

SCOPE OF WORK:

- NEW HUD / HCD APPROVED - MFR'R HOME UNIT FLOOR PLAN, ELEVATIONS, SECTIONS, FOUNDATION DESIGN & SETUP MANUAL ARE UNDER SEPARATE HUD/HCD PERMIT. SOME MANUFACTURER PLANS IN THIS SET ARE SHOWN FOR CLARITY FOR OBTAINING THIS PERMIT.
- NEW SITE BUILT GARAGE AND DRIVE WAY
- NEW SITE BUILT ENTRY LANDING WITH STEPS
- NEW ELECTRICAL, WATER, WASTE WATER & FIRE SPRINKLER UTILITY CONNECTIONS (AS SHOWN ON SITEPLAN AND UTILITY PLAN) TO SINGLE FAMILY DWELLING (FACTORY SUPPLIED CONNECTION POINTS) AND GARAGE UNIT AS REQUIRED. ALL WORK TO EXISTING UTILITY CONNECTIONS ON SITE - NO ENCROACHMENT PERMIT REQUIRED (UNLESS OTHERWISE STATED ELSEWHERE IN PLANS).
- FIRE SPRINKLERS UNDER SEPARATE PERMIT BY OTHERS - DEFERRED
- LANDSCAPE PERMIT FOR DRIP IRRIGATION - UNDER A SEPARATE PERMIT - DEFERRED

LOCAL PLAN REVIEW / INSPECTION NOTE:

- MANUFACTURED HOME UNIT(S) & FOUNDATION SYSTEM ARE APPROVED BY HUD PER CALIFORNIA HEALTH & SAFETY CODE Section 18007 & Title 24, Code of Federal Regulations, Subtitle B, Chapter XX, Part 3280.
- MANUFACTURED HOME UNIT(S) - PLANS PROVIDED IN THIS SET OF PLANS - FLOOR PLAN, ELEVATIONS, SECTIONS, FOUNDATION DESIGN & MANUFACTURER SETUP MANUAL ARE ALL ARE FOR REFERENCE (FROM Item 1 above).
- LOCAL JURISDICTION - PRIOR TO FINAL INSPECTION A COPY OF THE MANUFACTURER'S CERTIFICATE OF ORIGIN (FOR NEW UNITS) SHALL BE PROVIDED.
- LOCAL JURISDICTION - SEPARATE ENCROACHMENT PERMIT (BY OTHERS), CONTRACTOR DELIVERING STRUCTURE TO SITE SHALL OBTAIN THIS PRIOR TO STAGING & DELIVERY (INCLUDING STATE TRANSPORTATION PERMIT).
- LOCAL JURISDICTION - FIELD WORK, UTILITY CONNECTIONS, FIELD BUILT GARAGE, ENTRY STEPS/DECKS/LANDINGS ARE TO BE PER LOCAL CODES. ALSO SEE DEFERRED SUBMITTALS UNDER SEPARATE PERMIT.
- LOCAL INSPECTION ONLY - REFERENCE TO MFR'R SETUP MANUAL CONSISTING OF CONNECTION OF UTILITIES, MODULES TOGETHER, TO FOUNDATION SYSTEM, CROSS OVER OF MECH DUCTS, PLUMBING PIPES, ELECTRICAL, ROOF CAP, END WALL MODULE TRIM & GYP. BD. MODULE JOINTS FINISH / PAINTING, ADDRESS SIGNAGE, & SEE ITEMS 2. & 5. ABOVE.
- FACTORY STAMPED PLANS & INSIGNIA TAG ON BUILDING WHEN DELIVERED. FACTORY APPROVED/STAMPED PLANS WILL BE SHIPPED WITH BUILDING.

DEFERRED SUBMITTALS:

- AN ENGINEERING / ENCROACHMENT PERMIT WILL BE REQUIRED FOR ANY WORK IN THE PUBLIC RIGHT-OF-WAY INCLUDING BUT NOT LIMITED TO DELIVERY OF MFR'D STRUCTURES, CONSTRUCTION STAGING, RESERVED CONSTRUCTION PARKING, SIDEWALK, DRAINAGE, OR SEWER WORK (BY OTHERS). APPROVAL OF THIS BUILDING PERMIT DOES NOT AUTHORIZE WORK IN THE PUBLIC RIGHT-OF-WAY.
- WASTEWATER GRINDER PUMP - IF REQUIRED (PLANS / PERMIT BY OTHERS), IF DETERMINED ON SITE 2" SEWER PIPE FALL NOT AVAILABLE A GRINDER PUMP / TANK SYSTEM SHALL BE DESIGNED & INSTALLED BY OTHERS).
- FIRE SPRINKLER SYSTEM UNDER SEPARATE PERMIT (BY OTHERS).
- LANDSCAPE PERMIT FOR DRIP IRRIGATION UNDER A SEPARATE PERMIT -

APPLICABLE CODES FOR SITE BUILT ELEMENTS:

| | |
|---|--|
| 2022 California Building Code with City Code amendments | 2022 California Plumbing Code |
| 2022 California Residential Code | 2022 California Electrical Code |
| 2022 California Administrative Code amendments | 2022 California Fire Code with City Code |
| 2022 California Mechanical Code | |

DESIGN BUILD SYSTEMS:

- WATER - SFD TO CONNECT TO CITY WATER. LATERAL, SERVICE LINE & METER BOX LOCATIONS AS SHOWN ON SITE PLAN. INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A SHUT-OFF VALVE @ POINT OF CONNECTION TO EXISTING SUPPLY SYSTEM & PRIOR TO MFR'D HOME CONNECTION WITH NON REMOVABLE BACKFLOW HOSE BIBB (OR BIBB-TYPE VACUUM BREAKER ON ALL HOSE BIBBS).
- SEWER - CONNECT TO NEW MFR'D HOME TO (E) SEWER SERVICE LINE IN STREET @ NEAREST CLEANOUT WITH BACKFLOW PREVENTER ON ADU BRANCH SIDE. INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A 4" PVC SCH 40 PIPE & 2% MIN. SLOPE TO 2" FROM MFR'D HOME WITH CLEANOUT (6" PVC SCH 40 @ 1% MIN. SLOPE OR GRINDER PUMP SYSTEM MAY BE REQUIRED AS DETERMINED IN FIELD - SEE DEFERRED SUBMITTAL NOTE). UNDER FLOOR CLEANOUTS LOCATED MORE THAN 5' FROM CRAWL. SPACE ACCESS WILL NEED TO EXTENDED TO OUTSIDE.
- ELECTRICAL - NEW 200A SERVICE. CONNECT NEW MFR'D HOME SERVICE PANEL TO U.G. PG&E ELECTRICAL SERVICE ON SITE.
- NATURAL GAS-(AS APPLICABLE) FROM STREET TO NEW METER. 1 1/4" SCH 40 METALLIC PIPE. INSTALL IN ACCORDANCE WITH CURRENT CPC CODE WITH A SHUT-OFF VALVE @ POINT OF CONNECTION TO EXISTING SUPPLY SYSTEM & PRIOR TO MFR'D HOME CONNECTION (INSIDE PIPING/BRANCHES OF MFR'D HOME (SEDIMENT TRAPS PER CPC 1212.8 ARE ALL PER HUD APPROVED PERMIT PLANS & UNDER SEPARATE PERMIT / APPROVAL) FOR THIS PROJECT ASSUMPTIONS FOR SIZING IS AS FOLLOWS: ~ 115' PIPE RUN TO MFR'D HOME, RANGE 65,000 BTU/HR, WATER HEATER @ 35,000BTU/HR, FURNACE @ 60,000BTU/HR. TOTAL DEMAND OF 160,000BTU/HR OR 160CF/HR (PER PG&E 1,000BTU/HR = 1 CF/HR).
- FIRE SPRINKLER SYSTEM (BY OTHERS UNDER SEPARATE PERMIT). WATER CONNECTION / METER (AS APPLICABLE) & SYSTEM / INSTALLATION.

MH ADVANTAGE NOTES:

- CONTRACTOR TO INSTALL / SETUP OF MANUFACTURED HOME STRUCTURE PER CODE & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY. HINGED ROOF ASSEMBLY AS APPLICABLE WITH ROOFING & ROOF DRAINAGE SYSTEM INSTALLATION.
- ALL EXISTING GRADING IS TO REMAIN. IF REVISED FOR NEW WORK IT SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE OF 5% FOR 10 FEET AWAY FROM STRUCTURES.
- DRIVEWAY TO BE INSTALLED IF NOT EXISTING AS PER LOCAL JURISDICTION. DESIGN BUILD - SURFACE TYPES TO BE OF 1 OF THE FOLLOWING - AC PAVING, PAVERS, FLAGSTONE, BRICK OR CONCRETE AS PER OWNER.
- 4R MIN. WIDE WALKWAY CONNECTING DRIVEWAY TO FRONT ENTRY DOOR PORCH FROM DRIVEWAY @ CARPORT OR GARAGE. SURFACE TYPES TO BE OF 1 OF THE FOLLOWING - AC PAVING, PAVERS, FLAGSTONE, BRICK OR CONCRETE AS PER OWNER.
- LOW SET HEIGHT = 30" MAX. FROM GRADE TO BOTTOM OF FLOOR JOISTS @ ENTRY PORCH (FRONT ELEVATION).
- FOR A PIT SET HOME (OR PARTIAL PIT SET), CRAWL SPACE TO HAVE A 15 MIL. MIN. VAPOR BARRIER (TAPED SEAMS AS PER MFR'R INSTALLATION INSTRUCTIONS), VAPOR BARRIER

CONTRACTOR NOTES:

- CONTRACTOR TO INSTALL / SETUP OF MANUFACTURED SFD STRUCTURE PER CODE & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
- ALL EXISTING GRADING IS TO REMAIN AS MUCH AS POSSIBLE. IF REMOVED OR REVISED FOR NEW WORK IT SHOULD BE MINIMAL IN SCOPE TO PROVIDE POSITIVE DRAINAGE. INSTALL PROPER EROSION CONTROL MEASURES AS REQUIRED PER LOCAL CODE.
- CONTRACTOR SHALL VERIFY ALL BUILDING UTILITY LOCATIONS FOR ALL UTILITY CONNECTIONS / CONNECTIONS (UNDERGROUND OR OVERHEAD) PRIOR TO INSTALLATION WITH LOCAL UTILITY COMPANY. DESIGN BUILD.
- CONTRACTOR TO REVIEW GEOTECHNICAL REPORT (IF APPLICABLE) FOR ALL SITE & BUILDING RECOMMENDATIONS PRIOR TO COMMENCING WORK. FIELD REVIEW BY GEOTECHNICAL ENGINEER SHALL REVIEW ALL EXCAVATIONS PRIOR TO PLACING CONCRETE, etc., per REPORT.
- ENCROACHMENT PERMIT BY OTHERS WILL BE REQUIRED FOR STAGING REQUIREMENTS.
- CAUTION UNDERGROUND & OVERHEAD: CALL BEFORE YOU DIG - UNDERGROUND SERVICE ALERT - CALL 811

CONTACT INFO

OWNER:
STEPHANIE BATTIES
516 SECOND AVENUE
REDWOOD CITY, CA, 94063

DRAFTING:
STEPHANIE BATTIES - THE RIGHT TOUCH DESIGNS
516 SECOND AVENUE
REDWOOD CITY, CA, 94063

MANUFACTURER:
CHAMPION HOME BUILDERS
755 W. BIG BEAVER ROAD, SUITE 100
TROY, MI 48064
OFFICE (877) 340-7691
www.championhomes.com

SURVEY:
CARNES & EKPARIAN, INC. LAND SURVEYORS
Drexyl Ekparian, P.L.S.
9505 SUGAR BABE DRIVE
GILROY, CA, 95020

CIVIL ENGINEERING / UTILITIES:
Mark Sorenson P.E., QSD/P
Bay Area Civil Engineering
(925)683-2910

STRUCTURAL ENGINEERING:
EDYU Engineering
Eduard Yu
1781 Peacock Avenue
Mountain View, CA 94043
650 804 5742

GEOTECHNICAL REPORT:
Abbie Goldstein
Sigma Prime Geosciences, Inc.
332 Princeton Avenue
Half Moon Bay, CA 94019
650-728-3590

LANDSCAPE DESIGN:
Artistic Garden Designs
Olga Stritar
olga@artisticgardendesigns.com
707 623 1828

INDEX TO DRAWINGS

| SHEET | TITLE |
|-------|------------------------------|
| A.1 | COVER SHEET |
| A.2 | SURVEY |
| A.3 | SITE PLAN |
| C0 | CIVIL ENGINEER - TITLE SHEET |
| C1 | SITE DEMOLITION PLAN |
| C2.1 | GRADING AND DRAINAGE PLAN |
| C2.2 | UTILITIES - PLUMBING |
| C3.1 | CIVIL DETAILS |
| C3.2 | DISTRICT DETAILS |
| C4 | EROSION CONTROL |
| C5 | BEST MANAGEMENT PRACTICES |
| T | TREE PROTECTION INFORMATION |
| A.4 | FLOOR PLAN |
| A.5 | EXTERIOR ELEVATIONS |
| A.6 | EXTERIOR ELEVATIONS |
| A.7 | MATERIAL BOARDS |
| A.8 | EXTERIOR LIGHT FIXTURE SPECS |
| P-1 | LANDSCAPE PLAN - PLANTING |
| P-2 | IRRIGATION PLAN |

PERMANENT FOUNDATION SYSTEM
SEE STRUCTURAL PLANS

IMPERVIOUS SURFACE SQUARE FOOTAGE:

| | |
|-------------------------------|---------|
| SFD | 1887SQF |
| SFD FRONT ENTRY LANDING/STEPS | 70SQF |
| SFD BACK PORCH & STEPS | 254SQF |
| GARAGE | 516SQF |
| DRIVEWAY AND FRONT WALKWAY | 397SQF |

TOTAL IMPERVIOUS SURFACE 3124 SQF

PROJECT

3 - BEDROOM MANUFACTURED SINGLE FAMILY HOME - WITH SITE BUILT GARAGE

MODEL NAME: "MAMMOTH"
DIMENSIONS: 40' x 64'

SQUARE FOOTAGE:
SFD: 1,887 SQF
COVERED BACK PORCH: 254 SQF
FRONT PORCH : 56 SQF
GARAGE: 516 SQF

TOTAL PROPOSED FAR: 2714 SQF
LOT SIZE: 6250 SQF
MAXIMUM ALLOWED FAR = 0.53 X 6250 SQF = **3312 SQF**

TOTAL PROPOSED LOT COVERAGE: 2714 SQF
MAXIMUM LOT COVERAGE: 0.5
0.5 X 6250 SQF = 3125 SQF
PROPOSED LOT COVERAGE = **43%**

APN:
036161270

PARCEL SIZE:
6,250 SQF - PER COUNTY ASSESSOR

ZONE DESIGNATION: R-1S-17/DR/CD

JURISDICTION: SAN MATEO COUNTY SUPERVISORS DISTRICT 3

OCCUPANCY GROUP: R-3
CONSTRUCTION TYPE: V B

GEOTECHNICAL EVALUATION
XXX

Project address:
STEPHANIE BATTIES
825 EDISON STREET
MONTARA, CA 94037

the right touch DESIGNS
516 Second Avenue
Redwood City, CA 94063
p (650) 369 2198
e: stephanie@righttouchdesigns.com

| REVISION TABLE | |
|----------------|-------------|
| DATE | REVISION BY |
| 6-24-24 | |
| 8-15-24 | |
| 11-15-24 | |
| 12-18-24 | |
| 1-5-25 | |

TITLE:
COVER SHEET

DATE:
4-4-24

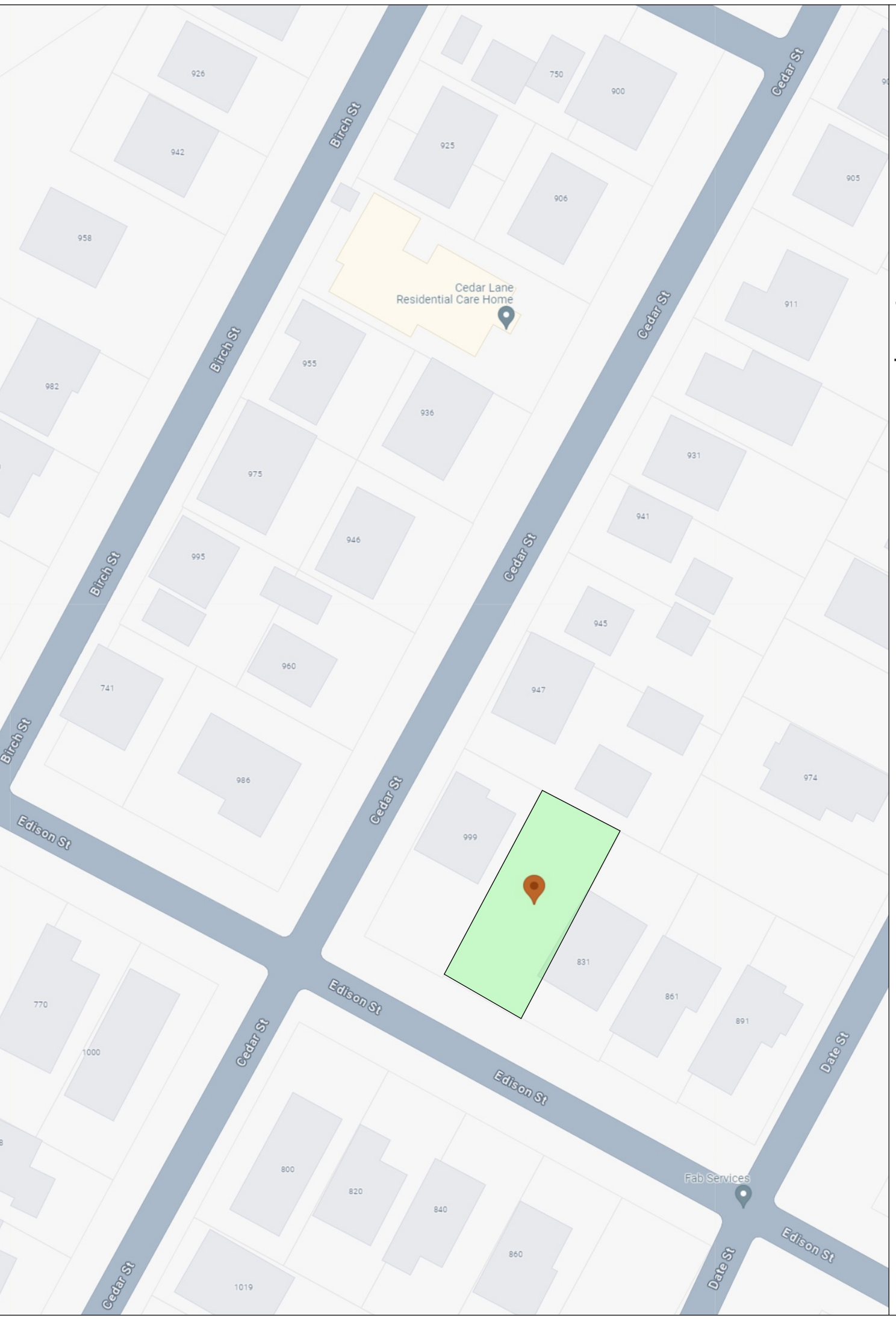
SCALE:

SHEET:
A.1

ABBREVIATIONS

| | | | |
|--|--|---|--|
| & @ ° +/- # A.B. ACOUST. A.F.F. ALUM. A.V. BD. BLK. BLK'G BM BOT BUR C C.A. C.L.G. COL. COMP. CONC. CONN. PT CPT C.V. DW DBL. R.S. dia. DR. DWG. EA. E.A. E.I.F.S. ELECT. EQ. ETC. (E) EXT. F.D. F.E. FEC FHWS FF. F.O.C. F.O.M. F.O.S. F.O.STL. F.R.P. FT. G2 G8 GA GALV. GL. GSM GSB GX QWB GWX GYP. h HDWR. HWY. ID IN. INT. INTER. L. lbs. M.A. | AND AT DIAMETER DEGREE PLUS or MINUS POUND or NUMBER ANCHOR BOLT ACOUSTIC ABOVE FINISH FLOOR ATTIC VENT (GRAVITY STYLE) BOARD BLOCK BLOCKING BEAM BOTTOM BUILT-UP ROOFING CENTERLINE COMBUSTION AIR (MAKE-UP VENT) COLUMN COMPOSITION CONCRETE CONNECTION CERAMIC TILE CARPET COMBUSTION VENT ('B' or 'BW') DISHWASHER DOUBLE DOWNSPOUT DIAMETER DOOR DRAWING EACH EXHAUST FAN EXTERIOR INSULATION FINISH SYSTEM ELECTRICAL EQUAL ETCETERAS EXISTING EXTERIOR FLOOR DRAIN FIRE EXTINGUISHER FIRE EXTINGUISHER CABINET FLAT HEAD WOOD SCREW FINISHED FLOOR FACE OF CONCRETE FACE OF MASONRY FACE OF STUD FACE OF STEEL FIBERGLASS REINFORCED PANEL FEET 1/2" GYPSUM BOARD 5/8" GYPSUM BOARD GAUGE GALVANIZED GLASS GALVANIZED SHEET METAL 5/8" GYPSUM SOFFIT BOARD 5/8" TYPE "X" GYPSUM BOARD 5/8" WATER RESISTIVE GYPSUM BOARD 5/8" TYPE "X" WATER RESISTIVE GYPSUM BOARD GYPSUM HEIGHT HARDWARE HIGHWAY INSIDE DIAMETER INCHES INTERIOR INTERMEDIATE DISHWASHER POUNDS MAKE-UP AIR (GRAVITY VENT) | MAX M.B. MECH MFR'D MFR'R M.O. MIN. MTL. (N) N.I.C. NO. NOM N.T.S. OF O.C. OD OFF. PH P.D.P. PL PLAM PLAST. PLY. PWD PL.F. PROD. PSF (R) REF REQ'D RHWS RO R.W.L. SC S.C.D. S.E.D. S.F.S.D. SIM. S.L.D. S.M.D. S.M.S. S.P.D. SQ. SQ. S.R.D. SS S.S.B.M.D. S.S.D. ST. STL. S.T.S. S.V. T. T.C. T.F. T.P. TEMP T&G T.S.R. TYP. UBC U.C. UF U.G. U.O.N. U.S.P. V VCT VERT. V.T.R. W w WOOD | MAXIMUM MACHINE BOLT MECHANICAL MANUFACTURED MANUFACTURER MASONRY OPENING MINIMUM METAL NEW NOT IN CONTRACT NUMBER NOMINAL NOT TO SCALE OVER ON CENTER OUTSIDE DIAMETER OFFICE PANIC HARDWARE POWDER DRIVEN PIN PLATE PLASTER PLASTIC LAMINATE PLYWOOD PLYWOOD PER LINEAR FOOT PRODUCTION POUNDS PER SQUARE FOOT RELOCATE REFRIGERATOR REQUIRED ROUND HEAD WOOD SCREW ROUGH OPENING RAIN WATER LEADER SOLID CORE SEE CIVIL DRAWING SEE ELECTRICAL DRAWINGS SEE FOOD SERVICE DRAWINGS SIMILAR SEE LANDSCAPE DRAWINGS SEE MECHANICAL DRAWINGS SHEET METAL SCREW SEE PLUMBING DRAWINGS SQUARE FT. SQUARE FEET SEE REFRIGERATION DRAWINGS SEAMLESS STEEL SEE STEEL BUILDING MANUFACTURER DRAWINGS SEE STRUCTURAL DRAWINGS STREET STEEL SELF TAPPING SCREW SHEET VINYL TEMPERED TOP OF CONCRETE TOP OF FOOTING TOP OF PAVING TEMPERED TONGUE AND GROOVE TOPSET RUBBER BASE TYPICAL UNIFORM BUILDING CODE UNDER COUNTER UNFINISHED - TAPE ONLY UNDERGROUND UNLESS OTHERWISE NOTED UNDER SEPARATE PERMIT VOLTAGE VINYL COMPOSITION TILE VERTICAL VENT THRU ROOF WIDTH WITH WOOD |
|--|--|---|--|

LOCATION MAP



PARCEL MAP



AERIAL PHOTO

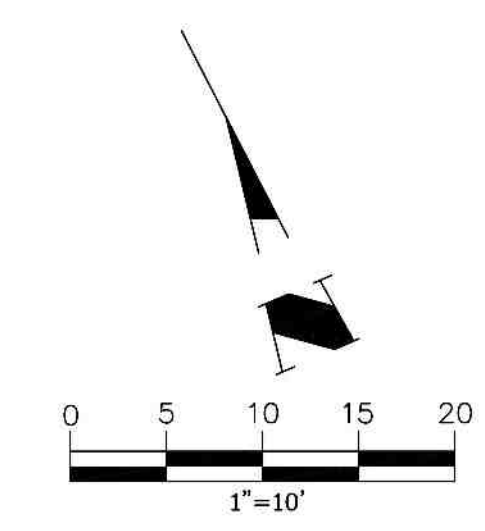


LOT 4B LOT 46, 47 & 48
BLOCK 56
5-M-35
APN: 036-161-260

LOT 1 LOT 1 & 2
BLOCK 56
5-M-35
APN: 036-161-230

LOT 3 & 4
BLOCK 56
5-M-35
DOC. 2024-010401
APN: 036-161-270
6,250 Sq.Ft.±

LOT 5 & 6
BLOCK 56
5-M-35
APN: 036-161-280



LEGEND

| | |
|--|------------------------|
| | PROPERTY BOUNDARY |
| | LOT LINE |
| | CENTER LINE |
| | OLD LOT LINE |
| | PAVEMENT |
| | CONCRETE/LIP OF GUTTER |
| | FENCE |
| | FLOW LINE |
| | TIELINE |

ABBREVIATIONS

| | |
|---------|--------------------------|
| A | ANCHOR |
| DI | DRAIN INLET |
| FH | FIRE HYDRANT |
| INV. | INVERT |
| P+T | POWER & TELEPHONE POLE |
| P+TRANS | POWER POLE & TRANSFORMER |
| SSCO | SANITARY SEWER CLEAN OUT |
| SSMH | SANITARY SEWER MANHOLE |
| TP | TELEPHONE POLE |
| WV | WATER VALVE |

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR. EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.

Carnes & Ekparian, Inc.
LAND SURVEYORS
9505 SUGAR BABE DRIVE GILROY, CA 95020
T: (408) 847-2013 F: (408) 846-7248
EMAIL: OFFICE@CE-PLS.COM



| No. | DATE | REVISION |
|-----|---------|----------------------|
| 1. | 3/21/24 | ADD TREE SPECIES |
| 2. | 3/25/24 | REVISED TREE SPECIES |
| 3. | 6/12/24 | REMOVED TREES |

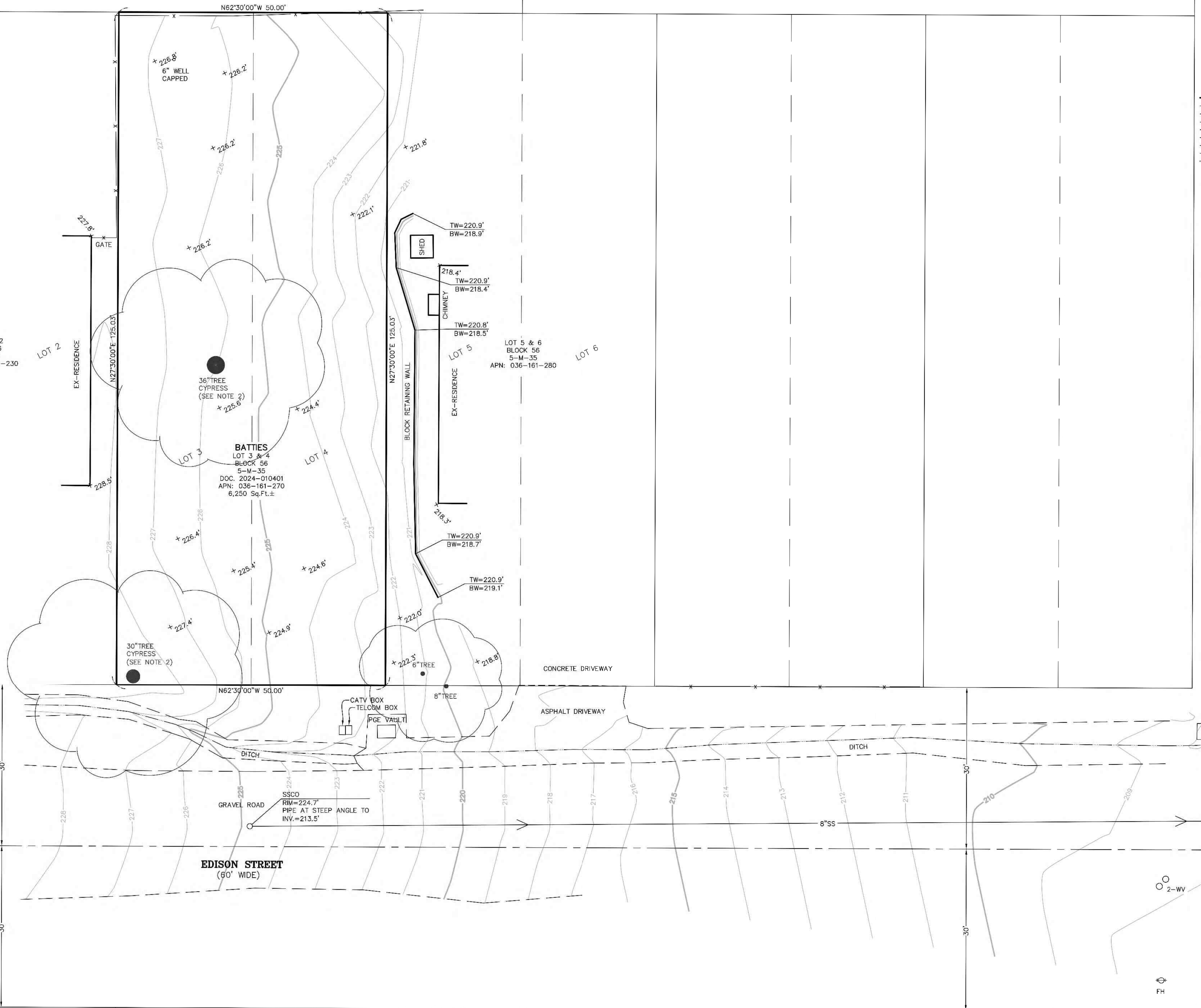
**TOPOGRAPHIC MAP
FOR STEPHANIE BATTIES
825 EDISON STREET
COUNTY OF SAN MATEO, CA.**

| | | |
|-----------------|-----------------|------------|
| SHEET | DATE : | 03/19/2024 |
| 1 | SCALE : | 1" = 10' |
| OF | DRAWN BY : | J.H. |
| 1 | PROJ. MANAGER : | G.C. |
| Job No. 24015 | | |
| DWG: BATTIES TP | | |

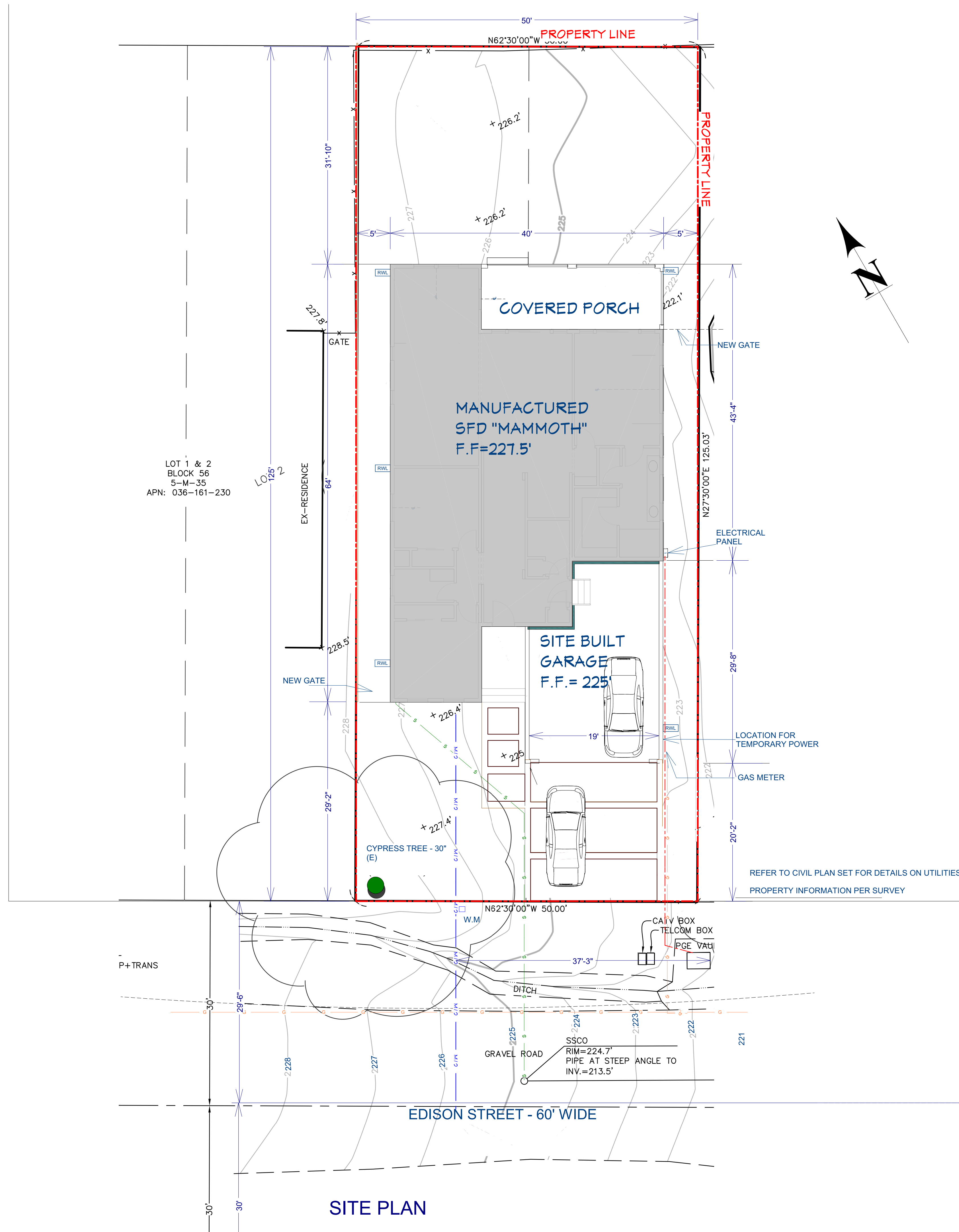
CEDAR STREET
(60' WIDE)

DATE STREET
(80' WIDE)

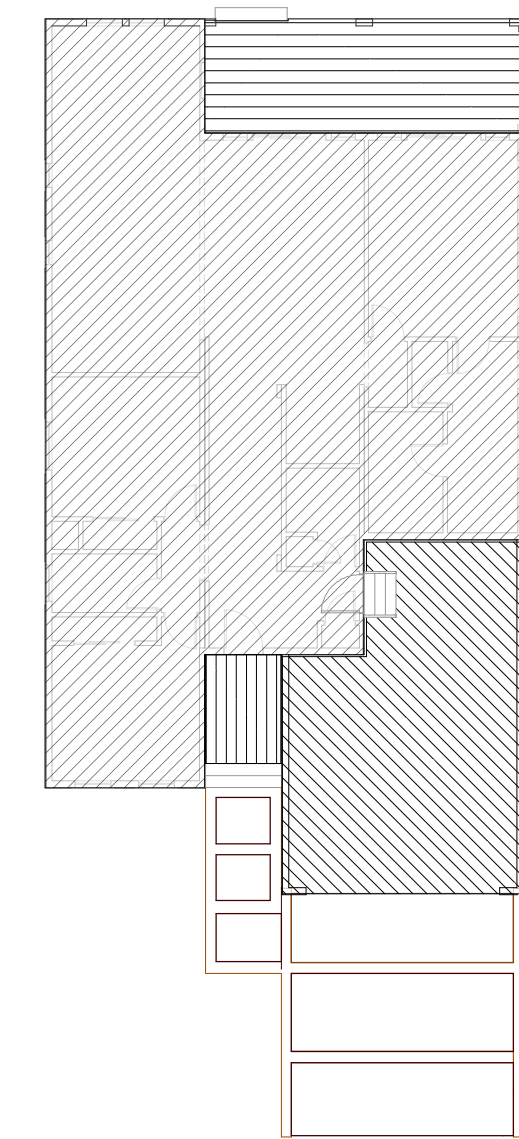
EDISON STREET
(60' WIDE)



CEDAR STREET

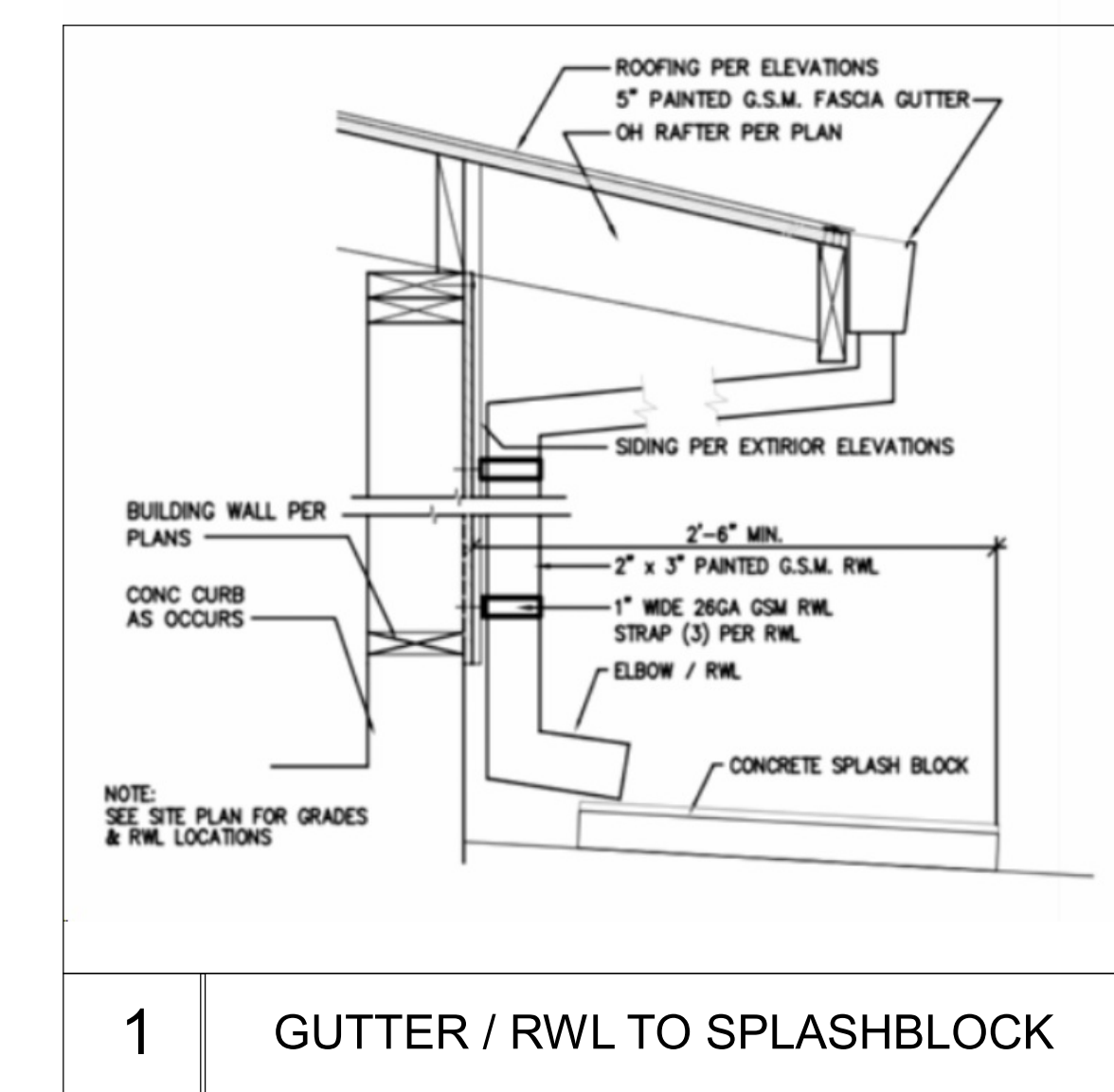


SITE PLAN



- ▨ SFD - 1887 SQF
 - ▨ COVERED BACK PORCH - 254 SQF
 - ▨ FRONT PORCH - 57 SQF
 - ▨ GARAGE - 516 SQF
- FAR CALCULATION:**
TOTAL PROPOSED FAR: 2714 SQF
 LOT SIZE: 6250 SQF
 MAXIMUM ALLOWED FAR = 0.53 X 6250 SQF = 3312 SQF
- LOT COVERAGE CALCULATION**
 MAXIMUM LOT COVERAGE: 0.5
 0.5 X 6250 SQF = 3125 SQF
 TOTAL PROPOSED LOT COVERAGE: 2714 SQF
- NOT INCLUDED ABOVE:
 DRIVEWAY AND WALK WAY: 397 SQF

FAR CALCULATIONS



1 GUTTER / RWL TO SPLASHBLOCK

| DATE | REVISION/TABLE | REVISOR |
|----------|----------------|---------|
| 6-24-24 | | |
| 8-15-24 | | |
| 11-15-24 | | |
| 1-4-25 | | |

TITLE:
SITE PLAN

DATE:

4-4-24

SCALE:

SHEET:

A.3

Project address:
 STEPHANIE BATTIES
 825 EDISON STREET
 MONTARA, CA 94037

the right touch
 DESIGNS
 516 Second Avenue
 Redwood City, CA 94063
 p (650) 369 2198
 e: stephanie@righttouchdesigns.com

NEW HOME

825 EDISON STREET, MONTARA



DATE: 01.03.2025

NEW HOME

825 EDISON STREET
MONTARA, CA

SORENSEN ENGINEERING

SORENSEN.MARKE@GMAIL.COM
(925)683-2910

REVISION DATE

DRAWN BY: MS

JOB: 23-1210
SIGNATURE:

SCALE: 1"=10'

TITLE SHEET AND NOTES

CO

STANDARD GENERAL NOTES

1. THE CONTRACTOR AGREES THAT, IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXEMPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF ENGINEER.

2. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEETED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT ALL EXISTING IMPROVEMENTS OF ANY KIND WILL BE FULLY PROTECTED FROM DAMAGE. ANY DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING AND SHEETING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND HE SHALL EFFECT NECESSARY REPAIRS OR RECONSTRUCTION AT HIS OWN EXPENSE. WHERE THE EXCAVATION FOR A CONDUIT TRENCH, AND/OR STRUCTURE IS FIVE FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL PROVIDE ADEQUATE SHEETING, SHORING, AND BRACING OR EQUIVALENT METHOD, FOR THE PROTECTION OF LIFE OR LIMB, WHICH SHALL CONFORM TO THE APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE DIVISION OF INDUSTRIAL SAFETY OF THE STATE OF CALIFORNIA. THE CONTRACTOR SHALL ALWAYS COMPLY WITH OSHA REQUIREMENTS.

3. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN PERMITS NECESSARY TO PERFORM THE WORK SHOWN IN THESE PLANS FROM THE APPROPRIATE AGENCIES.

4. THE CONTRACTOR SHALL PROVIDE FOR INGRESS AND EGRESS FOR PRIVATE PROPERTY ADJACENT TO WORK THROUGHOUT THE PERIOD OF CONSTRUCTION.

5. THE CONTRACTOR SHALL PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FLAGGERS, OR OTHER DEVICES NECESSARY TO PROVIDE FOR SAFETY.

6. THE CONTRACTOR SHALL POST EMERGENCY TELEPHONE NUMBERS FOR POLICE, FIRE, AMBULANCE, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF JOB SITE.

7. LENGTHS OF STORM DRAINS ARE HORIZONTAL DISTANCES FROM CENTER TO CENTER OF STRUCTURES, ROUNDED OFF TO THE NEAREST FOOT.

8. EXISTING UNDERGROUND UTILITIES AND IMPROVEMENTS ARE SHOWN IN THEIR APPROXIMATE LOCATIONS BASED UPON RECORD INFORMATION AVAILABLE TO THE ENGINEER AT THE TIME OF THE PREPARATION OF THESE PLANS. LOCATIONS MAY NOT HAVE BEEN VERIFIED IN THE FIELD AND NO GUARANTEE IS MADE AS TO THE ACCURACY OR COMPLETENESS OF THE INFORMATION SHOWN. THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AT LEAST TWO WORKING DAYS IN ADVANCE OF CONSTRUCTION TO FIELD LOCATE UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE EXISTENCE AND LOCATION OF THOSE UTILITIES SHOWN ON THESE PLANS OR INDICATED IN THE FIELD BY LOCATING SERVICES. ANY ADDITIONAL COSTS INCURRED AS A RESULT OF CONTRACTOR'S FAILURE TO VERIFY LOCATIONS OF EXISTING UTILITIES PRIOR TO BEGINNING OF CONSTRUCTION IN THEIR VICINITY SHALL BE BORNE BY THE CONTRACTOR AND ASSUMED INCLUDED AND MERGED IN THE CONTRACT UNIT PRICE. IT IS MANDATORY THAT THE CONTRACTOR EXPOSE AND VERIFY THE TOP AND BOTTOM OF ALL UTILITIES PRIOR TO ANY WORK ON SUBSEQUENTLY AFFECTED FACILITIES. IT IS THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE THE FINAL DETERMINATION AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES AND TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ENGINEER.

9. ALL EXISTING UTILITIES AND IMPROVEMENTS THAT BECOME DAMAGED DURING CONSTRUCTION SHALL BE COMPLETELY RESTORED TO THE SATISFACTION OF THE LOCAL AGENCY ENGINEER, AT THE CONTRACTOR'S SOLE EXPENSE.

10. ANY RELOCATION OF PUBLIC UTILITIES SHALL BE CONDUCTED IN ACCORDANCE WITH ANY AND ALL REQUIREMENTS OF THE UTILITY COMPANY INCLUDING FEES, BONDS, PERMITS AND WORKING CONDITIONS, ETC.

11. IF ARCHAEOLOGICAL MATERIALS ARE UNCOVERED DURING GRADING, TRENCHING OR OTHER EXCAVATION, EARTHWORK WITHIN 100 FEET OF THESE MATERIALS SHALL BE STOPPED UNTIL A PROFESSIONAL ARCHAEOLOGIST WHO IS CERTIFIED BY THE SOCIETY OF CALIFORNIA ARCHAEOLOGY (SCA) AND/OR THE SOCIETY OF PROFESSIONAL ARCHAEOLOGY (SOPA) HAS HAD AN OPPORTUNITY TO EVALUATE THE SIGNIFICANCE OF THE FIND AND SUGGEST APPROPRIATE MITIGATION MEASURES, IF THEY ARE DEEMED NECESSARY.

12. CIVIL ENGINEER DOES NOT SPECIFY NOR RECOMMEND THE USE OR INSTALLATION OF ANY MATERIAL OR EQUIPMENT WHICH IS MADE FROM, OR WHICH CONTAINS ASBESTOS FOR USE IN THE CONSTRUCTION OF THESE IMPROVEMENTS. ANY PARTY INSTALLING OR USING SUCH MATERIALS OR EQUIPMENT SHALL BE SOLELY RESPONSIBLE FOR ALL INJURIES, DAMAGES OR LIABILITIES OF ANY KIND, CAUSED BY THE USE OF SUCH MATERIALS OR EQUIPMENT. THE PROVISIONS OF THIS NOTE SHALL APPLY UNLESS THEY ARE EXPRESSLY WAIVED IN WRITING BY CIVIL ENGINEER

13. SHOULD IT APPEAR THAT THE WORK TO BE DONE OR ANY MATTER RELATIVE THERETO IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT CIVIL ENGINEER AT (925) 683-2910 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

PROJECT GENERAL NOTES

1. CONSTRUCTION AND GRADING OPERATIONS SHALL BE LIMITED TO MONDAY THROUGH SATURDAY 7:00 A.M. TO 6:00 P.M. AND DUST CONTROL MEASURES SHALL BE FOLLOWED AT ALL TIMES.

2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS OF THE STATE OF CALIFORNIA, THE APPLICABLE PROVISIONS OF CALTRANS STANDARD SPECIFICATIONS, AND TO THE SATISFACTION OF THE STATE INSPECTOR.

3. THESE PLANS AND SPECIFICATIONS, INCLUDING GRADES AND DRAINAGE ARE SUBJECT TO MODIFICATION DURING CONSTRUCTION. SHOULD CONDITIONS APPEAR THAT WERE NOT APPARENT DURING DESIGN, ANY SUCH MODIFICATION SHALL BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER.

4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONFIRM THE EXISTING ELEVATIONS AT THIS SITE PRIOR TO THE START OF CONSTRUCTION AND TO NOTIFY CIVIL ENGINEER IN WRITING IMMEDIATELY OF ANY DIFFERENCES FROM THOSE SHOWN ON THE PLAN.

5. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ANY FIELD CHANGES MADE WITHOUT WRITTEN AUTHORIZATION FROM THE ARCHITECT AND CIVIL ENGINEER.

6. THE NOTES SHOWN ON THIS PLAN SHALL BE COORDINATED WITH THE GENERAL AND SPECIAL CONDITIONS FOR THIS PROJECT.

7. AN ENCROACHMENT PERMIT FROM THE CITY IS REQUIRED FOR ANY WORK WITHIN THE CITY RIGHT OF WAY.

8. ALL EXISTING UTILITY BOXES SHALL BE ADJUSTED TO NEW FINISH GRADE OR OVERLAY GRADE

9. SEE TOPOGRAPHIC SURVEY (BY OTHERS) FOR SITE CONTROL. SEE TOPOGRAPHIC MAP BY CARNES AND EKPARIAN, INC DATE 3/21/24

10. CIVIL ENGINEERING DESIGN SHOWN BASED ON TOPOGRAPHIC SURVEY (BY OTHERS) AND ARCHITECTURAL LAYOUT (BY OTHERS). CIVIL ENGINEER IS NOT RESPONSIBLE FOR ACCURACY OF DESIGN BY OTHER CONSULTANTS.

CONSTRUCTION NOTES

GENERAL

1. THE CONTRACTOR WILL HOLD HARMLESS, INDEMNIFY, AND DEFEND THE OWNER, THE ENGINEER, AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS AND EMPLOYEES AND AGENTS, FROM ANY AND ALL LIABILITY CLAIMS, LOSSES, OR DAMAGES ARISING OR ALLEGED TO ARISE FROM THE PERFORMANCE OF THE WORK DESCRIBED HEREIN, BUT NOT INCLUDING THE SOLE NEGLIGENCE OF THE OWNER, THE ENGINEER AND HIS CONSULTANTS, AND EACH OF THEIR OFFICERS, EMPLOYEES, AND AGENTS.

2. THE CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDERS AND ALL GOVERNMENT ORDINANCES AND REGULATIONS RELATING TO THE WORK SHOWN ON THESE PLANS.

3. ALL WORK IS TO BE DONE IN CONFORMANCE WITH THE STANDARDS OF THE STATE OF CALIFORNIA OR AS OTHERWISE APPROVED ON THE PLANS.

4. CAUTION! THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION IN ORDER TO DETERMINE THE FIELD LOCATION OF ANY EXISTING UNDERGROUND UTILITIES. PHONE (800) 642-2444.

5. THE CONTRACTOR AND/OR SUBCONTRACTORS SHALL PREVENT THE FORMATION OF AN AIRBORNE DUST NUISANCE WHEN HE OR HIS SUBCONTRACTORS ARE OPERATING EQUIPMENT ON THE SITE AT ALL TIMES DURING CONSTRUCTION AND UNTIL FINAL COMPLETION. THEY SHALL DO SO BY WATERING AND/OR TREATING THE SITE OF WORK. THEY SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE BY DUST FROM THEIR CONSTRUCTION ACTIVITIES IN PERFORMING THE WORK UNDER THIS CONTRACT. THE PRICES FOR THE VARIOUS ITEMS OF WORK SHALL INCLUDE PROVIDING ADEQUATE DUST CONTROL, AS REQUIRED BY THE LOCAL AGENCY.

6. THE ENGINEER ASSUMES NO RESPONSIBILITY BEYOND THE ADEQUACY OF THE DESIGN CONTAINED HEREIN.

7. ALL DISTANCES AND DIMENSIONS ARE SHOWN IN FEET AND DECIMALS THEREOF.

8. CONTRACTOR SHALL MAKE ARRANGEMENTS WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY TIE-IN OR WORK WITH THEIR UTILITIES.

9. CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE TEMPORARY DRAINAGE FACILITIES DURING RAINY SEASON OPERATION AND PROTECT ALL GRADED AREAS FROM EROSION. CONTRACTOR SHALL REPAIR ANY AREAS OF EROSION PRIOR TO ACCEPTANCE OF GRADING.

10. ALL UTILITY BOXES TO REMAIN SHALL BE ADJUSTED TO NEW FINISH GRADE. ANY UTILITY BOXES THAT FALL WITHIN THE VEHICULAR TRAVEL WAY SHALL BE CONVERTED TO TRAFFIC BEARING CAPACITY.

11. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADE STAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS, AND INFORMATION NECESSARY TO COMPLETE THE WORK, AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.

12. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT CONTRACTOR'S EXPENSE.

GRADING NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONFIRM THE GROUND ELEVATIONS AND OVERALL TOPOGRAPHY OF THE SITE PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY CIVIL ENGINEER IN WRITING IMMEDIATELY OF ANY DIFFERENCES IN TOPOGRAPHY FROM THAT SHOWN ON THIS PLAN WHICH MAY AFFECT THE EARTHWORK QUANTITY AND/OR REQUIRE CHANGES IN DESIGN.

2. ALL ABANDONED UNDERGROUND PIPELINES EXPOSED DURING GRADING SHALL BE REMOVED OR ADEQUATELY PLUGGED.

3. PROTECTIVE FENCING AND/OR BARRIERS SHALL BE PROVIDED WHEN NECESSARY TO PROTECT ADJACENT PROPERTIES DURING GRADING OPERATION.

4. ALL EXPLORATORY TRENCHES AND PITS SHALL BE EXCAVATED AND RECOMPACTED, UNDER THE DIRECTION AND SUPERVISION OF THE PROJECT INSPECTOR.

5. CONTRACTOR SHALL BE RESPONSIBLE FOR HAULING OFF ALL EXCESS MATERIAL AND DEMOLISHED MATERIAL, AND DISPOSING OF SUCH MATERIAL IN A LEGAL MANNER.

6. EROSION CONTROL MEASURES SHALL BE EMPLOYED DURING THE RAINY SEASON AS REQUIRED BY THE CITY.

7. PERCENT COMPACTION REFERS TO PERCENT OF MAXIMUM DRY DENSITY, AS DETERMINED BY ASTM D1557-78, AND SHALL BE AT NEAR OPTIMUM MOISTURE CONTENT.

ASPHALT AND CONCRETE

1. MATERIAL AND CONSTRUCTION OF ASPHALT PAVEMENT AND CONCRETE IMPROVEMENTS SHALL CONFORM TO STATE STANDARDS AND SPECIFICATIONS.

A. **AGGREGATE BASE**- CLASS II WITH GRADING AND QUALITY AS SPECIFIED IN SECTION 26 OF THE STATE STANDARD SPECIFICATIONS.

B. **ASPHALT CONCRETE**- TYPE A 3/8" MAXIMUM, MEDIUM AGGREGATE, AS SPECIFIED IN SECTION 39 OF THE STATE STANDARD SPECIFICATIONS.

C. **PRIME COAT**- LIQUID ASPHALT TYPE MC-70 OR MC-250 AS SPECIFIED IN SECTION 93 OF THE STATE STANDARD SPECIFICATIONS.

D. **TACK COAT**- EMULSIFIED ASPHALT TYPE SS-1, SS-1H, CSS-1, OR CSS-1H AS SPECIFIED IN SECTION 94 OF THE STATE STANDARD SPECIFICATIONS, DILUTED WITH THREE PARTS WATER TO ONE PART EMULSIFIED ASPHALT.

E. **SLURRY COAT**- "POLY-KOTE" TA-1000, "OVERKOTE" BY REED & GRAHAM, OR APPROVED EQUAL.

2. UNLESS OTHERWISE NOTED, PAVING CONFORMS SHALL BE MADE AT A SMOOTHLY TRIMMED BUTT JOINT. DO NOT OVERLAP EXISTING PAVEMENT.

3. EXISTING CURB GUTTERS OR SIDEWALKS THAT ARE DAMAGED OR DISPLACED, EVEN THOUGH THEY WERE NOT TO BE REMOVED, SHALL BE REPAIRED OR REPLACED WITHIN 10 DAYS OF DAMAGE OR DISPLACEMENT OCCURRED PRIOR TO ANY WORK PERFORMED BY THE CONTRACTOR.

4. WHERE ANY PIPE IS TO BE INSTALLED AT SUCH A GRADE THAT ANY PART OF THE PIPE WILL BE ABOVE THE SUBGRADE LINE, THAT PIPE SHALL BE INSTALLED AFTER THE SUBBASE IS COMPLETED AND SHALL BE SUPPORTED.

5. MANHOLES, WATER VALVE BOXES, AND CLEAN OUT FRAMES AND COVERS SHALL BE BROUGHT TO FINISHED GRADE BY THE CONTRACTOR AFTER PAVING IS COMPLETED.

6. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS.

7. FINISHED TOP OF CURB AND PAVEMENT GRADES ARE GIVEN AT CRITICAL POINTS. GRADES BETWEEN THESE POINTS TO BE CONSTRUCTED ON A STRAIGHT GRADIENT.

8. CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING ANY GRAFFITI CARVED INTO CURING CONCRETE.

9. SAW CUT ALL CONCRETE AND ASPHALT JOINTS PRIOR TO REMOVAL.

10. SEAL COAT ALL NEW AND EXISTING AC PAVEMENT PRIOR TO STRIPING.

11. CONSTRUCT 2"x 6" REDWOOD HEADERS ALONG ALL NEW AC PAVEMENT BORDERING SOIL.

STORM DRAINS

1. STORM DRAIN LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR 35, ASTM D3034 WITH NEOPRENE GASKETED JOINT SYSTEM.

2. TRENCHING AND BACKFILL FOR STORM DRAIN LINES SHALL BE PER PROJECT DETAILS, STANDARDS AND SPECIFICATIONS.

3. INLETS SHALL BE CHRISTY PRODUCTS, OR AS NOTED ON PLAN.

SANITARY SEWER

1. SEWER DRAIN LINES SHALL BE POLYVINYL CHLORIDE PIPE (PVC), SDR 26, ASTM D3034 WITH NEOPRENE GASKETED JOINT SYSTEM.

2. TRENCHING AND BACKFILL FOR SEWER DRAIN LINES SHALL BE PER PROJECT DETAILS.

3. INLETS SHALL BE CHRISTY PRODUCTS, OR AS NOTED ON PLAN.

PERVIOUS/IMPERVIOUS

NEW SITE WORK IN SQUARE FEET:

DRIVEWAY & LANDSCAPE = 397 SF
BUILDINGS = 2,727 SF

TOTAL IMPERVIOUS = 3,124 SF

TOTAL PERVIOUS = 3,126 SF

SEE SHT C3.1 FOR
DRY WELL VOLUMES

SHEET INDEX

| | |
|------|---------------------------|
| C0 | TITLE SHEET AND NOTES |
| C1 | SITE DEMOLITION PLAN |
| C2.1 | GRADING AND DRAINAGE PLAN |
| C2.2 | OFF-SITE GRADING |
| C3.1 | CIVIL DETAILS |
| C3.2 | CITY DETAILS |
| C4 | EROSION CONTROL |
| C5 | BMP |

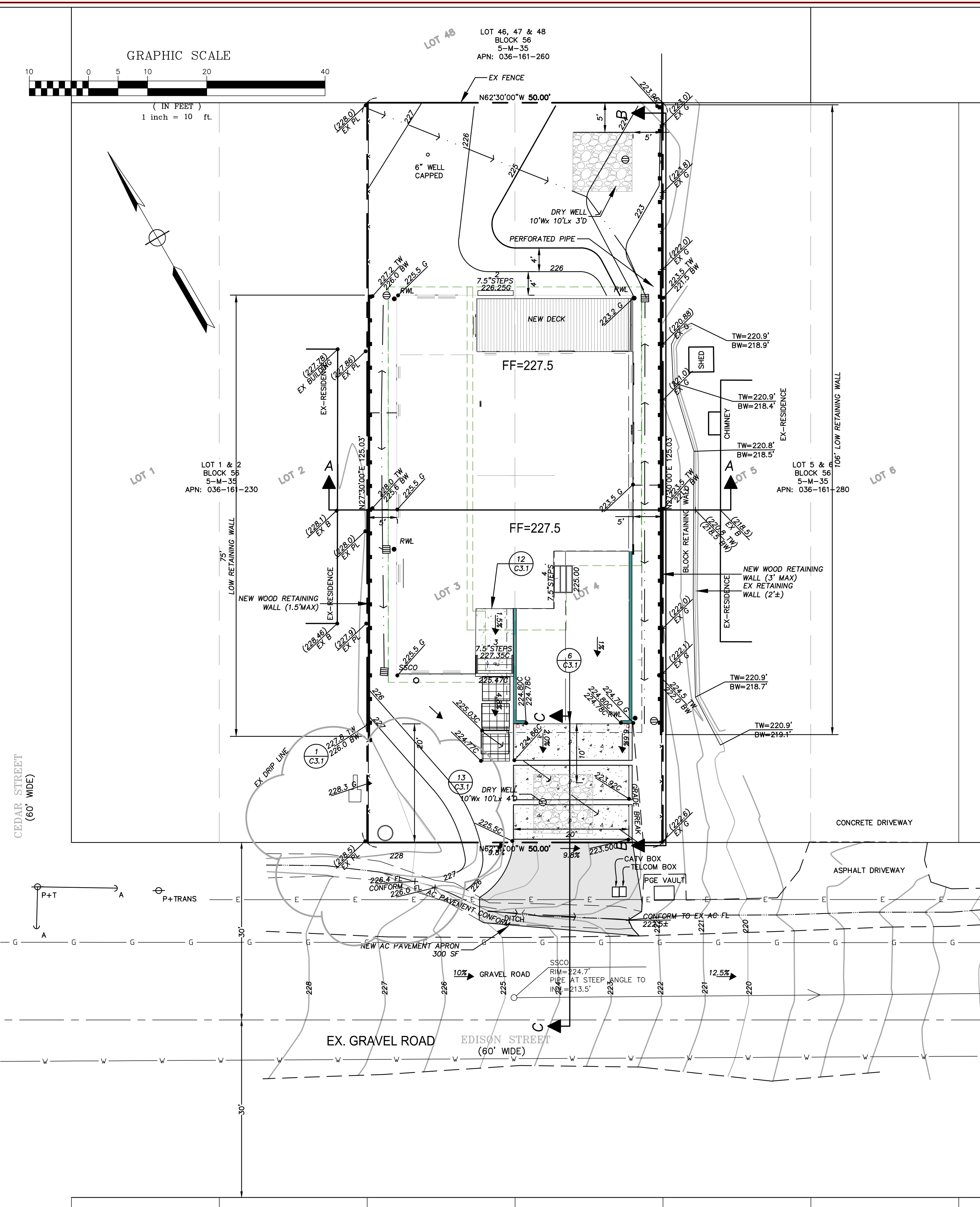
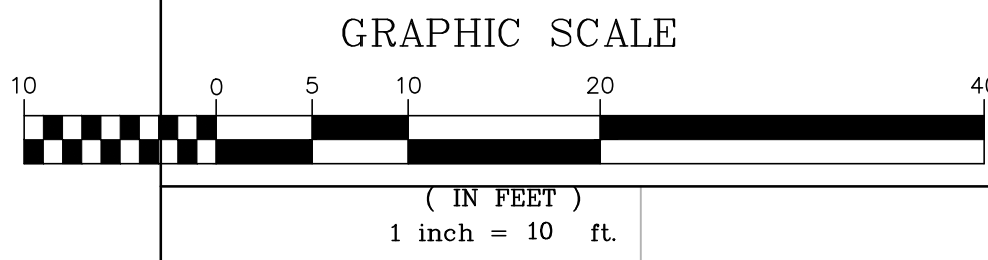
EARTHWORK QUANTITY

CUT VOLUME = 140 CU. YD.

FILL VOLUME = 50 CU. YD.

NET VOLUME = 90 CU. YD. CUT

DIRT TO BE OFF-HAULED TO LANDFILL



1. AS A CONDITION FOR DPW'S CONSTRUCTION FINAL SIGNOFF, APPLICANT WOULD BE REQUIRED TO GRADE & RE-ROCK NON MAINTAINED ROAD FROM PROPERLY FRONTAGE BACK TO NEAREST MAINTAINED ROADS SUCH AS INTERSECTION OF EDISON STREET AND CEDAR STREET

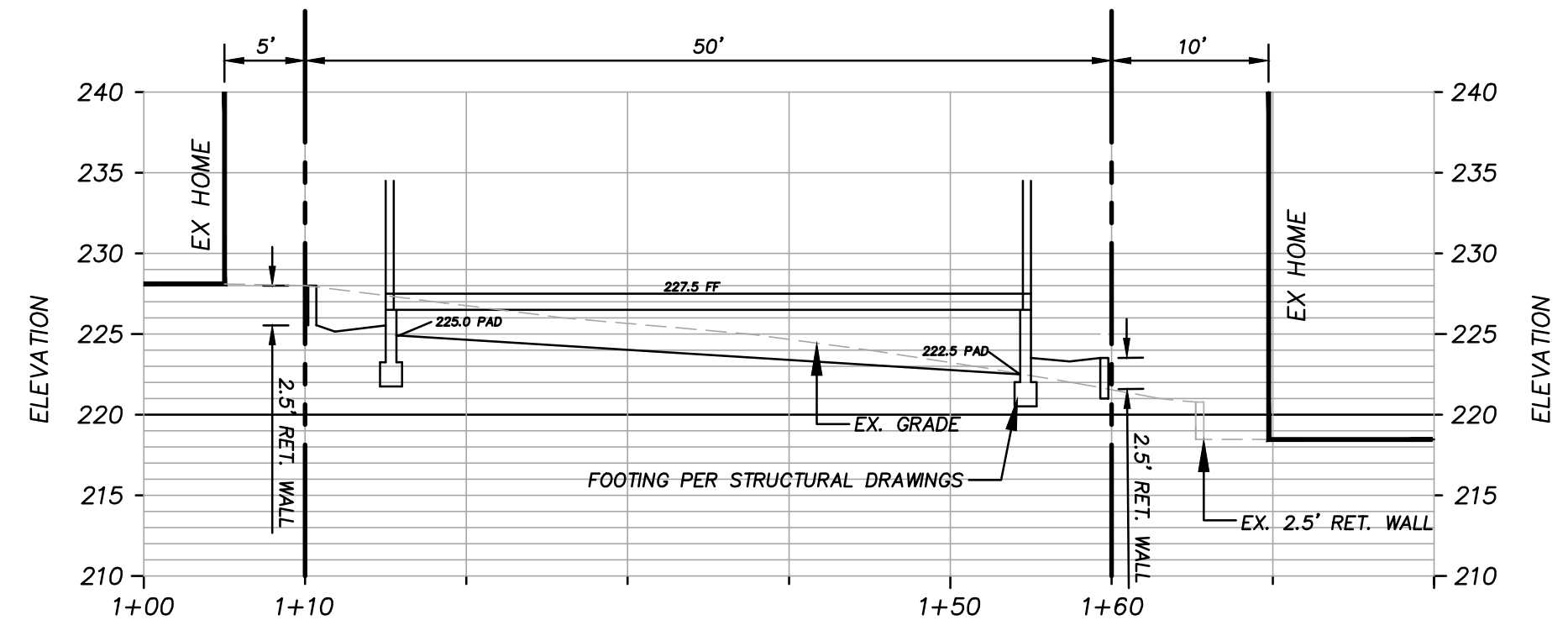
2. ALL WORK IN THE PUBLIC RIGHT OF WAY MUST HAVE ENCROACHMENT PERMITS PRIOR TO START OF WORK.

GENERAL NOTES

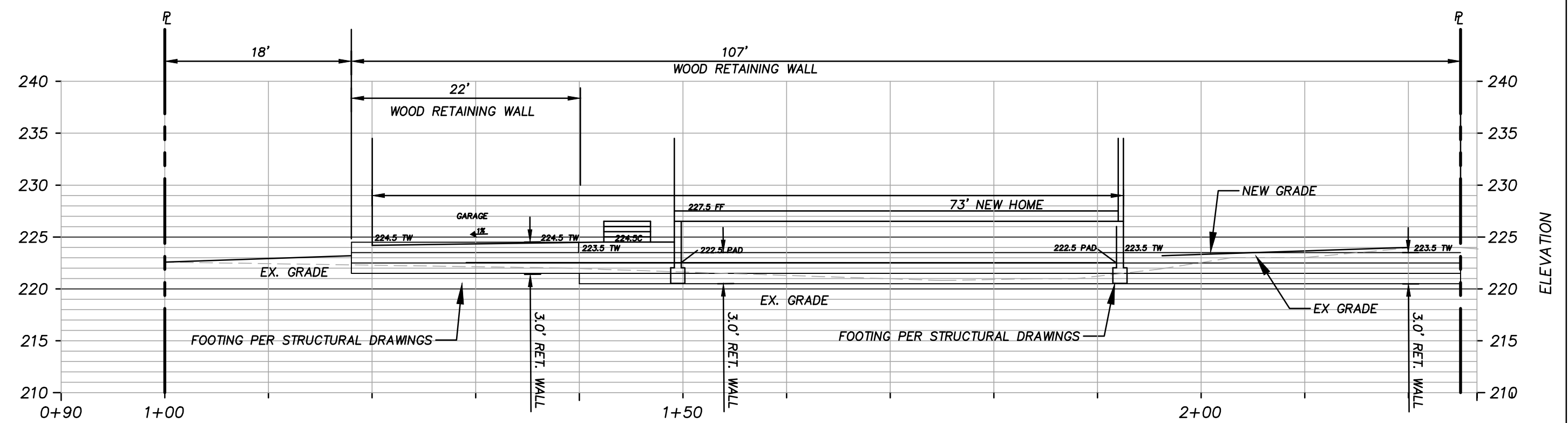
1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADESTAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS AND INFORMATION NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
 2. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
 3. IN THE EVENT THAT ANY UNKNOWN UNDERGROUND TANKS OR STRUCTURES OR UTILITY LINES ARE DISCOVERED ON THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO DETERMINE THE DISPOSITION OF THE STRUCTURE.
 4. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES, EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT CONTRACTOR'S EXPENSE.
 5. EXISTING WATER, STORM AND SANITARY INVERTS SHALL BE EXPOSED AND VERIFIED PRIOR TO ANY NEW CONSTRUCTION.
 6. SEE TOPOGRAPHIC SURVEY FOR SITE CONTROLS (BY OTHERS)
- LOT COVERAGE PERCENTAGE GREATER THAN 18% = 2,812 SF



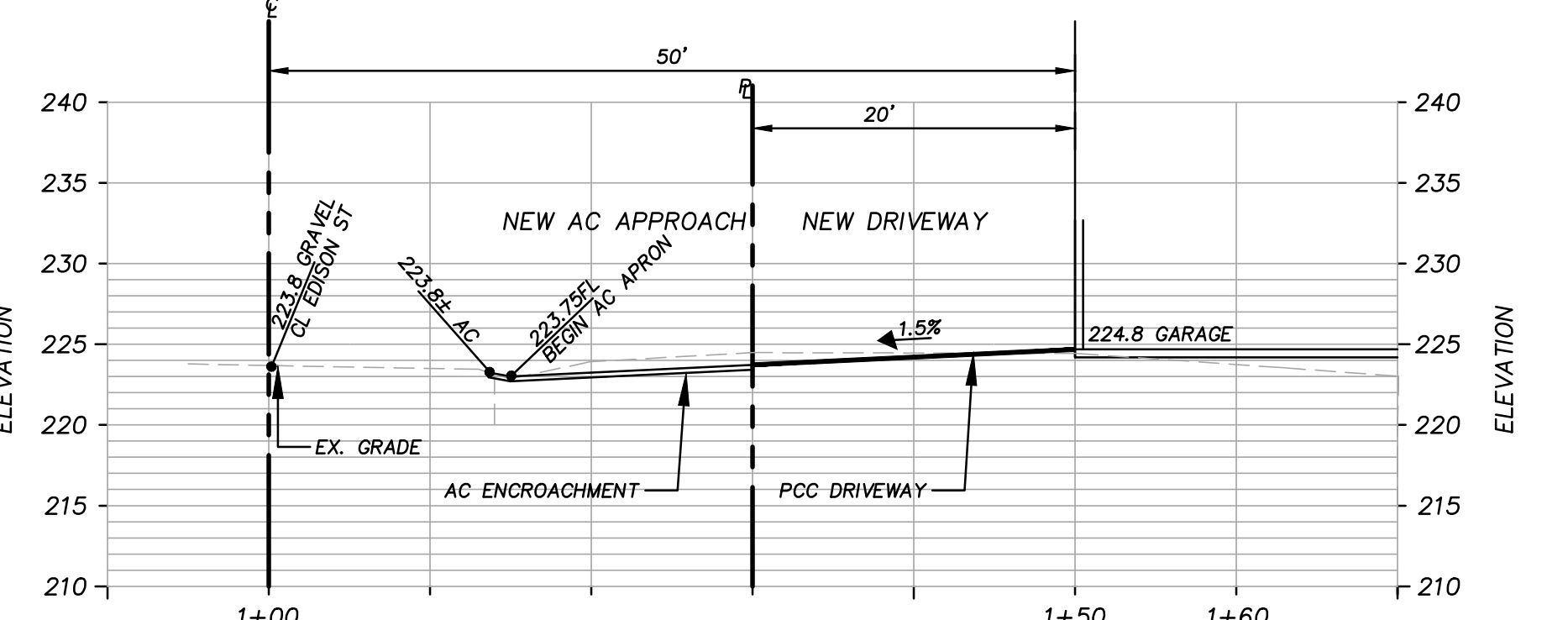
DATE: 01.03.2025



SECTION A-A H: 1"=10' V: 1"=10' STATION



SECTION B-B H: 1"=10' V: 1"=10' STATION



SECTION C-C H: 1"=10' V: 1"=10' STATION

GRADING & PAVING LEGEND

| | | | |
|--|--|--|---------------------------------|
| | NEW DRIVEWAY CONCRETE SLAB (5" REINFORCED PCC ON 5" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%)) | | NEW RETAINING WALL |
| | NEW AC PAVEMENT - TRAFFIC (3" AC ON 6" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (95%)) | | FINISH GRADE CONTOUR |
| | NEW WALKWAY CONCRETE SLAB (4" REINFORCED PCC ON 4" CLASS 2 AB ON 6" RECOMPACTED SUBGRADE (90%)) | | ASPHALT CONCRETE |
| | LIMIT OF GRADING | | AREA DRAIN |
| | SAW CUT LINE | | PORTLAND CEMENT CONCRETE |
| | DRAINAGE FLOW LINE | | CATCH BASIN |
| | GRADE BREAK LINE | | CLEAN OUT TO GRADE |
| | RIDGE LINE | | EXISTING |
| | NEW FENCE LINE | | FINISH FLOOR |
| | NEW HANDRAIL | | FIRE HYDRANT |
| | | | FLOW LINE |
| | | | GROUND |
| | | | GRADE BREAK |
| | | | JUNCTION BOX |
| | | | STORM DRAIN MAINTENANCE HOLE |
| | | | SANITARY SEWER MAINTENANCE HOLE |
| | | | TOP OF CURB |
| | | | TOP OF WALL |
| | | | TYPICAL |
| | | | EX. GRADE |
| | | | RAIN WATER LEADER |

NEW HOME
825 EDISON STREET
MONTARA, CA

SORENSEN ENGINEERING
SORENSEN.MARKE@GMAIL.COM
(925)683-2910

| REVISION | DATE |
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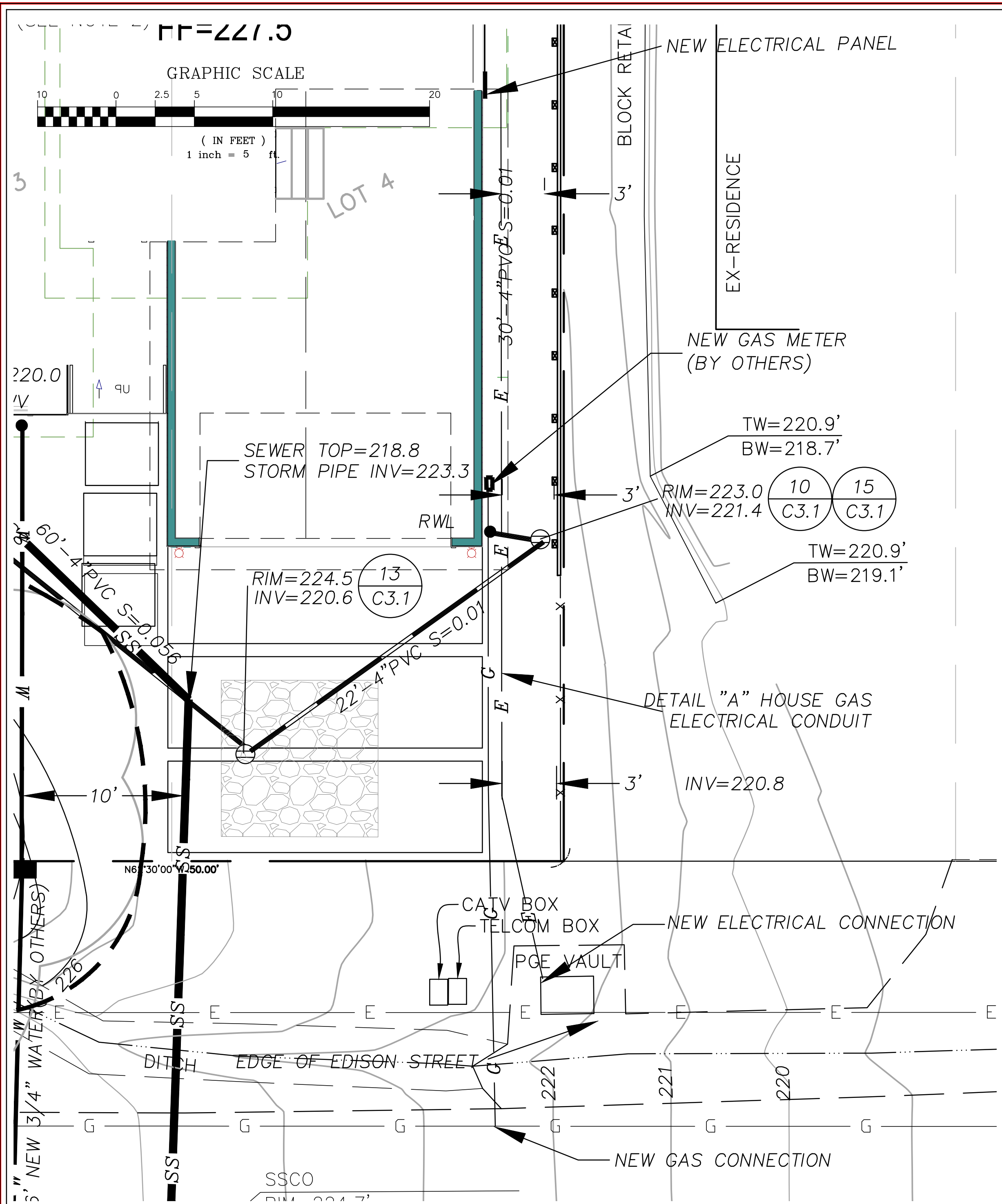
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GRADING & DRAINAGE PLAN

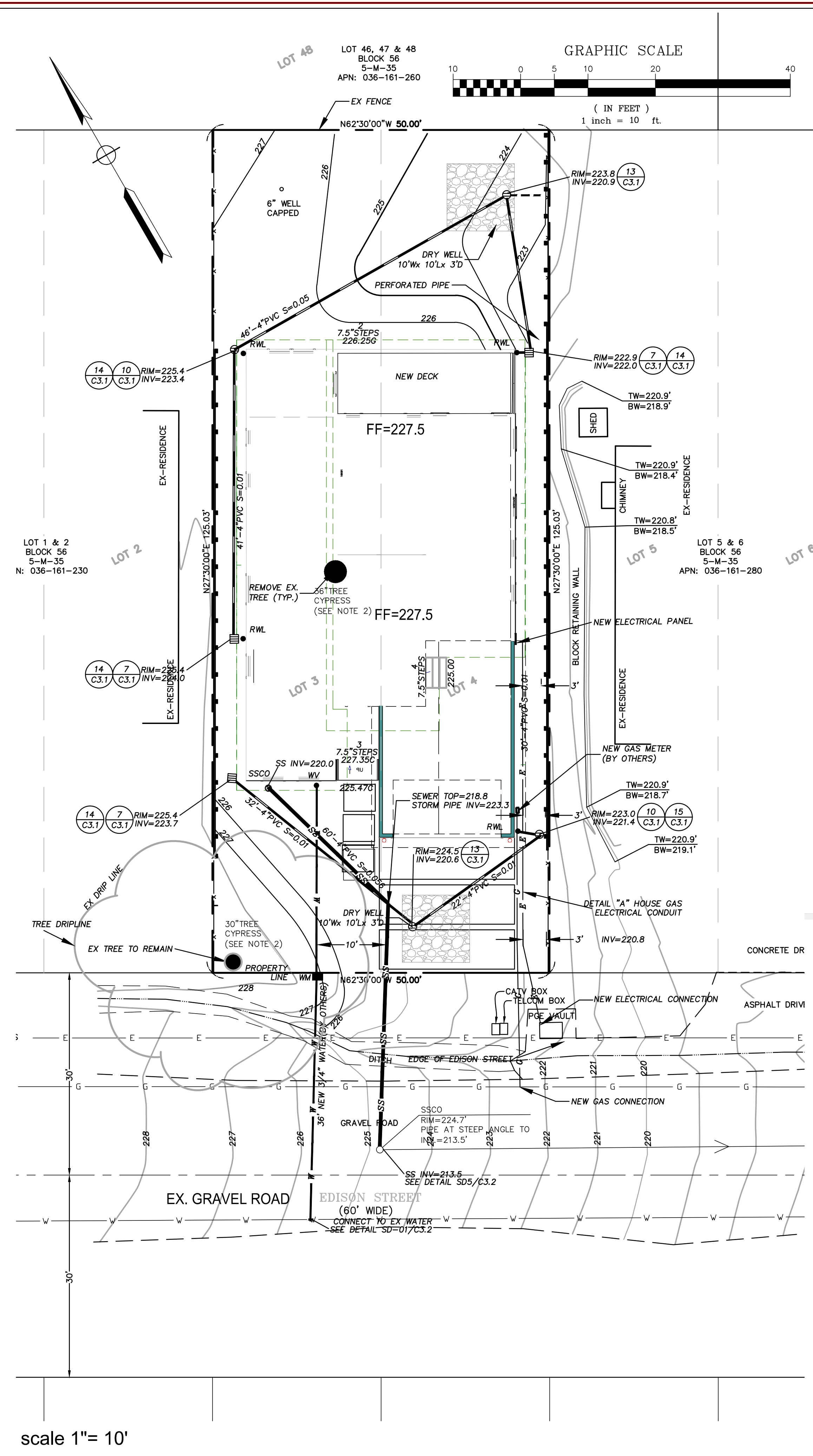
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ENLARGED VIEW
scale 1" = 5"

- LEGEND:**
- ① NATURAL BACKFILL
 - ② SAND BACKFILL
 - ③ 2" UTILITY ELECTRIC CIRCUIT
 - ④ PG&E GAS

JOINT TRENCH CONFIGURATION
DETAIL A



scale 1" = 10"

GENERAL NOTES

1. THE CONTRACTOR SHALL LAY OUT THE WORK, SETTING GRADESTAKES, ESTABLISHING LINES, BASE LINES, ELEVATIONS AND OTHER REFERENCE MARKERS AND INFORMATION NECESSARY TO COMPLETE THE WORK AND SHALL BE RESPONSIBLE FOR THE ACCURACY THEREOF.
2. ANY INCONSISTENCIES IN EXISTING OR PROPOSED ELEVATIONS SHALL BE BROUGHT TO THE NOTICE OF THE OWNER'S REPRESENTATIVE FOR RESOLUTION PRIOR TO CONSTRUCTION OR AS SOON AS DISCOVERED.
3. IN THE EVENT THAT ANY UNKNOWN UNDERGROUND TANKS OR STRUCTURES OR UTILITY LINES ARE DISCOVERED ON THE SITE, THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE TO DETERMINE THE DISPOSITION OF THE STRUCTURE.
4. CONTRACTOR SHALL IMPORT REQUIRED MATERIALS OR EXPORT EXCESS AS REQUIRED TO ESTABLISH PLAN GRADES. EXCESS MATERIAL IF ANY SHALL BE DISPOSED OFF-SITE IN A LEGAL MANNER AT CONTRACTOR'S EXPENSE.
5. EXISTING WATER, STORM AND SANITARY INVERTS SHALL BE EXPOSED AND VERIFIED PRIOR TO ANY NEW CONSTRUCTION.

PLUMBING LEGEND

- NEW STORM DRAIN
SIZE AND SLOPE AS INDICATED
- NEW RAIN WATER LEADER @ S=0.02 MIN.
SIZE AND SLOPE AS INDICATED
- NEW SANITARY SEWER (SIZE AS INDICATED)
S=0.01 UNLESS OTHERWISE INDICATED
- NEW WATER LINE (SIZE AS INDICATED)
- NEW PVC SUBDRAIN (SIZE AS INDICATED)
- NEW ELECTRICAL LINE (SEE ELECTRICAL DRAWINGS)
- AD AREA DRAIN
- CB CATCH BASIN
- JB JUNCTION BOX
- SDMH STORM DRAIN MAINTENANCE HOLE
- SSMH SANITARY SEWER MAINTENANCE HOLE
- RWL RAIN WATER LEADER
- CGO/CSDOO/SSCO CLEAN OUT TO GRADE
- WV WATER VALVE
- WM WATER METER
- BFP BACK FLOW PREVENTER
- FH FIRE HYDRANT
- D.I.P. DUCTILE IRON PIPE
- EX., EXIST. EXISTING
- FF FINISH FLOOR
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT ELEVATION
- IEI INVERT ELEVATION IN
- IEO INVERT ELEVATION OUT
- IEI INVERT ELEVATION THROUGH
- PVC POLYVINYL CHLORIDE
- RCP REINFORCED CONCRETE PIPE
- SS SANITARY SEWER
- SD STORM DRAIN
- TYP. TYPICAL
- W, DW DOMESTIC WATER

MONTARA WATER AND SANITARY DISTRICT

TABLE I
PRIVATE LATERAL SEWER PIPE MATERIALS LIST
(Specific Use Subject to District Approval)

| Pipe Specifications | Can Be Used for Gravity Sewer Laterals | Can Be Used for Ejector Pump Discharge Pipelines |
|--|--|--|
| Vitrified Clay Pipe, VCP | No | No |
| ABS Pipe (Glue Joints or Rubber Coupler Joints) | No ¹ | No ¹ |
| Cast Iron Soil Pipe (No Hub), CIP, 316 Stainless Steel Shear Band Couplers | Yes ² | No |
| Ductile Iron Pipe w/Rubber Ring Joints, DIP | Yes ² | No |
| PVC, SDR=35 | No | No |
| PVC ASTM D-2241, SDR=26 | Yes ¹ | Yes ¹ |
| PVC AWWA C-900, SDR=21 | Yes ² | Yes ² |
| PVC Sch 40 | Yes ¹ | Yes ¹ |
| PVC Sch 80 | Yes ² | Yes ² |
| Polyethylene, min SDR=17 | Yes ¹ | Yes ¹ |
| Cured In Place Pipe (CIPP) | Yes | No |

¹ Requires minimum 3-foot cover with imported bedding and pipe zone backfill.
² Requires minimum 18-inch cover on private property with imported bedding and pipe zone backfill or shaded with select native material containing rocks no larger than 1" sieve size.
³ ABS Pipe will not be accepted for direct burial for private laterals after December 31, 2017.

REGISTERED PROFESSIONAL ENGINEER
 SORENSON ENGINEERING
 No. C 67498
 Exp. 6-30-25
 CIVIL
 STATE OF CALIFORNIA
 DATE: 01.03.2025

NEW HOME
 825 EDISON STREET
 MONTARA, CA

SOORENSON ENGINEERING
 SOORENSON.MARKE@GMAIL.COM
 (925)683-2910

REVISION DATE

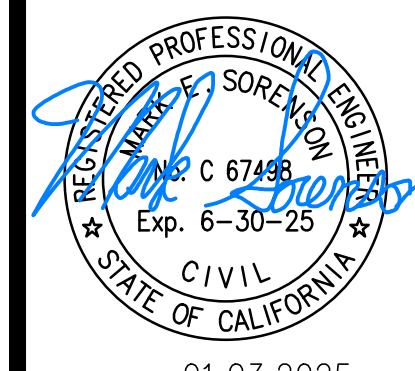
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UTILITIES/PLUMBING

C2.2



DATE: 01.03.2025

NEW HOME
825 EDISON STREET
MONTARA, CA

SORENSEN ENGINEERING
SORENSEN.MARKE@GMAIL.COM
(925)683-2910

| REVISION | DATE |
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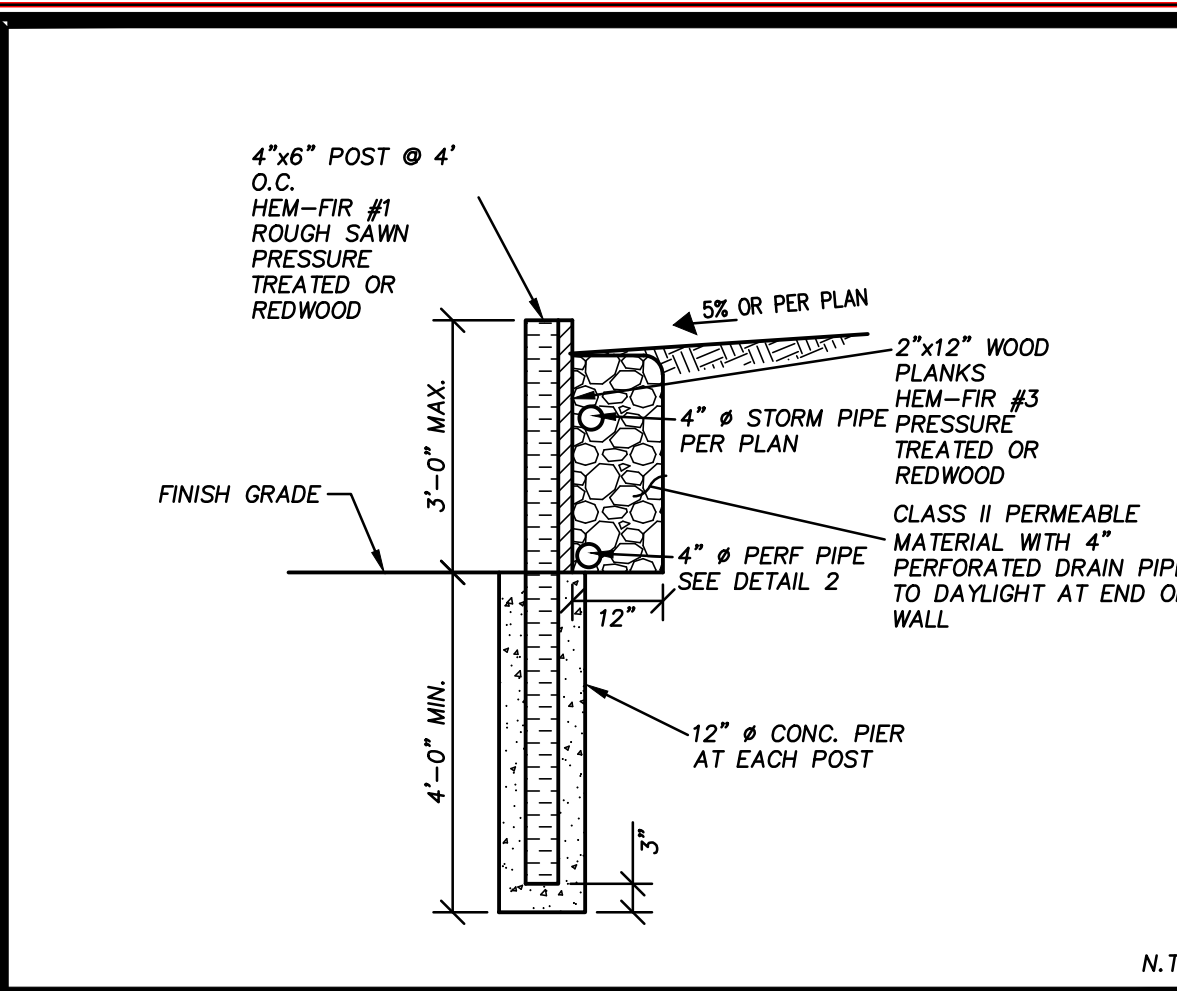
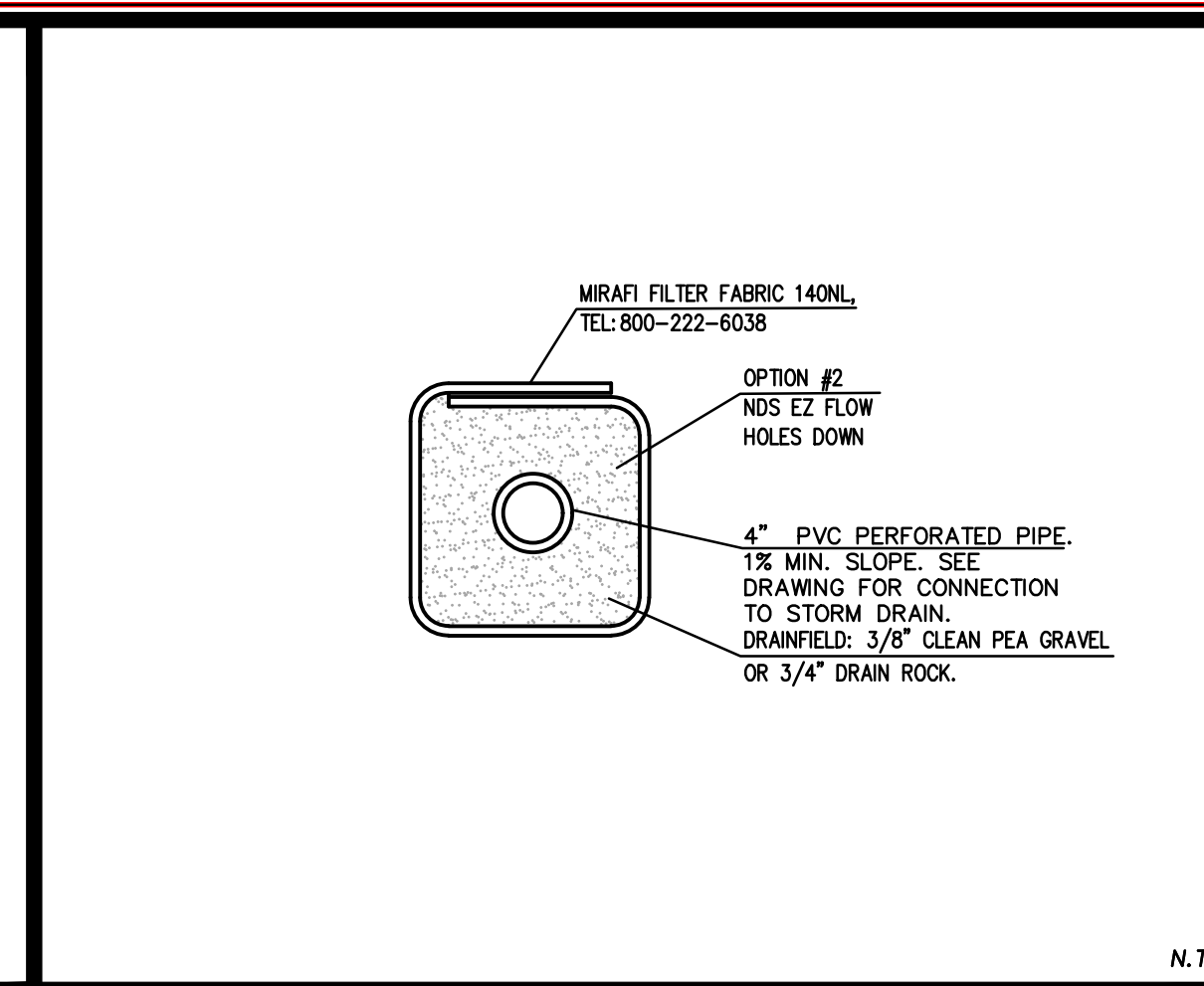
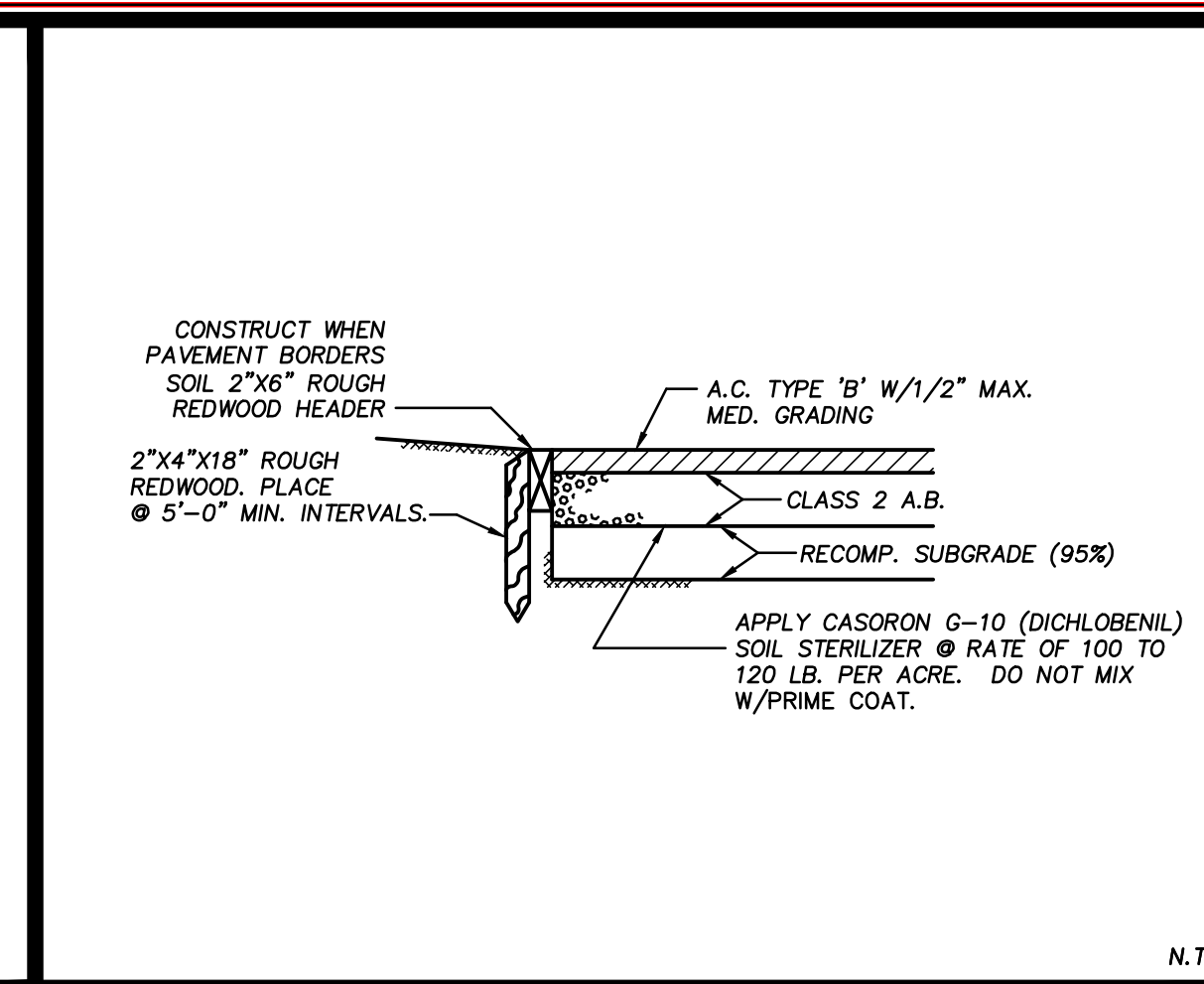
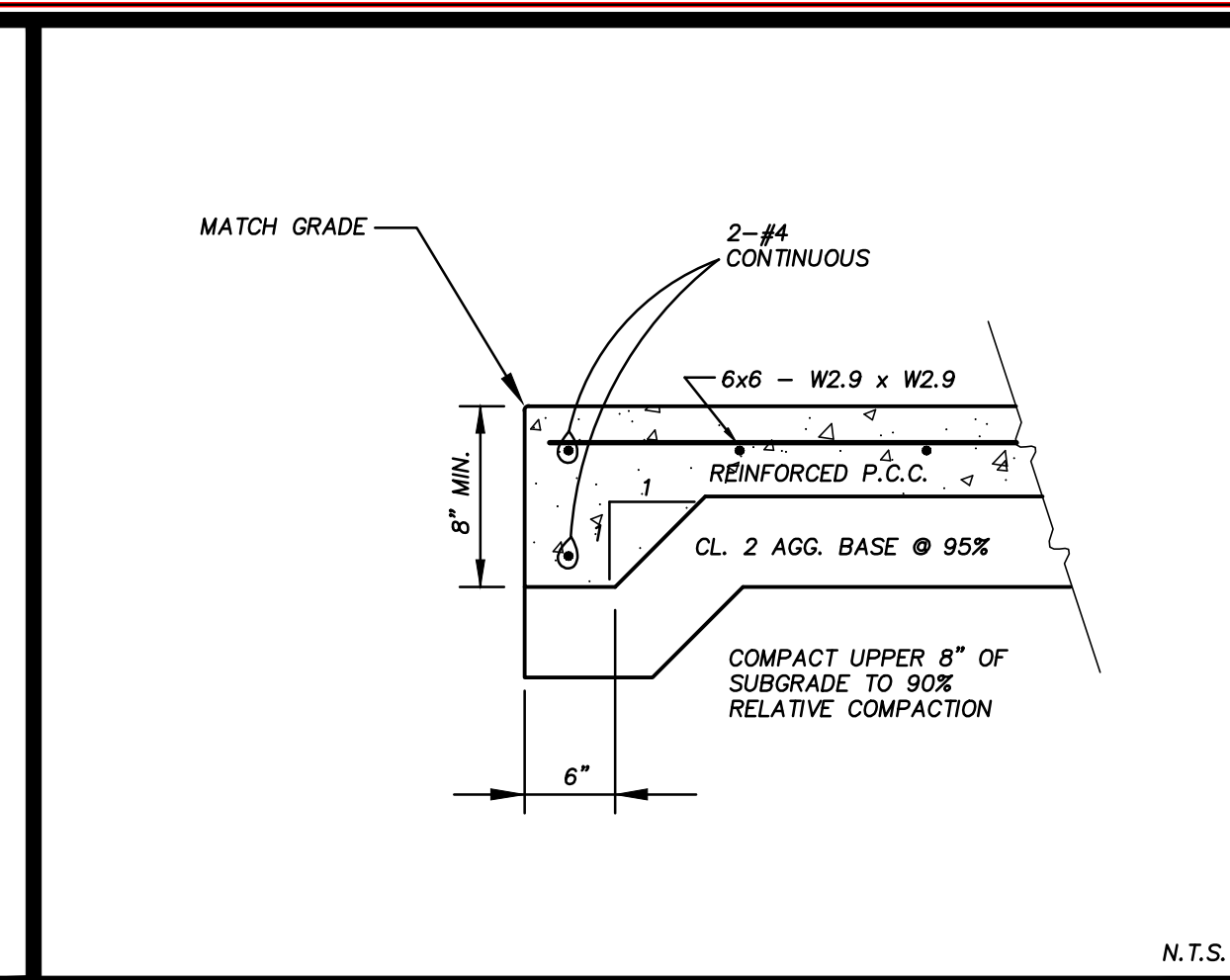
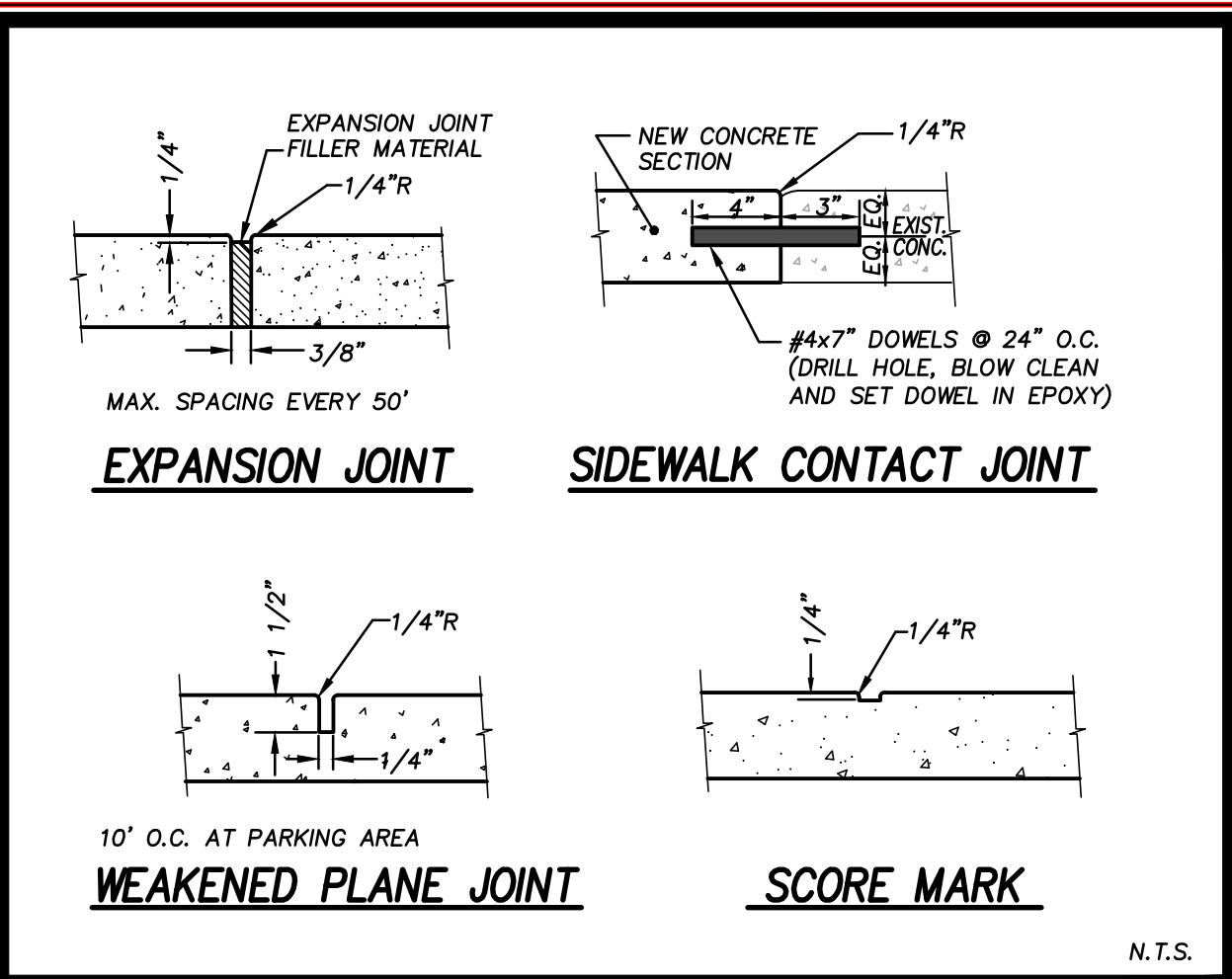
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DETAILS

C3.1



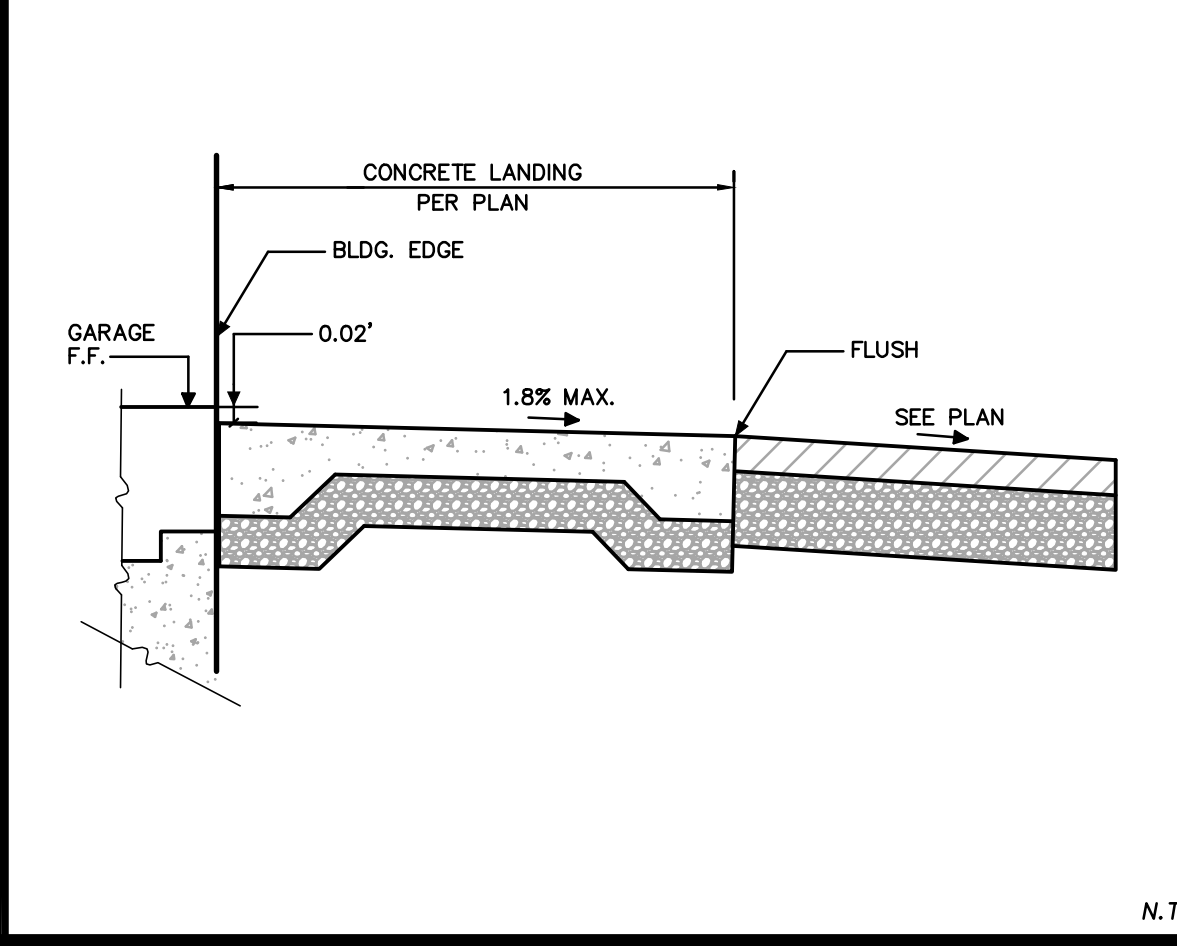
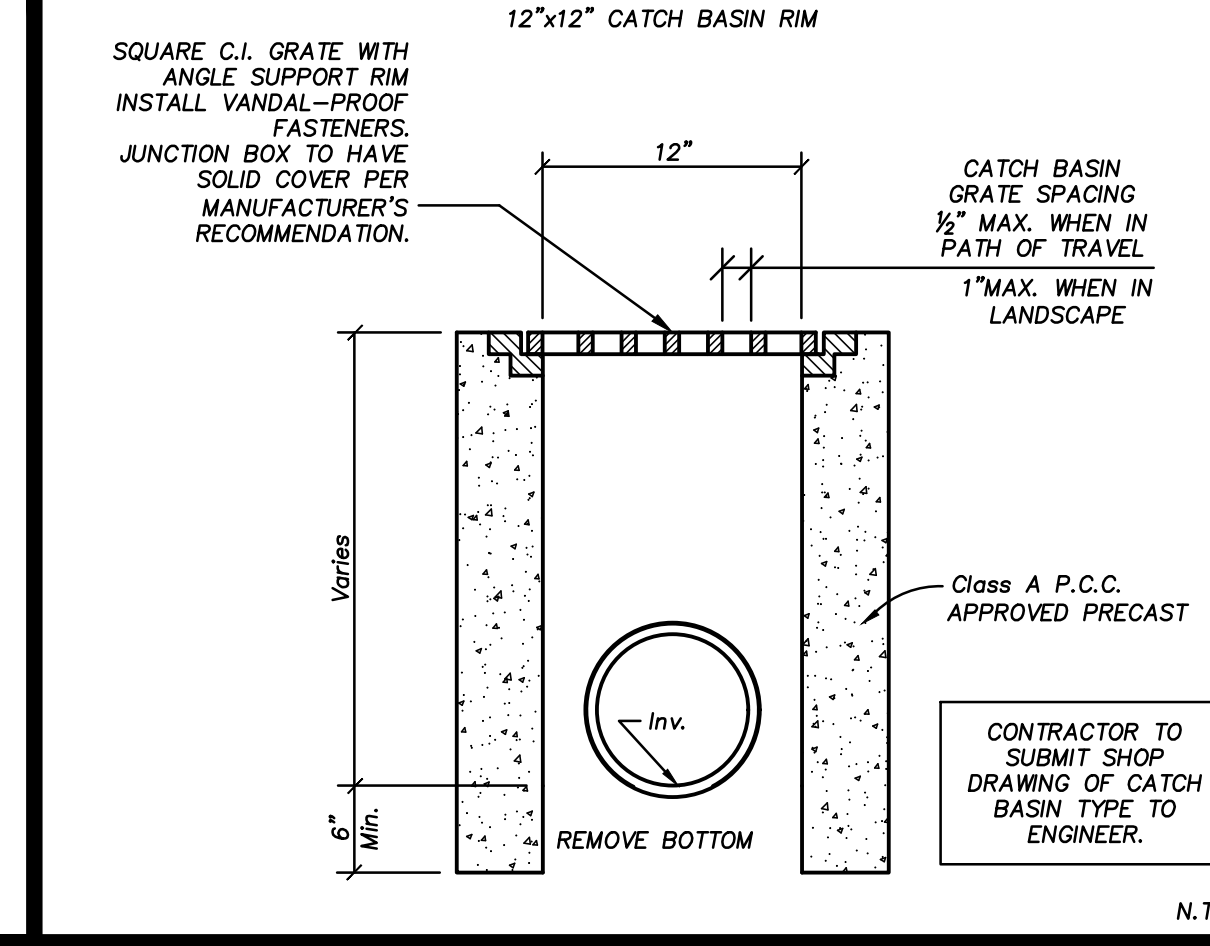
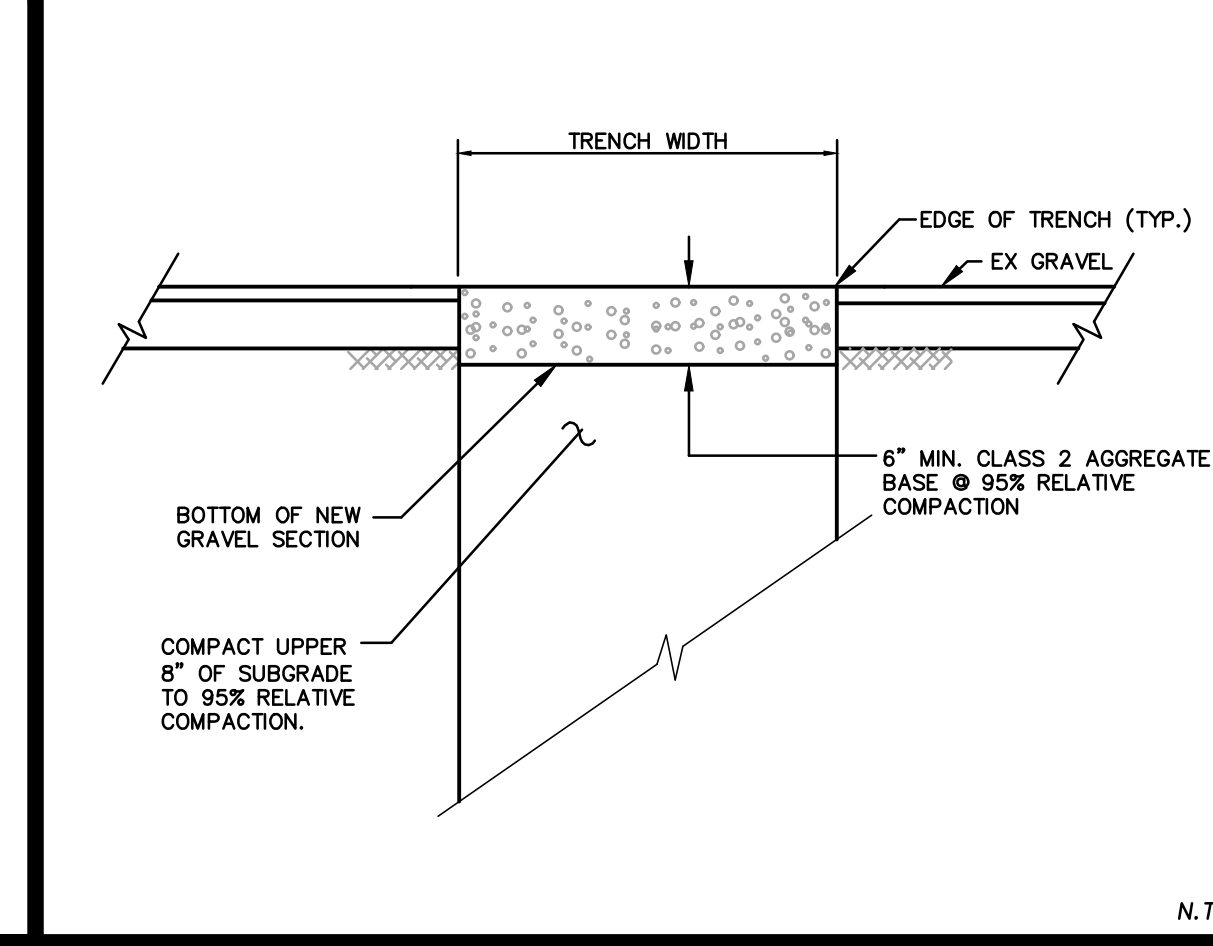
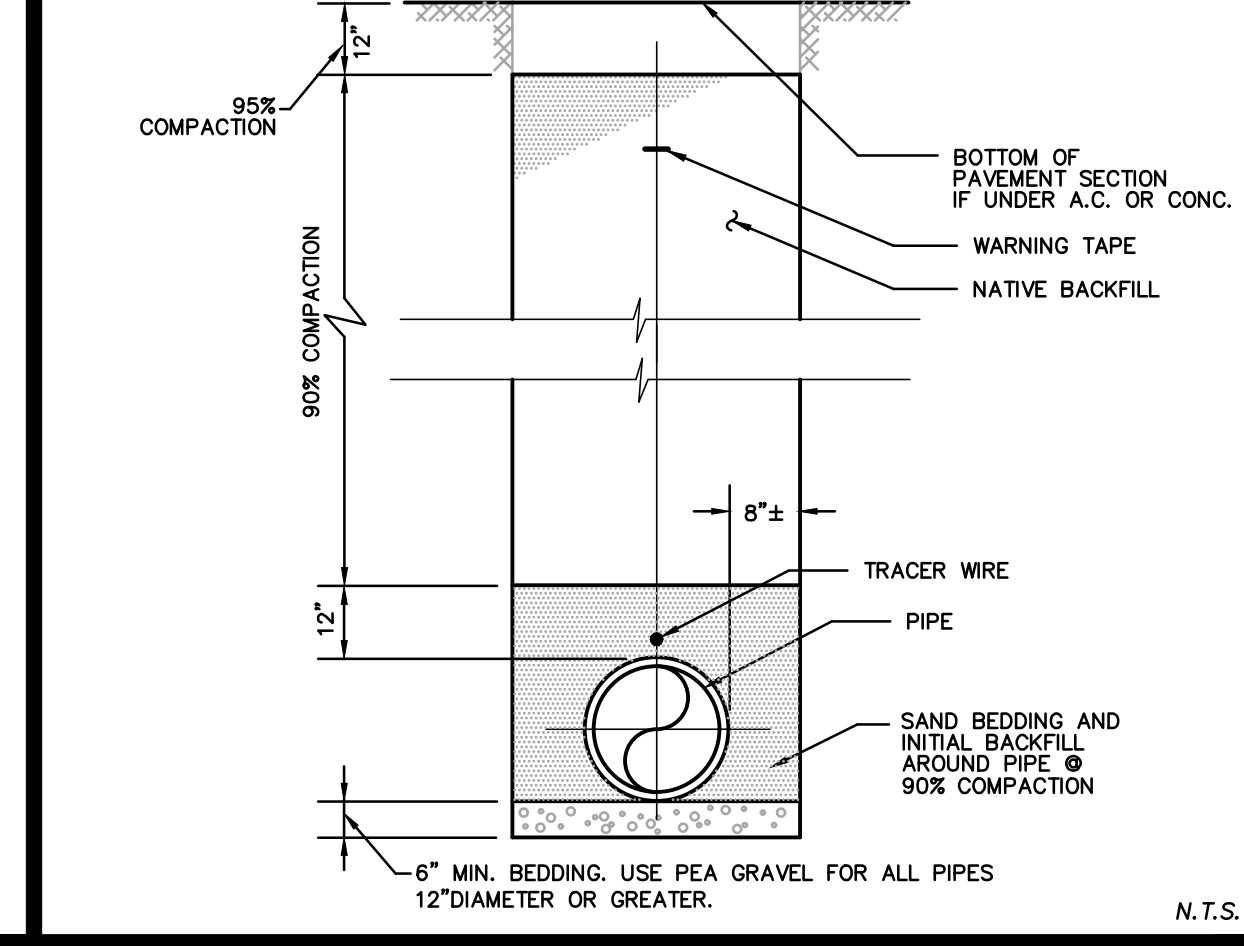
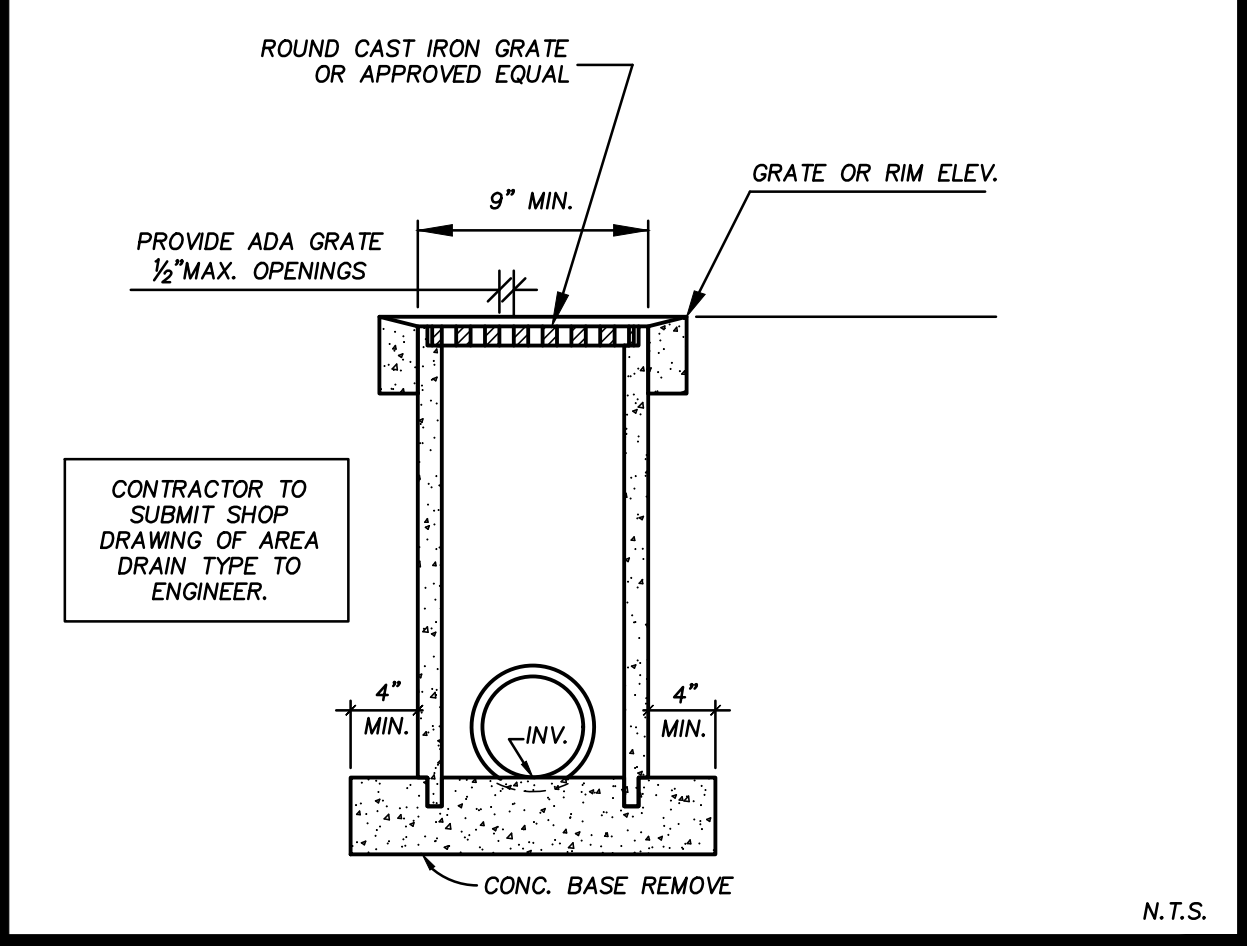
JOINTS DETAIL 5

CONCRETE EDGE DETAIL 4

HEADERBOARD & AC PAVING 3

PERF. DRAIN PIPE DETAIL 2

WOOD RETAINING WALL 1



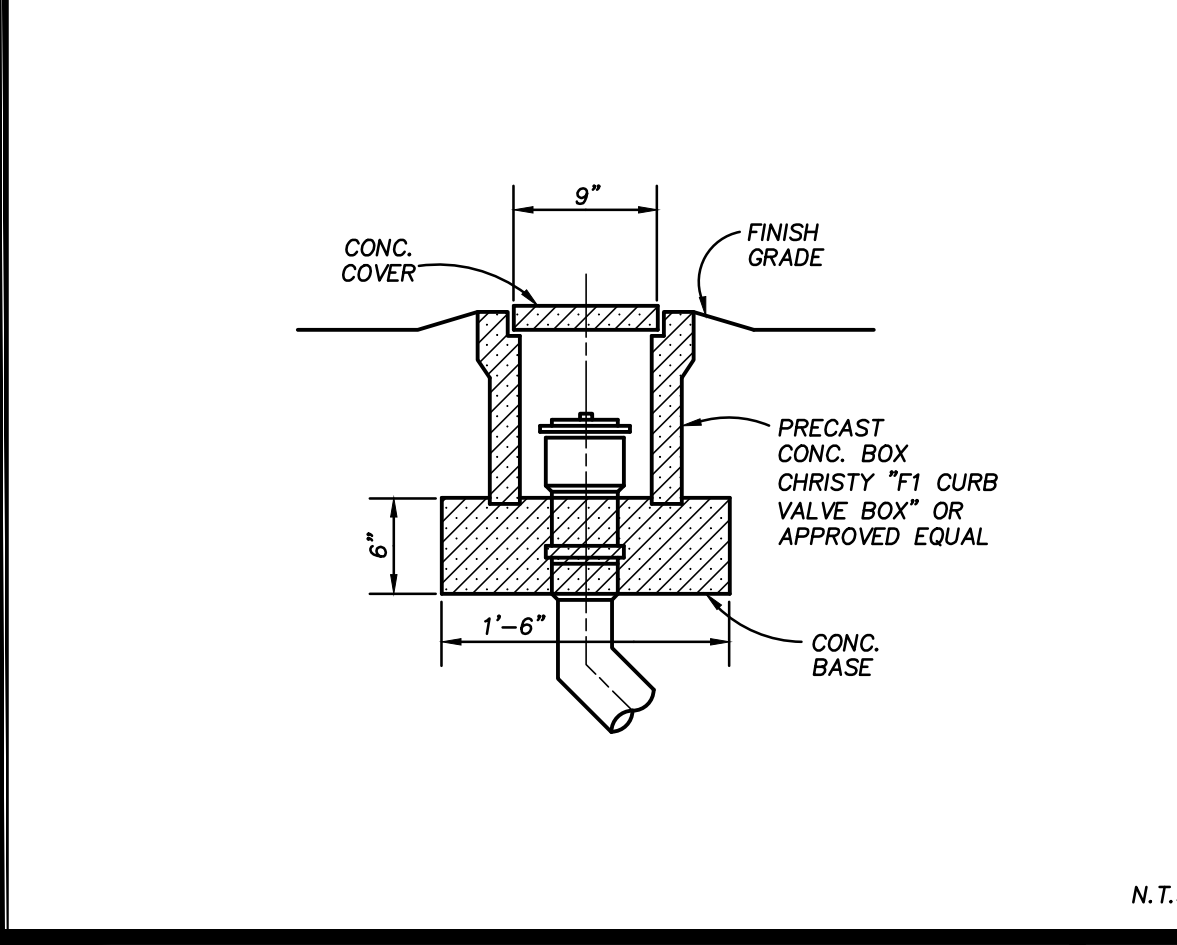
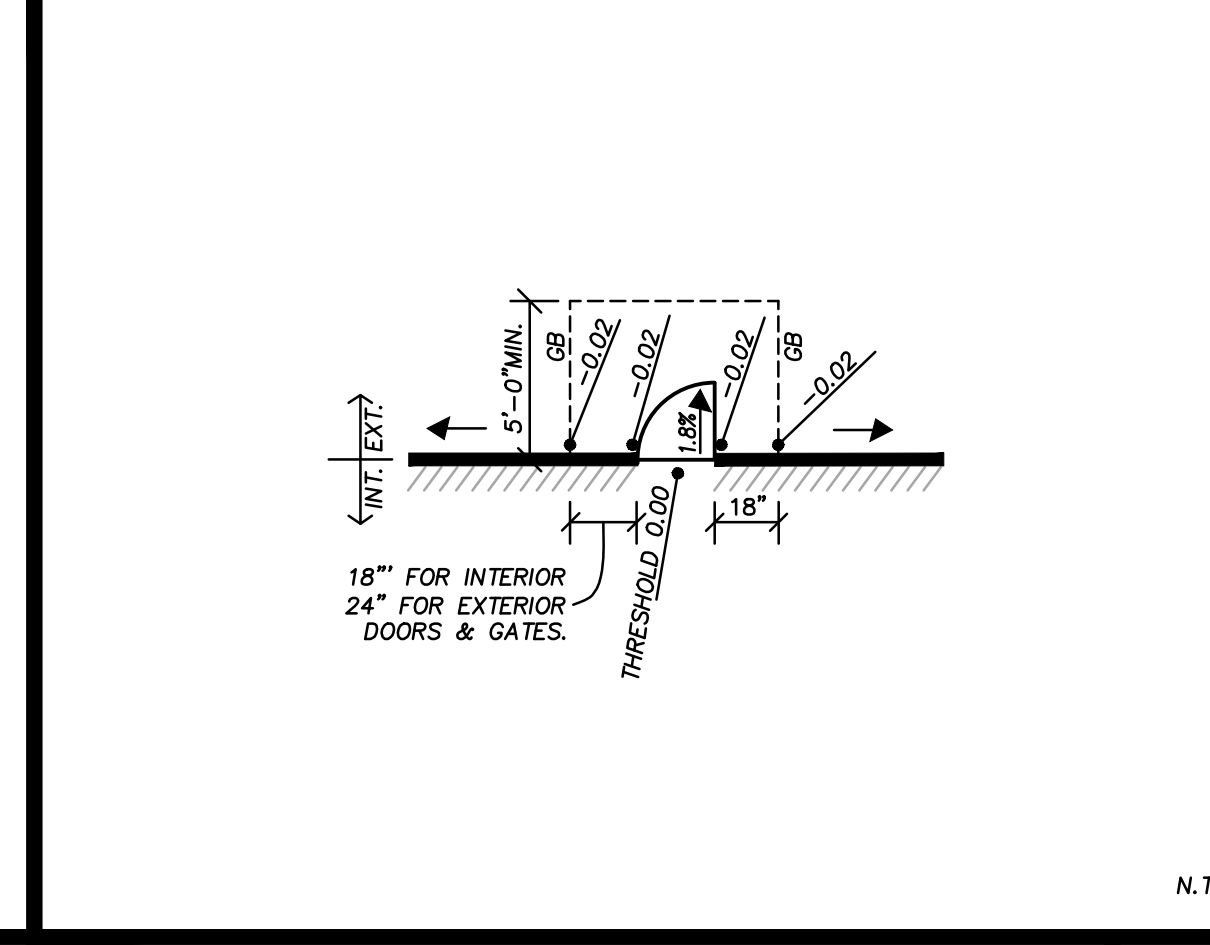
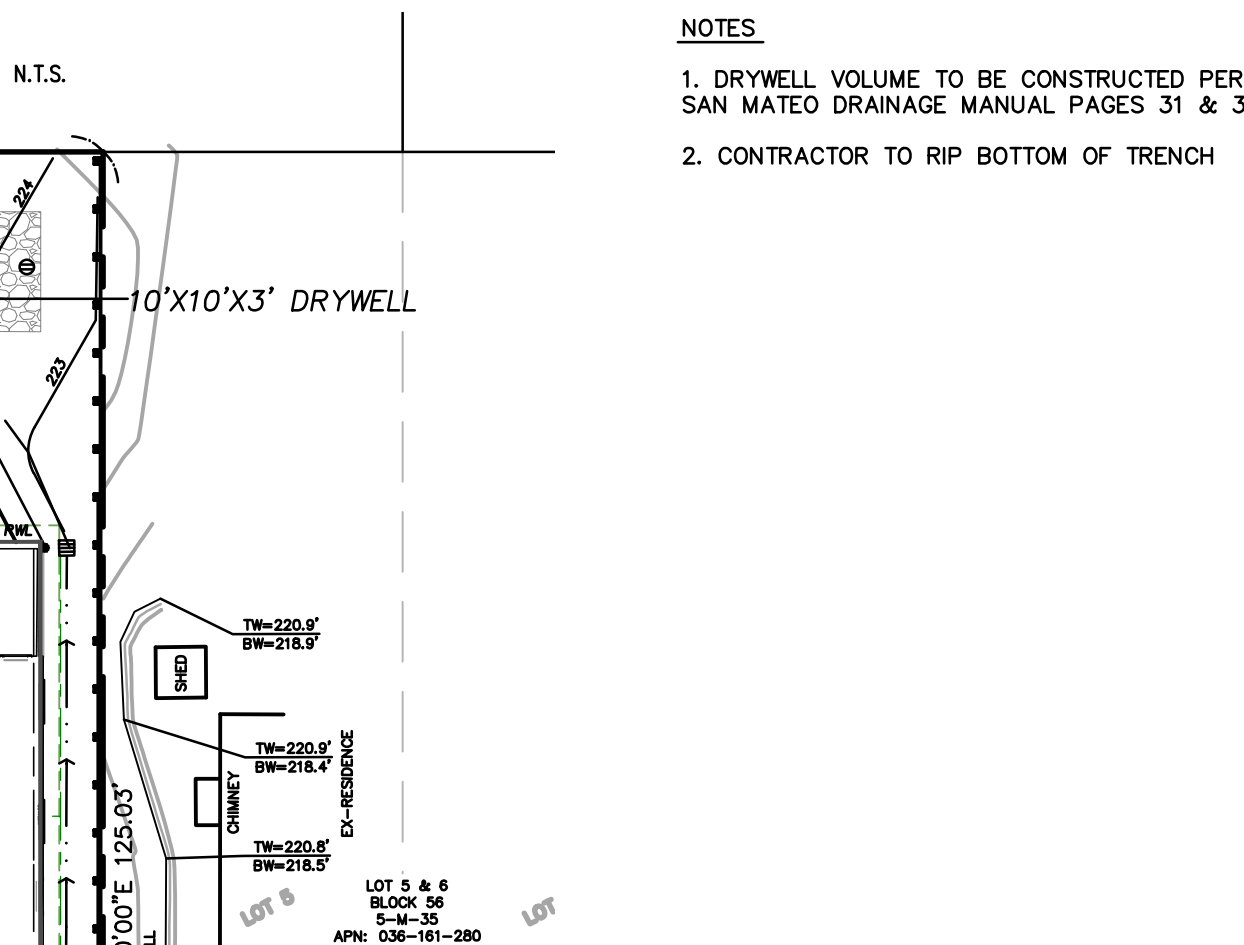
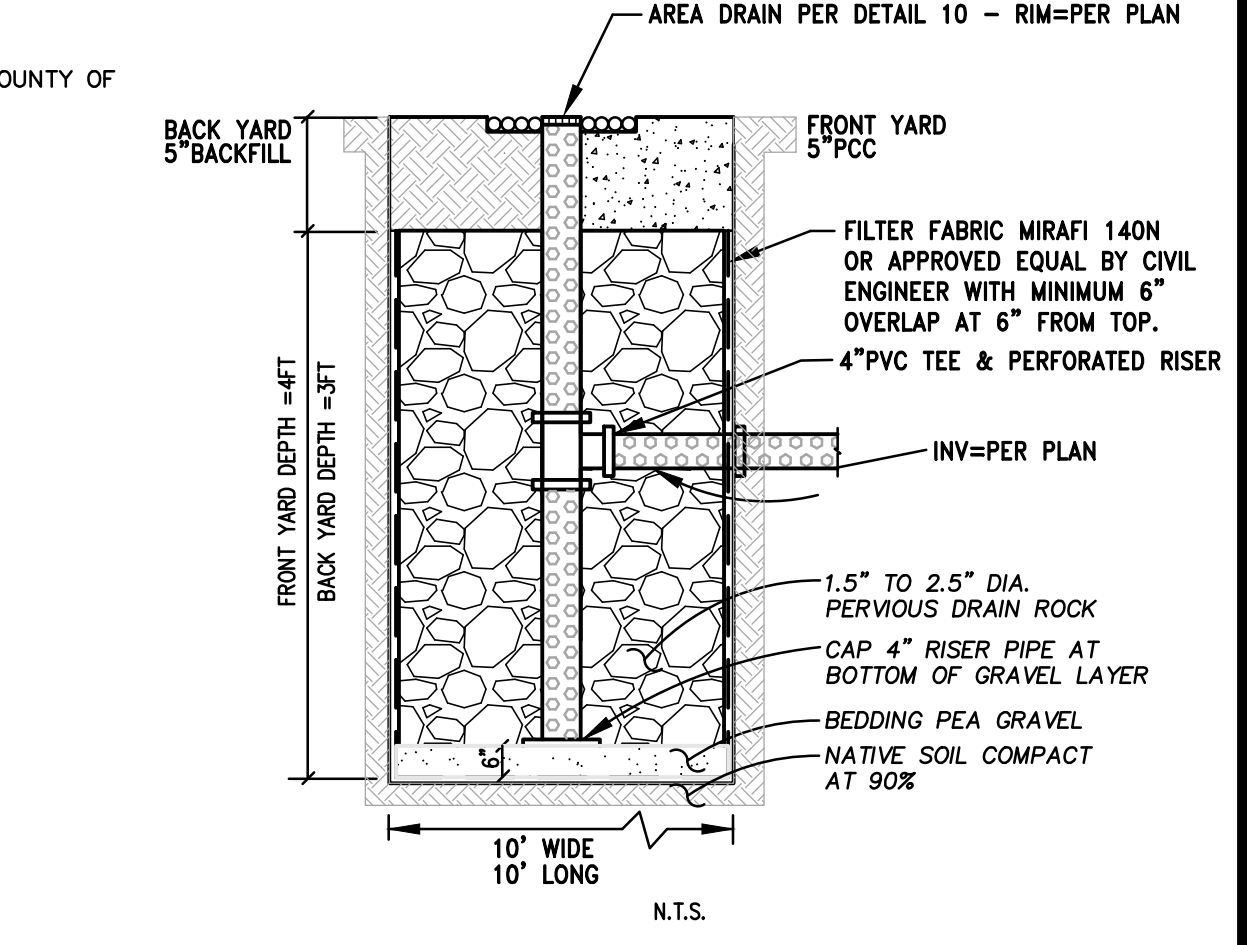
AREA DRAIN DETAIL 10

TRENCH BACKFILL DETAIL 9

AC SURFACE TRENCH REPAIR 8

CATCH BASIN/JUNCTION BOX 7

CONCRETE TO CONCRETE TRANSITION 6



DRY WELL DETAIL 13

TRIBUTARY AREA DISTRIBUTION 12

THRESHOLD-AT DOOR 11

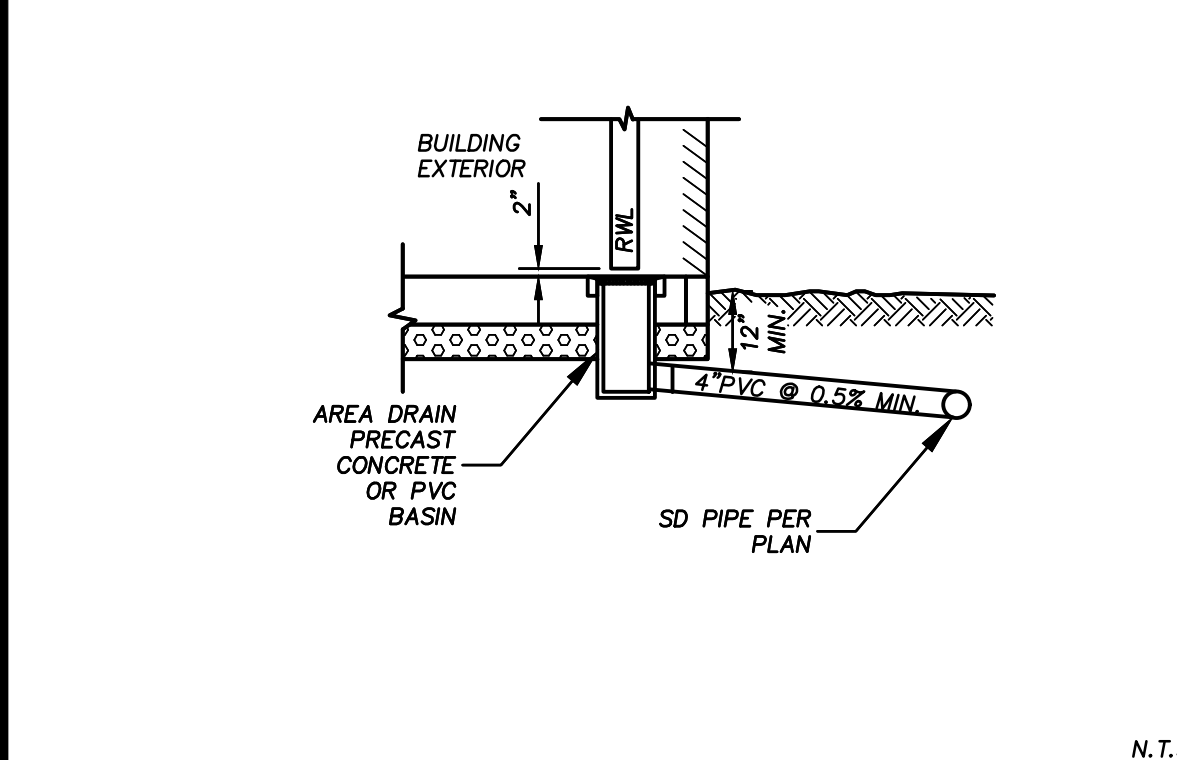
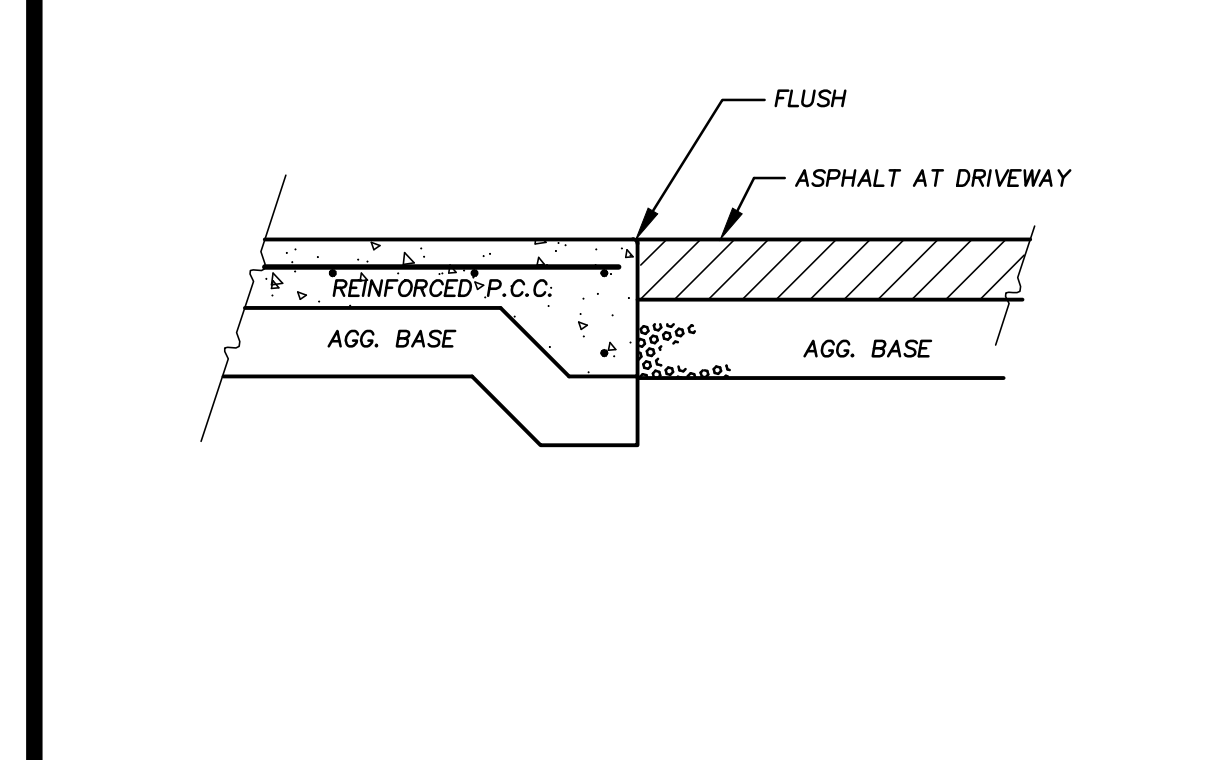
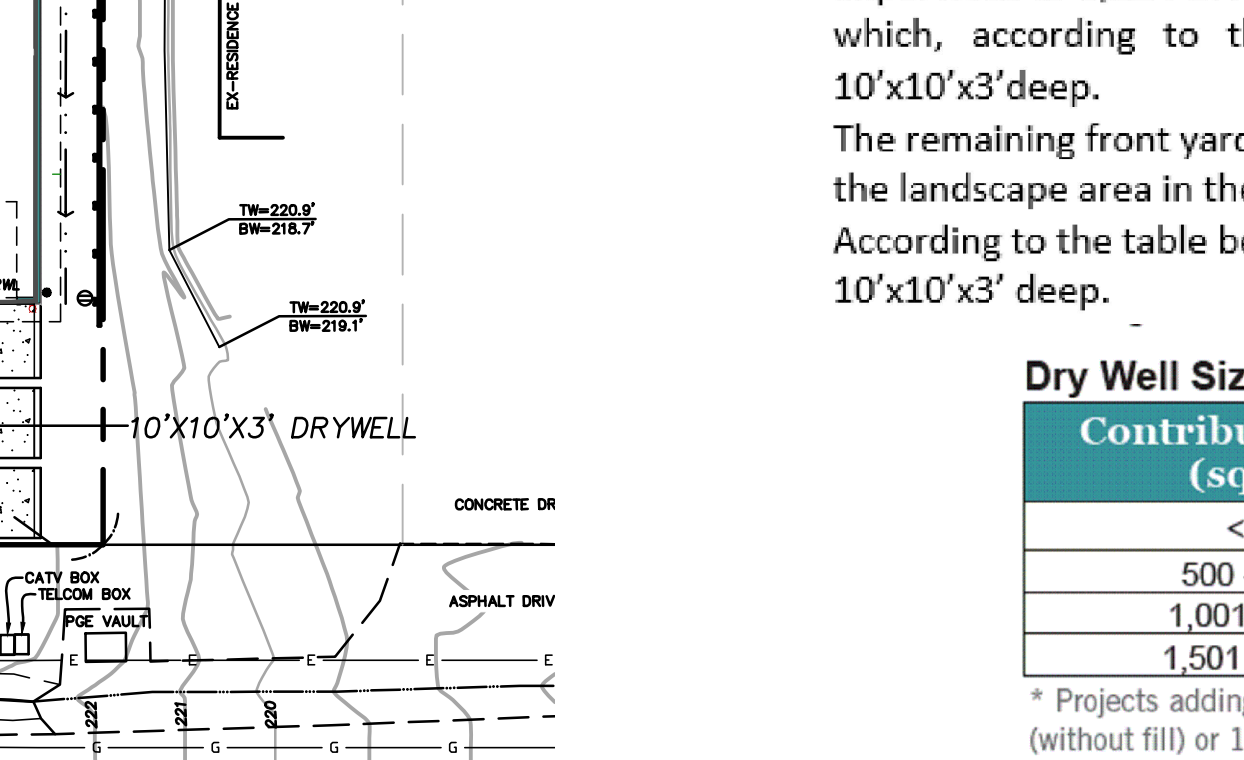
CLEANOUT DETAIL 10

Per page 37 of the SMC drainage manual this project will use 2 drywells. One in the backyard of the property and one in the front yard based on the tributary areas directed to each. Total impervious is 3,124 SF. The building is 2,727 SF so 50% = 1,364 SF directed to the backyard which, according to the table below, will be 300 CF. The Backyard drywell will be 10'x10'x3' deep. The remaining front yard tributary area is 3,124 SF - 1,364 SF - 320 SF = 1,440 SF. The 320 SF is the landscape area in the front yard that will have an overland release to Edison Street. According to the table below this dry well will need to be 300 CF. The Front yard drywell will be 10'x10'x3' deep.

Dry Well Sizing Table

| Contributing Area (sq. ft.) | Dry Well Volume Without Fill (cubic ft) | Dry Well with Gravel Fill (cubic ft) |
|-----------------------------|---|--------------------------------------|
| <500 | 35 | 100 |
| 500 - 1,000 | 70 | 200 |
| 1,001 - 1,500 | 105 | 300 |
| 1,501 - 2,000* | 140 | 400 |

* Projects adding roof or impervious areas in excess of 2,000 sq ft shall add 35 cubic ft of dry well volume (without fill) or 100 cubic ft of dry well volume (with gravel fill) per every 500 sq ft of additional area.

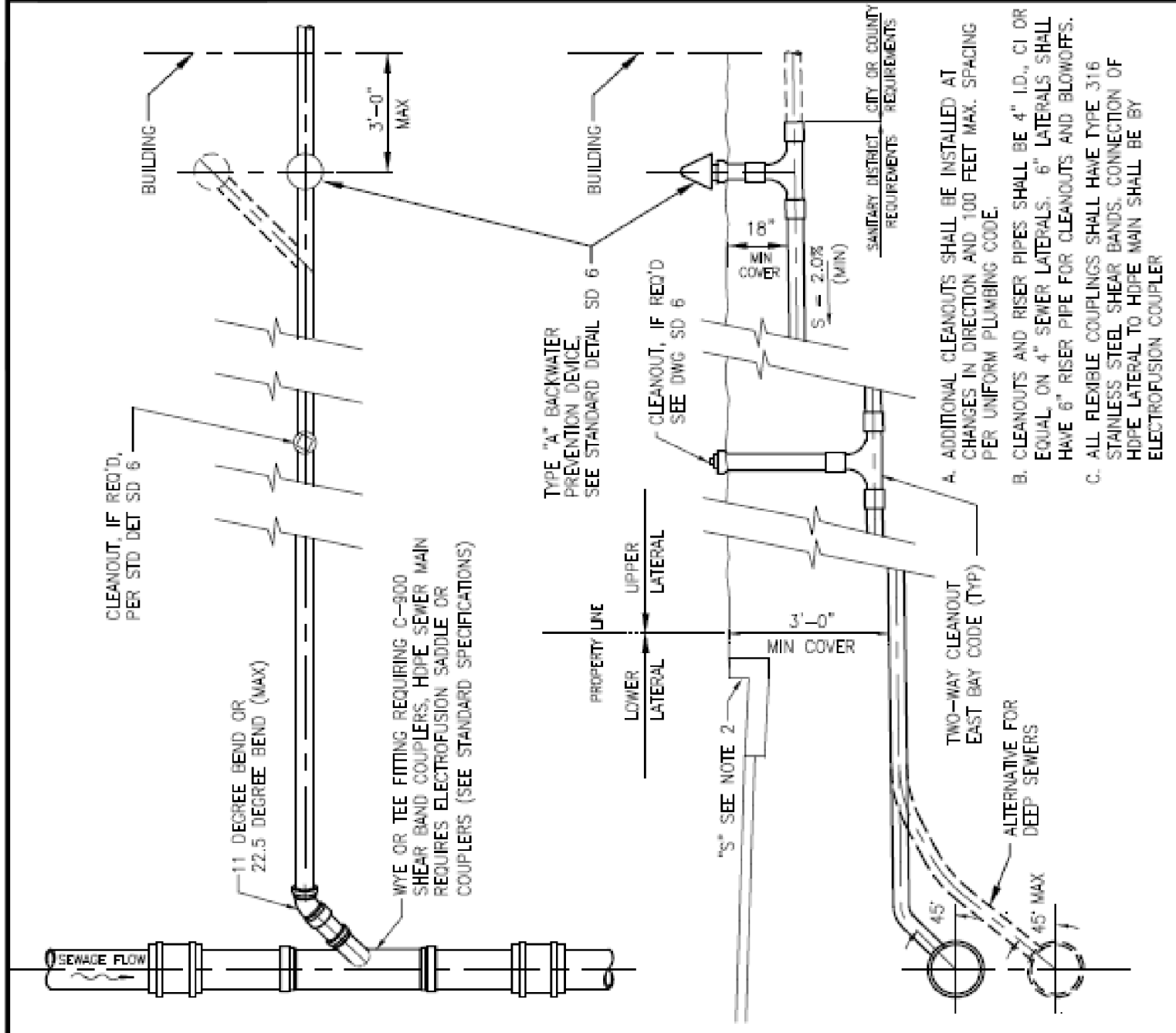


CONCRETE TO ASPHALT TRANSITION 15

TRIBUTARY AREA DISTRIBUTION 12

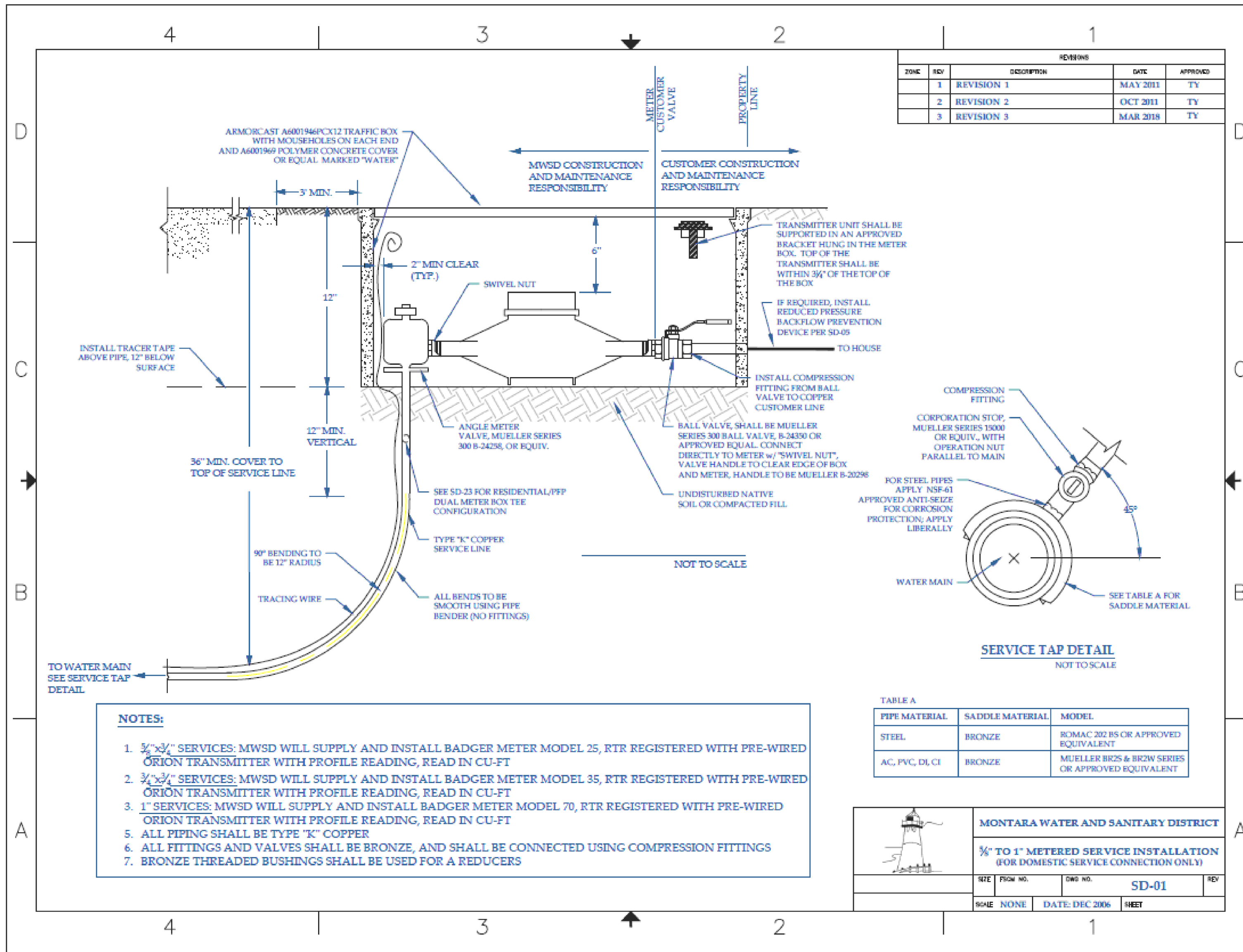
THRESHOLD-AT DOOR 11

CLEANOUT DETAIL 10



MONTARA WATER & SANITARY DISTRICT

| TYPICAL SIDE SEWER DETAILS | |
|----------------------------|------|
| 2017 | SD 5 |



DATE: 06.23.2024

NEW HOME
825 EDISON STREET
MONTARA, CA

SORENSEN ENGINEERING
SORENSEN.MARKE@GMAIL.COM
(925)683-2910

| REVISION | DATE |
|----------|------|
| 1 | |
| 2 | |
| 3 | |

DRAWN BY: MS

JOB: 23-1210
SIGNATURE:

SCALE: 1"=10'

DISTRICT
DETAILS

C3.2

EROSION CONTROL NOTES

- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL THE SEDIMENT DURING THE RAINY EVENTS, AFTER ROUGH GRADING HAS BEEN COMPLETED. MEASURES ARE TO BE OPERABLE PRIOR TO RAIN EVENTS OF ANY YEAR GRADING OPERATIONS HAVE LEFT AREAS UNPROTECTED FROM EROSION.
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS REQUIRED.
 - STRAW BALE DIKE, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS ARE TO BE MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO WITHIN ONE FOOT OF OUTLET ELEVATION.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
- DURING THE RAINY EVENTS, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LAIDEN RUNOFF TO ANY STORM DRAINAGE SYSTEM.
- CONSTRUCTION ENTRANCE CONSISTING OF AN 8" THICK LAYER OF 2"-3" COARSE DRAIN ROCK FOR A DISTANCE OF 50 FEET IS TO BE PROVIDED AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREETS.
- INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL TO BE BLOCKED UNLESS THE AREA DRAINED IS UNDISTURBED OR STABILIZED.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS ARE STABILIZED AND CHANGES TO THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE MADE TO MEET FIELD CONDITIONS ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE DIRECTOR OF PUBLIC WORKS.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING. PLANS ARE TO BE RE-SUBMITTED FOR CITY APPROVAL PRIOR TO THE SEPTEMBER FIRST OF EACH SUBSEQUENT YEAR UNTIL THE SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AT THE END OF EACH WORKING DAY OR DAILY DURING THE RAINY EVENTS.
- SEDIMENT BASINS SHALL BE CLEANED OUT WHENEVER SEDIMENT REACHES THE SEDIMENT CLEAN OUT LEVEL INDICATED ON THE PLANS.
- BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE DIRECTOR OF PUBLIC WORKS.
- ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVER BANK FLOW.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS MAY BE MADE TO THE PLAN IN THE FIELD SUBJECT TO THE APPROVAL OF THE CITY.
- ALL NEW ON-SITE DRAINS IN EXISTING OR PROPOSED AC PAVEMENT AREAS SHALL BE FITTED WITH A "FOSSIL FILTER FLOGARD" SYSTEM IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.



DATE: 01.30.2025

NEW HOME
825 EDISON STREET
MONTARA, CA

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(925)683-2910

REVISION DATE

△

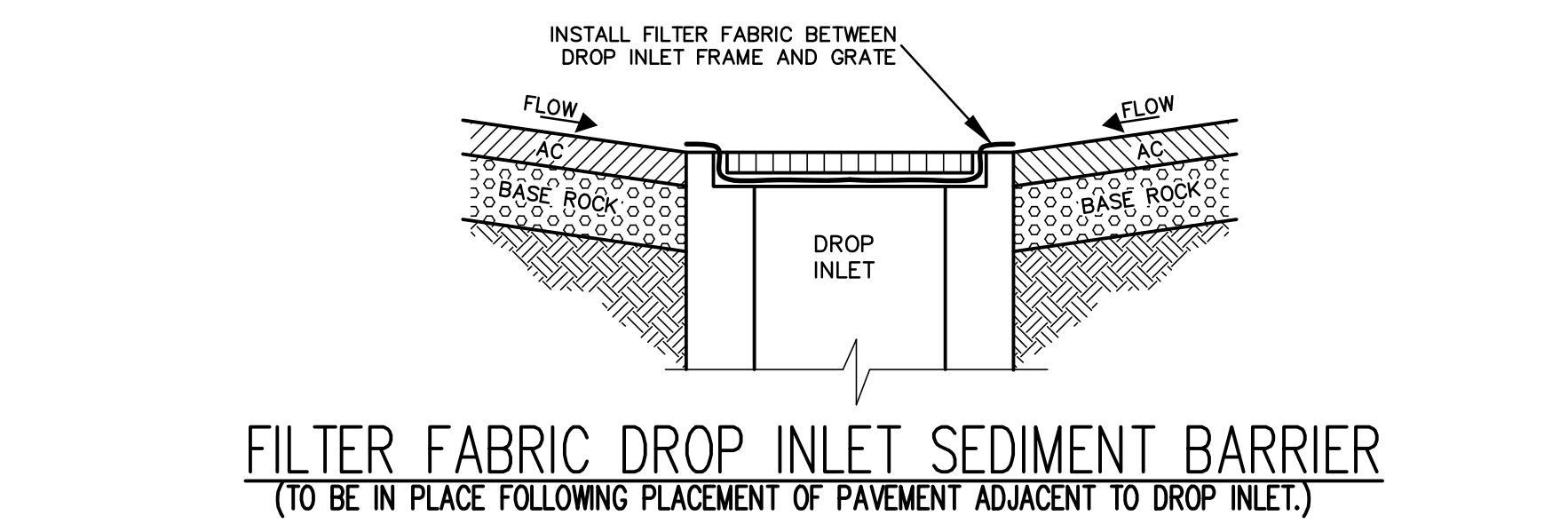
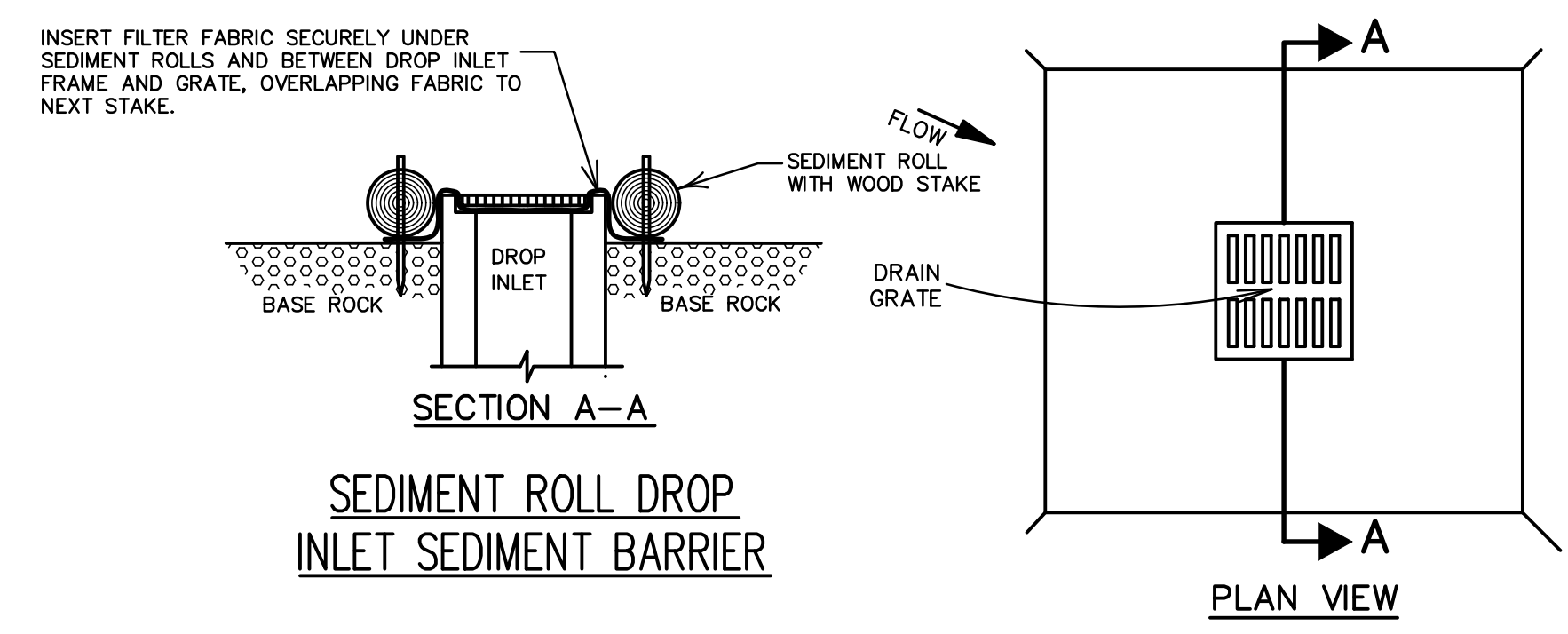
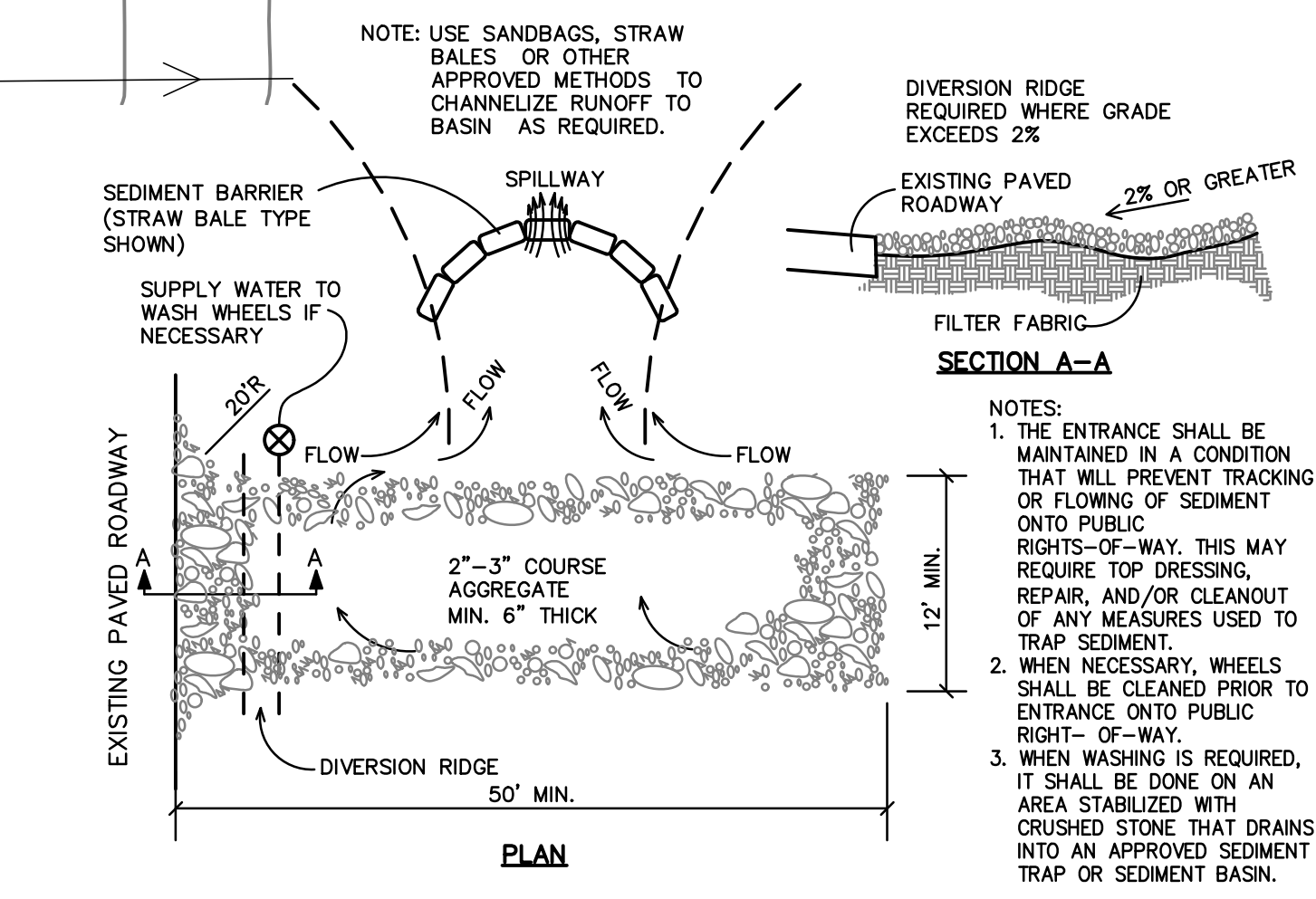
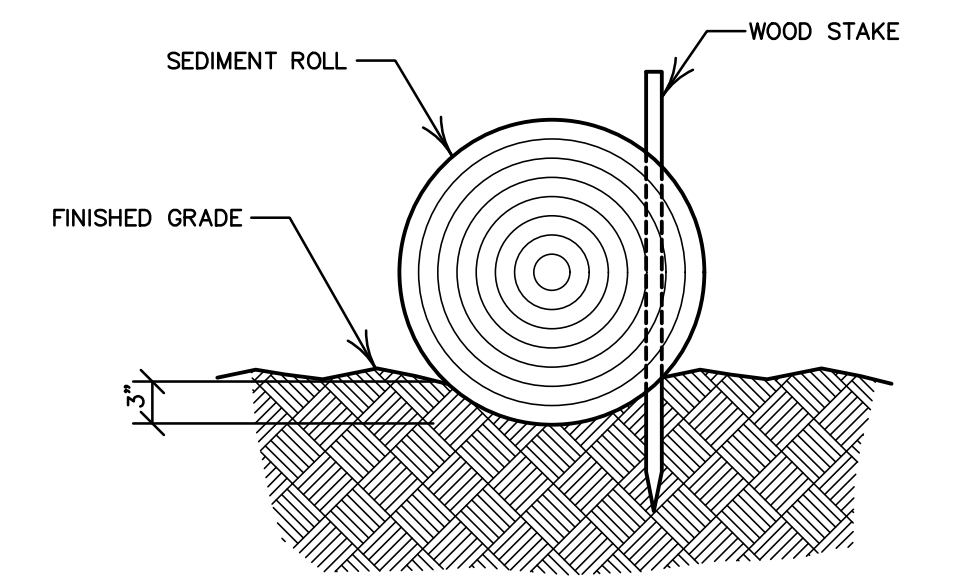
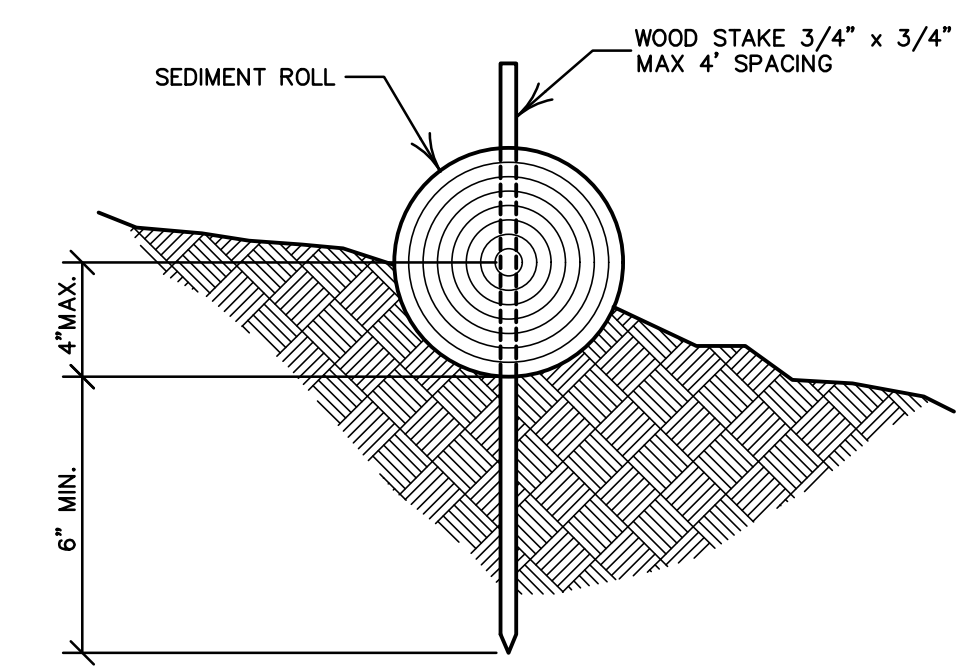
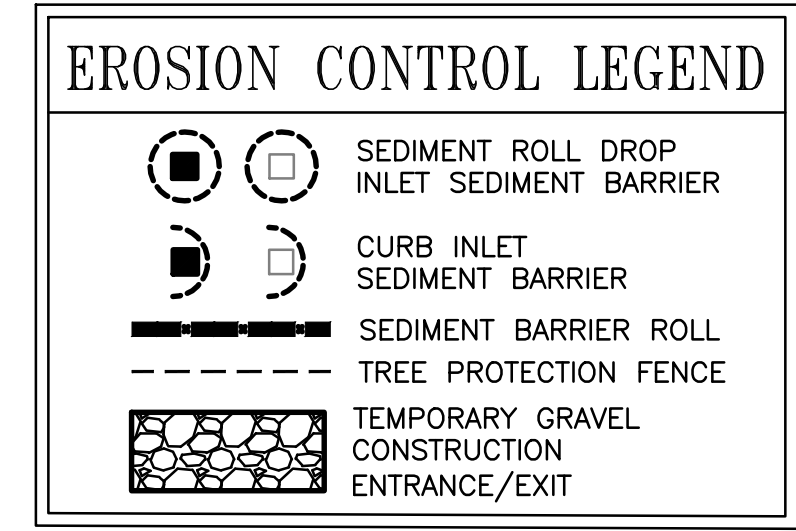
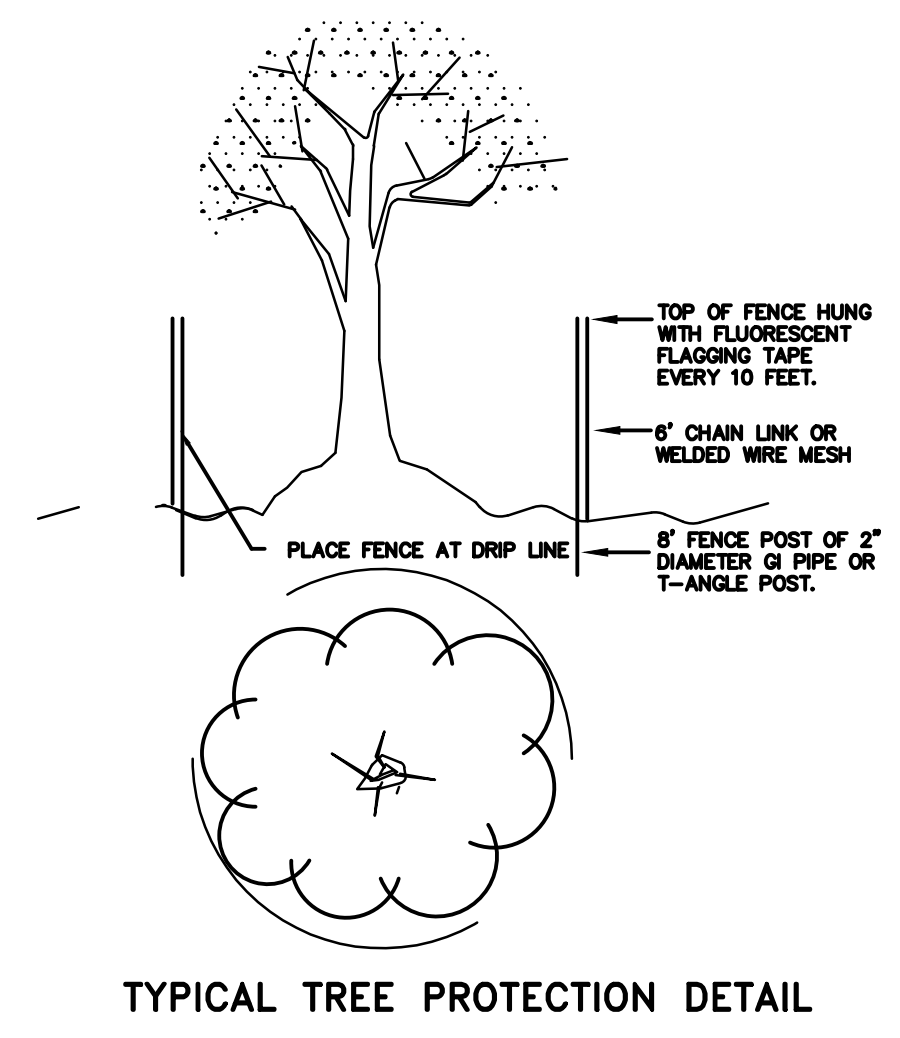
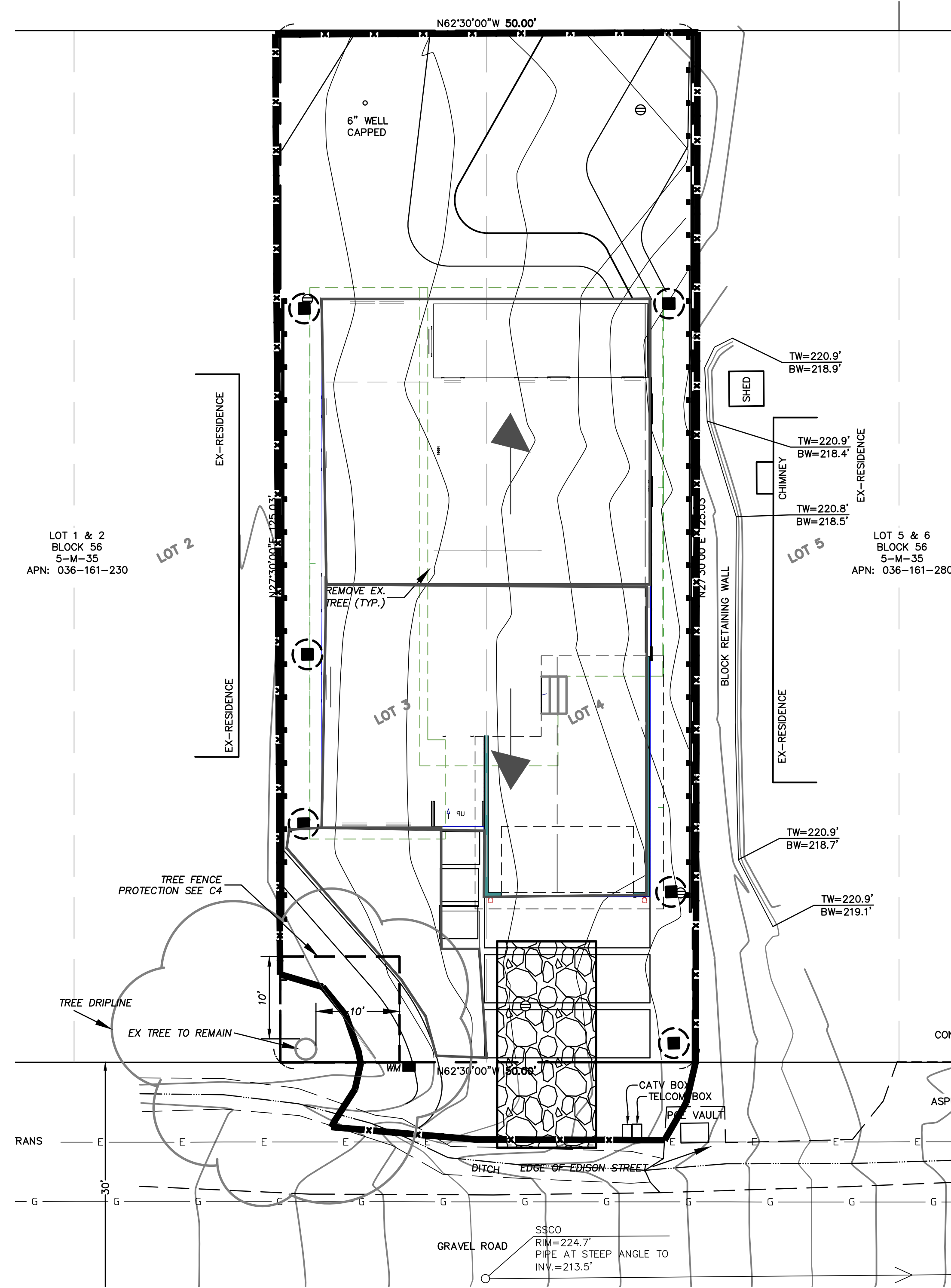
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JOB: 23-1210
SIGNATURE:

SCALE: 1" = 10'

EROSION CONTROL

C4



SEDIMENT ROLL DROP INLET SEDIMENT BARRIER
SECTION A-A

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

SEDIMENT ROLL DETAILS

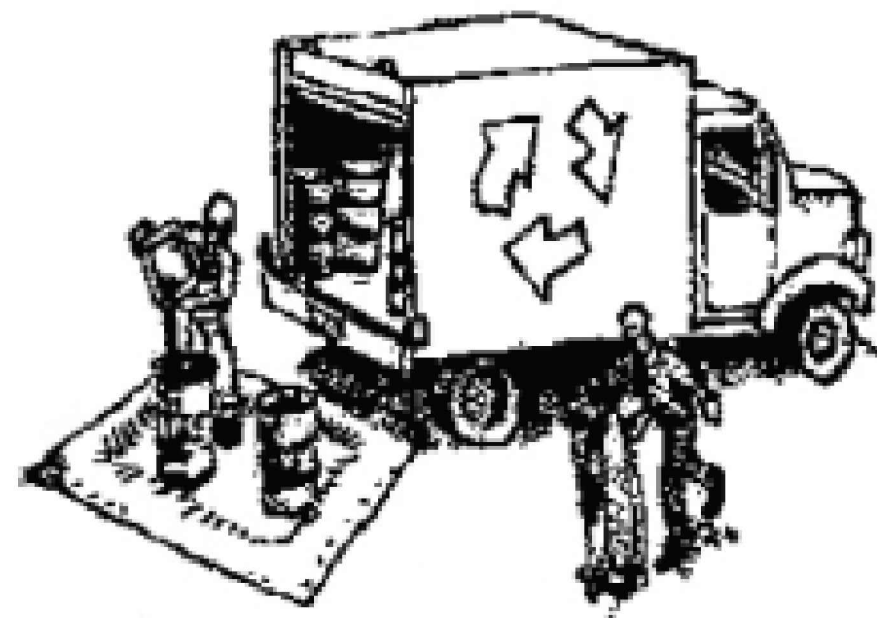


SAN MATED COUNTYWIDE
**Water Pollution
Prevention Program**
Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

Waste Management

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



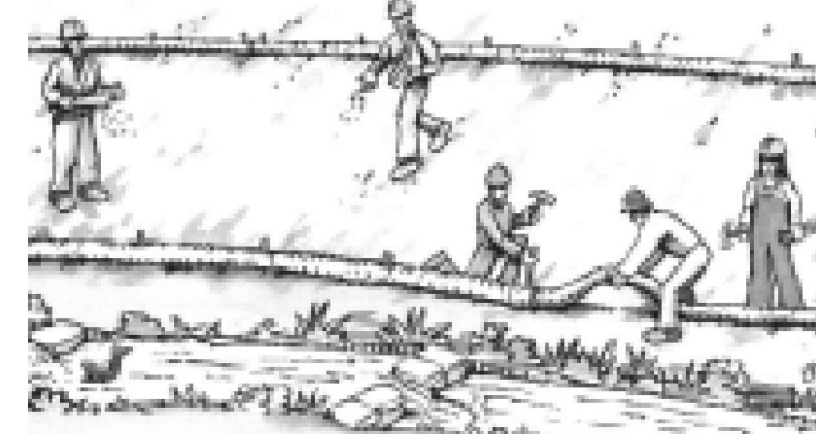
Maintenance and Parking

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving

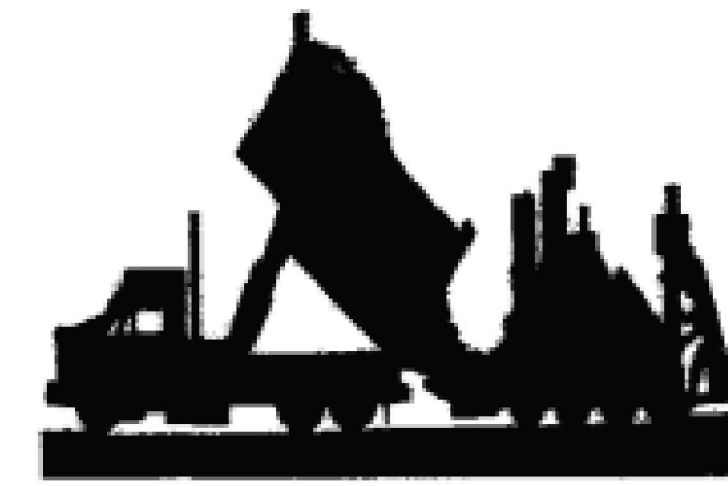


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells.
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

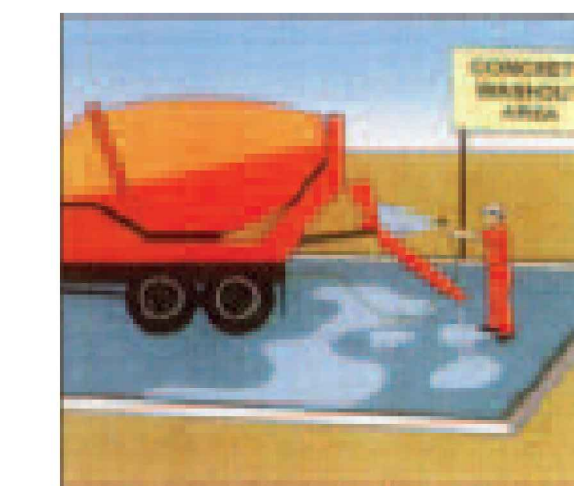


- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



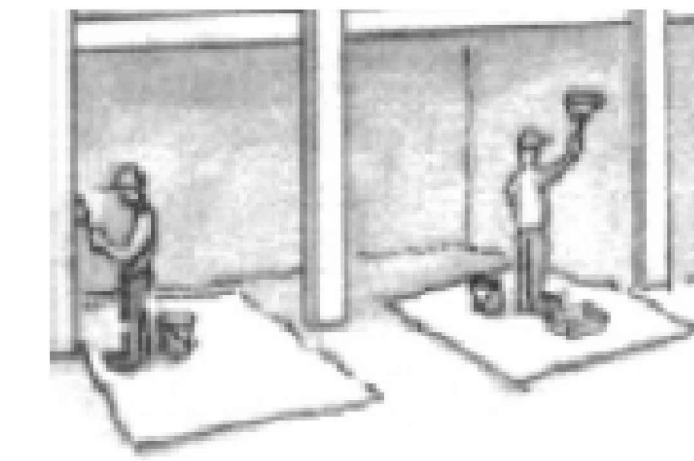
- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

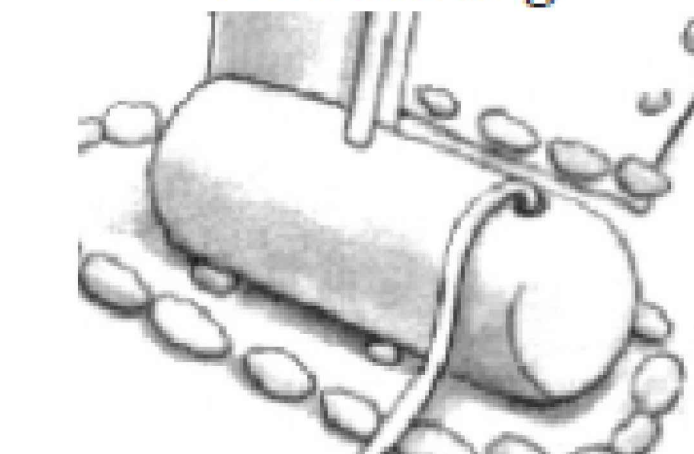
Painting & Paint Removal



Painting Cleanup and Removal

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

NEW HOME

825 EDISON STREET
MONTARA, CA

SORENSEN ENGINEERING

SORENSEN.MARKE@GMAIL.COM
(925)683-2910

REVISION DATE

REVISION

DRAWN BY:MS

JOB: 23-1210
SIGNATURE:

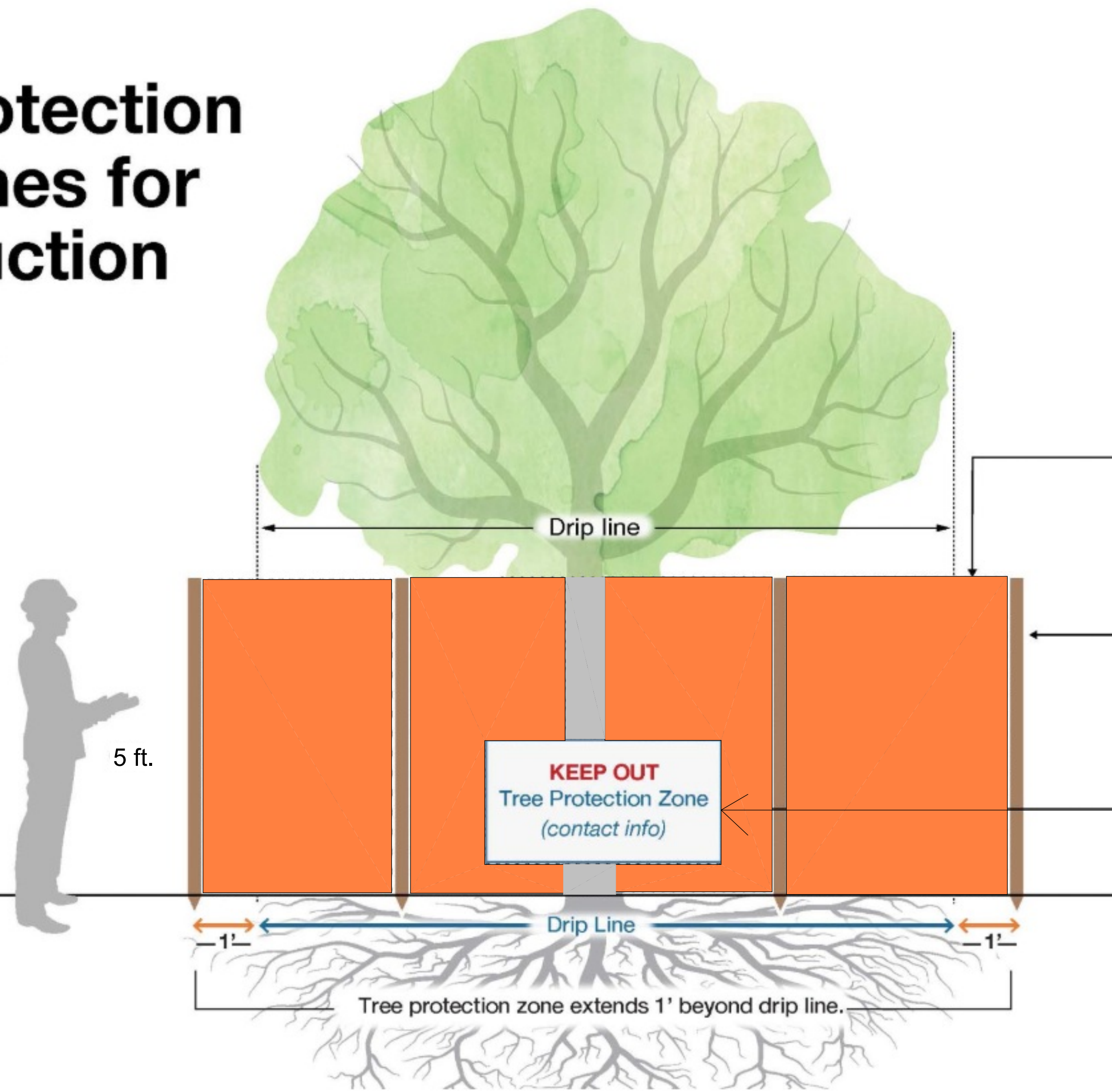
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BMP

C5

Tree Protection Guidelines for Construction

Tree protections shall be in place prior to any construction equipment or materials being on site. Fencing shall remain in place until construction equipment, materials, and debris have been removed from the site and approval from the City Landscape Architect has been given for removal.



TREE PROTECTION PLAN PER COUNTY SECTION 12,202.5

Isolate tree protection zone using 5-foot tall, orange plastic fencing supported by poles pounded into the ground, located at the driplines as described in the Arborist report

No vehicles, construction equipment, material, debris, paint or paint products, pallets, chemicals, contaminated water or other foreign material shall be allowed to be placed, poured, piled, pushed, or stored within the Tree Protection Zone of any tree.

Laminated sign with contact info.

If any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting as required in the arborist's report. Any root cutting shall be undertaken by an arborist or forester and documented. Roots to be cut shall be severed cleanly with a saw or topers. A tree protection verification letter from the certified arborist shall be submitted to the Planning Department within five (5) business days from site inspection following root cutting;

Street tree trunks and other trees not protected by dripline fencing shall be wrapped with straw wattles, orange fence and 2x4 boards in concentric layers to a height of eight feet

Prior to Issuance of a Building Permit the Planning and Building Department shall complete a pre-construction site inspection, as necessary, to verify that all required tree protection and erosion control measures are in place.

the right touch
DESIGNS
516 Second Avenue
Redwood City, CA 94063
p (650) 369 2198
e: stephanie@righttouchdesigns.com

Project address:
STEPHANIE BATTIES
825 EDISON STREET
MONTARA, CA 94037

| DATE | REVISION/TABLE | REVISOR |
|----------|----------------|---------|
| 6-24-24 | | |
| 8-15-24 | | |
| 11-15-24 | | |

TITLE:
TREE PROTECTION
INFORMATION

DATE:
4-4-24

SCALE:

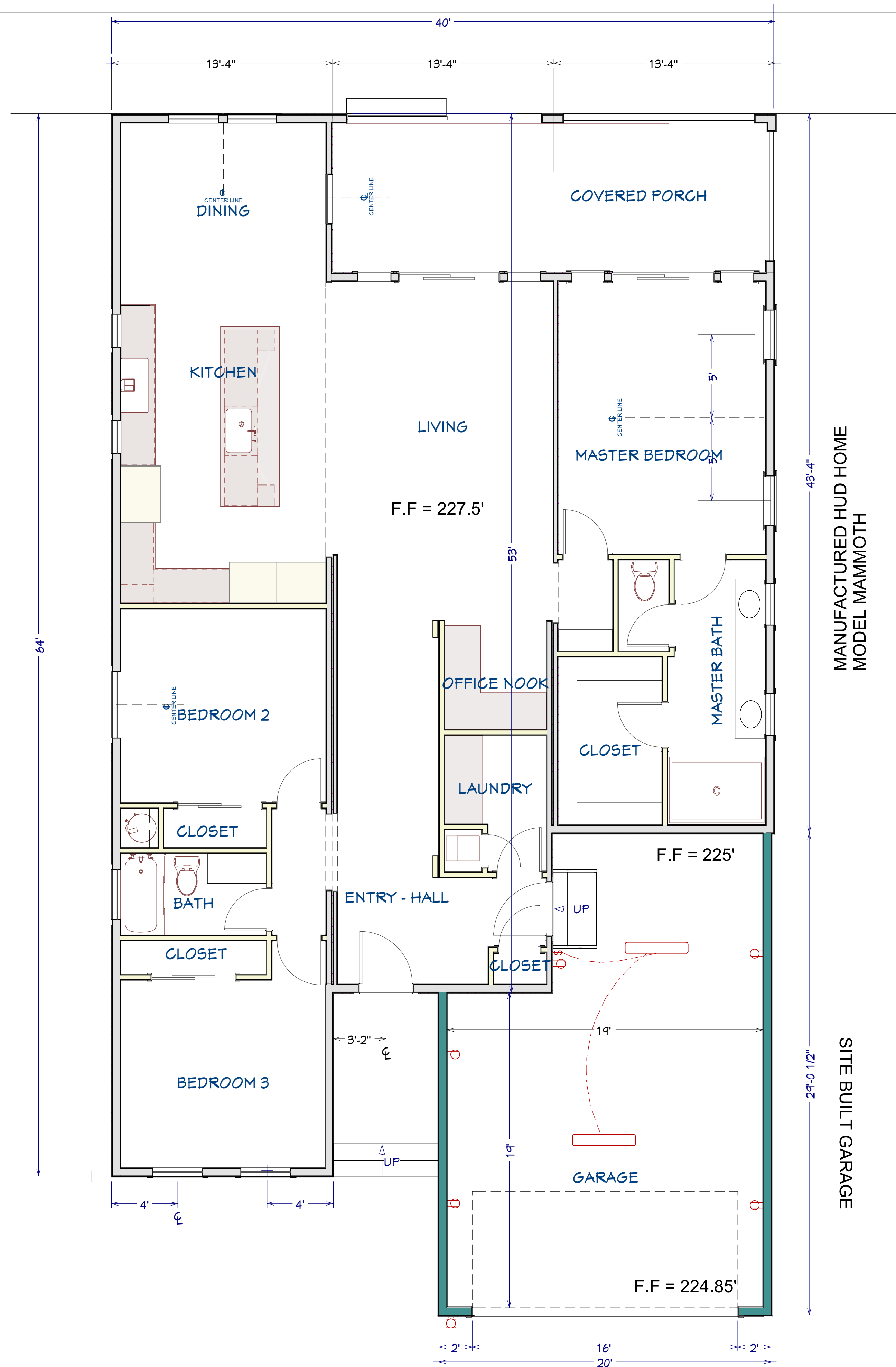
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GENERAL FLOOR PLAN NOTES:

1. ALL SIDING FINISH, TRIM & COLORS TO BE SAME FOR SKIRT WALL AS THE MFR'D HOME OR PER DETAILS ON SHEET S2. W.U.I. AS REQUIRED PER COVER PAGE.
2. 18"x24" min. CRAWL SPACE ACCESS WITHIN 20' OF PLUMBING - THROUGH OUTSIDE WALL, FOUNDATION WELL or INSIDE MFR'D HOME THROUGH FLOOR.
3. STEPS TO BE MAXIMUM OF 3 RISERS WITHOUT NEEDING HANDRAILS. RISERS TO BE 4" min. to 7.75" max., TREADS TO BE 10" min., NO RISER or TREAD SHALL EXCEED MORE THAN 3/8" FROM THE SMALLEST TO THE LARGEST. 3' min. LANDINGS (IN ANY DIRECTION). STEP TO RESIDENCE TO HAVE A STEP UP OF 1/4" min. TO 1" max. OR 4" min. TO 7 3/4" max. @ TOP LANDING TO TOP OF THRESHOLD @ DOOR.
4. HANDRAILS (REQUIRED @ STAIR/STEPS OF MORE THAN 3 RISERS) TO BE 1-1/2" dia. @ 33" TO 38" ABOVE NOSE OF STAIRS WITH RETURN TO POST OR WALL.

MANUFACTURED HUD HOME
MODEL MAMMOTH

| DIVISIONS | | | REVISIONS | | SKYLINE | |
|--------------------|-----|-----|-------------------------------|---|-----------------|-------------|
| 111 | 341 | 552 | | | | |
| 112 | 344 | 553 | | | | |
| 115 | 345 | 571 | | | | |
| X | 125 | 355 | 591 | | | |
| | 131 | 500 | 812 | | | |
| | 143 | 531 | | B | UPO FURN | 3/26/24 KS |
| | 163 | 535 | | A | REV TO FARM SNK | 10/26/23 KS |
| | 171 | 536 | | | | |
| | 181 | 538 | | | | |
| BOX LENGTH | | | DESCRIPTION | | DRAWING NUMBER | |
| 43'-4" / 53' / 64' | | | PERPETUAL - 825 EDISON STREET | | 42-00426-06Q | |



the right touch
DESIGNS
516 Second Avenue
Redwood City, CA 94063
p (650) 369 2198
e: stephanie@righttouchdesigns.com

Project address:
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825 EDISON STREET
MONTARA, CA 94037

| DATE | REVISION TABLE | REVISOR |
|---------|----------------|---------|
| 6-24-24 | | |
| 8-15-24 | | |

TITLE:
FLOOR PLAN

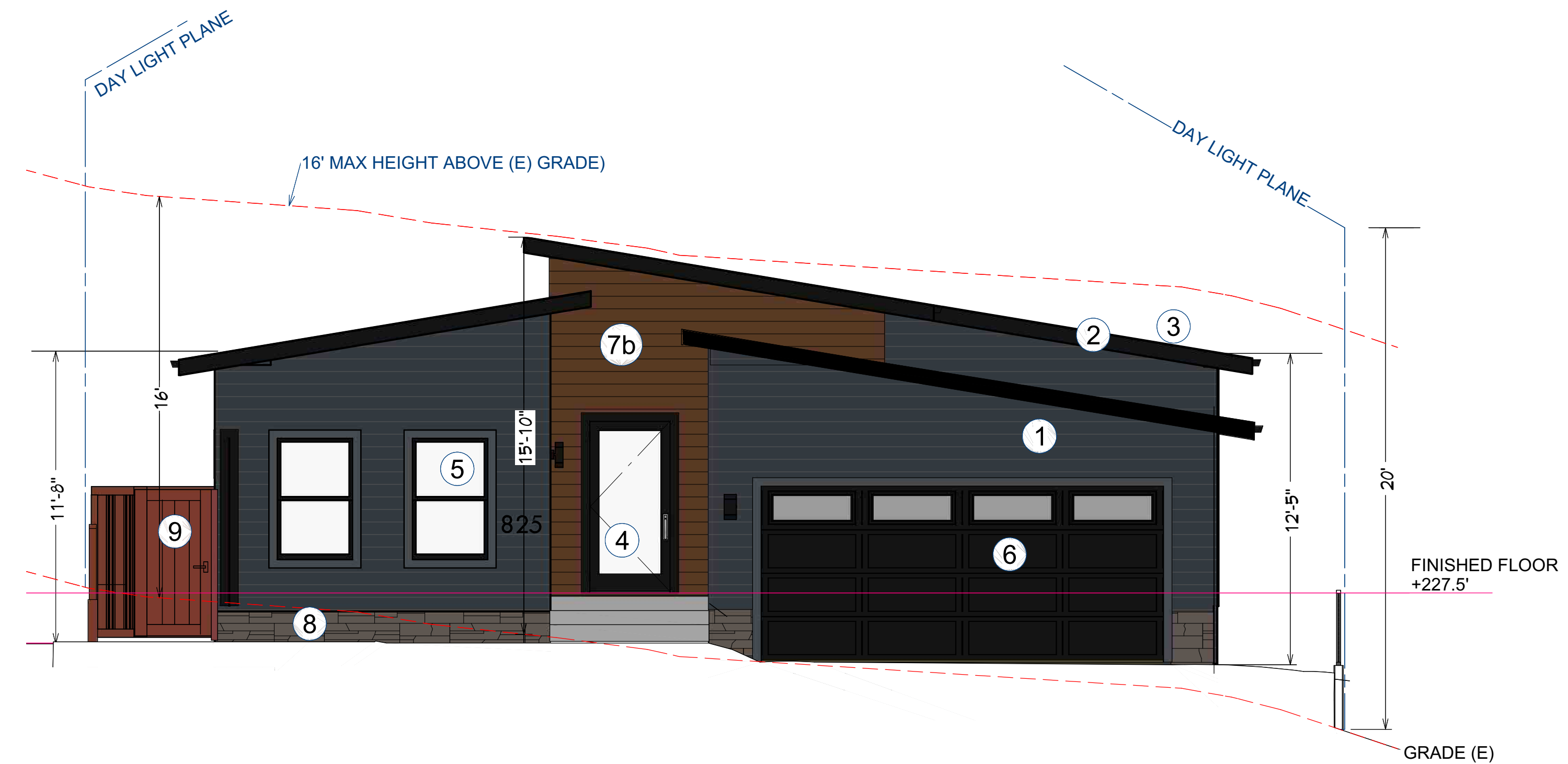
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4-4-24

SCALE:
1/4" = 1'

SHEET:
A.4

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO INSTALL STRUCTURE(S) PER 2019 CRC, CBG, CMC, CPC, CEG & LOCAL AUTHORITY CODES.
2. BUILDING MFR R TO INSTALL ALL WORK ABOVE AND INCLUDING STEEL CHASSIS BEAMS, FLOOR JOISTS IN FACTORY PER THEIR HCD APPROVED PLANS FOR DOORS, WINDOWS, SIDING, TRIM, SPARK ARRESTOR FLUE CAPS, SOFFITS, & ROOFING AS PER CODE & MFR R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
3. COMPOSITION SHINGLE ROOFING, TILE or METAL OF CLASS RATED PER NOTE 2. ABOVE (CLOSURE STRIP INSTALLED IN FIELD PER ROOFING MFR R RECOMMENDATIONS & BUILDING MANUFACTURER INSTALLATION MANUAL.
4. ALL FLASHINGS (Siding, Cap, Edge, Hip, Valley, 2' or 1'-etc...) TO BE 26ga. G.S.M. AS A MINIMUM, WHEN INSTALLED w/ AN APPLIANCE AS PER MFR R LITERATURE & REQUIREMENTS.
5. SEE SHEET 51 FOR FOUNDATION VENTILATION CALCS FOR CRAWL SPACE VENTS REQUIRED & 18"x24" MIN. CRAWL SPACE ACCESS LOCATION.
6. VENT & FLUE SCREENS TO BE GALV. METAL 1/4" max. SQ. MESH.
7. FIELD INSTALLED 26ga. min. G.S.M. 2"x3" RWL & FASCIA GUTTER SLOPED PER CODE (UNDER ROOFING), SEE SITE PLAN FOR RWL TERMINATION TYPE (FLASH BLOCK or U.G. DRAINAGE SYSTEM AS PER GEOTECH REPORT WHERE APPLICABLE).
8. SKIRT SIDING: (MATCH MFR D BUILDING SIDING & COLOR): NOT APPLICABLE - SEE MATERIAL SCHEDULE FOR SKIRT SIDING INFO
9. VEGETATION MANAGEMENT COMPLIANCE PER R337.1.5
10. ADDRESS SIGNAGE FACING THE STREET SHALL BE WITH 4" HIGH NUMERALS WITH 1/2" STROKE (CONTRASTING COLOR TO BACKGROUND) OR PER LOCAL FIRE DEPT. REQUIREMENTS.



Elevation 1

| MATERIAL SCHEDULE | | |
|-------------------|------------------------|---|
| ① | SIDING | CEMENT FIBER - COLOR PPG 1001-6 KNIGHTS ARMOR |
| ② | ROOF FACIA: | TRU WOOD - ENGINEERED WOOD - COLOR: PPG1001-7 BLACK MAGIC |
| ③ | ROOFING MATERIAL: | IKO - COMPOSITE - COLOR : DUAL BLACK |
| ④ | ENTRY DOOR | FIBERGLASS - COLOR: PPG1001-7 BLACK MAGIC |
| ⑤ | WINDOW | KINRO - VINYL - BLACK |
| ⑥ | GARAGE DOOR | STEEL DOOR - WAYNE DALTON - BLACK |
| ⑦A | DECKING | COMPOSITE - FIBERON - BUNGALOW |
| ⑦B | ACCENT SIDING | COMPOSITE - CONCORDIA - WARM SIENNA |
| ⑧ | SKIRTING | STACKED STONE - MSI CANYON CREEK |
| ⑨ | RETAINING WALL - FENCE | REDWOOD |



Elevation 4.

the right touch
DESIGNS

516 Second Avenue
Redwood City, CA 94063
p (650) 369 2198
e: stephanie@righttouchdesigns.com

Project address:
STEPHANIE BATTIES
825 EDISON STREET
MONTARA, CA 94037

| DATE | REVISION TABLE | REVISION BY |
|---------|----------------|-------------|
| 6-24-24 | | |
| 8-15-24 | | |

TITLE:
EXTERIOR ELEVATIONS

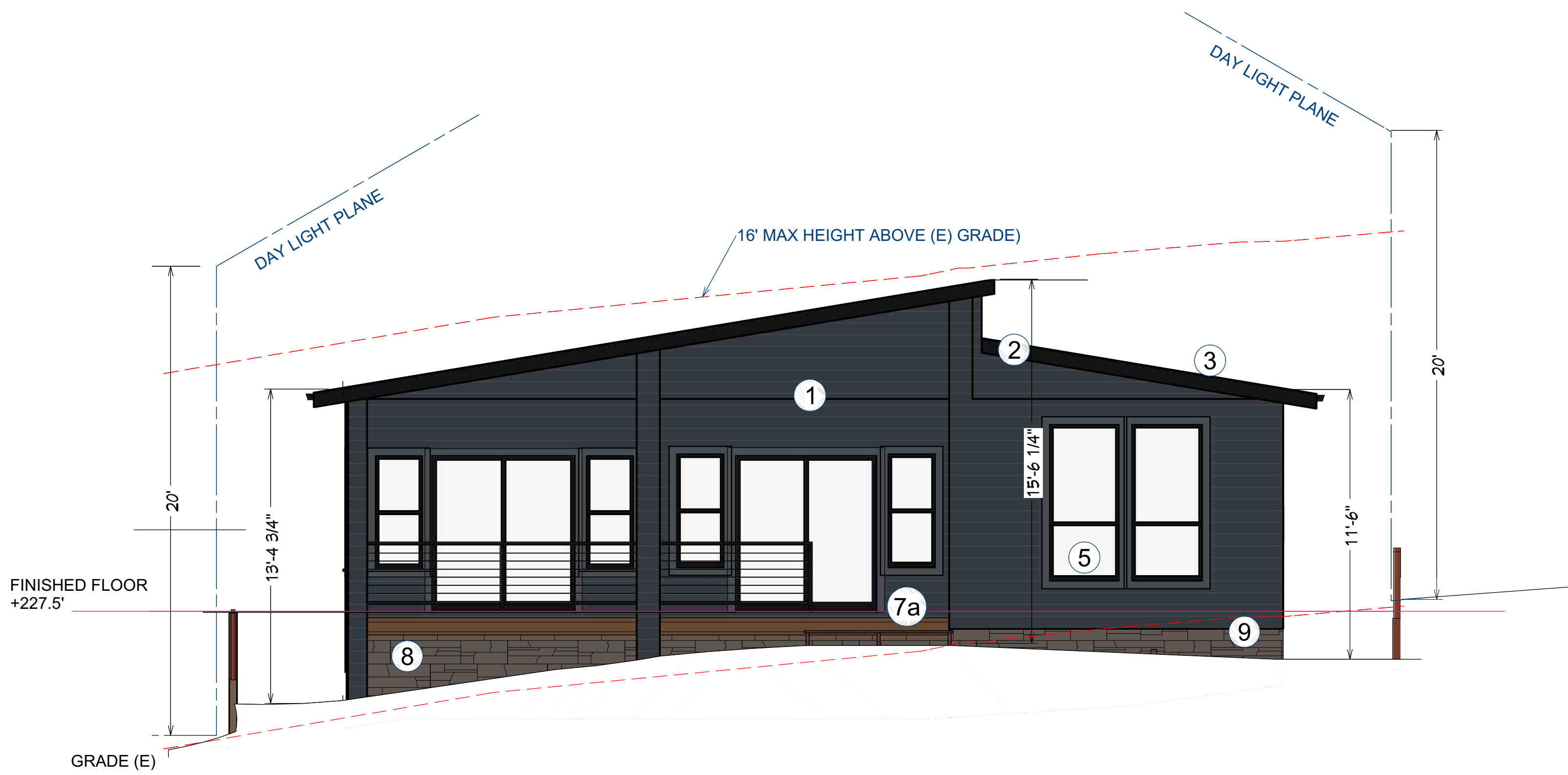
DATE:

4-4-24

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SHEET:

A.5



Elevation 3

EXTERIOR ELEVATION NOTES:

1. CONTRACTOR TO INSTALL STRUCTURE(S) PER 2019 CRC, CBC, CMC, CPC, CEC, & LOCAL AUTHORITY CODES.
2. BUILDING MFR'R TO INSTALL ALL WORK ABOVE AND INCLUDING STEEL CHASSIS BEAMS, FLOOR JOISTS IN FACTORY PER THEIR HCD APPROVED PLANS FOR DOORS, WINDOWS, SIDING, TRIM, SPARK ARRESTOR FLUE CAPS, SOFFITS, & ROOFING AS PER CODE & MFR'R INSTRUCTIONS & ASSURE A WATER TIGHT BUILDING ASSEMBLY.
3. COMPOSITION SHINGLE ROOFING, TILE or METAL OF CLASS RATED PER NOTE 2. ABOVE (CLOSURE STRIP INSTALLED IN FIELD PER ROOFING MFR'R RECOMMENDATIONS & BUILDING MANUFACTURER INSTALLATION MANUAL.
4. ALL FLASHINGS (Siding, Cap, Edge, Hip, Valley, 'Z' or 'L' etc...) TO BE 26ga. G.S.M. AS A MINIMUM, WHEN INSTALLED w/ AN APPLIANCE AS PER MFR'R LITERATURE & REQUIREMENTS.
5. SEE SHEET 51 FOR FOUNDATION VENTILATION CALCS FOR CRAWL SPACE VENTS REQUIRED & 18"x24" MIN. CRAWL SPACE ACCESS LOCATION.
6. VENT & FLUE SCREENS TO BE GALV. METAL 1/4" max. SQ. MESH.
7. FIELD INSTALLED 26ga. min. G.S.M. 2"x3" RWL & FASCIA GUTTER SLOPED PER CODE (UNDER ROOFING). SEE SITE PLAN FOR RWL TERMINATION TYPE (SPLASH BLOCK or U.G. DRAINAGE SYSTEM AS PER GEOTECH REPORT WHERE APPLICABLE).
8. SKIRT SIDING: (MATCH MFR'D BUILDING SIDING & COLOR); AS APPLICABLE.
9. VEGETATION MANAGEMENT COMPLIANCE PER R337.1.5
10. ADDRESS SIGNAGE FACING THE STREET SHALL BE WITH 4" HIGH NUMERALS WITH 1/2" STROKE (CONTRASTING COLOR TO BACKGROUND) OR PER LOCAL FIRE DEPT. REQUIREMENTS.

| MATERIAL SCHEDULE | | |
|-------------------|------------------------|---|
| ① | SIDING | CEMENT FIBER - COLOR PPG 1001-6 KNIGHTS ARMOR |
| ② | ROOF FACIA: | TRU WOOD - ENGINEERED WOOD - COLOR: PPG1001-7 BLACK MAGIC |
| ③ | ROOFING MATERIAL: | IKO - COMPOSITE - COLOR : DUAL BLACK |
| ④ | ENTRY DOOR | FIBERGLASS - COLOR: PPG1001-7 BLACK MAGIC |
| ⑤ | WINDOW | KINRO - VINYL - BLACK |
| ⑥ | GARAGE DOOR | STEEL DOOR - WAYNE DALTON - BLACK |
| TA | DECKING | COMPOSITE - FIBERON - BUNGALOW |
| TB | ACCENT SIDING | COMPOSITE - CONCORDIA - WARM SIENNA |
| ⑧ | SKIRTING | STACKED STONE - MSI CANYON CREEK |
| ⑨ | RETAINING WALL - FENCE | REDWOOD |



Elevation 2

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| DATE | REVISION TABLE | REVISION BY |
|---------|----------------|-------------|
| 6-24-24 | | |
| 8-15-24 | | |

TITLE:
EXTERIOR ELEVATIONS

DATE:
4-4-24

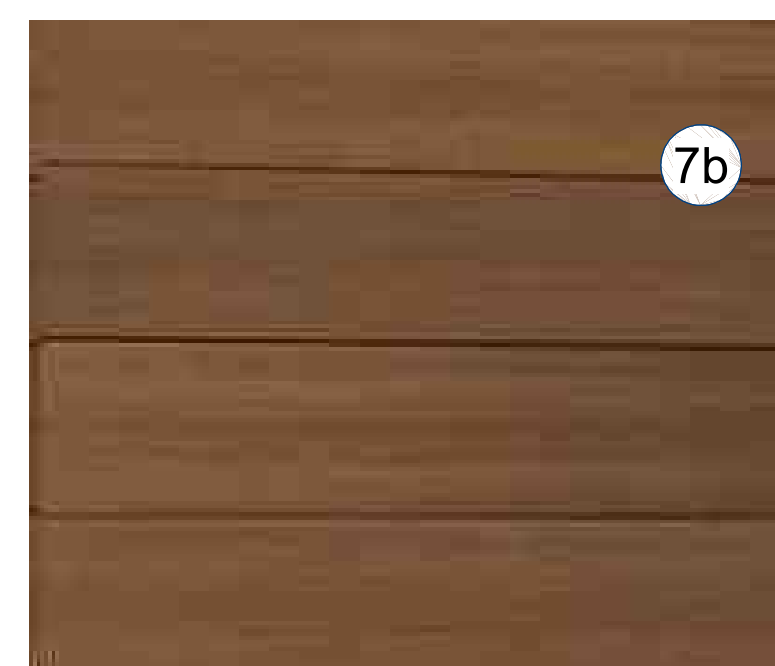
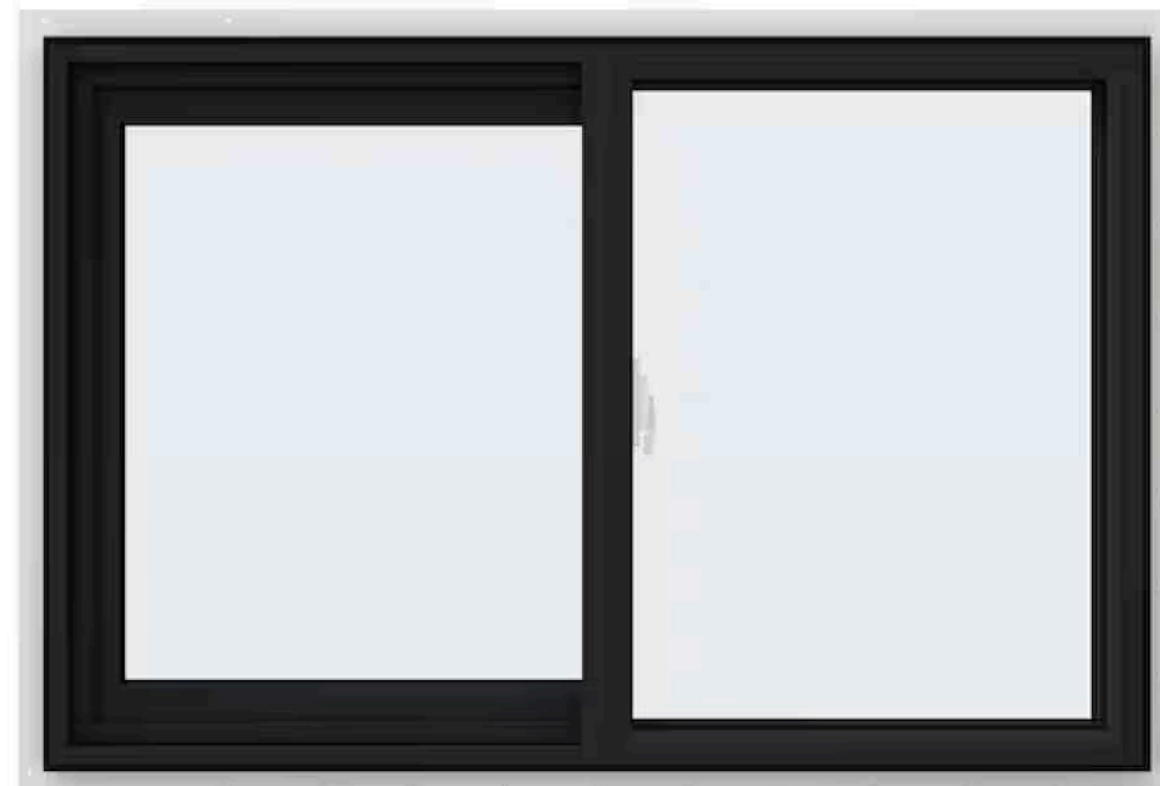
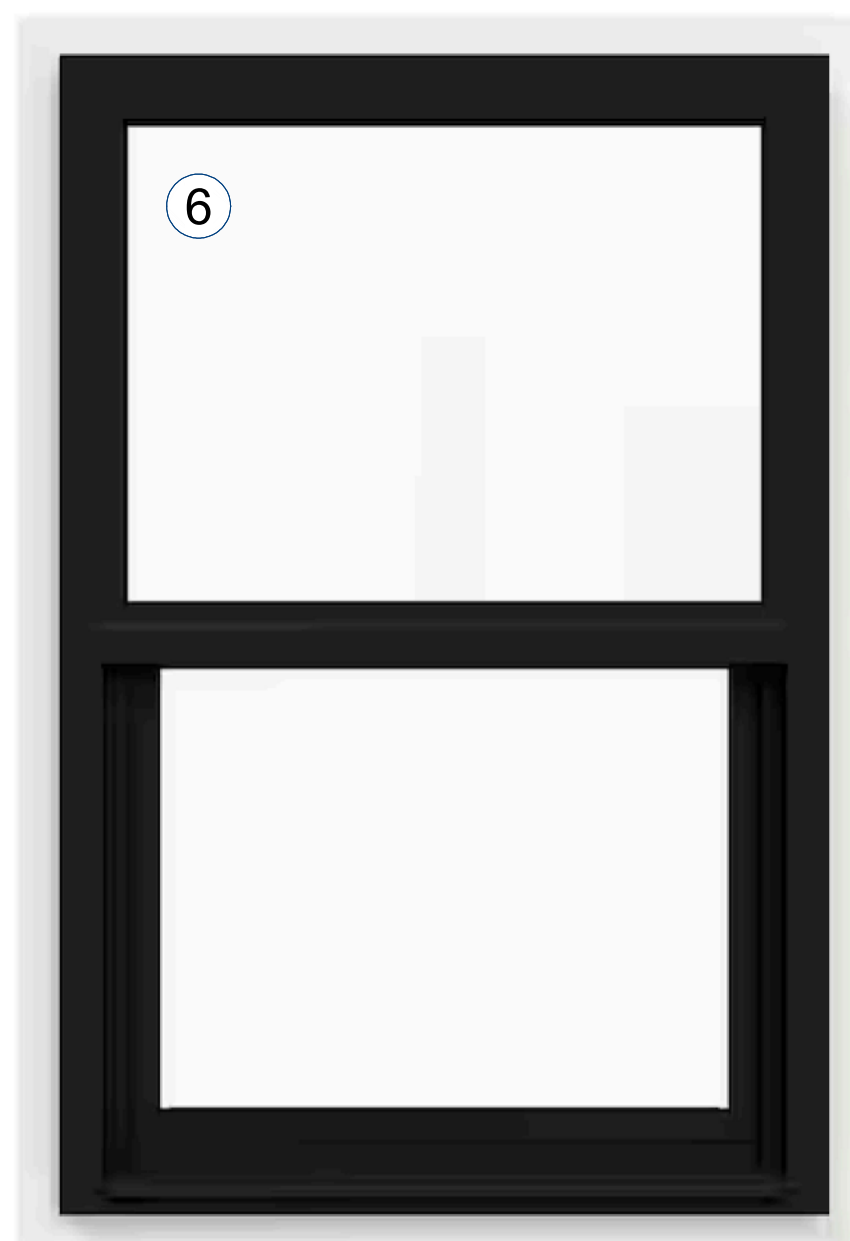
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A.6

COLOR BOARD

825 EDISON STREET MONTARA

| MATERIAL SCHEDULE | | |
|-------------------|-------------------|---|
| ① | SIDING | CEMENT FIBER - COLOR PPG 1001-6 KNIGHTS ARMOR |
| ② | ROOF FASCIA: | TRU WOOD - ENGINEERED WOOD - COLOR: PPG1001-7 BLACK MAGIC |
| ③ | ROOFING MATERIAL: | IKO - COMPOSITE - COLOR : DUAL BLACK |
| ④ | ENTRY DOOR | FIBERGLASS - COLOR: PPG1001-7 BLACK MAGIC |
| ⑤ | WINDOW | KINRO - VINYL - BLACK |
| ⑥ | GARAGE DOOR | STEEL DOOR - WAYNE DALTON - BLACK |
| 7A | DECKING | COMPOSITE - FIBERON - BUNGALOW |
| 7B | ACCENT SIDING | COMPOSITE - CONCORDIA - WARM SIENNA |
| ⑧ | SKIRTING | STACKED STONE - MSI CANYON CREEK |



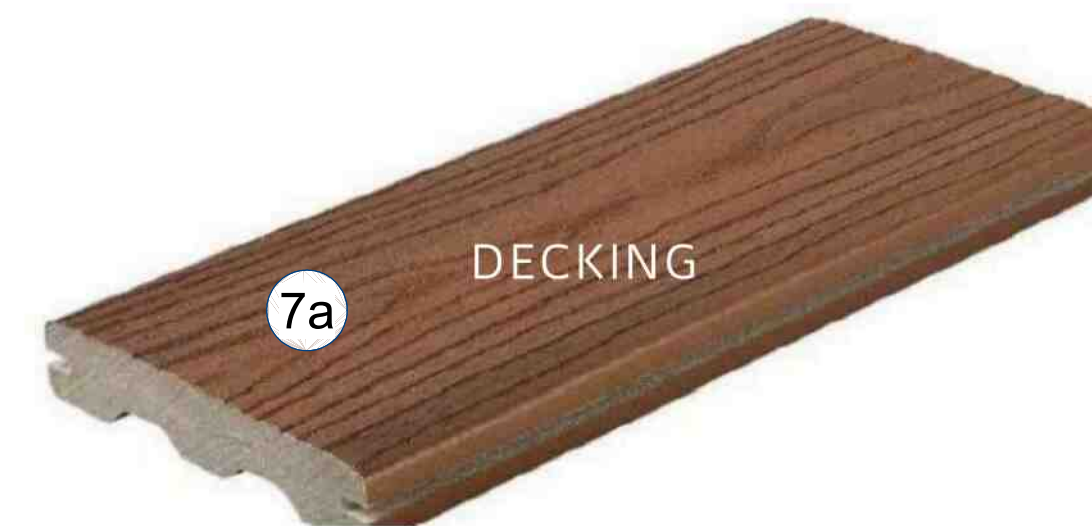
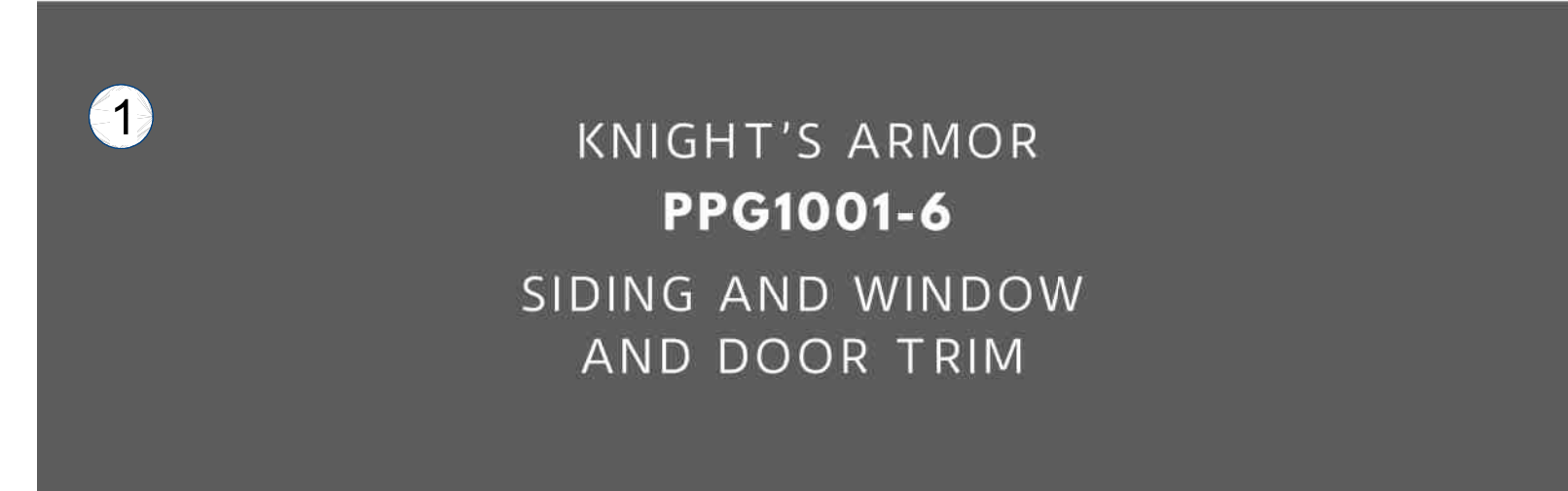
SKIRTING: STACKED STONE
MSI CANYON CREEK



SKIRTING: STACKED STONE
MSI CANYON CREEK

COLOR BOARD

825 EDISON STREET MONTARA



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P5641, P5643, P5644, P5642, P5674 & P5675 SERIES

Assembly & Installation Instructions

CAUTION: Read instructions carefully and turn electricity off at main circuit breaker panel before beginning installation.

WARNING: Follow the instructions carefully to assure full compliance with local, state, and NEC requirements. If there are any questions, contact a Qualified Electrical Contractor.

WARNING: Risk of fire or electrical shock. Install this kit only in the Recessed Cans matching the dimensions listed below.

WARNING: To prevent wiring damage or abrasion, do not expose wiring to edges of sheet metal or other sharp objects.

CAUTION: Risk of fire. Consult a Qualified Electrician to ensure correct branch circuit conductor.

NOTE: This product is designed to operate with most standard incandescent or low voltage electronic dimmer switches. Results may vary. For recommended dimmers, consult product specification sheet for more details.

NOTE: SUITABLE FOR DAMP LOCATIONS, SUITABLE FOR WET LOCATIONS WITH "TOP COVER-K" ASSEMBLED:

P5642-XX USE P860046, P5642-XX30K USE P860046, P5644 USE P860047, P5675-XX USE P860045, P5675-XX30K USE P860045.

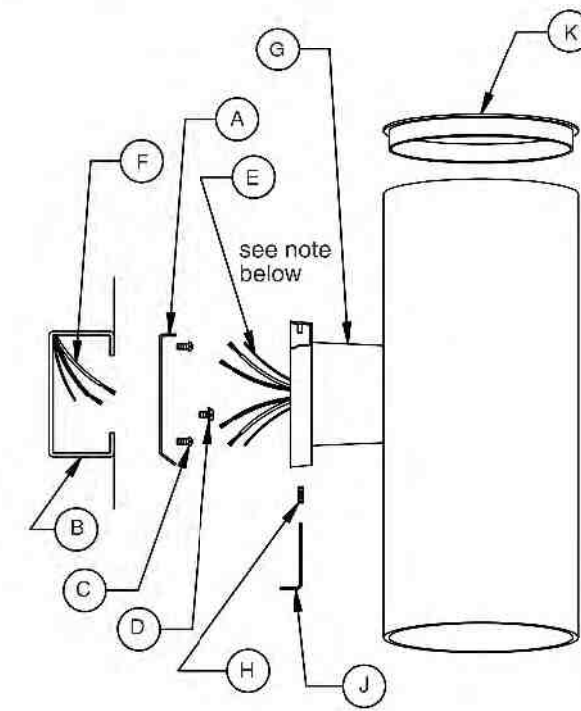
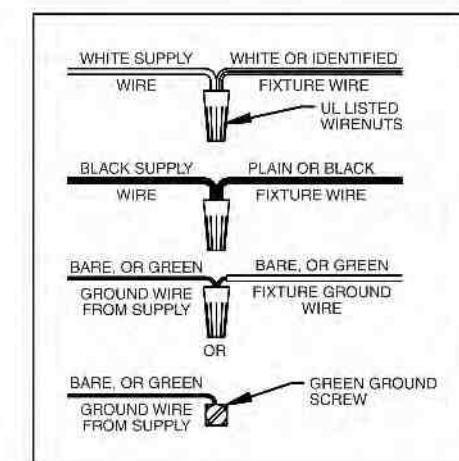
WARNING: To comply with the National Electric Code and Underwriters Laboratories requirements, the edge of the wall plate coming in contact with the mounting surface, must be sealed with a latex waterproof caulking to prevent water from entering the outlet box.

NOTE: Always install with ambient temperatures specified on the product specification sheet. 5 year warranty with product registration. See www.progresslighting.com for details.

Do not make or alter any open holes in an enclosure of wiring or electrical components during kit installation. THIS PRODUCT MUST BE INSTALLED IN ACCORDANCE WITH THE APPLICABLE INSTALLATION CODE BY A PERSON FAMILIAR WITH THE CONSTRUCTION AND OPERATION OF THE PRODUCT AND THE HAZARDS INVOLVED.

CAUTION: All glass is fragile, use care when handling glass components.

1. Fasten mounting plate (A) to outlet box (B) with mounting screws (C) from outlet box (B). Thread green ground screw (D) into mounting plate (A).
2. Connect fixture wires (E) to supply wires (F) as shown on wiring diagram.
3. Slip fixture assembly (G) over mounting plate (A) and secure in place with screw(s) (H). Use wrench (J) to tighten set screw.



NOTE: On up/down models, the wiring connections can be wired together or separated and controlled by two separate switches.

Customer Service: 1-800-447-1723

Page 1 of 3

07/09/2020

SPEC. NO. 93060814

prog_93060814_d_install, Page 1



One-Light Outdoor

Wall mounted • Wet location listed PROGRESS LED

Project: _____
Fixture Type: _____
Location: _____
Contact: _____

Description:

6" downlight wall cylinders are ideal for a wide variety of interior and exterior applications including residential and commercial. The aluminum cylinder offers a contemporary design with its sleek cylindrical form and elegant face and crisp resistant Black finish, perfect for today's inspired interiors. With over 1,300 lumens the LED Cylinder's size performance, energy savings and safety benefits.

Specifications:

- Black (31) (powder coat paint)
- Die cast and extruded aluminum construction
- Black finish
- Interior finish matches exterior finish
- Die-cast aluminum construction with durable powder-coated finish
- 1,355 lumens 46 lumens/watt
- 3000K color temperature, 90+ CRI
- Dimmable to 100% brightness (See Dimming Notes)
- Back plate covers a standard 4" octagonal recessed outlet box
- Mounting strap for outlet box included
- 8' of wire supplied
- Meets California Title 24 high efficacy requirements for outdoor use only

Performance:

| | |
|-----------------------|---|
| Number of Modules | 1 |
| Input Power | 29.6w |
| Input Voltage | 120 V |
| Input Frequency | 60 Hz |
| Lumens/LPW (Dimmable) | 866/29 (LM-79) |
| CCT | 3000 k |
| CRI | 90 CRI |
| Lfe (hours) | 60,000 (L70/TM-21) |
| FCC | FCC Title 47, Part 15, Class B |
| Min. Start Temp. | -30 °C |
| Max. Operating Temp. | 30 °C |
| Warranty | 5 year warranty |
| Labels | cCSAus Wet location listed |
| | Meets California Title 24 High efficacy requirements for outdoor use only |

P5641-31/30K

Images:



Dimensions:

Width: 6"
Depth: 8 1/8"
Height: 12"
H/CTR: 4 1/2"

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

prog_p5641-3130k_spec, Page 1



One-Light Outdoor

Wall mounted • Wet location listed PROGRESS LED

Dimming Notes:

P5641 is designed to be compatible with many ELV/Reverse Phase controls.

The following is a partial list of known compatible dimmer controls:

Dimming Controls

| |
|-------------------------|
| Leviton Diva DVCLV-300P |
| Leviton Nova NTELV-300 |
| Leviton Vies VTELV-600 |
| Leviton MAELV-600 |
| Leviton SPELV-600 |
| Leviton AWRMG-LAW |
| Leviton 6615-P |

Dimming capabilities will vary depending on the dimmer or control, load, and circuit installation. Always refer to dimmer manufacturer instructions or a control's specialist for specific requirements.

Dimmer control brand names where identified above are trade names or registered trademarks of each respective company.

For more information visit our website: www.progresslighting.com

Progress Lighting • 701 Millennium Boulevard • Greenville, SC 29607

prog_p5641-3130k_spec, Page 2

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MONTARA, CA 94037

| REVISION TABLE | |
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| DATE | REVISION BY |
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| 8-15-24 | |
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EXTERIOR LIGHT FIXTURE
SPECS

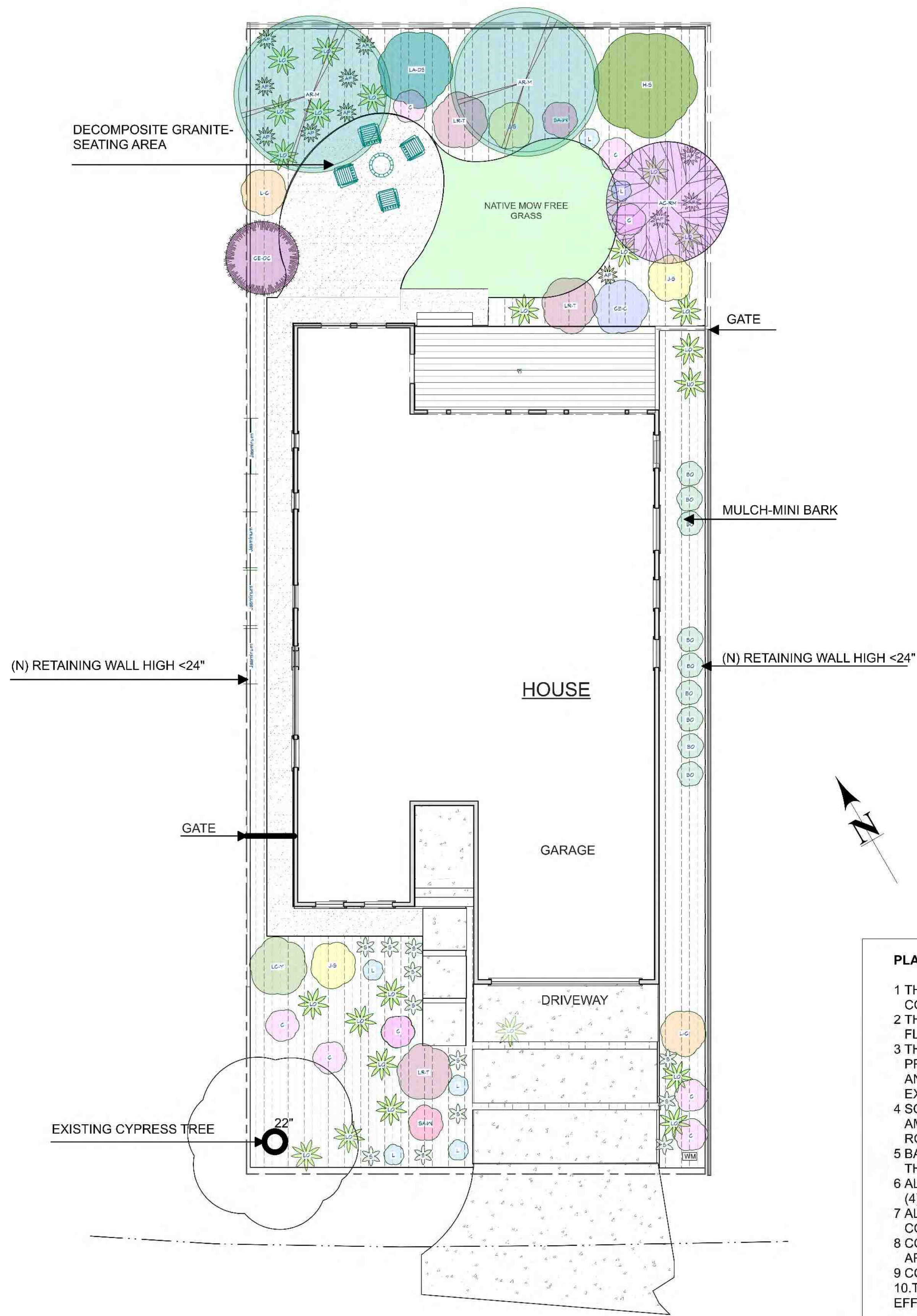
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| PLANT SCHEDULE | | | | | |
|----------------|-------|-----------------------------|---------------------------------------|-----|----------|
| ID SYMBOL | LABEL | COMMON NAMES | SCIENTIFIC NAME | QTY | IN/UGLS |
| H-S | | SWEET HAKEA | HAKEA SUAVEOLENS | 1 | LOW |
| G | | ROCK PURSLANE | GALANDRINA GRANDIFLORA | 1 | LOW |
| SA-W | | WENDY'S WISH CHIAPAS SAGE | SALVIA CHIAPENSIS 'WENDY'S WISH' | 2 | LOW |
| BO | | JAMAICA WHITE BOUGAINVILLEA | BOUGAINVILLEA 'IMPERIAL THAI DELIGHT' | 1 | LOW |
| LA-DS | | DELTA GRAPE MYRTLE | LASERSTROEMIA 'DELTA SERIES' | 1 | LOW |
| AR-M | | MARINA STRAWBERRY TREE | ARBUTUS 'MARINA' | 2 | LOW |
| JASMI-NUM | | STAR JASMINE | JASMINUM PUBESCENS | 6 | LOW |
| CE-C | | GONGHA CALIFORNIA LILAC | CEANOTHUS 'GONGHA' | 1 | LOW |
| AC-RM | | ROCKY MT. GLOW MAPLE | ACER GRA. 'ROCKY MOUNTAIN GLOW' | 1 | LOW |
| CE-OC | | WESTERN REDBUD | CERCIS OCCIDENTALIS | 1 | VERY LOW |
| S | | KLEINIA | SENEGIO MANDRALISCAE | 12 | LOW |
| AP | | MYERS ASPARAGUS | ASPARAGUS DENSIFLORUS 'MYERS' | 25 | LOW |
| LO | | SHORTY MAT RUSH | LOMANDRA CONFERTIFOLIA 'SHORTY' | 23 | LOW |
| L | | LAVENDER | LAVANDULA ANGUSTIFOLIA | 6 | LOW |

PLANTING NOTE

- 1 THE CONTRACTOR SHALL MAINTAIN A QUALIFIED SUPERVISOR ON THE SITE AT ALL TIMES DURING CONSTRUCTION THROUGH COMPLETION OF PICK-UP WORK.
- 2 THE CONTRACTOR SHALL FURNISH AND PAY FOR ALL FORMS OF PLANT MATERIALS AND SPECIFIED INSTALLATIONS, INCLUDING FLATTED GROUND COVER.
- 3 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATION AND STAKING ALL SEWER, UTILITY, AND WATER MAIN LINES PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ANY COSTS INCURRED DUE TO DAMAGE AND REPLACEMENT OF SAID UTILITIES. CALL COMMON GROUND ALLIANCE (CGA) AT 811 TO LOCATE AND MARK UTILITIES PRIOR TO EXCAVATION.
- 4 SOIL PREPARATION: GROUND COVER AND TURF AREAS SHALL BE CROSS RIPPED OR TILLED TO A DEPTH OF NINE (9) INCHES. THE AMENDMENTS SHALL BE UNIFORMLY BROADCAST PER 1,000 S.F. AND THOROUGHLY INCORPORATED TO A DEPTH OF 9" BY MEANS OF ROTOTILLER OR EQUAL.
- 5 BACKFILL FOR TREES AND SHRUBS: THE PLANTING PITS FOR TREES AND SHRUBS SHALL BE EXCAVATED TWICE THE DIAMETER AND TO THE DEPTH OF THE ROOTBALL.
- 6 ALL 5 GALLON SHRUBS SHALL RECEIVE TWO (2) 21 GRAM AGRIFORM PLANTING TABLETS. ALL 15 GALLON TREES SHALL RECEIVE FOUR (4) 21 GRAM AGRIFORM PLANTING TABLETS AND ALL BOX TREES SHALL RECEIVE EIGHT (8) 21 GRAM AGRIFORM TABLETS.
- 7 ALL SHRUB AND PERENNIAL PLANTINGS SHALL BE MULCHED TO A MINIMUM DEPTH OF 3". MULCH TO BE RECYCLED WOOD WASTE, COLOR TO BE DARK BROWN 1/4", TO 1" DIAMETER.
- 8 CONTRACTOR SHALL SPRAY ALL EXISTING WEEDS IN PLANTING AREAS PRIOR TO RIPPING AND APPLY PRE-EMERGENT TO ALL SHRUB AREAS AFTER PLANTING.
- 9 CONTRACTORS SHALL APPLY FERTILIZER AND PRE-EMERGENT END OF MAINTENANCE PERIOD.
10. THIS PLAN COMPLIES WITH THE CRITERIA OF THE CITY'S WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIES THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLAN.



| NUMBER | DATE | REVISION BY | DESCRIPTION |
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PLANTING PLAN

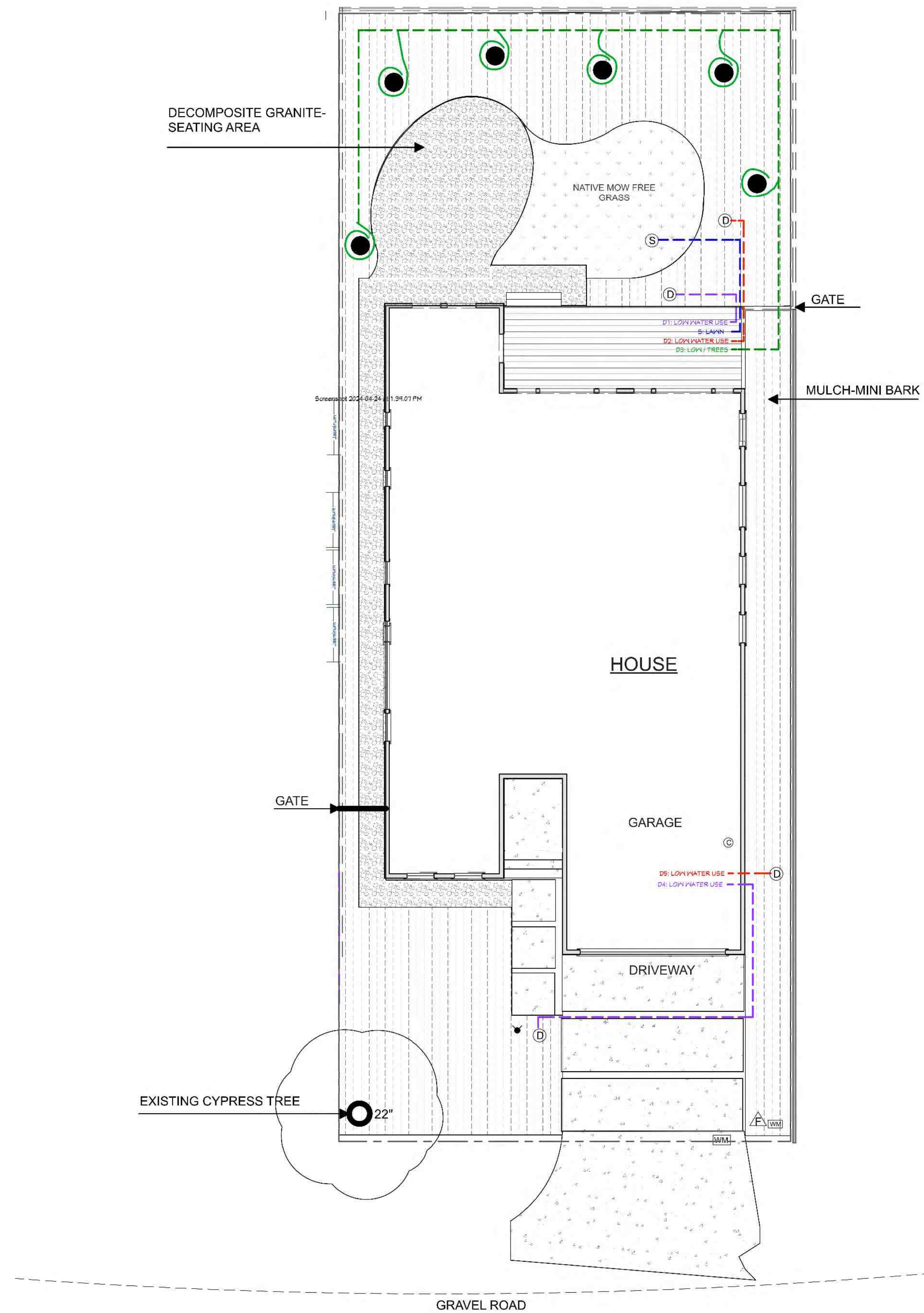
PROPERTY ADDRESS:
**825 Edison Street,
 Montara, CA**

DRAWINGS PROVIDED BY:
**OLGA STRITAR 707-623-1828
 olga@artisticgardensigns.com**

DATE:
7/24/24

SCALE: 1/6
 printing size: 24x35

SHEET:
P-1



Water Use Calculations

Reference Evapotranspiration (ET₀): 35 inches/year

Conversion Factor: 0.62

ET Adjustment Factor (ETAF): 0.55

Irrigation Efficiency (IE): 0.81

Total Irrigated Area (LA): 2,372 sq.ft.

Maximum Applied Water Allowance (MAWA)

$$MAWA = ET_0 \times 0.62 \times (ETAF \times LA)$$

$$MAWA = 35 \times 0.62 \times (0.55 \times 2372)$$

$$MAWA \approx 28,309.75 \text{ gallons per year}$$

Estimated Total Water Use (ETWU)

$$ETWU = \frac{ET_0 \times 0.20 \times LA}{IE}$$

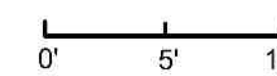
$$ETWU = \frac{35 \times 0.62 \times 0.20 \times 2372}{0.81}$$

$$ETWU \approx 12,749.91 \text{ gallons per year}$$

Irrigated Area: 2,372 sq.ft.

LEGEND

- W EXISTING WATER METER
- C CONTROLLER HUNTER
- ☼ WEATHER SENSOR
- D TRANSITION TO DRIP ZONE
- △ DRIP FLUSH OUT (NETAFIM)
- DS DOWN SPOUT
- CONCRETE- 430 sq ft
- LOW WATER USE- NATIVE MOW FREE GRASS- 312 sq ft
- DECOMPOSITE GRANITE- 605 sq ft
- MULCH-LOW WATER USE AREA- 2060 sq ft
- SMALL LOW WATER USE TREE QTY 6



| NUMBER | DATE | REVISED BY | DESCRIPTION |
|--------|------|------------|-------------|
| | | | |
| | | | |
| | | | |

IRRIGATION PLAN

PROPERTY ADDRESS:
**825 Edison Street,
 Montara, CA**

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 olga@artisticgardensigns.com**

DATE:

7/24/24

SCALE: 1/6

printing size: 24x35

SHEET: