

**COUNTY OF SAN MATEO  
PLANNING AND BUILDING DEPARTMENT**

**DATE:** November 30, 2022

**TO:** Planning Commission

**FROM:** Planning Staff

**SUBJECT:** EXECUTIVE SUMMARY: Consideration of a Use Permit and Coastal Development Permit, pursuant to Sections 6328 and 6267 of the San Mateo County Zoning Regulations, to allow a proposed boat repair, sales and support establishment on the ground floor of an existing, 6,991 sq. ft. commercial building, located at 371 Princeton Avenue in the unincorporated Princeton-by-the-sea area of San Mateo County. The Use Permit would also allow reduction in the number of on-site parking spaces from 19 to 14 spaces for the purpose of accommodating required beach user access parking. The project involves no exterior changes. The project is appealable to the California Coastal Commission.

County File Number: PLN 2021-00217 (Kibblewhite/Love)

**PROPOSAL**

The applicant is requesting a use permit and coastal development permit (CDP) to allow a proposed boat repair, sales and support establishment on the ground floor within an existing commercial building located at 371 Princeton Avenue in Princeton-by-the-sea. The two-story, 6,991 sq. ft. commercial building was previously used to operate a fitness center. No exterior changes to the existing commercial building are proposed. The applicant proposes to restripe the parking spaces to comply with regulations pertaining to Americans with Disabilities Act (ADA) (one proposed space) and beach user parking spaces (3 proposed spaces). As a part of the Use Permit, the applicant requests to reduce the number of required on-site parking spaces from 19 to 14 spaces.

The proposed business would sell marine-related goods and provide boat repair services to the coastside residents and visitors. The business would only occupy the ground floor of the existing commercial building. The ground floor will be divided into 3 areas: a 440 sq. ft. sales area, a 1,717 sq. ft. office area, and an 1,895 sq. ft. storage and repair area. There will be no outdoor storage of containers or supplies. The business would be open to the public on weekdays between the hours of 8:30 a.m. to 5:00 p.m.

## **RECOMMENDATION**

That the Planning Commission approve the Use Permit and Coastal Development Permit County File Number PLN 2021-00217, by adopting the required findings and conditions of approval listed in Attachment A.

## **SUMMARY**

### **Conformance with the General Plan Policies**

Staff has reviewed the project and concluded that it is in compliance with the General Plan policies, including Policy 8.20 (*Redevelopment*), Policy 8.36 (*Uses*), and Policy 8.40 (*Parking Requirements*). The project complies with these General Plan policies as the proposed business is compatible with the surrounding land uses, is consistent with the land use designation, and provides sufficient parking for shoreline access parking.

### **Conformance with the Local Coastal Program Policies**

Staff has reviewed the project and found that the project conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to the Locating and Planning New Development and Shoreline Access Components of the LCP. The project is located in an urban area designated Coastside Commercial Recreation (CCR), would convert an existing vacant commercial building into a boat chandlery and repair shop, and proposes a total of three (3) parking spaces for shoreline access parking.

### **Project Conformity with the Public Access Policies of Chapter 3 of the Coastal Act of 1976**

Although the project site is located one block from the shoreline, the proposed development does not lead to any significant impacts to public access and recreation. Under existing conditions, the public can use Broadway and can come to the end of the street to enjoy a panoramic ocean and shoreline view. The project would not impede this existing viewing access. Furthermore, designated parking spaces for shoreline access are required, as discussed in the Section A.3 (Parking) below. As a result, the project as conditioned meets the public access requirements of the Local Coastal Plan (LCP), and the public access and recreation policies of the Coastal Act.

### **Conformance with the Half Moon Bay Airport Land Use Compatibility Plan (ALUCP)**

Staff has reviewed the projects and concluded that the project complies with the safety, noise, and height limit criteria for airport compatibility. The project site is located in the Half Moon Bay Airport Zone 2, Inner Approach/Departure Zone (IADZ), where the accident risk level is considered to be high. The proposed use is not prohibited in the IADZ. The project site is outside of the defined aircraft noise exposure contours and,

therefore, would not be exposed to high levels of aircraft noise. For these reasons, the project conforms to the ALUCP.

#### Conformance with the CCR Zoning District Development Standards

Staff concludes that the project complies with the applicable development standards for the CCR zoning district. The applicant is seeking a Use Permit to utilize the non-conforming warehouse building as it was built under permit in 1987 with a zero right side yard setback, where 5 feet is the minimum side yard setback currently required under the CCR Zoning Regulations. Additionally, the applicant is seeking a reduction in the required parking spaces from 19 to 14 spaces. Staff concludes that it is reasonable to allow the reduction, as discussed in Section A.3 (Parking) of the staff report.

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## **RECOMMENDATION**

That the Planning Commission approve the Use Permit and CDP County File Number PLN 2021-00217, by adopting the required findings and conditions of approval listed in Attachment A.

## **BACKGROUND**

Report Prepared By: Glen Jia, Project Planner; 650/363-1803

Applicant/Owner: William Kibblewhite

Public Notification: Ten (10) day advanced notification for the hearing was mailed to residents within 100 feet and property owners within 300 feet of the project parcel and a notice for the hearing posted on newspapers for general public circulation.

Location: 371 Princeton Avenue, Princeton-by-the-sea

APN: 047-023-350

Size: 14,000 sq. ft.

Existing Zoning: CCR/DR/CD (Coastside Commercial Recreation/Design Review/Coastal Development)

General Plan/Local Coastal Program (LCP) Designation: Coastside Commercial Recreation

Sphere-of-Influence: City of Half Moon Bay

Existing Land Use: Former fitness center/currently vacant

Water Supply: Coastside County Water District

Sewage Disposal: Granada Sanitary District

Flood Zone: The building is located in Zone X (0.2% annual chance of flood); Community Panel Number 06081C0138F, effective August 2, 2017.

Environmental Evaluation: The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, relating to the conversion of a commercial structure. The project proposes to convert an existing commercial building to a boat chandlery and repair shop. No exterior changes are involved. For this reason, the project is exempt from CEQA.

Setting: The subject parcel is accessed from Princeton Avenue, an improved, public roadway where vehicles exit onto Harvard Avenue as a result of the one-way circulation design. The developed parcel is relatively flat and consists of an existing 6,991 sq. ft. vacant commercial building, which was previously used as a fitness center. The subject property is surrounded by distillery, commercial buildings, and vacant parcels.

Chronology:

<u>Date</u>	<u>Action</u>
June 9, 2021	- Application submitted
May 24, 2022	- First resubmittal received to address Planning comments
June 6, 2022	- Second resubmittal received to address Planning comments
July 18, 2022	- Third resubmittal received to address Planning comments
September 15, 2022	- Additional information received to address Planning comments. Project deemed complete
November 30, 2022	- Planning Commission public hearing

## **DISCUSSION**

### A. KEY ISSUES

#### 1. Conformance with the General Plan

Staff has determined that the project complies with all applicable General Plan Policies, including:

##### a. Visual Quality

Policy 4.36 (Urban Area Design Concept) seeks to maintain and improve upon the appearance and visual character of development in urban areas, and to regulate commercial signs and outdoor advertising by using a consolidated set of standards.

No exterior building changes are proposed to the existing commercial building. In 2021 and 2022, the Department issued two (2) building permits for drainage improvements and re-roofing of the building on the subject parcel. The color and design of the existing commercial building is compatible with other development in the area. Additionally, no exterior signage is proposed as part of the project.

b. General Land Use

Policy 7.5 (Designation of Land Uses), Table 7.1 (General Plan Land Use Designations) and Policy 7.16 (Land Use Objectives for Urban Areas) seek to apply land use designations where appropriate to urban areas and establish primary associated uses for the land use designations to meet land use objectives for urban areas that includes revitalization of existing developed areas.

The project parcel's land use designation is Recreation, Coastside Commercial Recreation, which supports boat repair, sales, and support uses. The proposed use may be allowed in the CCR zoning district, subject to a use permit, as the project is for a boat chandlery and repair shop that will sell marine-related products and provide boat repair services.

c. Urban Land Use Policies

Policy 8.20 (*Redevelopment*), Policy 8.36 (*Uses*), and Policy 8.40 (*Parking Requirements*) encourage the redevelopment of existing commercial land uses in a manner that is compatible with surrounding land uses; allow uses in zoning districts that are consistent with the overall land use designation; and regulate minimum on-site parking requirements and standards to accommodate the parking needs of development, including convenient and safe access, preventing congestion of public streets, and establishing orderly development patterns.

The proposed use is compatible with surrounding land uses and would serve local residents and coastside visitors by offering marine-related goods and services. The proposed use is compatible with the applicable Recreation, Coastside Commercial Recreation land use designation. Additionally, the use permit application includes a request to reduce the number of required on-site parking spaces from 19 to 14 spaces, as further discussed in Section A.3 below.

2. Conformance with the Local Coastal Program

A Coastal Development Permit (CDP) is required, pursuant to Section 6328 (Permitted Uses of the CCR Zoning District) of the Zoning Regulations. Per Section 6328.F, the establishment of a boat repair, sales and support establishment requires a Use Permit. As the proposed use is not a principally permitted use, the project requires a CDP that is appealable to the California Coastal Commission. The property is also located in the California Coastal Commission Appeals Jurisdiction, on a parcel located on the west side of Cabrillo Highway.

Staff has determined that the project complies with all applicable LCP policies, including:

a. Locating and Planning New Development

Policy 1.1 (Coastal Development Permit), Policy 1.2 (Definition of Development), and Policy 1.5b (Land Uses and Development Densities in Urban Areas) requires a Coastal Development Permit for development, which includes changes in the intensity of use of land; and permits in urban areas the use and amount of development allowed on a parcel that is compliant with the density credit requirements of Table 1.2. The proposed conversion of the building constitutes a change in the intensity of use. Additionally, pursuant to Table 1.2 (Land Uses and Development Densities) of the LCP, Coastside Commercial Recreation uses are permitted in urban areas with no limitation on density.

b. Shoreline Access

Policy 10.22 requires new commercial or industrial parking facilities of ten or more spaces within 1/4-mile radius of an established shoreline access area to designate and post signage indicating 20 percent of the total spaces are available for beach user parking between 10:00 a.m. and 4:00 p.m. According to the LCP's Existing Midcoast Shoreline Access Map, the project site is within a 1/4-mile of established shoreline access points (i.e., Princeton Beach). While the applicant is seeking a reduction in on-site parking, the facility will generally only be open to the public for business on weekdays, from Monday through Friday. During public business hours, a minimum of three (3) spaces shall be available for shoreline access parking. On weekends, the designated parking spaces for shorelines access shall be available to the public. Therefore, staff has included a condition of approval that the applicant provide 20% of the parking spaces (specifically, three (3) parking spaces) for designation as shoreline access parking between the hours of 10:00 a.m. and 4:00 p.m. and that these parking spaces remain available during days when the facility is not open to the public.

c. Project Conformity with the Public Access policies of Chapter 3 of the Coastal Act of 1976

Although the project site is located one block from the shoreline, the proposed development does not lead to any significant impacts to public access and recreation. Under existing conditions, the public can use Broadway and can come to the end of the street to enjoy a panoramic ocean and shoreline view. The project would not impede

this existing viewing access. Furthermore, designated parking spaces for shoreline access are required, as discussed in the Section A.3 (Parking) below. As a result, the project as conditioned meets the public access requirements of the Local Coastal Plan (LCP), and the public access and recreation policies of the Coastal Act.

d. Conformance with the Half Moon Bay Airport Land Use Compatibility Plan (ALUCP)

Upon review of the provisions of the Half Moon Bay ALUCP for the Environs of Half Moon Bay Airport, as adopted by the City/County Association of Governments (C/CAG) on October 9, 2014, staff has determined that the project's site location complies with the safety, noise, and height limit criteria for airport compatibility. The project site is located in the Half Moon Bay Airport Zone 2, Inner Approach/Departure Zone (IADZ), where the accident risk level is considered to be high. The proposed use is not prohibited in the IADZ. The project site is outside of the defined aircraft noise exposure contours and, therefore, would not be exposed to high levels of aircraft noise. For these reasons, the project conforms to the ALUCP.

3. Conformance with the Zoning Regulations

*Conditional Use.* The project site is located within the Coastside Commercial Recreation (CCR) Zoning District, which allows commercial and visitor-serving uses including, but not limited to, boat building, repair, sales, and support establishments, subject to the issuance of a use permit for which the applicant is seeking.

*Development Standards.* As identified above, the building is considered a non-conforming structure as its right side yard setback and impervious surface area do not comply with the current CCR zoning development standards. The project involves no exterior changes.

*Landscaping.* All yards abutting a public street, except portions necessary for driveways and sidewalks, shall be landscaped. The applicant will be required to provide a minimum of 4-foot-wide landscaped area along Princeton Avenue to comply with the landscaping requirements. No landscaping is provided for the yard that abuts Harvard Avenue in order to provide an unobstructed driveway for exiting vehicles.

*Parking.* The proposed boat chandlery and repair shop consists of an 1,895 sq. ft. storage and repair space, 1,717 sq. ft. business office, and 440 sq. ft. sales area. Pursuant to Chapter 3 (Parking) of the County Zoning Regulations, one (1) space for every 500 sq. ft. of floor area is required for the boat repair and storage area, one (1) space for each 200 sq. ft. of floor

area is required for the business office, and one (1) space for each 160 sq. ft. of gross floor area is required for the sales area. The sales area is not identified in Chapter 3 (Parking) of the Zoning Regulations. Therefore, the sales area is subject to the parking requirement for “All Uses Not Enumerated Above Which are Permitted in “C” Districts” where requires one (1) space for each 160 sq. ft. of gross floor area. Additionally, three (3) additional parking spaces shall be provided for shoreline access, as required by the Local Coastal Plan (LCP). A total of one (1) ADA space is required. Currently, the site has 14 parking spaces. Due to the site constraints, the applicant requested an off-street parking exception to reduce the total required parking spaces from 19 to 14 spaces.

Table 1 – Required and Proposed Parking			
	Parking Ratio	Required	Proposed
Office Use (1,717 sq. ft.)	1: 200 sq. ft.	9	6
Retail Use (440 sq. ft.)	1:160 sq. ft.	3	3
Repair and Storage Use (1,895 sq. ft.)	1: 500 sq. ft.	4	2
Beach User Access Parking	N/A	3	3
Total	N/A	19	14

For the reasons above, staff believes it is reasonable to allow a reduction in the required parking spaces from 19 to 14 spaces. The applicant proposes a total of 14 on-site parking spaces, three (3) of which is available for shoreline access parking. The facility is located within walking distance to several hotels, restaurants, and retail areas within Princeton and is intended to complement the other visitor-serving uses in the area. Therefore, it is reasonable to expect that some visitors may be staying at a nearby hotel or dining at a nearby restaurant before walking to the project site. Additionally, some of customers are expected to make appointments prior to visiting the subject property. For these reasons, staff believes that the proposed parking layout is as reasonably in compliance with the parking requirements as possible.

4. Use Permit Findings

The applicant is seeking a use permit to allow the operation of a boat chandlery and repair shop in the Coastside Commercial Recreation (CCR) Zoning District. Pursuant to Section 6267 of the Zoning Regulations, use permits are required for boat building, repair, sales, and support establishments. In order for the Planning Commission to approve a use permit, the following findings are required:

a. CCR Zoning District Use Permit Findings:

- (1) That the design and operation of the proposed use will further the purpose of this Chapter as stated in Section 6265.

The purpose of the CCR Zoning District is to limit and control the use and development of land designated as commercial recreation in the LCP in order to establish commercial areas which:

- (i) Are primarily oriented toward meeting the service and recreational needs of Coastside visitors, boat users and Coastside residents seeking recreation. The proposed boat chandlery and repair shop will offer marine-related goods and services to coastside visitors, boat users, and local residents.
- (ii) Are active and pedestrian-oriented, while meeting the need for safe and efficient automobile access and parking. The project proposes to reduce the required number of parking spaces from 19 to 14 spaces. As discussed in Section A.3 (Parking), the proposed parking layout is as reasonable in compliance with the parking requirements as possible. Additionally, the onsite circulation is designed to prevent vehicle queuing on public streets and to ensure pedestrian safety.
- (iii) Have an intimate, human scale. The existing commercial building has a combination of flat and shed roof. The existing exterior color is light gray, which softens the overall appearance and bulk of the building. No exterior changes are proposed as part of this project.
- (iv) Have a unified design theme appropriate to their location. The existing commercial building with gray siding is compatible with the character of the neighborhood. Additionally, no exterior changes are proposed as part of this project.
- (v) Provide public access to nearby coastal areas. The property is located between the shoreline which is accessible from the site via public streets. Additionally, the

project proposes sufficient beach user access parking. Therefore, the project will not restrict public access to nearby coastal areas.

- (vi) Protect coastal resources. The commercial building has been situated on the subject parcel since 1987. The project, as proposed and conditioned, will provide a landscape buffer strip at the front entry to the parking lot. Furthermore, no exterior changes are proposed. For these reasons, the boat chandlery and repair shop will not result in any negative impacts on coastal resources.
- (2) That the design and operation of the proposed use will conform with the development standards stated in Section 6269.

The project proposes a total of 14 off-street parking spaces. As discussed in Section A.3, the use permit includes a reduction in the number of required parking space from 19 to 14 spaces.

- (3) That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

The proposed use is very unlikely to have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area. The project is compatible with the type and appearance of other existing developments in the Princeton-by-the-sea area. As previously mentioned, the proposed boat chandlery and repair shop will include offering marine-related goods and services to coastside visitors, boat users, and coastside residents in the Princeton-by-the-sea area. The facility will be open to the public on Mondays through Fridays from 8:30 a.m. to 5:00 p.m., which is compatible with the business hours of other establishments in the Princeton-by-the sea area.

5. Midcoast Community Council

The Midcoast Community Council (MCC) reviewed the subject project and was concerned with the small hostelry previously-proposed on the 2nd floor of the building in the initial application. Although staff informed the applicant that a small hostelry may be allowed with a use permit in the CCR zoning district, the applicant voluntarily excluded the small hostelry from the project scope.

6. California Coastal Commission

The California Coastal Commission staff provided comments on the project concerning the potential for insufficient on-site parking for shoreline access.

While the applicant is seeking a reduction in on-site parking spaces, staff has included Condition 9 which requires the applicant to encourage visitors and employees to carpool and/or use alternative modes of transportation to the project site to minimize any impact of overflow parking into the surrounding public parking areas, particularly since the site is near shoreline access points. All proposed business activity will occur within the existing building, and therefore, no related activity is allowed to occupy any portion of the parking area. Furthermore, a condition of approval has been added to require the applicant to provide and identify three (3) shoreline access parking spaces.

B. ENVIRONMENTAL REVIEW

The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, relating to the conversion of a commercial structure. The project proposes to convert a vacant commercial building into a boat chandlery and repair shop. The project involves no exterior changes. For this reason, the project is exempt from CEQA.

C. REVIEWING AGENCIES

Building Inspection Section  
Department of Public Works  
Environmental Health Division  
Coastside Fire Protection District  
Midcoast Community Council  
California Coastal Commission  
Coastside County Water District  
Granada Community Services District

## **ATTACHMENTS**

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Project Plan
- D. Operational Statement

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**County of San Mateo - Planning and Building Department**

# **ATTACHMENT A**

County of San Mateo  
Planning and Building Department

**RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL**

Permit or Project File Number: PLN 2021-00217      Hearing Date: November 30, 2022

Prepared By: Glen Jia  
Project Planner

For Adoption By: Planning Commission

**RECOMMENDED FINDINGS**

Regarding the Environmental Review, Find:

1. The project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, Class 3, relating to the conversion of a commercial structure. The project proposes to convert a vacant commercial building into a boat chandlery and repair shop. The project involves no exterior changes. For this reason, the project is exempt from CEQA.

Regarding the Coastal Development Permit, Find:

2. That the project, as described in the application and accompanying materials required by Section 6328.7 of the Zoning Regulations and as conditioned in accordance with Section 6328.14, conforms to the plans, policies, requirements, and standards of the San Mateo County Local Coastal Program (LCP), specifically in regard to the Locating and Planning New Development and Shoreline Access Components of the LCP. The project is located in an urban area designated Coastside Commercial Recreation (CCR), will convert an existing vacant commercial building into a boat chandlery and repair shop, and proposes a total of three parking spaces designated for shoreline access parking.
3. That where the project is located between the nearest public road and the sea, or the shoreline of Pescadero Marsh, that the project is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act of 1976 (commencing with Section 30200 of the Public Resources Code). The public can use the existing public roadway to access the shoreline. The project would not impede this existing access.

Regarding the Use Permit, Find:

5. That the design and operation of the proposed use will further the purpose of the CCR Zoning District as stated in Section 6265, as the project consists of a boat chandlery and repair shop intended to serve Coastside visitors and locals. The project will convert an existing vacant commercial building/former fitness center that is compatible with other developments in the Princeton-by-the-sea area. The project site is within walking distance to other commercial/visitor-serving businesses and to nearby shoreline access points. The project will also provide a total of fourteen (14) on-site parking spaces and adequate on-site vehicular maneuvering to avoid conflicts with right-of-way traffic. Furthermore, the project involves no exterior changes. For these reasons, the project will not impact coastal resources or public views.
6. That the design and operation of the proposed use conform to the development standards stated in Section 6269 (CCR Zoning District) since the project, as proposed and conditioned, conforms to the applicable development standards of the CCR Zoning District Regulations with regard to height, lot coverage, protection of coastal resources, and landscaping. The applicant is seeking a use permit to utilize the non-conforming warehouse building as it was built under permit in 1987 with a zero right side yard setback, where 5 feet is the minimum side yard setback currently required under the CCR Zoning Regulations. Additionally, the applicant is seeking a reduction in the required parking spaces from 19 to 14 spaces. Staff concludes that it is reasonable to allow the reduction, as discussed in Section A.3 (Parking) of the staff report.
7. That the establishment, maintenance, and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood. There is no evidence to suggest that the proposed project, as conditioned and approved, will have any detrimental effect upon coastal resources or result in adverse impacts to properties or improvements in the area. The project is compatible with the type and appearance of other existing commercial/visitor-serving development in the Princeton-by-the-sea area.

**RECOMMENDED CONDITIONS OF APPROVAL**

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and approved by the Planning Commission on November 30, 2022. The Community Development Director may approve minor revisions or modifications to the project if they are consistent with the intent of, and in substantial conformance with, this approval. Any change in use or intensity not already approved shall require an amendment to the use permit and coastal development permit.

Amendment to this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.

2. The use permit and coastal development permit shall be valid for two (2) years from the date of final approval in which time a building permit shall be issued and a completed building inspection (to the satisfaction of the Building Inspector) shall have occurred within 180 days of its issuance. Any extension to these permits shall require submittal of a request for permit extension and payment of applicable extension fees, no less than sixty (60) days prior to expiration. An extension of these approvals will be considered upon written request and payment of the applicable fees sixty (60) days prior to the expiration of the approvals.
3. No site disturbance or tenant improvement work shall occur until a valid building permit has been issued.
4. In no case shall the facility capacity exceed the maximum persons allowed under the California Building and Fire Codes.
5. No food and beverage shall be served on the premise without prior authorization by the Planning and Building Department and the Environmental Health Division. Such activity may require an amendment to the coastal development permit and use permit.
6. The business may be open to the public on Mondays through Fridays between the hours of 8:30 a.m. to 5:00 p.m. Any modifications to the business hours may require an amendment to the coastal development permit and use permit.
7. The applicant shall provide 14 on-site parking spaces, three (3) of which shall be available for shoreline access parking everyday between 10:00 am and 4:00 pm. Each required parking space shall be easily distinguishable (i.e., striping, parking blocks, or other method) for visitors parking on-site. The applicant shall identify each shoreline access parking space by posting a sign for each space identifying its designated availability for shoreline access parking between the hours of 10:00 a.m. and 4:00 p.m. Verification that the signage has been posted shall be provided to the Department of Planning and Building prior to final of the building permit.
8. All on-site parking spaces and maneuvering areas shall be kept free and clear of debris and obstructions that would hinder their accessibility and availability for visitor parking.
9. The applicant shall encourage visitors and employees to carpool and/or use alternative modes of transportation to the subject property. Visitors shall be encouraged to make appointments in advance of their visits. Information shall be made readily available on any business website or to persons visiting the facility of options for alternative modes of transportation to the facility, including public transit service.

10. Any signage shall require separate approval by the Planning and Building Department prior to installation.
11. All exterior lighting shall be downward directed, shielded, and be maintained to prevent glare in the surrounding area. All proposed exterior lighting shall be reviewed and approved by the Planning Department (design manufacturer's "cut sheets") prior to the issuance of a building permit.
12. Any new utilities shall be located underground from the nearest existing pole.
13. The project involves no changes to the exterior materials and colors. Any changes to the exterior color of the building shall require review and approval by the Planning and Building Department.
14. A 4-foot-wide landscape area consisting of native plant species shall be provided for any areas not developed along the street frontages of the parcel (i.e., Princeton Avenue). Landscaping plans, including size, species, and location, for all proposed landscaping shall be submitted to obtain applicable approval(s). No landscape species shall exceed 4-feet in height at full maturity. Prior to building inspection final and certificate of occupancy, the Planning Department shall verify that the approved landscaping has been installed.
15. All approved landscaping shall be maintained in a healthy condition for the life of the use. Any dead or dying landscape shall be removed and replaced with the same or similar species.
16. The Planning and Building Department shall be notified prior to any new tenant occupancy of the building.
17. Odor control measures shall be implemented to prevent objectionable odors being detectable off-premise from the project property.
18. The approved use shall maintain compliance with the noise, odor, and vibration standards of the Coastside Commercial Recreation District.

#### Building Inspection Section

19. A building permit shall be obtained for any interior work.

#### Coastside Fire Protection District

20. Address Numbers: Building identification shall be conspicuously posted and visible from the street. (TEMPORARY ADDRESS NUMBERS SHALL BE POSTED PRIOR TO COMBUSTIBLES BEING PLACED ON SITE). The letters/numerals for permanent address numbers shall be of 6-inch height with a

minimum 1/2-inch stroke and of a color, which is contrasting with the background. Such letter/numerals shall be illuminated and facing the direction of access.

21.

**Distance from Road/Address No. Size**

0-50 feet/6-inch

50-100 feet/8-inch

100-150 feet/10-inch

150+feet/12-inch

with a corresponding increase in stroke width

22. Address numbers and directional signs may be required at the entrance to the driveway/access road, road forks, and intersections. When located on the street the numbers shall be visible from each direction of travel. This remote signage shall consist of a 6 inch by 18 inch green reflective metal sign with 3 inch reflective Numbers/ Letters similar to Hy-Ko 911 or equivalent.
23. Automatic Fire Sprinkler System: The proposed project must be equipped with an approved NFPA 13 for the first floor and 13R fire sprinkler system on the 2nd floor. You will not be issued a building permit until fire sprinkler plans are received, reviewed and approved by the fire district. If you have not already done so, please submit the required plans to the San Mateo County Building Department. Please be advised that the sprinkler system design shall be based on an at least Light Hazard or higher classification based on stored commodity. Please provide information as to commodity. Please submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Department.
24. Unobstructed fire sprinkler coverage: shall extend to all areas in the occupancy. Any areas creating compartmentalization due to new walls shall have additional sprinkler heads installed to provide unobstructed coverage. Any heat producing appliances that are hooked up to an electrical power source, natural or propane gas, and are operational shall not have sprinkler heads located within their respective heat zones.
25. Clearly identify fire service line on plans and verify that line meets minimum size for fire sprinkler hydraulic calculations.
26. Provide complete General Information Sign, placed at the riser on plans (NFPA 13 section 25.6.2).
27. Fire Sprinkler Hardware: Along with the automatic fire sprinkler system, this project is required to install all related fire sprinkler hardware (Post Indicator Valve, Fire Department Connection and Exterior Bell). You will not be issued a building permit until plans have been submitted, reviewed and approved by the fire district. Please submit plans showing the location of all required fire sprinkler hardware to the San Mateo County Building Department.

28. When Fire Sprinkler are to be relocated an as-Built plan will be required. Submit complete plans from a licensed contractor.
29. "No Parking - Fire Lane" signs shall be provided on both sides of roads 20 to 26 ft. wide and on one side of roads 26 to 32 ft. wide. CFC D103.6
30. ADD Note to plans: Fire Hydrant: There is a hydrant within the required 500 feet but it is a dry barrel hydrant or non-compliant hydrant. Applicant shall change it to the required (Clow 960) hydrant. As per 2019 CFC, Appendix B the hydrant must produce a minimum fire flow of 500 gallons per minute at 20 pounds per square inch residual pressure for 2 hours. Contact the local water purveyor for water flow details.
31. Show location of fire hydrant on a site plan. A fire hydrant is required within 500 feet of the building and flow a minimum of 1000 gpm at 20 psi. This information is to be verified by the water purveyor in a letter initiated by the applicant and sent to San Mateo County Fire/CAL Fire or Coastside Fire District. If there is not a hydrant within 500 feet with the required flow, one will have to be installed at the applicant's expense.
32. Exit Doors: Exit doors shall be of the pivoted type or side hinged swinging type. Exit doors shall swing in the direction of exit when serving an occupant load of 50 or more.
33. Exit Door Hardware: Exit door(s) shall be operable from the inside without the use of a key, special knowledge or effort. Exception: Main exit doors may be equipped with a keyed-locking device if there is a readily visible sign on or adjacent to the door stating "THIS DOOR TO REMAIN UNLOCKED WHENEVER THE BUILDING IS OCCUPIED". The letters in the sign shall not be less than 1-inch in height.
34. Exit Illumination: Signs shall be internally or externally illuminated by two electric lamps or shall be of an approved self-luminous type. Power Supply: Current supply to one of the lamps for exit signs shall be provided by the premises wiring system. Power to the other lamp shall be from storage of batteries or an on-site generator set. Include exit illumination with electrical plans and submit to the San Mateo County Building Department for review and approval.
35. When exit signs are required by Section 1013.2 / 1013.7 of the CBC, additional approved low-level exit signs, which are internally or externally illuminated, photo luminescent or self-luminous, shall be provided in all interior rated exit corridors serving guest rooms of hotels in Group R, Division 1 Occupancies, and other occupancies as determined by the code.
36. Exit signs shall be internally illuminated with approved emergency lighting.

37. Occupancy Load Signs where required 2019 CFC Chapter 10.
38. Building occupancy group is S-1/R-1, Provide an analysis on mixed use and area as identified in Section 504.2 and 504.4 of the 2019 CBC that it complies with these sections. Building is considered new.
39. ADD Note to plans: As per Coastside Fire District Ordinance 2019-03, the roof covering of every new building or structure, and materials applied as part of a roof covering assembly, shall have a minimum fire rating of Class "B" or higher as defined in the current edition of the California Building Code.
40. Vegetation Management (LRA) – Add note to plans: The Coastside Fire District Ordinance 2019-03, the 2019 California Fire Code 304.1.2 A fuel break of defensible space is required around the perimeter of all structures to a distance of not less than 30 feet and may be required to a distance of 100 feet or to the property line. This is neither a requirement nor an authorization for the removal of living trees. Trees located within the defensible space shall be pruned to remove dead and dying portions, and limbed up 6 feet above the ground. New trees planted in the defensible space shall be located no closer than 10' to adjacent trees when fully grown or at maturity. Remove that portion of any existing trees, which extends within 10 feet of the outlet of a chimney or stovepipe or is within 5' of any structure. Maintain any tree adjacent to or overhanging a building free of dead or dying wood.
41. Emergency Building Access: The proposed project will require the installation of "Knox Boxes" These emergency key boxes are required when access to or within a structure or an area is unduly difficult because of secured openings or where immediate access is necessary for life saving or fire-fighting purposes. The Chief will determine the location for the key box and provide an authorized order form. All security gate systems controlling vehicular access shall be equipped with a "Knox"; key operated emergency entry device. For application and instructions please email [cfpdfiremarshal@fire.ca.gov](mailto:cfpdfiremarshal@fire.ca.gov) if you need further assistance.
42. Fire Alarm System: This project is required to have installed an approved NFPA 72 Fire Alarm System throughout. The system is to monitor any flow through the required automatic fire sprinkler system, any fire sprinkler valve tamper and all heat and smoke detectors. The system will also include an exterior bell and interior horn/strobes, which are required to be wired to the alarm system and the flow switch for the fire sprinkler system. The FACP shall be protected with a smoke detector as per NFPA 72, Section 1-5.6 and a manual pull station. A wiring inspection is required to be conducted by the Fire District prior to covering walls and ceiling areas. All systems and components must be tested per manufactures specifications and NFPA 72. Battery backup shall meet or exceed requirements for amp-hour rating and must be tested as per manufactures specification and NFPA 72.

43. Fire Extinguishers: There must be at least one 2A10BC fire extinguisher for each 3,000 square feet, travel distance not to exceed 75 feet with at least one extinguisher per floor per Title 19, California Code of Regulations. Show location of extinguishers on plans.
44. Provide Penetration protection in all membranes through fire rated assemblies (ie dampers, fire caulking).
45. All doors in corridors shall have a  $\frac{3}{4}$  fire rated door & jamb with closer and smoke gasket. 2019 CFC Sec.1020.
46. ADD Note to plans: Solar Photovoltaic Systems: These systems shall meet the requirements of the CFC Section 605.11.
47. Your project is located in an area that to date there are no documented fire flows are available. In order to determine required fire flows, please provide information on Building Classification including Type of Construction, Occupancy Classification and Mixed occupancy use.
48. Fire Alarm systems that meet the 2019 NFPA 72 will be required.
49. A Certificate of Completion for Fire Sprinkler System requirement at final.
50. A Certificate of Completion for Fire Alarm required at final.
51. A Certificate of Completion for Underground required at final.
52. A current 5 year Certification for the Fire Sprinklers and Fire Alarm required at final.
53. For informational purpose: Community Facilities District: The Fire District requires the formation of a Mello-Roos Community Facilities District (CFD) for all new construction of three or more residential units. Please contact the Fire District administration office for more details. Please be advised that the formation of a CFD takes approximately three months. The formation of a CFD is a condition of development and required to be completed prior to Fire District final approval and sign-off on the project.

#### Coastside County Water District

54. The project is required to comply with Coastside County Water District regulations on water service and metering. The District performs inspections to verify compliance with all District regulations during construction and a final inspection when construction is complete.

55. The project may require additional water capacity. A fixture unit count and water demand analysis may need to be completed by the District. The District will need a letter from the county if this parcel qualifies for a priority water connection. Backflow protection is required on the domestic service(s). If the area of irrigation is 5,000 square feet or more, a dedicated irrigation meter is required.
56. The existing fire service will need to be upgraded to current engineering standards. The existing single check will need to be upgraded to a double check, above ground, with by-pass meter. Fire sprinklers are served from an independent and dedicated water service connection with a separate fire meter. Please note that Coastside County Water District does not allow passive purge systems to be installed on fire protection services. Fire protection services are authorized for the sole purpose of fire protection, there shall be no cross connections.

#### Granada Community Services District

57. The applicant shall comply with any requirements of the Granada Community Services District for the proposed use.
58. A Sewer Variance is required by the Granada Community Services District

#### Department of Public Works

59. Project will comply with County drainage policy to prevent stormwater from development from flowing across property lines. For projects that trigger size and/or slope thresholds, prior to the issuance of the Building permit or Planning permit (for Provision C3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works and Planning and Building Department for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off of the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works and Planning and Building Department for review and approval.
60. Prior to the issuance of the BLD permit or PLN permit (if applicable), the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public

Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.

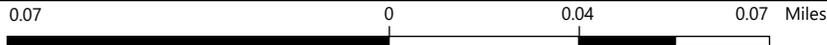
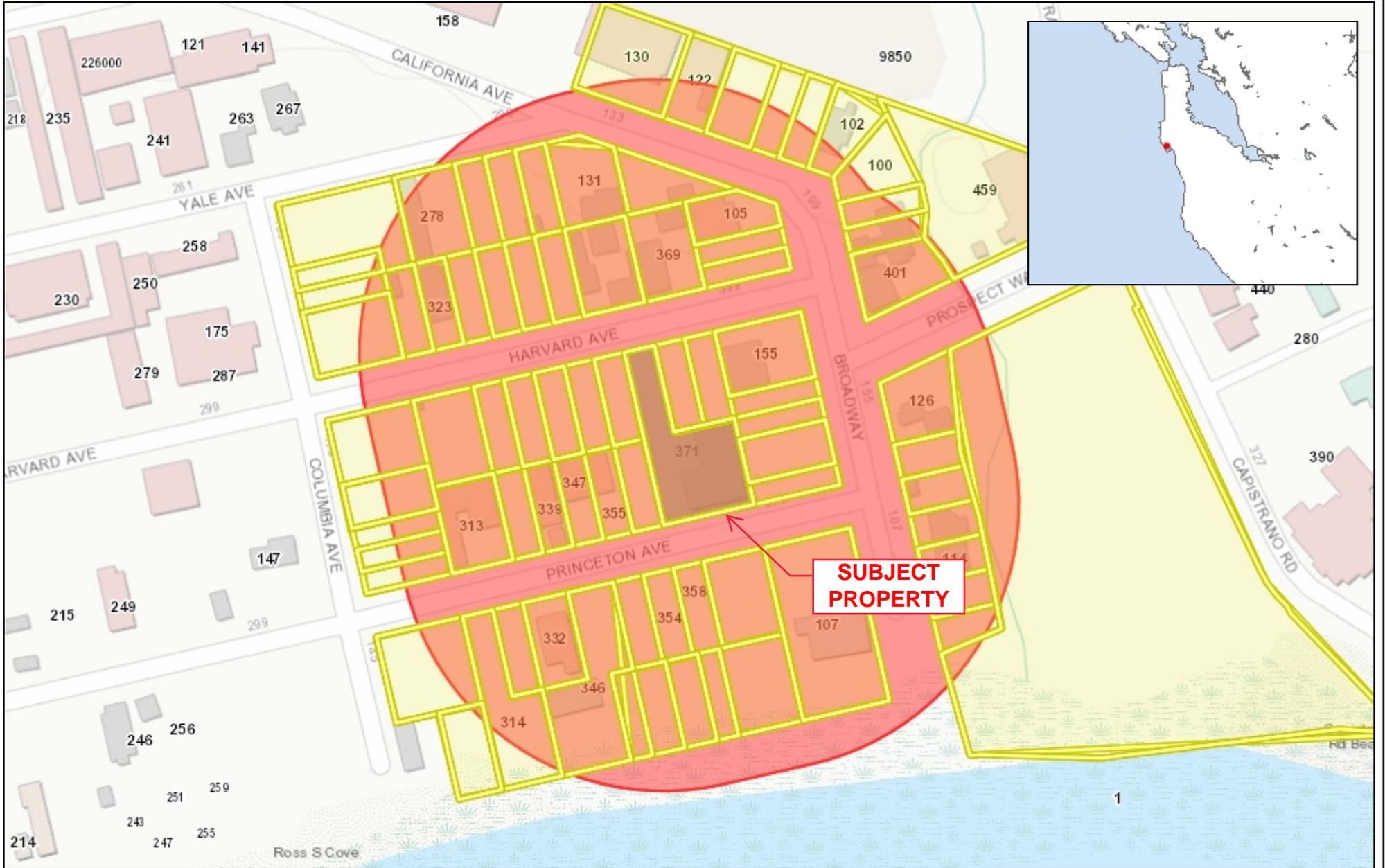
61. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. Applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
62. Prior to the issuance of the Building Permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No.3277.

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**County of San Mateo - Planning and Building Department**

# **ATTACHMENT B**



WGS\_1984\_Web\_Mercator\_Auxiliary\_Sphere  
 © Latitude Geographics Group Ltd.

1:2,257 

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

**THIS MAP IS NOT TO BE USED FOR NAVIGATION**



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT C**



**SITE DATA:**

APN: 047-023-350  
 ZONING: COASTSIDE COMMERCIAL RECREATION  
 OCCUPANCY GROUP: R-1  
 TYPE OF CONSTRUCTION: V-A

PLN:  
 BLD:

APPLICABLE CODES:  
 SAN MATEO COUNTY

SAN MATEO COUNTY ZONING & BUILDING ORDINANCES  
 2019 CALIFORNIA RESIDENTIAL CODE  
 2019 CALIFORNIA BUILDING CODE  
 2019 CALIFORNIA MECHANICAL CODE  
 2019 CALIFORNIA PLUMBING CODE  
 2019 CALIFORNIA ELECTRICAL CODE  
 2019 CALIFORNIA ENERGY CODE  
 2019 CALIFORNIA FIRE CODE  
 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE  
 ANY APPLICABLE CITY CODES, ORDINANCES, OR AMENDMENTS  
 TO THE CALIFORNIA BUILDING CODE

OWNER: WILLIAM KIBBLEWHITE  
 371 PRINCETON AVE  
 HALF MOON BAY, CA

ARCHITECT: EDWARD C LOVE, ARCHITECT  
 720 MILL ST  
 HALF MOON BAY, CA 94019

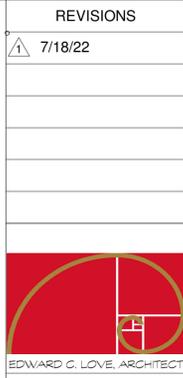
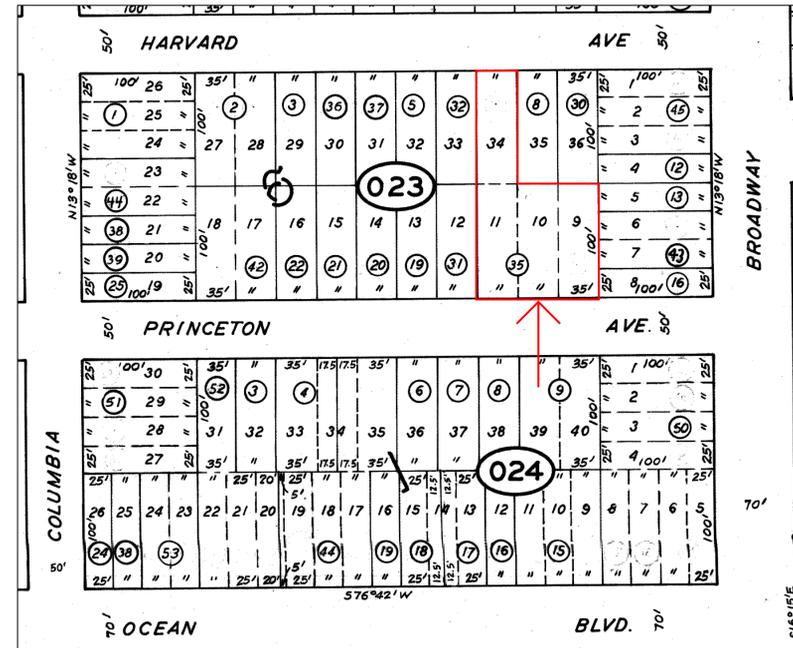
	EXISTING		PROPOSED		TOTAL		ALLOWED	
	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%	AREA (SQFT)	%
LOT AREA	14000				14000			
LOT COVERAGE	4579	32.7	0	0.0	4579	32.7	7000	50.0
FLOOR AREA	Level 1	4579 SF	N/A		N/A		N/A	
	Level 2	1137 SF						
	Level 2 vacant	1275 SF						
Total	6991	49.9	Total	6991	49.9	Total	0	0.0

**Sheet List - AB**

Sheet Number	Sheet Name
A100	Cover Page
A101	Site Plan
A102	Existing Levels 1 & 2
A103	Elevations

**SCOPE OF WORK**

- CHANGING USE TO (BOAT BUILDING, REPAIR, SALES AND ESTABLISHMENTS)
- SECTION 6267.F.2 STATES THIS IS AN ACCEPTABLE USE



**Edward C. Love**  
 Architect  
 720 MILL STREET  
 HALF MOON BAY, CA 94019  
 (650) 728-7615  
 edwardclovearch@gmail.com

Change of Use  
 Kibblewhite Building  
 371 Princeton Ave, HMB

Cover Page



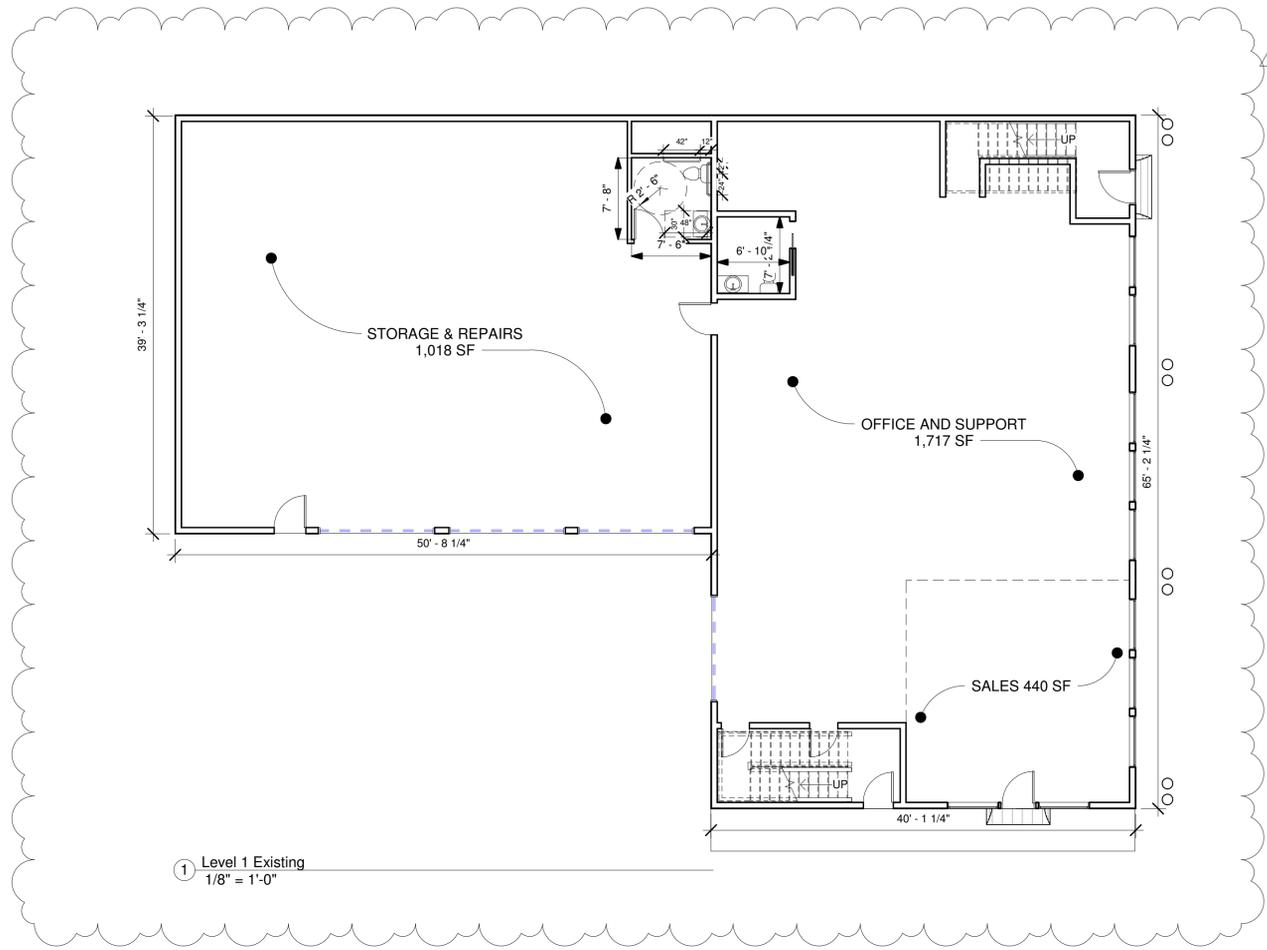
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 SCALE:  
 DRAWN: CJP  
 JOB: Kibblewhite  
 SHEET:

**A100**

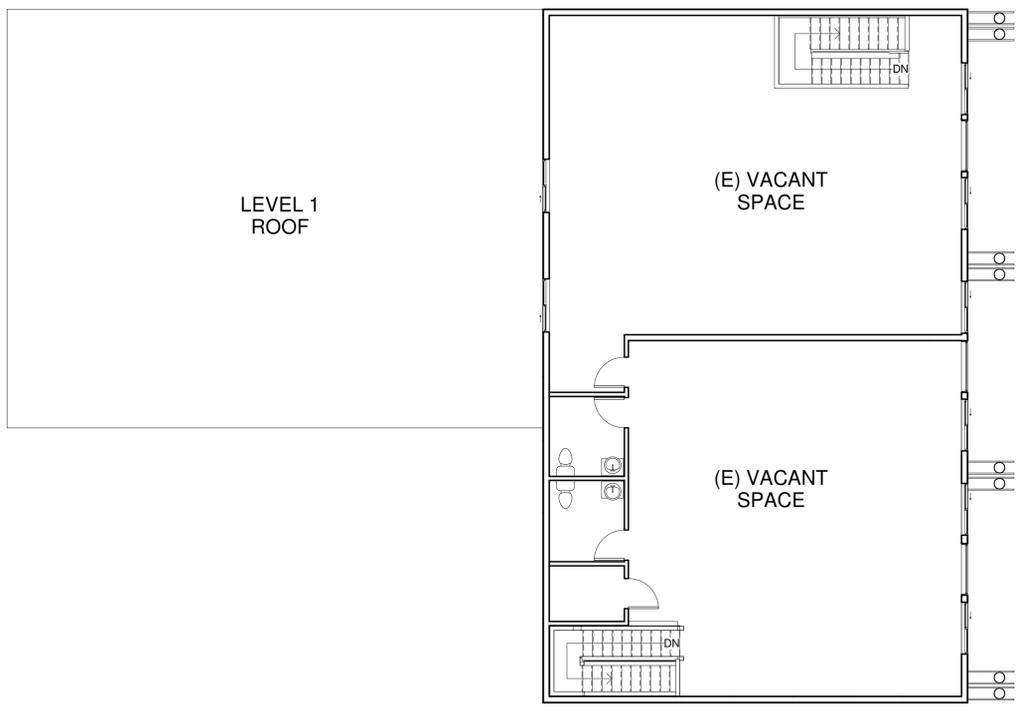
OF SHEETS

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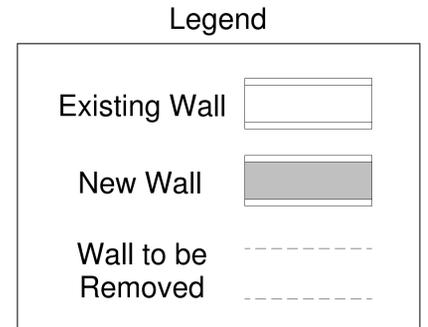




① Level 1 Existing  
1/8" = 1'-0"



② Level 2 Existing  
1/8" = 1'-0"



REVISIONS




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Change of Use  
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Existing Levels 1 & 2

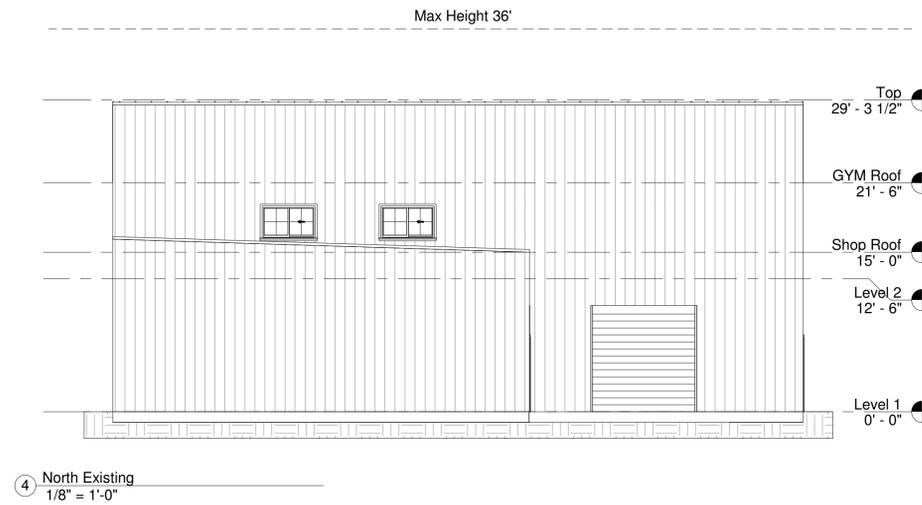
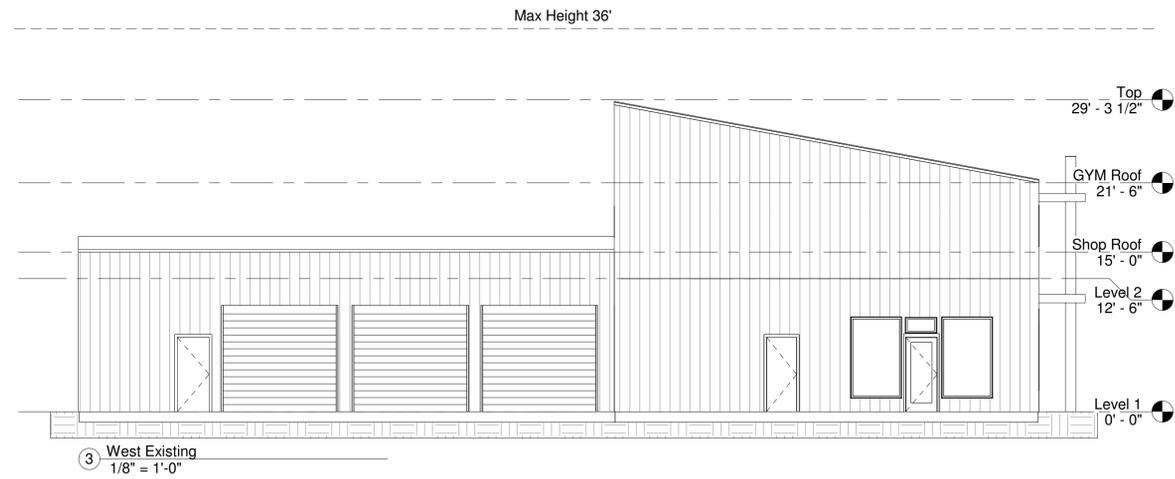
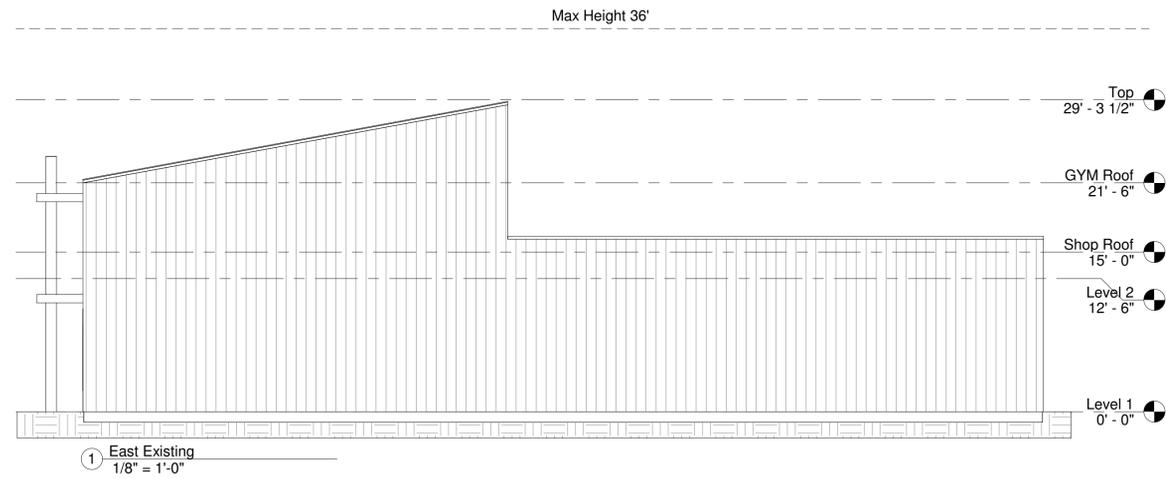


DATE: 7/18/22  
SCALE: As indicated  
DRAWN: CJP  
JOB: Kibblewhite

SHEET:  
**A102**

OF SHEETS

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REVISIONS



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Kibblewhite Building  
371 Princeton Ave, HMB

Elevations



DATE: 7/18/22  
SCALE: 1/8" = 1'-0"  
DRAWN: CJP  
JOB: Kibblewhite

SHEET:  
**A103**  
OF SHEETS



**County of San Mateo - Planning and Building Department**

# **ATTACHMENT D**

**371 Princeton Avenue**

**El Granada**

**Date: 9/13/22**

**Kibblewhite boat chandlery, marine supply & repair**

**Operational statement: Ground floor**

The owner of the existing building proposes the ground floor of the building to be a boat chandlery featuring supply and sales of marine related parts and accessories plus the repair of marine related engines and equipment.

The front, street facing space will serve as the marine retail and customer service area, open Monday to Friday, 8:30 am to 5:00 pm. The rear area will house the repair facilities and inventory supports for the marine retail operation, but not open to the public.