



North Fair Oaks Community Council
San Mateo County Coordinated
Departmental Response



DATE:	August 17, 2023
NFOCC MEETING DATE:	August 24, 2023
SPECIAL NOTICE/HEARING:	Yes
VOTE REQUIRED:	Yes

TO: Members, North Fair Oaks Community Council

FROM: Planning Staff

SUBJECT: Consideration of a Design Review Permit and Off-Street Parking Exception for fire repair and major remodel of a 2,487 sq. ft. existing mixed-use building with two commercial units and one residential unit. The project would reduce the size of the 2 commercial units to 1,389 sq. ft. and add an additional residential unit, for two residential units totaling 956 sq. ft. (with two attached, one-car garages and 1 tandem parking space for guest parking), on a non-conforming 3,249 sq. ft. parcel located at 3203-3205 Middlefield Road, in the County unincorporated area of North Fair Oaks. An Off-Street Parking Exception is required to waive one parking space for the commercial use, where one parking space is required, and to allow a tandem guest parking space.

County File Number: PLN 2023-00045 (Kastrop)

PROPOSAL

The applicant, Michael Kastrop, and the owner, Concetta Hayes Trust, are requesting to remodel a fire-damaged mixed-use structure. The original building consisted of two retail uses and one residential unit. The renovation will result in two commercial units and two residential units with attached one-car garages. Residential parking is provided on site, including one tandem guest parking space. One uncovered parking space is required for the commercial uses. An Off-Street Parking Exception is required to allow one tandem guest parking and waiver of one commercial parking space. The 3,249 sq. ft. property is significantly smaller than the minimum parcel size of 5,000 sq. ft. in the Neighborhood Mixed Use (NMU) Zoning District.

RECOMMENDATION

That the North Fair Oaks Community Council provide a recommendation to the Community Development Director on the applicant's request for an off-street parking exception to allow a tandem guest parking space and waive the requirement for one uncovered parking space for the commercial uses, in association with a remodel and addition to an existing mixed-use structure.

BACKGROUND

Report Prepared By: Erica Adams, Project Planner

Applicant: Michael Kastrop

Owner: Concetta Hayes Trust

Public Notification: Ten (10) day advanced notification for the meeting was mailed to property owners within 300 feet of the project parcel.

Location: 3203-3205 Middlefield Road, North Fair Oaks

APN(s): 060-072-480

Size: 3,249 sq. ft.

Existing Zoning: NMU/DR Neighborhood Mixed Use/Design Review

General Plan Designation: Medium Density, Neighborhood Mixed Use

Sphere-of-Influence: City of Redwood City

Existing Land Use: Existing Single-Family Residence

Water Supply: Existing Service by City of Redwood City Municipal Water Department

Sewage Disposal: Existing Service by Fair Oaks Sewer District

Flood Zone: Zone X (Area of Minimal Flood Hazard); Community Panel Number 06081C0302E, effective October 16, 2012.

Environmental Evaluation: This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA). This project is exempt from environmental review pursuant to the California Environmental Quality Act (CEQA), Guidelines Section 15301, Class 1, relating to minor additions of less than 10,000 sq. ft. if: The project is in an area where all public services and facilities are available, and the project is located is not environmentally sensitive.

Setting: The project site is a flat parcel located within an existing North Fair Oaks neighborhood primarily comprised of single-family residences also with single-car garages. All surrounding parcels in the neighborhood are developed.

Chronology:

<u>Date</u>	<u>Action</u>
February 27, 2023	- Design Review and Off-Street Parking Exception applications submitted
August 10, 2022	- Project Deemed Complete
August 24, 2023	- North Fair Oaks Community Council Meeting
September 6, 2023	- Bayside Design Review Committee Meeting

DISCUSSION

A. KEY ISSUES

1. Compliance with the General Plan

Urban Land Use Policies

Policy 8.1 (*Urban Land Use Planning*) directs the County to plan for a compatible and harmonious arrangement of land uses in urban areas by providing a type and mix of functionally well-integrated land uses which meets general social and economic needs.

Policy 8.19 (*Standards*) directs the County to regulate commercial development by enforcing development standards (e.g., site planning, design, and construction standards) and performance standards to ensure high quality commercial development.

The proposed project is consistent with Neighborhood Mixed Use North Fair Oaks, Chapter 21C of County Zoning Regulations. Mixed-use commercial development is supported by the zoning. The proposed project will continue this use and is harmonious with adjacent land uses.

Policy 8.40 (*Parking Regulations*) calls for the regulation of minimum on-site parking requirements and parking development standards in order to accommodate the parking needs of development, provide convenient and safe access, and prevent congestion of public streets. Although a parking exception is requested, the residential component of the project complies with County parking requirements.

2. Compliance with the North Fair Oaks Community Plan

Chapter 1: Plan Introduction

Policy 1A: Allow and promote appropriately scaled mixed-use development along Middlefield Road.

The existing structure has been in the current location for 80 years. It is estimated that the commercial use began in the 1960's.

The current Zoning Regulations establishes one covered parking space for a on bedroom unit and 0.25 guest parking space, per residential unit. Parking spaces must be provided in a "free and clear" manner which does not include tandem parking. In addition, commercial uses require one uncovered parking space per 1,000 sq. ft. of floor area. The proposal does not comply with this requirement; An exception to allow tandem parking and waive one uncovered parking space may be allowed via an Off-Street Parking Exception as discussed further in this report.

Chapter 3: Circulation and Parking

Chapter 3 of the North Fair Oaks Community Plan provides, in part, an overview of current and future parking needs and recommended parking management strategies for North Fair Oaks. Policy 5L calls for exploration of opportunities to expand off-street parking supply by providing County or privately-owned public parking lots or structures near areas of concentrated parking demand.

This project provides two covered parking spaces and one additional guest space on site. The residential component of the project complies with County parking requirements with the exception of a tandem space. Parking for the commercial uses is addressed in section 4 of this report.

3. Compliance with the Zoning Regulations

a. NMU Development Standards

The proposal complies with the property's NMU/DR zoning designation, as indicated in the following table:

S-73 Development Standards		Existing	Proposed
Minimum Lot Width	50 ft.	ft.	No Change
Minimum Lot Area	5,000 sq. ft.	3,249 sq. ft.	No Change
Minimum Front Yard Setback	0 ft.	0	No Change

Minimum Rear Yard Setback	20 ft.	37.5ft.	36.5ft.
Minimum Right-Side Yard Setback	0 ft.	0 ft.	No Change
Minimum Left-Side Yard Setback	0 ft.	0 ft.	No Change
Maximum Building Height	40 ft.	20 ft. 4in.	24 ft. 3in.
Maximum Lot Coverage	2,599 sq. ft. 80%	2,072 sq. ft. 64%	1,955 sq. ft. 60%
Maximum Floor Area Ratio	4,873 sq. ft. 150%	2,487 sq. ft. 76.5%	3,058 sq. ft. 94%

The proposed project is compliant with the zoning district standards for setbacks, height, lot coverage, and floor area ratio. Compliance with the parking standards is discussed below.

b. Parking Requirements

The number of parking spaces required for mixed use development is found in Section 6397 of the San Mateo County Zoning Regulations.

NMU REQUIRED PARKING			
USE	PARKING GENERATING FACTOR	PARKING SPACES REQUIRED	PARKING SPACES PROPOSED
Townhouses Dwellings, Multiple	Dwelling Unit Parking: 0-1 bedrooms	1 covered per unit (2 total)	1 covered per unit (2 total)
	Visitor Parking: Each dwelling unit	0.25 per unit covered or uncovered (0.50 total)	1 tandem space
Any Commercial, Office and/or Food Service Use in this subsection in a Mixed-Use Development	Up to 1,000 sq. ft. and each 1,000 sq. ft. thereafter	1 covered or uncovered	None
	TOTAL PARKING:	3.50 rounded to 4.0	3.0

The original building consisted of two retail uses and one residential unit. The renovation will result in two commercial units and two residential units, each residential unit with an attached one car garage. With the current proposal, all required residential parking is provided on site, with the one guest parking space being tandem. One uncovered parking space is required for the commercial uses.

An unmarked parking area at the rear of the building could accommodate approximately 3 vehicles. This area cannot be used formally for parking as the area is small and it is difficult for vehicles to enter and exit. This prevents the provision of both “free and clear” residential guest parking and the additional uncovered space required for the commercial use. An Off-Street Parking Exception is required to allow the project to have one tandem guest parking and a waiver of one commercial parking space.

4. Compliance with Off-Street Parking Exception Findings

The granting of an Off-Street Parking Exception is subject to the following findings:

- a. **That the establishment, maintenance and/or conducting of the off-street parking facilities as proposed are as nearly in compliance with the requirements set forth in Section 6119 of the Zoning Regulations as are reasonably possible.**

The proposal includes the use of a tandem guest parking space and a waiver of one covered parking space for the improvement of an existing commercial mixed-use structure. The remodel/addition to the damaged structure is as nearly in compliance with the requirements of both NMU parking and general regulations as possible. The residential component of the project complies with County parking requirements. The required commercial parking is one space, which can as previously stated, cannot be accommodated on the space-constrained site. However, there is street parking immediately in front of the building and adjacent/nearby commercial establishments have onsite parking, reducing demand for street parking in the immediate vicinity. The proposal complies with residential off-street parking in a location where the lack of one commercial parking space would be less impactful.

That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The existing mixed-use building has no covered parking. The proposed development will have two covered parking spaces and one tandem guest parking space, on site. The waiver of one parking space will not be detrimental to the public welfare or injurious to property or improvements in said neighborhood as the existing commercial units serve the surrounding community and nearby public parking is available.

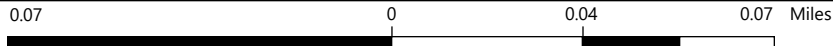
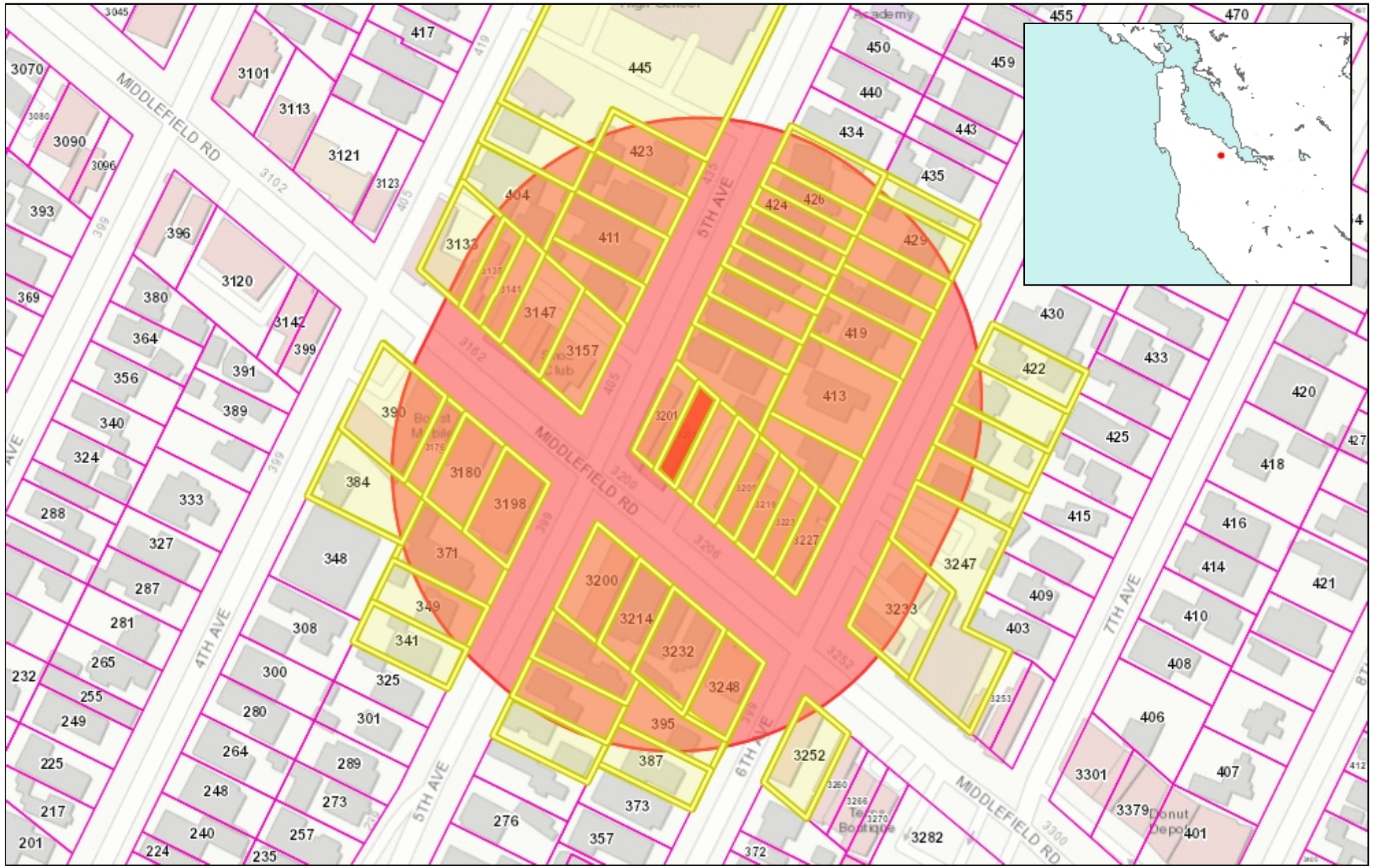
The increased housing and renovation to the commercial uses are aspects of the project which provide benefits to the community. The one off-site parking space which is not being provided will not be detrimental to the neighborhood, as this location on Middlefield Road has street parking directly in front of the building, and the adjacent commercial uses have onsite parking in a parking lot, which keeps parking demand in the immediate vicinity low. The project was reviewed in consultation with the Department of Public Works and received conditional approval.

A notice of this meeting was sent to all neighbors, located within a 300 feet notification radius of the project site. The noticing period took place between August 14, 2023 and August 24, 2023. Public notification of the proposal yielded no comments.

ATTACHMENTS

- A. Location Map
- B. Plans

EDA:mda – EDAHH0258_WMU.DOCX

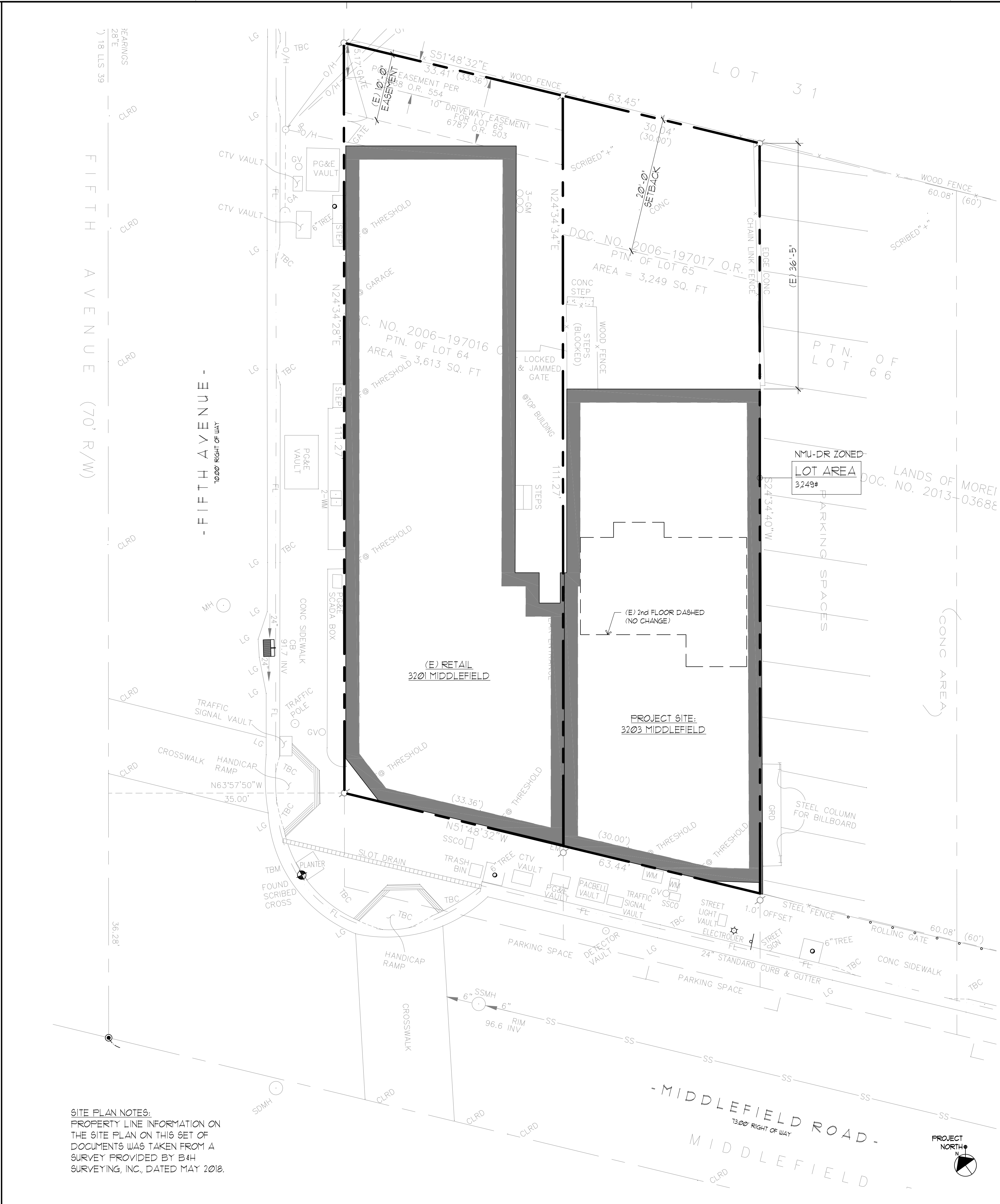


WGS_1984_Web_Mercator_Auxiliary_Sphere
 © Latitude Geographics Group Ltd.

1:2,257

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION



SITE PLAN NOTES:
 PROPERTY LINE INFORMATION ON THE SITE PLAN ON THIS SET OF DOCUMENTS WAS TAKEN FROM A SURVEY PROVIDED BY B4H SURVEYING, INC., DATED MAY 2018.

ARCHITECT THE KASTROP GROUP, INC. 160 BIRCH STREET, SUITE B REDWOOD CITY, CA 94062 TEL: 650/298-0303 CONTACT: D. MICHAEL KASTROP, AIA LIC. C-18183 EXP. 5/31/23 EMAIL: MIKE@KASTROFGROUP.COM	PROPERTY OWNER FURNER PROPERTIES 2211 CLOVERLY COURT LOS ALTOS, CA 94024 TEL: 408/245-1659 CONTACT: KATHY HAYES EMAIL: GHAYES@EARTHLINK.NET
CIVIL ENGINEER CLIFFORD BECHTEL & ASSOCIATES, INC. 1321 254th PLACE, SE SAMMAMISH, WA 98075 TEL: 650/333-0103 CONTACT: CLIFF BECHTEL EMAIL: CLIFFBECHTEL@COMCAST.NET	

PROJECT TEAM																														
ZONING DESIGNATION:	NMU-DR																													
ASSESSOR'S PARCEL NUMBER:	060-012-480																													
BUILDING TYPE:	VB (NON SPRINKLERED)																													
LOT AREA:	3,249#																													
PROPOSED OCCUPANCY:	M/R-2																													
JURISDICTION:	COUNTY OF SAN MATEO																													
CODE:	2019 CBC																													
PROPOSED PARKING:	2 COVERED SPACES, 1 UNCOVERED TANDEM																													
REQUIRED PARKING:	8 SPACES (2 COVERED)																													
<table border="1"> <thead> <tr> <th></th> <th>EXISTING</th> <th>PROPOSED</th> <th>TOTAL</th> </tr> </thead> <tbody> <tr> <td>BUILDING FOOTPRINT:</td> <td>2,072#</td> <td>- 111#</td> <td>1,955#</td> </tr> <tr> <td>RETAIL TOTAL FLOOR AREA:</td> <td>2,072#</td> <td>- 683#</td> <td>1,389#</td> </tr> <tr> <td>RES TOTAL FLOOR AREA:</td> <td>415#</td> <td>+ 541#</td> <td>956#</td> </tr> <tr> <td>RES DECKS FLOOR AREA:</td> <td>N/A</td> <td>+ 208#</td> <td>208#</td> </tr> <tr> <td>GARAGE TOTAL FLOOR AREA:</td> <td>N/A</td> <td>+ 500#</td> <td>500#</td> </tr> <tr> <td>BUILDING HEIGHT:</td> <td>20'-4"</td> <td>+ 4'-1"</td> <td>24'-3"</td> </tr> </tbody> </table>				EXISTING	PROPOSED	TOTAL	BUILDING FOOTPRINT:	2,072#	- 111#	1,955#	RETAIL TOTAL FLOOR AREA:	2,072#	- 683#	1,389#	RES TOTAL FLOOR AREA:	415#	+ 541#	956#	RES DECKS FLOOR AREA:	N/A	+ 208#	208#	GARAGE TOTAL FLOOR AREA:	N/A	+ 500#	500#	BUILDING HEIGHT:	20'-4"	+ 4'-1"	24'-3"
	EXISTING	PROPOSED	TOTAL																											
BUILDING FOOTPRINT:	2,072#	- 111#	1,955#																											
RETAIL TOTAL FLOOR AREA:	2,072#	- 683#	1,389#																											
RES TOTAL FLOOR AREA:	415#	+ 541#	956#																											
RES DECKS FLOOR AREA:	N/A	+ 208#	208#																											
GARAGE TOTAL FLOOR AREA:	N/A	+ 500#	500#																											
BUILDING HEIGHT:	20'-4"	+ 4'-1"	24'-3"																											
EXISTING PARKING:	2 UNCOVERED																													
PROPOSED PARKING:	2 COVERED (FOR RES), 1 UNCOVERED (FOR RES GUEST)																													

PROJECT INFORMATION	
A1.0	PROJECT TEAM & INFORMATION, EXISTING SITE PLAN
A1.1	PROPOSED SITE PLAN, VEHICLE MANEUVERING DIAGRAM
-	BOUNDARY & TOPOGRAPHIC SURVEY
A2.0	EXISTING FLOOR PLANS
A2.1	PROPOSED FLOOR PLANS
A4.0	(E) & PROPOSED ROOF PLAN
A5.0	(E) & PROPOSED EXT ELEVATIONS, BLDG CROSS SECTIONS
A5.1	RENDERINGS, COLORS, LIGHT FIXTURES
C-1	GRADING, DRAINAGE & UTILITY PLAN
C-2	EROSION & SEDIMENT CONTROL & STAGING PLAN
C-3	CIVIL DETAILS
C-4	CONSTRUCTION BMP CHECKLIST

SHEET INDEX	
THIS IS A RETAIL & RESIDENCE REMODEL DUE TO EXTENSIVE FIRE DAMAGE TO THE BUILDING ON JULY 16, 2015. THE EXISTING BUILDING HAS TWO RETAIL UNITS (3203-3205 MIDDLEFIELD ROAD) AND ONE SECOND STORY LIVING UNIT AT THE REAR (402B 5th AVENUE). THE PROPOSED DESIGN REDUCES THE SIZE OF THE TWO RETAIL UNITS AND ADDS A RESIDENTIAL UNIT (TWO TOTAL). THE NMU ZONE REQUIRES 1 COVERED SPACE AND 0.25 GUEST SPACES PER 1-BEDROOM DWELLING, AS WELL AS 1 SPACE PER RETAIL UNIT. AN OFF-STREET PARKING PERMIT EXCEPTION IS REQUESTED FOR THE RETAIL UNITS (2 PARKING SPACES).	
THE RETAIL UNITS WILL WHEEL THEIR GARBAGE/RECYCLING BINS TO MIDDLEFIELD ROAD ON COLLECTION DAYS, BUT OTHERWISE KEEP THEIR BINS INDOORS. THE LIVING UNITS WILL KEEP THEIR BINS IN THE GARAGES AND WILL WHEEL THEM OUT TO FIFTH AVE. ON COLLECTION DAYS.	
THE EXISTING SITE IS VERY COMPACT. PROPOSED LANDSCAPING IS LIMITED DUE TO REQUIRED DRIVEWAY CLEARANCES, AS SHOWN ON CIVIL DRAWINGS.	

DATE		ISSUE TITLE	
11/8/17	EXISTING CONDITIONS		
2/16/23	SUBMIT FOR AP		
6/28/23	RESUBMIT FOR AP		
JOB NO: 22821		DRAWN: MB	
CHECKED: DMK		SCALE: AS NOTED	

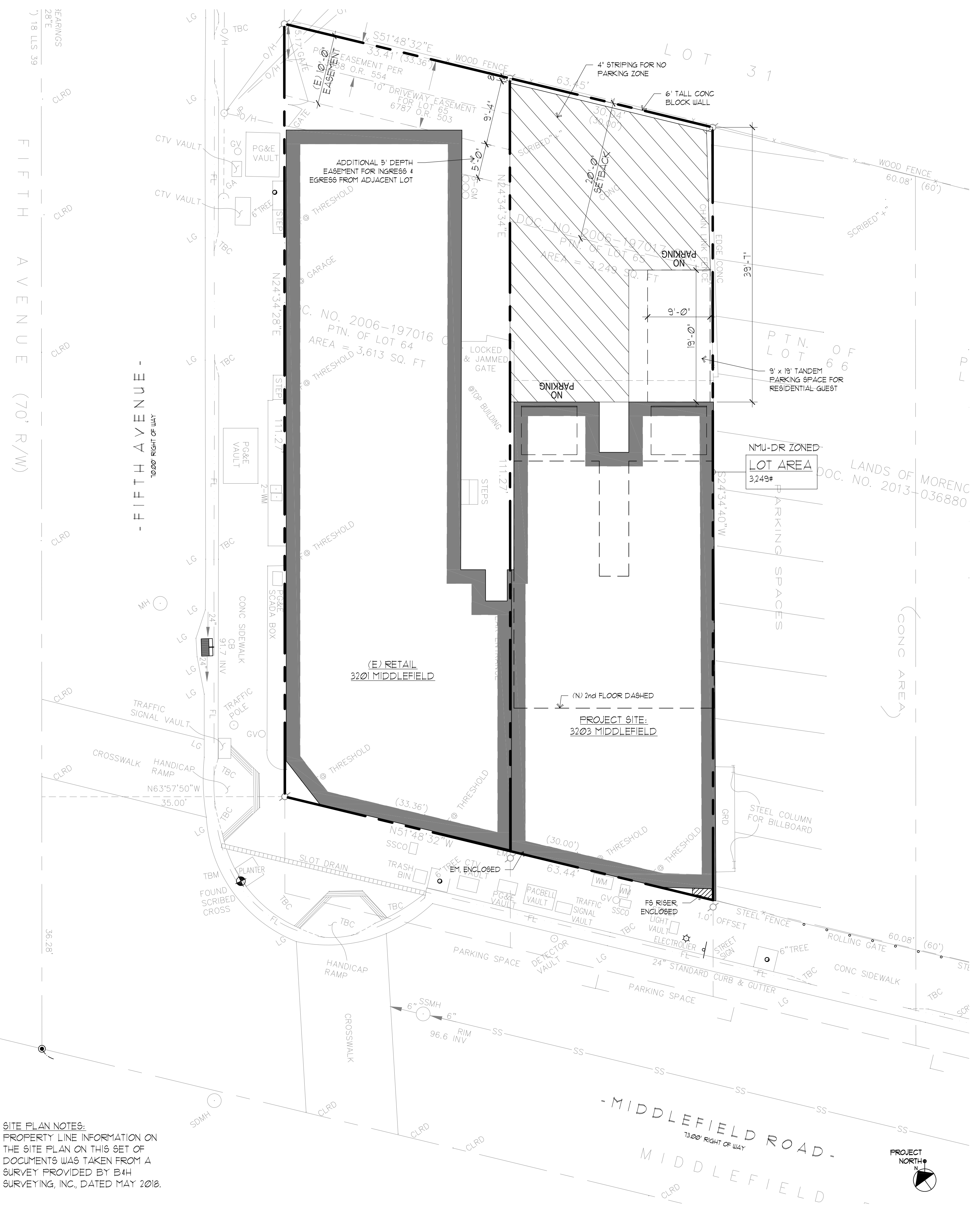
THE KASTROP GROUP, INC.
ARCHITECTS
 2345 SPRING STREET
 REDWOOD CITY, CA 94063
 T: 650.299.0303
 www.kastrogroup.com

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION
3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 MENLO PARK, CA 94025

**PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION**

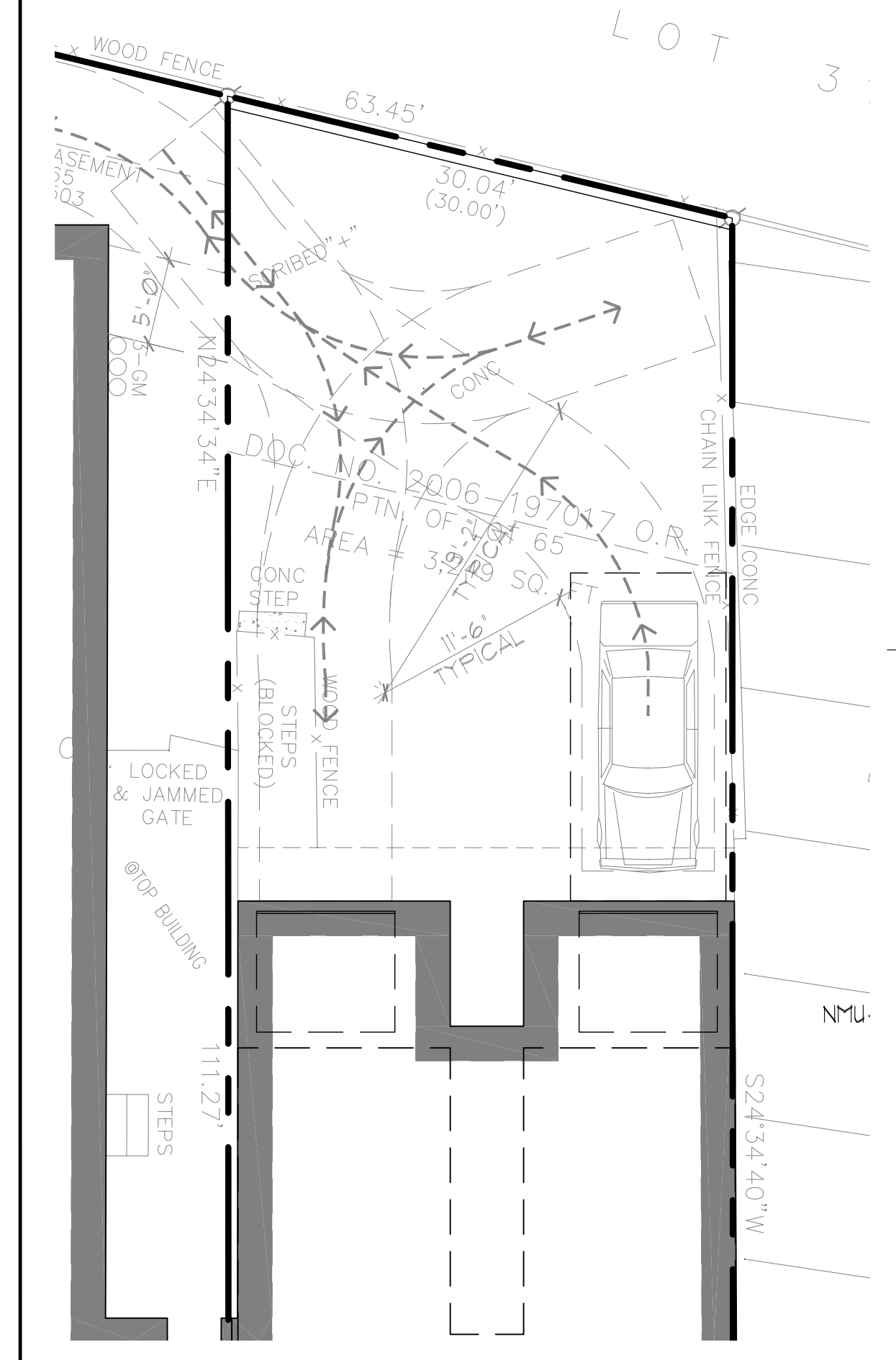
SHEET TITLE:
 EXISTING SITE PLAN

A1.0
 OF



SITE PLAN NOTES:
 PROPERTY LINE INFORMATION ON THE SITE PLAN ON THIS SET OF DOCUMENTS WAS TAKEN FROM A SURVEY PROVIDED BY B4H SURVEYING, INC., DATED MAY 2018.

PROPOSED SITE PLAN



VEHICLE MANEUVERING 1/8" = 1'-0" C

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION
3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 MENLO PARK, CA 94025

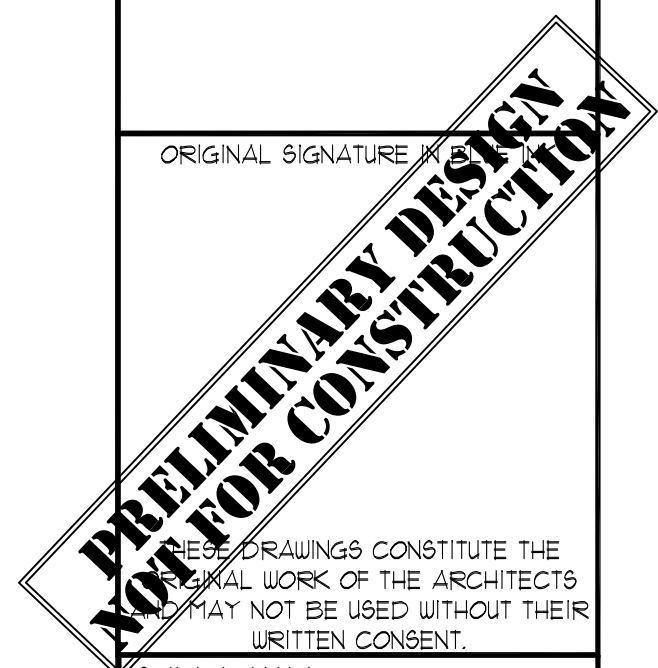
ORIGINAL SIGNATURE _____
 THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:
 PROPOSED SITE PLAN
 VEHICLE DIAGRAM

DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/6/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821
 DRAWN: MB
 CHECKED: DMK
 SCALE: AS NOTED

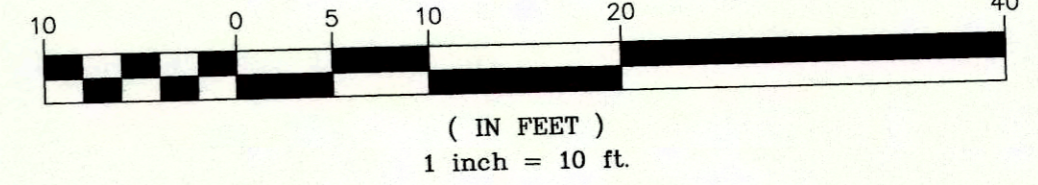
A1.1
 OF
 BLDG PERMIT APP NO. _____



22821 3203-3205 MIDDLEFIELD RD. 402 B-D 5th AVE. MENLO PARK, CA 94025

PARK ROAD

GRAPHIC SCALE



BOUNDARY NOTE:

MONUMENTS HAVE BEEN SET AT THE PROPERTY CORNERS AND A RECORD OF SURVEY OR CORNER RECORD WILL BE FILED WITH THE COUNTY OF SAN MATEO.

BASIS OF ELEVATIONS:

ELEVATIONS ARE BASED UPON AN ASSUMED DATUM.
TBM: FOUND SCRIBED CROSS AS SHOWN
ELEVATION = 100.00

BASIS OF BEARINGS:

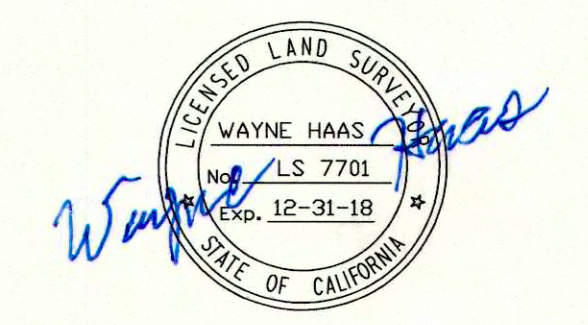
THE BEARING, N24°34'28"E BETWEEN TWO FOUND MONUMENTS AT THE INTERSECTION OF FIFTH AVE. & MIDDLEFIELD ROAD AND AT THE INTERSECTION OF FIFTH AVE. AND PARK ROAD, AS SHOWN ON THAT CERTAIN RECORD OF SURVEY MAP FILED IN VOL. 18 OF L.L.S. MAPS AT PAGE 39, WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS SURVEY.

LEGEND:

- FOUND 2.5" BRASS DISK MONUMENT, IN CASING PER 18 LLS 39
- ⊙ SET 3/4" BRASS TAG "LS 7701" & TACK IN LEAD AS NOTED
- A/C ASPHALTIC CONCRETE
- BW BACK OF WALK
- CB CATCH BASIN
- CP CAST IRON PIPE
- CLRD CENTERLINE ROAD
- CMC CORRUGATED METAL PIPE
- CONC CONCRETE
- CO CLEAN-OUT
- DI DROP INLET
- EM ELECTRIC METER
- FD FOUND
- FF FINISHED FLOOR
- FL FLOW LINE
- FI FIRE HYDRANT
- GA GUY ANCHOR
- GM GAS METER
- GRD GROUND
- HCR HANDICAP RAMP
- INV INVERT
- IP IRON PIPE
- JP JOINT POLE
- LAT. LATERAL
- LG LIP OF GUTTER
- O/H OVERHEAD
- P.U.E. PUBLIC UTILITIES EASEMENT
- RCP REINFORCED CONCRETE PIPE
- RET. WALL RETAINING WALL
- R/W RIGHT OF WAY
- SSCO SANITARY SEWER CLEAN-OUT
- SSMH SANITARY SEWER MANHOLE
- SDM STORM DRAIN MANHOLE
- TBC TOP BACK OF CURB
- T/W TOP OF WALL
- U/G UNDERGROUND
- VCP VITRIFIED CLAY PIPE
- WV WATER VALVE
- WM WATER METER BOX
- CTV-CABLE TELEVISION LINE
- E-ELECTRICAL LINE
- G-GAS LINE
- SS-SANITARY SEWER LINE
- SD-STORM DRAIN LINE
- T-TELEPHONE LINE
- W-WATER LINE

UTILITY NOTE:

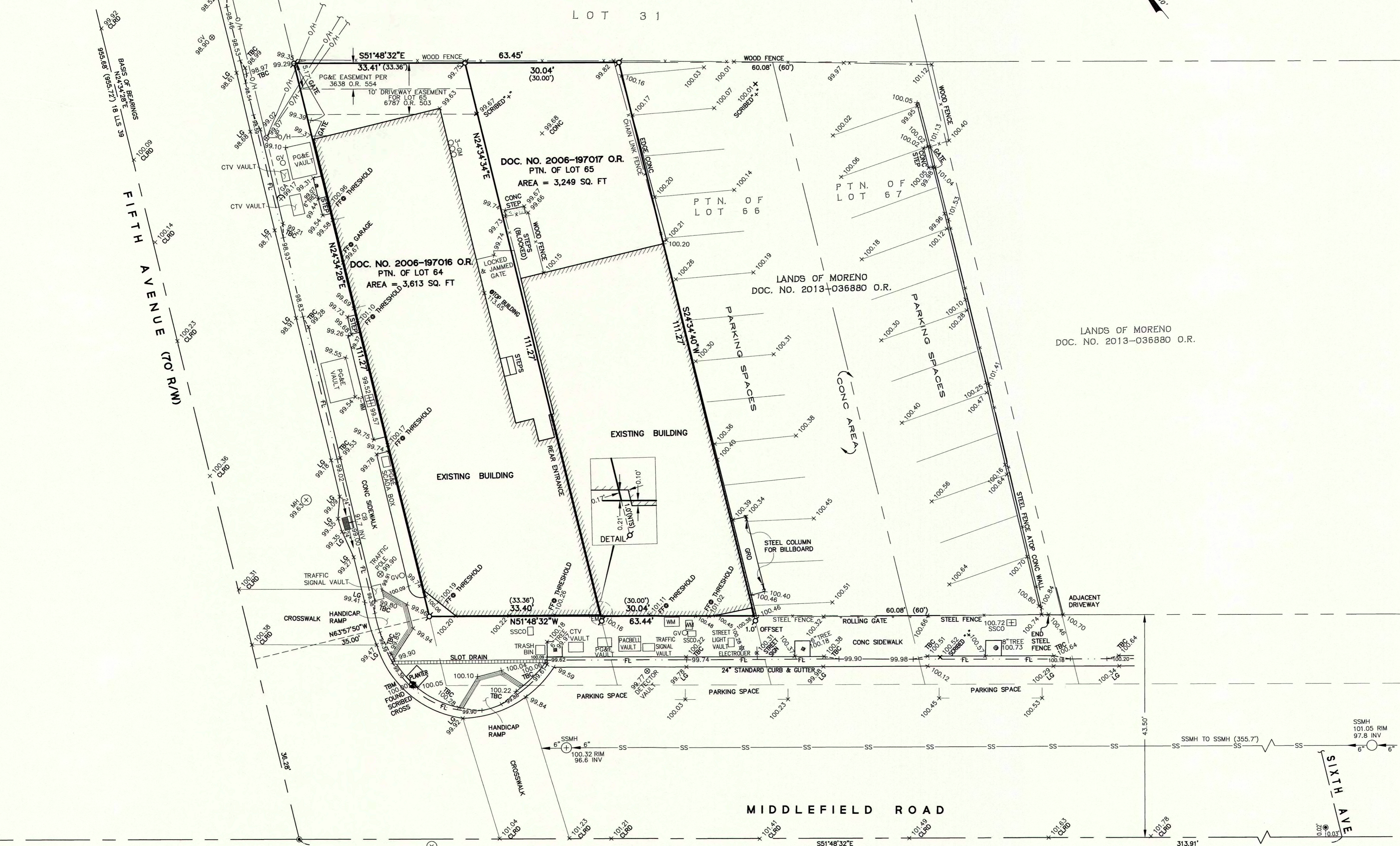
THE UTILITIES EXISTING ON THE SURFACE AND SHOWN ON THIS DRAWING HAVE BEEN LOCATED BY FIELD SURVEY. ALL UNDERGROUND UTILITIES SHOWN ON THIS DRAWING ARE FROM RECORDS OF THE VARIOUS UTILITY COMPANIES AND THE SURVEYOR DOES NOT ASSUME RESPONSIBILITY FOR THEIR COMPLETENESS, INDICATED LOCATION, OR SIZE. RECORD UTILITY LOCATION SHOULD BE CONFIRMED BY EXPOSING THE UTILITY.

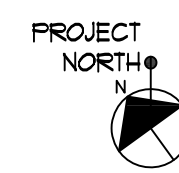
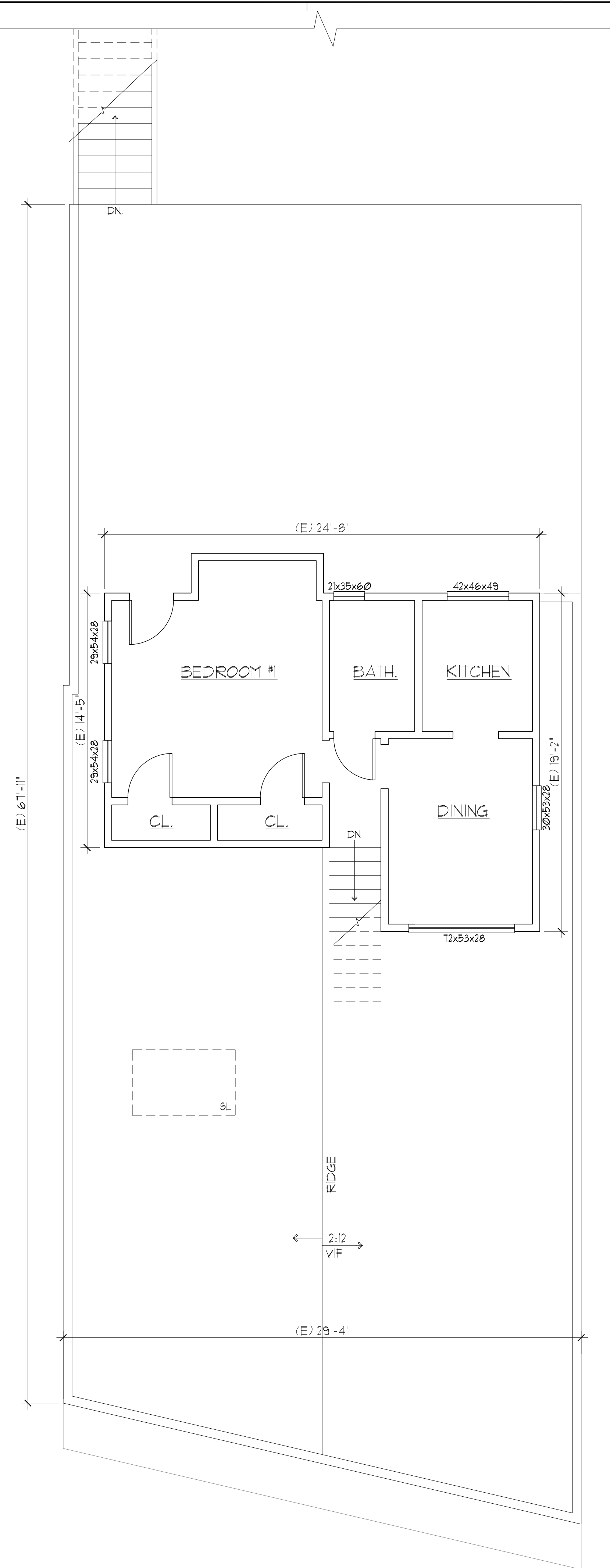


BOUNDARY AND TOPOGRAPHIC SURVEY

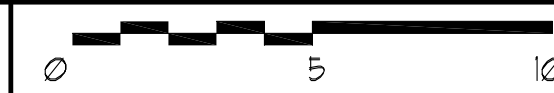
LANDS OF HAYES
 DOCUMENT # 2006-197016 O.R.
 DOCUMENT # 2006-197017 O.R.
 A PORTION OF LOTS 64 & 65, BLOCK 5
 "NORTH FAIR OAKS"
 VOLUME 5 OF MAPS AT PAGE 21
 ASSESSOR'S PARCEL NUMBER: 060-072-470
 ASSESSOR'S PARCEL NUMBER: 060-072-480
 (3201&3205 MIDDLEFIELD ROAD, MENLO PARK)
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1" = 10' MAY, 2018

B & H SURVEYING, INC.
 PROFESSIONAL LAND SURVEYING
 901 WALTERMIRE ST.
 BELMONT, CA 94002
 OFFICE (650) 637-1590
 FAX (650) 637-1059



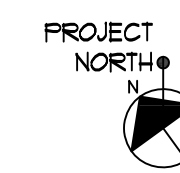
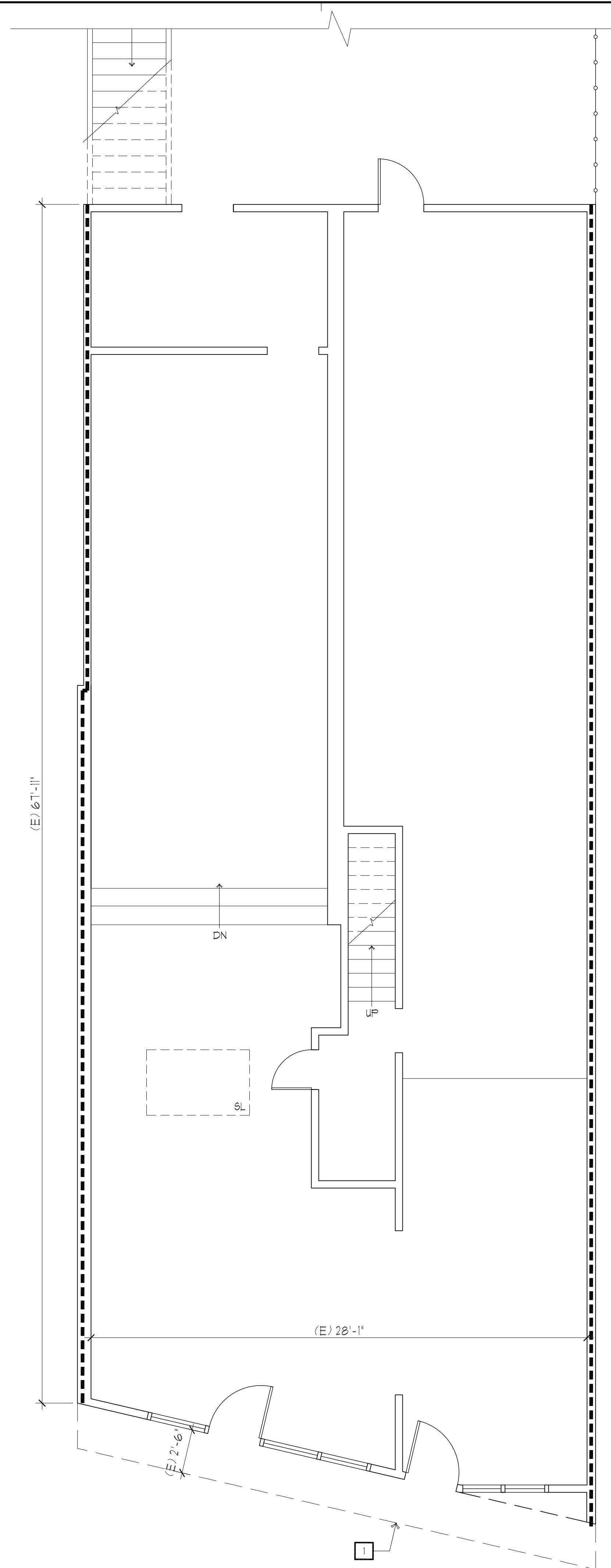


EXISTING 2nd FLOOR PLAN



1/4"=1'-0" N

EXISTING 1st FLOOR PLAN



1/4"=1'-0" E

KEY NOTES & LEGEND

KEY NOTES:
 1 (E) AWNING

- LEGEND:
- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
 - ONE-HOUR RATED WALL, 3/8" TYPE-X GYP BD, FIRE TAPE
 - ⌀ FINISHED CEILING HEIGHT, SEE RCP
 - /// AREA TO BE DEMOLISHED
 - (E) WALLS TO REMAIN

THE KASTROP GROUP, INC.
 ARCHITECTS
 2345 SPRING STREET
 REDWOOD CITY, CA 94063
 T: 650.299.0303
 www.kastropgroup.com

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION
3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 MENLO PARK, CA 94025

ORIGINAL SIGNATURE:
**PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION**

SHEET TITLE:
 (E) 1st FLOOR PLAN
 (E) 2nd FLOOR PLAN

DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/6/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821
 DRAWN: MB
 CHECKED: DMK
 SCALE: AS NOTED

A2.0
 OF
 BLDG PERMIT APP NO.

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE, MENLO PARK, CA 94025

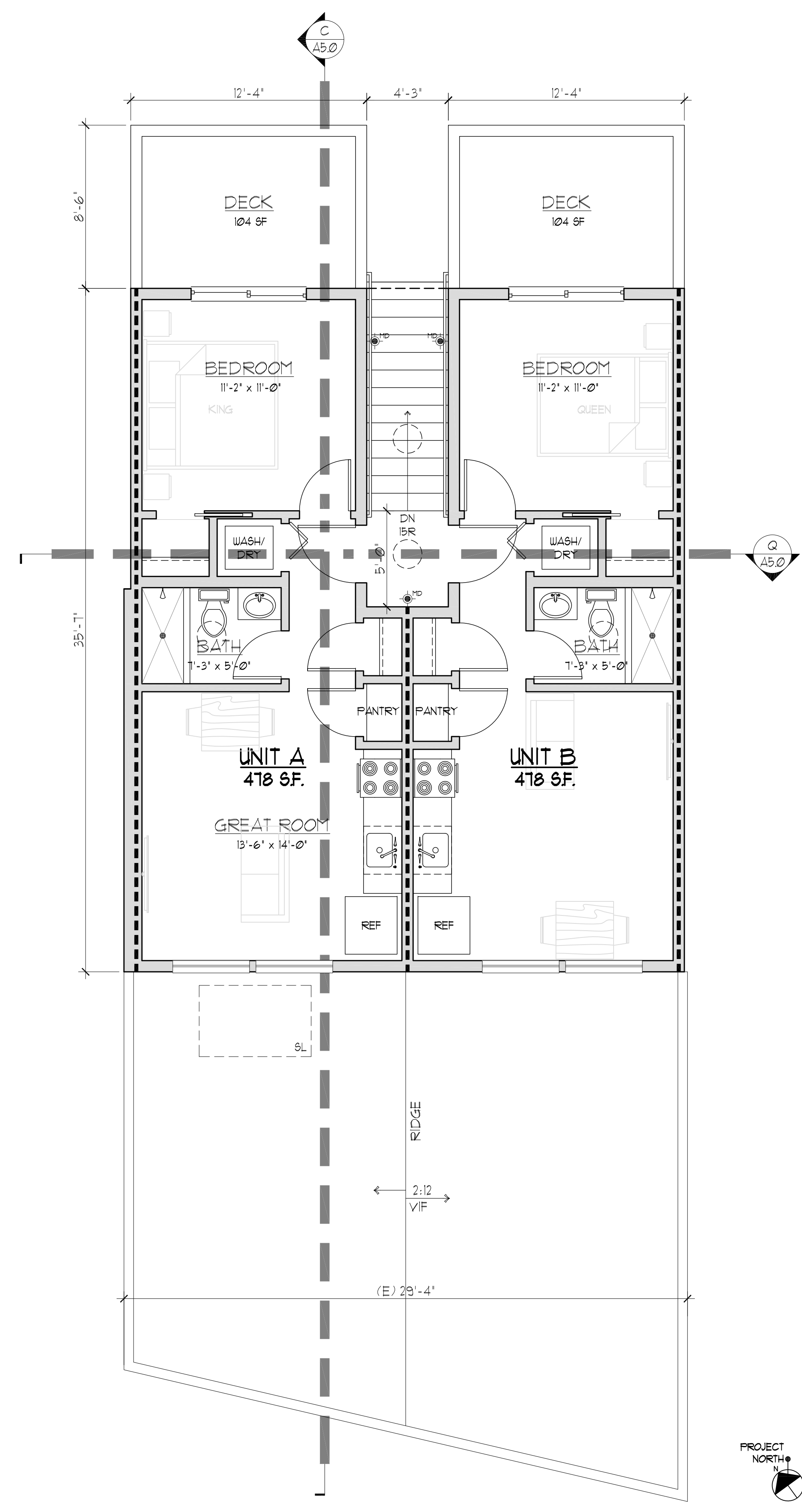
ORIGINAL SIGNATURE
**PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION**

SHEET TITLE:
 PROPOSED 1st FLOOR PLAN
 PROPOSED 2nd FLOOR PLAN

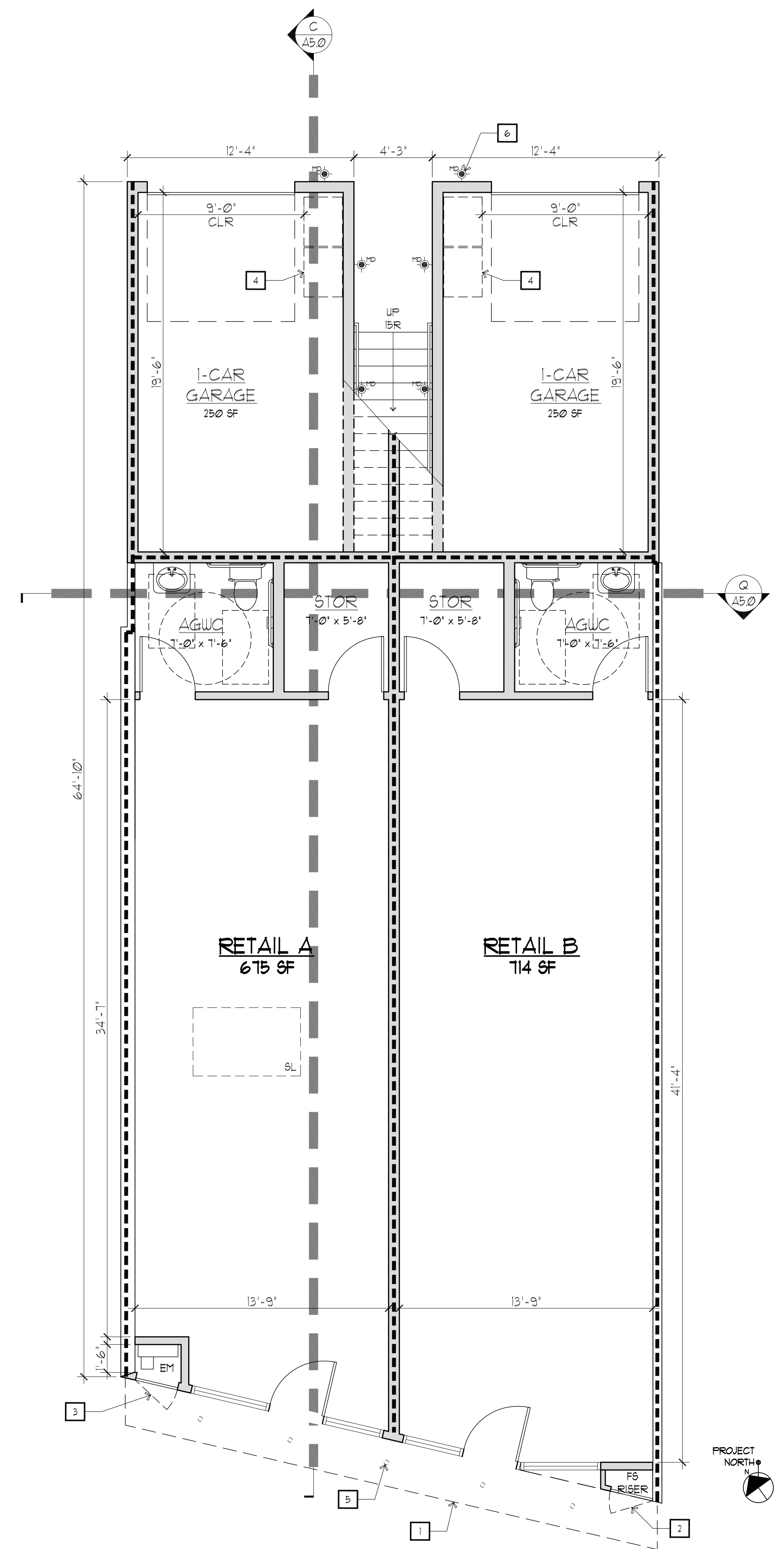
DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/6/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821
 DRAWN: MB
 CHECKED: DMK
 SCALE: AS NOTED

A2.1
 OF
 BLDG PERMIT APP NO.



PROPOSED 2nd FLOOR PLAN



PROPOSED 1st FLOOR PLAN

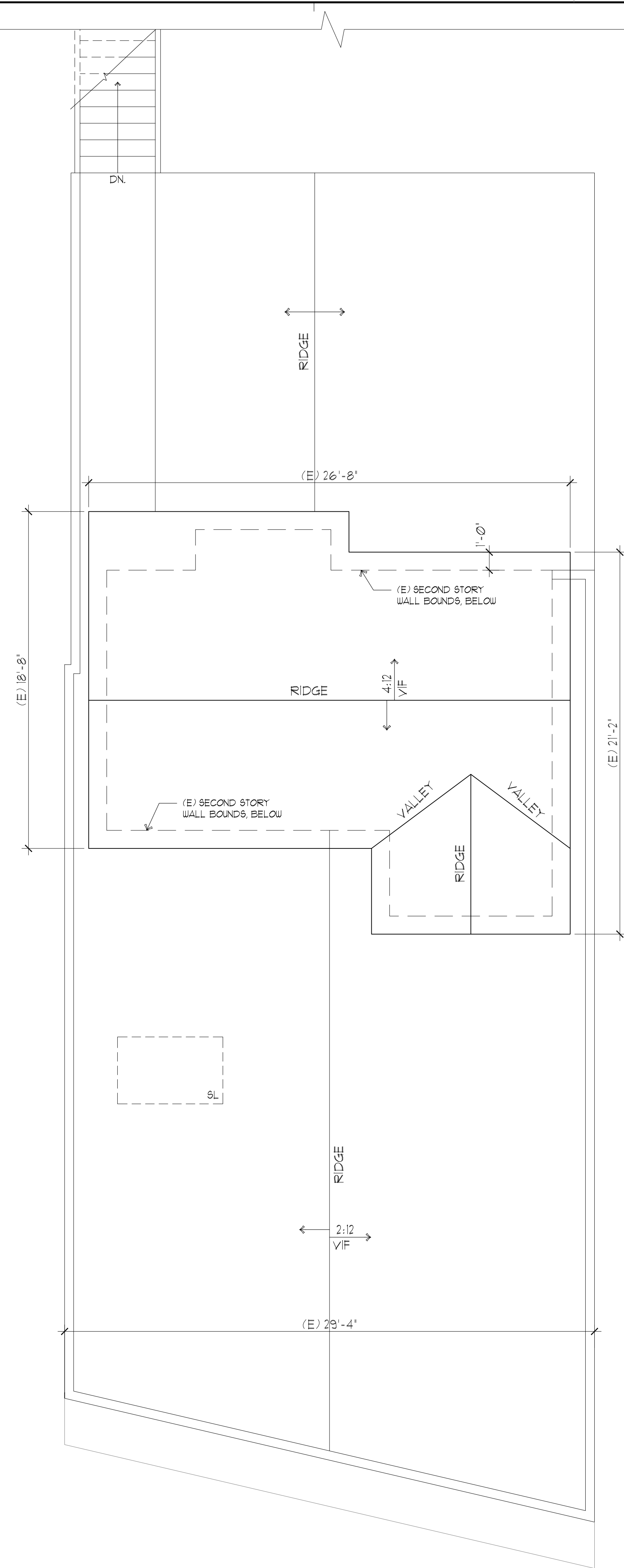


- KEY NOTES:**
- (E) AWNING. SEE EXTERIOR ELEVATIONS FOR PROPOSED IMPROVEMENTS
 - CLOSET w/ 2480 ACCESS DOOR FOR FIRE SPRINKLER RISER
 - CLOSET w/ 2480 ACCESS DOOR FOR ELEC METERS
 - LOCATION FOR GARBAGE & RECYCLING BINS
 - RECESSED LED CAN LIGHT, SEE A5.1, TYP OF 4
 - LED SCONCE LIGHT, SEE A5.1, TYP OF 9

- KEY NOTES & LEGEND**
- 2 KEY NOTE TAGS - SEE KEY NOTES THIS SHEET
 - ONE-HOUR FIRE RATED WALL, 5/8" TYPE-X GYP BD, MUD & FIRE TAPE (CBC TABLE 1020.1)
 - 8'-0" FINISHED CEILING HEIGHT
 - NEW WALLS, 1/2-HOUR FIRE RATED, PROVIDE SOUND INSULATION AND 5/8" GYP BD BOTH SIDES (CBC 1003.2)- SEE SHEET A02
 - (E) WALLS TO REMAIN

KEY NOTES & LEGEND

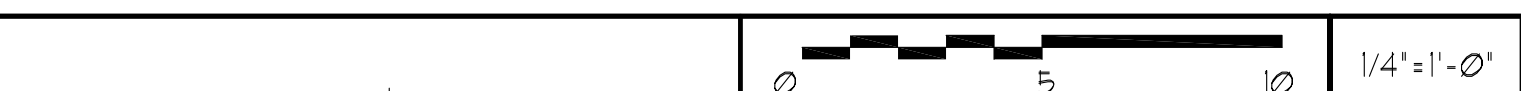
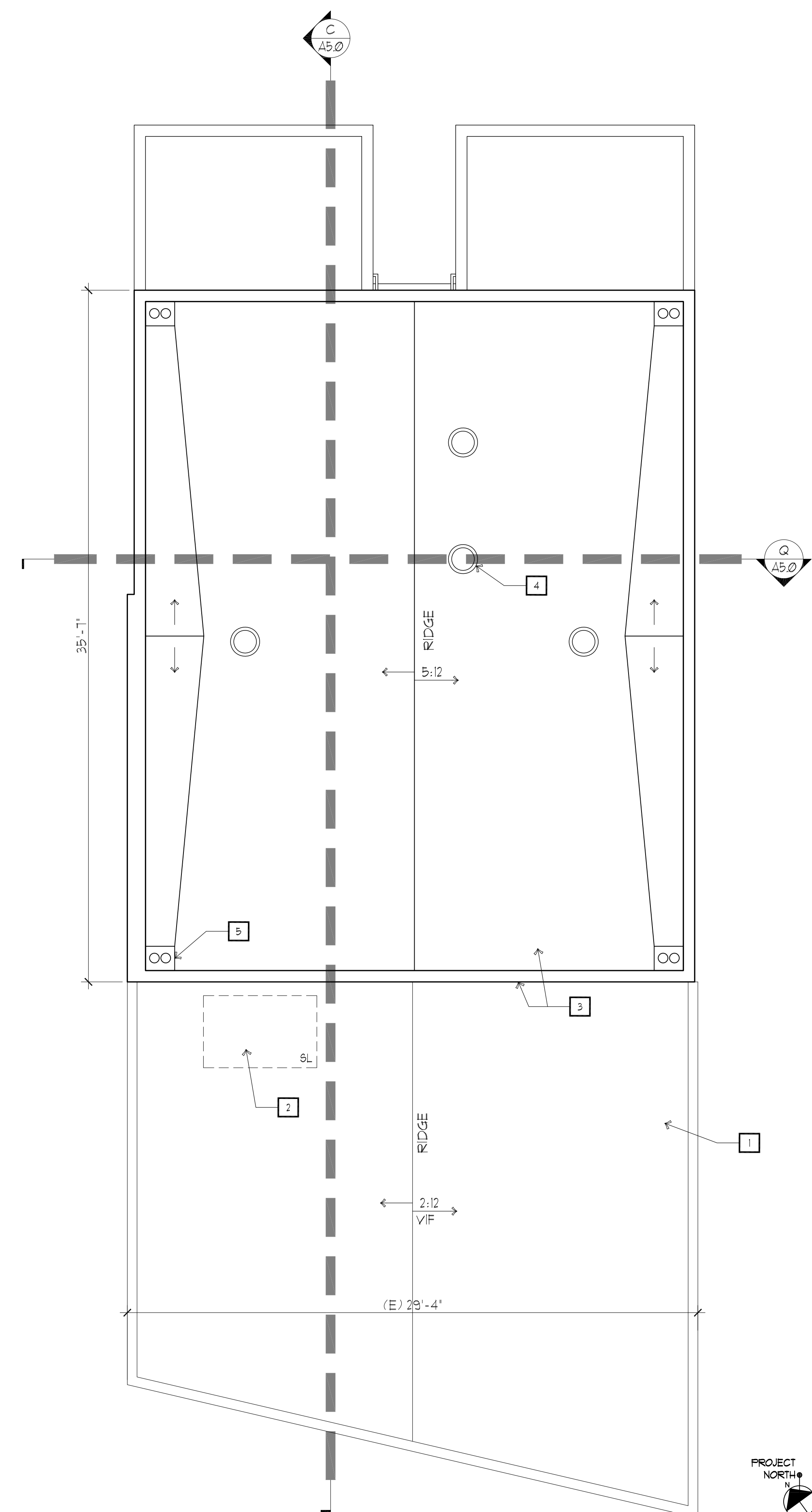
A



(E)/DEMOLITION ROOF PLAN



PROPOSED ROOF PLAN



KEY NOTES & LEGEND

KEY NOTES:

- 1. (E) FLAT ROOF
- 2. (E) SKYLIGHT
- 3. (N) FLAT ROOF & PARAPET WALLS FOR 2nd STORY
- 4. (N) 14" SOLATUBE, TYP OF 4
- 5. (N) ROOF DRAIN & OVERFLOW, TYP OF 4

LEGEND:

- (B) DOOR TAGS - SEE DOOR & HARDWARE SCHEDULE
- 2 KEY NOTE TAGS - SEE KEY NOTES & LEGEND THIS SHEET
- (W) WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, FIRE TAPE
- TWO HOUR WALL @ ELEVATOR SHAFT & STAIRS 2 LAYERS 5/8" TYPE-X GYP BD, EA SIDE, MUD & FIRE TAPE
- (0'-0") FINISHED CEILING HEIGHT
- (E) WALLS TO REMAIN
- NEW WALLS

THE KASTROP GROUP, INC.
 ARCHITECTS
 2345 SPRING STREET
 REDWOOD CITY, CA 94063
 T: 650.299.0303
 www.kastrogroup.com

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION
3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
 MENLO PARK, CA 94025

ORIGINAL SIGNATURE: _____
 THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

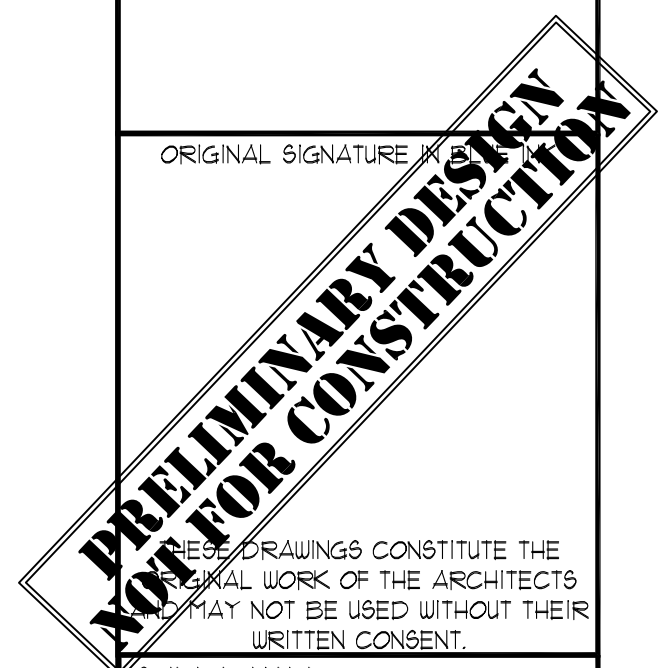
SHEET TITLE:
 (E)/DEMO ROOF PLAN
 PROPOSED ROOF PLAN

DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/6/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

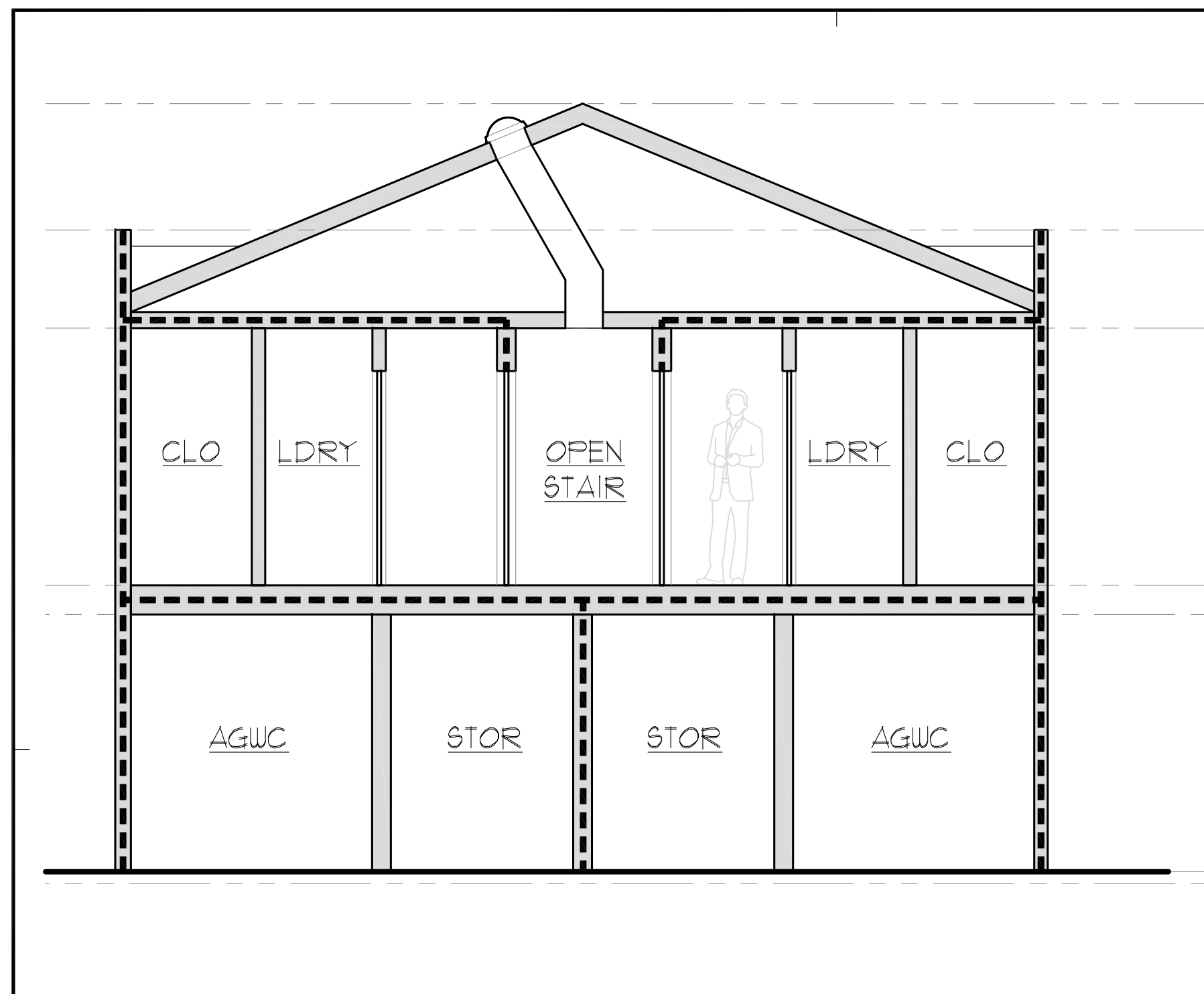
JOB NO: 22821
 DRAWN: MB
 CHECKED: DMK

SCALE: AS NOTED

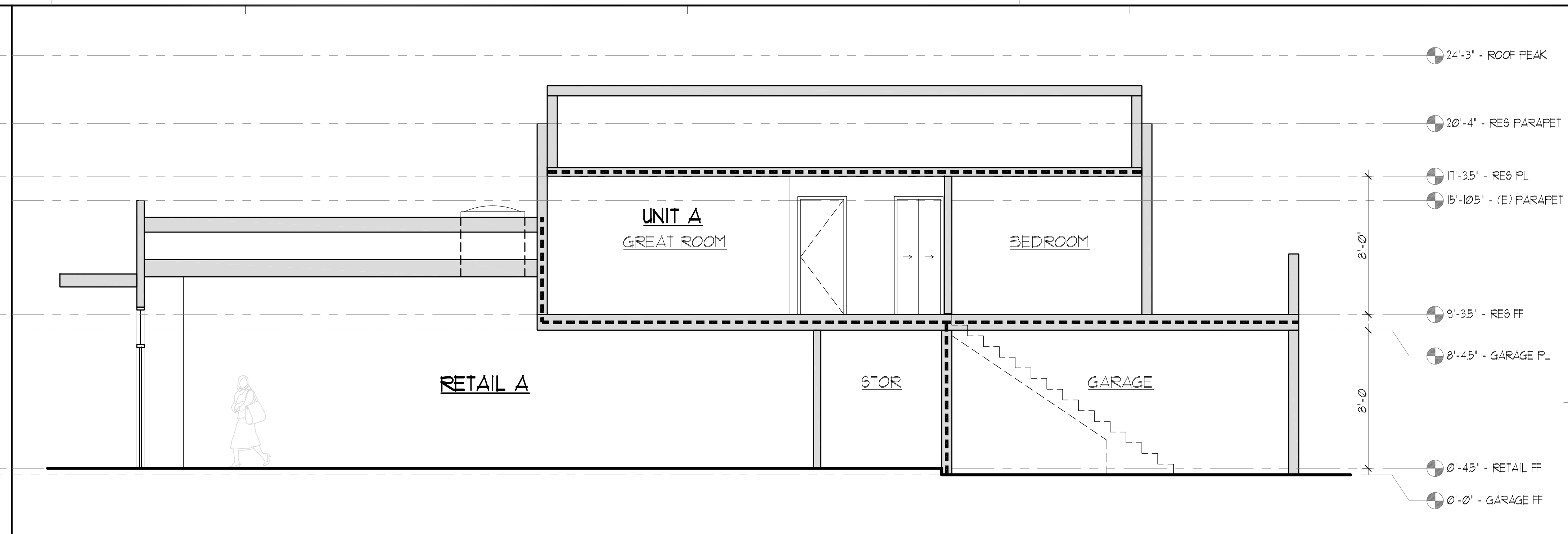
A4.0
 OF
 BLDG PERMIT APP NO: _____



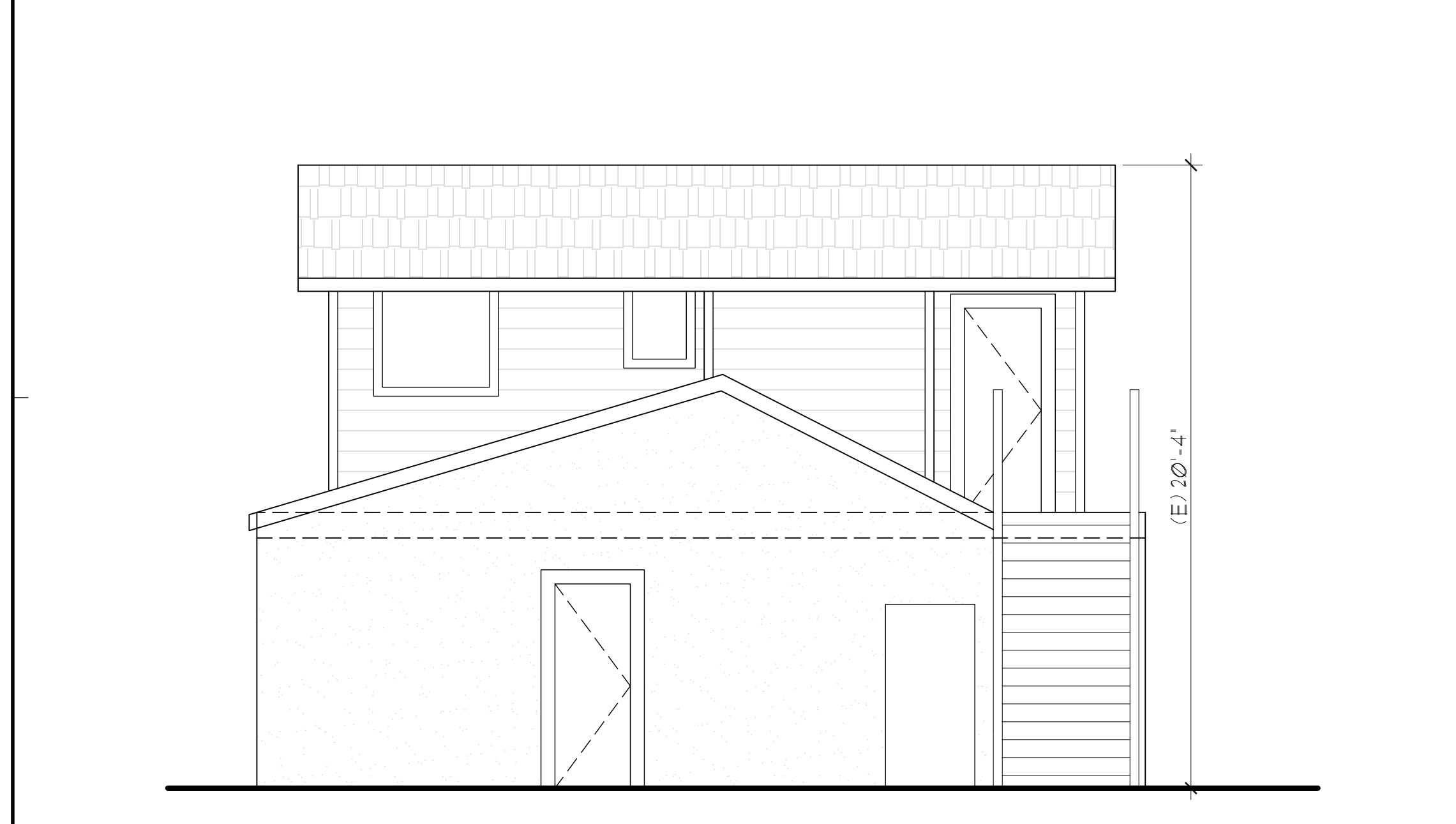
3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE. MENLO PARK, CA 94025



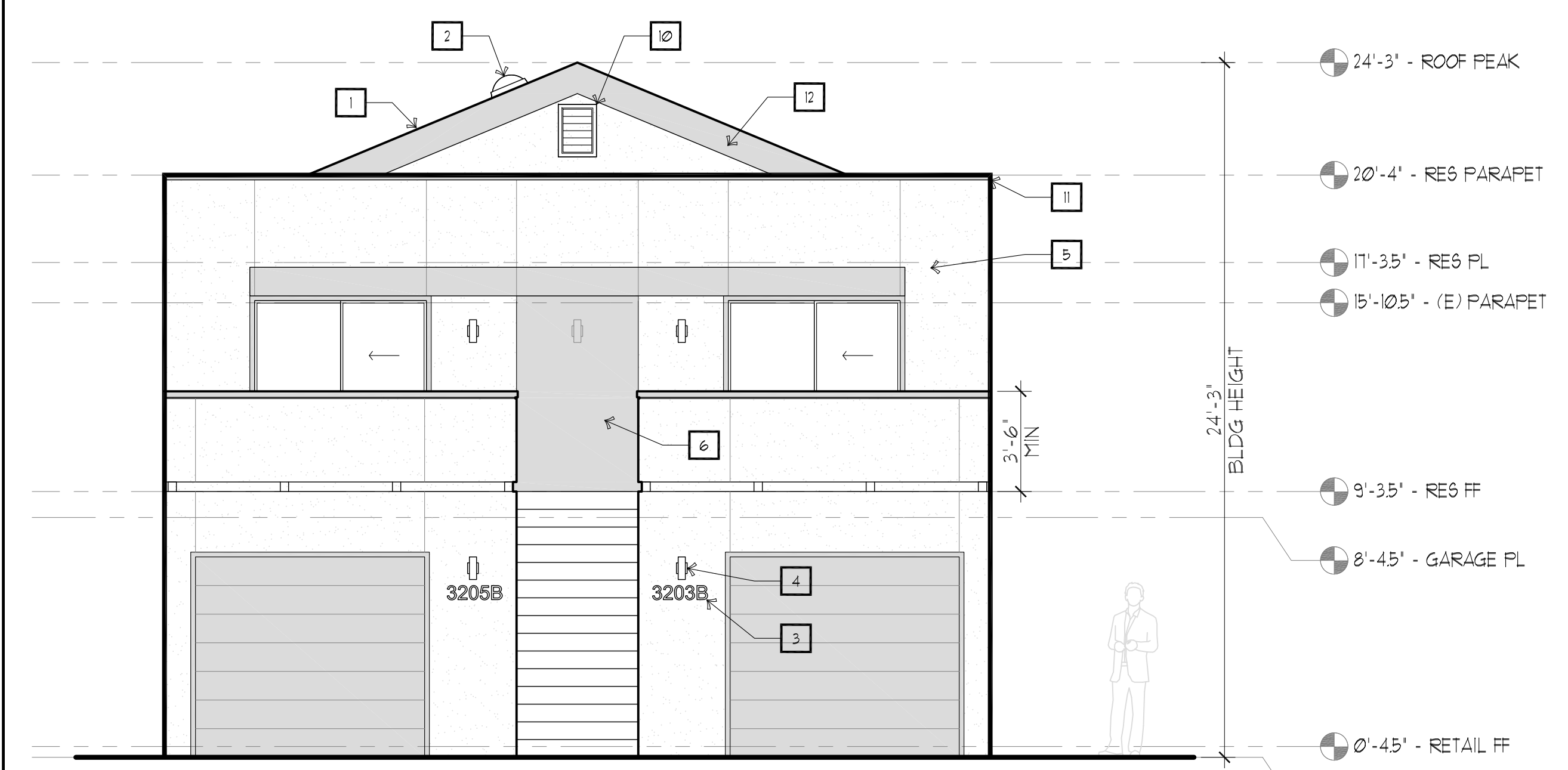
PROPOSED BLDG SECTION (WEST-EAST) 1/4"=1'-0" Q



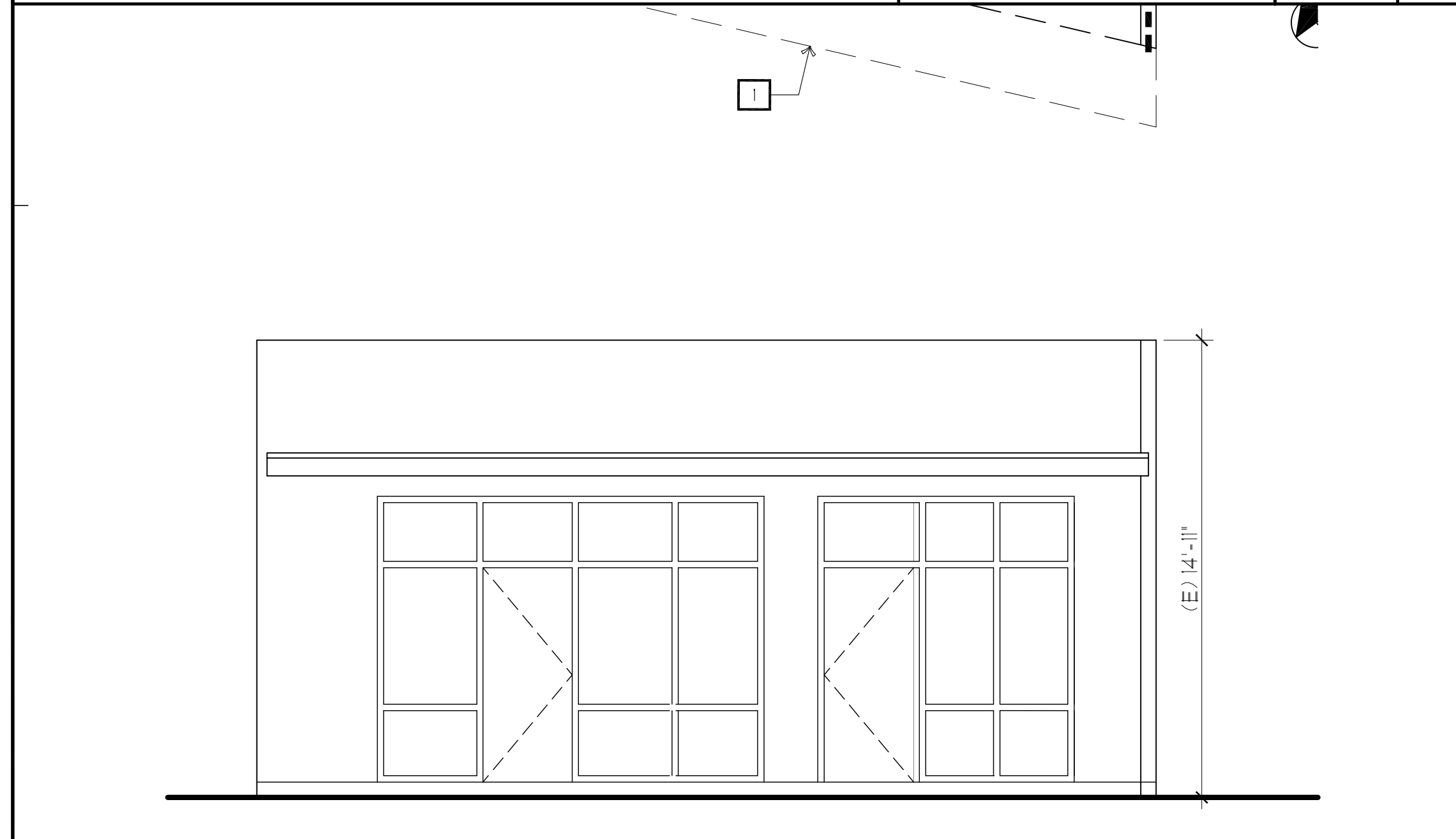
PROPOSED BUILDING SECTION (SOUTH-NORTH) 1/4"=1'-0" C



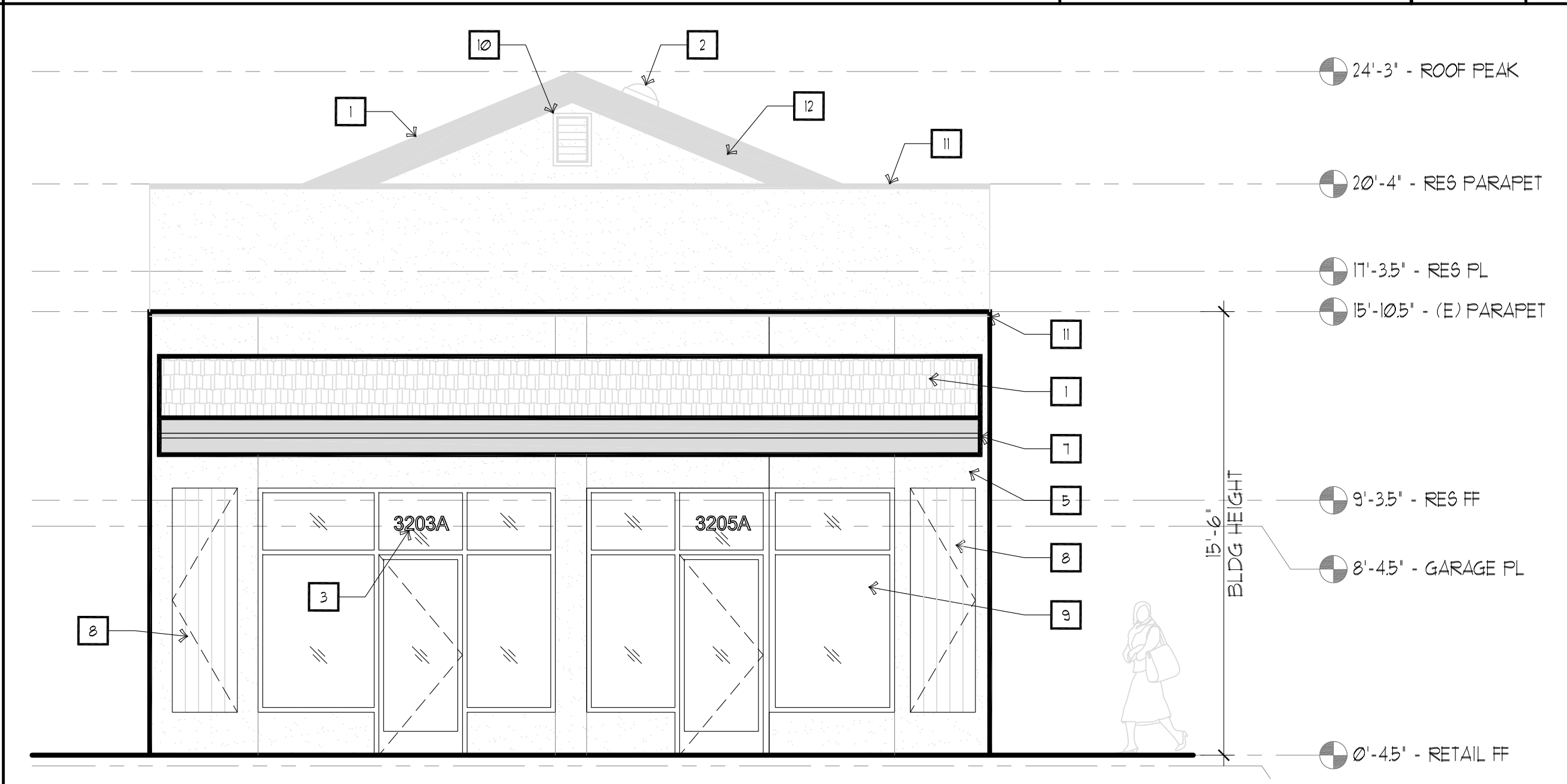
(E) REAR ELEVATION (NORTH) 1/4"=1'-0" P



PROPOSED REAR ELEVATION (NORTH) 1/4"=1'-0" F



(E) MIDDLEFIELD ELEVATION (SOUTH) 1/4"=1'-0" N



PROPOSED MIDDLEFIELD ELEVATION 1/4"=1'-0" E

KEY NOTES:

1. COMPOSITION ASPHALT SHINGLES, MINIMUM CLASS B
2. 14' SOLATUBE, TYP. OF 4
3. 6" TALL ADDRESS TILES
4. LED SCONCE LIGHT, SEE A51, TYP OF 9
5. CEMENT PLASTER, PROVIDE CONTROL JOINTS AS INDICATED ON EXT ELEVS
6. CEMENT PLASTER, ACCENT COLOR
7. (E) MTL AWNING TO REMAIN, PAINT TO MATCH CEMENT PLASTER. PROVIDE 3 RECESSED LIGHTS TO ILLUMINATE STOREFRONTS AND SIDEWALK.
8. WOOD PANEL TO COVER ELEC METER CLOSET, PAINT TO MATCH CEMENT PLASTER. 51M FOR F5 CLOSET
9. (N) STOREFRONT DOORS 4 WINDOWS, DARK BRONZE FINISH
10. 12x18 GABLE VENT, PAINT TO MATCH CEMENT PLASTER
11. METAL FLASHING, DARK BRONZE FINISH
12. FASCIA

COLOR 4 FINISH NOTES: SEE NEXT SHEET.

LEGEND:

- (B) DOOR TAGS - SEE DOOR 4 HARDWARE SCHEDULE
- (2) KEY NOTE TAGS - SEE KEY NOTES 4 LEGEND THIS SHEET
- (W) WINDOW TAGS - SEE WINDOW SCHEDULE
- ONE-HOUR RATED WALL, 5/8" TYPE-X GYP BD, FIRE TAPE
- TWO HOUR WALL @ ELEVATOR SHAFT 4 STAIRS 2 LAYERS 5/8" TYPE-X GYP BD, EA SIDE, MUD 4 FIRE TAPE
- (0'-0") FINISHED CEILING HEIGHT
- (E) WALLS TO REMAIN
- NEW WALLS

KEY NOTES & LEGEND A

ORIGINAL SIGNATURE: _____
**PRELIMINARY DESIGN
 NOT FOR CONSTRUCTION**

THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:
 EXTERIOR ELEVATIONS
 BUILDING SECTIONS

DATE	ISSUE TITLE
11/8/11	EXISTING CONDITIONS
2/16/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821
 DRAWN: MB
 CHECKED: DMK
 SCALE: AS NOTED

A5.0
 OF

BLDG PERMIT APP NO: _____

Cylinder LED Outdoor Wall Sconce
By WAC Lighting



Cylinder LED Outdoor Wall Sconce
By WAC Lighting

Product Options

Finish: Black
Size: Medium

Details

Designed in 2020
Material: Die-cast aluminum
Dimmable when used with a Electronic low voltage (ELV)
Dimmer (Not Included)
Dimmer Range: 100-5%
ADA compliant, Title 24 compliant
Installation Type: Hardwired
ETL Listed Wet
Warranty: 5 Years Functional, 2 Years Finish
Made in China

Dimensions

Medium Option Backplate: Width 4.25", Height 4.25"
Medium Option Fixture: Width 4.5", Height 9.5", Depth 6"

Lighting

Medium

Lamp Type	LED Built-in
Total Lumens	644
Total Watts	18.00
Volts	120
Color Temp	3000 (Soft White)
Average Lifespan	50000.00
CRI	80
Equivalent Halogen, CFL or LED Bulb Can Be Used	No

Additional Details

Product URL:
<https://www.lumens.com/cylinder-led-outdoor-wall-sconce-by-wac-lighting-WAC2000806.html>
Rating: ETL Listed Wet

ITEM#: WAC2000806



Notes:

Prepared by: _____

Prepared for:

Project:
Room:
Placement:
Approval:

WAC LIGHTING

Lotos 4" & 6" Round
Adjustable Downlight SCCT

Model	Beam	Color Temp & CRI	Lumens	CBP	Finish
<input type="radio"/> R4ERAR	<input type="radio"/> W 45°	<input type="radio"/> 9CS 2700K/3000K/3500K /4000K/5000K - 90	800	1020	<input type="radio"/> WT White
<input type="radio"/> R6ERAR		<input type="radio"/> 9CS 2700K/3000K/3500K /4000K/5000K - 90	1340	1896	

Example: R4ERAR-WCS-WT

DESCRIPTION

The wafer-thin Lotos LED Recessed Kit with remote driver combines high quality light output and efficiency while eliminating the need for a large housing. This innovative design can be installed easily as a remodel or new construction with an optional frame-in kit sold separately. Lotos is available in a downlight version for general ambient lighting and an adjustable version with a gimbal that pivots 360 degrees on a hinge. Now available with 5-CCT options.

FEATURES

- 5-CCT Switchable between 2700K and 5000K
- Multiple LED array for uniform illumination
- Rotatable multi-axis gimbal ring
- Driver included
- 5 year warranty

SPECIFICATIONS

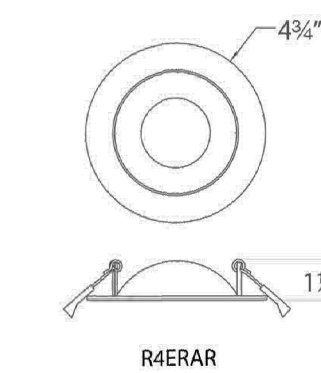
Construction: Steel with frosted TR lens
Power: 9W, 15W
Input: 120-277 VAC, 50/60Hz
Dimming: ELV: 100-5%, TRIAC: 100-5%
Light Source: Integrated LED
Lens: Translucent acrylic diffuser
Rated Life: 50000 Hours
Mounting: Heavy gauge retention clips secures fixture to ceiling
Cut Out: 4 1/4", 5"
Finish: Electrostatically powder coated: White
Ceiling Thickness: 1/2" - 1"
Operating Temp: -4°F to 104°F (-20°C to 40°C)
Standards: ETL, cETL, Wet Location Listed, Energy Star 2.0, Title 24 JAB-2019 Compliant, IC, Airtight

FINISHES:



White

LINE DRAWING:



R4ERAR



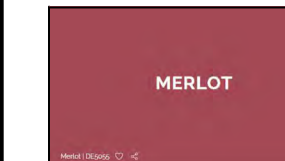
Fixture Type: _____
Catalog Number: _____
Project: _____
Location: _____

1. CEMENT PLASTER MAIN COLOR:



DUNN EDWARDS 'INDUSTRIAL AGE'

2. CEMENT PLASTER ACCENT COLOR, FASCIA, GARAGE DOORS, TRIM:



DUNN EDWARDS 'MERLOT'

3. STOREFRONTS, SLIDING GLASS DOORS, PARAPET FASCIA TRIM:
ALUMINUM, DARK BRONZE FINISH

4. WOOD PANEL DOORS TO EM & FS ACCESS

EXTERIOR LIGHT FIXTURES

G COLORS & MATERIALS



PROPOSED RENDERING: REAR RESIDENCES (NORTH)



N PROPOSED RENDERING: MIDDLEFIELD RD (SOUTH)

RETAIL / RESIDENTIAL FIRE REPAIR, REMODEL & ADDITION

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE.
MENLO PARK, CA 94025

THE KASTROP GROUP, INC.
ARCHITECTS
2345 SPRING STREET
REDWOOD CITY, CA 94063
T: 650.299.0303
www.kastropgroup.com

ORIGINAL SIGNATURE

THESE DRAWINGS CONSTITUTE THE ORIGINAL WORK OF THE ARCHITECTS AND MAY NOT BE USED WITHOUT THEIR WRITTEN CONSENT.

SHEET TITLE:
PROPOSED RENDERINGS
COLORS & MATERIALS
EXTERIOR LIGHT FIXTURES

DATE	ISSUE TITLE
11/8/17	EXISTING CONDITIONS
2/16/23	SUBMIT FOR AP
6/28/23	RESUBMIT FOR AP

JOB NO: 22821
DRAWN: MB
CHECKED: DMK
SCALE: AS NOTED

A5.1

BLDG PERMIT APP NO:

3203-3205 MIDDLEFIELD RD. & 402 B-D 5th AVE, MENLO PARK, CA 94025

GENERAL NOTES:

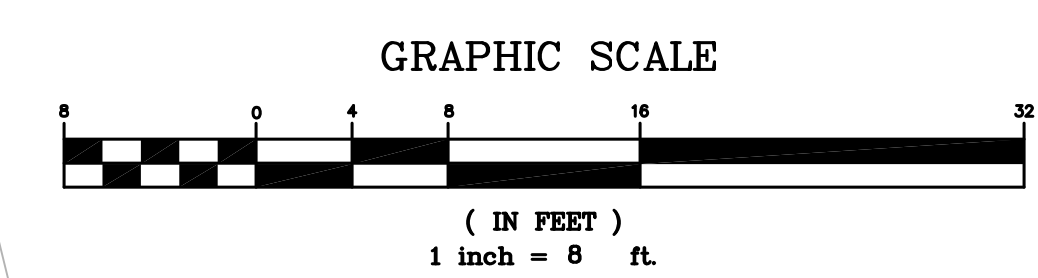
- CONTRACTOR TO VERIFY ALL CONTROLLING DIMENSIONS & SETBACKS WITH ARCHITECTURAL PLANS.
- TOPOGRAPHIC INFORMATION PROVIDED BY B & H SURVEYING, INC., DATED MAY 2018.
- SLOPE PORCHES, LANDINGS AND TERRACES 2% AWAY FROM RESIDENCE.
- PROVIDE POSITIVE SURFACE DRAINAGE AWAY FROM THE HOUSE PERIMETER BY SLOPING THE FINISHED GROUND SURFACE AT LEAST 5% AWAY FROM RESIDENCE.
- CONTRACTOR TO CONTACT SOILS ENGINEER TO COORDINATE INSPECTIONS AT LEAST ONE WEEK PRIOR TO PENDING INSPECTIONS.
- ALL EARTHWORK, SUBSLAB PREPARATION, FOUNDATION AND SLAB CONSTRUCTION, BACKFILLING, SITE DRAINAGE, AND GEOTECHNICAL OBSERVATION AND TESTING SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT RECOMMENDATIONS.
- THE OWNER RECOGNIZES THAT THE DRAINAGE FACILITIES AND DEPRESSED LANDSCAPE AREAS WILL NEED TO BE PERIODICALLY CLEANED OF DEBRIS DURING THE FUNCTIONAL LIFE OF THE SYSTEM.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH ALL EXISTING CONDITIONS. THEY SHALL BRING ANY DISCREPANCIES TO THE ATTENTION OF THE ENGINEER PRIOR TO PROCEEDING. VERIFY THE LOCATIONS OF ALL UNDERGROUND UTILITIES BEFORE STARTING CONSTRUCTION.
- ANY SITE WORK THAT DEVIATES FROM WHAT IS SHOWN ON THE PLANS SHALL HAVE THE ENGINEER'S APPROVAL PRIOR TO PROCEEDING WITH THE DEVIATING WORK ITEM.
- CONTRACTOR SHALL CALL "UNDERGROUND SERVICE ALERT" (800) 642-2444, 48 HOURS PRIOR TO EXCAVATION.
- FOR ADDITIONAL SITE LAYOUT INFORMATION SEE ARCHITECTURAL PLANS.
- PRIOR TO CONSTRUCTING ANY IMPROVEMENT WITHIN THE PUBLIC RIGHT OF WAY, CONTRACTOR SHALL OBTAIN AN ENCROACHMENT PERMIT FROM THE COUNTY'S ENGINEERING DIVISION PRIOR TO STARTING ANY WORK. APPLICANT SHALL OBTAIN PERMITS FROM UTILITY COMPANIES PRIOR TO APPLYING TO CITY FOR ENCROACHMENT PERMIT.
- CONTRACTOR SHALL ADHERE TO "BEST MANAGEMENT PRACTICES" (BMP)'S GUIDELINES DURING CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR STORING, USING, AND DISPOSING OF ALL HAZARDOUS MATERIALS, IN ACCORDANCE WITH ALL STATE AND LOCAL LAWS.
- CONTRACTOR SHALL REVIEW AND UNDERSTAND GRADING AND DRAINAGE GUIDELINES SET FORTH IN THE GEOTECHNICAL REPORT PRIOR TO STARTING ANY SITE WORK.
- CONTRACTOR SHALL ADHERE TO CAL OSHA STANDARD WHEN GRADING AND EXCAVATING.
- CONTRACTOR AND OWNER SHALL OBTAIN ALL NECESSARY COUNTY STANDARD DETAILS, FROM THE COUNTY, TO PERFORM ALL TRENCHING AND SITE WORK IN THE PUBLIC RIGHT-OF-WAY.
- APPLICANT/CONTRACTOR SHALL REMOVE AND REPLACE ALL CRACKED, DAMAGED, UPLIFTED OR DEPRESSED FRONTAGE IMPROVEMENTS, EXISTING OR DAMAGED BY CONSTRUCTION ACTIVITIES, PER CITY STANDARDS ALONG THE ENTIRE PROPERTY FRONTAGE ON BELMONT AVENUE.
- STORM WATER RUNOFF GENERATED BY THE NEW DEVELOPMENT SHALL NOT DRAIN ONTO ADJACENT PROPERTIES. THE EXISTING STORM DRAINAGE FROM THE ADJACENT PROPERTIES SHALL NOT BE BLOCKED BY THE NEW DEVELOPMENT.

UTILITY NOTES:

- NO IMPROVEMENTS ANTICIPATED FOR EXISTING GAS AND ELECTRIC SERVICES. CONTRACTOR TO ASSIST OWNER IN COORDINATION WITH PG&E FOR THE INSTALLATION AND LOCATION OF PHONE, TV AND ELECTRIC SERVICES, IF CHANGES ARE REQUIRED. SIZE OF NEW SERVICE TO BE DETERMINED BY PG&E AND RESPECTIVE AGENCIES. THE EXISTING GAS SERVICE IS TO BE ABANDON PER REQUIREMENTS OF PG&E.
- EXISTING SEWER LATERAL TO REMAIN AND BE VIDEO INSPECTED. IF VIDEO INSPECTION PROVES THAT LATERAL IS NOT IN GOOD WORKING ORDER, THE EXISTING SERVICE IS TO BE REPLACED OR REPAIRED PER COUNTY STANDARDS. CONTRACTOR SHALL ASSIST IN PERMITTING WITH THE COUNTY SEWER DEPARTMENT FOR A NEW LATERAL AND CLEANOUT PER COUNTRY REQUIREMENTS
- ALL SEWER WORK TO BE IN CONFORMANCE WITH COUNTY STANDARDS.
- ALL STORM DRAIN PIPE SHALL BE PVC SDR 35, SLOPED AT 1% UNLESS OTHERWISE SPECIFIED ON THE PLANS. PIPE SHALL BE SIZED AS SPECIFIED ON THE PLANS. ALL DIRECTION CHANGES SHALL BE MADE WITH A WYE CONNECTION, ELBOWS AND TEE'S SHOULD BE AVOIDED.
- ALL DOWN SPOUTS SHALL BE CONNECTED TO THE STORM DRAIN SYSTEM, UNLESS SHOWN OTHERWISE ON PLAN, WITH 4" PVC SDR 35 PIPE OR EQUIVALENT. SEE ARCHITECTURAL PLANS FOR EXACT LOCATION OF THE DOWN SPOUTS.
- NO WATER SERVICE UPGRADES ANTICIPATED. CONTRACTOR AND OWNER SHALL COORDINATE WITH WATER SERVICE PROVIDER, FOR NEW METER (SEE NOTE 8), IF REQUIRED.
- ALL SUB-DRAINAGE TO BE INSTALLED PER THE GEOTECHNICAL ENGINEERS RECOMMENDATIONS. GEOTECHNICAL ENGINEER SHALL REVIEW ALL INSTALLATION OF SUB-DRAINAGE SYSTEM(S)
- CONTRACTOR TO ASSIST OWNER IN THE PERMITTING OF A NEW WATER METER FROM THE CALIFORNIA WATER SERVICE. WATER LATERAL AND METER SHALL BE DESIGNED TO MEET ALL DOMESTIC AND FIRE SAFETY NEEDS. CONTACT CALIFORNIA WATER SERVICE COMPANY, BEAR GULCH DISTRICT, AT 3525 ALAMEDA DE LOS PULGAS, MENLO PARK, CA, PHONE 650-321-6800.
- NO CONNECTIONS ARE ALLOWED, BETWEEN THE STORM WATER COLLECTION AND TREATMENT SYSTEMS AND THE SANITARY SEWER SYSTEM.
- ALL DRAINAGE SYSTEM PIPES MUST BE INSPECTED BEFORE COVERING. INSPECTION CAN BE DONE IN STAGES AS BACKFILLING PROCEEDS, TO ALLOW FOR SUPPORT OF PIPES THAT ENTER THE SIDES OF STRUCTURES.

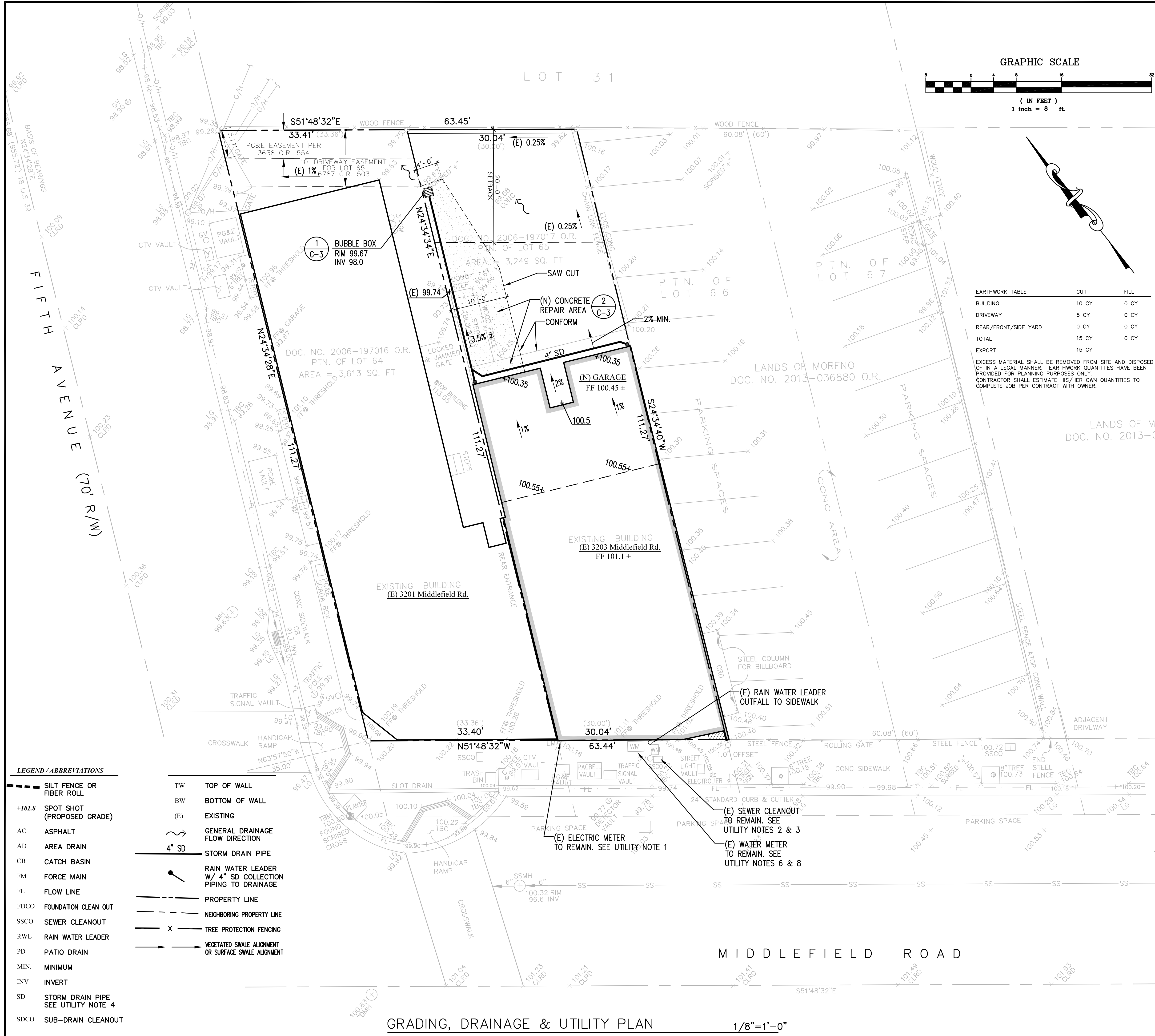
FIRE SERVICE NOTES:

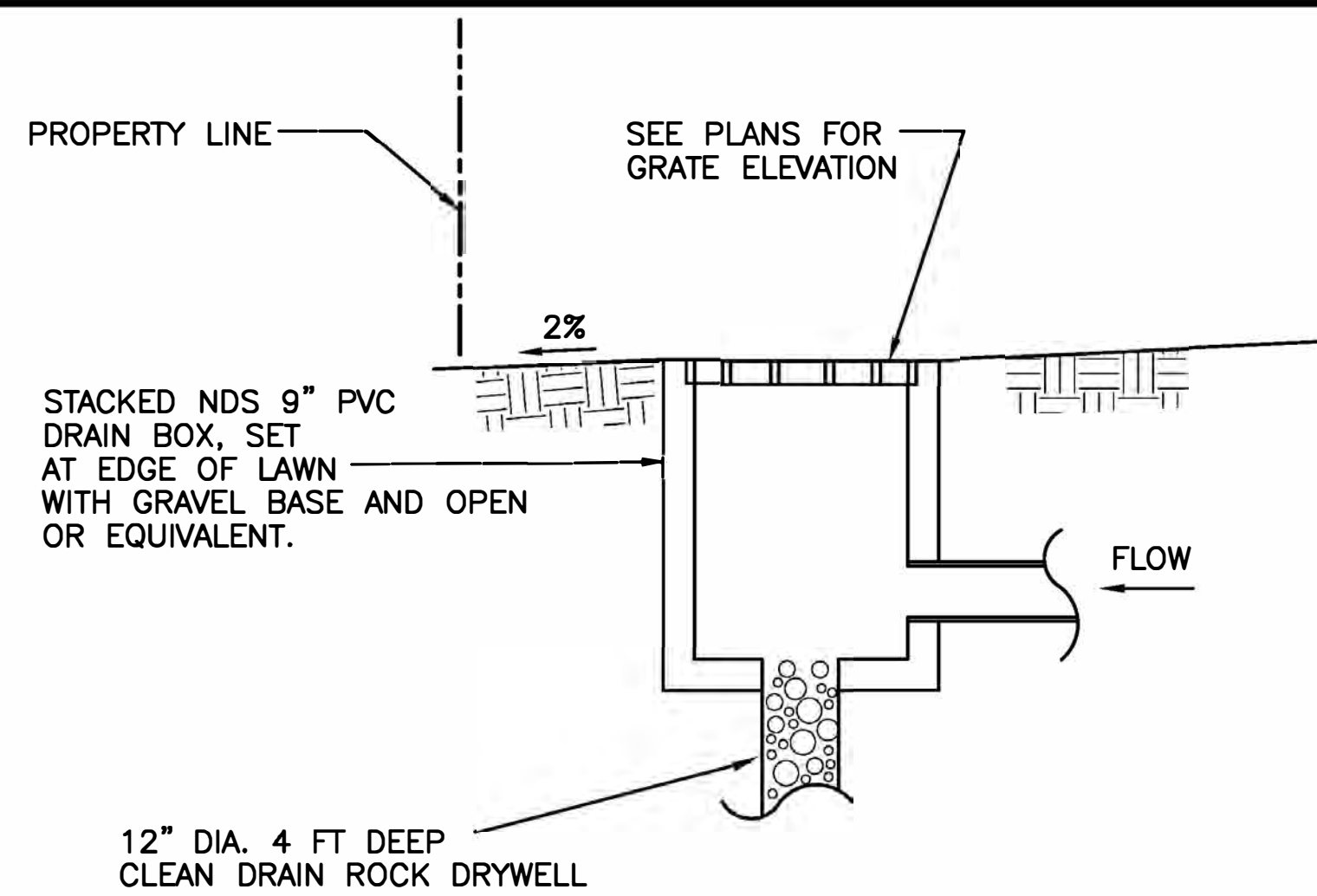
- SPINKLER PLANS ARE A "DEFERRED SUBMITTAL" AT TIME OF BUILDING PERMIT, THUS INFORMATION SHOWN IS CONCEPTUAL. SEE APPROVED SPRINKLER PLANS PRIOR TO INSTALLATION OF WATER SERVICE AND METER MODIFICATIONS.
- FIRE SERVICE SHALL HAVE A BACKFLOW PREVENTION DEVICE - USC APPROVED DOUBLE CHECK VALVE ASSEMBLY. GENERAL CONTRACTOR SHALL ENSURE THE DOUBLE CHECK VALVE ASSEMBLY FOR FIRE PROTECTION SHALL BE TESTED AND APPROVED BY A SAN MATEO COUNTY ENVIRONMENTAL HEALTH APPROVED CONTRACTOR PRIOR TO SCHEDULING WATER DEPARTMENT FINAL.
- FIRE FLOW SHALL MEET REQUIREMENTS OF THE CALIFORNIA FIRE CODE APPENDIX 111A. FIRE FLOW FOR RESIDENTIAL BUILDINGS LESS THAN 3600 SQ. FT. SHALL BE PROVIDED AT 1,000 GPM UNLESS PROTECTED BY AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM, THEN IT MAY BE REDUCED TO 50%.
- MINIMUM 1" WATER METER IS REQUIRED.



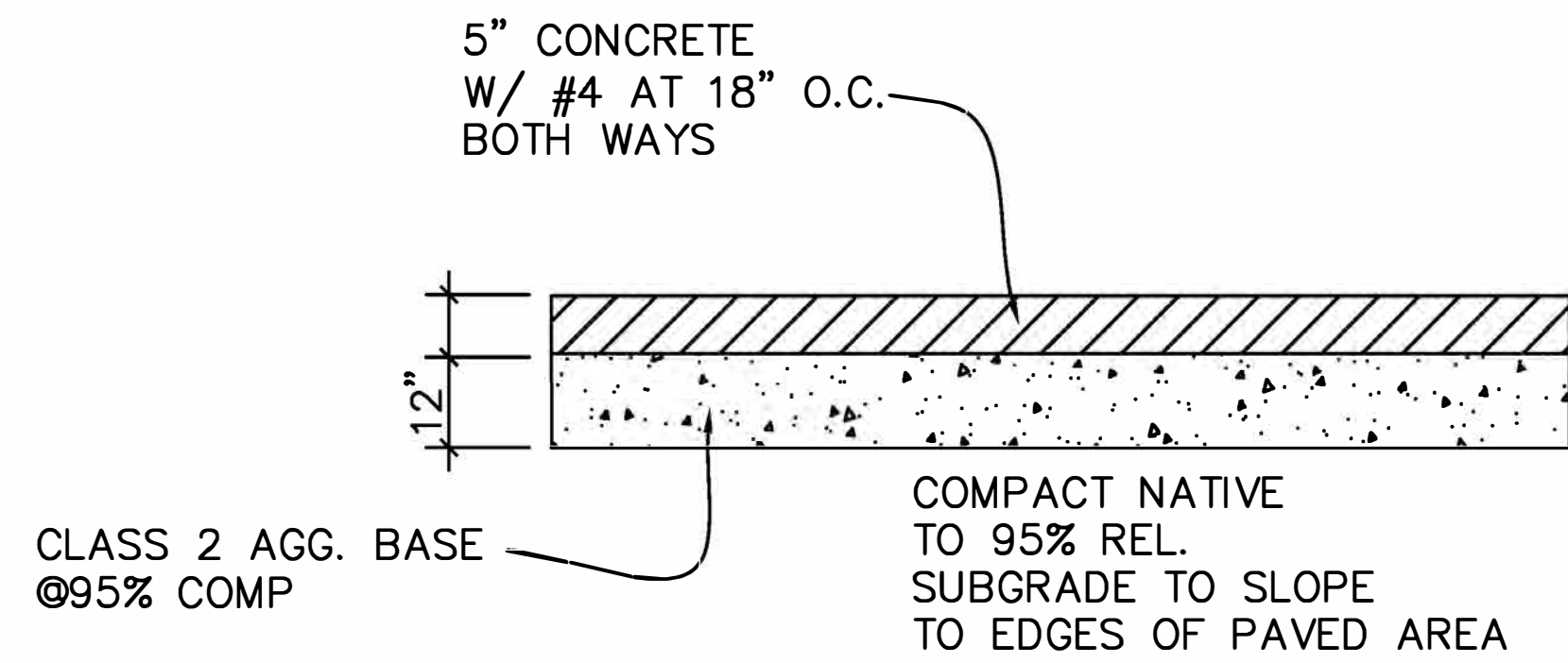
EARTHWORK TABLE	CUT	FILL
BUILDING	10 CY	0 CY
DRIVEWAY	5 CY	0 CY
REAR/FRONT/SIDE YARD	0 CY	0 CY
TOTAL	15 CY	0 CY
EXPORT	15 CY	

EXCESS MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A LEGAL MANNER. EARTHWORK QUANTITIES HAVE BEEN PROVIDED FOR PLANNING PURPOSES ONLY. CONTRACTOR SHALL ESTIMATE HIS/HER OWN QUANTITIES TO COMPLETE JOB PER CONTRACT WITH OWNER.

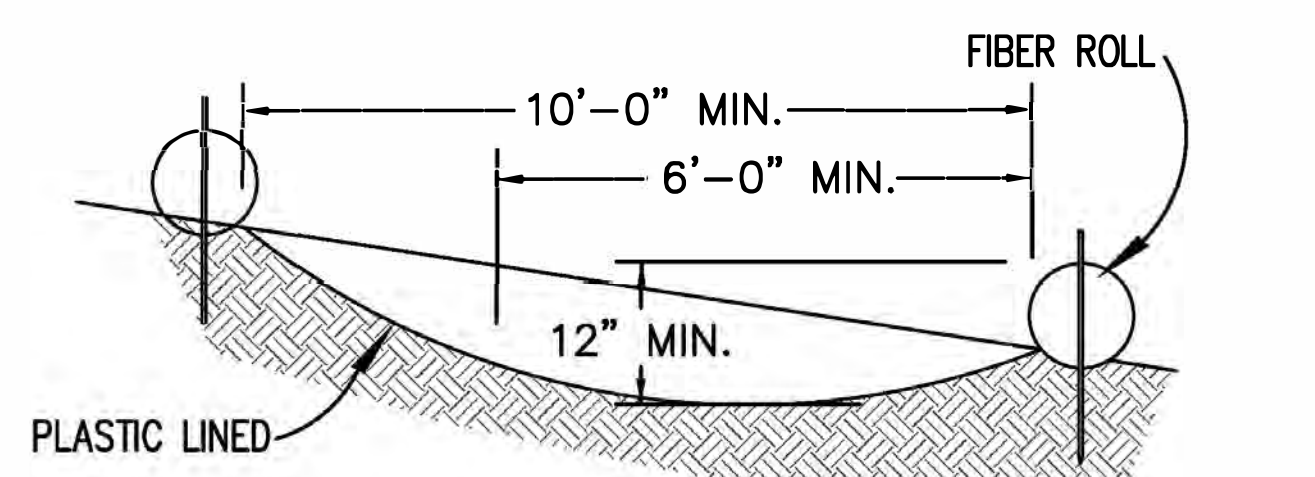




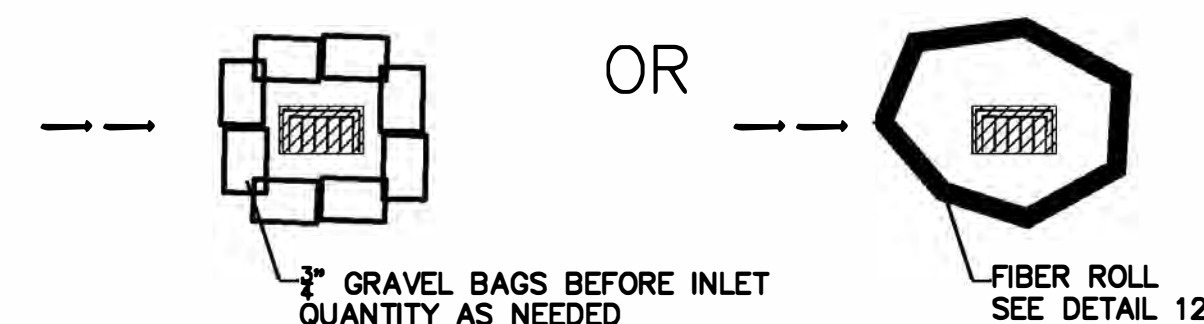
1 BUBBLE BOX
C-3 NOT TO SCALE



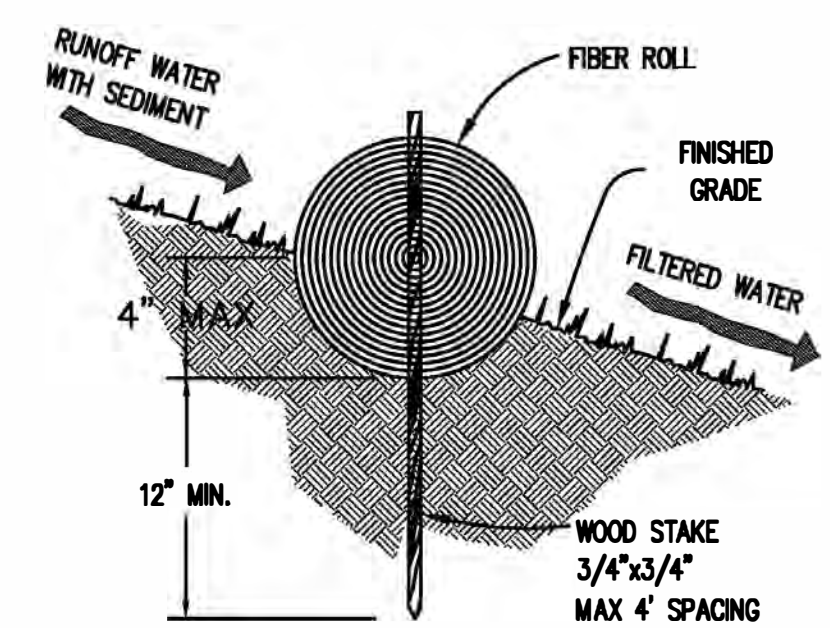
2 PAVEMENT SECTION
C-3 NOT TO SCALE



8 CONSTRUCTION WASH OUT AREA
NOT TO SCALE



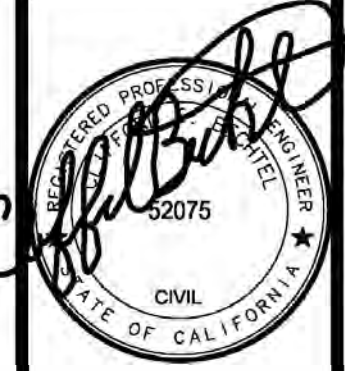
9 INLET PROTECTION
NOT TO SCALE



ENTRENCHMENT DETAIL
IN SLOPE AREA

- NOTE:
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3" TO 4" DEEP, DUG ON CONTOUR.
 2. ADJACENT ROLLS SHALL TIGHTLY ABUT.
 3. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND FIBER ROLL.

10 FIBER ROLL
C-3 NOT TO SCALE



Menlo Park California
RETAIL / RESIDENTIAL REMODEL
3201 - 3205 MIDDLEFIELD ROAD
SAN MATEO COUNTY

CONTENTS:

CIVIL
DETAILS

DATE 02/03/23

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

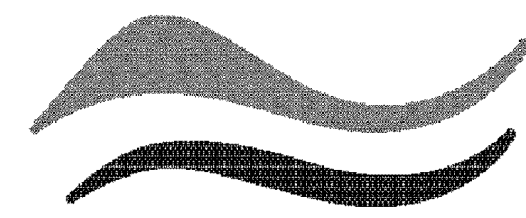
CHECKED C.B.

JOB No. 2022815

SHEET NO.

C-3

OF 4 SHEETS

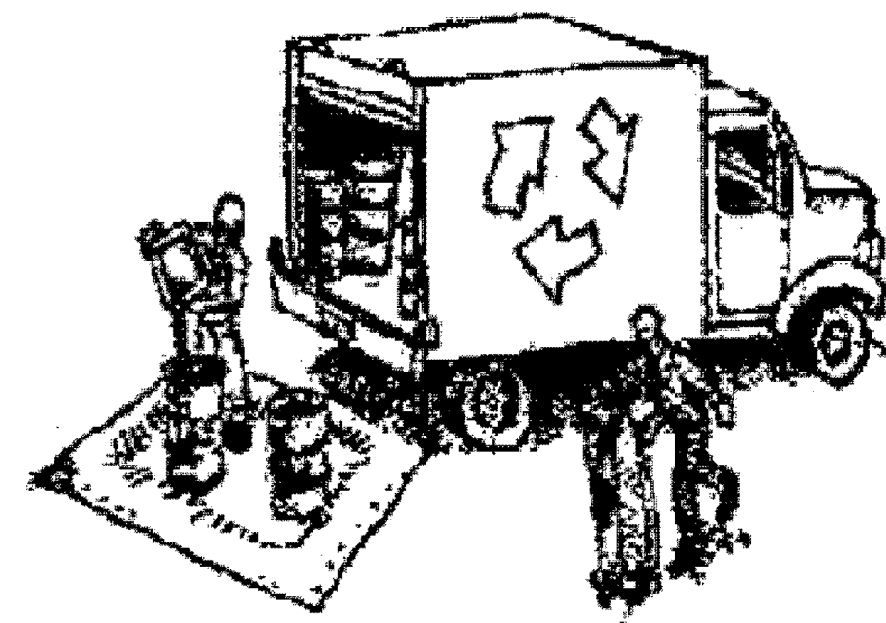


SAN MATEO COUNTYWIDE
**Water Pollution
 Prevention Program**
 Clean Water. Healthy Community.

Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Materials & Waste Management



Non-Hazardous Materials

- Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- Use (but don't overuse) reclaimed water for dust control.

Hazardous Materials

- Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- Arrange for appropriate disposal of all hazardous wastes.

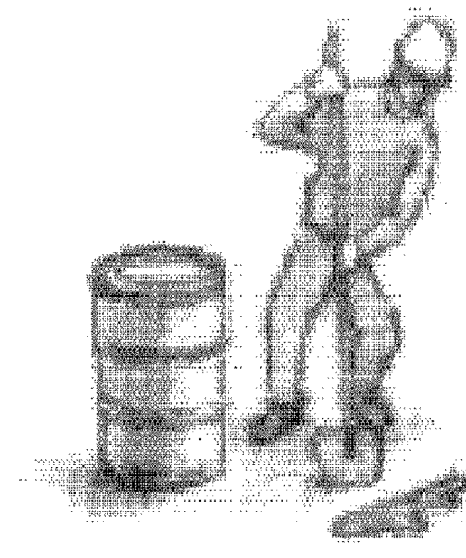
Waste Management

- Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

Construction Entrances and Perimeter

- Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

Equipment Management & Spill Control



Maintenance and Parking

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

Spill Prevention and Control

- Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- Clean up spills or leaks immediately and dispose of cleanup materials properly.
- Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

Earthmoving



- Schedule grading and excavation work during dry weather.
- Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

Contaminated Soils

- If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
 - Unusual soil conditions, discoloration, or odor.
 - Abandoned underground tanks.
 - Abandoned wells
 - Buried barrels, debris, or trash.

Paving/Asphalt Work

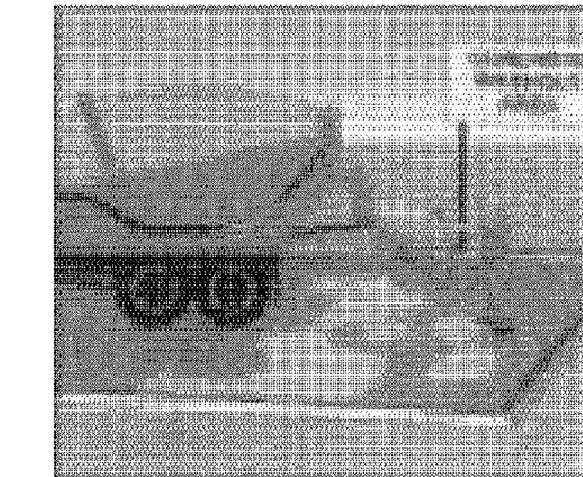


- Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- Do not use water to wash down fresh asphalt concrete pavement.

Sawcutting & Asphalt/Concrete Removal

- Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- Shovel, absorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- If sawcut slurry enters a catch basin, clean it up immediately.

Concrete, Grout & Mortar Application



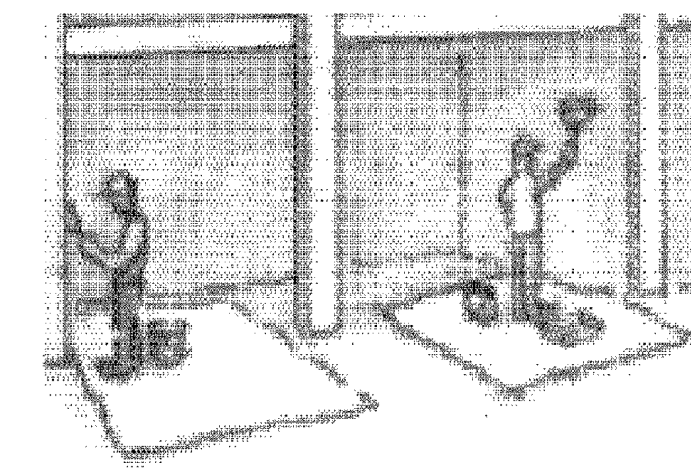
- Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

Landscaping



- Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- Stack bagged material on pallets and under cover.
- Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

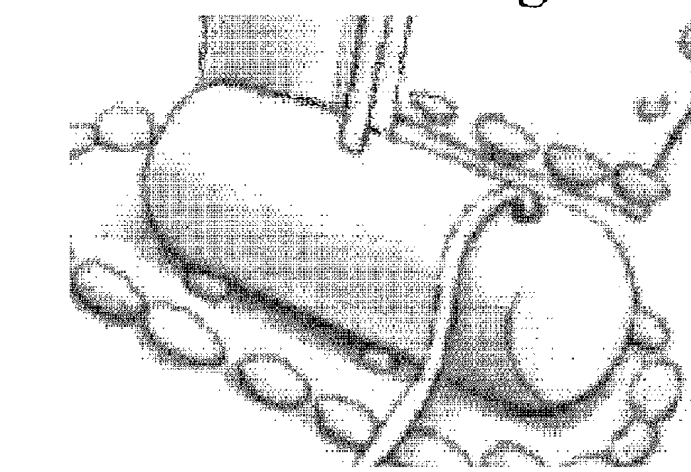
Painting & Paint Removal



Painting Cleanup and Removal

- Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

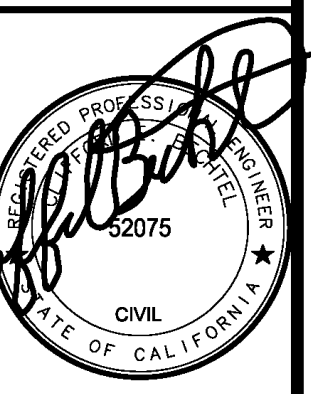
Dewatering



- Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- Divert run-on water from offsite away from all disturbed areas.
- When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

CLIFFORD BECHTEL
 AND ASSOCIATES, LLC.
 Engineering and Project Management
 1321 25th Place, SE
 SUMMIT, WA 98075
 650-333-0103
 cliffbechtel@comcast.net



California
 RETAIL / RESIDENTIAL REMODEL
 3201 - 3205 MIDDLEFIELD ROAD
 SAN MATEO COUNTY
 Menlo Park

CONTENTS:

CONSTRUCTION
 BMP
 CHECKLIST

DATE 02/03/23

SCALE AS NOTED

REVISIONS:

DRAWN J.G.

CHECKED C.B.

JOB No. 2022815

SHEET No.

C-4

OF 4 SHEETS