

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: March 12, 2025

TO: Planning Commission

FROM: Planning Staff

SUBJECT: Consideration of a Non-Conforming Use Permit (NCUP) pursuant to Section 8.388.030 of the San Mateo County Ordinance Code, to allow construction of a new 500 square-foot, detached, two-car garage on a non-conforming 12,446-square foot parcel with an existing 4,014 sq. ft. single-family residence at 2896 Hillside Drive in the unincorporated Burlingame area of San Mateo County. A NCUP is requested to allow 30.4% lot coverage, where 25% is the maximum allowed. In conjunction with the requested Use Permit, it is recommended that the Planning Commission determine that the project is categorically exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15303(e).

County File Number: PLN2024-00327 (Consentino)

PROPOSAL

The applicant proposes to build a new 500 sq. ft., two-car, detached garage in the rear right corner of the subject property, to provide parking for the existing single-family residence. Currently, there is no covered parking on the site, as the parking spaces were converted into an Accessory Dwelling Unit, (BLD2022-02190) in 2024. Due in part to the substandard size of the subject parcel (12,446 sq. ft. where 20,000 sq. ft. is required in the S-10 Zoning District), the footprint of the proposed garage exceeds the allowable lot coverage for the parcel, and a Non-Conforming Use Permit is required.

RECOMMENDATION

1. That the Planning Commission approve the Non-Conforming Use Permit, County File Number PLN2024-00327, based on and subject to the required findings and conditions of approval listed in Attachment A.
2. That the Planning Commission determine that the project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303(e).

BACKGROUND

Report Prepared By: Erica Adams, Project Planner, Telephone 650/363-1828

Applicant/Owner: Angelo Consentino

Public Notification: Ten (10) day advance notification for the hearing was mailed to property owners within 300 feet of the project parcel and a notice for the hearing was posted in San Mateo County Times, a newspaper of general public circulation.

Location: 2896 Hillside Drive, Burlingame

APN(s): 027-112-280

Size: 12,446 sq. ft

Existing Zoning: R-1/S-10 (One Family Residential District/Residential Density District 10 with a minimum lot size of 20,000 sq. ft.)

General Plan Designation: Low Density Residential/Urban

Sphere-of-Influence: City of Burlingame

Existing Land Use: Single-family residence and Accessory Dwelling Unit

Environmental Evaluation: This project is exempt from environmental review pursuant to CEQA Guidelines, Section 15303, Class 3, specifically subdivision (e) related to construction of accessory (appurtenant) structures including garages and carports, in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive.

Setting: The property is a parcel developed with a single-family residence constructed in 1977. Surrounding parcels are developed and largely non-conforming in size.

Chronology:

<u>Date</u>	<u>Action</u>
October 7, 2022	- Owner applies for a building permit for an addition to the existing residence and partial garage conversion (one parking space) to a Junior Accessory Dwelling Unit. (BLD2022-02190)
February 21, 2023	- The scope of the building application is revised to involve a full garage conversion (two parking spaces) to an Accessory Dwelling Unit.

- July 26, 2024 - Planning informs the applicant that a Non-Conforming Use Permit is required for the new garage, which exceeds lot coverage.
- September 6, 2024 - Building permit (BLD2022-02190) was issued for remodel and Accessory Dwelling Unit.
- December 11, 2024 - Subject application submitted for a Non-Conforming Use Permit.
- March 12, 2025 - Planning Commission Hearing

DISCUSSION

A. KEY ISSUES

1. Conformance with the General Plan

The parcel is designated Urban by the County General Plan and is subject to the Chapter 8 for Urban Land Uses. Both the existing and proposed development comply with applicable policies of Chapter 8 with respect to urban development and density as identified below.

Policy 8.15 (*Land Use Compatibility*) requires development to; a. Protect and enhance the character of existing single-family areas; b. Protect existing single-family areas from adjacent incompatible land use designations which would degrade the environmental quality and economic stability of the area.

The proposed detached garage is an accessory use to the existing residential development. The detached garage does not alter the density of dwelling units on the parcel. The amount of development which exceeds zoning standard for lot coverage is minor in nature, would serve a permitted use, increases the property’s conformity to parking requirements, and does not degrade the overall character of the single-family area.

2. Conformance with the County Ordinance Code

A summary of project conformance with the current requirements of the R-1/S-10 Zoning District is provided in the table below.

Development Standards	Zoning Requirements	Existing	Proposed
Minimum Building Site Area	20,000 sq. ft.	12,446 sq. ft.*	No changes
Minimum Building Site Width	50 ft.	60 ft.	No changes
Minimum Setbacks Of residence Front	20 ft.	24ft.	No changes
Rear	20 ft.	17.75 ft	
Sides	10 ft.	Left side:10 ft. Right side:18.3 ft.	
Minimum Setbacks Of detached structure Front	69 ft. Rear ½ of parcel	N/A	90 ft.
Rear	3 ft.	N/A	4 ft.
Sides	3 ft.	N/A	Left side 60.1 ft. Right side 4 ft.
Maximum Lot Coverage	25% or 3,120 sq. ft.	26.3% or 3,280 sq. ft.	30.3%* or 3,780 sq. ft.*
Maximum Building Floor Area	N/A No Floor Area Ratio	4,014 sq. ft.	4,514 sq. ft.
Maximum Accessory Building Height	19 ft.	N/A	17.66 ft
Minimum Parking	2 covered spaces	2 uncovered spaces**	2 covered spaces and 2 uncovered spaces
* Non-conformity will be addressed by the subject Non-Conforming Use Permit application. **Parking lost due to a garage conversion to an ADU is not required to be replaced per State law.			

The parking that was included with the existing residence at the time of construction was covered into an ADU in 2024. The proposed garage will replace that parking and will increase the property's conformance with residential parking requirements. The requested Non-Conforming Use Permit is necessary to address the proposed lot coverage (as indicated by an asterisk*).

The project conforms to the regulations governing the detached buildings, which require the accessory building be located in the rear half of the parcel, have a plate height no higher than 10 feet and a maximum height of 19 feet.

3. Conformance with the Use Permit Regulations

As a legal, non-conforming parcel (12,446 sq. ft., where 20,000 sq. ft. is the minimum), development which does not meet current zoning standards can be allowed with the approval of a Non-Conforming Use Permit, per Section 8.388.030 of the County Ordinance Code. The following is a discussion of project conformance with required findings, per Section 8.388.030 of the County Ordinance Code, for the Planning Commission to grant the Non-Conforming Use Permit:

- a. The proposed development is proportioned to the size of the parcel on which it is being built.

The parcel is non-conforming in size, approximately 40% smaller than a conforming parcel in the S-10 zoning district. The subject parcel is located on the edge of a S-10 zoned area and is surrounded by parcels in a S-9 zoned area, that have smaller parcel sizes and a higher lot coverage allowance (30%). Therefore, the exception being requested, an additional 5% of lot coverage (30% in total), is small enough to allow the project to have the appearance proportionality similar to that of surrounding residential development.

- b. All opportunities to acquire additional contiguous land in order to achieve conformity with the County Ordinance Code currently in effect have been investigated and proven to be infeasible.

The subject parcel history shows that the original parcel was enlarged with a portion of an adjacent parcel to the east in 1941. The adjacent parcel to the east (2892 Hillside Drive) was also enlarged with the addition of portion of an adjacent lot. The applicant approached the property owner of 2892 Hillside Drive to inquire about acquisition of additional land, and there was no interest from the property owner.

With regard to other parcels contiguous, the acquisition of one of these properties to achieve the conforming parcel and project coverage is not feasible because the adjacent parcels are already developed and also substandard in size.

- c. The proposed development is as nearly in conformance with the County Ordinance Code currently in effect as is reasonably possible.

Initially, the applicant applied for a 625-square foot, two-car garage, or a 5% exceedance of the lot coverage standard. As the minimum standard two-car garage is about 400 sq. ft., staff worked with the applicant to reduce the size of the garage to 500 sq. ft., or a 4% exceedance, but the applicant declined to reduce the garage to 400 sq. ft. (or a 3.2% exceedance). The applicant indicated that 400 sq. ft. was too small and has submitted a statement in support of the requested exceptions on the application and via email, included as

Attachment D to this report. Five hundred square feet, while not the minimum is an average size garage.

The exceedance in lot coverage for a 500-square-foot garage is relatively minor. It is reasonable to allow the property owner to achieve residential development that is consistent with County parking requirements and with other development in the neighborhood.

- d. The establishment, maintenance, and/or conduction of the proposed use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources or be detrimental to the public welfare or injurious to property or improvements in the said neighborhood.

The proposed detached garage would not be disharmonious with the surrounding residences or community, as detached garages are typical forms of residential development. Based on the foregoing, staff has determined that this proposal would not be detrimental to the public welfare or injurious to property or improvements.

The project has been reviewed by County Fire and the Department of Public Works and been preliminarily approved. Conditions of approval have been added to Attachment A. The project is not located in the Coastal Zone and would not impact coastal resources.

- e. Use Permit approval does not constitute a granting of special privileges.

It is not uncommon for substandard-size parcels to require relief from development standards such as lot coverage. This is especially the case when a development standard is at the lower end of the allowance spectrum. In this instance, the introduction of a State law allowing parking spaces to be converted to accommodate accessory dwelling units is a contributor to the need for detached parking. It is common to allow an owner to replace covered parking with a minor exception in cases where parcel size prevents full adherence to the development standards. The lot is significantly substandard in size and the proposed development will be consistent with other houses in the neighborhood.

B. ENVIRONMENTAL REVIEW

This project is exempt from environmental review pursuant to CEQA Guidelines, Section 15303, Class 3(e) related to construction of accessory (appurtenant) structures including garages and carports, in a residential zone, in an urbanized area where all public services and facilities are available, and the project area is not environmentally sensitive.

C. REVIEWING AGENCIES

Building Inspection Section
Building Drainage Section
Department of Public Works
County Fire

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map and Assessor's Parcel Map
- C. Project Plans
- D. Use Permit Application/Supporting Statements

County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN2024-00327

Hearing Date: March 12, 2025

Prepared By: Erica Adams, Project Planner For Adoption By: Planning Commission

RECOMMENDED FINDINGS

1. That the Planning Commission approve the Non-Conforming Use Permit, County File Number PLN2024-00327, based on and subject to the required findings and conditions of approval in Attachment A.
2. That the Planning Commission determine that the project is categorically exempt from CEQA pursuant to CEQA Guidelines Section 15303(e).

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Planning Commission on March 12, 2025. Minor modifications to the project may be approved by the Director of Planning and Building if they are consistent with the intent of, and in substantial conformance with, this approval.
2. This Non-Conforming Use Permit is valid for one (1) year from the date of final approval, in which time a valid building permit shall be issued, and a completed inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. Any extension of this permit shall require submittal of an application for permit extension and payment of applicable fees 60 days prior to expiration.
3. The applicant shall apply for a building permit and shall adhere to all requirements from the Building Inspection Section, the Department of Public Works, and County Fire. Additionally, construction shall not commence until a valid building permit is issued.

4. To reduce the impact of any construction-related activities on neighboring properties, comply with the following:
 - a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. The applicant shall monitor the site to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall remove all construction equipment from the site upon completion of the use and/or need of each piece of equipment which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles shall impede through traffic along Hillside Road. All construction vehicles shall be parked on-site outside the public right-of-way, or in locations which do not impede safe access on Hillside Road. There shall be no storage of construction vehicles in the public right-of-way.
5. Noise sources associated with demolition, construction, repair, remodeling, or grading of any real property shall be limited to the hours from 7:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 5:00 p.m., Saturdays. Said activities are prohibited on Sundays, Thanksgiving, and Christmas (San Mateo County Ordinance Code Section 4.88.360).

Building Inspection Section

6. A building permit is required.
7. At the time of building permit application the applicant shall submit a C3C6 form and drainage plans.

Department of Public Works

8. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
9. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

10. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.

County Fire

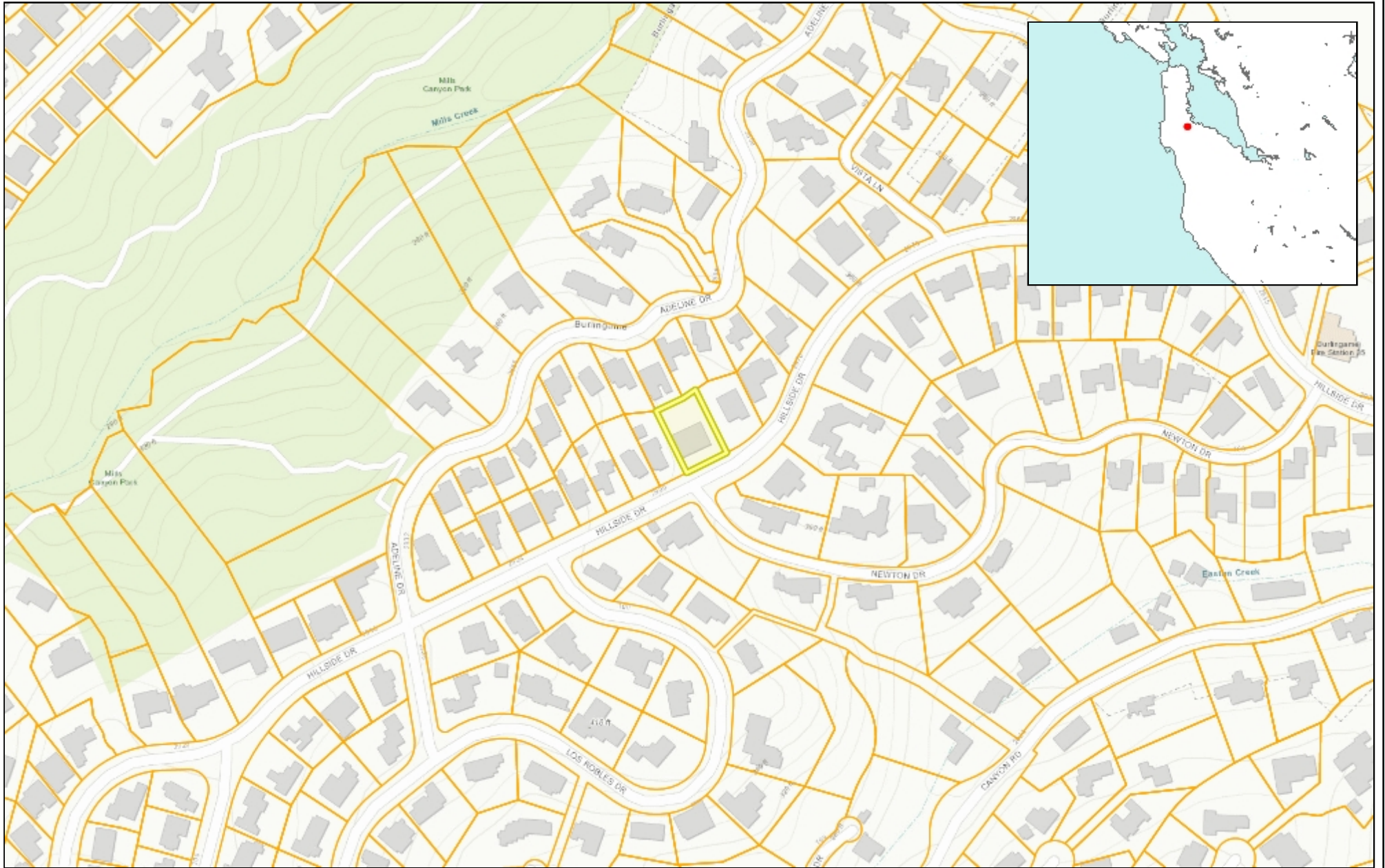
11. Approved fire apparatus access roads shall be provided for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction.
12. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 720 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an approved route around the exterior of the building or facility.
13. Fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced to provide all-weather driving capabilities.
14. When required by the San Mateo County Fire Department, a Knox Box of the size and type designated shall be mounted on the building near the main entrance and shall be located a minimum of 60 inches and not higher than 72 inches above the finished floor, in a location approved by the fire code official. Additional Knox Boxes may be required at rear entrances to buildings. Knox padlocks or Knox Gate Switches may be required at any access as specified by the fire code official.
15. Where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 400 feet (122 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building, on-site fire hydrants and mains shall be provided where required by the fire code official. Exception: For Group R-3 and Group U occupancies, equipped throughout with an approved automatic sprinkler system installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3, the distance requirement shall be not more than 600 feet (183 m).
16. Weeds, grass, vines or other growth that is capable of being ignited and endangering property, shall be cut down and removed by the owner or occupant of the premises. Vegetation clearance requirements in wildland-urban interface areas shall be in accordance with Chapter 49.
15. Construction, projections, openings and penetrations of exterior walls of dwellings and accessory buildings shall comply with Table R302.1(1); or dwellings and accessory buildings equipped throughout with an automatic sprinkler system installed in accordance with Section R313 shall comply with Table R302.1(2). Exceptions: a. Walls, projections, openings or penetrations in walls perpendicular to the line used to determine the fire separation distance. b. Walls of individual

dwelling units and their accessory structures located on the same lot. c. Detached tool sheds and storage sheds, playhouses and similar structures exempted from permits are not required to provide wall protection based on location on the lot. Projections beyond the exterior wall shall not extend over the lot line. d. Detached garages accessory to a dwelling located within 2 feet (610 mm) of a lot line are permitted to have roof eave projections not exceeding 4 inches (102 mm). e. Foundation vents installed in compliance with this code are permitted. All fire conditions and requirements must be incorporated into your building plans, (see attached conditions) prior to building permit issuance. It is your responsibility to notify your contractor, architect and engineer of these requirements.




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT B



0.13 0 0.06 0.13 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:4,019 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

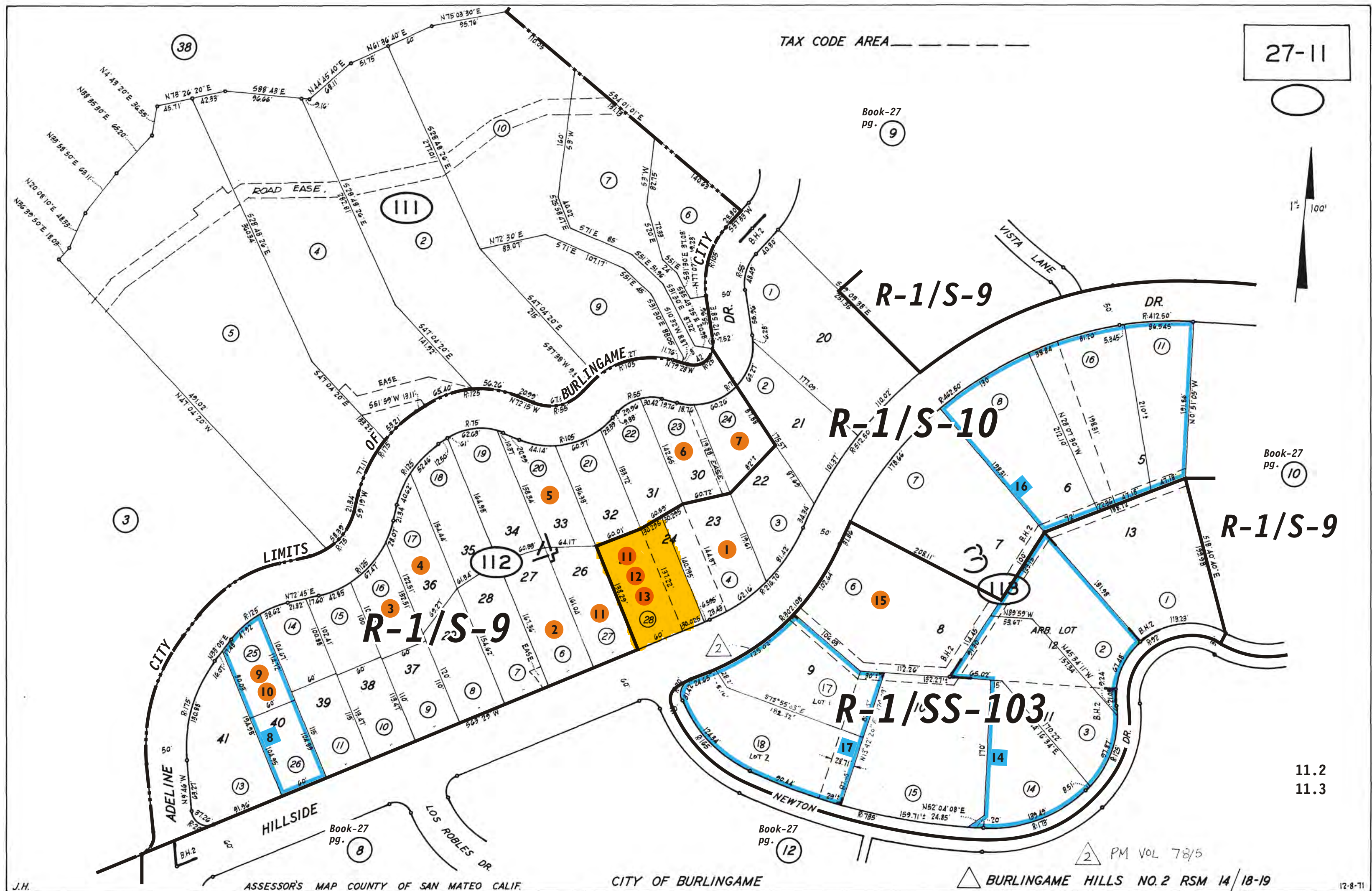


TAX CODE AREA

Book-27
pg. 9

Book-27
pg. 10

11.2
11.3

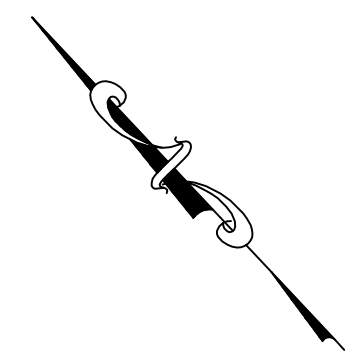




COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT C

2896 HILLSIDE DRIVE SAN MATEO, CA 94010 DETACHED GARAGE (N)



GENERAL NOTES

- ALL CONSTRUCTION TO CONFORM TO THE 2022 CALIFORNIA RESIDENTIAL CODE (CRC), 2022 CALIFORNIA BUILDING CODE (CBC), 2022 CALIFORNIA FIRE CODE (CFC), THE 2022 CALIFORNIA ELECTRICAL CODE (CEC), AND THE 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CGBSC)
- THE CONTRACTOR IS RESPONSIBLE TO CHECK THE PLANS AND IS TO NOTIFY THE DESIGNER OF ANY ERRORS OR OMISSIONS PRIOR TO THE START OF CONSTRUCTION.
- WRITTEN DIMENSIONS HAVE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- DESIGN LOADS:

ROOF	20 PSF (LIVE LOAD)
FLOOR	40 PSF (LIVE LOAD)
WIND SPEED	85 MPH
SEISMIC DESIGN CATEGORY	D
- THE ABOVE VALUES ARE MINIMUM AND MAY BE INCREASED IF DESIRED. VERIFY WITH CONTRACTOR.
- PROVIDE INSULATION BAFFLES AT EAVE VENTS BETWEEN RAFTERS.

FOUNDATION NOTES

- FOOTINGS ARE TO BEAR ON UNDISTURBED LEVEL SOIL DEVOID OF ANY ORGANIC MATERIAL AND STEPPED AS REQUIRED TO MAINTAIN THE REQUIRED DEPTH BELOW FINAL GRADE.
- SOIL BEARING PRESSURE ASSUMED TO BE 1500 PSF (DEAD + LIVE LOADS).
- ALL BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" (SINGLE STORY) AND 18" (TWO STORY) INTO FIRM AND NATURAL UNDISTURBED SOIL, OR APPROVED COMPACTED FILL. WHERE FILLS ARE ENCOUNTERED, APPROPRIATE MEASURES SHALL BE TAKEN TO INSURE APPROVED COMPACTION SUITABLE FOR INTENDED USE. THE CONTRACTOR SHALL CONSULT WITH LOCAL BUILDING DEPARTMENT. NON-BEARING FOOTINGS SHALL EXTEND A MINIMUM OF 12" INTO THE SUBGRADE.
- REINFORCING STEEL SHALL BE GRADE "B" DEFORMED BARS CONFORMING TO CBC 19-4 OR ASTM STANDARD A2815-72 OR A2817-72 AS APPROPRIATE. REINFORCING STEEL SHALL BE ACCURATELY PLACED AND ADEQUATELY SUPPORTED BEFORE FOUNDATION INSPECTION.
- ANCHOR BOLTS, DOWELS, INSERTS, ETC. SHALL BE SECURELY TIED IN PLACE PRIOR TO FOUNDATION INSPECTION.
- ANY FILL UNDER GRADE SUPPORTED SLABS TO BE A MINIMUM OF 4" GRANULAR MATERIAL COMPACTED TO 95%.
- UNLESS OTHERWISE SPECIFIED, ALL CONCRETE SHALL BE 2500 PSI @ 28 DAYS AND SHALL CONFORM TO CBC STANDARDS 19-1, 19-2.
- ALL WOOD IN CONTACT WITH CONCRETE TO BE PRESSURE TREATED.

MISCELLANEOUS NOTES

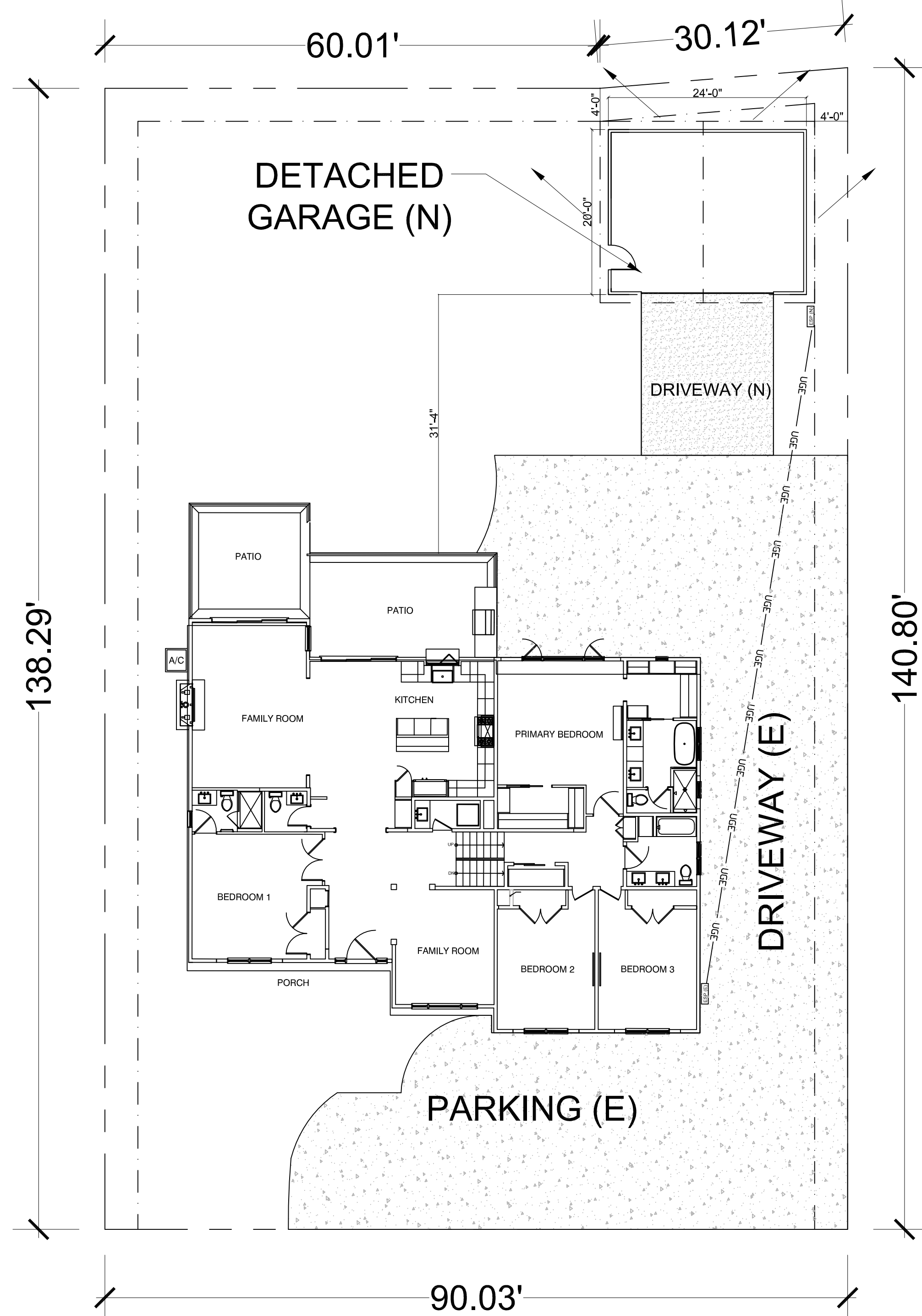
- ALL WINDOWS WITHIN 18" OF THE FLOOR AND WITHIN 24" OF ANY DOOR ARE TO HAVE TEMPERED GLAZING.
- ALL EXTERIOR WINDOWS ARE TO BE DOUBLE GLAZED LOW E AND ALL EXTERIOR DOORS ARE TO BE SOLID CORE WITH WEATHER STRIPPING. PROVIDE 1/2 IN. DEADBOLT LOCKS ON ALL EXTERIOR DOORS, AND LOCKING DEVICES ON ALL DOORS AND WINDOWS WITHIN 10 FT. (VERTICAL) OF GRADE.
- ELECTRICAL RECEPTACLES IN BATHROOMS, KITCHENS AND GARAGES SHALL BE G.F.I. OR G.F.I.C. PER CALIFORNIA ELECTRICAL CODE REQUIREMENTS.
- PROVIDE UFER OR OTHER APPROVED GROUND PER CEC 250.

CODE DATA:

OCCUPANCY GROUP: U
 TYPE OF CONSTRUCTION: V-B
 SPRINKLERED: NO

LOT DATA:

LOT SIZE = 12,446 SQ. FT.
 LOT COVERAGE:
 HOUSE AND COVERED PORCH (E) = 2,788 SQ. FT.
 DETACHED GARAGE (N) = 480 SQ. FT.
 TOTAL COVERAGE = 3,268 SQ. FT.
 LOT COVERAGE = 26.3%



HILLSIDE DRIVE

SITE PLAN

SCOPE OF PROJECT:

- CONSTRUCT NEW 480 SQ. FT. DETACHED GARAGE.
- NEW 100 AMP SUB PANEL LOCATED AT NEW DETACHED GARAGE.
- ADD ELECTRICAL OUTLETS AND LIGHTING.

FRAMING NOTES

- ALL EXTERIOR WALL OPENINGS AND BEARING WALL OPENINGS TO HAVE 4 X 12 HEADERS U.N.O.
- JOIST THAT ARE ATTACHED TO FLUSH BEAMS ARE TO BE HUNG WITH "SIMPSON" U-210 OR EQUIVALENT
- PROVIDE DOUBLE JOISTS UNDER ALL WALLS ABOVE PARALLEL RUNNING JOIST.
- PROVIDE FIREBLOCKING, DRAFTSTOPS (CRC 302.12) AND FIRESTOPS (CRC 302.11)
- LUMBER SPECIES:

A. POSTS, BEAMS, HEADERS, JOISTS AND RAFTERS	NO. 2 DOUGLAS FIR
B. SILLS, PLATES, BLOCKING, BRIDGING, ETC.	NO. 3 DOUGLAS FIR
C. STUDS	STUD GRADE DF
D. PLYWOOD SHEATHING	1/2" CDX U.O.N.
- MANUFACTURED TRUSS JOISTS MAY BE SUBSTITUTED FOR 2 X JOISTS WHERE APPLICABLE.
- DOUBLE TOP PLATES W/MIN. 48" LAP SPLICES. NAIL WITH 8-16D AT EACH SPLICE.
- WHERE TOP SOLE PLATES ARE CUT FOR PIPES OR WIRING A METAL TIE (MIN 0.058 THICK AND 1-1/2" WIDE) SHALL BE FASTENED ACROSS THE OPENING WITH 6-16D NAILS MINIMUM EACH SIDE.

LEGEND

- ROOF LINE
- PROPERTY LINE
- PROPERTY SETBACK
- [ESP (N)] 100 AMP ELECTRICAL SUB PANEL - NEW
- [ESP (E)] 200 AMP ELECTRICAL SERVICE PANEL - EXISTING
- UGE --- UGE --- UNDERGROUND ELECTRIC
- ← DIRECTION OF DRAINAGE

SHEET INDEX:

- CO SITE PLAN AND NOTES
- A1 FLOOR/ELECTRICAL PLAN AND ELEVATIONS
- A2 FOUNDATION PLAN AND ROOF FRAMING PLAN
- SD-1 STRUCTURAL DETAILS, SECTION AND NAIL SCHEDULE
- GC1 CALIFORNIA GREEN BUILDING STANDARDS
- GC2 CALIFORNIA GREEN BUILDING STANDARDS
- BMP BEST MANAGEMENT PRACTICES

DESIGN/BUILDER:

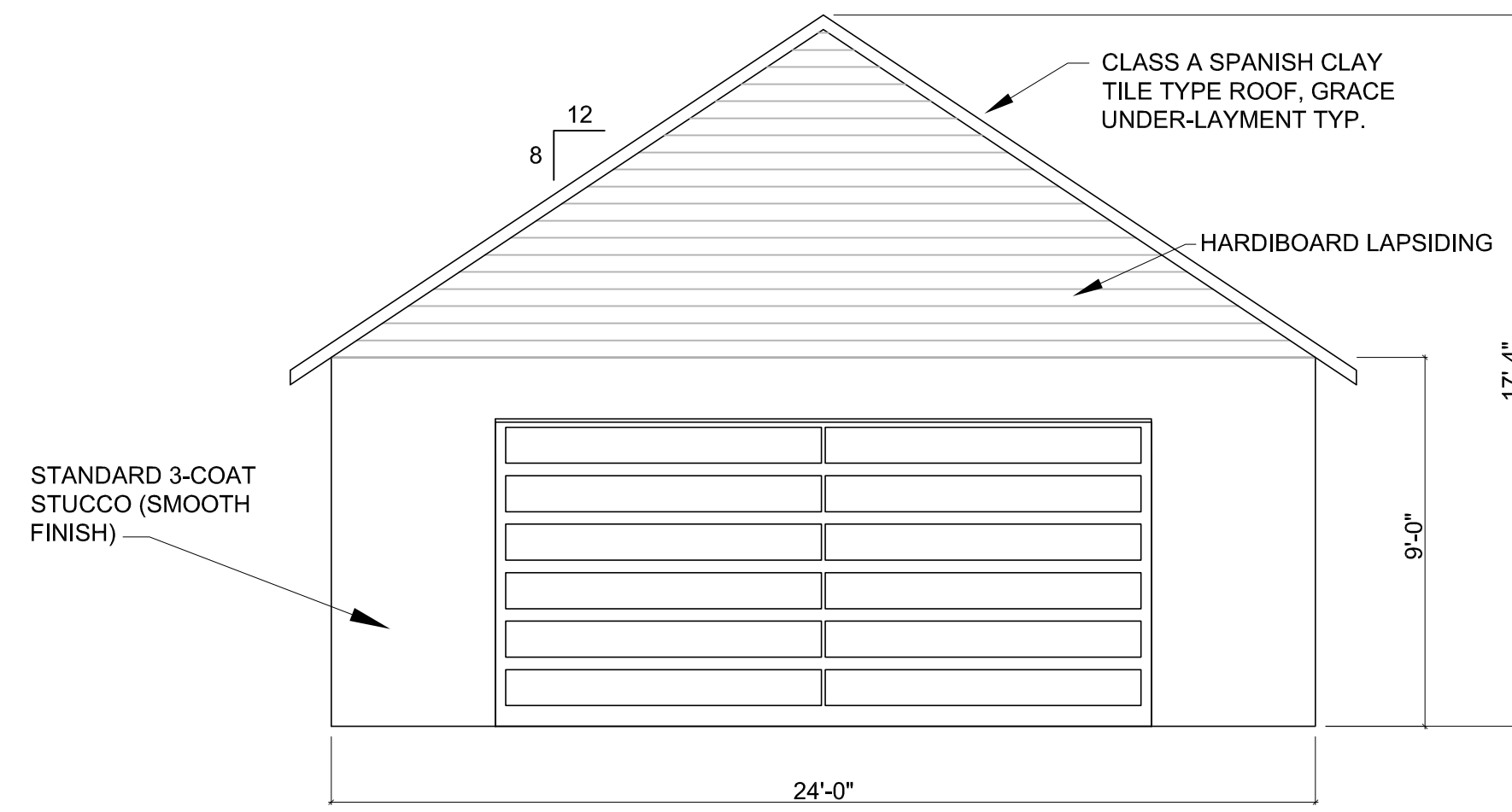
PROJECT:

**COSENTINO RESIDENCE
2896 HILLSIDE DRIVE
BURLINGAME, CA 94010**

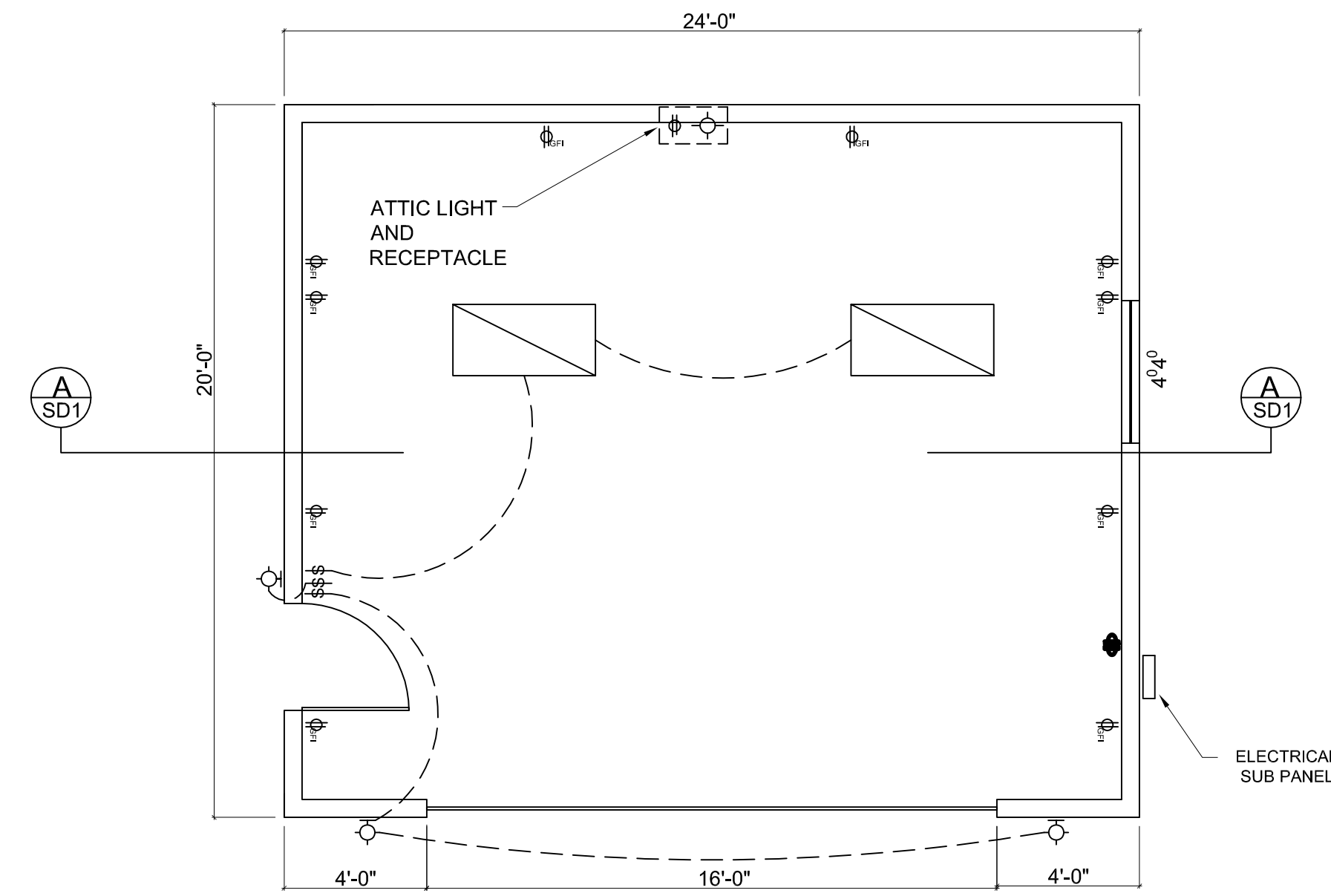
APN: 027-112-280

No.	Revision/Issue	Date

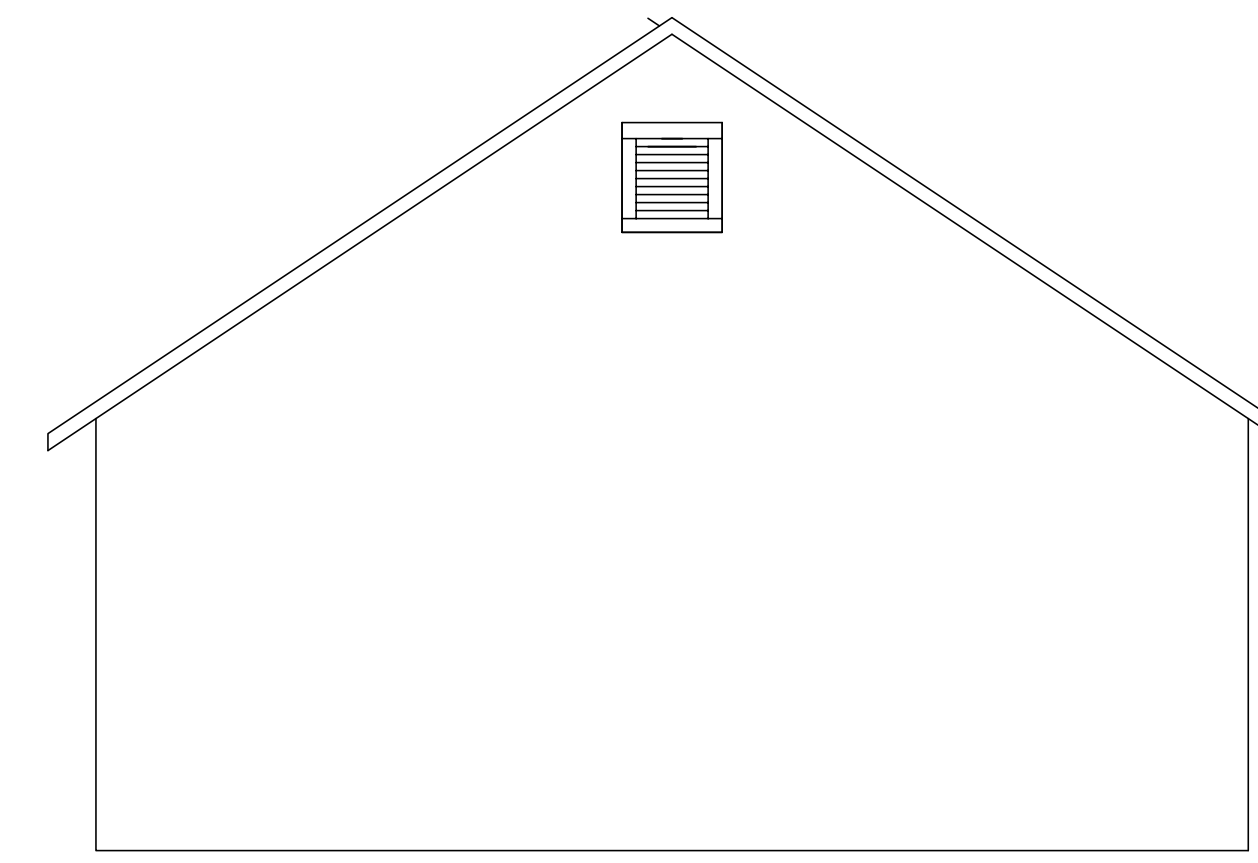
Project	Sheet
Date 8/14/2024	CO
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FRONT ELEVATION

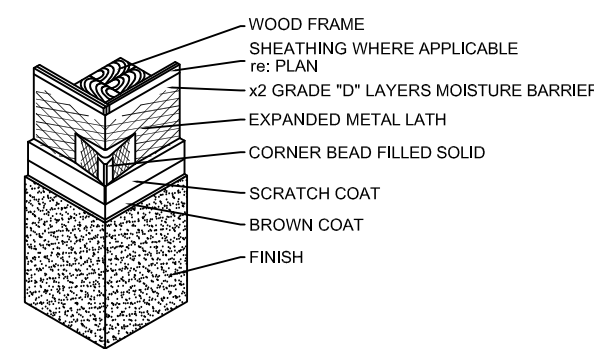


FLOOR/ELECTRIC PLAN

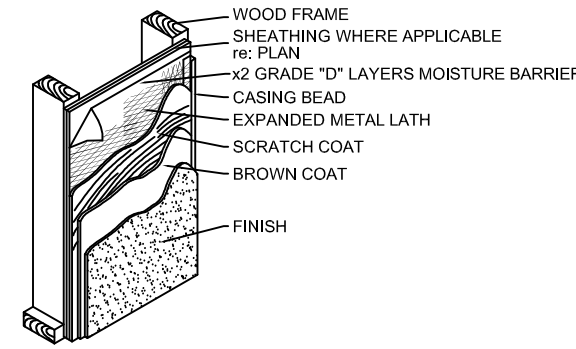


BACK ELEVATION

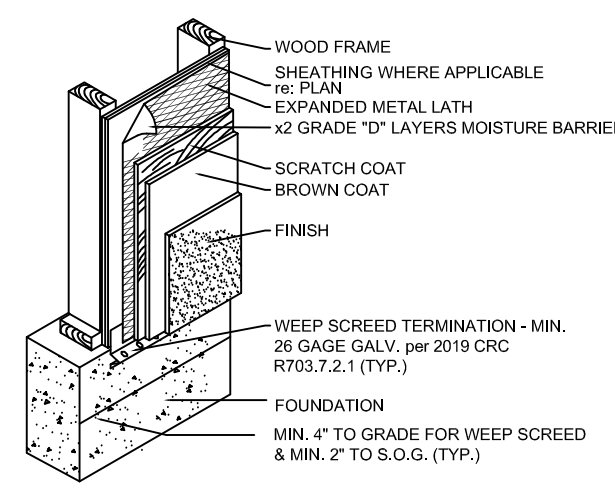
MATERIAL TO BE 3-COAT (7/8" MIN THICKNESS)
FINISH TO (M) (E)
COLOR TO BE SPECIFIED BY OWNER



CORNER BEAM APPLICATION



WALL APPLICATION

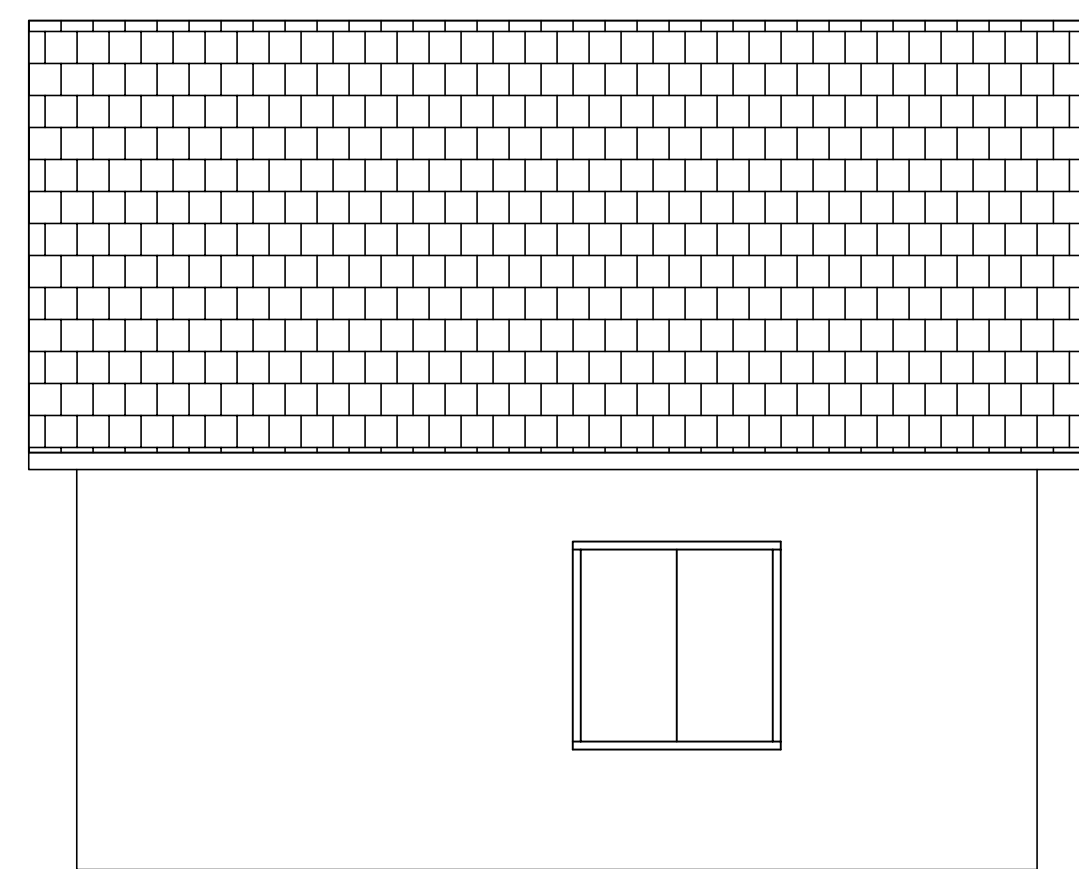


WALL INSTALLATION @ CONC.

3-COAT STUCCO APPLICATION (no scale)

REF	DESCRIPTION
	INCANDESCENT/HID/COMPACT FLUORESCENT LIGHTING FIXTURE, WALL MOUNT
	2 X 4 FLUORESCENT RECESSED FIXTURE (2 LAMP)
	SINGLE POLE TOGGLE SWITCH, 20A, 120-277V @ +48"
	DUPLEX GFI RECEPTACLE OUTLET, 20A, 120V
	DUPLEX WATER PROOF GFI RECEPTACLE OUTLET, 20A, 120V
	ELECTRIC VEHICLE CHARGER

RIGHT ELEVATION



BUILDING CODE REQUIREMENTS

- B-1 PRIVATE GARAGES SHALL BE SEPARATED FROM A DWELLING UNIT AND ITS ATTIC SPACE BY MINIMUM 1/2 INCH GYPSUM BOARD APPLIED ON THE GARAGE SIDE. PRIVATE GARAGES LOCATED BENEATH HABITABLE SPACES SHALL BE SEPARATED FROM THE HABITABLE SPACE BY MEANS OF MINIMUM 5/8 INCH GYPSUM BOARD. DOOR OPENINGS BETWEEN A PRIVATE GARAGE AND A DWELLING UNIT ARE REQUIRED TO BE SELF-CLOSING AND SELF-LATCHING AND BE CONSTRUCTED OF SOLID WOOD, SOLID MATERIAL, OR HONEY COMB CORE STEEL. THE DOOR MUST BE 1-3/8 INCH THICK OR HAVE A 20 MINUTE FIRE RATING. A GARAGE SHALL NOT OPEN DIRECTLY INTO A ROOM USED FOR SLEEPING PURPOSES. 2022 CRC, SECTION R302.6.
- NOTE ALL MEMBERS SUPPORTING SUCH A SEPARATION BETWEEN A DWELLING UNIT AND A PRIVATE GARAGE SHALL BE OF AN EQUIVALENT FIRE-RESISTIVE CONSTRUCTION AS PER 2022 CRC, SECTION R302.6
- B-2 PROVIDE SAFETY GLAZING FOR ALL GLAZING IN LOCATIONS SPECIFIED AS HAZARDOUS IN THE 2022 CRC, SECTION R308.4.
- B-3 BRACED WALL LINES SHALL CONSIST OF BRACED WALL PANELS THAT MEET THE REQUIREMENTS FOR LOCATION, TYPE, AND AMOUNT OF BRACING AS SHOWN IN FIGURE R602.10.1.1, SPECIFIED IN TABLE R602.10.3(1), (2), (3) AND (4) AND ARE IN LINE OR OFFSET FROM EACH OTHER BY NOT MORE THAN 4 FEET. BRACED WALL PANELS SHALL START AT NOT MORE THAN 8 FEET FROM EACH END OF A BRACED WALL LINE. ALL BRACED WALL PANELS SHALL BE CLEARLY INDICATED ON THE PLANS. 2022 CRC, SECTIONS R602.10.1.4 & R602.12.
- B-4 ANY BRACED WALL PANEL REQUIRED BY SECTION R602.10.2 MAY BE REPLACED BY AN ALTERNATE BRACED WALL PANEL CONSTRUCTED IN ACCORDANCE WITH SECTION R602.10.6.1. THE HOLD-DOWN FORCE SHALL BE IN ACCORDANCE WITH TABLE R602.10.6.1.
- B-5 CRIPPLE WALLS HAVING A STUD HEIGHT EXCEEDING 14 INCHES SHALL BE FRAMED OF STUDS NOT LESS IN SIZE THAN THE STUDS ABOVE. CRIPPLE WALLS EXCEEDING 4 FEET IN HEIGHT SHALL BE FRAMED AS REQUIRED FOR AN ADDITIONAL STORY. CRIPPLE WALLS WITH STUDS LESS THAN 14 INCHES HIGH SHALL BE FRAMED OF SOLID BLOCKING. 2022 CRC, SECTION R602.9.
- B-6 STUD SIZE, HEIGHT, AND SPACING SHALL CONFORM TO 2022 CRC, TABLE R602.3(5).
- B-7 PROVIDE ADEQUATE VENTILATION AT ALL UNDER-FLOOR SPACES 2022 CRC, SECTION R408.1.
- B-8 WOOD FRAMING MEMBERS, INCLUDING BUT NOT LIMITED TO SILLS, PLATES, SLEEPERS, POSTS, COLUMNS, WOOD SHEATHING, FURRING STRIPS, GIRDER ENDS, WOOD SIDING, AND LAMINATED TIMBERS THAT ARE IN DIRECT CONTACT WITH CONCRETE OR MASONRY MUST BE FOUNDATION GRADE REDWOOD OR TREATED AND MARKED BY AN APPROVED AGENCY. 2022 CRC, SECTION R317.1.
- B-9 FOUNDATION PLATES OR SILLS SHALL BE BOLTED OR ANCHORED TO THE FOUNDATION WITH NOT LESS THAN 1/2 INCH DIAMETER STEEL BOLTS OR APPROVED ANCHORS THAT ARE EMBEDDED A MINIMUM OF 7 INCHES INTO THE CONCRETE OR MASONRY. EACH BOLT SHALL HAVE A PROPERLY SIZED NUT AND WASHER. 2022 CRC, SECTION R403.1.6.
- B-10 CUTTING AND NOTCHING OF EXTERIOR WALLS AND BEARING PARTITIONS SHALL NOT BE GREATER THAN 25 PERCENT OF THE STUD WIDTH. CUTTING OR NOTCHING OF STUDS TO A DEPTH NOT GREATER THAN 40 PERCENT OF THE WIDTH OF THE STUD IS PERMITTED IN NON-BEARING PARTITIONS SUPPORTING NO LOADS OTHER THAN THE WEIGHT OF THE PARTITION. 2022 CRC, SECTION R602.6.1.
- B-11 DRILLING ANY STUD MAY BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NO MORE THAN 60 PERCENT OF THE STUD WIDTH. THE EDGE OF THE HOLE IS NO MORE THAN 5/8 INCH (16 MM) TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL ALSO BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. 2022 CRC SECTION R602.6(2)
- B-12 FOOTINGS SHALL BE DESIGNED SO THAT THE ALLOWABLE BEARING CAPACITY OF THE SOIL IS NOT EXCEEDED, WHERE A SPECIFIC DESIGN IS NOT PROVIDED. THE SIZE OF CONCRETE FOOTINGS SUPPORTING WALLS OF LIGHT-FRAME CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF 2022 CRC, TABLE R403.1. THE MINIMUM DEPTH OF FOOTINGS SHALL BE 12 INCHES BELOW UNDISTURBED GROUND. 2022 CRC, SECTION R403.1.
- B-13 WHERE POST AND BEAM OR GIRDER CONSTRUCTION IS USED, A POSITIVE CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. 2022 CRC, SECTION R502.9.
- B-31 WHERE CEILING JOISTS ARE NOT PARALLEL TO RAFTERS, RAFTER TIES SHALL BE INSTALLED. RAFTER TIES SHALL BE A MINIMUM OF 2-INCH BY 4-INCH (51 MM BY 102 MM) (NOMINAL), INSTALLED IN ACCORDANCE WITH THE CONNECTION REQUIREMENTS IN TABLE R602.5.2.2, OR CONNECTIONS OF EQUIVALENT CAPACITIES SHALL BE PROVIDED.
- B-14 PROVIDE ADEQUATE VENTILATION TO ALL ATTIC SPACES. 2022 CRC, SECTION R806.
- B-15 PROVIDE FIREBLOCKING AND DRAFT STOPPING IN CONCEALED LOCATIONS OF COMBUSTIBLE CONSTRUCTION IN ACCORDANCE WITH THE 2022 CRC, SECTION R302.1.1.
- B-16 ALL GYPSUM BOARD, STUCCO, PLASTER, AND LATH SHALL BE INSTALLED AS PER 2022 CRC, SECTION R703.
- NOTE: WHEN LATH IS APPLIED OVER WOOD BASE SHEATHING, INCLUDE TWO LAYERS OF GRADE D PAPER.
- B-17 PROVIDE WEATHER PROTECTION ON ALL EXTERIOR WALLS LOCATED ABOVE GRADE THAT ARE NOT CONSTRUCTED OF CONCRETE OR MASONRY. 2022 CRC, SECTIONS R703.1.1 & R703.2.
- B-18 ON GRADED SITES, THE TOP OF ALL EXTERIOR FOUNDATIONS SHALL EXTEND ABOVE THE ELEVATION OF THE STREET GUTTER AT POINT OF DISCHARGE OR INLET DEVICE A MINIMUM OF 12 INCHES PLUS 2 PERCENT PER FOOT (1/4 INCH PER LINEAR FOOT MEASURED FROM THE GUTTER TO THE EDGE OF THE FOOTING), WHERE A GUTTER IS NOT PRESENT, THE MEASUREMENT SHALL BE TAKEN FROM THE CROWN OF ROAD. 2022 CRC, SECTION R403.1.7.3.

ELECTRICAL CODE REQUIREMENTS

- E-1 PROVIDE A GROUNDING ELECTRODE AS PER 2022 CEC, ARTICLE 250.50.
- E-2 CONTACT UTILITY COMPANY'S CUSTOMER SERVICE DEPARTMENT FOR SERVICE LOCATION.
- E-3 AT LEAST ONE RECEPTACLE OUTLET, IN ADDITION TO ANY PROVIDED FOR LAUNDRY EQUIPMENT, SHALL BE INSTALLED IN EACH BASEMENT, IN EACH ATTACHED GARAGE, AND IN EACH DETACHED GARAGE WITH ELECTRIC POWER. 2022 CEC, ARTICLE 210.52(G).
- E-4 PROVIDE G.F.C.I. PROTECTION TO ALL 125 VOLT, 15 AMP AND 20 AMP RECEPTACLES INSTALLED IN BATHROOMS, GARAGES, OUTDOORS, CRAWLSPACES AT OR BELOW GRADE, UNFINISHED BASEMENTS, RECEPTACLES TO SERVE COUNTER TOP SURFACES INSTALLED IN KITCHENS, AND RECEPTACLES TO SERVE COUNTER TOP SURFACES INSTALLED WITHIN 6 FEET OF A WET BAR, LAUNDRY, OR UTILITY SINKS. 2022 CEC 210.8(A)
- EXCEPTION: RECEPTACLES FOR DEDICATED APPLIANCES AND RECEPTACLES THAT ARE NOT READILY ACCESSIBLE.
- E-5 FIXTURES INSTALLED IN RECESSED CAVITIES IN WALLS OR CEILINGS SHALL COMPLY WITH 2022 CEC ARTICLE 410.115 THROUGH 410.122, 2019 CEC.
- E-6 A FIXTURE THAT WEIGHS MORE THAN 6 POUNDS OR EXCEEDS 16 INCHES IN ANY DIMENSION SHALL NOT BE SUPPORTED BY THE SCREW SHELL OF A LAMP HOLDER. 2022 CEC ARTICLE 410.30.
- E-7 BOXES AT CEILING-SUSPENDED (PADDLE) FAN OUTLETS, OUTLET BOXES OR OUTLET BOX SYSTEMS USED AS THE SOLE SUPPORT OF A CEILING-SUSPENDED (PADDLE) FAN SHALL BE LISTED, SHALL BE MARKED BY THEIR MANUFACTURER AS SUITABLE FOR THIS PURPOSE, AND SHALL NOT SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 32 KG (70 LB). FOR OUTLET BOXES OR OUTLET BOX SYSTEMS DESIGNED TO SUPPORT CEILING-SUSPENDED (PADDLE) FANS THAT WEIGH MORE THAN 16 KG (35 LB), THE REQUIRED MARKING SHALL INCLUDE THE MAXIMUM WEIGHT TO BE SUPPORTED. 2022 CEC SECTION 314.27(C)

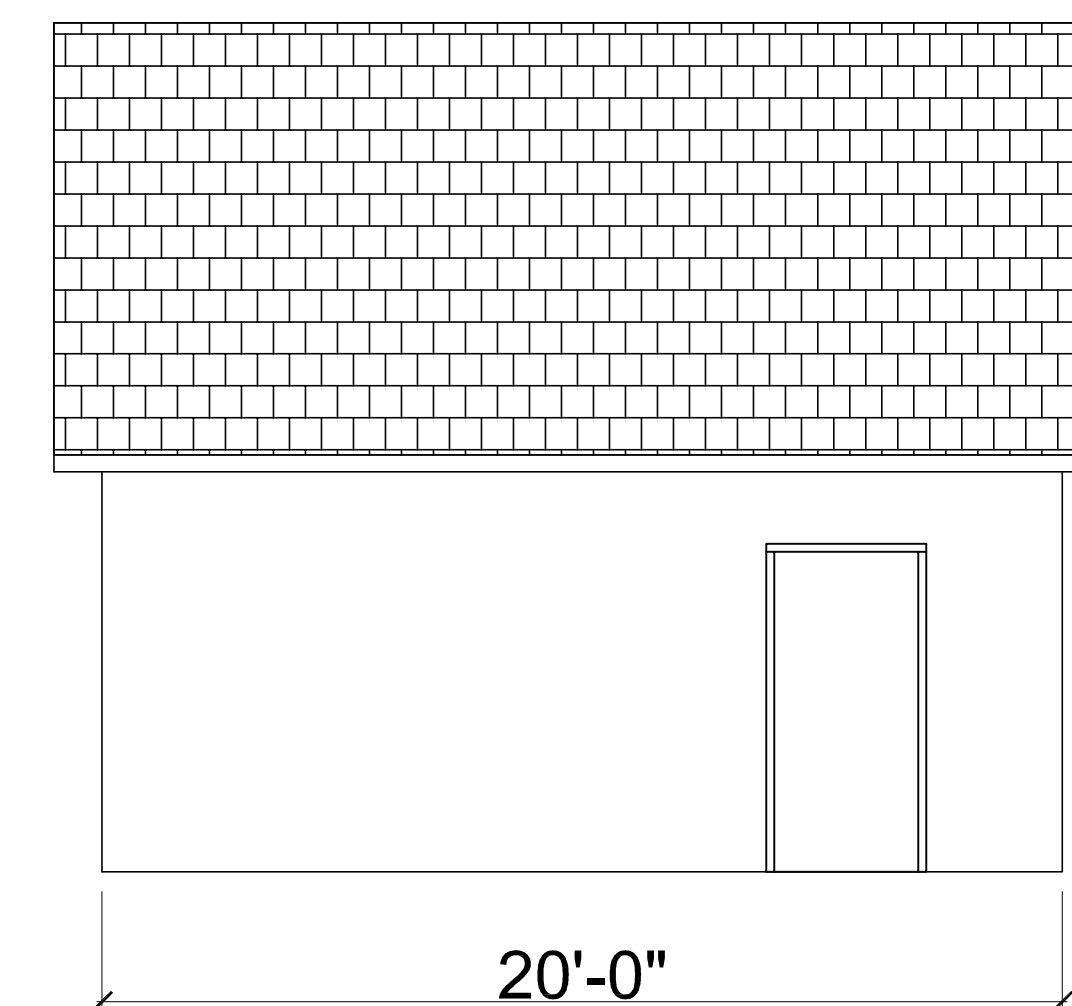
NEWLY INSTALLED RECESSED DOWNLIGHT LUMINAIRES SHALL NOT CONTAIN SCREW BASED SOCKETS.

SCREW BASED LUMINAIRES SHALL HAVE LAMPS INSTALLED MARKED WITH "JA8-2019-1" OR "JA8-2019-E". ALL SCREW BASED LUMINAIRES SHALL BE CONTROLLED BY DIMMERS OR VACANCY SENSORS.

AT LEAST ONE LUMINAIRE IN ALL BATHROOMS, GARAGES, LAUNDRY ROOMS AND UTILITY ROOMS ARE CONTROLLED BY A MANUAL-ON VACANCY SENSOR.

ALL NEW OUTDOOR LIGHTING MOUNTED TO A BUILDING IS HIGH EFFICACY AND IS CONTROLLED BOTH BY A MANUAL ON/OFF SWITCH THAT DOES NOT OVERRIDE THE AUTOMATIC SHUTOFF CONTROL AND ONE OF THE FOLLOWING: 1) A PHOTOCELL AND MOTION SENSOR; OR 2) A PHOTOCELL AND TIME CLOCK; OR 3) AN ASTRONOMICAL TIME CLOCK; OR 4) AN ENERGY MANAGEMENT CONTROL SYSTEM. SHOW THE LOCATION FOR ALL AUTOMATED SHUTOFF CONTROLS AND THE LUMINAIRES THAT THEY CONTROL.

LIGHT FIXTURES INSTALLED IN WET LOCATIONS (SUBJECT TO SATURATION) OR DAMP LOCATIONS (NOT SUBJECT TO SATURATION BUT EXPOSED TO MODERATE MOISTURE) SHALL BE LISTED FOR USE IN ITS INTENDED LOCATION.



LEFT ELEVATION

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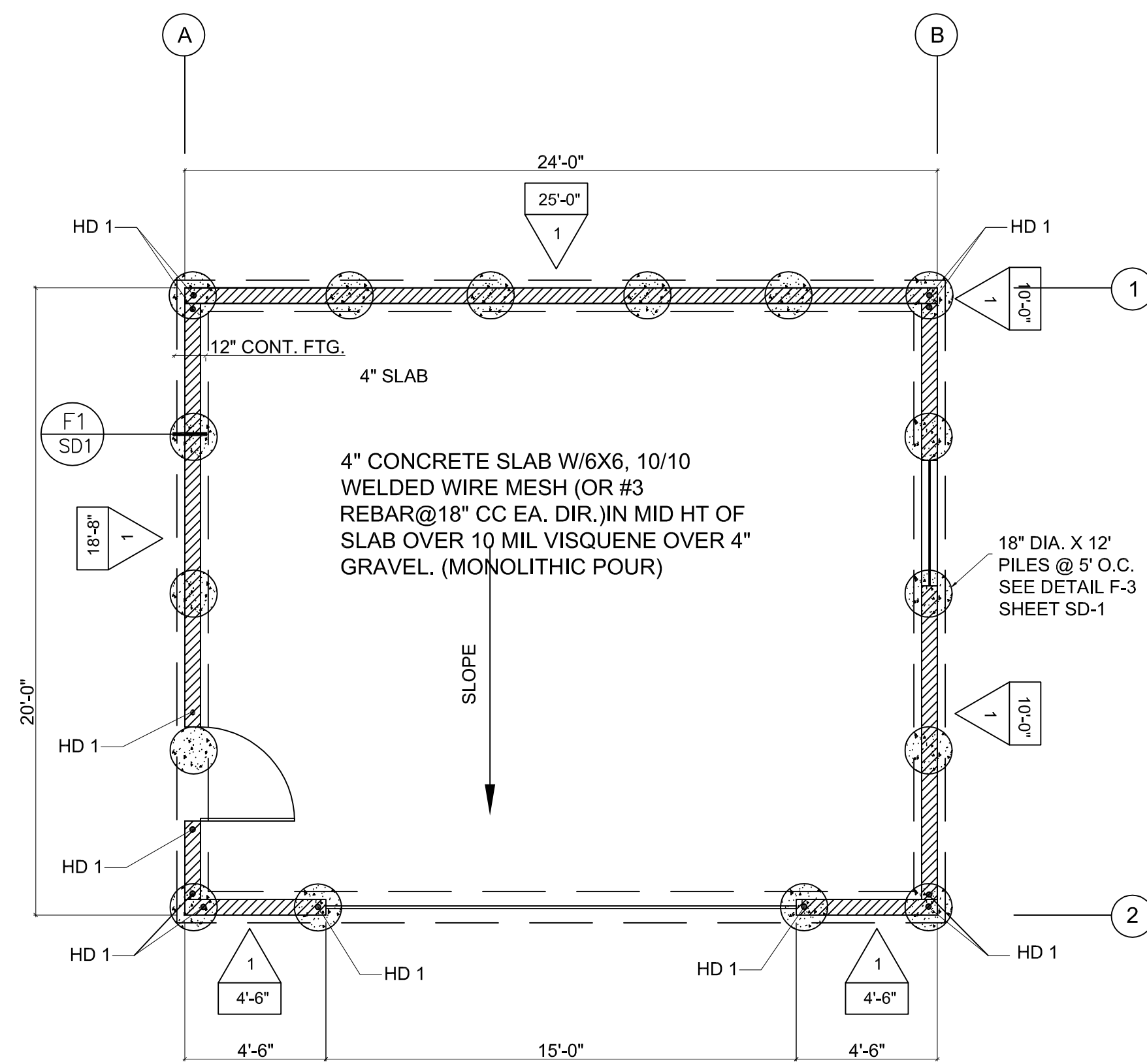
PROJECT:

**COSENTINO RESIDENCE
2896 HILLSIDE DRIVE
BURLINGAME, CA 94010**

APN: 027-112-280

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FOUNDATION PLAN

BRACED WALLS SCHEDULE					
MK	SHEATHING	EDGE NAILING	ANCHOR BOLTS	FIELD NAILING	ROOF SHEAR TRANSFER
△	3/8" CDX P.W. (WSP)	8d @ 6" O.C.	5/8" DIA. @ 4'-0" O.C.	8d @ 12" O.C.	H1 EA. TRUSS
HD1	SIMPSON OR EQUIV. HD5B W/ SSTB20 OR HTT5 W/ SSTB20 (SEE DETAIL F-3 SHEET SD-1)				

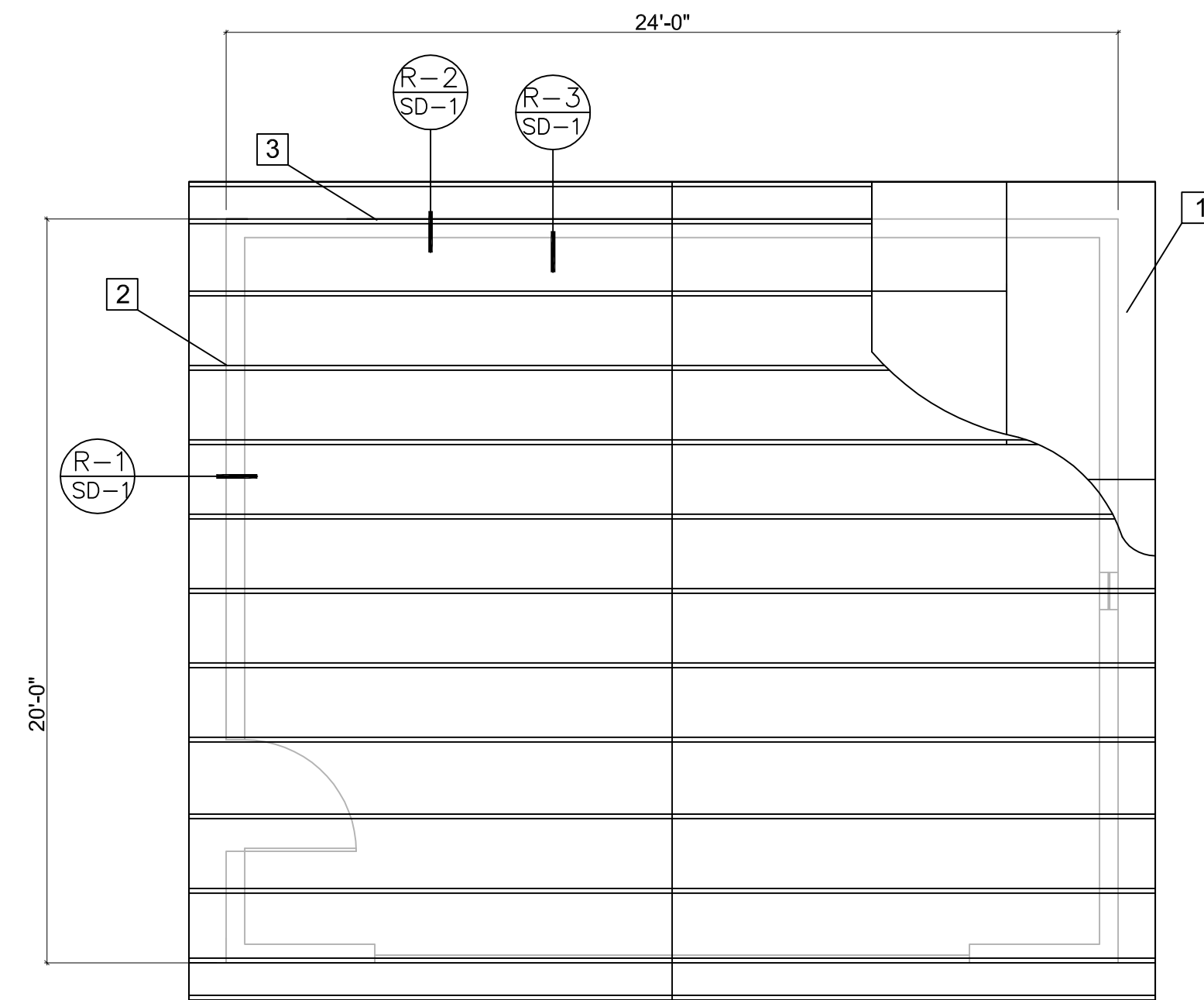
NOTES:

SOLID SHEATHING ON ALL WALLS
 PROVIDE 3"x3"x1/4" PLATE WASHERS FOR ALL A.B.s
 FIELD NAILING @ S.W.: 8d @ 12" O.C.

INDICATES BRACED WALL ABOVE
 SEE BRACED WALL SCHEDULE
 LENGTH OF WALL (FT-IN)

NAILING SCHEDULE		
CONNECTION	NAILING	
1	JOIST TO SILL OR GIRDER, TOENAIL	3-8d COMMON
2	BRIDGING TO JOIST, TOENAIL EACH END	2-8d COMMON
3	1"x6" SUB FLOOR OR LESS TO EACH JOIST, FACE NAIL	2-8d COMMON
4	WIDER THAN 1"x8" SUB FLOOR TO EACH JOIST, FACE NAIL	3-8d COMMON
5	5, 2" SUB FLOOR TO JOIST OR GIRDER, BLIND AND FACE NAIL	2-16d COMMON
6	SOLE PLATE TO JOIST OR BLOCKING TYPICAL, FACE NAIL	16d @ 16" O.C.
6	SOLE PLATE TO JOIST OR BLOCKING AT BRACED WALL PANELS	3-16d @ 16" O.C.
7	TOP PLATE TO STUD, END NAIL	16d @ 24" O.C.
8	STUD TO SOLE PLATE, TOE NAIL	4-8d COMMON
8	STUD TO SOLE PLATE, END NAIL	2-16d COMMON
9	DOUBLE STUDS, FACE NAIL	16d @ 24" O.C.
10	DOUBLE TOP PLATES, TYPICAL, FACE NAIL	16d @ 16" O.C.
10	DOUBLE TOP PLATES, LAP SPLICE	8-16d COMMON
11	BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE, TOENAIL	3-8d COMMON
12	RIM JOIST TO TOP PLATE, TOENAIL	8d @ 6" O.C.
13	TOP PLATES, LAPS AT CORNERS AND INTERSECTIONS, FACE NAIL	2-16d COMMON
14	CONTINUOUS HEADER, TWO PIECES, 18" O.C. ALONG EACH EDGE	16d COMMON
15	CELLING JOISTS TO PLATE, TOENAIL	3-8d COMMON
16	CONTINUOUS HEADER TO STUD, TOENAIL	4-8d COMMON
17	CEILING JOISTS, LAPS OVER PARTITIONS, FACE NAIL	3-16d COMMON
18	CEILING JOISTS TO PARALLEL RAFTERS, FACE NAIL	3-16d COMMON
19	RAFTER TO PLATE, TOENAIL	2-16d COMMON
20	1" DIAGONAL BRACE TO EA. STUD AND PLATE, FACE NAIL	2-8d COMMON
21	1"x8" SHEATHING OR LESS TO EACH BEARING, FACE NAIL	3-8d COMMON
22	WIDER THAN 1"x8" SHEATHING TO EACH BEARING, FACE NAIL	3-8d COMMON
23	BUILT-UP CORNER STUDS, 24" O.C.	16d COMMON
24	BUILT-UP GIRDER AND BEAMS, FACE NAIL @ 32" O.C. TOP 4 BOTTOM AND STAGGERED ON OPPOSITE SIDES	20d COMMON
24	FACE NAIL AT ENDS AND AT EACH SPLICE	2-20d COMMON
25	2 PLANKS @ EACH BEARING	2-16d COMMON
26	COLLAR TIE TO RAFTER, FACE NAIL	3-10d COMMON
27	JACK RAFTER TO HIP, TOENAIL	3-10d COMMON
27	FACE NAIL	2-16d COMMON
28	ROOF RAFTER TO 2 X RIDGE, TOENAIL	4-16d COMMON
28	FACE NAIL	3-16d COMMON
29	JOIST TO BAND JOIST, FACE NAIL	3-16d COMMON
30	LEDGER STRIP, FACE NAIL AT EACH JOIST OR RAFTER	3-16d COMMON
WOOD STRUCTURAL PANELS AND PARTIAL BOARD		
SUB FLOOR AND WALL SHEATHING (TO FRAMING):		
1/2" AND LESS		6d
19/32" - 3/4"		8d OR 6d
7/8" - 1"		8d
10d OR 8d		
SINGLE FLOOR (COMBINATION SUBFLOOR-UNDERLAYMENT TO FRAMING):		
3/4" AND LESS		6d
7/8" - 1"		8d
1-1/8" - 1-1/4"		10d OR 8d
PANEL SIDING (TO FRAMING):		
1/2" OR LESS		6d
5/8"		8d
FIBERBOARD SHEATHING:		
1/2"		NO. 11 GA. ROOFING NAIL
25/32"		6d COMMON
		NO. 16 GA. STAPLE
		8D COMMON
		NO. 16 GA. STAPLE
INTERIOR PANELING		
1/4"		4d
3/8"		6d

a. Common or box nails are permitted to be used except where otherwise stated.
 b. Nails spaced at 8 inches on center at edges, 12 inches at intermediate supports except 8 inches at all supports where spans are 48 inches or more. For nailing of wood structural panel and particleboard diaphragms and shear walls, refer to Sections 2305. Nails for wall sheathing may be common, box or casing.
 c. Common or deformed shank
 d. Common
 e. Deformed shank
 f. Corrosion-resistant siding or casing nails.
 g. Fasteners spaced at 3 inches on center at exterior edges and 8 inches on center at intermediate supports, when used as structural sheathing. Spacing shall be 8 inches on center on the edges and 12" on center at intermediate supports for non-structural applications
 h. Corrosion-resistant roofing nails with 1/18 inch-diameter head and 1 1/2 inch length for 1/2 inch sheathing and 1 3/4 inch length for 25/32 inch sheathing conforming to the requirements of Section 2304.3
 i. Corrosion-resistant staples with nominal 1/18 inch crown and 1 1/8 inch length for 1/2 inch sheathing and 1 1/2 inch length for 25/32 inch sheathing. Panel supports at 18 inches (20 inches if strength axis in the long direction of the panel, otherwise marked.)
 j. Casing or finish nails spaced 8 inches on panel edges, 12 inches at intermediate supports
 k. Panel supports at 24 inches. Casing or finish nails spaced at 8 inches on panel edges, 12 inches at intermediate supports.
 l. For roof sheathing applications, 8d nails are the minimum required for wood structural panels m. Staples shall have a minimum crown width of 1/18 inch.
 n. For roof sheathing applications, fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.
 o. Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports for subfloor and wall sheathing and 3 inches on center at edges, 8 inches at intermediate supports for roof sheathing.
 p. Fasteners spaced 4 inches on center at edges, 8 inches at intermediate supports.



ROOF FRAMING PLAN

ROOF FRAMING KEYNOTES: #	
1	ROOF SHEATHING: 1/2" MIN APA RATED 24 / 16 MINIMUM PANEL SPAN SHEATHING NAILED WITH 8d @ 6" C.C. EDGE AND 12" C.C. FIELD. -- STAGGER JOINTS THAT OCCUR OVER FRAMING MIN OF 24" -- SHEATHING TO BE CONTINUOUS BELOW FRAME OVER AREAS. -- MAY HAVE 22" X 36" OPENING FOR VENTILATION AND ACCESS. BLOCK AND EDGE NAIL AROUND PERIMETER OF OPENING
2	PLACE SIMPSON H1 AT ALL TRUSSES TO BEARING WALLS OR BEAMS. IF 2-PLY TRUSS USE SIMPSON H10-2 OR H11-Z. IF 3-PLY OR MORE PLY TRUSS, USE PAIR OF SIMPSON TSP (ONE EACH SIDE OF TRUSS). TYPICAL UNO ON PLAN.
3	SIMPSON HTS30 TOP PLATE TO PARALLEL TRUSS BOTTOM CHORD.
GEN	TRUSS TO TRUSS HANGERS PER TRUSS MANUFACTURES SPECIFICATIONS.

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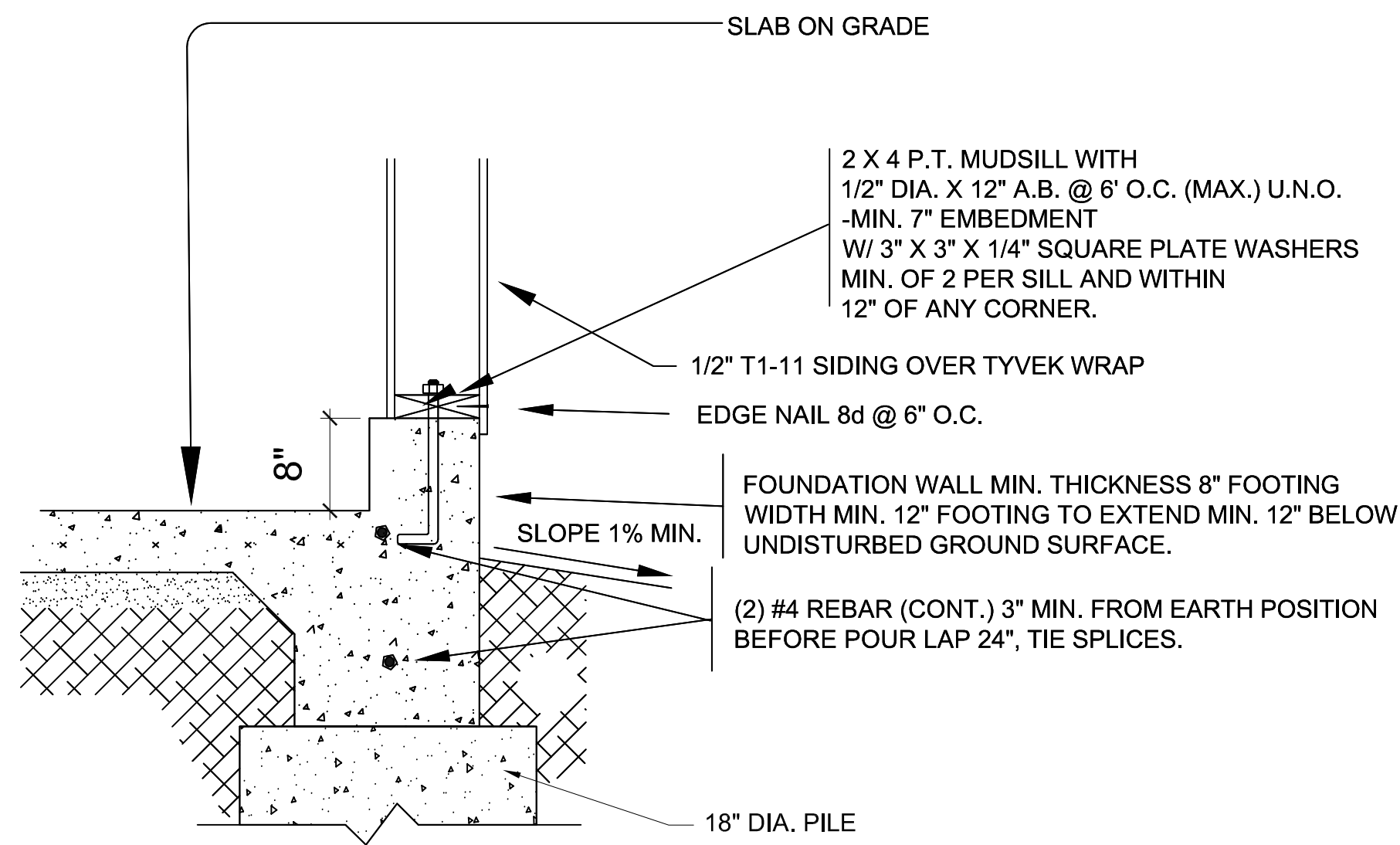
PROJECT:

COSENTINO RESIDENCE
2896 HILLSIDE DRIVE
BURLINGAME, CA 94010

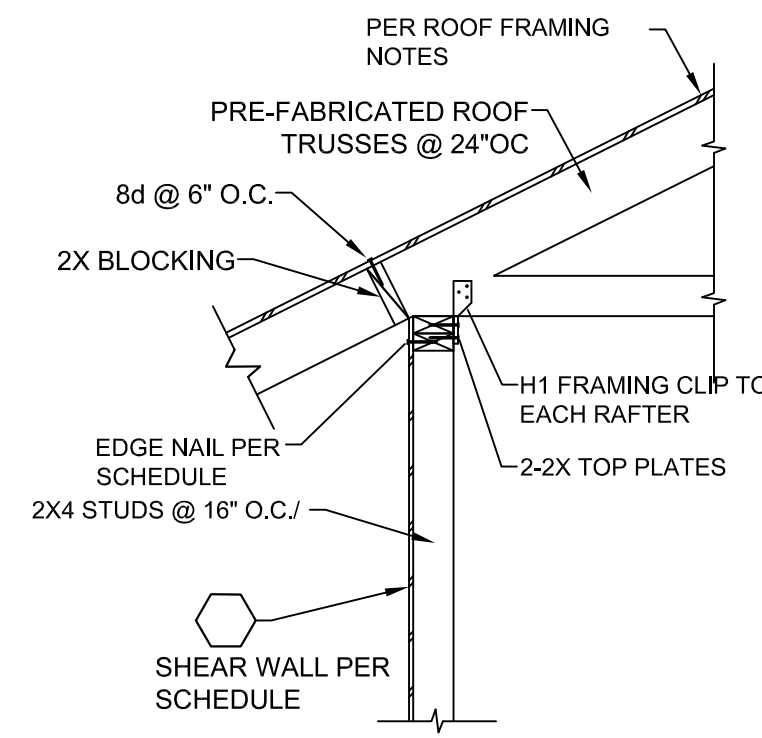
APN: 027-112-280

No.	Revision/Issue	Date

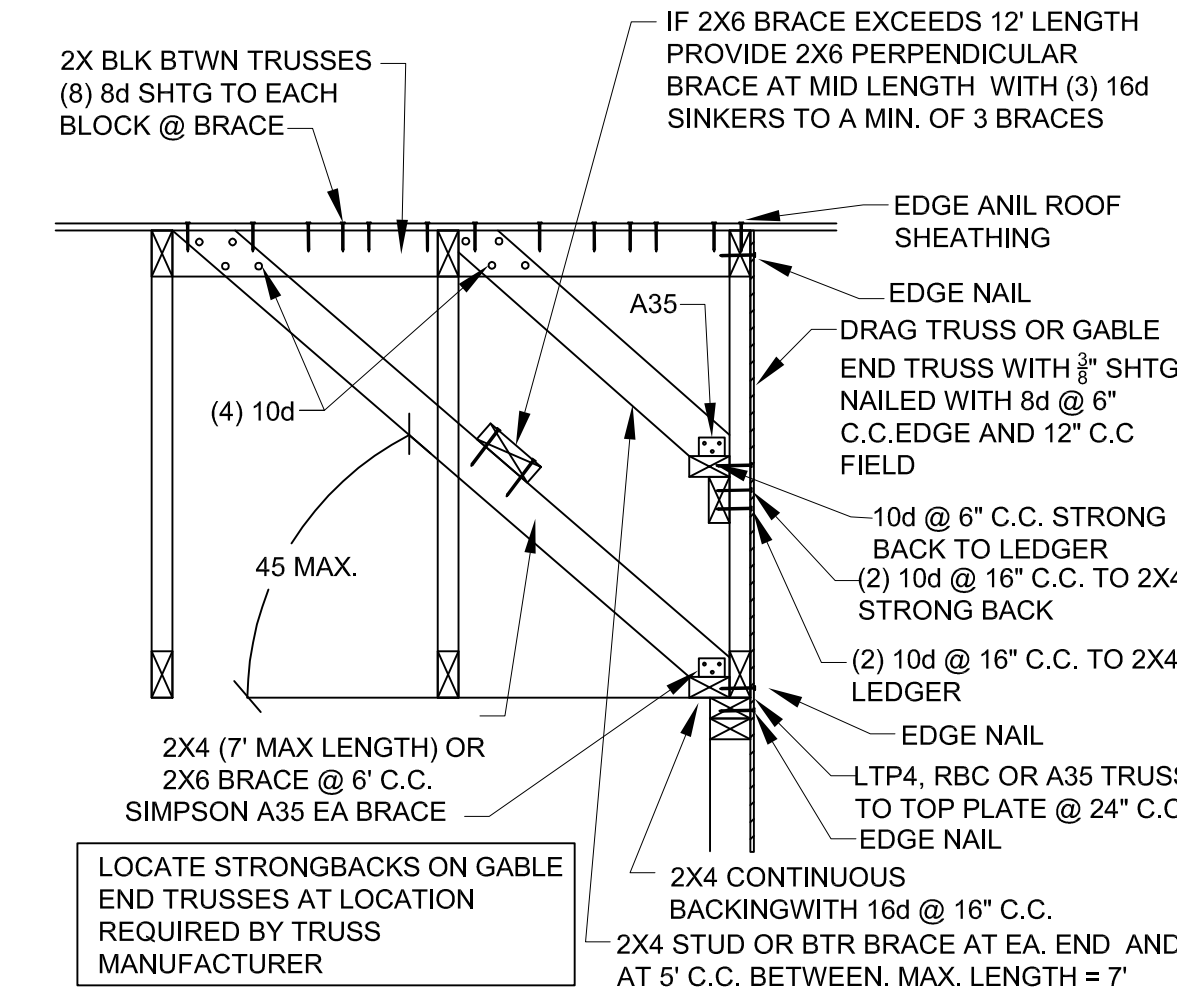
Project	Sheet
Date	A2
8/14/2024	
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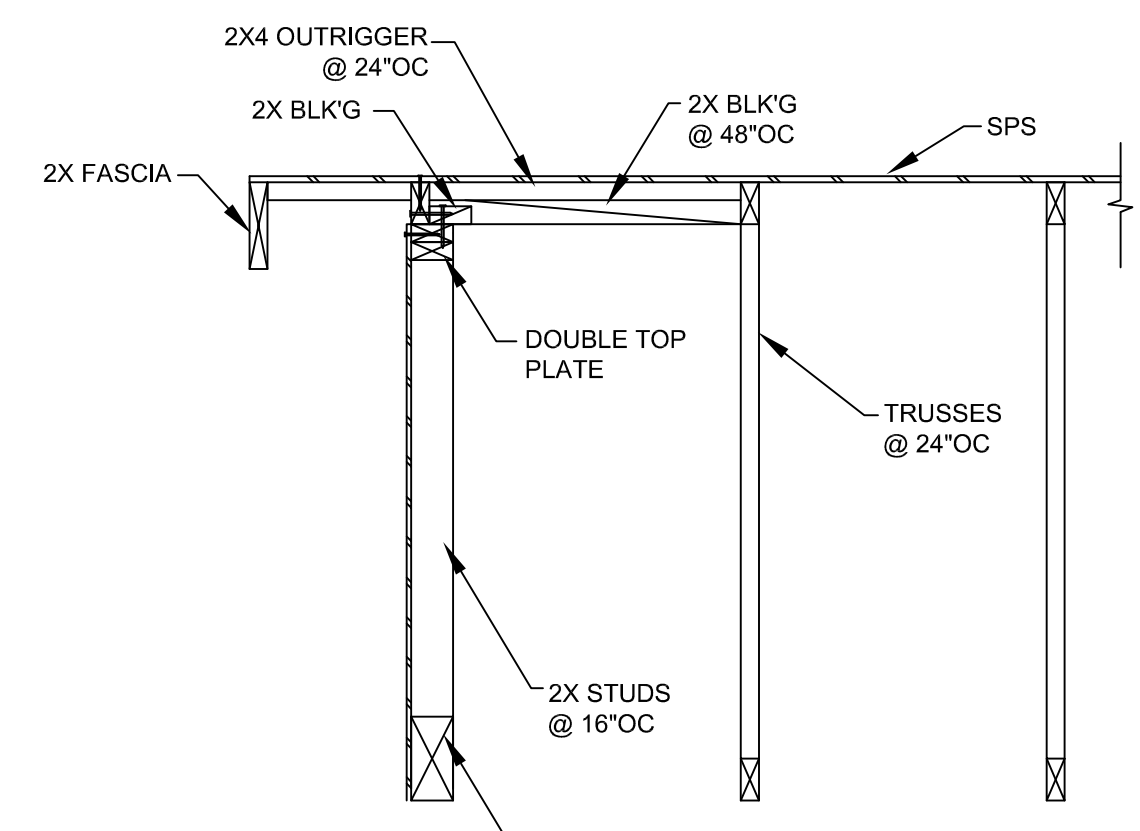
F-1 FOUNDATION (PIER) DETAIL NTS



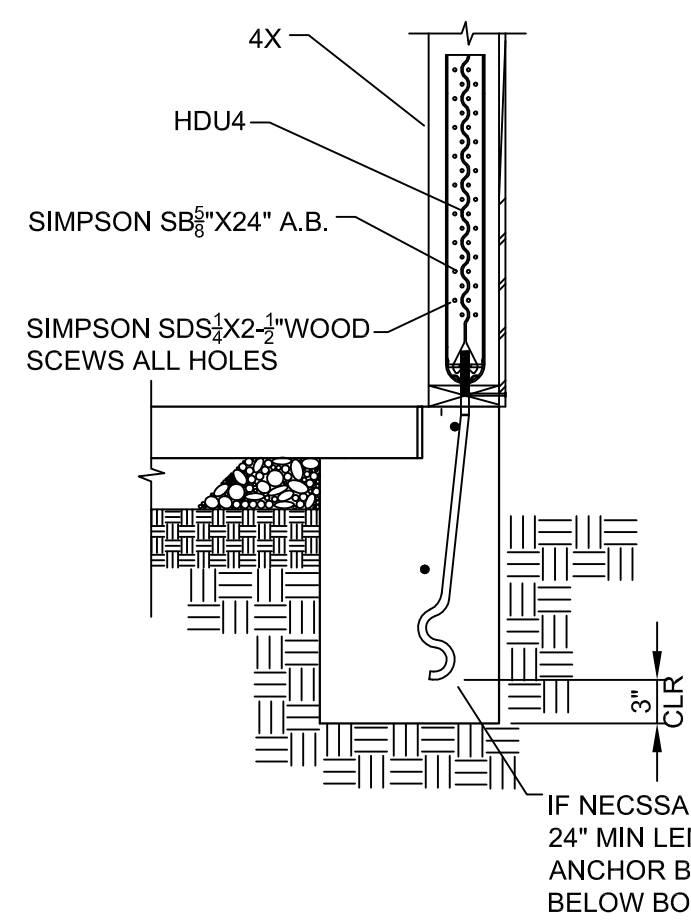
R-1 ROOF TO WALL DETAIL



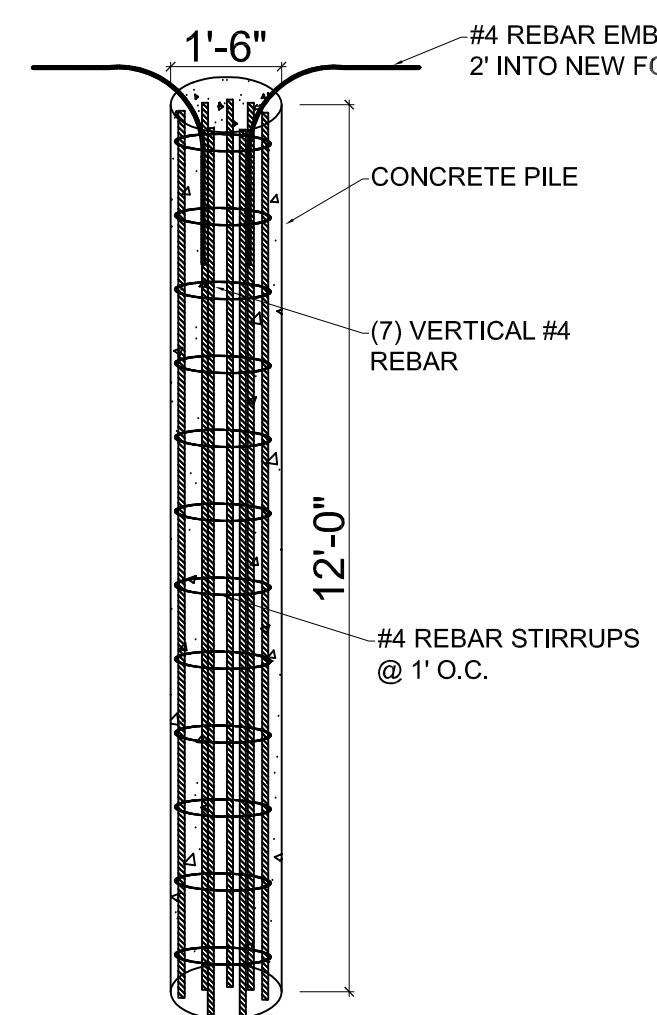
R-2 SHEAR TRANSFER DETAIL



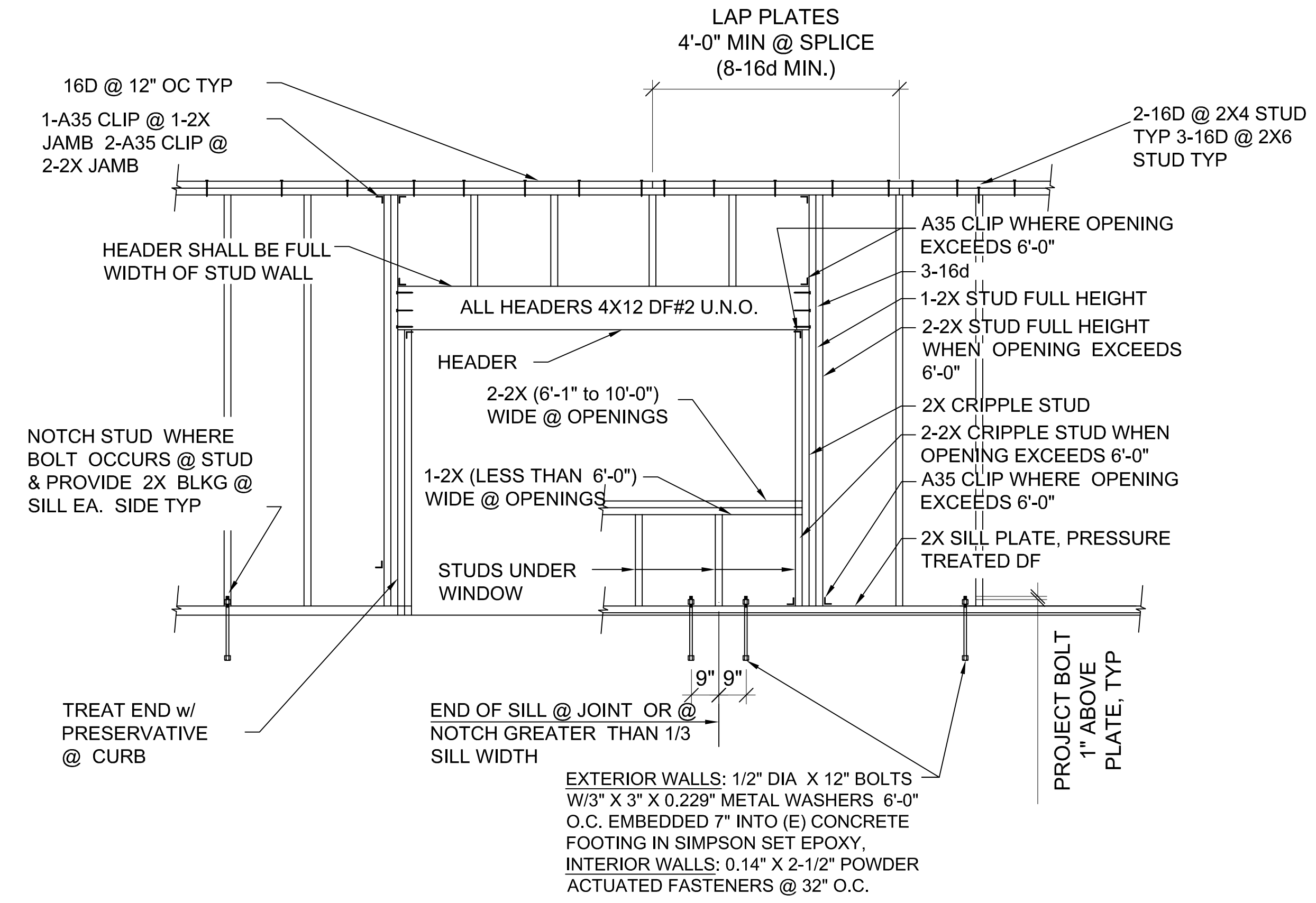
R-3 RAKE EAVE SUPPORT DETAIL



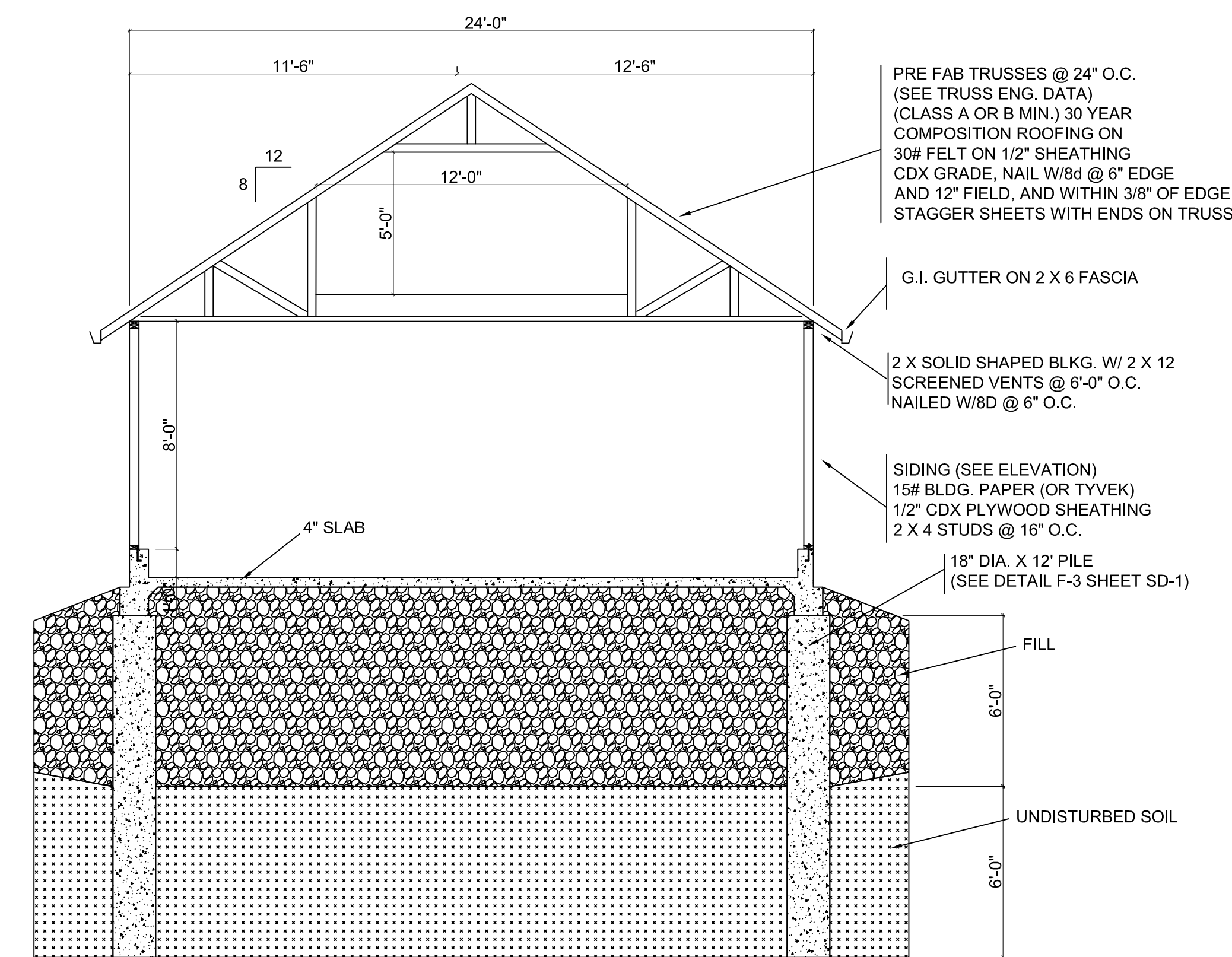
F-2 HOLD DOWN DETAIL



F-3 PILE DETAIL



TYPICAL STUD WALL FRAMING NTS



SECTION A

DESIGN/BUILDER:

PROJECT:

COSENTINO RESIDENCE
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BURLINGAME, CA 94010

APN: 027-112-280

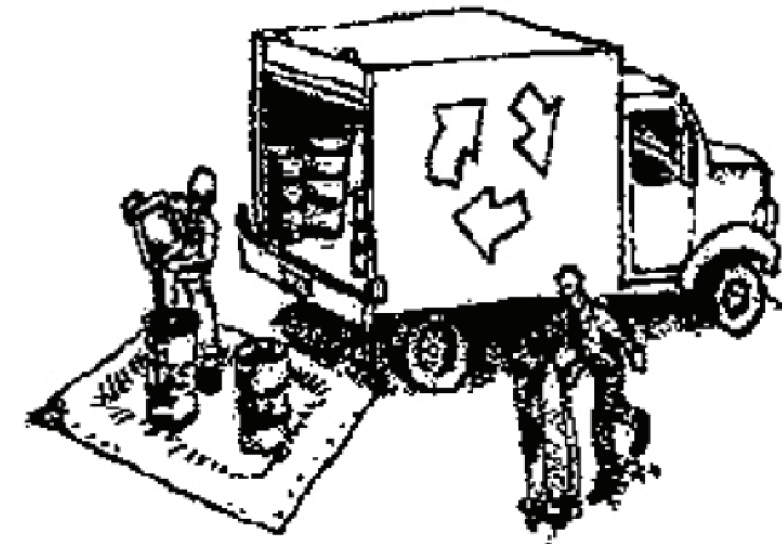
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Project	Sheet
Date 8/14/2024	SD1
Scale 1/4" = 1'	

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number. 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

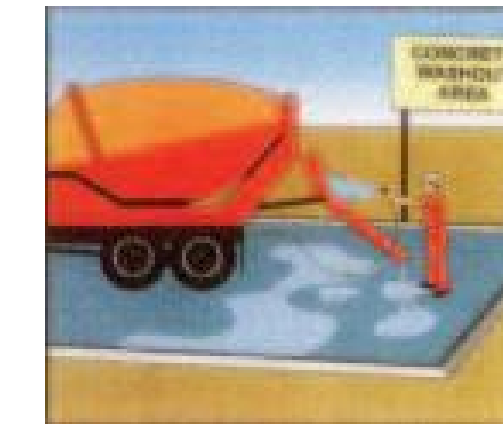


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

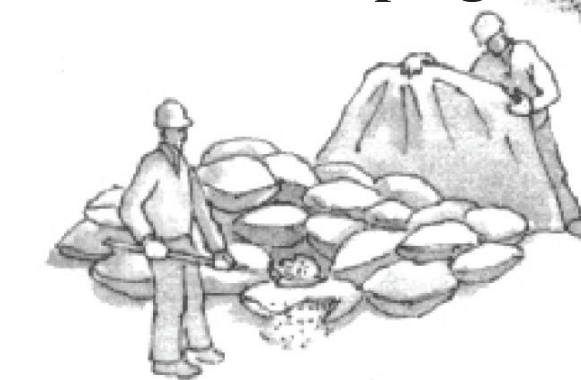
- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



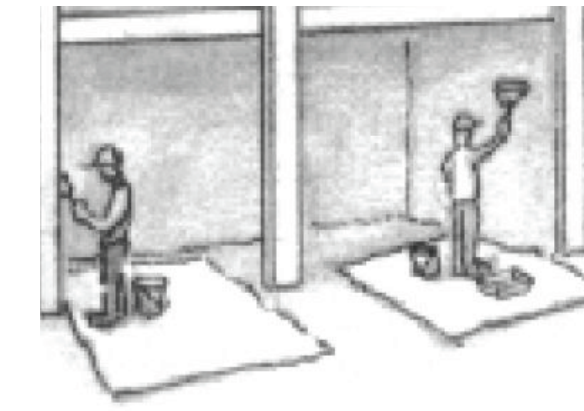
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

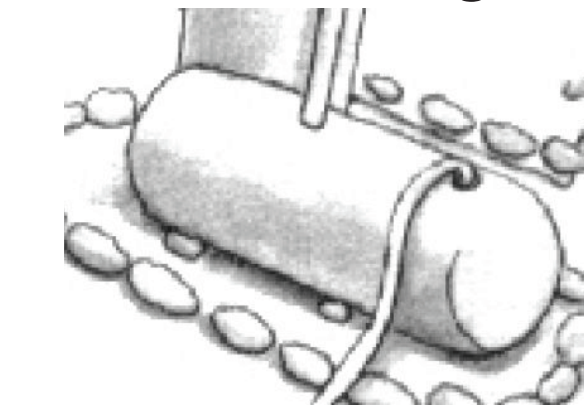
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

DESIGN/BUILDER:

PROJECT:

**COSENTINO RESIDENCE
 2896 HILLSIDE DRIVE
 BURLINGAME, CA 94010**

APN: 027-112-280

No.	Revision/Issue	Date

Project	Sheet
Date	BMP
8/14/2024	
Scale	



COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT

ATTACHMENT D

Application for a Zoning Nonconformity Use Permit

455 County Center, 2nd Floor, Redwood City, CA 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

Applicant's Name : Angelo Cosentino

Primary Permit #: BLD 2024-01367

Companion Page

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Zoning Nonconformity Use Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form, and, if applicable, a copy of a building permit or Assessor's records indicating that your nonconforming structure was built legally.

2. Project Information

This application is for:

- Expansion of a legal, nonconforming structure on a standard-sized parcel.
- Expansion of a legal, nonconforming structure on a substandard parcel.
- New nonconforming structure on a substandard parcel.
- New conforming structure on a substandard parcel per Zoning Regulations Section 6133.3(b).

Zoning: R-1 S-10

Existing nonconformity: 25% Lot Coverage
(Examples: 3 ft. side setback, 40% lot coverage)

Parcel size: 12,420 sq FT

Proposed nonconformity: 30% Lot Coverage

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required finding:

- 1. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in the neighborhood.**

The County must make four additional findings for projects involving substandard parcels:

- 2. The proposed development is proportioned to the size of the parcel on which it is being built.**
- 3. All opportunities to acquire additional contiguous land have been investigated.**
- 4. The proposed development is as nearly in conformance with the zoning regulations currently in effect as is reasonably possible.**
- 5. Use permit approval does not constitute a granting of special privileges.**

Write a brief statement in which you present evidence to support the required findings.

1. The proposed project is not detrimental to public welfare or to property or improvements in the neighborhood.
2. The proposed garage, including the home, will only cover 30% of the lot.
3. There is no additional land available.
4. The proposed garage, including the home, complies with the S-9 zoning maximum lot coverage. My lot is zoned S-10, which requires a minimum lot area of 20,000 square feet and has a maximum lot coverage of 25%. The S-9 zone has a minimum lot area of 10,000 square feet and allows for a maximum lot coverage of 30%. My lot measures 12,420 square feet.
5. The use permit does not grant any special privileges.

Items missing from PLN2024-

Angelo Cosentino <acbackflow@gmail.com>
To: Erica Adams <eadams@smcgov.org>

Mon, Feb 10, 2025 at 2:26 PM

I am writing to kindly request additional square footage due to the recent transformation of my original storage space into an Accessory Dwelling unit. With new Family members now residing in the ADU, the need for extra storage has become increasingly Vital. This additional space would not only enhance our living environment but also foster a sense of order and harmony within our home. Your thoughtful consideration of this request would greatly elevate our family's comfort and well-being. Thank you for taking the time to consider our needs.

Angelo Cosentino
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