

**ADJACENT HOMES TO 312 EL GRANADA BLVD.**



**EAST VIEW FROM THE STREET: LEFT SIDE OF PROPERTY**



**VIEW FROM THE STREET**



**NORTH-WEST VIEW: RIGHT SIDE OF PROPERTY**

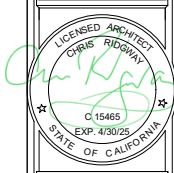


**VIEW FROM THE REAR OF THE PROPERTY**

**IMAGES OF THE EXISTING RESIDENCE AND PROPOSED A.D.U.**



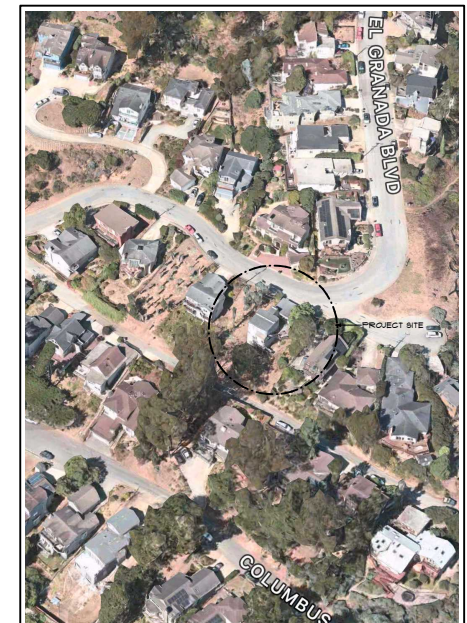
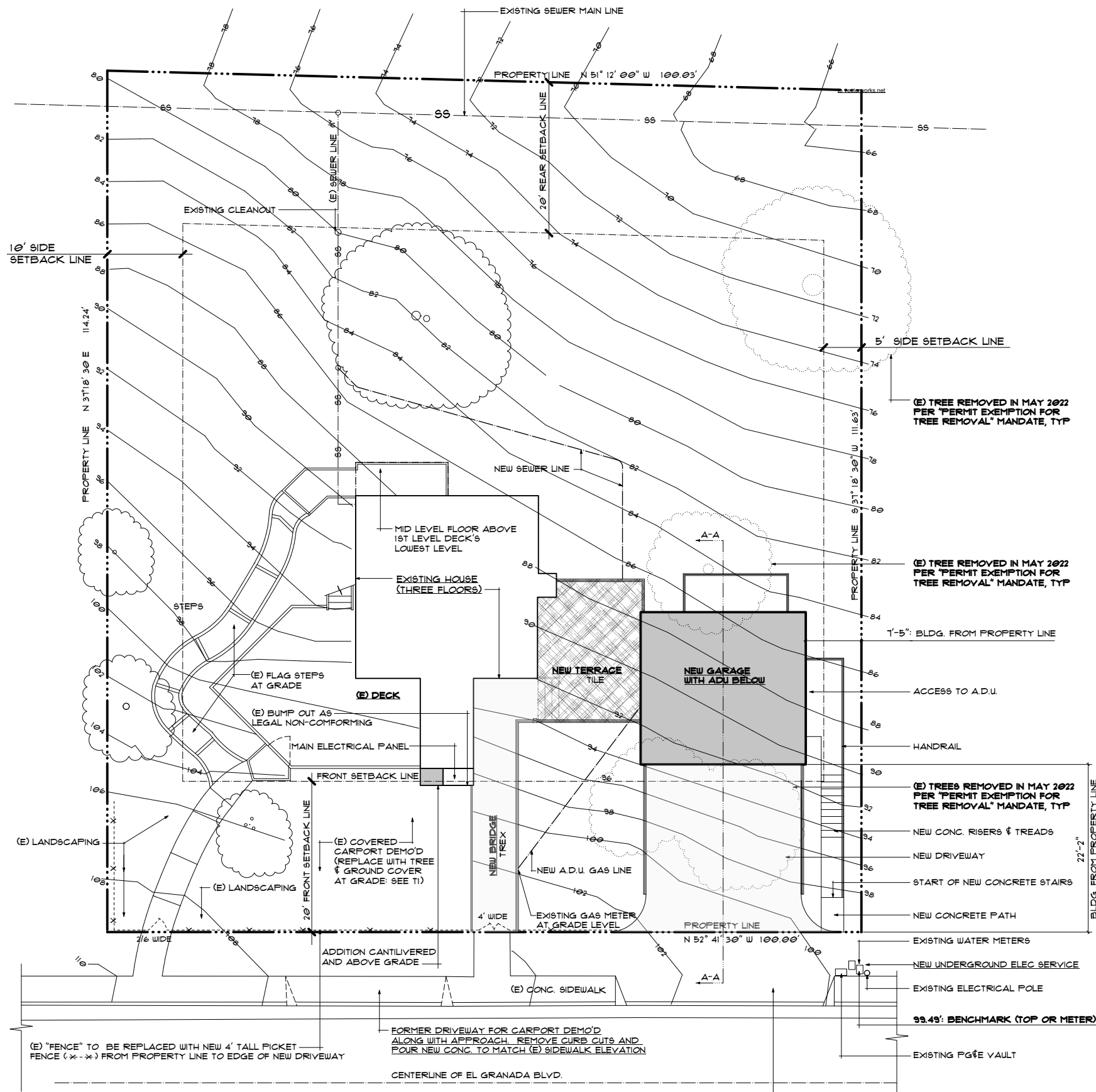
**CHRIS RIDGWAY ARCHITECT, INC.**  
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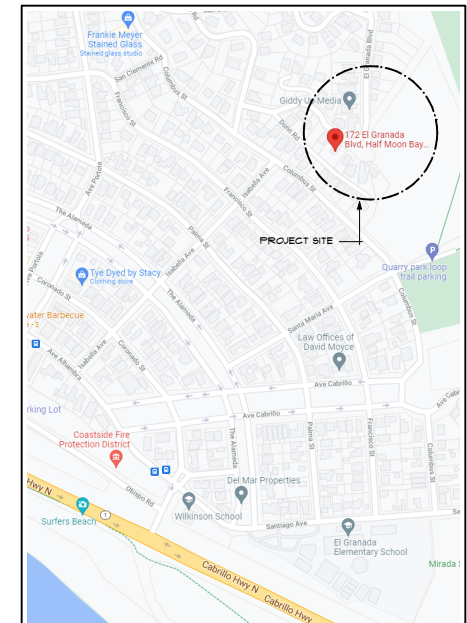
NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 172 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB #  
2005  
 SCALE  
AS NOTED  
 DATE  
10/18/23

SHEET  
**A0**



LOCATION MAP



LOCATION MAP

**LIST OF DRAWINGS**

FOR DESIGN REVIEW

A0	COVER SHEET: IMAGES / ADJ. ELEVATIONS
A1.1	SITE PLAN / LIST OF DRAWINGS / DATA
A1.2	DATA CALCULATIONS
A1.3	GENERAL NOTES
AB1	A8 BUILT FLOOR PLANS
AB2	A8 BUILT ELEVATIONS
A2.1	LOWER LEVEL PLAN - NEW A.D.U. PLAN
A2.2	MID LEVEL PLAN - EXISTING MAIN HOUSE AND NEW GARAGE
A2.3	(E) UPPER LEVEL PLAN - MID LEVEL ROOF PLAN
A3.1	ELEVATIONS
A3.2	ELEVATIONS
A4.1	SECTION A-A
E1	LOWER LEVEL ELECTRICAL PLAN - A.D.U.
E1	MID LEVEL ELECTRICAL PLAN - TERRACE & GARAGE
E1	UPPER & MID LEVEL ELECTRICAL PLAN
C01	CUT SHEET: COLOR BOARD / SIDING
C02	CUT SHEET: WINDOWS AND DOORS
C03	CUT SHEET: DECKING / CABLE RAILING
C04	CUT SHEET: DARKY SKY LIGHT / GARAGE DOOR
SU-1	SURVEY
T1	TREE PLAN
C-0	TITLE SHEET
C-2	GRADING AND UTILITY PLAN

AREA INCLUDED IN	PLANNING DEPARTMENT: COUNTY OF SAN MATEO
SITE COVERAGE	PLANNER WHO GAVE THE INFORMATION: E. ADAMS
	ZONING: R1/01/DR/CD
FLOOR AREA	A.P.N. # 047-191-410
	PERSON WHO CHECKED THE REGULATIONS: RIDGWAY
SQUARE FOOTAGE	AREA

AREA INCLUDED IN	EXISTING	NEW	TOTAL
EXISTING UPPER LEVEL	X		482
EXISTING MID-LEVEL PLAN	X	X	742
NEW MID-LEVEL PLAN		X	6
EXISTING LOWEST LEVEL	X		672
EXISTING & NEW TOTAL FLOOR AREA (MAIN HOUSE)	X		1,902

AREA INCLUDED IN	EXISTING	NEW	TOTAL
NEW A.D.U. AT LOWEST LEVEL		X	608
NEW GARAGE AT MID-LEVEL		X	443
NEW PROPOSED FLOOR AREA		X	1,051
TOTAL FLOOR AREA		X	2,953

AREA INCLUDED IN	EXISTING	NEW	TOTAL
OUR TOTAL FLOOR AREA			2,953
PERCENTAGE OF FLOOR AREA ALLOWED			53
LOT SIZE			11,294
MAXIMUM FLOOR AREA ALLOWED			5,986
SQ FT UNDER MAXIMUM ALLOWED			3,033

AREA INCLUDED IN	EXISTING	NEW	TOTAL
EXISTING DECK AT LOWEST LEVEL	X		77
EXISTING DECK AT MID LEVEL	X		404

AREA INCLUDED IN	EXISTING	NEW	TOTAL
NEW BALCONY AT LOWEST LEVEL		X	10

AREA INCLUDED IN	EXISTING	NEW	TOTAL
NEW TERRACE AT MID-LEVEL		X	253
NEW BRIDGE AT MID-LEVEL		X	190
NEW ELEVATED DRIVEWAY AT MID-LEVEL		X	325
NEW STAIRS TO A.D.U.		X	105

AREA INCLUDED IN	EXISTING	NEW	TOTAL
PROPERTY COVERAGE (NOT BLDG FOOTPRINT)		X	1,424

AREA INCLUDED IN	EXISTING	NEW	TOTAL
TOTAL SITE COVERAGE *			2,700
PERCENTAGE OF SITE COVERAGE			35%
LOT SIZE			11,294
MAXIMUM SITE COVERAGE ALLOWED			3,953
SQ FT UNDER MAXIMUM ALLOWED			1,173

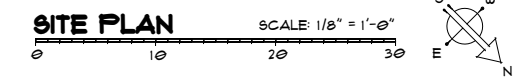
\* 625 EXISTING CARPORT DEMO'D  
SEE SHEET A1.2 FOR DATA DIAGRAM CALCULATIONS

(E) TREES THAT WERE REMOVED BEFORE JULY 1, 2022 UNDER THE "PERMIT EXEMPTION FOR TREE REMOVAL" MANDATE PER SMC'S COMMUNITY DEVELOPMENT DIRECTOR'S MANDATE ARE SHOWN HERE AS DOTTED

SEE DETAIL "X" ON SHEET D1 FOR STANDARD DRIVEWAY AND CURB OPENING DETAILS TO BE INCLUDED AND DONE DURING WORKING DRAWING PHASE

ALL CONSTRUCTION SHALL CONFORM TO:  
 2022 CALIFORNIA RESIDENTIAL CODE  
 2022 CALIFORNIA BUILDING CODE  
 2022 CALIFORNIA MECHANICAL CODE  
 2022 CALIFORNIA PLUMBING CODE  
 2022 CALIFORNIA FIRE CODE  
 2022 CALIFORNIA ELECTRICAL CODE  
 2022 CALIFORNIA ENERGY CODE  
 2022 CALIFORNIA GREEN BUILDING CODE STANDARDS

OCCUPANCY GROUP: R3  
 TYPE OF CONSTRUCTION: TYPE V-B  
 SCOPE OF WORK: NEW A.D.U. WITH GARAGE



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LICENSED ARCHITECT  
 CHRIS RIDGWAY  
 C 15465  
 EXP. 4/30/25  
 STATE OF CALIFORNIA

NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
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 SHEET A1.1

**MISC NOTES**

THE PROJECT WILL NOT REQUIRE AN AUTOMATIC FIRE SPRINKLER SYSTEM PER C.R.C. SECTION R313.2 THAT NOTES "EXISTING HOUSES WITHOUT AN AUTOMATIC RESIDENTIAL SFRINKLER SYSTEM AND ADDING AN ACCESSORY DWELLING UNIT ARE NOT REQUIRED TO PROVIDE AN AUTOMATIC RESIDENTIAL SFRINKLER SYSTEM." SENATE BILL 1069 ALSO PROVIDES 2 EXCEPTIONS: 1) "THE ACCESSORY DETACHED DWELLING UNIT DOES NOT EXCEED 1,200 SQ FT IN SIZE. 2) "THE UNIT IN ON THE SAME LOT AS THE PRIMARY RESIDENCE."

65% OF CONSTRUCTION WASTE TO BE RECYCLED OR SALVAGED AND TAKEN TO OX MOUNTAIN SANITARY LANDFILL. CHECK WITH COMPANY FOR DEBRIS BOX'S AVAILABILITY. THE ADDRESS OF THE FACILITY IS 12310 SAN MATEO RD. HALF MOON BAY, CA 94019. TEL #: 650.126.1819

CLEANOUTS IN BUILDING SEWERS SHALL BE PROVIDED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE CITY/COUNTY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT.

THE SOILS REPORT DATED SEPTEMBER 2021 GEOFORENSICS IS PART OF THIS PROJECT AND MUST BE INCLUDED IN THE PERMIT SET. CONTRACTOR TO OBTAIN REPORT FROM THE GEOTECH ENGINEER AND MUST INCORPORATE ALL ITEMS PERTAINING TO BUT NOT LIMITED TO THE SLABS ON GRADE, WALKWAYS AND PATIOS.

ALL FOAM INSULATION AND HVAC DUCTING REQUIRE HERS TESTING BY DEFAULT. NO REQUIRED ADDITIONAL HERS TESTING BEYOND WHAT IS REQUIRED AS DEFAULT.

SPECIAL INSPECTION REQUIRED FOR CONCRETE DRILLED PIERS AND CONCRETE COMPRESSIVE STRENGTH GREATER THAN 2500 PSI, EPOXY HOLDOWN ANCHORS, STRUCTURAL STEEL & WELDING AND SHEAR WALLS WITH NAILING SPACED 4" OR LESS. SEE STRUCTURAL ON SHEET S1 FOR ALL OTHER REQUIRED INSPECTIONS AND OBSERVATIONS RELATED NOTES.

SEE SHEET AI.3 FOR OTHER PERTINENT NOTES RELATING TO THE CONSTRUCTION OPERATION PLAN (C.O.P.) SEE CIVIL PLANS TOO.

THE ELECTRICAL VEHICLE (EV) CHARGING STATION IN THE PROPOSED GARAGE WILL BE A MINIMUM OF LEVEL 2. SEE ELECTRICAL PLAN (WORKING DRAWING PHASE)

ALL POTABLE WATER PIPING AND FITTINGS SHALL BE BRASS, COPPER, CAST IRON, GALVANIZED MALLEABLE IRON, GALVANIZED WROUGHT IRON OR GALVANIZED STEEL. ALL MATERIALS USED IN THE WATER SUPPLY SYSTEM, EXCEPT VALVES AND SIMILAR DEVICES SHALL BE OF LIKE MATERIAL PER SAN MATEO COUNTY BUILDING REGULATIONS SECTION #9184 UNIFORM PLUMBING CODE - MATERIALS SECTION #604.1. SEE MECHANICAL SHEETS FOR OTHER PERTINENT NOTES

SEE SHEET AI.3 FOR OTHER PERTINENT NOTES RELATING TO THE CONSTRUCTION OPERATION PLAN (C.O.P.) & CIVIL PLANS

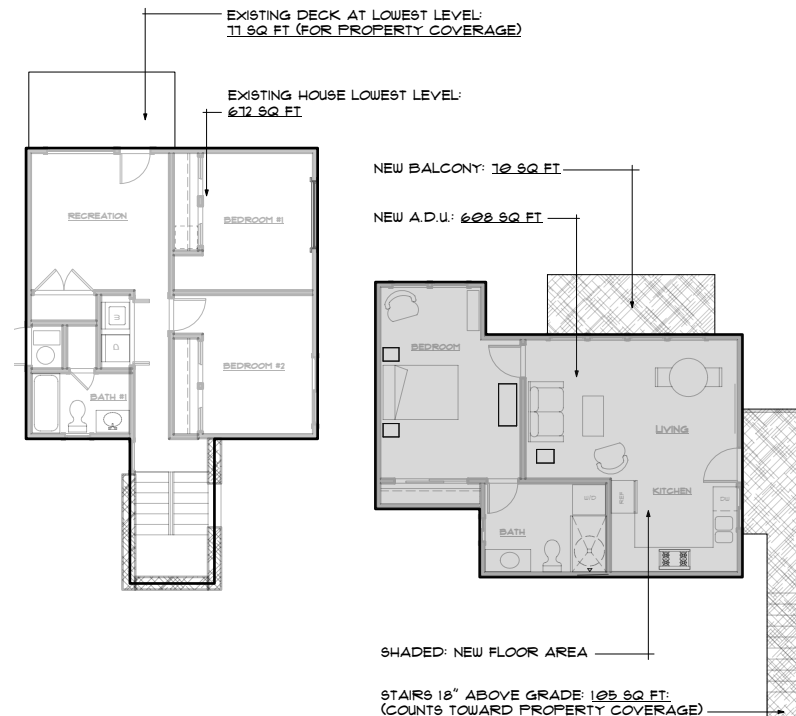
1: **PARKING AREA:** CONSTRUCTION PERSONNEL WILL PARK IN THE DRIVEWAY AREAS AND NOT IN THE STREET.

2: **SANITARY FACILITIES:** LOCATED ON THE NORTH-EAST SIDE END OF THE PROPERTY IN THE DRIVEWAY AREA.

3: **CLEAN-UP AREA:** LOCATED ON THE NORTH-EAST END OF THE PROPERTY NEXT TO THE DEBRIS BOX.

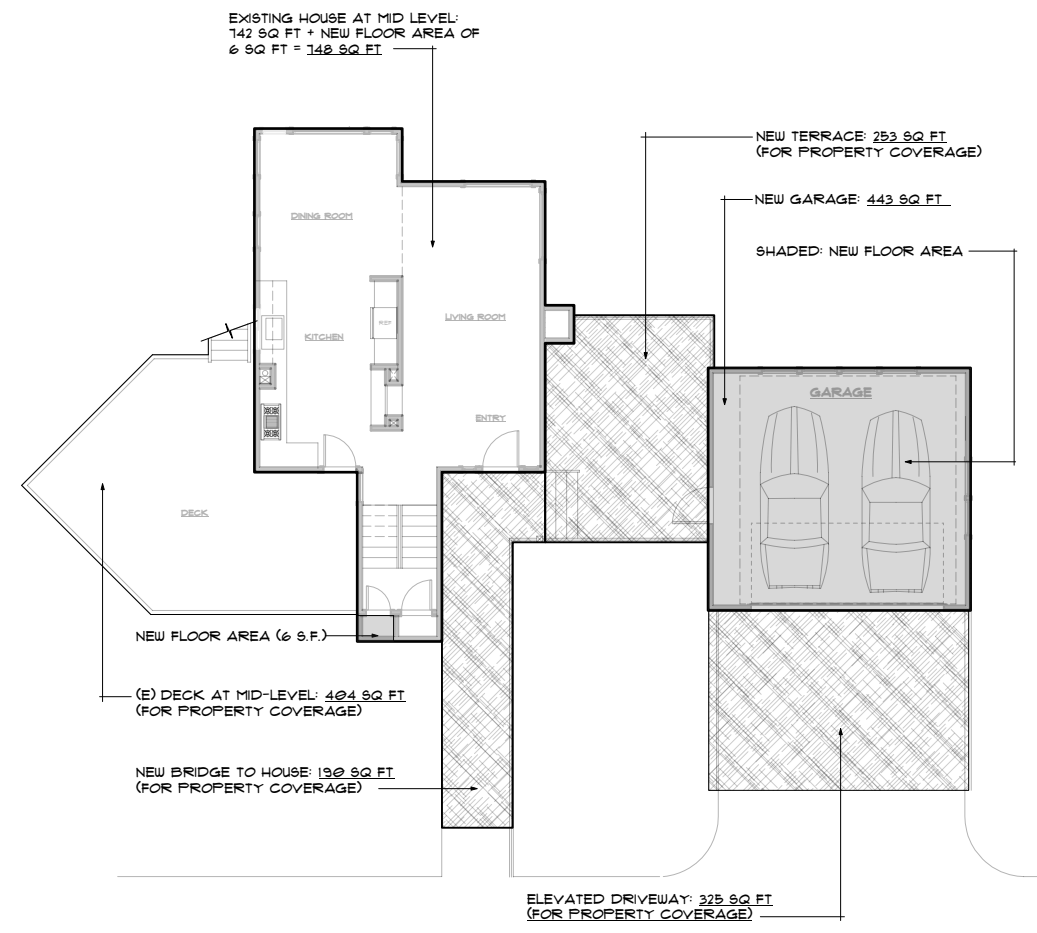
4: **CONSTRUCTION MATERIALS STORAGE:** LOCATED ON THE NORTH-EAST SIDE END OF THE PROPERTY IN THE DRIVEWAY AREA.

5: **TRUCK TRAFFIC ISSUES:** EXISTING PAVED DRIVEWAYS TO BE MAINTAINED DURING CONSTRUCTION. AN ON SITE MANAGER SHALL ENSURE THAT NO CONSTRUCTION VEHICLES SHALL IMPED THROUGH TRAFFIC ALONG THE RIGHT OF WAY ON EL GRANADA BLVD. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON SITE OUTSIDE OF THE PUBLIC RIGHT. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY.



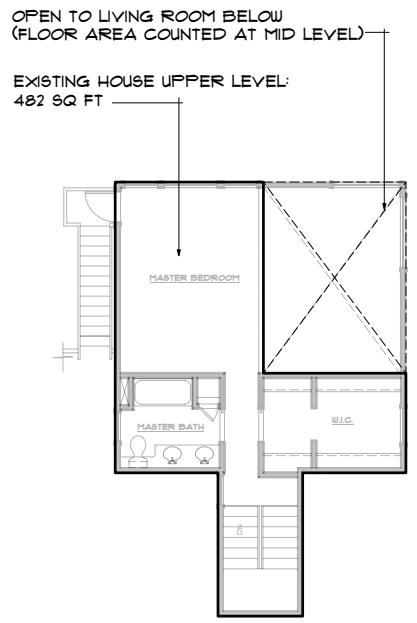
LOWEST LEVEL - ADU SQ. FT. PLAN  
SCALE 1/8" = 1'-0"

DATA CALCULATIONS

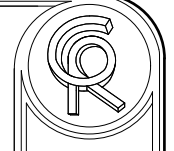


MID LEVEL PLAN SQ. FT. PLAN  
SCALE 1/8" = 1'-0"

DATA CALCULATIONS



UPPER LEVEL SQ. FT. PLAN  
SCALE 1/8" = 1'-0"



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**AI.2**

**ABBREVIATIONS**

A.B.	ANCHOR BOLT	LAV.	LAVATORY
A.B.M.	AGGREGATE BASE MATERIALS	L.H.	LEFT HAND
ACQBS.	ACQUIS.	LKR.	LOCKER
A/C	AIR CONDITIONING	L.P.	LOW POINT
A.C.	ASPHALTIC CONCRETE	L.T.	LIGHT
A.D.	ACCESS DOOR	LTUT.	LIGHTWEIGHT
ADJ.	ADJUSTABLE		
A.F.S.	AUTOMATIC FIRE SPRINKLER	MU	MICRO-WAVE
AGGR.	AGGREGATE	MED	MEDIUM
ALT.	ALTERNATE	MAX	MAXIMUM
ALUM.	ALUMINUM	M.C.	MEDICINE CABINET
AND.	AND	M.D.	MEDIUM DENSITY FIBER BD.
AP	ACCESS PANEL	MECH.	MECHANICAL
ARCH.	ARCHITECTURAL	MEMB.	MEMBRANE
ASPH.	ASPHALT	MFR.	MANUFACTURER
A.T.	ASH TRAY	M.H.	MANHOLE
∠	ANGLE	MIN.	MINIMUM
#	AT	MTD	MOUNTED
∅	AND	M.S.	MACHINE SCREW
		MTL	METAL
BD.	BOARD	MULL	MULLION
BKSP.	BACKSPLASH		
BLDG.	BUILDING	(N)	NEW
BLK.	BLOCK	N.	NORTH
BLKG.	BLOCKING	N.I.C.	NOT IN CONCRETE
BN	BEAM	NOM.	NOMINAL
B.O.J.	BOTTOM OF JOISTS	NT.	NOT TO SCALE
BOT.	BOTTOM	#	NUMBER
B.SBD.	BASEBOARD		
B.U.	BUILT-UP	O.	OVER
B.U.R.	BUILT-UP ROOF	O.B.	OBSCURE
		O.C.	ON CENTER
CABT.	CABINET	O.D.	OUTSIDE DIAMETER
C.B.	CATCH BASIN	O.F.S.	OUTER FACE OF STUD
CBQ	CURBBOARD	O.H.	OVER HEAD
CEM.	CEMENT	O.P.	OPPOSITE
CER.	CERAMIC	O.P.NG.	OPENING
C.G.	COVER GUARD	O.P.P.	OPPOSITE
C.I.	CAST IRON		
C.J.	CELING JOIST	P.A.	PUBLIC ADDRESS
CLG.	CELING	P.D.F.	POWER DRIVEN FASTENER
CLR.	CLEAR	P.G.	PAINT GRADE
C.L.O.	CLOSET	P.H.	PHILLIPS HEAD
C.M.U.	CONC. MASONRY UNIT	P.H.	PUBLIC AND HOUSE PHONE
C.NTR.	COUNTERTOP	P.I.V.	PISTON INDICATOR VALVE
COL.	COLUMN	PL.	PLATE
COMP.	COMPOSITION	PL.	PROPERTY LINE
CONC.	CONCRETE	PLAS.	PLASTER
CONST.	CONSTRUCTION	PLAS. LAM.	PLASTIC LAMINATE
CONTR.	CONTRACTOR	PLYWOOD	PLYWOOD
CO.	COOKTOP	POL.	POLISHED
CT.	COATS	PR.	PAIR
CUBT.	CUSTOMER	P.R.C.S.T.	PRECAST
CW	COLD WATER	P.S.F.	POUNDS PER SQUARE FOOT
C.O.	CLEAN OUT	P.S.I.	POUNDS PER SQUARE INCH
∅	CENTERLINE	P.S.L.	PARALLEL BEAM
		PT.	PRESSURE TREATED
D	DRYER	P.T.D.	PAPER TOWEL DISPENSER
DET.	DETAIL	PN.	PARTITION
D.S.	DARK SKY LIGHT		
D.F.	DOUGLAS FIR	R.	RISE
D/G	DUALGLAZE	R.A.	RETURN AIR
∅	DIAMETER OR ROUND	RAD.	RADIUS
DA	DIAMETER	R.C.P.	REFLECTED CEILING PLAN
DIM.	DIMENSION	R.D.	ROOF DRAIN
DISP.	GARBAGE DISPOSAL	REC.	RECESSED
DN	DOWN	REF.	REFERENCE
DEM.O.D.	DEMOLISHED	REF.	REFRIGERATOR
DR	DOOR	RENF.	REINFORCING
D.R.	DOWNSPOUT	R.E.S.T.D.	REQUIRED
D.W.	DISHWASHER	R.H.	RIGHT HAND
DWG.	DRAWING	R.H.	ROUND HEAD
		R.H.	ROUND HEAD
		R.L.	ROOF
		R.R.	ROOF RAFTER
		R.W.L.	RAIN WATER LEADER
(E)	EXISTING		
EA	EACH		
ELEV.	ELEVATION		
E.J.	EXPANSION JOINT	S.B.	SOUB BLOCKING
EQ.	EQUAL	S.C.	SOLID CORE
E.S.	EXPANSION SHIELD	S.C.D.	SEAT COVER DISPENSER
EXH.	EXHAUST	S.D.	SMOKE DETECTOR
EXT.	EXTERIOR	SECT.	SECTION
		S.G.	SAFETY GLAZE
F.A.	FIRE ALARM	SH.	SHEET
F.B.	FLAT BAR	SHR.	SHEAR
FBRGL.	FIBERGLASS	SHT.	SHEET
F.D.	FLOOR DRAIN	SHT.	SHEET
FDN.	FOUNDATION	SHT.	SHEET
F.E.	FIRE EXTINGUISHER	S.M.	SHEET METAL
F.F.	FINISH FLOOR	S.M.S.	SHEET METAL SCREWS
F.G.	FINISH GRADE	S.N.D.	SANITARY NAPKIN DISPOSAL
F.H.	FLAT HEAD CABINET	S.N.V.	SANITARY NAPKIN VENDOR
F.H.C.	FIRE HOSE CABINET	S.O.V.	SHUT OFF VALVE
FN. FLR.	FINISH FLOOR	S.P.D.	SOAP DISPENSER
F.J.	FLOOR JOIST	SPEC.S.	SPECIFICATIONS
F.LD.G.	FOLDING	SQ.	SQUARE
F.LR.	FLOOR	S.S.	SERVICE SINK
FLUR.	FLUORESCENT	STL.	STEEL
F.O.	FINISH OPENING	STD.	STANDARD
F.O.C.	FACE OF CONCRETE	STR.	STORAGE
F.O.S.	FACE OF STUD/STEEL	STRUC.	STRUCTURAL
FR	FREPLACE	S.T.S.	SELF TAPPING SCREW
F.R.P.	FIBER GLASS REINFORCED PLASTIC	ST. STL.	STAINLESS STEEL
FT.	FOOT OR FEET	SUBP.	SUBPENDED
FTG.	FOOTING	SYM.	SYMMETRICAL
		T	TREAD
GA.	GUAGE	T.B.	TOWEL BAR
GALV.	GALVANIZED	T.B.	TOP OF BOTTOM
G.B.	GREEN BOARD	T/C	TRASH COMPACTOR
G.C.	GENERAL CONTRACTOR	T.D.	TOWEL DISPENSER
G.F.I.	GROUND FAULT INTERRUPTER	T.D.L.	TRUE-DIVIDED LIGHTS
G.I.	GALVANIZED IRON	T.O.D.	TOWEL DISPENSER & DISP.
GL.	GLASS	TEL.	TELEPHONE
G.L.B.	GLULAM BEAM	TEMP.	TEMPERED GLASS
GND.	GROUND	T & G	TONGUE & GROOVE
G.S.M.	GALVANIZED SHEET METAL	THK.	THICK
G.V.	GATE VALVE	T.K.	TOE KICK
GYP BD.	GYP-SUM BOARD	T.O.C.	TOP OF CURB
		T.O.P.	TOP OF PAVEMENT
		T.O.P.L.	TOP OF PLATE
		T.O.S.	TOP OF SLAB
		T.O.STL.	TOP OF STEEL
		T.P.D.	TOILET PAPER DISPENSER
		TYP.	TYPICAL
H.B.	HOSE BIBB	U.N.	UNLESS OTHERWISE NOTED
H.C.	HOLLOW CORE	UR.	URNAL
H.CAP.	HANDICAP		
H.C.BD.	HARDBOARD	V.C.T.	VINYL COMPOSITION TILE
HCR.	HEADERS	VERT.	VERTICAL
K.P.	KICKPLATE	V.G.D.F.	VERTICAL GRAIN DOUGLAS FIR
HWD.	HARDWOOD	V.N.T.	VINYL
H.W.	HARDWARE	V.T.R.	VENTILATION THRU ROOF
H.Z.	HORIZONTAL	V.H.R.	VINYL WALL FABRIC
H.P.	HIGH POINT		
H.R.C.	HOSE REEL CABINET		
HT.	HEIGHT	W	WASHER
H.T.D.	HANDICAP TOWEL DISP.	W	WITH
H.T.G.	HEATING	W.C.	WATER CLOSET
H.W.	HOT WATER	W.D.	WOOD
		W.D.O.W.D.S.	WINDOW/WINDOWS
I.D.	INSIDE DIAMETER	W.D.R.B.D.	WONDERBOARD
INSUL.	INSULATION	W.O.	WITHOUT
INT.	INTERIOR	W.P.	WATER PROOF
INV.	INVERT	W.R.G.P.	WATER RESISTANT GYPSUM
J.B.	JUNCTION BOX	W.S.	WEATHER STRIPPING
JT.	JOIST	W.S.W.	OR WOOD SREW
		W.S.W.C.T.	WANSNOT
		WT.	WEIGHT

**MISC. SITE PLAN NOTES & CONSTRUCTION OPERATION PLAN**

**MOST OF THESE STANDARDS NOTES DON'T APPLY TO THE SCOPE OF THIS REMODEL-ADDITION. ADHERE TO ITEMS THAT ARE PERTINENT TO THIS PROJECT**

NEW ELECTRICAL TO BE UNDERGROUNDED. TIE IN NEW ELECTRICAL WITH EXISTING. SEE ELECTRICAL PLAN

CLEANOUTS IN BLDG. SEWERS SHALL BE APPROVED IN ACCORDANCE WITH THE RULES, REGULATIONS AND ORDINANCES OF THE SEWER AUTHORITY. ALL CLEANOUTS SHALL BE MAINTAINED WATERTIGHT

THE CONSTRUCTION AREA SHALL BE IDENTIFIED AND DELINEATED BY FENCING OR FLAGGING TO LIMIT CONSTRUCTION ACTIVITY TO THE CONSTRUCTION AREA

SPECIAL INSPECTION REQUIRED FOR CONCRETE FOUNDATION GREATER THAN 2,500 P.S.I., EPOXY HOLDINGS, HIGH STRENGTH BOLTS, SEISMIC RESISTANCE AND STRUCTURAL STEEL WELDING & FOR SHEAR WALL NAILING SPACED 4" OR LESS. COMPLETE AND SUBMIT A STAMPED & SIGNED SPECIAL INSPECTION FORM PRIOR TO PERMIT ISSUANCE.

AN ENCROACHMENT PERMIT FROM THE PUBLIC WORKS DEPARTMENT IS REQUIRED PRIOR TO COMMENCING ANY WORK WITHIN THE MUNICIPALITY'S RIGHT OF WAY

THE APPLICANT/CONTRACTOR SHALL ADHERE TO ALL REQUIREMENTS OF THE BLDG. INSPECTION SECTION, THE DEPT. OF PUBLIC WORKS AND THE COASTSIDE FIRE PROTECTION DISTRICT.

PRIOR TO FINAL INSPECTION, PAINT THE ADDRESS NUMBER ON THE FACE OF THE CURB NEAR THE DRIVEWAY APPROACH WITH BLACK LETTERING ON A WHITE BACKGROUND.

INCLUDE HOUSE ADDRESS NUMERALS SHALL BE A MIN. 4" IN HEIGHT AND 3/4" STROKE OF CONTRASTING COLOR TO THEIR BACKGROUND AND MUST BE LIGHTED DURING THE HOURS OF DARKNESS (SEE ELEVATION) FOR NEW CONSTRUCTION ONLY. SEE COMPLETE NOTES UNDER "FIRE PROTECTION NOTES."

COORDINATE UNDERGROUND CONSTRUCTION ACTIVITIES TO UTILIZE THE SAME JOINT TRENCH. MINIMIZE THE AMOUNT OF TIME THE DISTURBED SOIL IS EXPOSED. THE SOIL IS TO BE REPLACED USING ACCEPTED COMPACTION METHODS.

STOCKPILE AND PROTECT DISPLACED TOPSOIL FOR REUSE.

GENERAL CONTRACTOR (G.C.) TO VERIFY UTILITIES ARE MAINTAINED IN SAFE CONDITION AT TIMES OR REMOVE FROM SITE.

G.C. TO VERIFY ALL HAZARDOUS MATERIALS HAVE BEEN REMOVED.

G.C. TO VERIFY THAT THE WATER LINE THE BUILDING HAS BEEN CUT OFF AT THE PROPERTY LINE AND A HOSE BIB WITH A VACUUM BREAKER TYPE BACKFLOW PREVENTION DEVICE IS PROVIDED FOR DUST CONTROL.

IF THERE IS NO CONSTRUCTION TRAILER USED FOR THIS PROJECT, THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT BE LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE DEBRIS BIN TO BE LOCATED SOMEWHERE ON THE SITE (SEE A1.4) DEBRIS TO BE HAULED OFF-SITE TO AS NECESSARY. THE APPLICANT/CONTRACTOR SHALL MONITOR THE SITE TO ENSURE THAT TRASH IS PICKED UP AND APPROPRIATELY DISPOSED DAILY.

THE APPLICANT/CONTRACTOR SHALL REMOVE ALL CONSTRUCTION EQUIPMENT FROM THE SITE UPON COMPLETION OF THE USE AND/OR NEED OF EACH PIECE OF EQUIPMENT WHICH SHALL INCLUDE BUT NOT LIMITED TO TRACTORS, BACK HOES, CEMENT MIXERS, ETC.

THE APPLICANT/CONTRACTOR SHALL ENSURE THAT NO CONSTRUCTION-RELATED VEHICLES SHALL IMPEDE THROUGH TRAFFIC ALONG THE RIGHT-OF-WAY ON 3RD AVE. ALL CONSTRUCTION VEHICLES SHALL BE PARKED ON-SITE OUTSIDE OF THE PUBLIC RIGHT OF WAY OR IN LOCATIONS WHICH DO NOT IMPEDE SAFE ACCESS ON 3RD AVE. THERE SHALL BE NO STORAGE OF CONSTRUCTION VEHICLES IN THE PUBLIC RIGHT OF WAY. NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL, UNTIL A BUILDING PERMIT HAS BEEN ISSUED AND THEN ONLY THOSE TREES APPROVED FOR REMOVAL SHALL BE REMOVED.

NOISE LEVELS PRODUCED BY THE PROPOSED CONSTRUCTION ACTIVITY SHALL NOT EXCEED THE 60DBAS LEVEL AT ANY ONE MOMENT. CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE HOURS FROM 7:00 A.M. TO 6 P.M., MONDAY THROUGH FRIDAY AND 9:00 A.M. TO 5:00 P.M. ON SATURDAY. CONSTRUCTION OPERATIONS SHALL BE PROHIBITED ON SUNDAY AND ANY NATIONAL HOLIDAY.

WATER SHALL BE AVAILABLE ON SITE FOR DUST CONTROL DURING ALL GRADING OPERATIONS

SURFACE RUNOFF FROM ALL IMPERVIOUS SURFACES SHALL BE DIRECTED TO THE EXISTING LANDSCAPED AREA

IT IS THE INTENT OF THESE DRAWINGS TO PROVIDE POSITIVE DRAINAGE IN ALL PAVED AND LANDSCAPE AREAS. CONTRACTOR TO PROVIDE INTENT

RAINWATER LEADERS (DOWNSPOUTS) TO DRAIN TO SPLASH BLOCKS

MAINTAIN 6" MINIMUM CLEARANCE FROM SOIL TO BOTTOM OF SIDING. (6" FROM GILL).

DRAIN WATER AWAY FROM THE BUILDING. MAKE CERTAIN THAT ALL WATER DRAINS AND THERE IS NO PONDING.

NO PROPOSED CONSTRUCTION WORK WITHIN THE COUNTY RIGHT OF WAY SHALL BEGIN UNTIL THE COUNTY REQUIREMENTS FOR THE ISSUANCE OF AN ENCROACHMENT PERMIT, INCLUDING REVIEW OF THE PLANS HAVE BEEN MET AND AN ENCROACHMENT PERMIT ISSUED. THE APPLICANT/CONTRACTOR SHALL CONTACT THE DEPT. OF PUBLIC WORKS INSPECTOR 48 HOURS PRIOR TO COMMENCING WORK IN THE RIGHT OF WAY.

PRIOR TO THE ISSUANCE OF THE BUILDING PERMIT, THE APPLICANT MAY BE REQUIRED TO PROVIDE PAYMENT OF ROADWAY MITIGATION FEES\* BASED ON THE SQUARE FOOTAGE (ASSESSABLE SPACE) OF THE PROPOSED BUILDING PER ORDINANCE NO. 3271.

THE APPLICANT SHALL SUBMIT A PERMANENT STORMWATER MANAGEMENT PLAN IN COMPLIANCE WITH THE COUNTY'S DRAINAGE POLICY AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) REQUIREMENT FOR REVIEW AND APPROVAL BY THE DEPARTMENT OF PUBLIC WORKS.

SCHEDULE WORK SO AS NOT TO INTERFERE UNDULY WITH THE NORMAL HOUSEHOLD OPERATIONS.

NO SITE DISTURBANCES SHALL OCCUR, INCLUDING ANY GRADING OR TREE REMOVAL UNTIL A BUILDING PERMIT HAS BEEN ISSUED.

**FIRE PROTECTION NOTES**

**MAJORITY OF THESE STANDARDS NOTES DON'T APPLY TO THE SCOPE OF THIS REMODEL-ADDITION. PLEASE SEE N/A TO EACH ITEM.**

1: **N/A PER CRC SECTION R312.2:** AN APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM MEETING THE REQUIREMENTS OF NFPA-13D MUST BE SUBMITTED AS A SEPARATE PERMIT. AS PER SMC CODE BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-01, THE APPLICANT/OWNER AND HIS CONSTRUCTION TEAM WILL INSTALL THE AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD OR A METAL UPRIGHT. SPRINKLER COVERAGE SHALL BE PROVIDED THROUGHOUT THE RESIDENCE TO INCLUDE ALL BATHROOMS, GARAGES AND ANY AREA USED FOR STORAGE. THE ONLY EXCEPTION IS SMALL CLOSETS LESS THAN 24 SQUARE FEET WITH A FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SMC PLANNING AND BUILDING DIVISION OR THE CITY OF HMB. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. CONTRACTOR INSTALLING SYSTEM MUST HAVE A C/16 LICENSE.

2: **SMOKE DETECTORS ARE HARDWIRED:** AS PER CHAPTER R314 OF THE 2019 CRC, STATE FIRE MARSHALL REGULATIONS AND COASTSIDE FIRE DISTRICT ORDINANCE # 2019-01, THE APPLICANT IS REQUIRED TO INSTALL STATE FIRE MARSHALL APPROVED AND LISTED SMOKE DETECTORS WHICH ARE HARDWIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. THESE DETECTORS ARE REQUIRED TO BE PLACED IN EACH NEW ROOM AND RECONDITIONED SLEEPING ROOM AND AT A POINT CENTRALLY LOCATED IN THE CORRIDOR OR AREA GIVING ACCESS TO EACH SEPARATE SLEEPING AREA. IN EXISTING SLEEPING ROOMS, AREAS MAY HAVE BATTERY POWERED SMOKE ALARMS. A MINIMUM OF ONE DETECTOR SHALL BE PLACED ON EACH FLOOR. SMOKE DETECTORS SHALL BE TESTED AND APPROVED PRIOR TO THE BUILDING FINAL DATE OF INSTALLATION MUST BE ADDED TO EXTERIOR OF THE SMOKE ALARM AND WILL BE CHECKED AT FINAL.

3: **SMOKE/CARBON MONOXIDE DETECTORS:** TO BE HARDWIRED, INTERCONNECTED OR WITH BATTERY BACKUP. DETECTORS ARE TO BE INSTALLED PER MANUFACTURER'S INSTRUCTION AND NFPA 72.

4: **ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, 5'0" SQ. FT. ALLOWED AT GRADE. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION SHALL BE 24 INCHES. THE NET CLEAR OPENABLE WIDTH DIMENSION SHALL BE 20 INCHES. BOTTOM OF WINDOW PANEL SHALL BE NOT MORE THAN 44 INCHES ABOVE THE FINISHED FLOOR.**

4A: **IDENTIFY RESCUE/ESCAPE WINDOWS IN EACH BEDROOM AND VERIFY THAT THEY MEET ALL REQUIREMENTS PER CRC R310.2**

5: **N/A: OCCUPANCY SEPARATION:** ATTACHED GARAGE TO MEET OCCUPANCY SEPARATION REQUIREMENTS PER CRC R320.6. A ONE-HOUR OCCUPANCY SEPARATION WALL SHALL BE INSTALLED WITH A SOLID CORE, 20-MINUTE FIRE RATED, SELF CLOSING DOOR ASSEMBLY WITH SMOKE GASKET BETWEEN THE GARAGE AND THE RESIDENCE. ALL ELECTRICAL BOXES INSTALLED IN RATED WALLS SHALL BE METAL OR PROTECTED.

6: **ADDRESS NUMBERS:** AS PER COASTSIDE FIRE DISTRICT NO. 2019-03, BUILDING IDENTIFICATION SHALL BE CONSPICUOUSLY POSTED & VISIBLE FROM THE STREET. (TEMP. ADDRESS #S SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). THE LETTERS/NUMERALS FOR PERMANENT ADDRESS SIGNS SHALL BE 4 INCHES IN HEIGHT WITH A MINIMUM 1/2-INCH STROKE. SUCH LETTERS/NUMERALS SHALL BE INTERNALLY ILLUMINATED & FACING THE DIRECTION OF ACCESS. FINISHED HEIGHT OF BOTTOM OF ADDRESS LIGHT UNIT SHALL BE GREATER THAN OR EQUAL TO 6 FEET FROM THE FINISHED GRADE WHEN THE BUILDING IS SERVED BY A LONG DRIVEWAY OR IS OTHERWISE OBSCURED, A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 91 OR EQUIVALENT SHALL BE PLACED AT THE ENTRANCE FROM THE NEAREST PUBLIC ROADWAY. SEE FIRE ORDINANCE FOR STANDARD SIGN.

6A: **NEW RESIDENTIAL ADDRESS NUMBERS:** BUILDINGS SHALL HAVE INTERNALLY ILLUMINATED ADDRESS NUMBERS CONTRASTING WITH THE BACKGROUND SO AS TO BE SEEN FROM THE PUBLIC WAY FRONTING THE BUILDING. RESIDENTIAL ADDRESS NUMBERS SHALL BE AT LEAST 6 FEET ABOVE THE FINISHED SURFACE OF THE DRIVEWAY. WHERE BUILDINGS ARE LOCATED REMOTELY TO THE PUBLIC ROADWAY, ADDITIONAL SIGNAGE AT THE DRIVEWAY/ROADWAY ENTRANCE LEADING TO THE BUILDING AND/OR ON EACH INDIVIDUAL BUILDING SHALL BE REQUIRED BY THE COASTSIDE FIRE PROTECTION DISTRICT. THIS REMOTE SIGNAGE SHALL CONSIST OF A 6-INCH BY 18-INCH GREEN REFLECTIVE METAL SIGN WITH 3-INCH REFLECTIVE NUMBERS/LETTERS SIMILAR TO HY-KO 91 OR EQUIVALENT. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE)

7: **ROOF COVERING:** AS PER COASTSIDE FIRE DISTRICT ORDINANCE # 2019-01, THE ROOF COVERING OF EVERY NEW BUILDING AND MATERIALS APPLIED AS PART OF A ROOF COVERING ASSEMBLY, SHALL HAVE A MINIMUM FIRE RATING OF CLASS "B" OR HIGHER AS DEFINED IN THE CURRENT EDITION OF THE CALIFORNIA RESIDENTIAL CODE.

8: **N/A: AUTOMATIC FIRE SPRINKLER SYSTEM:** AS PER SAN MATEO COUNTY BUILDING STANDARDS AND COASTSIDE FIRE DISTRICT ORDINANCE NUMBER 2019-03, THE APPLICANT IS REQUIRED TO INSTALL AN AUTOMATIC FIRE SPRINKLER SYSTEM THROUGHOUT THE PROPOSED OR IMPROVED DWELLING AND GARAGE. ALL ATTIC ACCESS LOCATIONS WILL BE PROVIDED WITH A PILOT HEAD ON A METAL UPRIGHT. ALL AREAS THAT ARE ACCESSIBLE FOR STORAGE PURPOSES SHALL BE EQUIPPED WITH FIRE SPRINKLERS INCLUDING CLOSETS AND BATHROOMS. THE ONLY EXCEPTION IS SMALL LINEN CLOSETS LESS THAN 24 SQUARE FEET WITH FULL DEPTH SHELVING. THE PLANS FOR THIS SYSTEM MUST BE SUBMITTED TO THE SAN MATEO COUNTY PLANNING AND BUILDING DIVISION. A BUILDING PERMIT WILL NOT BE ISSUED UNTIL PLANS ARE RECEIVED, REVIEWED AND APPROVED. UPON SUBMISSION OF PLANS, THE COUNTY OR CITY WILL FORWARD A COMPLETE SET TO THE COASTSIDE FIRE DISTRICT FOR REVIEW. THE FEE SCHEDULE FOR AUTOMATIC FIRE SPRINKLER SYSTEMS SHALL BE IN ACCORDANCE WITH COASTSIDE FIRE PROTECTION DISTRICT.

9: **N/A: INSTALLATION OF UNDERGROUND SPRINKLER PIPE SHALL BE FLUSHED AND VISUALLY INSPECTED BY FIRE DISTRICT PRIOR TO HOOK-UP TO RISER. ANY SOLDERED FITTINGS MUST BE PRESSURE TESTED WITH TRENCH OPEN. PLEASE CALL COASTSIDE FIRE DISTRICT TO SCHEDULE AN INSPECTION. FEES SHALL BE PAID PRIOR TO PLAN REVIEW.**

10: **N/A: EXTERIOR BELL AND INTERIOR HORN/STROBE:** REQUIRED TO BE WIRED INTO THE REQUIRED FLOW SWITCH ON YOUR FIRE SPRINKLER SYSTEM. THE BELL, HORN/STROBE AND FLOW SWITCH, ALONG WITH THE GARAGE DOOR OPENER ARE TO BE WIRED INTO A SEPARATE CIRCUIT BREAKER AT THE MAIN ELECTRICAL PANEL AND LABELED.

12: **N/A: FIRE ACCESS ROADS:** THE APPLICANT MUST HAVE A MAINTAINED ASPHALT SURFACE ROAD FOR INGRESS AND EGRESS OF FIRE APPARATUS. THE SMC DEPARTMENT PUBLIC WORKS, THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01 AND THE CALIFORNIA FIRE CODE SHALL SET ROAD STANDARDS. AS PER THE 2019 CFC, DEAD END ROADS EXCEEDING 150 FEET SHALL BE PROVIDED WITH A TURNAROUND IN ACCORDANCE WITH COASTSIDE FIRE DISTRICT SPECIFICATIONS. AS PER THE 2019 CFC, SECTION APPENDIX D, ROAD WIDTH SHALL NOT BE LESS THAN 20 FEET. FIRE ACCESS ROADS SHALL BE INSTALLED AND MADE SERVICEABLE PRIOR TO COMBUSTIBLES BEING PLACED ON THE PROJECT SITE AND MAINTAINED DURING CONSTRUCTION. APPROVED SIGNS AND PAINTED CURBS OR LINES SHALL BE PROVIDED AND MAINTAINED TO IDENTIFY FIRE ACCESS ROADS AND STATE THE PROHIBITION OF THEIR OBSTRUCTION. IF THE ROAD WIDTH DOES NOT ALLOW PARKING ON THE STREET (20 FOOT ROAD) AND ON-STREET PARKING IS DESIRED, AN ADDITIONAL IMPROVED AREA SHALL BE DEVELOPED FOR THAT USE.

13: **N/A: FIRE APPARATUS ROADS TO BE A MINIMUM OF 20 FEET WIDE WITH A MINIMUM OF 35 FEET CENTERLINE RADIUS AND A VERTICAL CLEARANCE OF 15 FEET CFC 503, D103, T-14 1213**

FIRE APPARATUS ACCESS ROADS TO BE AN APPROVED ALL WEATHER SURFACE. GRADES 15% OR GREATER TO BE SURFACED WITH ASPHALT, OR BRUSHED CONCRETE. GRADES 15% OR GREATER SHALL BE LIMITED TO 150 FEET IN LENGTH WITH A MINIMUM OF 500 FEET BETWEEN THE NEXT SECTION. FOR ROADS APPROVED LESS THAN 20 FEET, 20 FEET WIDE TURNOUTS SHALL BE ON EACH SIDE OF 15% OR GREATER SECTION. (PLAN AND PROFILE REQUIRED CFC 503)

14: **N/A: "NO PARKING - FIRE LANE" SIGNS SHALL BE PROVIDED ON BOTH SIDES OF ROADS 20 TO 26 FEET WIDE AND ON ONE SIDE OF ROADS 26 TO 32 FEET WIDE. CFC D103.6. COASTSIDE FIRE DISTRICT ORDINANCE #2019-01 SECTION 503.3.1 REQUIRES THE POSTING OF SIGNS EVERY 15 FEET OF TRAVEL ON BOTH SIDES OF THE ROADWAY STATING "NO PARKING FIRE LANE CVC 22509.1"**

14A: **N/A: DEAD END EMERGENCY ACCESS EXCEEDING 150 FEET SHALL BE PROVIDED WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE APPENDIX D.**

14B: **N/A: A PLAN AND PROFILE OF THE DRIVEWAY/ROADWAY IS DONE BY THE CIVIL ENGINEER. SEE FIRM'S DESIGN AND PLANS**

15: **N/A: FIRE HYDRANT:** AS PER 2019 CFC, APPENDIX B AND C, A FIRE DISTRICT APPROVED FIRE HYDRANT (CLOW 360) MUST BE LOCATED WITHIN 500 FEET OF THE PROPOSED SINGLE-FAMILY DWELLING UNIT MEASURED BY WAY OF DRIVABLE ACCESS. AS PER 2019 CFC, APPENDIX B, THE HYDRANT/STANDPIPE MUST PRODUCE A MINIMUM FIRE FLOW OF 500 GALLONS PER MINUTE AT 20 POUNDS PER SQUARE INCH RESIDUAL PRESSURE FOR 2 HOURS. CONTACT THE LOCAL WATER PURVEYOR FOR WATER FLOW DETAILS. (THE APPLICANT SHALL PROVIDE DOCUMENTATION INCLUDING HYDRANT LOCATION, MAIN SIZE AND FIRE FLOW REPORT AT THE BUILDING PERMIT APPLICATION STAGE. INSPECTION REQUIRED PRIOR TO THE FIRE'S FINAL APPROVAL OF THE BUILDING PERMIT OR BEFORE COMBUSTIBLES ARE BROUGHT ON SITE).

16: **N/A: THE REQUIRED FIRE FLOW SHALL BE AVAILABLE FROM A COUNTY STANDARD WET BARREL FIRE HYDRANT. THE CONFIGURATION OF THE HYDRANT SHALL HAVE A MINIMUM OF ONE EACH 4 1/2" OUTLET AND ONE EACH 2 1/2" OUTLET LOCATED NOT MORE THAN 250 FEET FROM THE BUILDING MEASURED BY WAY OF APPROVED DRIVABLE ACCESS TO THE PROJECT SITE.**

17: **N/A: CONTACT THE FIRE MARSHALL'S OFFICE TO SCHEDULE A FINAL INSPECTION PRIOR TO OCCUPANCY AND FINAL INSPECTION BY A BUILDING INSPECTOR. ALLOW FOR A MINIMUM OF 12 HOURS NOTICE TO THE FIRE DEPARTMENT**

A: **N/A: VEGETATION MANAGEMENT (V.M.):** THE COASTSIDE FIRE DISTRICT ORDINANCE 2019-01, THE 2019 CALIFORNIA FIRE CODE 304.1.2 AND PUBLIC RESOURCES CODE 4291. A FUEL BREAK OF DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE IN SRA (STATE RESPONSIBLE AREA) THE FUEL BREAK IS 100 FEET OR TO THE PROPERTY LINE.

B: **TREES LOCATED WITHIN THE DEFENSIBLE SPACE SHALL BE PRUNED TO REMOVE DEAD AND DYING PORTIONS, AND LIMBED UP 6 TO 10 FEET ABOVE THE GROUND. NEW TREES PLANTED IN THE DEFENSIBLE SPACE SHALL BE LOCATED NO CLOSER THAN 10 FEET TO ADJACENT TREES WHEN FULLY GROWN OR AT MATURITY.**

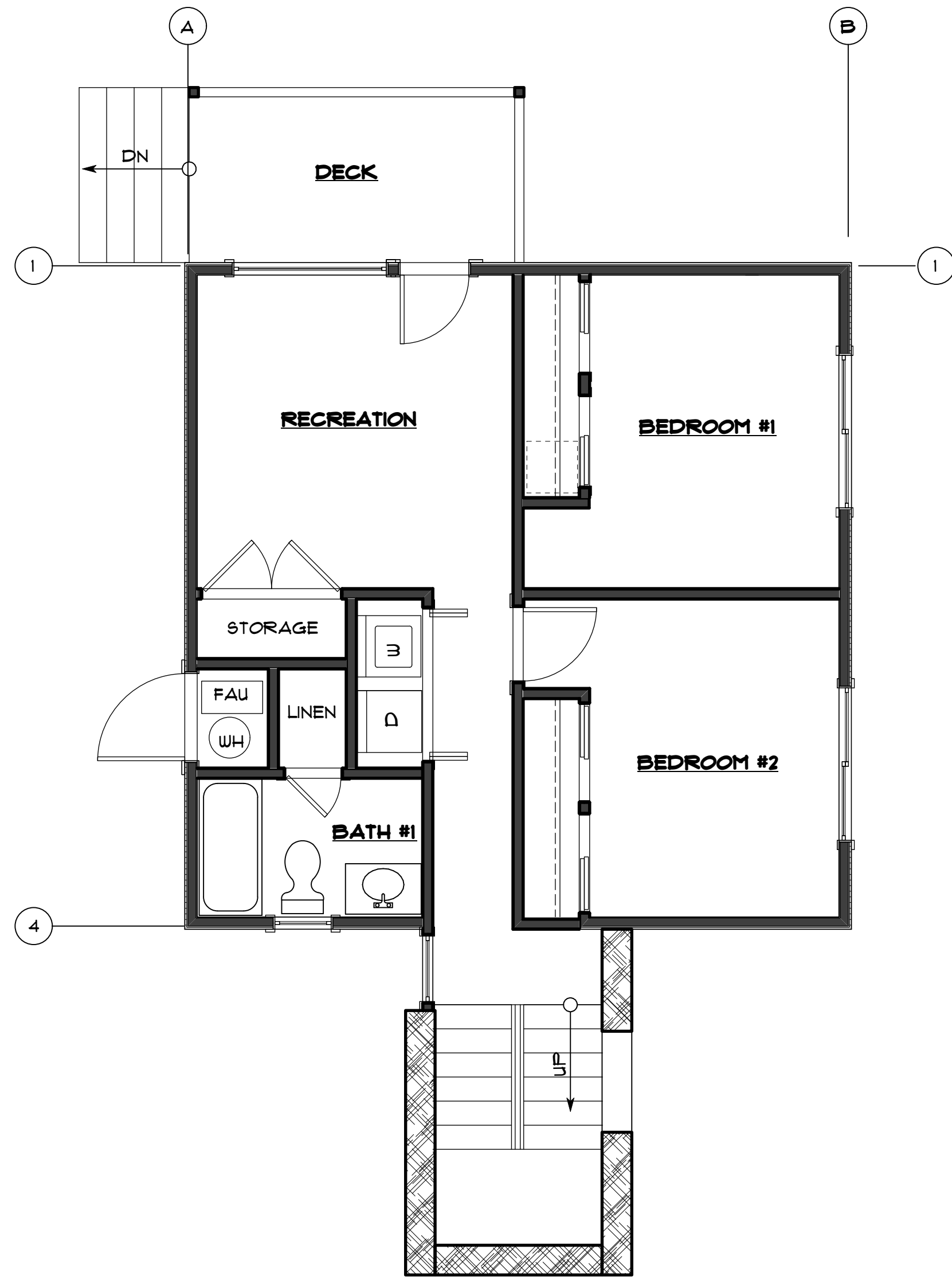
C: **REMOVE THAT PORTION OF ANY EXISTING TREE, WHICH EXTENDS WITHIN 10 FEET OF THE OUTLET OF A CHIMNEY OR STOVEPIPE OR IS WITHIN 5 FEET OF ANY STRUCTURE. MAINTAIN ANY TREE ADJACENT TO OR OVERHANGING A BUILDING FREE OF DEAD OR DYING WOOD**

D: **N/A: THE INSTALLATION OF AN APPROVED SPARK ARRESTER IS REQUIRED ON ALL CHIMNEYS - EXISTING AND NEW. SPARK ARRESTERS SHALL BE CONSTRUCTED OF WOVEN OR WELDED WIRE SCREENING OF 12-GAUGE USA STANDARD WIRE HAVING OPENINGS NOT EXCEEDING 1/2".**

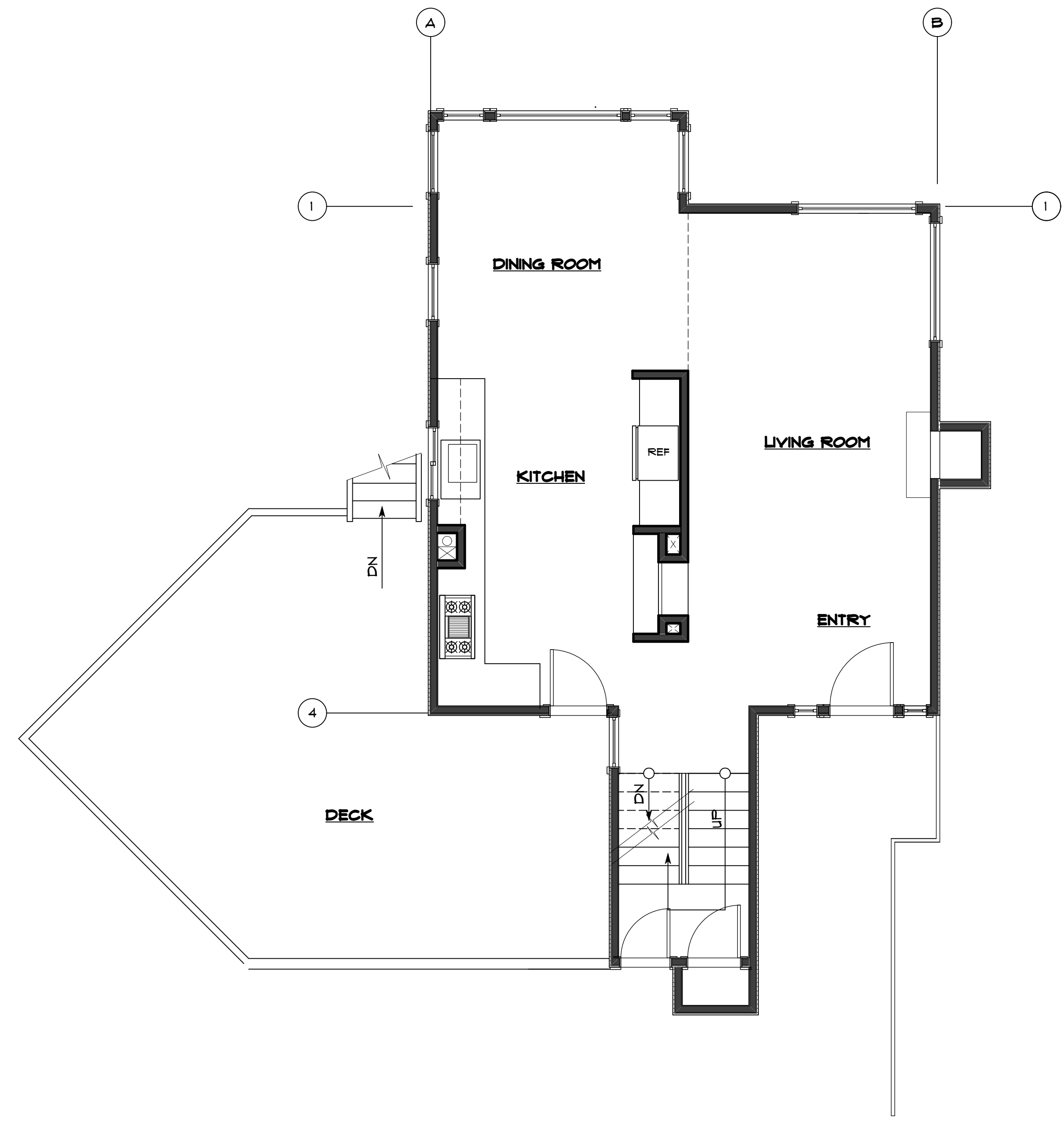
E: **A FUEL BREAK OR DEFENSIBLE SPACE IS REQUIRED AROUND THE PERIMETER OF ALL STRUCTURES, EXISTING AND NEW, TO A DISTANCE OF NOT LESS THAN 30 FEET AND MAY BE REQUIRED TO A DISTANCE OF 100 FEET OR TO THE PROPERTY LINE. THIS IS NEITHER A REQUIREMENT NOR AN AUTHORIZATION FOR THE REMOVAL OF LIVING TREES.**



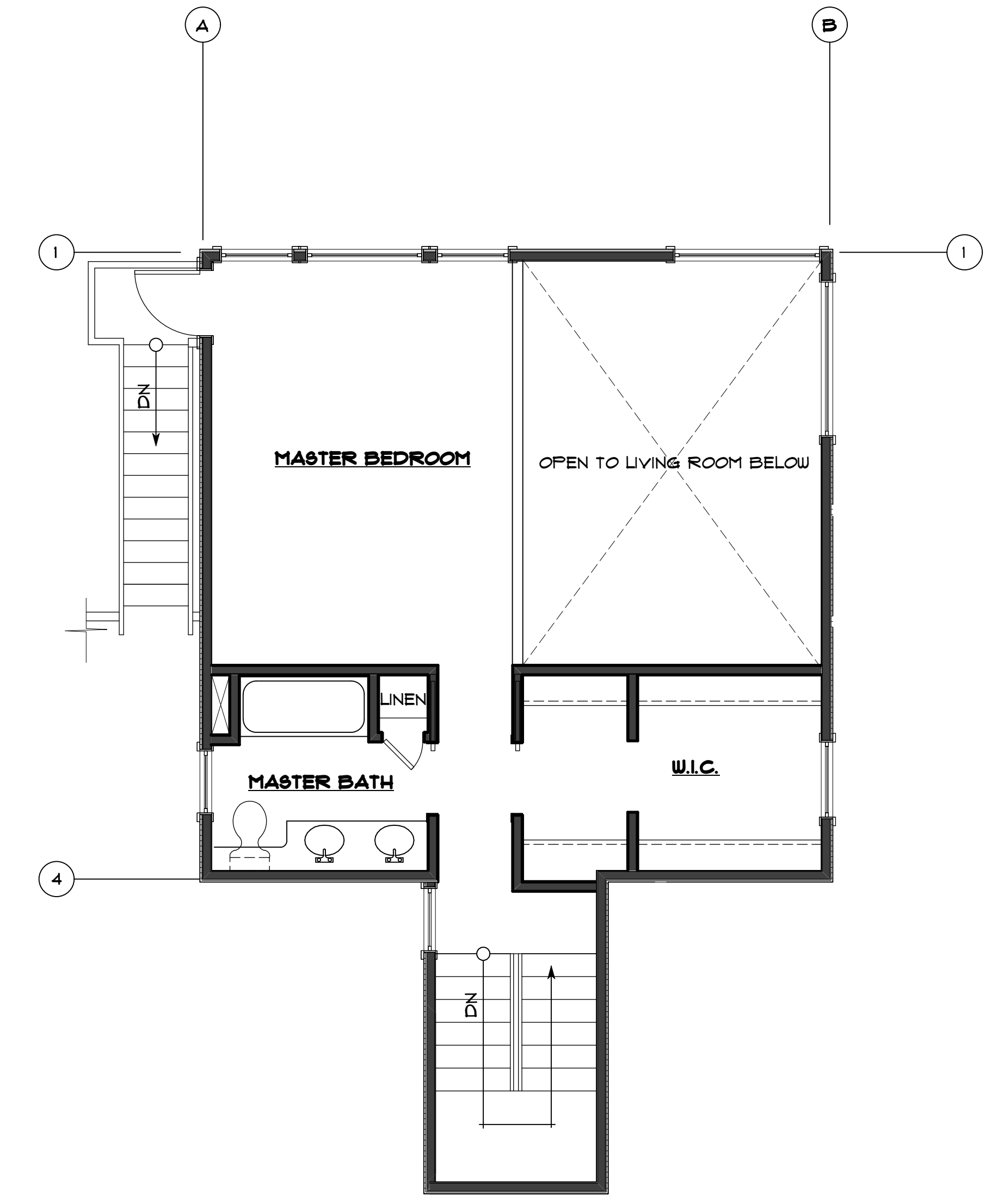
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 670 POPLAR STREET, HALF MOON BAY, CA. 94019  
 PH: 650.622.6301 • 650.15



**ASBUILT: LOWEST LEVEL** SCALE: 1/4" = 1'-0"

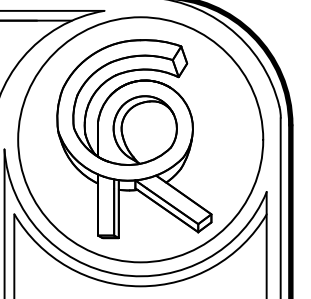


**ASBUILT: MID LEVEL** SCALE: 1/4" = 1'-0"

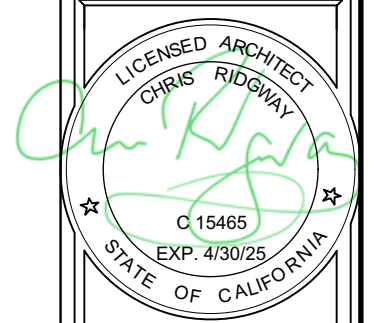


**ASBUILT: UPPER LEVEL** SCALE: 1/4" = 1'-0"

**AS-BUILT FLOOR PLANS**



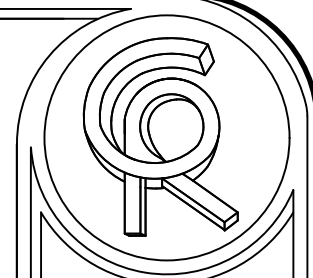
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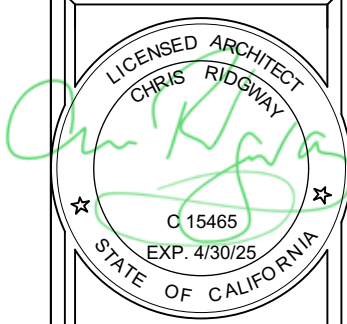
NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 112 EL GRANADA BLVD., EL GRANADA CA 94019

JOB #  
2025  
 SCALE  
AS NOTED  
 DATE  
10/18/23

SHEET  
**AB1**



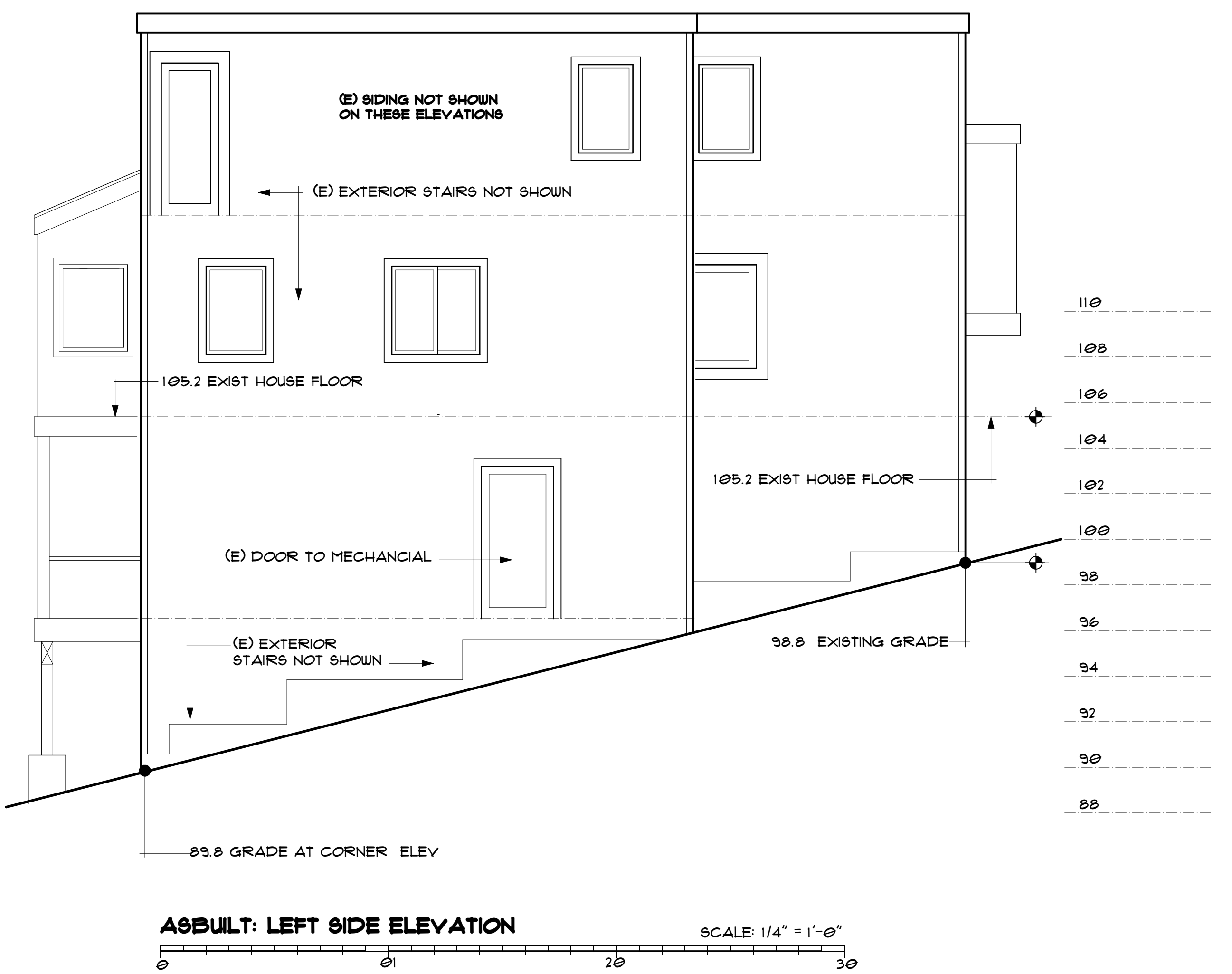
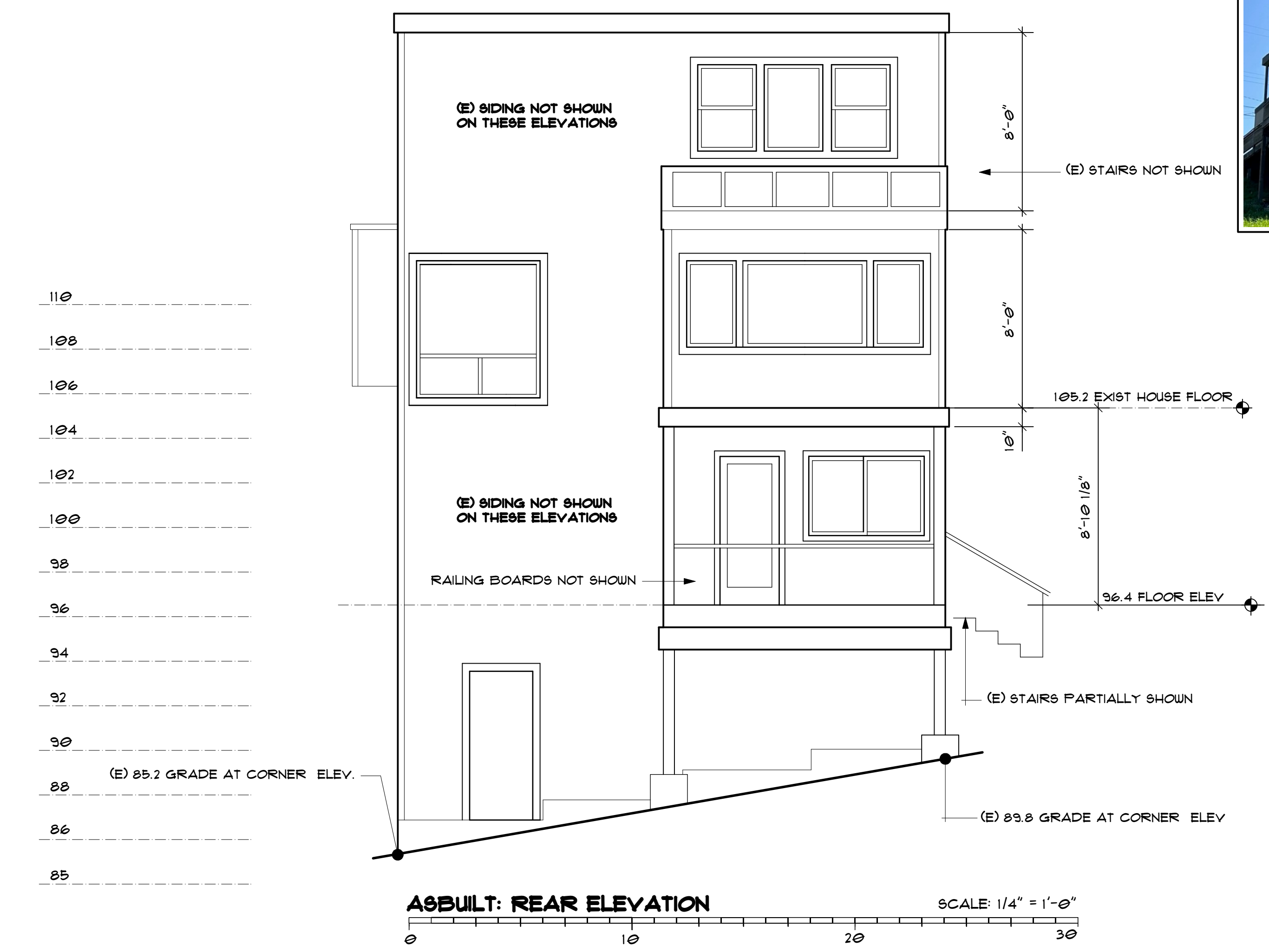
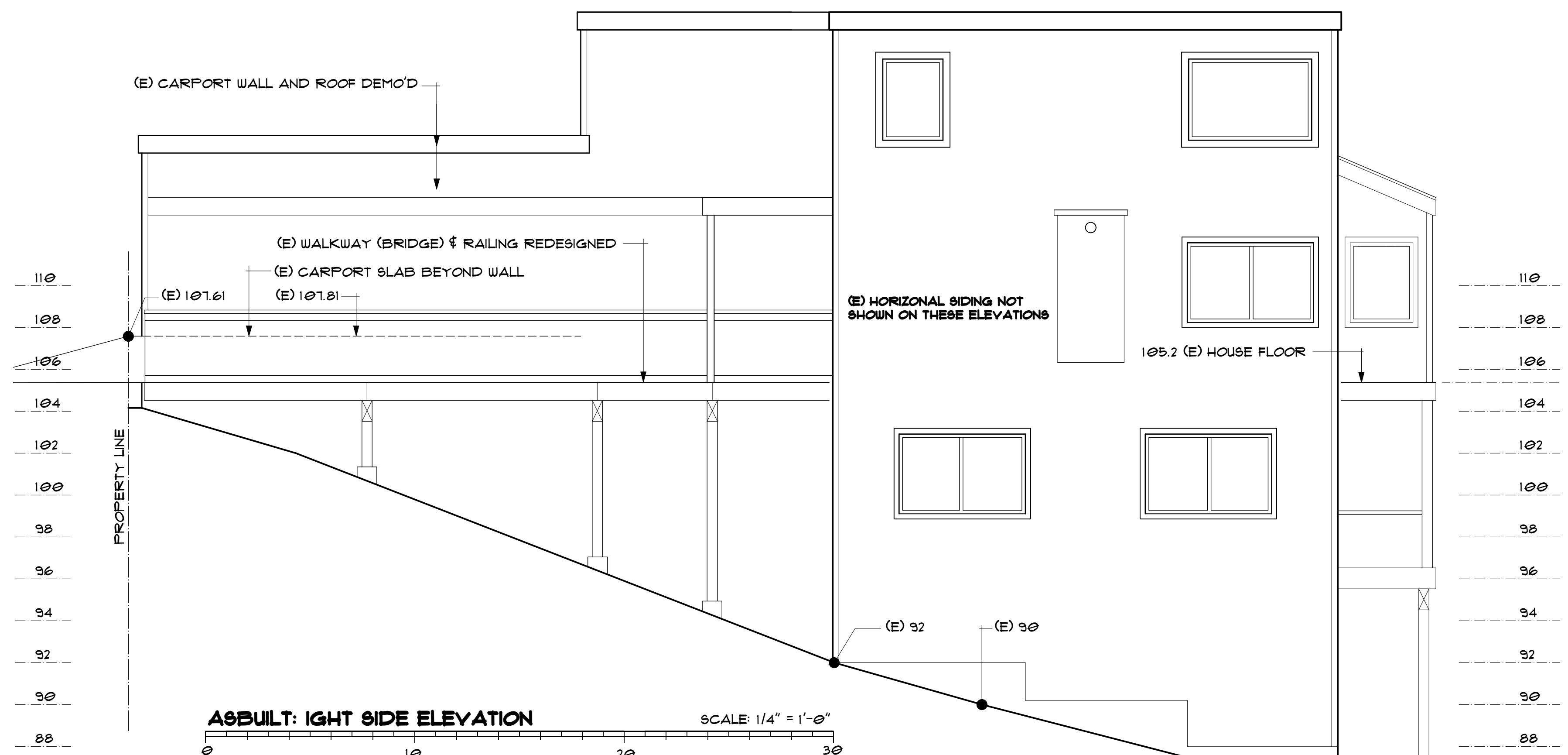
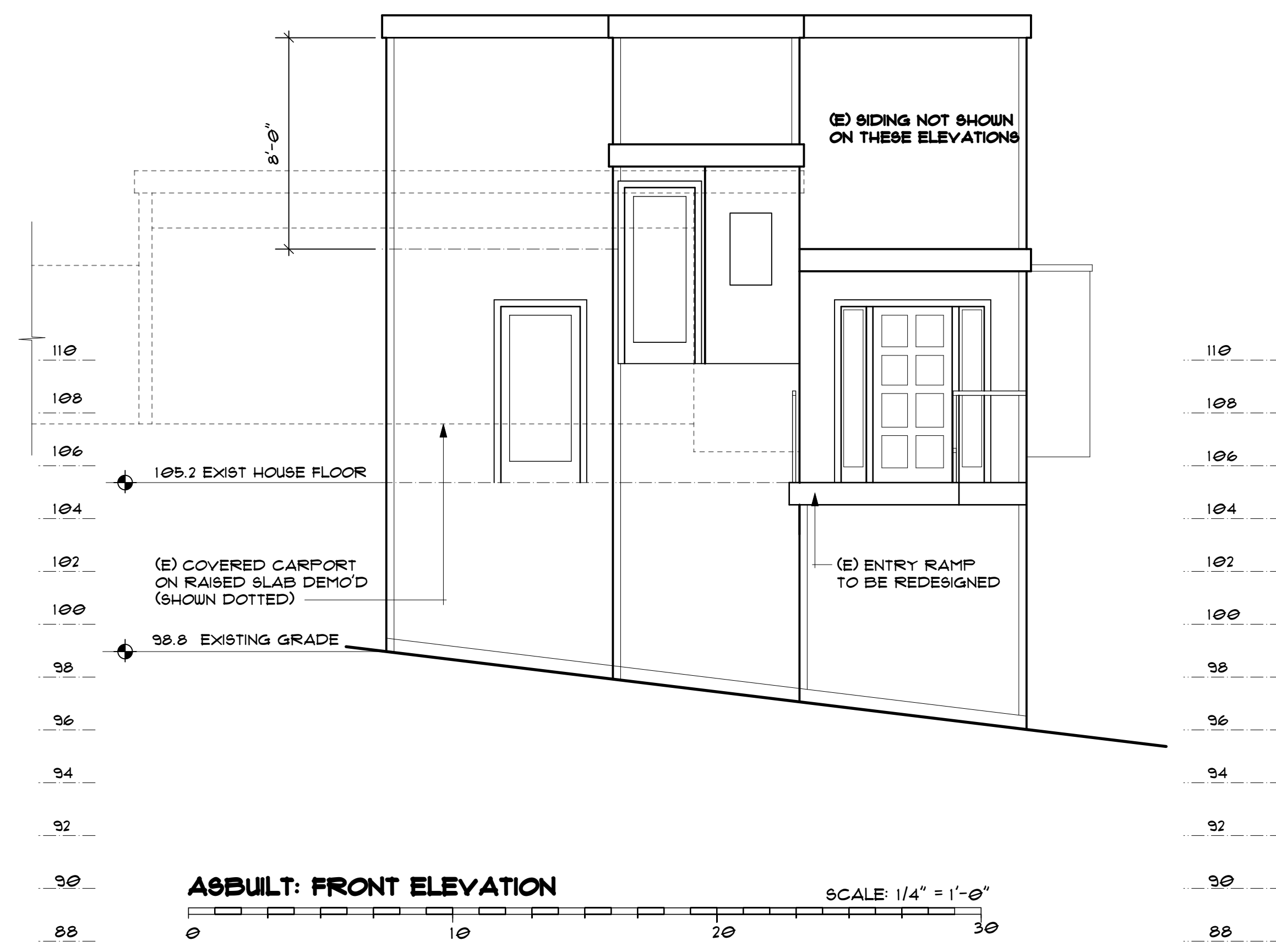
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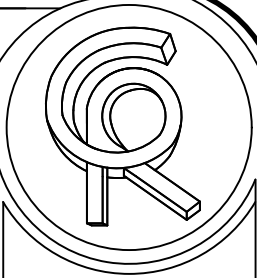


NEW ADU & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 172 EL GRANADA BLVD, HMB, CA 94019

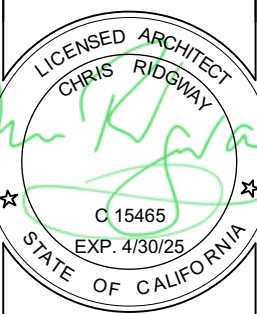
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2005  
 SCALE  
AS NOTED  
 DATE  
10/18/23

SHEET  
**AB2**





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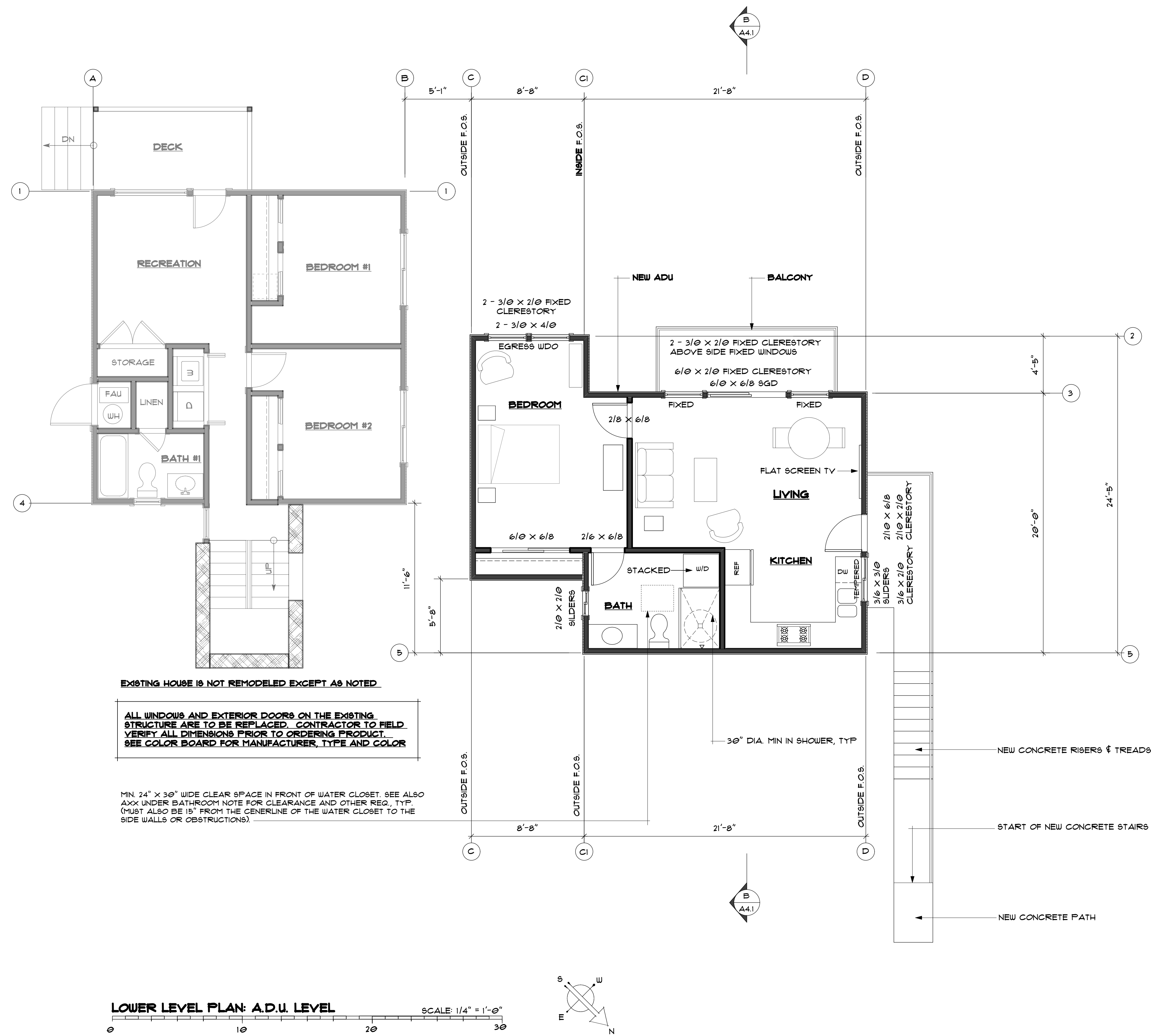
NEW A.D.U. & GARAGE FOR:  
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2005

SCALE  
AS NOTED

DATE  
10/18/23

SHEET  
**A2.1**

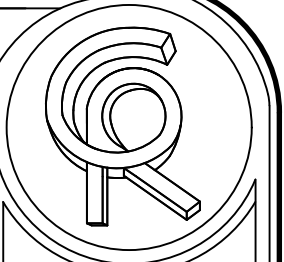


**EXISTING HOUSE IS NOT REMODELED EXCEPT AS NOTED.**

**ALL WINDOWS AND EXTERIOR DOORS ON THE EXISTING STRUCTURE ARE TO BE REPLACED. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING PRODUCT. SEE COLOR BOARD FOR MANUFACTURER, TYPE AND COLOR.**

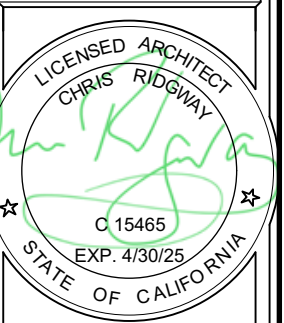
MIN. 24" X 30" WIDE CLEAR SPACE IN FRONT OF WATER CLOSET. SEE ALSO AXx UNDER BATHROOM NOTE FOR CLEARANCE AND OTHER REQ., TYP. (MUST ALSO BE 15" FROM THE CENTERLINE OF THE WATER CLOSET TO THE SIDE WALLS OR OBSTRUCTIONS).

**LOWER LEVEL PLAN: A.D.U. LEVEL** SCALE: 1/4" = 1'-0"



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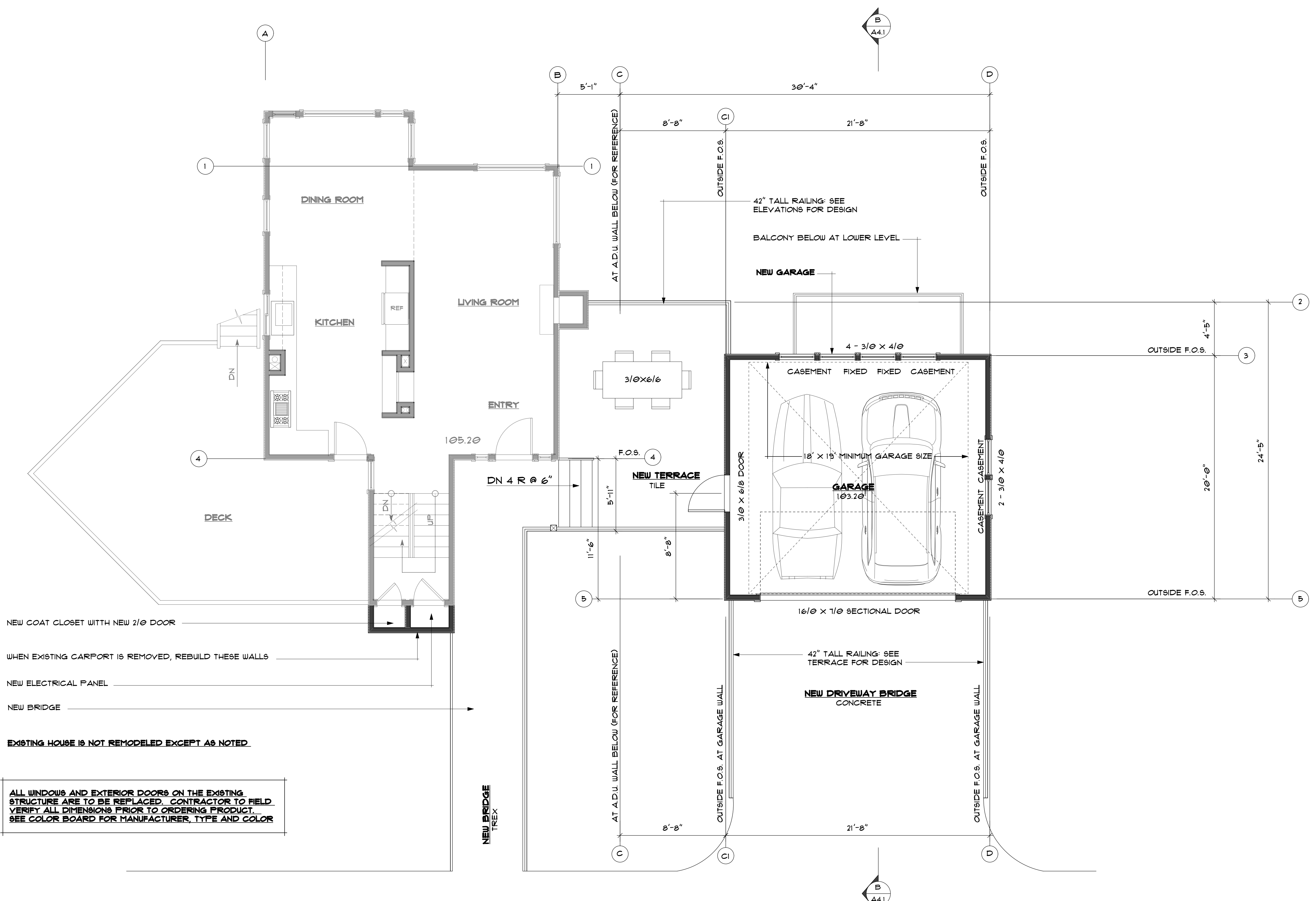
NEW A.D.U. & GARAGE FOR:  
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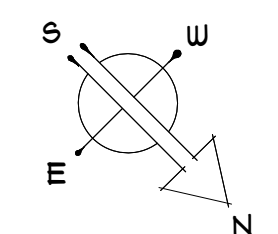
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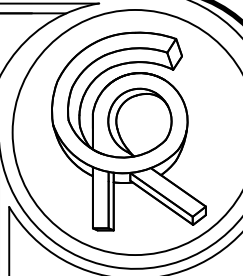


- NEW COAT CLOSET WITH NEW 2/0 DOOR
- WHEN EXISTING CARPORT IS REMOVED, REBUILD THESE WALLS
- NEW ELECTRICAL PANEL
- NEW BRIDGE
- EXISTING HOUSE IS NOT REMODELED EXCEPT AS NOTED

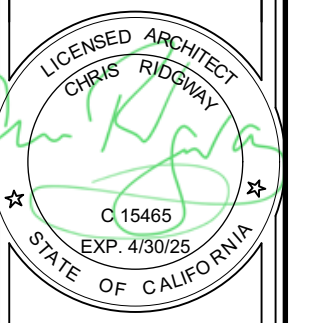
ALL WINDOWS AND EXTERIOR DOORS ON THE EXISTING STRUCTURE ARE TO BE REPLACED. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING PRODUCT. SEE COLOR BOARD FOR MANUFACTURER, TYPE AND COLOR

MID LEVEL PLAN: MAIN HOUSE & NEW GARAGE SCALE: 1/4" = 1'-0"





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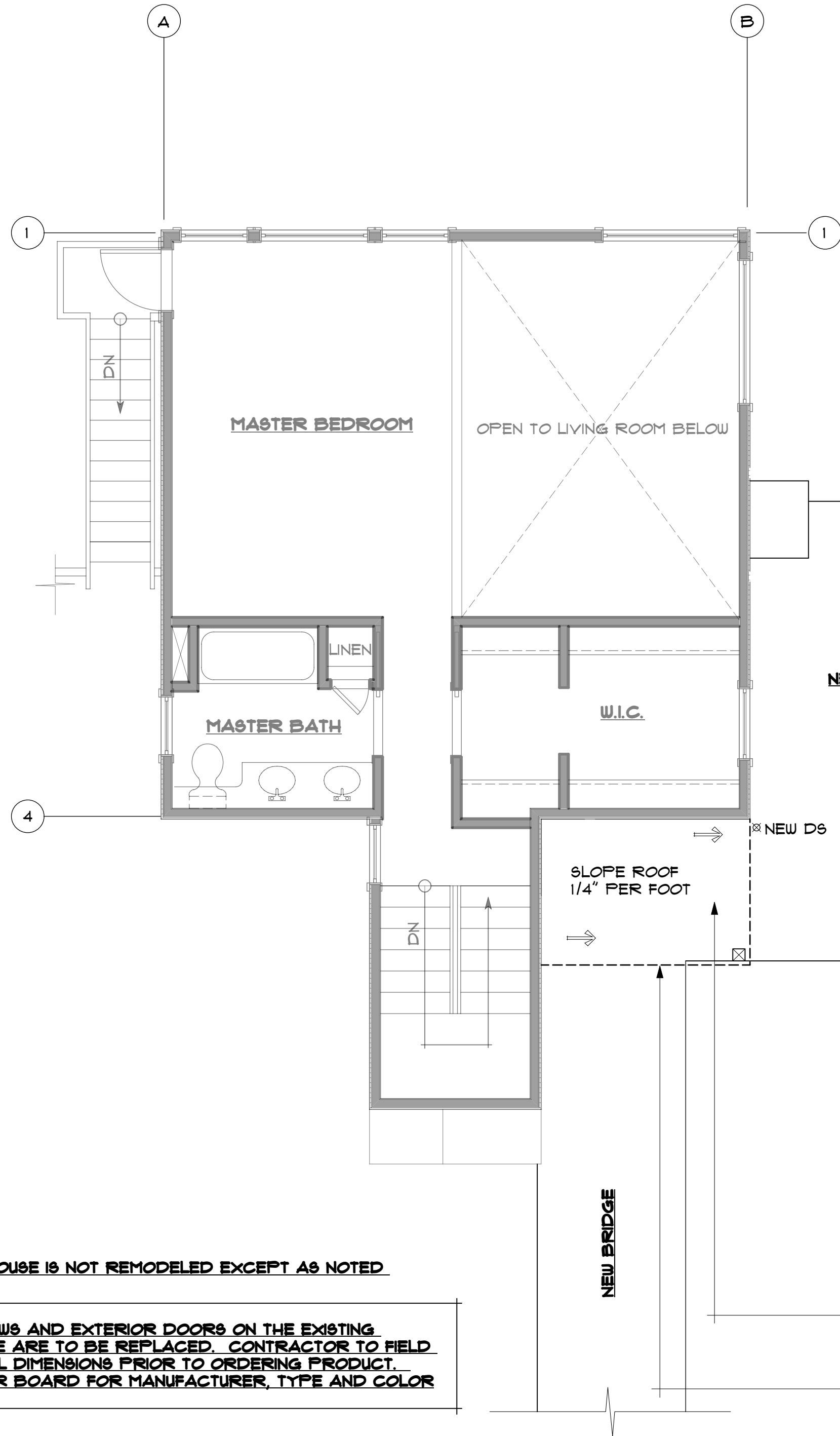


NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 112 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB #  
2005  
 SCALE  
AS NOTED  
 DATE  
10/18/23

SHEET  
**A2.3**

EXISTING HOUSE IS NOT REMODELED EXCEPT AS NOTED

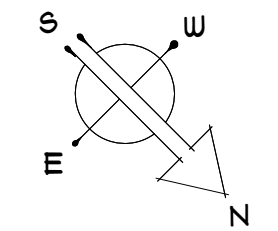


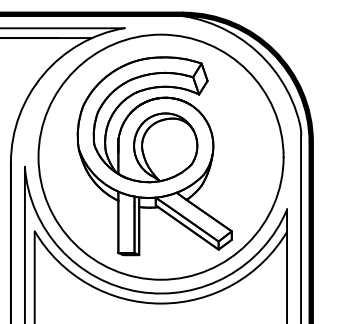
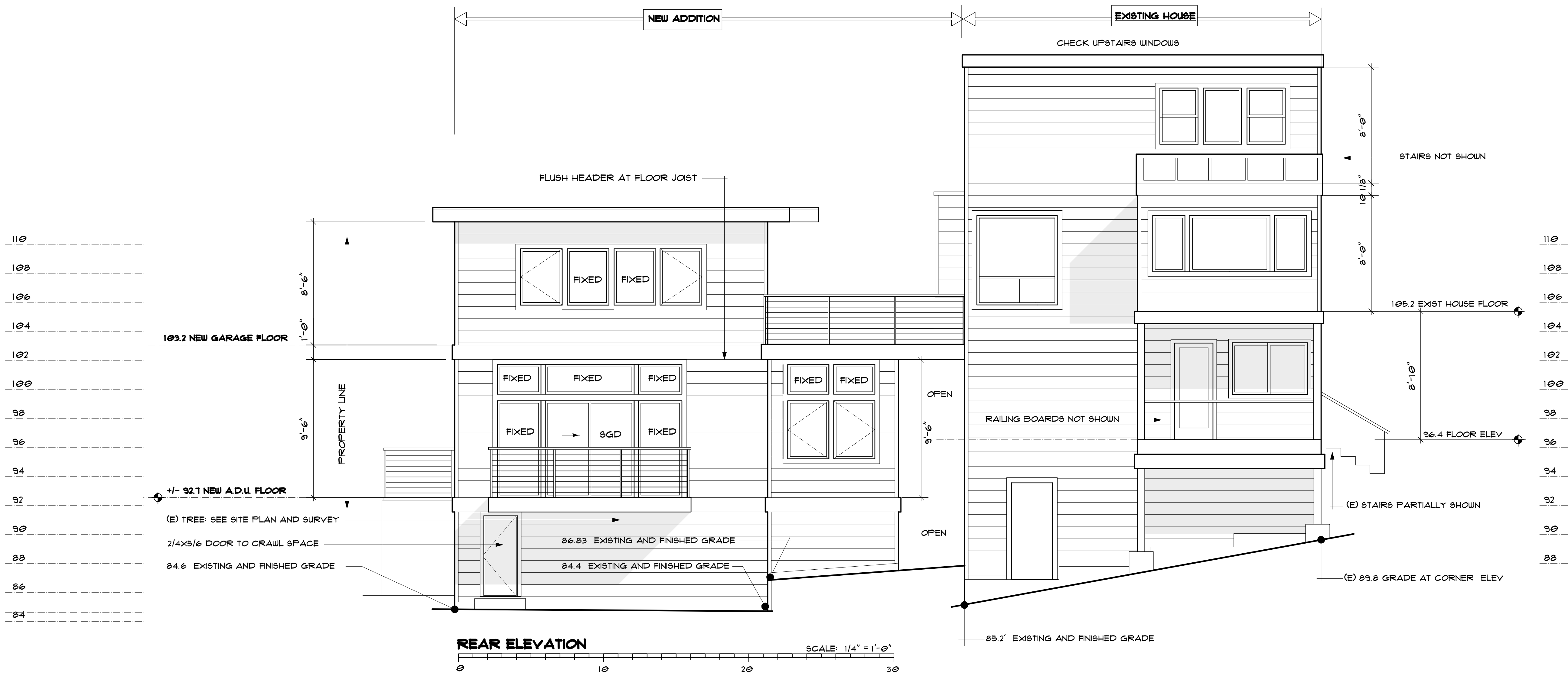
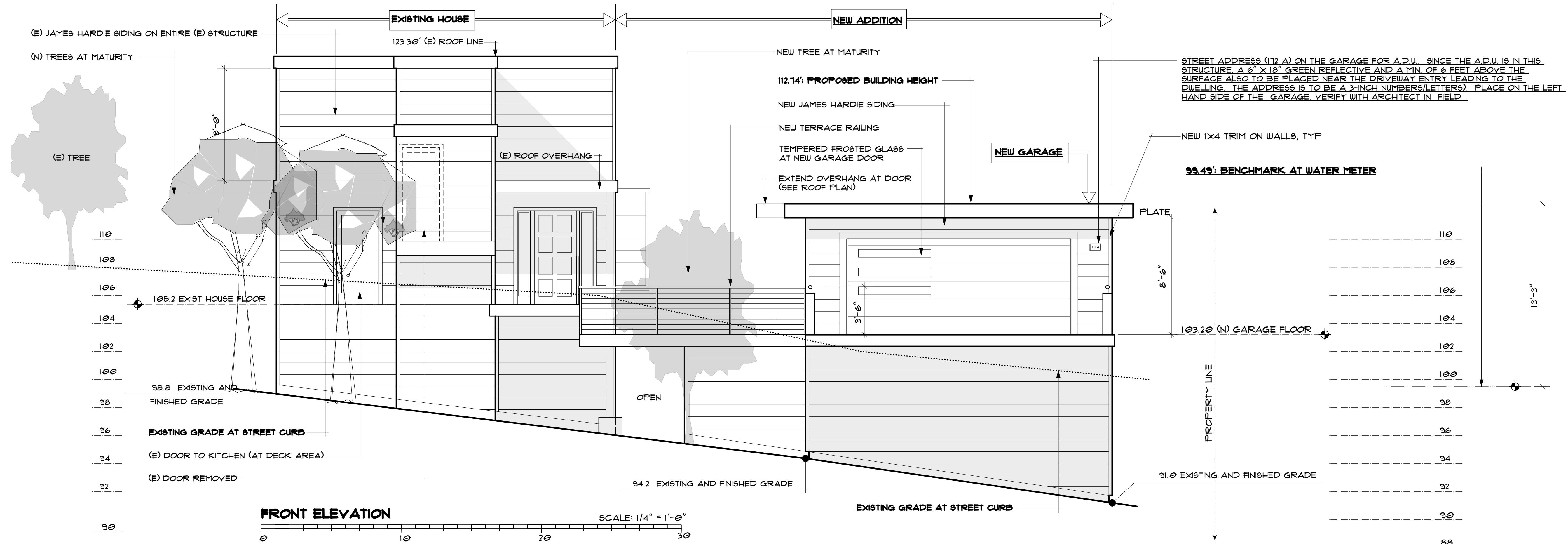
THERE MUST BE A MEETING BETWEEN THE ARCHITECT, G.C. AND THE ROOFING REP. PRIOR TO LAYING OUT THE SYSTEM. PVC SYSTEM TO BE USED. SEPARATOR SHEETS AND ICE & WATER SHIELDS TO ALSO BE IMPLEMENTED IN THE THE ROOF SYSTEM IN ORDER TO BUILD A TIGHT AND WATERPROOF SYSTEM. ROOF SHALL BE SLOPED 1/4" PER FOOT WITH TAPERED INSULATION.

EXISTING HOUSE IS NOT REMODELED EXCEPT AS NOTED

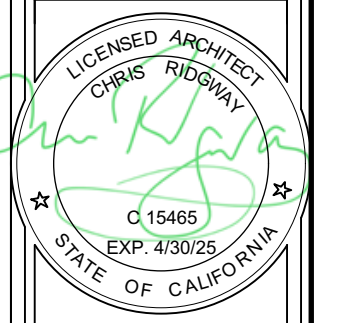
ALL WINDOWS AND EXTERIOR DOORS ON THE EXISTING STRUCTURE ARE TO BE REPLACED. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS PRIOR TO ORDERING PRODUCT. SEE COLOR BOARD FOR MANUFACTURER, TYPE AND COLOR

UPPER LEVEL PLAN & MID LEVEL ROOF PLAN SCALE: 1/4" = 1'-0"





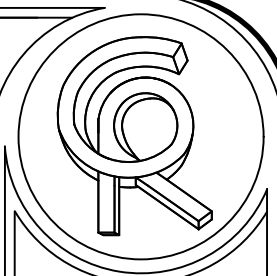
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPLAR STREET, HALF MOON BAY, CA. 94019  
 PH#: 650.622.6301 • 650.751.1811  
 EMAIL: CRAARCHITECT@COASTSIDE.NET • WEB SITE: CRAARCHITECT.NET



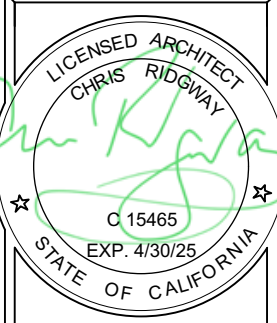
NEW A.D.U. & GARAGE FOR:  
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 ADDRESS: 112 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB #  
2005  
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SHEET  
**A3.1**



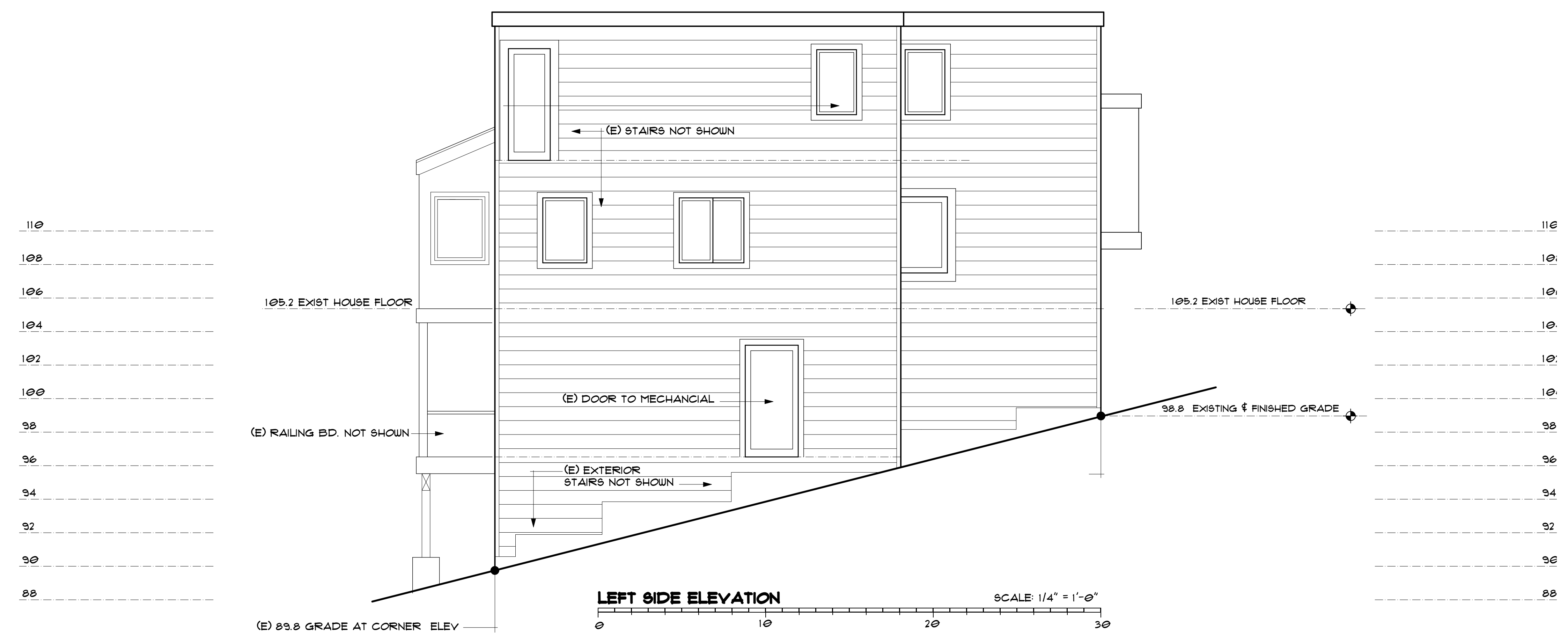
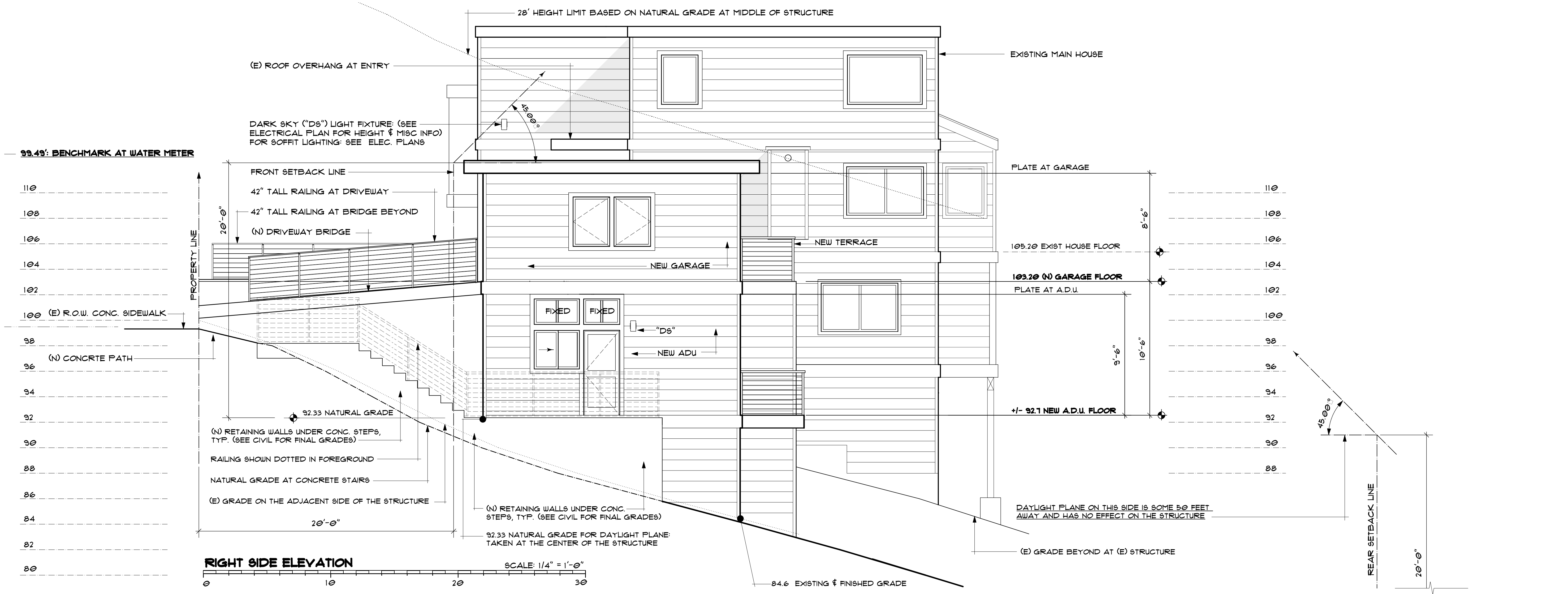
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPLAR STREET, HALF MOON BAY, CA 94019  
 PH#: 650.622.6301 • 650.751.1811  
 EMAIL: CRARCHITECT@COASTSIDE.NET • WEB SITE: CRARCHITECT.NET

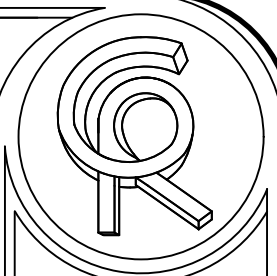


NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 112 EL GRANADA BLYD. EL GRANADA, CA 94019

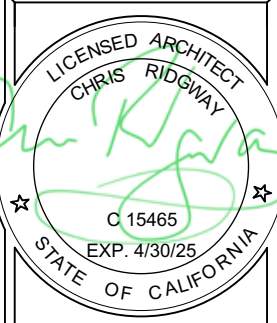
JOB #  
2005  
 SCALE  
AS NOTED  
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10/18/23

SHEET  
A3.2





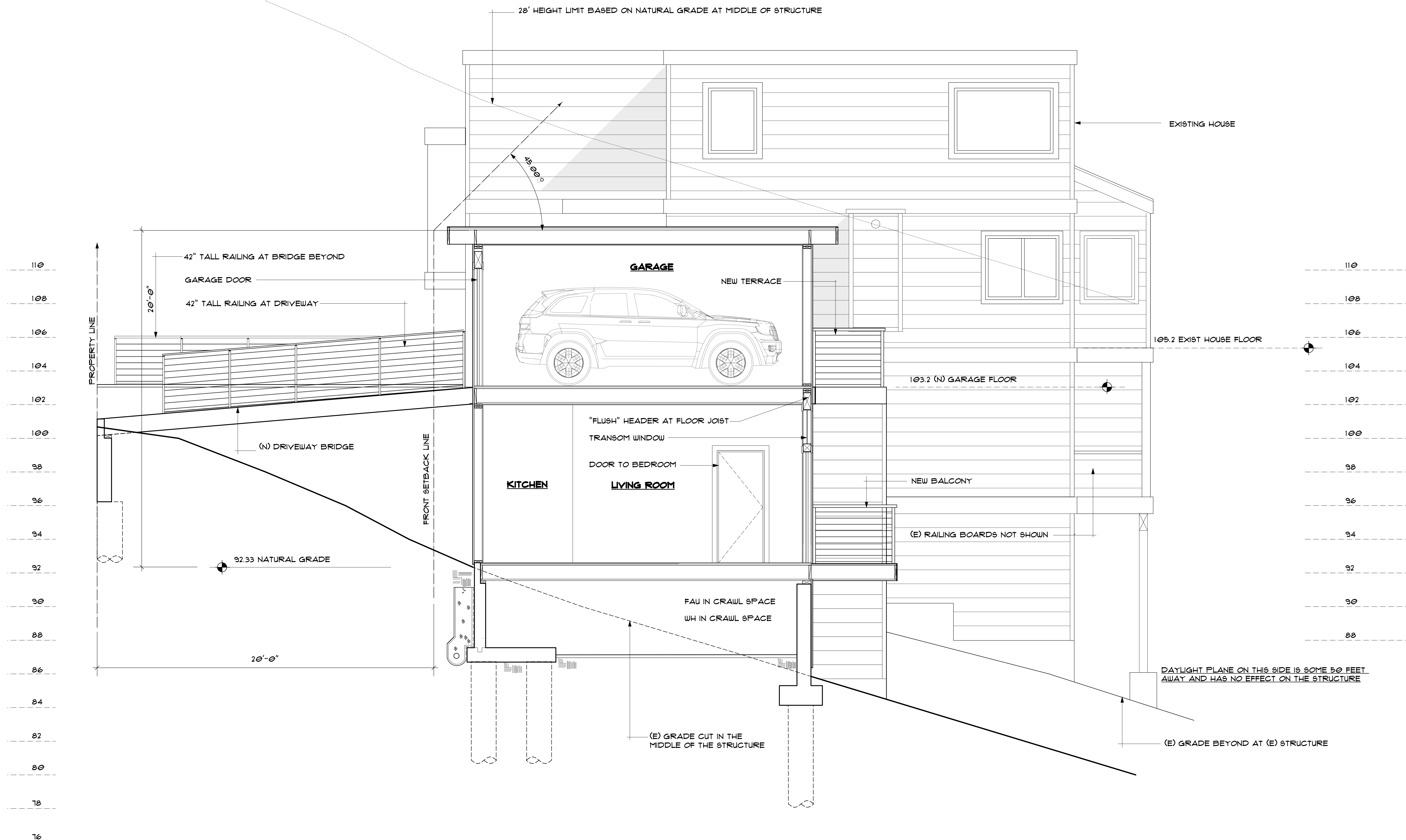
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPULAR STREET, HALF MOON BAY, CA 94019  
 PH#: 650.622.6301 • 650.751.1811  
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**DOERR, TOM & CHRISTINE**  
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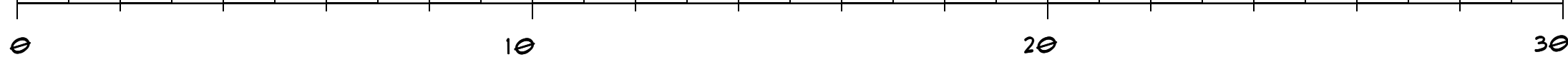
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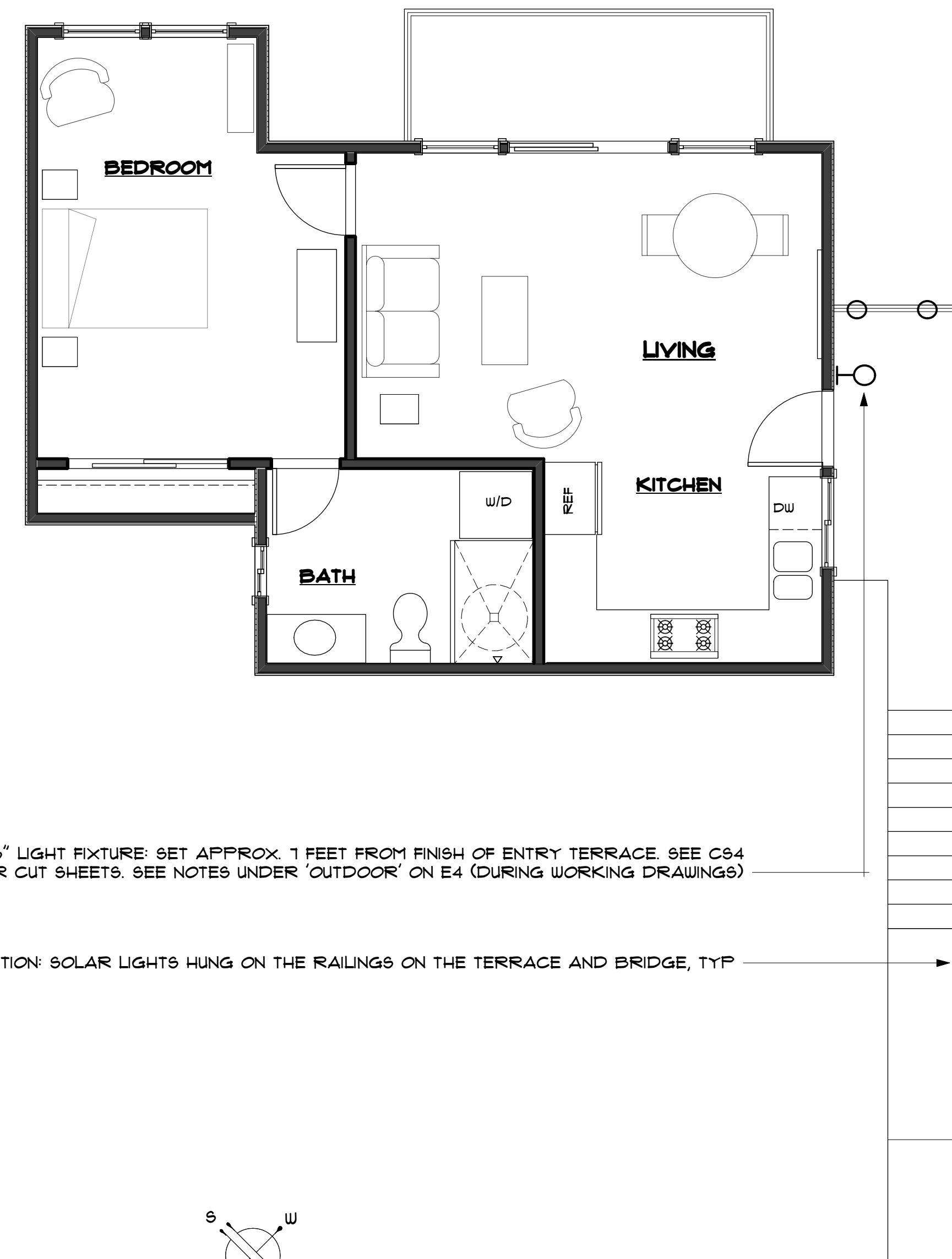
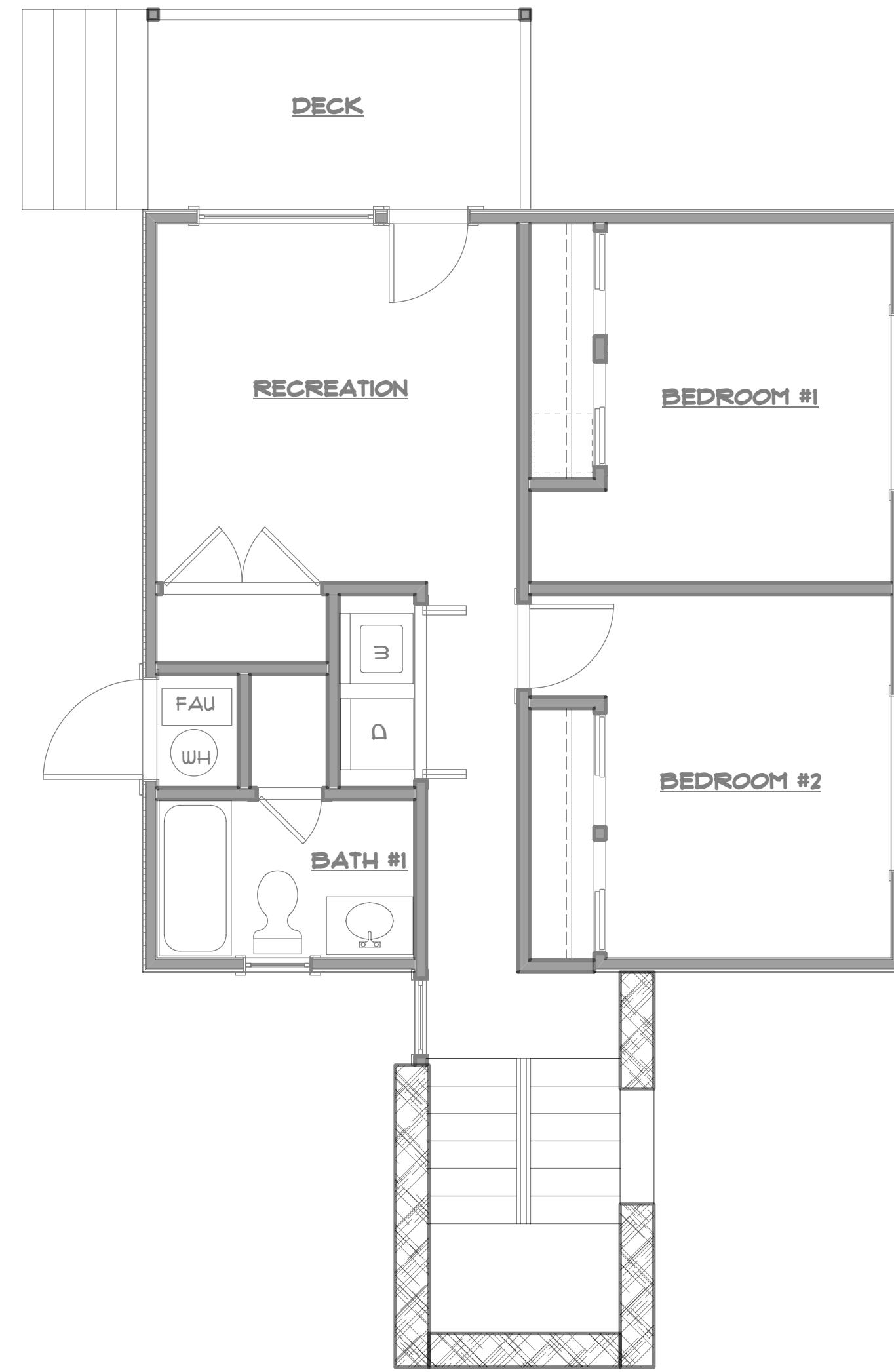
SHEET  
**A4.1**



**SECTION A-A**

SCALE: 3/8" = 1'-0"

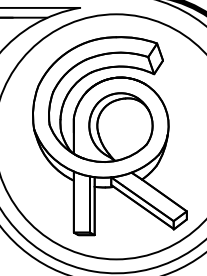
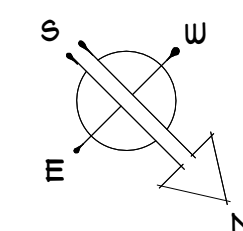




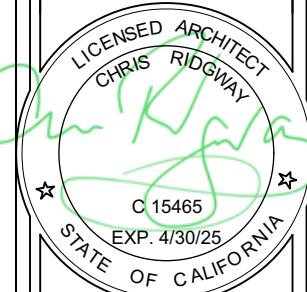
"D5" LIGHT FIXTURE: SET APPROX. 1 FEET FROM FINISH OF ENTRY TERRACE. SEE C64 FOR CUT SHEETS. SEE NOTES UNDER 'OUTDOOR' ON E4 (DURING WORKING DRAWINGS)

OPTION: SOLAR LIGHTS HUNG ON THE RAILINGS ON THE TERRACE AND BRIDGE, TYP

LOWER LEVEL ELECTRICAL: A.D.U. LEVEL SCALE: 1/4" = 1'-0"



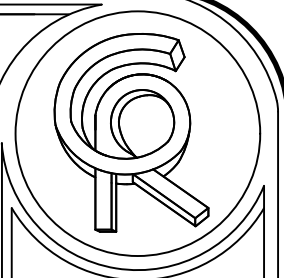
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPLAR STREET, HALF MOON BAY, CA 94019  
 PH: 650.622.6501 • 650.151.1811  
 EMAIL: CRARCHITECT@COASTSIDE.NET • WEB SITE: CRARCHITECT.NET



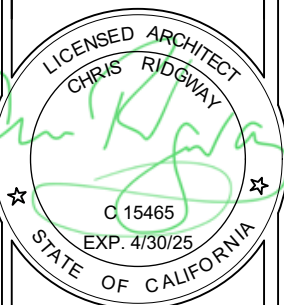
NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
 ADDRESS: 172 EL GRANADA BLYD. EL GRANADA, CA 94019

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2005  
 SCALE  
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 DATE  
10/18/23

SHEET  
**11**



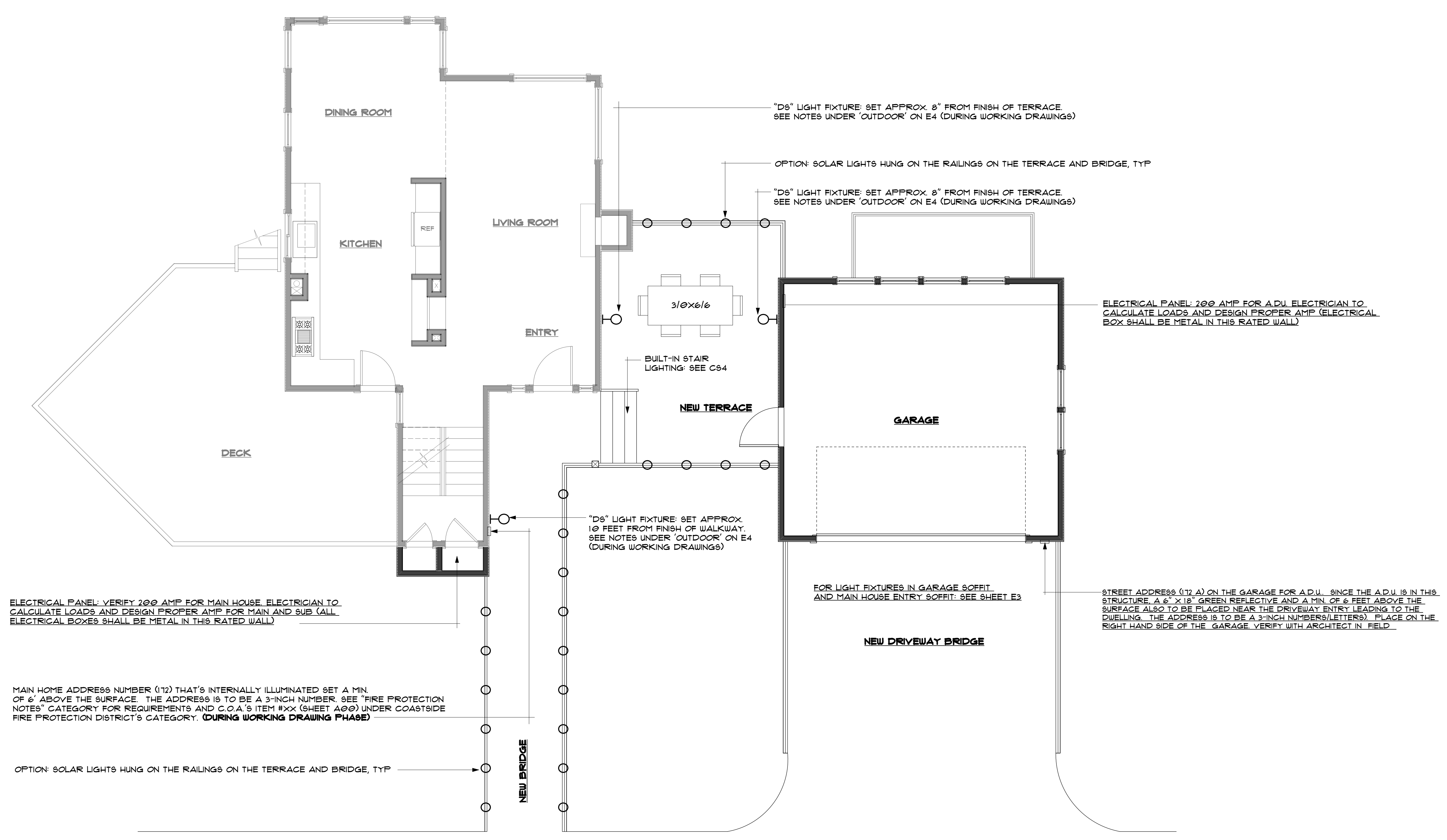
**CHRIS RIDGWAY ARCHITECT, INC.**  
 610 POPLAR STREET, HALF MOON BAY, CA 94019  
 PH#: 650.622.6301 • 650.791.7811  
 EMAIL: CRARCHITECT@COASTSIDE.NET • WEB SITE: CRARCHITECT.NET



NEW A.D.U. & GARAGE FOR:  
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SHEET  
E2



ELECTRICAL PANEL: VERIFY 200 AMP FOR MAIN HOUSE ELECTRICIAN TO CALCULATE LOADS AND DESIGN PROPER AMP FOR MAIN AND SUB (ALL ELECTRICAL BOXES SHALL BE METAL IN THIS RATED WALL)

MAIN HOME ADDRESS NUMBER (172) THAT'S INTERNALLY ILLUMINATED SET A MIN. OF 6' ABOVE THE SURFACE. THE ADDRESS IS TO BE A 3-INCH NUMBER. SEE "FIRE PROTECTION NOTES" CATEGORY FOR REQUIREMENTS AND C.O.A.'S ITEM #XX (SHEET A00) UNDER COASTSIDE FIRE PROTECTION DISTRICT'S CATEGORY. (DURING WORKING DRAWING PHASE)

OPTION: SOLAR LIGHTS HUNG ON THE RAILINGS ON THE TERRACE AND BRIDGE, TYP

"Ds" LIGHT FIXTURE: SET APPROX. 8" FROM FINISH OF TERRACE. SEE NOTES UNDER 'OUTDOOR' ON E4 (DURING WORKING DRAWINGS)

OPTION: SOLAR LIGHTS HUNG ON THE RAILINGS ON THE TERRACE AND BRIDGE, TYP

"Ds" LIGHT FIXTURE: SET APPROX. 8" FROM FINISH OF TERRACE. SEE NOTES UNDER 'OUTDOOR' ON E4 (DURING WORKING DRAWINGS)

ELECTRICAL PANEL: 200 AMP FOR A.D.U. ELECTRICIAN TO CALCULATE LOADS AND DESIGN PROPER AMP (ELECTRICAL BOX SHALL BE METAL IN THIS RATED WALL)

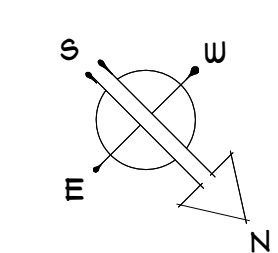
BUILT-IN STAIR LIGHTING: SEE C64

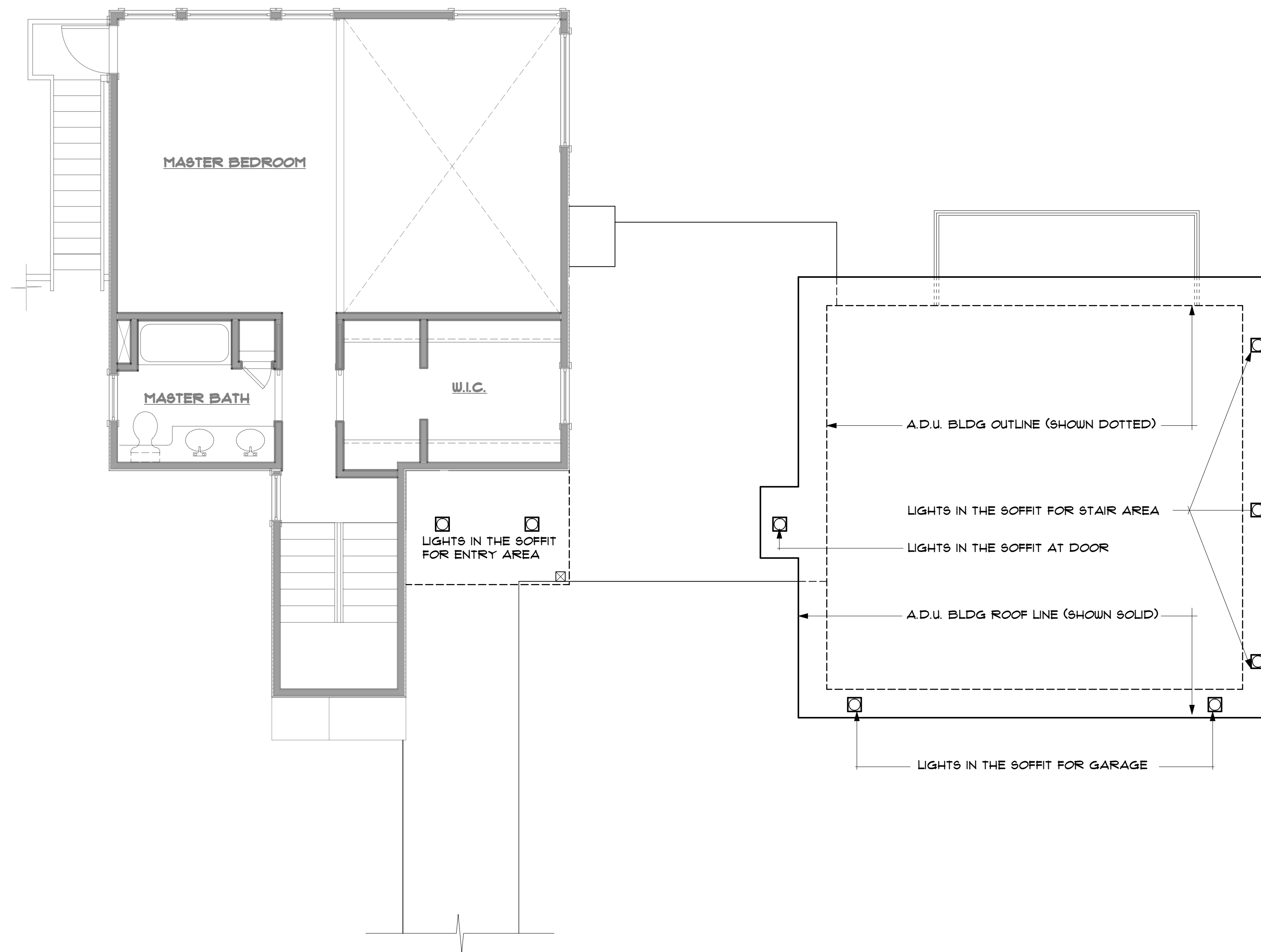
"Ds" LIGHT FIXTURE: SET APPROX. 10 FEET FROM FINISH OF WALKWAY. SEE NOTES UNDER 'OUTDOOR' ON E4 (DURING WORKING DRAWINGS)

FOR LIGHT FIXTURES IN GARAGE SOFFIT AND MAIN HOUSE ENTRY SOFFIT: SEE SHEET E3

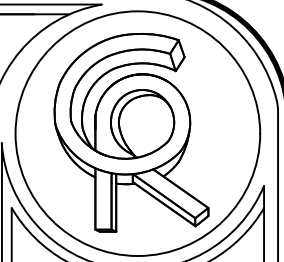
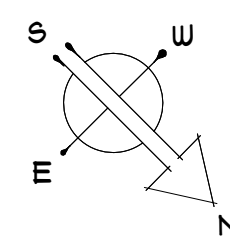
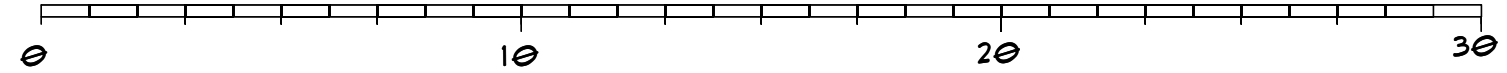
STREET ADDRESS (172 A) ON THE GARAGE FOR A.D.U. SINCE THE A.D.U. IS IN THIS STRUCTURE, A 6" X 18" GREEN REFLECTIVE AND A MIN. OF 6 FEET ABOVE THE SURFACE ALSO TO BE PLACED NEAR THE DRIVEWAY ENTRY LEADING TO THE DWELLING. THE ADDRESS IS TO BE A 3-INCH NUMBER/LETTERS. PLACE ON THE RIGHT HAND SIDE OF THE GARAGE. VERIFY WITH ARCHITECT IN FIELD.

**MID LEVEL ELECTRICAL PLAN: TERRACE & NEW GARAGE**  
 0 10 20 30  
 SCALE: 1/4" = 1'-0"

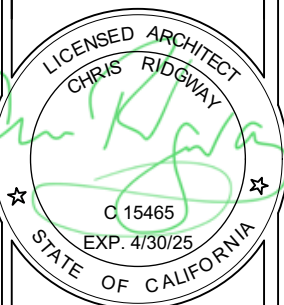




UPPER LEVEL & MID LEVEL ELECTRICAL PLAN SCALE: 1/4" = 1'-0"



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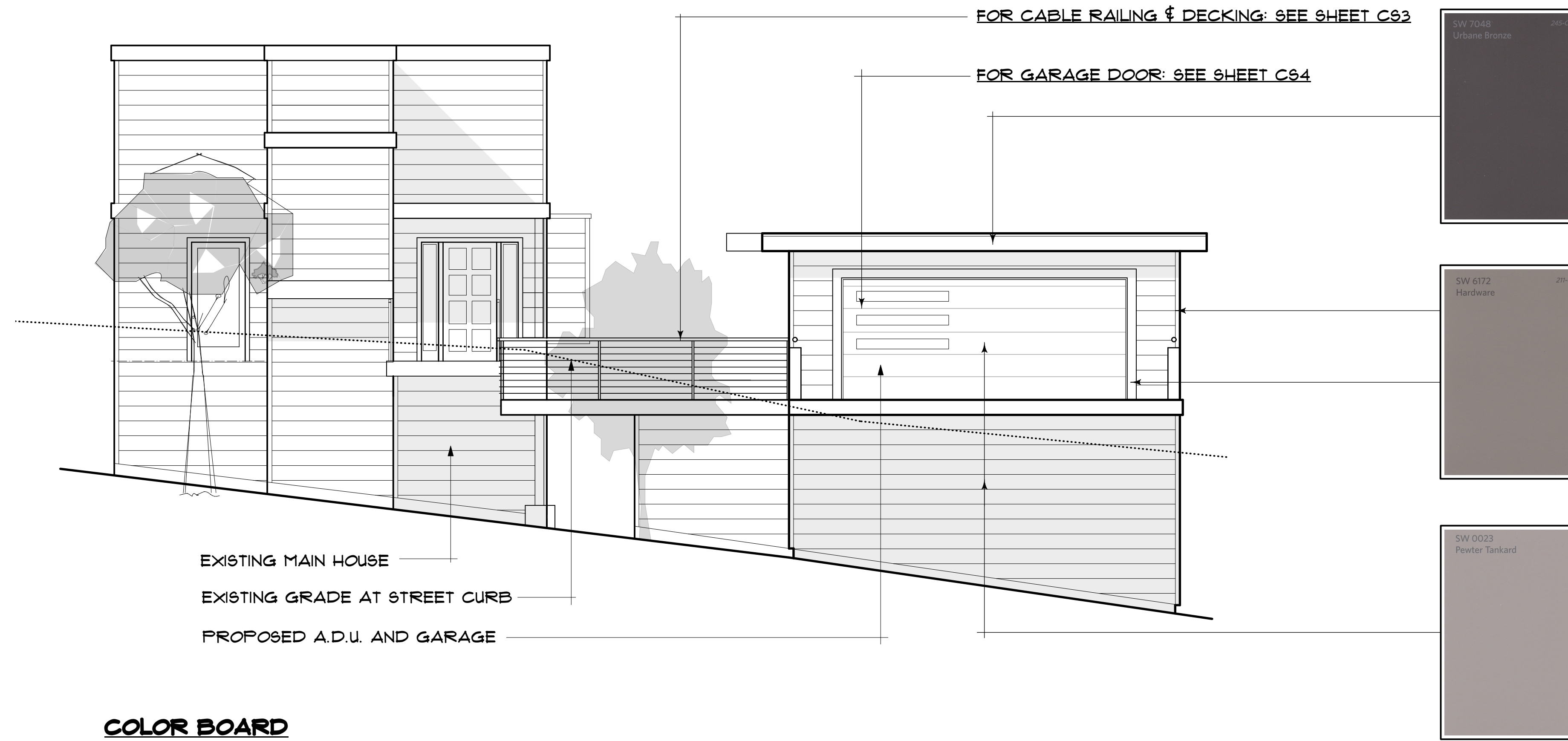
NEW A.D.U. & GARAGE FOR:  
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**13**



FOR FASCIA: SHERWIN WILLIAMS 7048 - "URBANE BRONZE"

FOR WINDOW & DOOR TRIMS: SHERWIN WILLIAMS 6172 - "HARDWARE"

FOR JAMES HARDIE SIDING: SHERWIN WILLIAMS 0023 - "PEWTER TANKARD"

FOR GARAGE DOOR: SHERWIN WILLIAMS 0023 - "PEWTER TANKARD"

**COLOR BOARD**



**SIDING**

**JAMES HARDIE SIDING**

HARDIE PANEL: SELECT CEDARMILL

COLOR: SHERWIN WILLIAMS - "PEWTER TANKARD"

WWW.JAMESHARDIE.COM FOR DEALERS AND PRODUCT INFORMATION

OR

PURCHASE AT OK LUMBER AT 1061 HOWARD ST., S AN CARLOS, CA 94070.

TEL #: 650.593.8041

ENDLESS DESIGN POSSIBILITIES

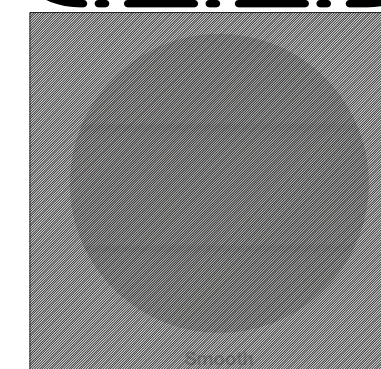
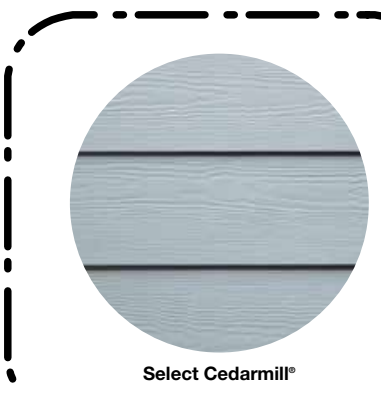
**A classic look that stands the test of time.**

**Hardie® Plank**

From Victorians to Colonials, Hardie® Plank is the perfect siding for your style, and has the durability and long-lasting beauty that can transform your home exterior. With endless gorgeous color and plank pairings available, you'll discover a Hardie® Plank style that transforms your home's aesthetic.



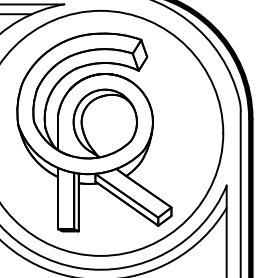
**Hardie® Plank**



	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10 1/2 in
Prime	Yes	Yes	Yes	Yes	Yes	Yes
Color/Finish	Yes	Yes	Yes	Yes	Yes	Yes
Finish Type	Yes	Yes	Yes	Yes	Yes	Yes
Profile	Yes	Yes	Yes	Yes	Yes	Yes

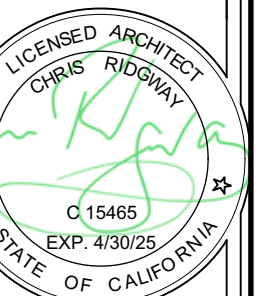
Select Cedarmill®	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Statement Collection™	•	•	•	•	•	•
Dream Collection™	•	•	•	•	•	•
Prime	•	•	•	•	•	•

	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10 1/2 in
Prime	Yes	Yes	Yes	Yes	Yes	Yes
Color/Finish	Yes	Yes	Yes	Yes	Yes	Yes
Finish Type	Yes	Yes	Yes	Yes	Yes	Yes
Profile	Yes	Yes	Yes	Yes	Yes	Yes



**CHRIS RIDGWAY ARCHITECT, INC.**

610 FOPHAR STREET, HALF MOON BAY, CA 94019  
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 EMAIL: CRARCHITECT@COASTSIDE.NET • WEB: SITE: CRARCHITECT.NET



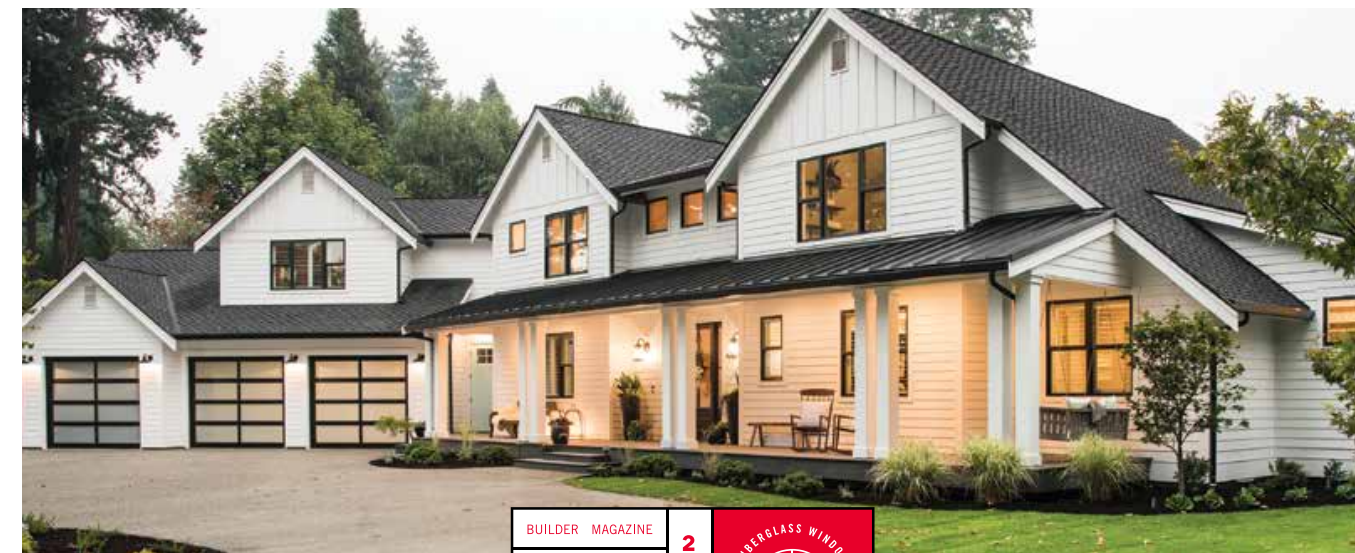
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**C91**



## Modern design. Stunning visual impact.

Ultra™ Series is our contemporary premium fiberglass window and patio door line that is strong and built to last.

The fiberglass material resists swelling, rotting, and warping making it the perfect choice for long-lasting durability coupled with exceptional beauty.

Awarded Most Used and Most Recognized window brand in the Western United States\*, Ultra Series offers high performing and energy efficient windows and patio doors for an upscale look that can complement any home.

\*2019 Builder Magazine Brand Use Study

### ULTRA SERIES OFFERS:

- Fiberglass frames are resistant to temperature fluctuations making them a durable, low maintenance choice
- Window hardware is attractive, secure and easy to operate
- Four exterior frame colors to enhance the look of your home
- Matching interior and exterior frames in Black Bean or Bark to create the popular dark window look
- A Full Lifetime Warranty that includes Glass Breakage coverage



MILGARD.COM 3

## Ultra™ Series Patio Doors

Create a grand entrance with Ultra Series fiberglass, French-style patio doors. These French doors are a simple addition that can add intricate detail in any room. Available in traditional swing style or sliding, you can enjoy a beautiful view of the outdoors while admiring the elegance of the door itself.

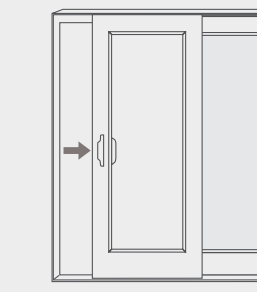


2 Panel Sliding Door, Black Bean



2 Panel Sliding Door, Harmony

2 Panel Out Swing Door, White



### Sliding French Doors

- Engineered with a weather-strip system and top-quality rollers for impressively smooth and quiet operation
- Superior energy performance with SunCoat® Low-e glass coatings
- Stainless steel, multi-point locking hardware for security and high performance
- Available in 1, 2, 3, and 4 panel configurations
- Full Lifetime Warranty with Glass Breakage Coverage for as long as you own your home

### OPTIONS

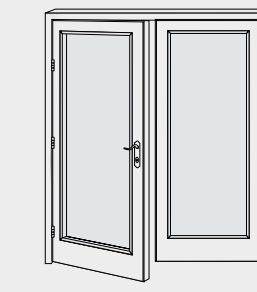
- Exterior keyed lock
- Standard screens or optional PureView® screen mesh for enhanced visibility

### SIZING

- (Can vary by location)
- 1 Panel Min 2'6" w x 6'8" Max 4'0" w x 8'0" (fixed)
  - 2 Panel Min 5'0" w x 6'8" Max 8'0" w x 8'0"
  - 3 Panel Min 7'6" w x 6'8" Max 12'0" w x 8'0"
  - 4 Panel Min 10'0" w x 6'8" Max 12'0" w x 8'0"

### HARDWARE

Standard and decorative upgrade options available



### Swing French Doors

- Choose an in-swing or out-swing operating style with two-way adjustable hinges for easy door panel alignment
- Superior energy performance with SunCoat® Low-e glass coatings
- Stainless steel, multi-point locking hardware for security and high performance
- Available in 1, 2, 3, and 4 panel configurations
- Full Lifetime Warranty with Glass Breakage Coverage for as long as you own your home

### OPTIONS

- Choose from standard or PureView® screen mesh for enhanced visibility on in-swing sliding screens
- Retractable screen also available (not available in all areas)
- Expand your view with sidelites and transoms

### SIZING

- (Can vary by location)
- 1 Panel Min 2'6" w x 6'8" Max 3'0" w x 8'0" (fixed or operable)
  - 2 Panel Min 5'0" w x 6'8" Max 6'0" w x 8'0"
  - 3 Panel Min 7'6" w x 6'8" Max 9'0" w x 8'0"
  - 4 Panel Min 10'0" w x 6'8" Max 12'0" w x 8'0"

### HARDWARE

Standard and decorative upgrade options available

Sizes can vary by location. Your Milgard Certified Dealer can provide more detail on sizes available in your area.



MILGARD.COM 11

## Choose Your Door Hardware

### Sliding Door Hardware

- STANDARD OPTIONS** (Interior and exterior)
- Standard handle available in white, tan, dark bronze, clay, and black
  - Handle can come either keyed, or unkeyed

- DECORATIVE UPGRADE OPTIONS**
- Sliding door handle is available in brushed chrome or satin nickel finish as an upgraded option
  - Keyed alike option available for multiple doors on the same order



STANDARD INTERIOR HANDLE, WHITE | STANDARD EXTERIOR HANDLE, BLACK

### Swing Door Hardware

- STANDARD OPTIONS** (Interior and exterior)
- Madrona™ swing door handle is available in white, tan, dark bronze, clay, and black
  - ADA-compliant door handle and low-profile sill option available. See your Milgard Dealer for more information.

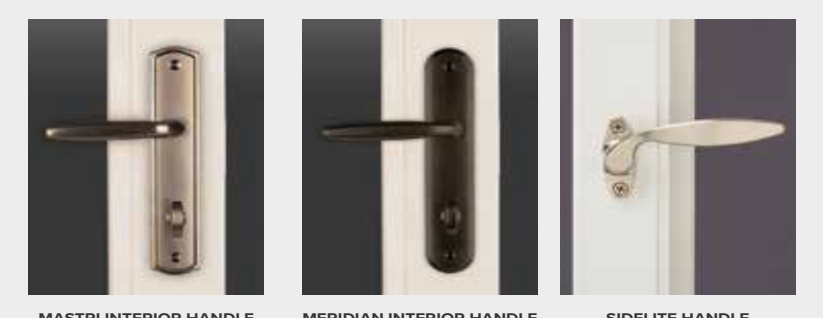
- DECORATIVE UPGRADE OPTIONS**
- Meridian™ and Mastri™ handle designs available in white, tan, dark bronze, clay, and black
  - Decorative upgrade options for Madrona™, Mastri™, and Meridian™ handles include brushed chrome and satin nickel finishes
  - Keyed alike option available for multiple doors on the same order

### SIDELITE HANDLE

- Available for operable sidelites
- Sidelite handle finish will match interior door handle finish selection



MADRONA SWING DOOR INTERIOR HANDLE, SATIN NICKEL UPGRADE | MADRONA SWING DOOR EXTERIOR HANDLE, WHITE

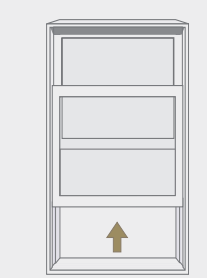


MASTRI INTERIOR HANDLE, SATIN NICKEL | MERIDIAN INTERIOR HANDLE, DARK BRONZE | SIDELITE HANDLE, BRUSHED CHROME

### Hardware Finishes

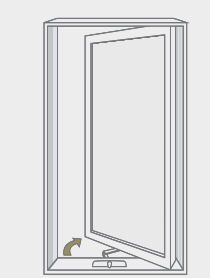


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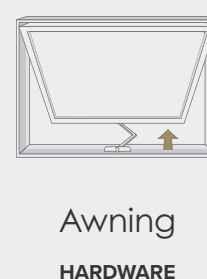
### Single Hung

**HARDWARE**  
Positive Action™ Lock, Cam Lock, Sash Pull



### Casement

**HARDWARE**  
Folding Nesting Operator, Sash Lock



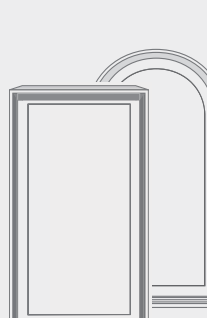
### Awning

**HARDWARE**  
Folding Nesting Operator, Sash Lock



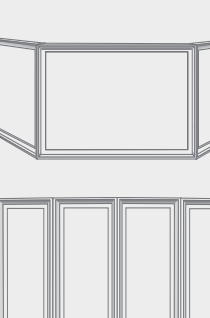
### Horizontal Slider

**HARDWARE**  
Positive Action™ Lock, Cam Lock, Sash Pull



### Picture and Radius

**HARDWARE**  
Non-operable



### Bay and Bow

**HARDWARE**  
Dependent on your window selection

Window hardware is available in white, clay, dark bronze, black, and brushed chrome for all operating styles. Sash Nickel is available for casement and awnings only. Clay not available in all areas.



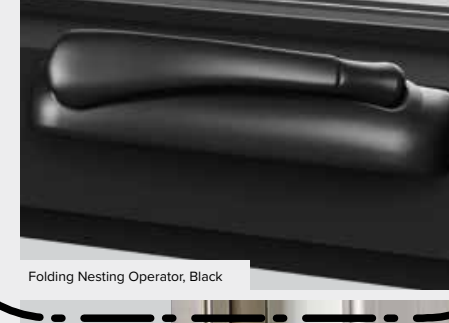
Positive Action Lock, Clay



Cam Lock, Bronze



Sash Pull, White



Folding Nesting Operator, Black



Sash Lock, Brushed Chrome

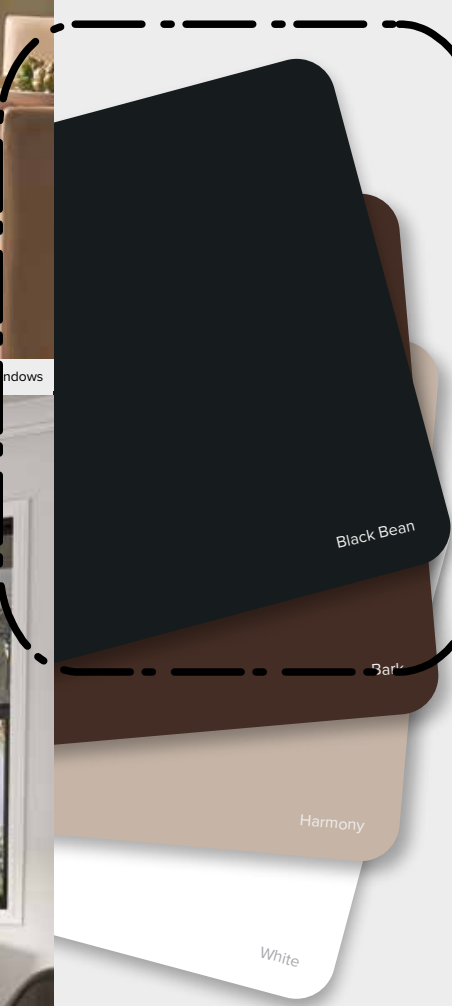


Harmony Casement and Picture Windows



Black Bean Single hung Windows

## Make a Statement with Color



### Exterior Colors

Choose white or color-matched interior

Colors shown are approximate. Visit your local Milgard Certified Dealer to see accurate paint samples.

MILGARD.COM 9

### MILGARD WINDOWS

WINDOWS & DOORS: ULTRA C650 FIBERGLASS SERIES: SEE FLOOR PLANS FOR SIZE & ELEVATIONS FOR TYPE

COLOR: EXTERIOR - BLACK BEAN / INTERIOR - BLACK

HARDWARE: BLACK OR AS DETERMINED BY OWNER

PRODUCT MAY BE PURCHASED AT:

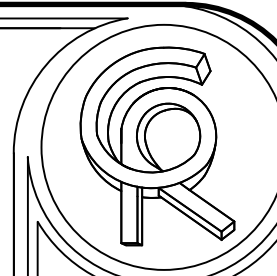
BAY AREA WINDOW PROS  
1011 CADILLAC WAY, BURLINGAME, CA 94010  
TELEPHONE #: 1.855.916.9111

OR

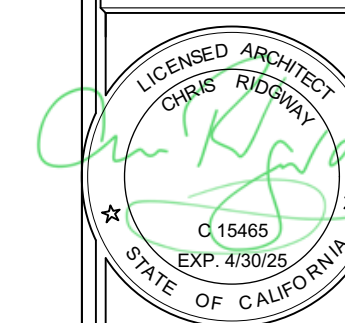
BENNETT GLASS CO. - REDWOOD CITY  
532 HOWARD ST., REDWOOD CITY, CA 94063  
650.367.8930

WWW.MILGARD.COM/ULTRA

WINDOWS & DOORS



CHRIS RIDGWAY ARCHITECT, INC.  
610 POPLAR STREET, HALF MOON BAY, CA 94019  
PH: 650.622.6301 • 650.751.1811  
EMAIL: CRARCHITECT@COASTSIDE.NET • WEB SITE: CRARCHITECT.NET



NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
ADDRESS: 172 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB #  
2005  
SCALE  
AS NOTED  
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10/10/23

SHEET  
CS2

Beautiful outdoor living built for life.\*



Decking | Railing | Fasteners | Lighting

**fiberon Promenade | PVC Decking**

**The art of outdoor living.**  
Evoke the feeling of luxurious living with Promenade PVC decking. Promenade offers the aesthetic of high-end, handcrafted wood decking, with the benefits of premium PVC.

- Boards feature four-sided capping, streaking on the unembossed underside and a next-generation surface coating for superior weather resistance and durability.
- Slip-resistant\* surface texture is ideal for docks, marinas and other waterside applications.
- Synthetic solid core construction provides protection from cracks, splinters and mold.
- The lightweight, easy-to-handle boards float, making them easy to install in or under water.
- Tested for use in fresh water, salt water and chlorinated water environments, and suitable for use in installations that may be submerged in water, like dock and pool stairs.
- Boards won't warp or swell when submerged in water, even after being cut.
- When tested against wood or composite boards, Promenade resisted mold, water absorption and discoloration better than the rest.
- Approved for use in all Wildland Urban Interface (WUI) zones and meets additional fire performance requirements of San Diego County, ASTM E84 Class A.

**Safe Ply**

50 YEAR WARRANTY  
Lifetime WARRANTY

Notes: See your Fiberon seller or visit [www.fiberondecking.com](http://www.fiberondecking.com) for details on limited warranties and exclusions.  
Promenade PVC decking in Russet Pine.

**Technical Specifications:**  
Square Edge = 1.05 in. x 5.5 in. Lengths: 12 ft., 16 ft. and 20 ft.\*\*  
Fascia: 50 in. x 11.75 in. x 12 ft.  
Grooved Edge = 1.05 in. x 5.5 in. Lengths: 12 ft., 16 ft. and 20 ft.

**Technical Specifications**

Decking	PVC		PE Composite			
	Promenade	TruDeck	TruDeck	TruDeck	TruDeck	TruDeck
<b>Board Profile Dimensions</b>	Flat bottom 1.05 in. x 5.5 in.	Flat bottom 1.05 in. x 5.5 in.	Flat bottom 1.05 in. x 5.5 in.	Flat bottom 1.05 in. x 5.5 in.	Flat bottom 1.05 in. x 5.5 in.	Flat bottom 1.05 in. x 5.5 in.
<b>Square Edge Profile</b>	Yes	Yes	Yes	Yes	Yes	Yes
<b>Grooved Edge Profile</b>	Yes	Yes	Yes	Yes	Yes	Yes
<b>Reversible</b>	No	No	No	No	No	No
<b>Material</b>	Cellular Foam Polymer with co-extruded cap on four sides	Cellular Foam Polymer with co-extruded cap on four sides	Cellular Foam Polymer with co-extruded cap on four sides	Cellular Foam Polymer with co-extruded cap on four sides	Cellular Foam Polymer with co-extruded cap on four sides	Cellular Foam Polymer with co-extruded cap on four sides
<b>Multi-Tonal</b>	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove	Natural Reef, Russet Pine, Sandy Pine, Shaded Cove, Weathered Cliff and Moonlit Cove
<b>Solid Colors</b>	N/A	N/A	N/A	N/A	N/A	N/A
<b>Limited Performance Warranty</b>	Lifetime	Lifetime	Lifetime	Lifetime	Lifetime	Lifetime
<b>Stain and Fade Warranty</b>	50 Year	50 Year	50 Year	50 Year	50 Year	50 Year
<b>Square Edge Length</b>	16 and 20 ft.*	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.
<b>Grooved Edge Length</b>	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.	12, 16 and 20 ft.
<b>Span Limitations</b>	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**	Perpendicular to joist: 16 in. Up to 45-degree angle to joist: 24 in.**
<b>Fascia Available</b>	50 in. x 11.75 in. x 12 ft. Matching colors	50 in. x 11.75 in. x 12 ft. Matching colors	50 in. x 11.75 in. x 12 ft. Matching colors	50 in. x 11.75 in. x 12 ft. Matching colors	50 in. x 11.75 in. x 12 ft. Matching colors	50 in. x 11.75 in. x 12 ft. Matching colors
<b>Risers Available</b>	No	No	No	No	No	No

**FIBERON DECKING**

SEE FLOOR PLANS FOR LOCATION OF FLOORING \* TYPE & "COLOR": SEE SPECIFICATIONS ABOVE  
FOR INFORMATION ON PRODUCT CONTACT MANUFACTURER AT: [WWW.FIBERONDECKING.COM](http://WWW.FIBERONDECKING.COM) \* 1.800.513.8841

**FIBERON LIGHTING**

SEE SHEET CS4  
FOR INFORMATION ON PRODUCT CONTACT MANUFACTURER AT: [WWW.FIBERONDECKING.COM](http://WWW.FIBERONDECKING.COM) \* 1.800.513.8841

**DECKING**

**FEENEY CABLE RAIL**

ALUMINUM CABLE KIT - 6200 SERIES

COLOR: BLACK

FOR INFORMATION ON PRODUCT CONTACT MANUFACTURER AT:  
[WWW.FEENEYINC.COM](http://WWW.FEENEYINC.COM) \* 1.800.888.2418 \* SALES@FEENEYINC.COM

**feeney**

**CableRail**

The Original Stainless Steel Cable Infill

**CABLERAIL FOR DESIGNRAIL® METAL FRAME**

**SOLUTION C: CABLERAIL KITS + DESIGNRAIL® KITS**

DesignRail® Aluminum Railing Kits are a great solution for customers looking for a fast and easy way to install high quality exterior or interior aluminum railings with CableRail. Engineered for easy installation using components that snap and screw together, with pre-drilled posts and pickets to support 6200 series 1/8" CableRail Kits for Metal posts (Solution A). Made of high quality 6000 series aluminum extrusions with AAMA 2604 powder-coated finishes for long lasting beauty and performance. Everything you need is packaged and stocked at your local dealer.

Installing your railing is easy!

- Install Posts
- Assemble & Attach Rail Kits
- Install CableRail

**Post Kits**  
(10 Post configurations available)  
Shows 36 in post

**Rail Kits**  
(36" and 42" Height Rail Kits Available with Stair Options in 36" configurations available)

**SERIES 150 TOP RAIL**  
Top rail profile for level areas, installs between posts

**SINGLE CORNER POST**  
Unique design allows continuation of cable through corners with only one post

**BASE MOUNTED POSTS**  
Durable 3/8" thick base plate with fully-threaded stainless steel lag screws, provide a strong and secure attachment

**CABLERAIL INFILL WITH BOTTOM RAIL**  
with bottom rail profile (3-3/4" above deck (order separately))

**SERIES 150 STAIR HANDRAIL**  
Functions as top rail for stair railing, and meets residential handrail or accessibility code requirements

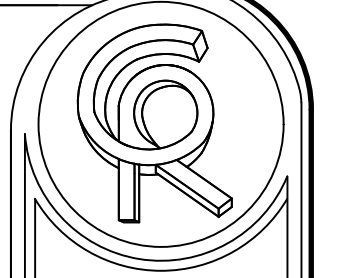
**PRE-DRILLED STAIR POSTS**  
Makes it easy to install CableRail infill at stairs, for 29-34 degrees (max 2' setback from nosing)

**COLOR OPTIONS**  
MATTE BLACK  
TEXTURED BLACK

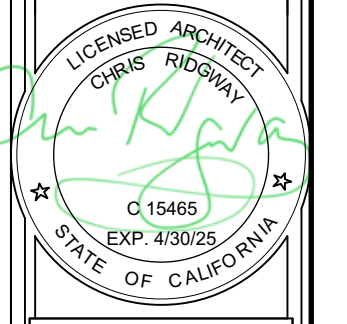
**Don't Forget!**  
Baseplate Covers & End Caps to finish it off!

**Metal CABLERAIL KITS FITTINGS + CABLE**

**CABLE RAILING**



**CHRIS RIDGWAY ARCHITECT, INC.**  
610 POPLAR STREET, HALF MOON BAY, CA 94019  
PH: 650.672.6301 • 650.791.1811  
EMAIL: CRARCHITECT@COASTSIDE.NET • WEB SITE: CRARCHITECT.NET



NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
ADDRESS: 172 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB #  
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**fiberon Lighting**

When it comes to creating your ultimate outdoor space, little details make a big difference.

**Flat Top Cap Downward Light**

- 4x4
- 5x5

**Pyramid Top Cap Downward Light**

- 4x4
- 5x5

**Pyramid Top Cap Halo Light**

- 4x4
- 5x5

**CitySide Flat Top Cap Combination Light**

- 2.5x2.5 Post
- Matte Black Only

**Flat Top Cap Halo Light**

- 4x4
- 5x5

**Smart Home Adapter**

**USB Outlet**

**Aluminum Post Side Light**

- Matte Black Only

**Dome Side Light**

**Stair Riser / Post Lights**

**Recessed Riser Light**

**Flush Deck Light with Removable Trim Ring**

**50 Watt Power Supply**

- Smart Phone App Connectivity
- Photo Eye
- Time
- Remote Control

**2-Output Splitter**


- 1 Female, 2 Male Connectors

**5-Output Splitter**

- 1 Female, 5 Male Connectors

**Wire Harnesses**

- 2ft.
- 5ft.
- 7ft.
- 9ft.



**DECK-STEPS LIGHTING**

**FIBERON DECKING LIGHTING**

SEE SHEET C93 FOR DECKING; SEE SPECIFICATIONS ON THIS SHEET

FOR INFO ON PRODUCT, CONTACT MANUFACTURER AT:

WWW.FIBERONDECKING.COM

TEL #: 1.800.513.8841

SEE ELECTRICAL PLANS FOR LOCATION

**DECK-STEPS LIGHTING**

**EXTERIOR DARK SKY LIGHTING**

PRODUCT: LIGHTRAY 9 1/4"

FINISH: BRONZE

TYPE: DARK SKY

FOR INFO ON PRODUCT, CONTACT MANUFACTURER AT:

WWW.LAMPSPLUS.COM


TEL #: 1.800.182.1961

SEE ELECTRICAL PLANS FOR LOCATION

**DARK SKY LIGHTING**

**LAMPS PLUS**  
The Nation's Largest Lighting Retailer

Outdoor Lighting / Wall Light / 10 in. high or less / Bronze / Style # 246T3



Lightray 9 1/4" High Architectural Bronze Outdoor Wall Light

**SALE \$151.30**

447640 | Save \$26.00 | Ends 8/30/23  
Pay in 4 interest-free payments of \$37.83 with [PayPal](#). [Learn more](#)

FREE SHIPPING & FREE RETURNS\* | [Low Price Guarantee](#)

In Stock - [View on Top 2 Deals](#)

1 ADD TO CART [SAVE](#)

[Product](#) [Help & Store Availability](#)

DESIGN CHAT VIEW IN YOUR ROOM

Product Details

Dark Sky

With a contemporary architectural bronze finish, this single light outdoor wall light brings welcome down illumination to your home's exterior.

**Additional Info:**

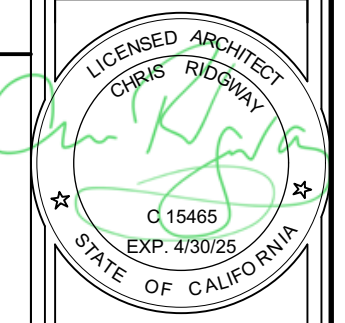
For functional illumination, you can't go wrong with Maxim Lighting's Lightray contemporary compact single light outdoor wall light. This wall sconce boasts an architectural bronze finish and produces targeted down lighting. Removable water-tight screw lens protects against wet environments.

- 9 1/4" high x 5" wide. Extends 7 3/4" from the wall. Backplate is 5 1/2" high x 4 1/2" wide. Weighs 3.99 lbs.
- Takes one 75 watt maximum standard-medium base E26 bulb (not included). Fixture is dimmable.
- Contemporary compact cylindrical single light outdoor wall light from the Lightray collection by Maxim.
- Architectural bronze finish over aluminum construction. Glass lens.
- Wet location rated for outdoor use. Dark sky rated.

Specifications

Product Attributes		Technical Specifications	
Finish	Bronze	Height	7.48 inches
Style	Contemporary	Width	10.04 inches
Brand	Maxim	Weight	5.36 pounds
Dark Sky	Yes		

**CHRIS RIDGWAY ARCHITECT, INC.**  
610 POPLAR STREET, HALF MOON BAY, CA 94019  
PH: 650.622.6501 • 650.191.1811  
EMAIL: CRA@ARCHITECT@COASTSIDE.NET • WEB SITE: CRAARCHITECT.NET



NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
ADDRESS: 172 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB # 2025  
SCALE AS NOTED  
DATE 10/18/23

SHEET C94



**Clopay**  
America's Favorite Garage Doors®

IMAGINATION LEADS TO *IMPACT*



2021 LOOKBOOK

VISION COMES TO *FRUITION*

With mixed materials, clean horizontal lines and sleek windows with mid-century appeal, doors such as Clopay's Canyon Ridge® Modern and Modern Steel™ add a defining element to a home's exterior. Skillful use of positive and negative space dramatically enhances the curb appeal of even the simplest home and plays to strong consumer preference for modern design.

**CLOPAY MODERN STEEL GARAGE DOORS**

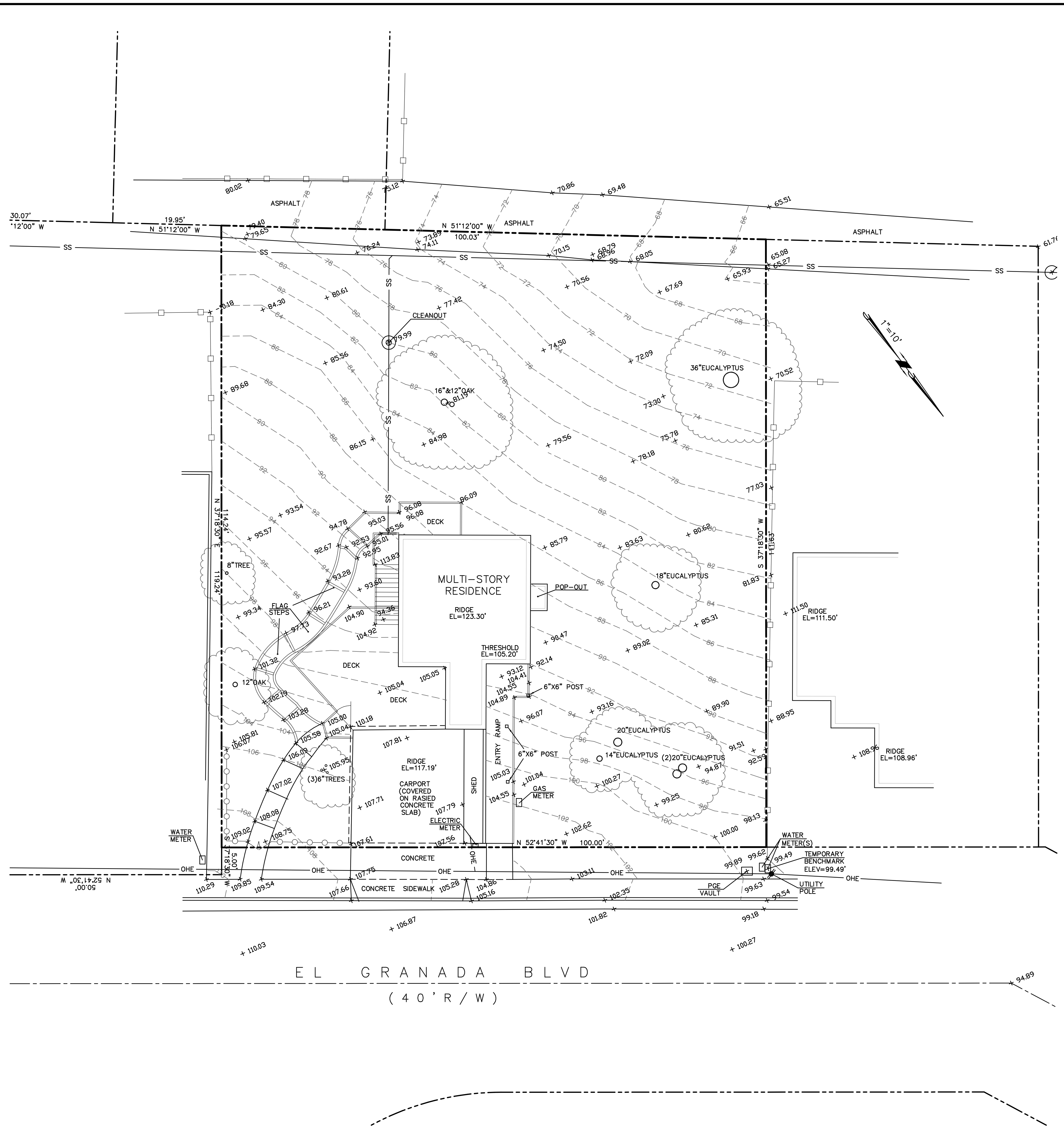
SEE FLOOR PLANS FOR SIZE & ELEVATIONS FOR GLAZING

COLOR: SHERWIN WILLIAMS - "FEWTER TANKARD"

FOR INFORMATION ON PRODUCT CONTACT MANUFACTURER AT:

WWW.CLOPAYDOOR.COM • 1.800.225.6129


**GARAGE DOOR**



**BENCHMARK STATEMENT:**  
 THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

TEMPORARY BENCHMARK IS TOP OF WATER METER BOX. SHOWN ON THIS SURVEY. ELEVATION = 99.49'

**SURVEYOR'S STATEMENT:**  
 THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE SEPTEMBER 2021. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS NOT PROVIDED TO THE SURVEYOR BY THE CLIENT. NO PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY AND NO WARRANTY IS MADE ABOUT THE BOUNDARY SHOWN. NO EASEMENTS ARE SHOWN.

  
 Saviur P. Micallef  
 LAND SURVEYOR, LS 8289  
 (805) 709-2423  
 DATE: 09-06-21

SAVIUR P. MICALLEF LAND SURVEYING  
 421 WILLOW DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

CITY OF HALF MOON BAY SAN MATEO COUNTY CALIFORNIA  
**TOPOGRAPHIC SURVEY OF**  
**172 EL GRANADA BLVD**

Date	Scale	Design	Drawn	Approved	Job No.
09-06-21	1"=10'	SPM	SPM	SPM	

Revisions:

No.	Description

Drawing Number: 1 OF 1

**FOR WATER DETENTION DESIGN & OTHER INFO:  
SEE GRADING, DRAINAGE & UTILITY PLAN ON CIVIL DRAWINGS**

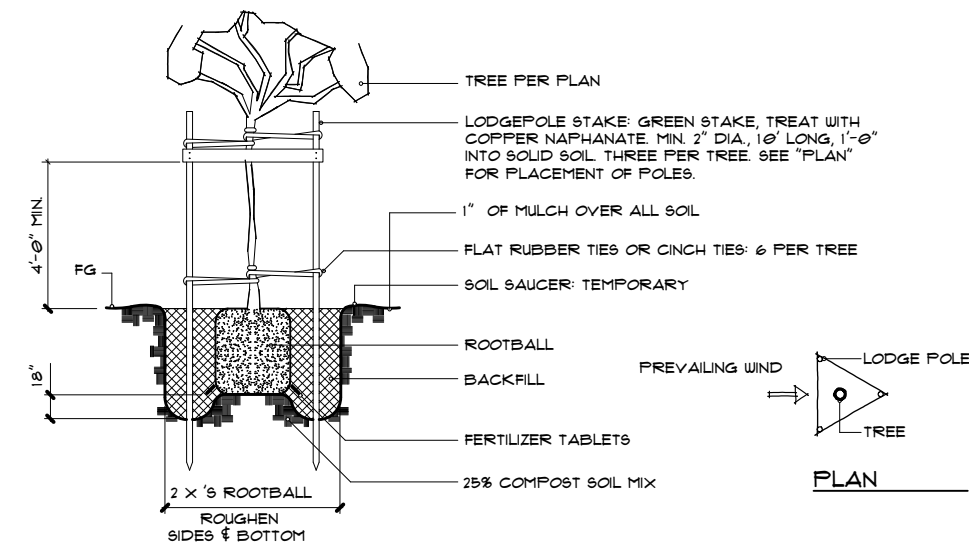
- SLOPE TO DRAIN: SEE CIVIL DRAWINGS
- SPOT ELEVATION: SEE CIVIL DRAWINGS
- DETENTION TANK: SEE CIVIL DRAWINGS

**NOTES:**  
A: NO LANDSCAPING IN PUBLIC RIGHT OF WAY  
B: USE GROUND COVER BETWEEN TREES

**THIS PROJECT HAS EXISTING LANDSCAPING AND NO ADDITIONAL DESIGN IS PROPOSED, EXCEPT FOR THE THREE TREES**

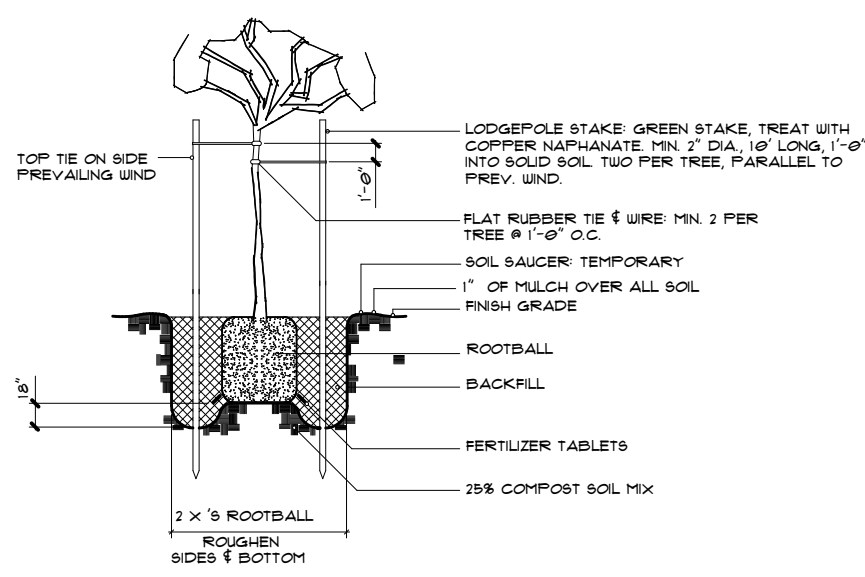
A MINIMUM 3-INCH LAYER OF MULCH TO BE APPLIED ON ALL EXPOSED SOIL SURFACES OF TREE AREAS

CONSTRUCT COUNTY STANDARD ASPHALT DRIVEWAY & PATH APPROACH WITH DRAINAGE SWALE WITH A MINIMUM OF 2 INCH ASPHALT CONCRETE OVER 6 INCH CLASS 2 AGGREGATE BASE WITH A SLIGHT SWALE



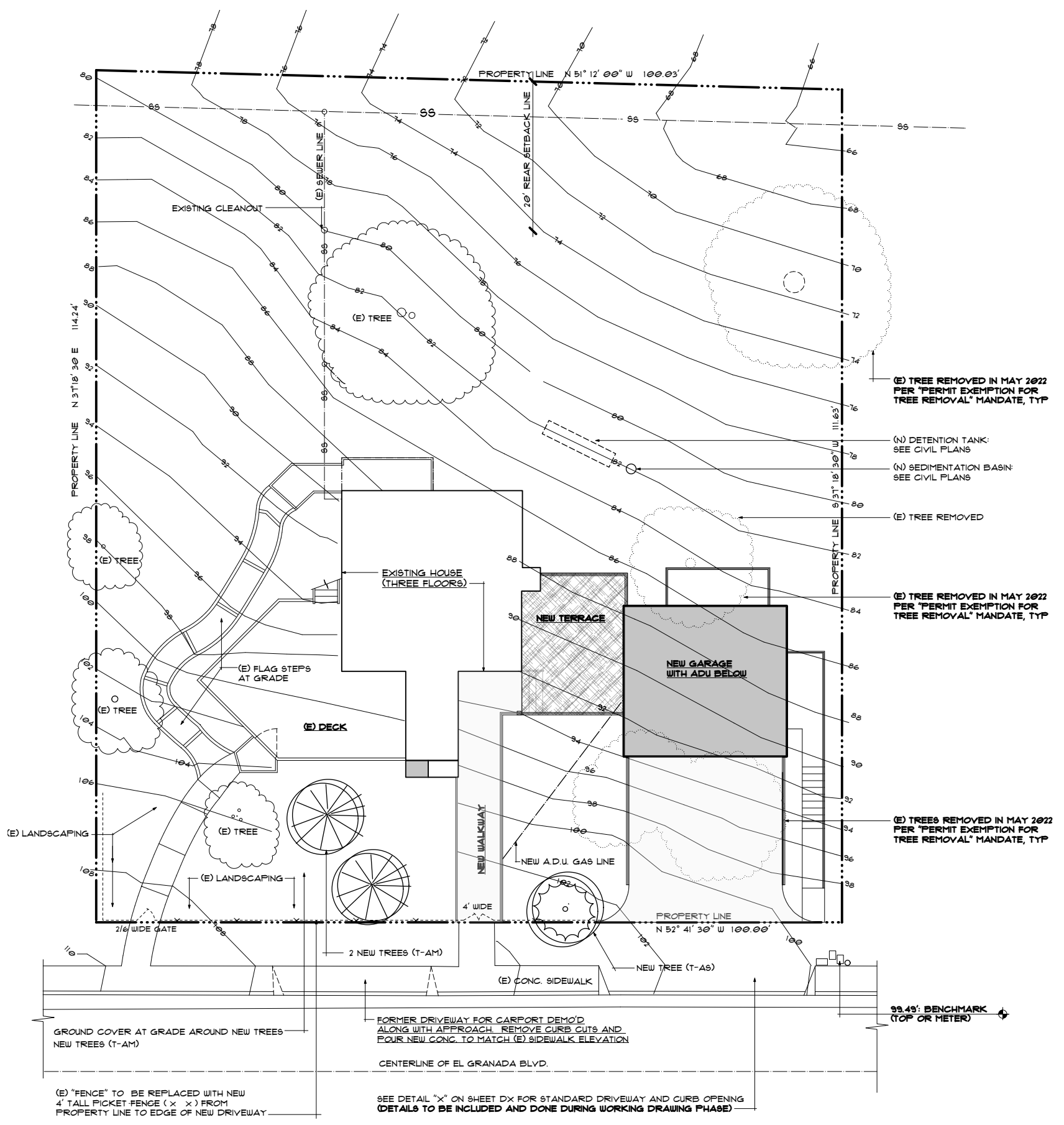
**BOX TREE STAKING DETAIL**

NOT TO SCALE



**TREE STAKING DETAIL**

NOT TO SCALE

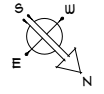


(E) TREES THAT WERE REMOVED BEFORE JULY 1, 2022 UNDER THE 'PERMIT EXEMPTION FOR TREE REMOVAL' MANDATE PER SMCO'S COMMUNITY DEVELOPMENT DIRECTOR'S MANDATE ARE SHOWN HERE AS DOTTED

SEE DETAIL 'X' ON SHEET DX FOR STANDARD DRIVEWAY AND CURB OPENING DETAILS TO BE INCLUDED AND DONE DURING WORKING DRAWING PHASE

NO LANDSCAPING IN THE PUBLIC RIGHT OF WAY

**TREE PLAN** SCALE: 1/8" = 1'-0"

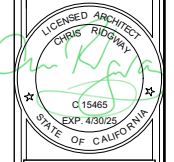


**TREES**

- T-AS Acer shirasawanum 'Aureum', GOLDEN FULLMOON MAPLE. Good patio tree. Golden-yellow leaves through the summer. In fall, the leaf tips develop red edges while the leaf center stays golden. Part shade and moist, well-drained soil. 20 feet tall and wide. 15 gallon
- T-AM Arbutus marina; STRAWBERRY TREE. 8'-30" tall. Little water required. Attractive red bark, and clusters of white flower and small red fruit. Makes a good street tree since the roots are not too aggressive. You can see them growing on Main Street in City of Half Moon Bay. Available at Bongard's Nursery. 15 gallon



**CHRIS RIDGWAY ARCHITECT, INC.**  
610 POPULAR STREET, HALF MOON BAY, CA 94019  
PH: 650.622.6501 • 650.151.1811  
EMAIL: CRA@ARCHITECTCOASTSIDE.NET • WEB SITE: CRAARCHITECT.NET



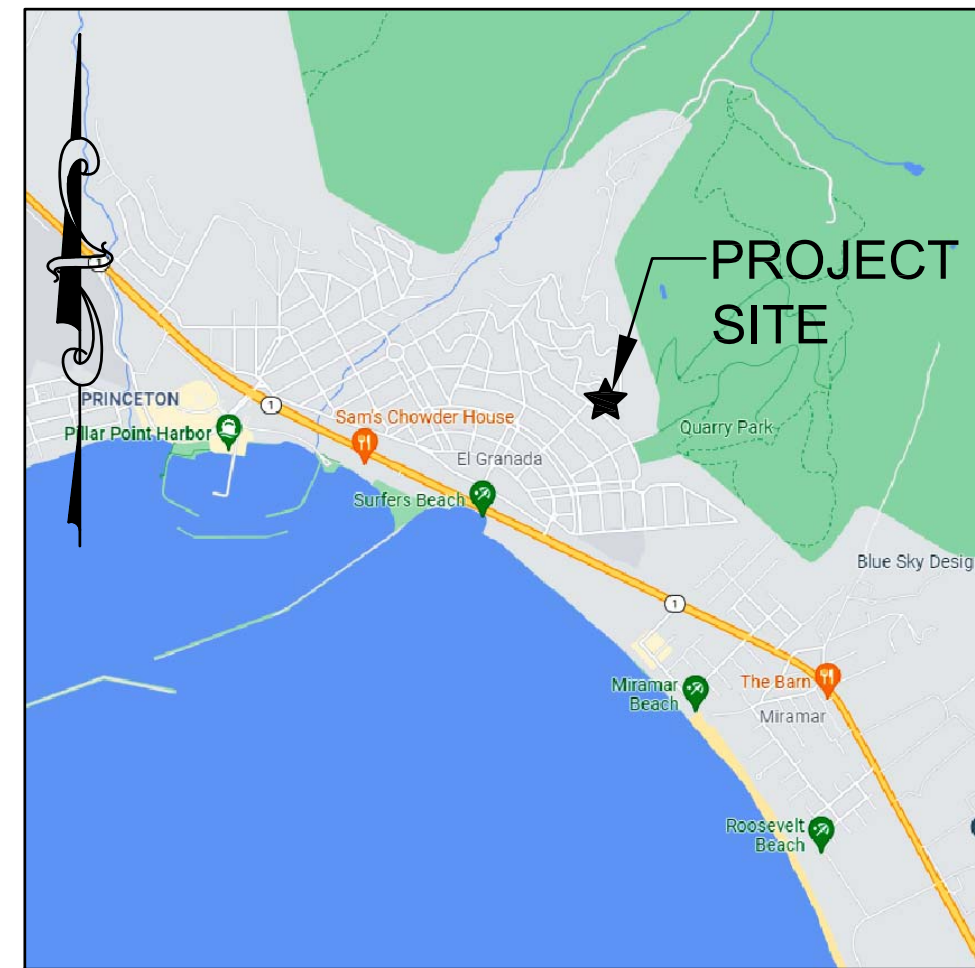
NEW A.D.U. & GARAGE FOR:  
**DOERR, TOM & CHRISTINE**  
ADDRESS: 112 EL GRANADA BLVD. EL GRANADA, CA 94019

JOB # 2005

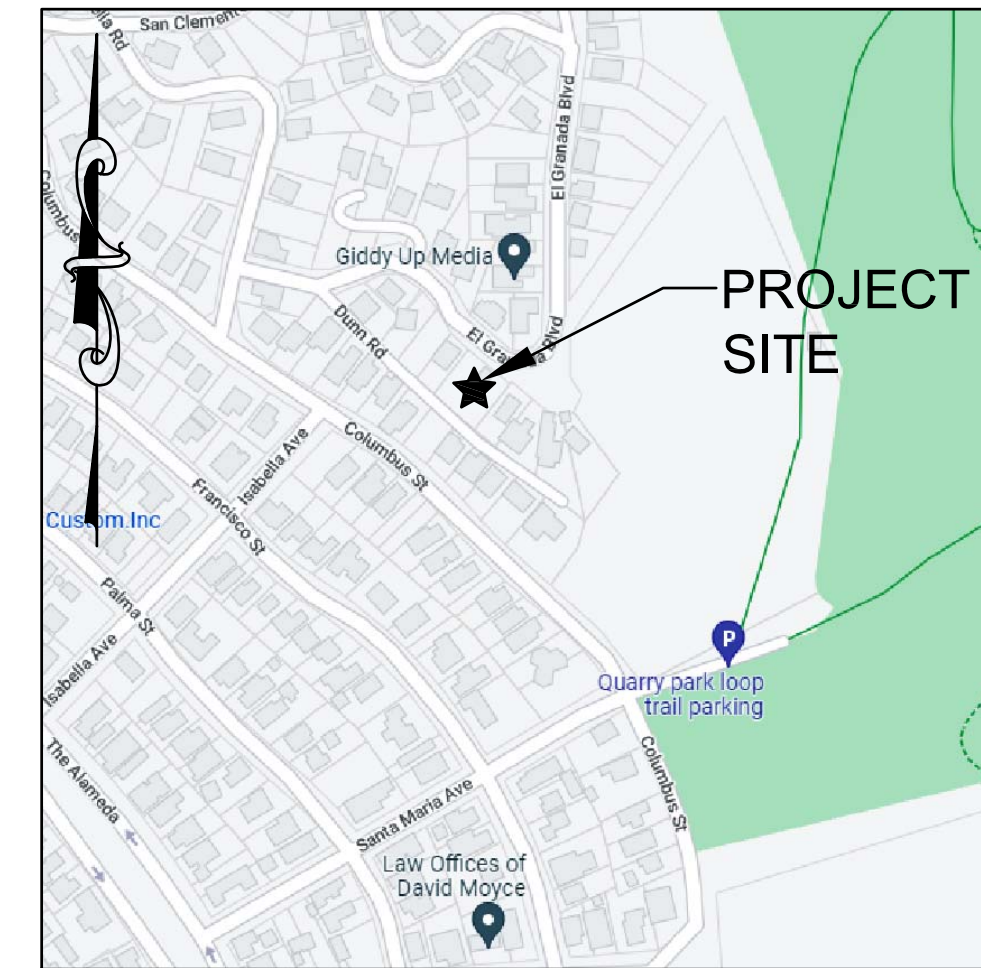
SCALE AS NOTED

DATE 10/18/23

SHEET 11



**VICINITY MAP**  
N.T.S.



**LOCATION MAP**  
N.T.S.

# DOERR RESIDENCE

## 172 EL GRANADA ROAD

### HALF MOON BAY, CA 94019

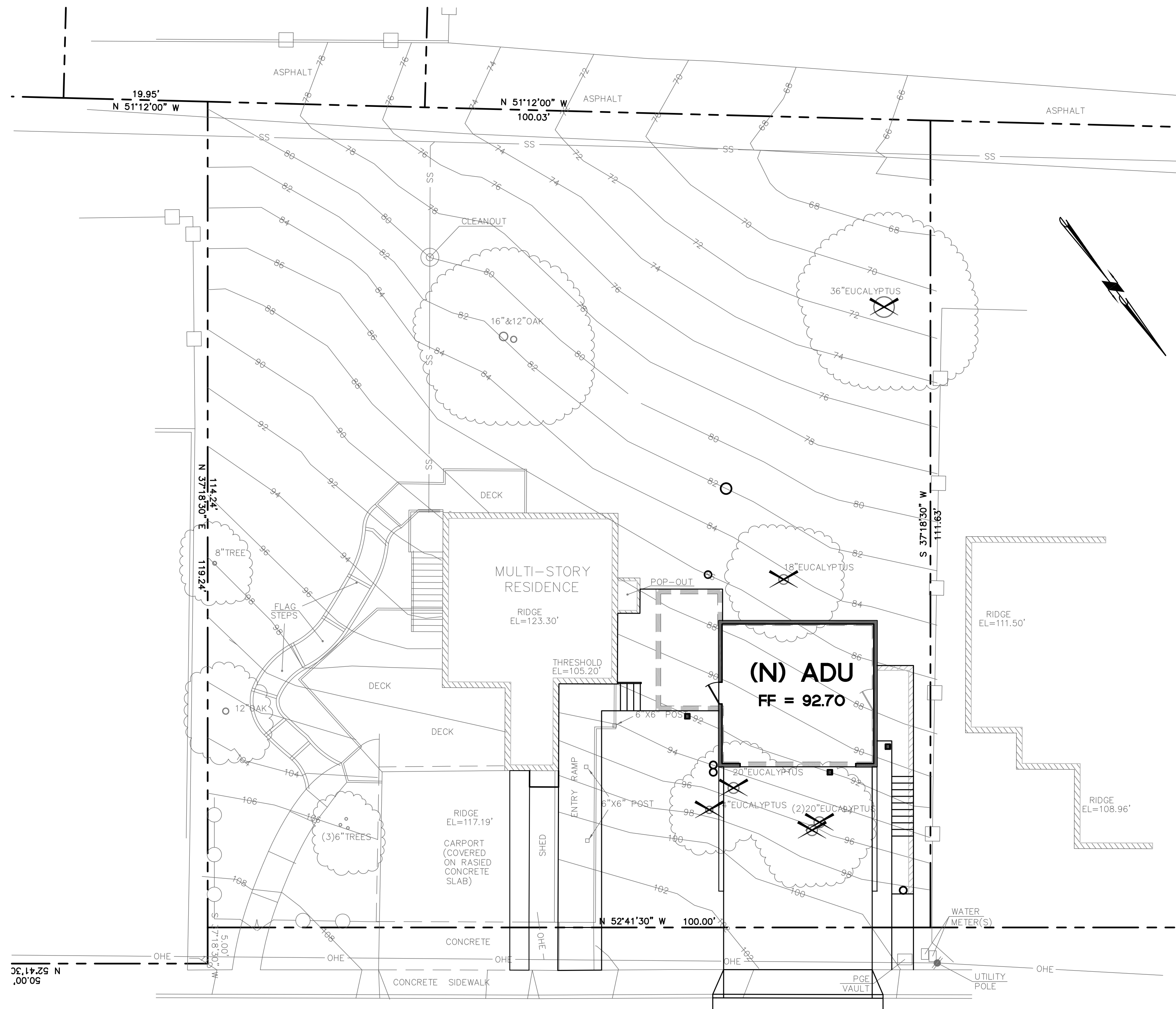
**ABBREVIATIONS**

AB	AGGREGATE BASE
AC	ASPHALT CONCRETE
AD	AREA DRAIN
ATD	ATRIUM DRAIN
BFP	BACK FLOW PREVENTION DEVICE
BW	BOTTOM OF WALL ELEVATION
CB	CATCH BASIN
CL	CENTER LINE
CS	CRAWL SPACE ELEVATION
CIP	CAST IRON PIPE
CONC	CONCRETE
DD	DECK DRAIN
DDCV	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DIP	DUCTILE IRON PIPE
DS	ROOF DOWN SPOUT
DWY	DRIVEWAY
(E)	EXISTING
ELEC	ELECTRICAL
EM	ELECTRICAL METER
EP	EDGE OF PAVEMENT
FC	FACE OF CURB ELEVATION
FDC	FIRE DEPARTMENT CONNECTION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GROUND ELEVATION
FL	FLOW LINE ELEVATION
FM	FORCE MAIN LINE
FS	FINISHED SURFACE ELEVATION
FP	FINISHED PAVEMENT ELEVATION
FW	FIRE WATER LINE
GB	GRADE BREAK
GM	GAS METER
GR	GRATE ELEVATION
GV	GATE VALVE
HP	HIGH POINT
HW	HEATED WATER LINE
INV	PIPE INVERT ELEVATION
JT	JOINT TRENCH
JP	JOINT POLE
LD	LANDSCAPE DRAIN
LF	LINEAR FEET
LP	LOW POINT
(N)	NEW
PIV	POST INDICATOR VALVE
PDC	POINT OF CONNECTION
RIM	RIM ELEVATION
S	SLOPE
SAP	SEE ARCHITECTURAL PLANS
SBD	STORM SUB DRAIN
SBDCCO	STORM SUB DRAIN CLEANOUT
SD	STORM DRAIN
SDCO	STORM DRAIN CLEANOUT
SGR	SEE GEOTECHNICAL REPORT
SICB	SIDE INLET CATCH BASIN
SLP	SEE LANDSCAPE PLANS
SPP	SEE PLUMBING PLANS
SS	SANITARY SEWER
SSCO	SANITARY SEWER CLEANOUT
SSP	SEE STRUCTURAL PLANS
TW	TOP OF WALL ELEVATION
TYP	TYPICAL
VD	PIPE VERTICAL DROP
W	DOMESTIC WATER LINE
WM	WATER METER

**EARTHWORK QUANTITIES**

CUT	15 C.Y.
FILL	10 C.Y.
TOTAL TO BE MOVED	25 C.Y.
BALANCE	5 C.Y. CUT (OFF-HAUL)

EARTHWORK QUANTITIES SHOWN ABOVE ARE FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL CALCULATE THEIR OWN EARTHWORK QUANTITIES, AND USE THEIR CALCULATIONS FOR BIDDING AND COST ESTIMATING PURPOSES.



**LEGEND:**

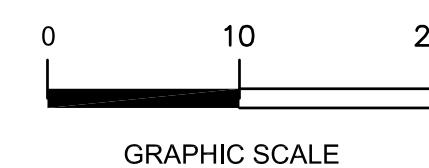
SS	EXISTING	SS	PROPOSED	SS	SANITARY SEWER
SD	EXISTING	SD	PROPOSED	SD	STORM DRAIN
FM	EXISTING	FM	PROPOSED	---	STORM SUB-DRAIN (PERFORATED PIPE)
FW	EXISTING	FW	PROPOSED	---	TRANSITION FROM PERF. PIPE TO SOLID PIPE
W	EXISTING	W	PROPOSED	---	FORCE MAIN
TRR	EXISTING	TRR	PROPOSED	---	FIRE WATER LINE
G	EXISTING	G	PROPOSED	---	DOMESTIC WATER SERVICE
E	EXISTING	E	PROPOSED	---	IRRIGATION SERVICE
JT	EXISTING	JT	PROPOSED	---	NATURAL GAS
X	EXISTING	X	PROPOSED	---	ELECTRIC
o	EXISTING	o	PROPOSED	---	JOINT TRENCH
o	EXISTING	o	PROPOSED	---	FENCE
o	EXISTING	o	PROPOSED	---	CLEAN OUT
o	EXISTING	o	PROPOSED	---	DOUBLE DETECTOR CHECK VALVE
o	EXISTING	o	PROPOSED	---	POST INDICATOR VALVE
o	EXISTING	o	PROPOSED	---	VALVE
o	EXISTING	o	PROPOSED	---	METER BOX
o	EXISTING	o	PROPOSED	---	STREET LIGHT
o	EXISTING	o	PROPOSED	---	AREA DRAIN
o	EXISTING	o	PROPOSED	---	CATCH BASIN
o	EXISTING	o	PROPOSED	---	FIRE HYDRANT
o	EXISTING	o	PROPOSED	---	FIRE DEPARTMENT CONNECTION
o	EXISTING	o	PROPOSED	---	BENCHMARK
o	EXISTING	o	PROPOSED	---	MANHOLE
o	EXISTING	o	PROPOSED	---	SIGN
o	EXISTING	o	PROPOSED	---	DOWNSPOUT
o	EXISTING	o	PROPOSED	---	SPLASH BLOCK
o	EXISTING	o	PROPOSED	---	CONTOURS
o	EXISTING	o	PROPOSED	---	PROPERTY LINE
o	EXISTING	o	PROPOSED	---	SETBACK
o	EXISTING	o	PROPOSED	---	GRASS SWALE
o	EXISTING	o	PROPOSED	---	RETAINING WALL/ BUILDING STEMWALL
o	EXISTING	o	PROPOSED	---	(E) TREE REMOVED IN MAY 2022

**SHEET INDEX**

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-2	GRADING AND UTILITY PLAN

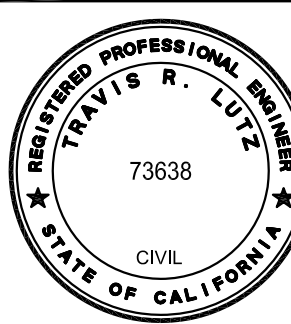
**HYDROLOGY**

(E) IMPERVIOUS AREA	(N) IMPERVIOUS AREA	REQUIRED STORAGE VOL.	STORAGE VOL. PROVIDED
1,513 SF	2,165 SF	18 CF	31 CF



DATE: \_\_\_\_\_

REVISIONS:

**TITLE SHEET**  
DOERR RESIDENCE  
172 EL GRANADA BOULEVARD  
HALF MOON BAY, CA 94019

Date: 05/02/2023

Scale: AS SHOWN

Design: AJP

Check: TRL

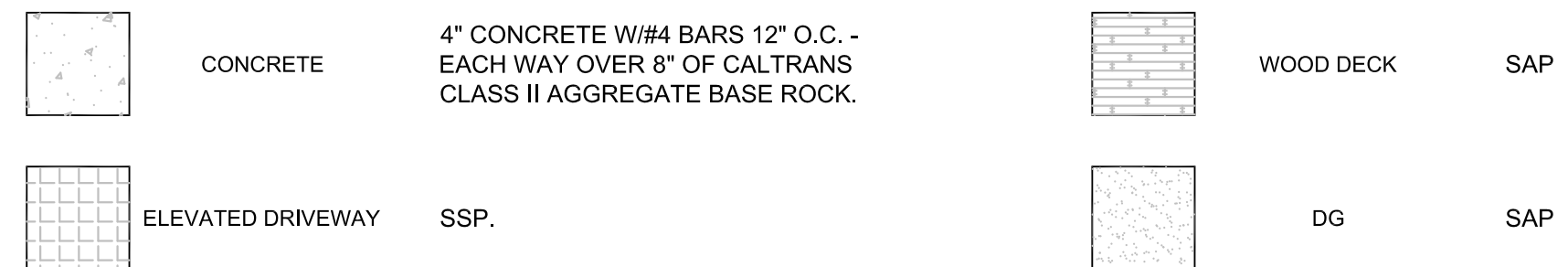
Drawing Number: C-0

PEC Job No.: PEC 21-077

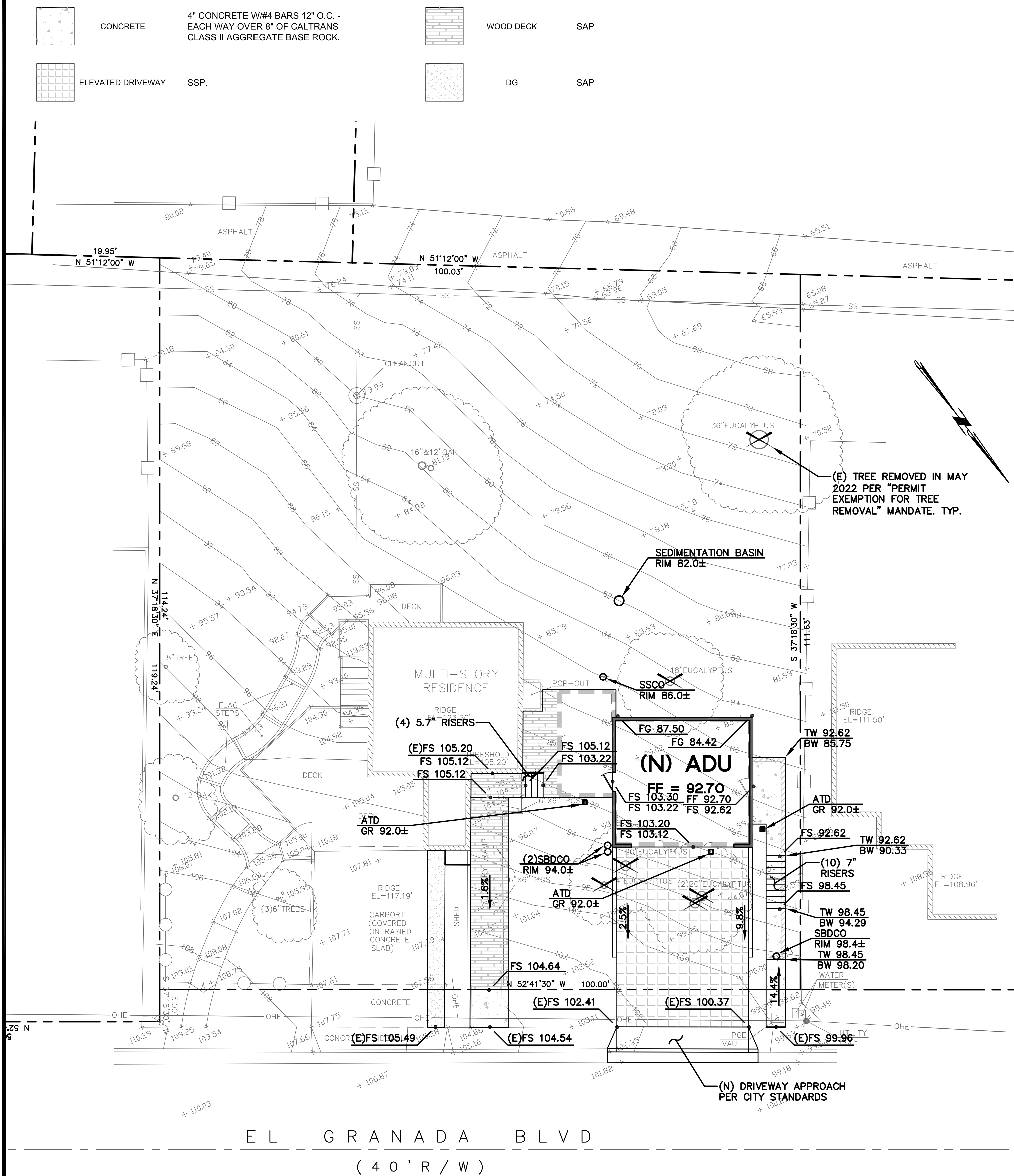


DRAWING NAME: 172 EL GRANADA RD - 172 EL GRANADA BLVD - 172 EL GRANADA BLVD - 172 EL GRANADA BLVD - 172 EL GRANADA BLVD  
 PROJECT NO.: 21-077  
 DATE: 05/02/2023  
 SCALE: AS SHOWN  
 SHEET: C-0

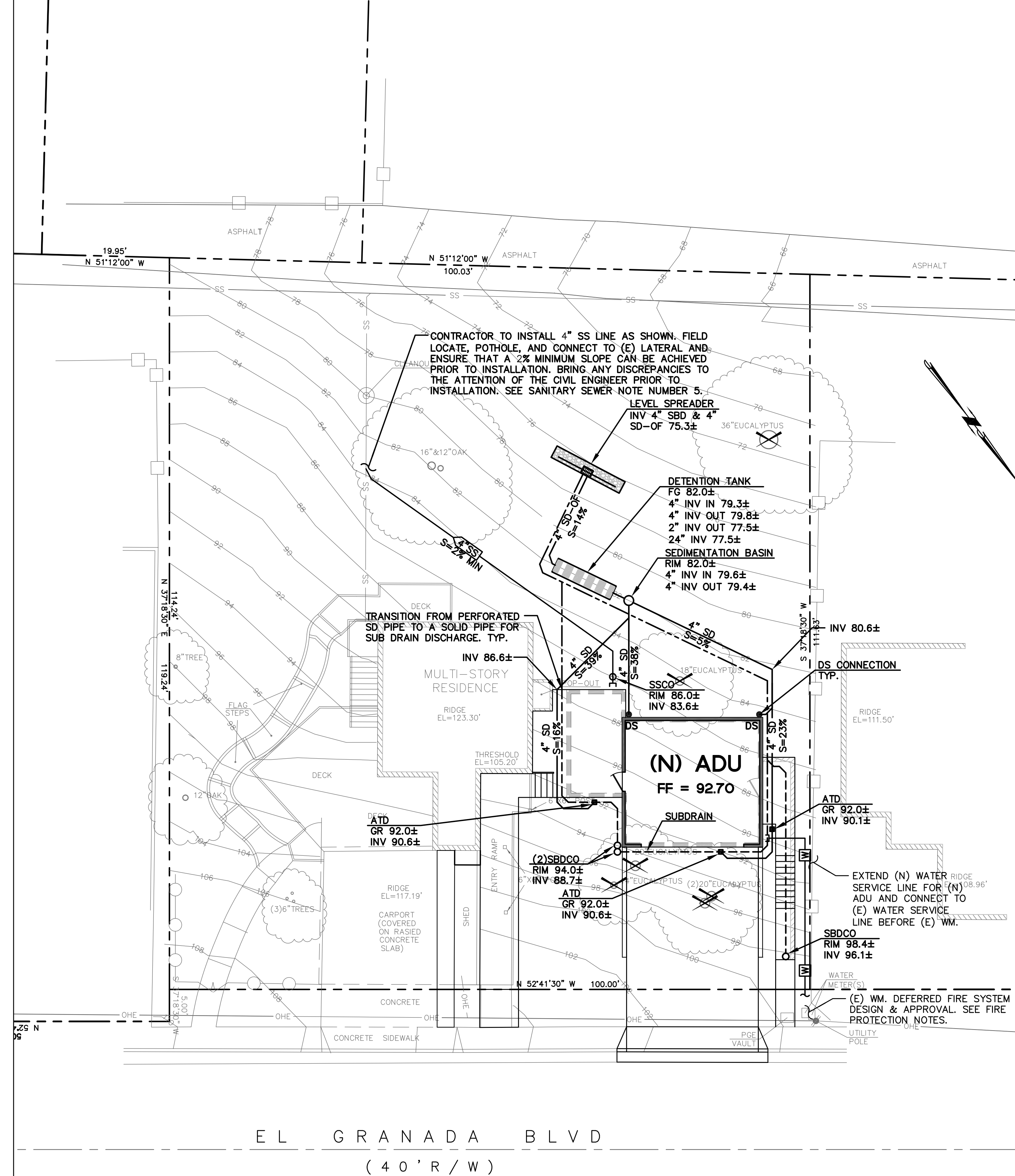
**PAVEMENT LEGEND:**  
 SEE GEOTECHNICAL REPORT IF ONE EXISTS FOR EXACT PAVEMENT SECTIONS, OVER-EXCAVATION AND COMPACTION REQUIREMENTS. SEE ARCHITECTURAL PLAN(S) FOR EXACT MATERIAL SELECTION.



**GRADING PLAN**



**UTILITY PLAN**



PRECISION ENGINEERING AND CONSTRUCTION, INC.  
 13318 Old County Road  
 Belmont, CA 94002  
 T: 650.226.8640  
 Travis@precision-ec.com

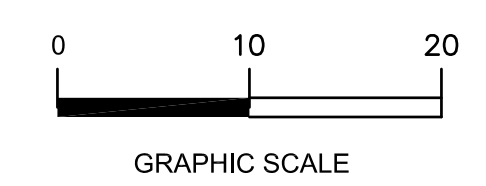
DATE: \_\_\_\_\_

REVISIONS:




**GRADING AND UTILITY PLAN**  
 DOERR RESIDENCE  
 172 EL GRANADA BOULEVARD  
 HALF MOON BAY, CA 94019

Date: 05/02/2023  
 Scale: 1" = 10'  
 Design: AJP  
 Check: TRL  
 Drawing Number: C-2  
 PEC Job No.: PEC 21-077



DRAWING NAME: DOERR RESIDENCE GRADING AND UTILITY PLAN  
 PROJECT NO.: PEC 21-077  
 DATE: 05/02/2023  
 DESIGNER: AJP  
 CHECKER: TRL  
 PROJECT LOCATION: 172 EL GRANADA BLVD, HALF MOON BAY, CA 94019