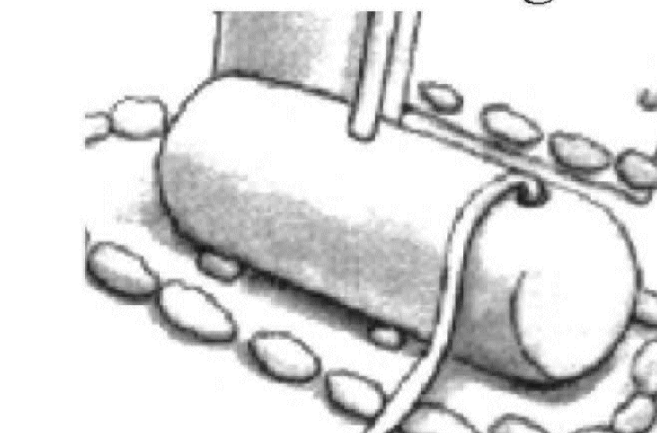
## Painting & Paint Removal



### Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to \$10,000 per day!**



PRINCIPAL IN CHARGE:  
NORMAN I. KONTOROVSKY | nk@kprox.com

DATE: 10/13/2023

DESCRIPTION: PERMIT SUBMITTAL

**AMERMAN-KLINGLER  
RESIDENCE  
28 DOVER COURT  
SAN CARLOS, CA 94070  
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PROJECT No: 23-3202  
DATE: 08/21/2023  
SCALE: AS SHOWN  
DESIGN/DRAWN: MK  
CHECKED: IK

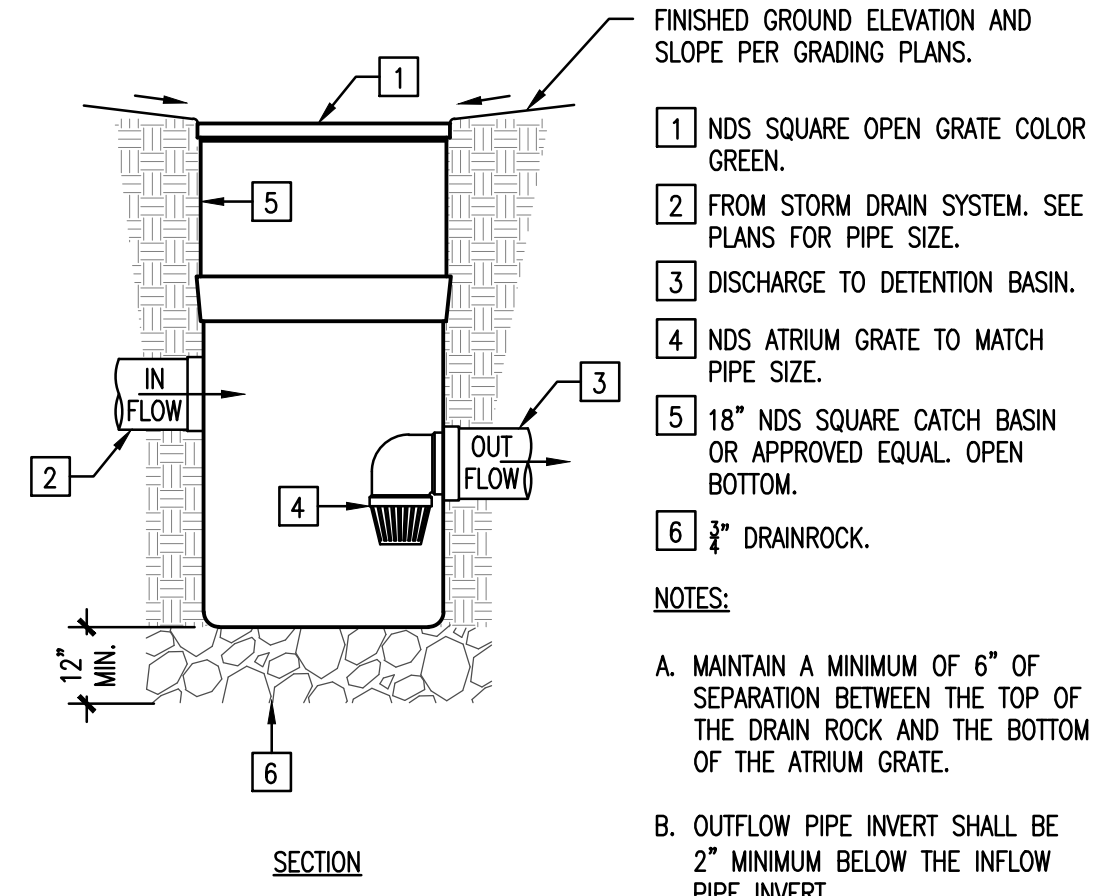
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BEST  
MANAGEMENT  
PRACTICES

**C4.2**

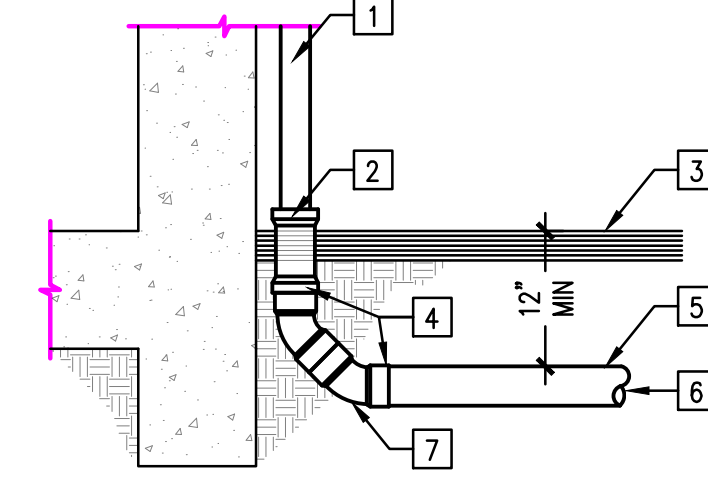


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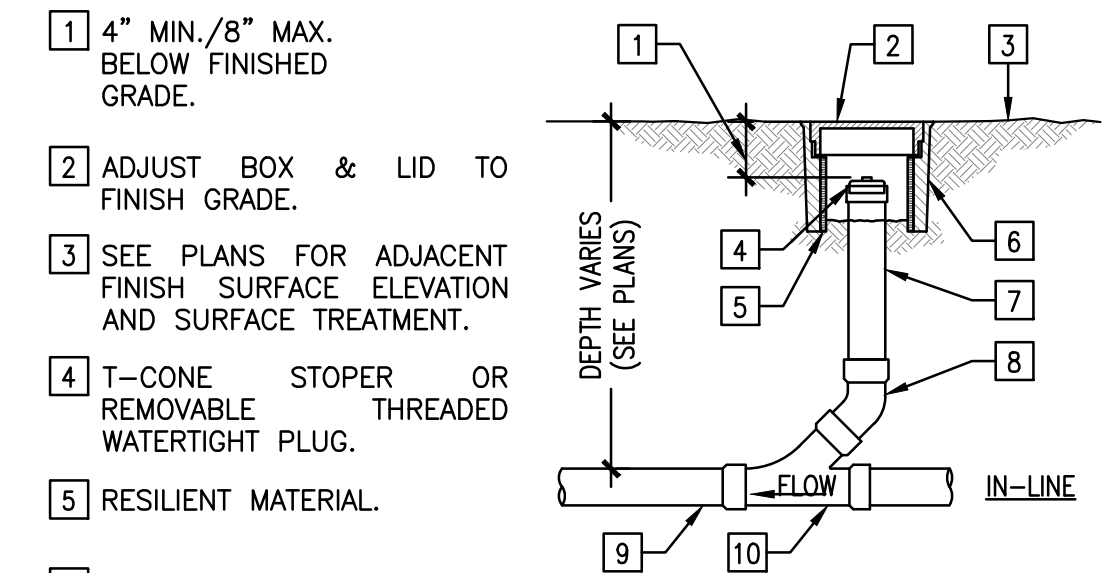
- FINISHED GROUND ELEVATION AND SLOPE PER GRADING PLANS.
- 1 NDS SQUARE OPEN GRATE COLOR GREEN.
  - 2 FROM STORM DRAIN SYSTEM. SEE PLANS FOR PIPE SIZE.
  - 3 DISCHARGE TO DETENTION BASIN.
  - 4 NDS ATRIUM GRATE TO MATCH PIPE SIZE.
  - 5 18" NDS SQUARE CATCH BASIN OR APPROVED EQUAL OPEN BOTTOM.
  - 6 3/4" DRAINROCK.
- NOTES:
- A. MAINTAIN A MINIMUM OF 6" OF SEPARATION BETWEEN THE TOP OF THE DRAIN ROCK AND THE BOTTOM OF THE ATRIUM GRATE.
- B. OUTFLOW PIPE INVERT SHALL BE 2" MINIMUM BELOW THE INFLOW PIPE INVERT.

6 N.T.S. SED-INLET → **SEDIMENTATION INLET**



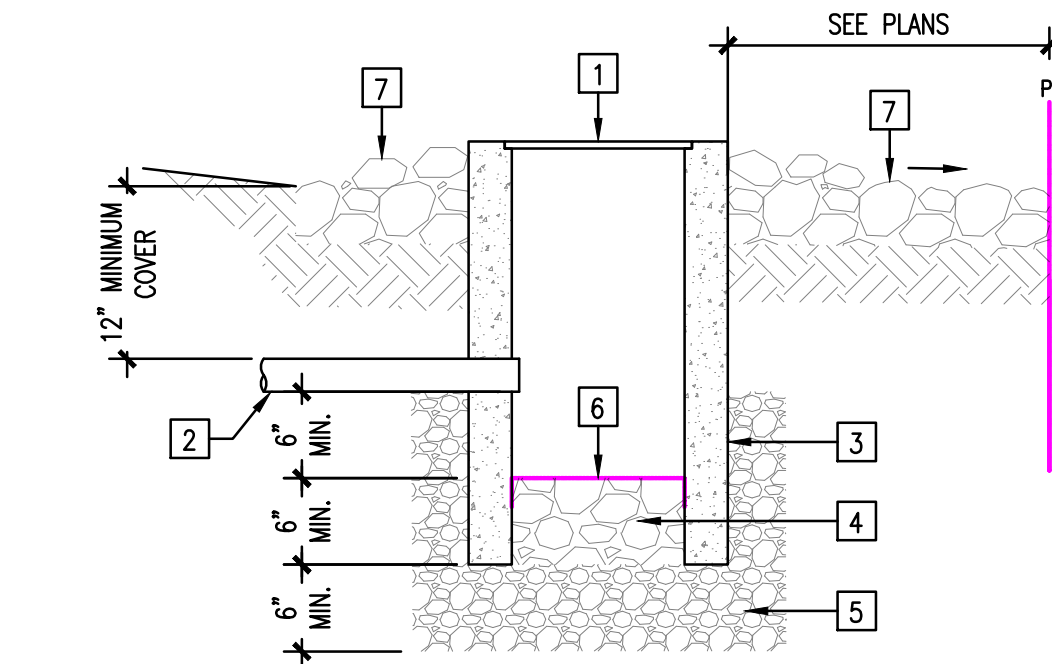
- 1 SQUARE OR CIRCULAR ROOF DOWN SPOUT.
- 2 FOR SQUARE DS: 2" OR 3" (DEPENDING ON DS SIZE) SQUARE TO 4" DIAMETER REDUCER. FOR CIRCULAR DS: 2" OR 3" DIAMETER TO 4" DIAMETER REDUCER.
- 3 FINISHED SURFACE (SEE PLANS).
- 4 WATER TIGHT CONNECTIONS.
- 5 MATERIAL AS SPECIFIED ON PLANS.
- 6 CONNECT TO STORM DRAIN OR CATCH BASIN. SEE UTILITY PLAN FOR SIZE AND SLOPE.
- 7 (2) 4" SCH 40 PVC 45° ELBOWS.

3 N.T.S. DS-HC → **DOWN SPOUT HARD CONNECTION**



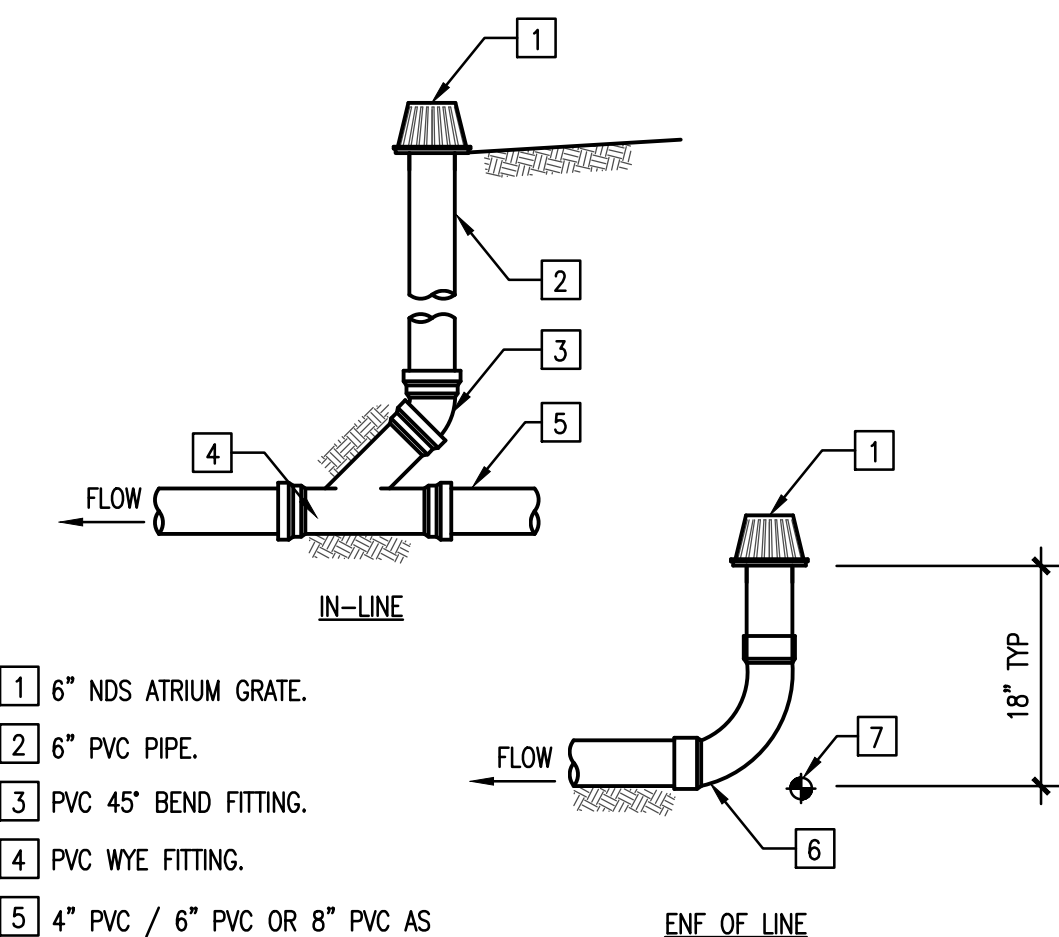
- 1 4" MIN./8" MAX. BELOW FINISHED GRADE.
- 2 ADJUST BOX & LID TO FINISH GRADE.
- 3 SEE PLANS FOR ADJACENT FINISH SURFACE ELEVATION AND SURFACE TREATMENT.
- 4 T-CONE STOPPER OR REMOVABLE THREADED WATER TIGHT PLUG.
- 5 RESILIENT MATERIAL.
- 6 F01 OR F08 CHRISTY BOX W/REINFORCED CONCRETE COVER MARKED "STORM".
- 7 PVC RISER.
- 8 45° PVC BEND.
- 9 SEE PLANS FOR INVERT ELEVATION AND SLOPES.
- 10 ONE WAY CLEANOUT WYE. SIZE AS SPECIFIED ON PLANS.
- 11 PIPE CAP

1 N.T.S. CO → **SD & SS CLEANOUT**



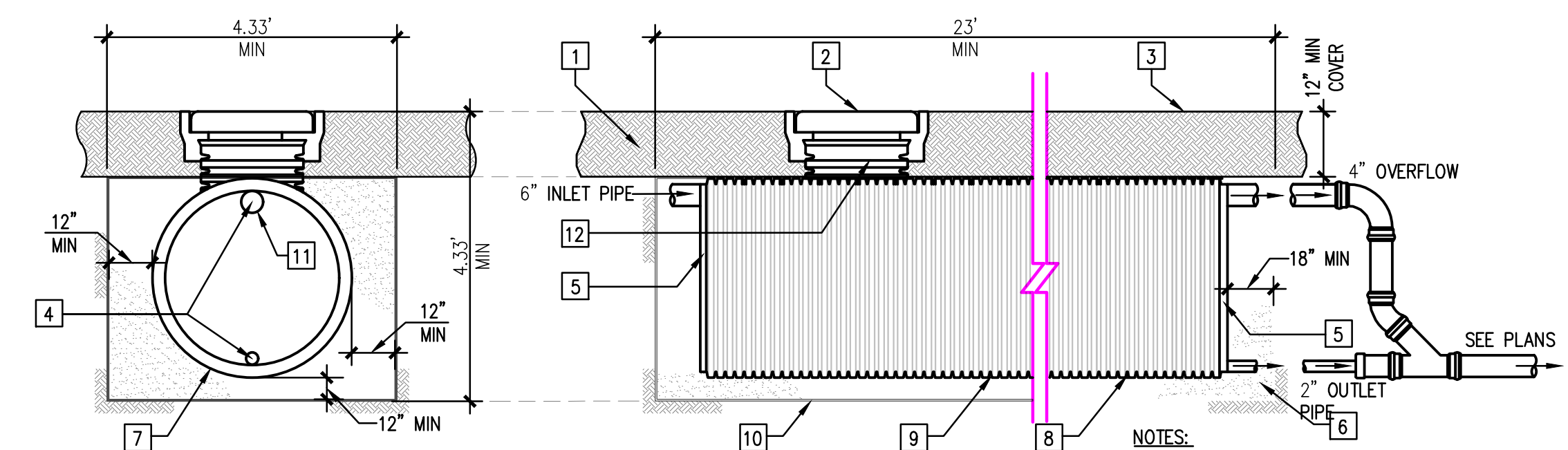
- 1 CAST IRON GRATE COVER
  - 2 FORCE MAIN OR GRAVITY LINE
  - 3 CHRISTY V12 CONCRETE DRAIN BOX WITH OPEN BOTTOM
  - 4 2" MIN. RIVER COBBLE STONE
  - 5 3/4" DRAIN ROCK
  - 6 FILTER FABRIC (MIRAFI 140N)
  - 7 2" TO 2" RIVER COBBLE
- NOTES:
- A. BUBBLER BOX GRATE TO BE SET 6" ABOVE ADJACENT GROUND.

4 N.T.S. BUBBLER BOX → **BUBBLER BOX (IN LANDSCAPE)**



- 1 6" NDS ATRIUM GRATE.
- 2 6" PVC PIPE.
- 3 PVC 45° BEND FITTING.
- 4 PVC WYE FITTING.
- 5 4" PVC / 6" PVC OR 8" PVC AS SPECIFIED ON PLANS.
- 6 6" SCH 40 PVC 90° EL. LONG.
- 7 INVERT ELEVATION DESIGNATED ON THE PLAN.

2 N.T.S. 6" ATD → **6" ATRIUM DRAIN**



- 1 COMPACTED NATIVE SOIL BACKFILL.
  - 2 SOLID, BOLTED AND CHILD PROOF LID. ACCESS TO BE SIMILAR TO A 2'x2' OPENING.
  - 3 FINISHED GRADE. SEE PLANS FOR ELEVATION.
  - 4 MANUFACTURER WELDED PIPE. INVERTS ON DRAINAGE PLANS.
  - 5 MANUFACTURER WELDED 24" END PLATE (TYP).
  - 6 ON-SITE NATIVE SOIL OR IMPORT MATERIAL APPROVED BY THE GEOTECHNICAL ENGINEER.
  - 7 SOLID PIPE, NO PERFORATIONS ALLOWED (TYP).
  - 8 BELL AND SPIGOT FOR PIPES OVER 20.0'
  - 9 24" DIAMETER NON-PERFORATED HANCOR ECOFIRST PIPE. (O.D. 28").
  - 10 NO FILTER FABRIC (TYP).
  - 11 OVERFLOW PIPE SHALL BE PLACED AT THE TOP.
  - 12 MANUFACTURER WELDED 24" DIAMETER ACCESS RISER.
- NOTES:
- A. BOTTOM OF TRENCH MUST BE A MINIMUM OF 10 FEET ABOVE GROUND WATER TABLE.
- B. PRIOR TO EXCAVATING, CONTRACTOR SHALL OBTAIN APPROVAL ON LOCATION BY THE GEOTECHNICAL ENGINEER.
- C. CONTRACTOR SHALL CALL THE CIVIL ENGINEERING FOR AN INSPECTION PRIOR TO BACKFILLING THE UPPER HALF OF THE DETENTION SYSTEM.
- D. CONTRACTOR SHALL ALSO CONTACT THE PUBLIC WORKS ENGINEERING DEPARTMENT FOR AN INSPECTION PRIOR TO BACKFILL OF THE DETENTION SYSTEM.
- E. LID ACCESS TO BE BURIED 6" IF REQUIRED PER THE LANDSCAPE ARCHITECT.

5 N.T.S. DETENTION → **DETENTION SYSTEM (NON-PERFORATED)**

**AMERMAN-KLINGLER**  
**RESIDENCE**  
**28 DOVER COURT**  
**SAN CARLOS, CA 94070**  
**UNINCORPORATED SMC0**

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PROJECT No: 23-3202  
DATE: 08/21/2023  
SCALE: 1" = 10'  
DESIGN/DRAWN: MK  
CHECKED: IK

SHEET TITLE

DETAILS

**C5.1**