August 11 2022

Owner / Applicant: Paul McGregor

FileNo: PLN 2021-00101 Location: Alto Avenue, Miramar

No.: 048-065-060

At the regular meeting of the CDRC, the project identified as PLN2021-00101, a proposed 2 story single family residence with an attached 395 sg.ft. garage on a legal 4,800sg. ft. undeveloped parcel was reviewed.

The applicant chose to continue their project and return at a future date to be determined.

REVIEW:

Support from 2 neighbors for the work of Paul McGregor and this project.

CDRC REVIEW

- Include small, med and large plants in landscape design
- The project does not comply with the section on roof massing. There is one unbroken roof. It should
 be developed with primary and secondary roof forms, at minimum the single gable should be broken with
 dormers, rotated gables, or secondary forms
- Wall articulation- review section 1e, which applies to projects complying under 1d daylight plane or facade articulation
 options. The fireplace projection is not in it self sufficient. Use architectural projections to provide wall articulation.
- Consider pushing the lower floor forward to resolve the cantilever. The current cantilever doesn't comply for both the
 cantilever and the tall posts.
- Reduce setbacks(there is already a Use permit for this project, so the reduced setback would be part of the Use Permit)
 to allow for more articulation.
- Incorporate an ADU into the design to allow for reduced setbacks.

See Standards:

Section 6565.20()D) Elements of Design

- 1. Building mass, shape and scale
 - a. Relationship to existing Topography

Standards: To the extent feasible structure shall:

- (3)Minimize Building extensions out over a slope supported on high stilts.
- c. Second Stories
 - (e) Avoid designs where large areas of upper-story walls overhang or cantilever out over lower story walls
- 1. e. Wall Articulation arrangement / placement/massing of major building forms

Standards

section:

These standards apply in addition to either the Daylight

Plane or Façade Articulation Options in the preceding

- (1) Require at least one step or off-set extending to grade
 - on the long dimension of the house.
- (2) Projecting or recessing architectural details (decks, bays, windows, balconies) and changes in building materials or colors are also encouraged to visually break up building walls.
- 3. Roof design
 - a. Massing $% \left(1\right) =\left(1\right) \left(1\right) =\left(1\right) \left(1\right)$ and design of roof forms

Section6565.20(F) Landscaping ,paved ares, fences, lighting

- 1. Landscaping
 - b Finished landscape plan compatible with & enhance the design of the home
 - f. landscaping ,drought tolerant & native or non invasive plant species

ALTO RESIDENCE

Alto Avenue, Half Moon Bay, CA 94019 APN: 048-065-060

ABBREVIATIONS

A/C ADU A.F.F. ALT. AMT. APPROX O.C. O.D. OPNG. Air Conditioning Accessory Dwelling Uni Aboce Floor Finish Albernate Amount AVG. BLDG. Building

On Center

Original Ounce

Quantity

Reinforcement

Required

Solid Core

Section

Sheet

Specification(s

Square Feet

Stainless Steel

Square

Standard

Storage

Structure

Symbol

Telephone

Toilet

Temperature

Top of Concrete/Curk

Top of Catch Basin

Tongue and Groove

Unless Noted Otherwise

Vinyl Composition Tile

Vent Thru Roof

Water Closet

Water Heater

Wrought Iron

Waterproofing

And Materials

O.S.H.P.D. Occupational Safety and

Wainscot

With

Without

Weather Resistant Barrier

American National Standars

American Society for Testing

California Building Code

National Fire Protection

Uniform Fire Code

Woodwork Institute Of

International Conference of Building Officials

Top of Pavement

Top of Slab

Top of Wall

Television

Typical

Unfinished

PLY. WD. Plywood

ORIG.

PROJ.

P.S.F.

P.S.I.

P.T.D.F.

RFINE

REQ.

RCHED.

S.C. SECT.

SHWR. SHT.

SPEC(S

STD.

STL.

STOR.

SYM.

TO.C.B.

TEL.

T&G

THK.

TOIL. T.O.P.

T.O.S.

T.O.W.

UNFIN.

V.T.R.

W.H.

W.R.B.

WSCT.

W/O

ACRONYMS

A.N.S.I.

I.C.B.O.

N.F.P.A.

WOM.

TEMO.

STRUCT.

Outside Diameter

Plastic Laminata

Pounds Per Square Foot

Pounds Per Square Inch

Pressure Treated Dog Flr

BLW/BLKG Block/Blocking Cubic Feet Per Minute C.F.M. CHG. C.I. CLR. CLG. Cast Iron Clear/Clearance C.M.U. Concrete Masonry Un COL. CONC. CONSTR Concrete Construction

C.O.T.G. Clean Out to Grad CU.FT. Cubic Foot CU. IN. CU. YD D Cubic Yard DBL
DEG.
DEPT.
DIAG.
DIA
DIM.
DIV.
D.S.
D.W. Double Degree Department Diagonal Dimension Downspout Dumbwaiter/D

Existing EÁ. ELEC. ELEV. ENCL. EQ. EQUIP. Electric Elevation/Eleva Enclouse Equipment EXIST. Existing Exterior F.D. Floor Drain

F.G. F.H. FIN. FLR. FLUOR. Finish Grade Fire Hydrant Finish Fluorescence F.O.C. Face of Concrete F.O.F. Face of Finish F.O.M. Face of Masonry F.O.S. Face of Stud F.O.S. Finish Surface Finish Surface Footing

FTG. GALV. Galvanized GYP. H.B. HDR. HDRW. HORIZ. Hose Bibb Header Hardware Horizontal Inside Diamet INFO. Information

INSUL. Insulation INT. Interior JAN. JCT. Junction Lineal Foot LIN. LT. Linear Light LT.WT. Light Weigh MAX. M.B. Machine Bolt Medicine Cabinet MECH. MED.

MEZZ.

MISC.

MTL

MFR./MFGR.

N.G. N.I.C. Not In Contac NTS Not to Scale Building Grid Lines <u>Window Symbol</u> Window No. 4 New Window

Mezzanine

Miscellaneou

Natural Grade

Door No.———— New Door North Arrow

4—Detail Number

Exterior Elevation

GENERAL NOTES

EXAMINATION OF SITE: The contractor shall thoroughly examine the site and satisfy him/herself as to the conditions under which the work is to be performed. The contractor shall verify at the site all the measurements affecting the work and shall be responsible for the correctness of the same. No extra expense shall be allowed to the Contractor for expenses due to his neglect to examine, or failure to discover, conditions which affect the work.

GENERAL OPERATION: the Contractor shall, after consulting with the Owner, Schedule the work so as not to interfere unduly with the neighbors, etc. Contractor shall allay dust by approved means and minimize noise as much as practical. In no case shall the work interfere with existing streets, drives, walks, passageways, neighbors's property, improvements and the like. Protect all in-place construction in connection with the work. Particular attention is directed to but not limited to, such items as street improvements, curbs and gutters, rough grading lines, etc.

CONTRACTOR USE OF THE PREMISES: Confine operations at the site to areas permitted by law, ordinances, permits, and these Contract Documents. Do not unreasonably encumber premises with materials or Assume all responsibility for protection and safekeeping of all products stored on the premises. Move any stored products which interfere with the operations of the City or

storage or work area required for operations. . LIMITS OF WORK: Work zone limits are established on the drawings. All Contractors, Subcontractors, and Tradesman shall coordinate their work with one another within the established limits.

other contractor. Obtain and pay for use of additional

SEQUENCE OF WORK: in the event any special sequencing of the work is required by the Owner, the Contractor shall arrange a conference before any such work is begun. Contractor shall be responsible and liable for deviations from schedule unless delays are the result of failure of the Owner to abide by the Contractor by acts of nature or God. 6. ORDERS: Place orders for material and equipment

immediately on receipt of contract and follow up vigorously to insure adequate and timely supply of work. Perform all tracing and expediting actions and arrange to get workers and subcontractors on job at proper time and avoid delays. MEASUREMENTS: Contractor shall verify all dimensions shown on drawings by taking field measurements; proper fit, and attachment of all parts is required. Before commencing work, check all lines and levels indicated and such other work as has been properly completed. Should there be any discrepancies, immediately report in writing to the Architect for correction or adjustment prior to the commencement of any related work. In the event of the Contractor's failure to do so, the Contractor should be fully and solely responsible for the correction or adjustment of any such related work or errors. All dimensions take precedence over scale All

dimensions are to face of step, unless otherwise noted, THE

New Two stories

800 Sq Ft ADU

Alto Avenue, Half

048-065-060

4,802.80 Sq Ft

Moon Bay, CA 94019

Family Residence with

ADU Area:

Lot Coverage:

Residence Area 1st Floor:

Residence Area Garage:

Residence Area 2nd Floor:

1,170.28 Sq x 100 / 4,802.8

CONTRACTOR SHALL NOT SCALE DRAWINGS RULES AND REGULATIONS: All work and materials shall be in accordance with the latest rules and regulations of the National Board of Underwriters, the latest editions of the National Electrical Code, the National Plumbing Code, latest adopted edition of the California Building Code, all State Title 24 AB. 163 energy Regulations, and all applicable Local

and State Laws and Ordinances. Nothing on the drawings

shall be constructed to permit work not conforming to these . The Contractor shall coordinate with the Building Department for all Building department required inspections. 10. The Contractor shall give all notices and/or comply with all codes, laws, ordinances, rules regulations, and orders of any pertinent public authority bearing on the performance of

work and shall notify the Architect if the drawings and

specifications are at variance therewith.

11. Solely as a convenience to the Owner and Contractor, the Architect may include documents prepared by certain consultants and/or vendors (or incorporate the recommendations of said consultants and/or vendors into documents prepared by the Architect) within the set documents issued by the architect. It is expressly understood that by such issuance, the Architect assumes no liability for the services of said consultants and/or vendors.

12. CONSTRUCTION QUALITY: the Contractor shall complete all work to a degree of skill, efficiency and knowledge which is possessed by those of ordinary skill, competency and standing in the particular trade or business for which the Contractor employed in the community. The Construction documents are provided to illustrate the design and general type of construction, material and work commensurate with this type of project throughout.

13. COMPLETE PROJECT: The Contract Documents, including

working drawings, specifications and schedules, represent the finished structure. Unless otherwise noted, they do not indicate method of construction. Contractor shall supervise and direct work and shall be solely responsible for all construction means, methods, techniques, sequences, and procedures. Observation visits by the Architect shall not include inspections of protective measure or the construction procedures required for same, which are not specifically detailed on drawings shall be similar to those shown, or those detail existing in the field as they occur. WORK WHICH IS OBVIOUSLY REQUIRED TO BE PERFORMED TO PROVIDE A COMPLETE OPERABLE INSTALLATION WITHIN THE SCOPE OF WORK, BUT IS NOT SPECIFICALLY INCLUDED ON THE PLANS, SHALL BE PERFORMED BY THE CONTRACTOR AT NO EXTRA CHARGE.

14. COORDINATION: The General Contractor and each Subcontractor shall be responsible for verification of all field conditions and dimensions PRIOR to commencement of any work. Contractor shall bring any discrepancies to the Architect's and Owner's attention PRIOR to commencing any work. In the event that work commenced with a failure

800 Sq Ft

50 Sq Ft

418.14 Sq Ft

1,539.28 Sq Ft

to notify both the Architect and Owner, the Subcontractor is solely responsible for any and all corrective measures or

errors. 15.NOTES: All plans imply the words "the Contractor shall" or "the Contractor shall install". 16.COOPERATION:

 Contractor and Subcontractors shall coordinate their work with adjacent work and cooperate with other trades so as to facilitate general progress of the work. Each trade shall afford the other trades every reasonable opportunity for installation of their work and storage of their materials. In as much as building completion within the time limit is dependent upon cooperation of those engaged there in. It is required that each contractor lay out / install his work in a time and manner not to delay or interfere with carrying forward other contractor's work.

17. CHANGES: Any proposed changes in the construction should be made to the Architect IN WRITING OR IN DRAWINGS. All changes should be reviewed by the Architect, approved by the Owner, Contractor, Architect and by the Building Official as required.

18. Any revision or additional work required by field conditions or local governing authorities shall be brought to the

attention of the Architect before proceeding. 19. This set of Plans is to be on the Job Site at all times during construction. All work shall be in accordance with the approved plans. NO changes or revisions to the approved plans or specifications shall be permitted unless submitted to and approved by the Building Department. The issuance of a permit shall nor prevent the Building Department from requiring the correction of Errors or Omissions from the approved plans and specifications.

20. the issuance or granting of a permit or approval of plans, specifications and computations shall not be construed to be a permit for or an approval of, any violations of any of the codes or of any other ordinance of this jurisdiction. Permits presuming to give permission to violate or cancel the provisions of this code, or other ordinances of the jurisdiction, shall nor be valid.

21. These notes apply to all drawings unless otherwise noted or shown. Features of construction shown are typical and shall apply generally throughout similar conditions. Unless otherwise noted, all closets, recesses, columns, projections or other adjacent areas or work within the scheduled areas shall have finishes as scheduled for the respective spaces in which they occur. All omissions or conflicts between the various elements of the working drawings and/or notes shall be brought to the attention of the Architect prior to proceeding with the work involved.

22.OWNERSHIP AND USE OF DOCUMENTS: All drawings, specifications, and their content, and copies, there of furnished by Karen Wilkins and shall remain the property of Karen Wilkins

23. Anyone supplying labor and/or materials to the project shall carefully examine all subsurfaces to receive work. Any conditions detrimental to the work shall be reported in writing

to the Contractor prior to beginning work. Commencement of work should imply acceptance of all sub-surfaces. 24. The contractor shall be responsible for obtaining and paying

for all special permits and licenses indicated on the plans and/or by specifications or required by the soils report and/or required by any government agency. The Contractor may need to obtain permits that may include but are not limited to, penetration fire stop systems, fire-resistant joint systems, automatic sprinkler systems, standpipe systems, manual fire alarm systems, emergency and stand by power systems, and door hardware schedules

position as to b plainly visible and legible from the street or road fronting the property. 26. Work in public right-of-way requires an "Encroachment

25. Site address is to be clearly marked in field in such a

Permit" from the Public Works Department. 27. All Contractors and Subcontractors must have on file with

the Building Department, a list of all such Contractors and Subcontractors with the appropriate current City Business License Numbers. 28. The permits shall expire by limitation if work authorized

under permit is not commenced within 180 days of the issuance or if the work is suspended for a period exceeding 180 days after the work has commenced. 29. Upon completion of the project, new spaces shall be cleaned

and put in working order prior to occupancy 30. An automatic residential fire sprinkler system shall be

installed in one- and two-family dwellings. Section R313.2. 31. This project is not within a noise critical area (CNEL contour of 60 db) as shown on the general plan.

32. This project is not within a noise critical area (CNEL contour of 60 dB) as shown on the General Plan.

33. Prior to final inspection the licensed contractor, architect or engineer in responsible charge of the overall construction must provide to the building department official written verification that all applicable provisions from the Green Building Standards Code have been implemented as part of the construction. CGC 102.3.

34.Compliance with the documentation requirements of the 2019 Energy Efficiency Standards is necessary for this project. Registered, signed, and dated copies of the appropriate CF1R, CF2R, and CF3R forms shall be made available at necessary intervals for Building Inspector review. Final completed forms will be available for the building owner.

35. Project is 100% electric, no gas.

Regulating Codes

2019 California Building Code Volumes 1 & 2 2019 California Mechanical Code

2019 California Plumbing Code 2019 California electrical Code

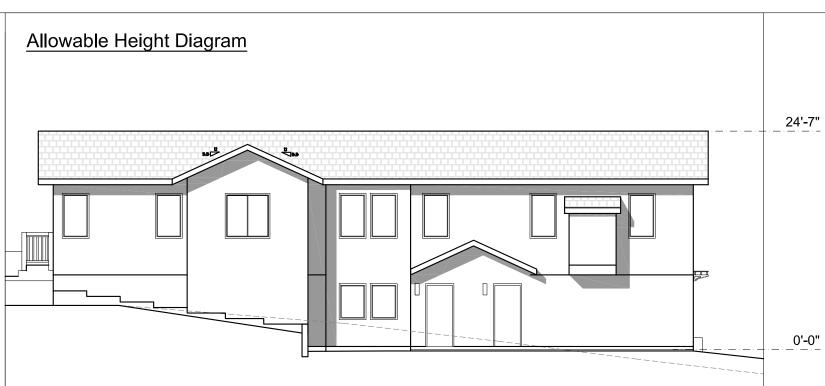
2019 California Existing Buildings Code

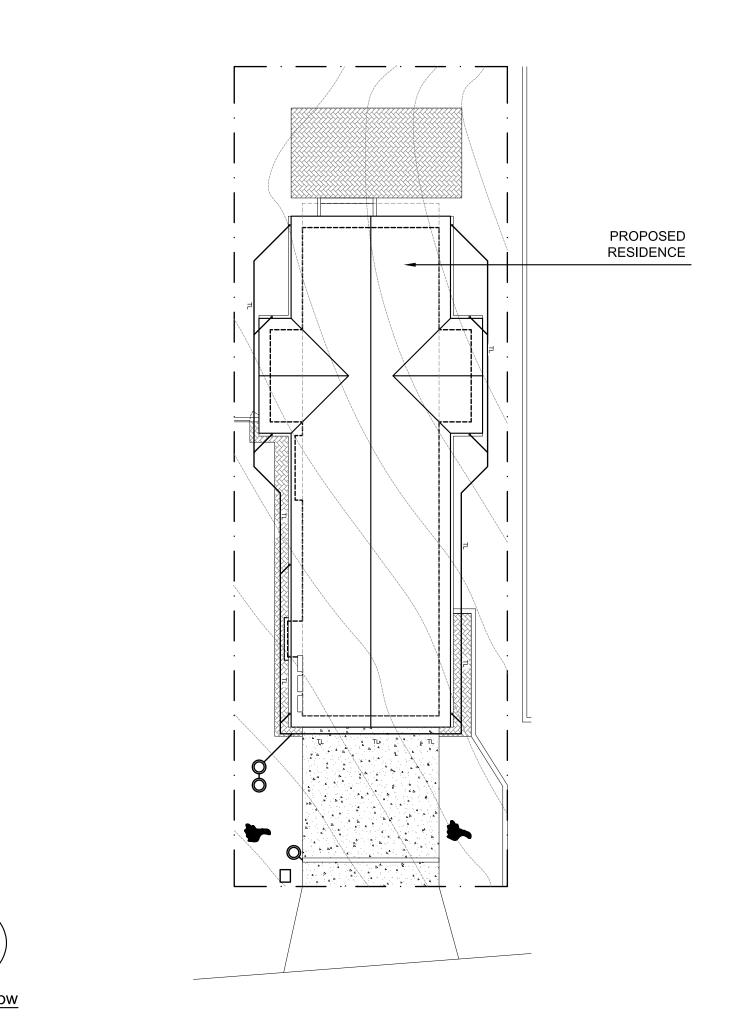
2019 California Fire Code 2019 California energy Code

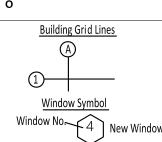
2019 California Green Building Standards Code

One-line Diagram & Grounding

A4-0 Renderings E1-0 Proposed Load-Demand Calc, E2-0 Electrical First Floor Plan E3-0 Electrical Second Floor Plan







 Elevation Number —Sheet Numbe — Revision Delta

Ceiling Height

 Revision Delta Number Room Name

—Section Number

Aerial View

Project Data

Project Description:

Project Address:

Occupancy Group:

Construction Type:

Stories:

Lot size:

Assessor's Parcel Number:



Vicinity Map



Sheet Index

G2-0 General Notes

C-1 Drainage Plan

C-2 Erosion Plan

G3-0 Green Sheet Part 1

G4-0 Green Sheet Part 2

A0-1 Existing Site Plan

A0-2 Proposed Site Plan

A0-3 Drainage Site Plan

L2-0 Irrigation Details & Notes

A0-4 Fire Safety Plan

L1-0 Landscape Plan

A1-1 First Floor Plan

A1-3 Roof Plan

A2-1 Elevations A2-2 Elevations

A2-3 Sections

A3-0 Material Board

A2-4 Section

A1-2 Second Floor Plan

G1-0 Cover Sheet and Site Plan

G2-1 General Notes Continued



Site Drainage Notes

The ground imediately adjacent to the foundation shall be sloped away from the building at a slope of not less than one unit vertical in 20 units horizontal for a minimum distance of 10 feet measured perpendicular to the face of the wall if physical obstructions or lot lines prohibit 10 feet of horizontal distance, a 5 percent slope shall be provided to an approved alternative method of diverting water away from the foundation. Swales used for this purpose shall be sloped a minimum of 2 percent located within 10 feet of the building foundation, impervious surfaces within 10 feet of the building foundation shall be sloped a minimum of 2 percent away from the building.

Operation and Manintenance Manual

Operation and Maintenance Manual Shall be provided to the owners in accordance to residential mandatory measures 4.410.1

Deferred Submittal

Deferred submittal for fire Alarm, sprinkler & Fire Suppression System Plan is required and submit to Building and Safety for review and approval prior to installation.

Wilkins Studio San Francisco CA (415)273-9054

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054 Owner:

401 0 ence Bay, -060 \Box OU O 9 Ŏ **(1)** alf

Description Date Submittal

Cover

G1-0 Scale: As Noted

whether or not the lines are located on the property. Failure to An approved Seismic Gas Shutoff Valve be installed on the fuel gas line on the down-stream side of the utility meter and benignly connected to the exterior or the building structure containing the fuel grasping. (Per ordinance 170.158) (It includes Commercial additions TI work over \$10,000.) Separate plumbing permit is

Provide ultra-low Flush water closets for all new construction. Existing shower heads and toilets must be adapted for low water

Provide 70" high non-absorbent wall adjacent to shower and approved shatter-resistant materials for shower enclosure (1115

and allows commencement of construction prior to obtaining a

responsibility for the results of such construction. Therefore, the

Owner agrees to waive any claim against the Architect and to

release Karen Wilkins from any liability directly or indirectly from

such construction. In addition, the Owner agrees, to the highest

extent permitted by law to hold harmless the Architect from any

damages, liabilities or costs, including reasonable attorneys fees

In addition, the Owner agrees, in any contracts or construction,

construction documents without the prior written approval of

subcontractors of any tier, from making copies of the Architect's

indemnify both Architect and the Owner from any liability or cost

0. If the project is not built per Architect's plans and specifications in

Architect and to release the Architect from any liability for the

. It is understood that the Architect will NOT provide design and

understood that Architect will NOT provide any supervisory

services relating to the construction for the project. Any opinions

solicited from Architect relating to any such review or supervisory

services shall be considered only as general information and

12. The Owner shall contract an independent inspection and testing

construction in relation to waterproofing and sound compliance.

13. The Owner shall use its best efforts to properly construct project

14. Plumbing fixtures are required to be connected to a sanitary

Kitchen sinks, lavatories, bathtubs, showers, bidets, laundry

sewer or to an approved sewage disposal system (R306.3).

Bathtub and shower floors, walls above bathtubs with a shower

non-absorbent surface. Such wall surfaces shall extend to a

head and shower compartments shall be finished with a

height of not less than 6 feet above the door. (R307.2).

accordance with UL325.

repair, or additions. (R314.2).

above the floor level. (R303.1)

the property. (R319).

17. Automatic garage Door openers, if provided, shall be listed in

18. Smoke detectors shall be provided for all dwelling units intended

Where a permit is required for alterations, repairs or additions,

or fuel burning appliances shall be provided with a carbon

20. Every space intended for human occupancy shall be provided

with natural light by means of exterior glazed openings in

accordance with Section R303.1 or shall be provided with

Buildings shall have approved address numbers, building

monoxide alarm in accordance with Section R315.1. Carbon

monoxide alarms shall only be required in the specific dwelling.

unit, or sleeping unit for which the permit was obtained. (RJ15.2).

artificial light that is adequate to provide an average illumination

numbers, or approved building identification placed in a position

that is plainly legible and visible from the street or road fronting

22. Unit skylights shall be labeled by jurisdictional Approved labeling

Agency. Such labels shall state the approved labeling agency

name, product designation and performance grade rating.

23. If Applicable, Provide anti-graffiti finish within the first 9 feet,

24. Protection of wood and wood-based products from decay shall

preservative-treated, in accordance with AWPA U1 for the

5. Provide ultra-low flush water closets for all new construction.

equipment and other items necessary for the completion of all

work shown, called for, or reasonably implied by the contract

documents except where specifically noted otherwise where

the general contractor shall carefully examine the site to satisfy

himself as to existing conditions, prior to submitting his bid. No

claim will be allowed on the bases if his lack of knowledge of

general contractor shall review all drawings and specifications to

obtain first-hand knowledge of all conditions prior to signing the

requires additional information, clarification, and details to fully

existing conditions and of problems arising there from. The

contract. If found necessary, the general contractors shall

understand the project and scope of work.

shall be provided by others, the general contractor shall

coordinate and cooperate to effect such installation.

work or equipment is indicated "NIC", such work or equipment

The general contractor shall furnish all labor materials,

be provided in the locations specified per Section R317.1, by the

species, product, preservative and end use. Preservatives shall

(Research report not required) (R308.69).

measured from grade, at street exposed walls.

use of naturally durable wood or wood that is

be listed in Section 4 of AWPA U1.

GENERAL CONSTRUCTION NOTES

for human occupancy where a permit is required for alterations,

existing dwellings or sleeping units that have attached garages

in full compliance with the plans and specifications prepared by

Architect and must repair any substandard faulty or failing work.

tubs, and washing machine outlets shall be provided with hot and

cold water and connected to an approved water supply (R306.4).

Architect will provide input into the selection of these consultants,

construction services related to safety measures of any

contractor or subcontractor on the project. Further, it is

shall not be the basis for any claim against Architect.

but they will be retained by and report to the Owner.

agency to review the materials, methods, and means of

any means, the Owner agrees to waive any claims against the

appropriate language that prohibits the contractor or any

Karen Wilkins and that further requires the Contractor to

arising from such changes made without such proper

authorization.

referenced plans.

PERMIT from the jurisdiction, Owner shall assume full

and cost of defense arising from such damages.

5. The contract drawings and specifications represent the finished project. They do not indicate the method of construction. The Water heater must be strapped to wall (sec. 507.3, UPC). If applicable, Ducts in a private garage and ducts penetrating the contractor shall supervise and direct the work and shall be solely responsible for all construction means, methods, techniques, walls and ceiling separating the dwelling unit from the garage sequences and procedures. The contractor shall provide all shall be constructed of a minimum 0.019-inch (0.48MM) sheet steel and shall have no openings into the garage. measures necessary to protect the structure during construction. If applicable, A copy of the jurisdictional research report and/or Such measures shall include, but are not limited to, bracing, shoring, shoring for loads due to construction equipment etc. conditions of other listings shall be made available at the job site. Observation visits to the site by the Architect does not include In the event the Owner, the Owner's contractors or observation of the above items. subcontractors, or anyone for whom the owner is legally liable

The Architect is not responsible for the performance of the general contractor or subcontractors, their errors or omissions nor the safety at the job site. Any non-conforming items found or noted shall be brought to the attention of the Architect and Owner immediately.

3. The general contractor shall verify all dimensions and conditions

of the project prior to commencing work and shall report any

discrepancies, inconsistencies, errors and/or omissions to the

Architect and the Owner. All requests for clarifications of these

drawings shall be directed to the Architect in writing. Site plan

adjacent street. While this site plan is believed to be correct, the

the drawings by reasons of reliance on the owner's or engineer's

Architect assumes no liability for any discrepancy occurring on

documents. All dimensions locating the buildings within the

property lines must be verified with civil engineer or surveyor

shall apply where specific details (or sections) are not given.

dimensions are nominal and are to the face of objects unless

4. Do not scale the drawings. All dimensions specified govern

specifically noted otherwise.

prior to construction. Dimensions, grades, and details shall be

verified prior to commencement of construction. Typical details

dimensions and bearings are to aid in locating the proposed

development in reference to the property lines and to any

All work shall be done in accordance with the highest quality of industry standards and the standards referenced herein. All prefabricated items shall be delivered to the job site complete and ready to install. Assemblies shall be erected rigidly, secured, plumbed, level and aligned true.

Reference to any detail or drawing is for convenience only and does not limit the application of such drawing or detail. If certain information is noted only on the plans or only on the specifications or only in a detail, then that information shall be valid as if noted on all above mentioned locations.

9. All work shall conform to the minimum standards of the current edition of CBC and or CRC. All other regulating codes and agencies having jurisdiction over the work shall be complied with.

10. The Architect shall be immediately notified of any discrepancies between these documents and any applicable codes by the agent involved with the governing agency having jurisdiction. the field inspector for such agency has final authority to approve/disapprove project construction and correctness of all code related items.

11. Each sub-contractor is considered a specialist in his respective field/trade and shall (prior to submission of bid or performance of work) notify the general contractor or the owner of any work called out in the drawings or specifications which cannot be fully guaranteed or constructed as designed or detailed.

12. Where construction details are not shown or noted for any part of the work. Details shall be the same as for other similar first-class work for the trade involved. The owner and Architect shall be immediately notified of any alternate non-standard or untested method(s) proposed.

13. The general contractor is responsible for appropriate hook-up of 37. All equipment and material which is in operating condition when all utilities required to support the work, including temporary and

14. The general contractor shall determine locations of utility services in the area, prior to any excavation for work. The general contractor shall also verify any and all utility locations specified or otherwise noted on the drawings. The general contractor is responsible for the protection of an existing underground and overhead utilities. Contractors must call 811 for

existing utility locations. 15. All delivered and in-place materials remain the responsibility of the contractor for the entire course of construction. Damages or stolen materials shall be replaced by the general contractor at no 40. cost to the owner. All materials shall be securely stored and kept

dry before installation. 16. Lead time for materials and equipment is the responsibility of the general contractor and all subcontractors to order materials, equipment, etc. sufficiently in advance to assure timely

construction and/or installation Miscellaneous items of work and materials necessary to complete the project, whether or not mentioned or described in

these specifications and allied documents, shall be provided. 18. Trade names and manufacturers referred to are primarily to establish quality standards and character of materials. Substitutions/ alternatives may be permitted when approved by

the Architect and Owner. 19. When the work "provided" is used, it shall mean that such item or service referred to shall be furnished and installed or that the of 6 foot-candles over the area of a room at a height of 30 inches owner shall be furnished an alternative for their approval prior to

purchase, fabrication, or construction 20. The general contractor and applicable subcontractors are

responsible for and will replace, any damaged or defective equipment or work before final acceptance by the owner. 21. Project plan check fee and initial permit fee is the responsibility of the owner. Subsequent permits, tests, and inspections are the responsibility of the general contractor.

22. The general contractor is responsible for site and structure clean-up. The general contractor assumes sole and complete responsibility for the job site conditions (should there be no general contractor for the project the owner assumes this responsibility) during the course of construction of the project including safety for all persons and property and that this requirement shall apply for and not be limited to normal working hours. The contractor shall defend, indemnify and hold the owner, building tenant and the Architect harmless from any and all liabilities real or alleged in connection with the performance of the work on the project during course of construction and after

23. All contractors and sub-contractors shall perform all work on this project in compliance with the occupational safety and health regulations of the U.S. department of Labor and the state of

California. 24. Where shop drawings are requested, there shall be submitted to the Architect 3 copies for her record and the owner's record. By approving and submitting shop drawings and samples, the general contractor thereby represents that he has determined and verified all field measurements, field construction criteria, materials, catalog numbers and similar data, and that he has checked and coordinated each shop drawing and sample with

the requirements of the work and of the contract documents. 25. Changes to contract documents: alterations or deviations to the project construction documents shall NOT be made without the written approval of the owner and the Architect.

26. Contractors and sub-contractors shall verify with owner any

modifications or additions to the following minimum insurance requirements: The liability insurance required for all contractors and

law, and shall include contractual liability insurances. • Work shall not commence under this contract until insurances have been obtained and such insurance has been approved by the owner.

subcontractors shall be written, and whatever is required by

 If contractor/subcontractor, fail to furnish such required insurance, the owner may secure insurance and retain and deduct the amount of premiums for such insurance from any amounts due under the contract.

The owner will maintain his own liability insurance. The owner will also maintain property insurance to the full insurable value thereof. However, there shall be no duty on the part of the owner to procure such insurance until five days after receipt or written notice by the contractor to the owner of the amount of insurance required. The policy shall cover all work incorporated in the building, and all materials for incorporation into the building which may be in or about the premises, and shall be made payable to the parties as their respective interest may appear. Fire insurance for the protection of the contractor's buildings, materials nor otherwise covered by insurance of the owner, tools and equipment of the contractor and all similar items not otherwise covered shall be the responsibility of the contractor.

When applicable contractor shall furnish and maintain protection, fencing and all other required barricades, guardrails, warning signs, steps, lights and all other forms of protection for life, and property as may be necessary and as required by local

ordinances and agencies. 28. Contractor shall provide dust control throughout entire

construction period consisting of intermittent watering and sprinkling as necessary lay dust during construction. 29. These drawings and copies thereof are legal instruments of service for the use of the owner and authorized agents, on the designated property only.

30. Each trade shall be responsible for knowledge of relative information contained in these documents and the conditions under which each trade will be expected to perform. 31. Deviations from these documents necessitated by field

conditions shall be brought to the attention of the owner and the Architect immediately The structural, mechanical, plumbing, and electrical drawings are supplementary to the various drawings. Should there be any

discrepancy between the various drawing, it shall be brought to

the attention of the owner and Architect for clarification. The contractor shall coordinate with the owners representative for installation of special manufacturing equipment not shown in these drawings. The contractor shall verify equipment locations with the owner's representative and/or equipment prior to forming the slab, for proper size and location of foundation depressions, drains and wraps.

The contractor shall consult the electrical, mechanical, and plumbing drawings and all other drawings for the location of all sleeves needed through wall and floor slabs. Consult with the Architect should any sleeves not noted on the plans be required. Miscellaneous signage shall be under a separate contract,

unless otherwise noted. Unless otherwise noted, stated manufacturer's items are to be "or equal". Contractor shall verify substitutions with the owner

prior to bid and/or installation

38. It shall be the sole duty and responsibility of the contractor to determine means and methods of construction and fabricate and install the work with accepted good practice and procedures and to let the Architect know at the time of bidding if the drawings and details are not practical or structurally sound in their intent and

39. Contractor shall be responsible for installation of all equipment including water heater and all mounting, seismic bracing, and support of such equipment.

All materials provided shall conform to all applicable local, city, state, federal and/or county codes, ordinances and fire regulations. Certificates, and approved fire - retardant flame spread ratings, etc. be obtained and included in the general contractor's submittals.

41. Electrical service, wiring, etc. shall comply with applicable electric codes.

Plumbing shall comply with applicable plumbing codes. 43. Provide ventilation according to applicable mechanical code. Complete air change every fifteen minutes, or as specified by the mechanical engineer.

44. The contractor shall keep the premises free from the daily accumulation of waste materials or rubbish caused by their operations. At the completion of the work, he shall clean all glass, walls, and door surfaces, and vacuum all floor surfaces. 45. Contractor shall provide trash dumpster as required for all participating trades to use, in cluding those trades with a direct

contract with the owner. 46. the contractor shall be responsible for providing temporary utilities (power, lighting, water and restroom facilities) to the job

site for use by all construction trades. 47. The contractor shall note that there shall be no substitutions for any material where specific manufacturers are specified. Where approved equal or equivalent is used, it shall be understood that the substitute shall be by the judgement and approval of the Architect and the owner, and all request shall be made prior to installation. Contractor shall submit 3 sets of manufacturer's cut sheets or samples and/or (1) reproducible original of drawings for all requested substitution of materials, hardware, millwork, glass partitions, ceiling systems, plumbing fixtures, etc., to the

Architect for approval. General contractor or his subcontractors shall be responsible for verification and approvals of substitute materials as requested by governing agencies.

brochures of all equipment and furnishings as well as all finish material samples as required, shall be submitted to the Architect without specific request prior to purchase and installation. 50. Contractor to provide schedule for performance and date of

completion of all work. 51. If the contractor claims that instructions from the architect and/or owner involve extra cost under this contract, he shall five written notice there of within 5 days after the receipt of such instructions, and in any event before proceeding to execute the work. No such claim shall be valid unless so made.

Owner reserves the right to provide and install furnishing, fixtures and equipment which shall require coordination by the contractor for support items such as mechanical and electrical provisions for owner's equipment. Contractor shall coordinate the following, but not limited to:

Coordinate schedule and work of the various equipment to assure efficient and orderly sequence of installation of interdependent construction elements

of equipment are compatible with building utilities. Coordinate work of the various equipment for installing, connection to and placing in service

such equipment. 53. Contractor is responsible for review of shop drawings, product data, and samples prior to submission, and determination and verification of accuracy of:

a. Field measurements Field construction criteria

Catalog number and similar data conformance with specifications and local authorities having jurisdiction over this project.

54. Notify the Architect in writing, at time of submission, of any deviation from specification's requirements, and identify such deviation clearly on the submittal. 55. Begin no fabrication or work which requires submittals until return of submittal with Architect's approval. If submittal is not approved by the Architect, make all corrections and changes and

are approved by the architect 56. Except when specifically indicated or specified, materials and equipment removed from existing structure shall nor be used in the contract work.

resubmit all drawings and samples until drawings and materials

57. for materials and equipment specifically indicated to be reused in a. Use special care in removal, handing, storage, and reinstallation, to assure proper function in the complete work

Arrange for transportation and handling of materials and equipment which require off-site restoration or renovation. Pay all cost for such work or give an allowance for providing such work.

contractor to collect, store, protect, clean and reinstall all finished materials existing on the job site and designated for reuse including but not limited to existing light fixtures. 58. When the specification requires that installation of work shall comply with manufacturer's printed instruction, obtain copies of

such instructions from the manufacturer of the product. Maintain one complete set of contract documents at the hob site during installation and until completion and acceptance. 59. Handle, install, connect, clean, condition and adjust products in strict accordance with such instructions and in conformity with

specified requirements. 60. Should project conditions or specified requirements conflict with manufacturer's instructions consult with Architect for further instruction. Do not proceed with work without such consultation

61. Do not omit any preparatory step or installation procedure, unless specifically modified or exempted by contract documents. 62. Arrange delivery of products in accordance with construction schedule: coordinate delivery time to avoid conflict with other works and conditions at job site. Deliver products in manufacturer's original sealed containers or packaging, with identifying labels intact and legible. Provide necessary protection and handling methods to prevent soiling and damage

leading to an agreed upon course of action.

upon delivery to assure compliance with requirements of contract documents and accepted submittals. 63. Mechanical and electrical equipment, which requires servicing during long term storage shall have complete manufacturer's instructions, accompanying each item with notice of enclosed instructions shown on exterior of package.

to materials or products during transportation. Inspect shipment

64. Provide protection of installed products to prevent damage from a. Provide coverings to protect finished surfaces from damage. Cover projections, wall corners, jambs, sill and

soft hits of openings. In area used for traffic and for passage of products in subsequent work. Control traffic to prevent damage to equipment 65. Substitute products shall not be ordered or installed without

written acceptance of the Architect. 66. Use only cleaning materials recommend by the manufacturer of the product to be cleaned. Use clearing materials only on surfaces recommended try cleaning materials manufacturer.

67. Instructions of owner's personnel: Prior to final inspection for acceptance, fully instruct owner's designated personnel on operation. adjustment and maintenance of equipment and systems.

Operation and maintenance manual shall constitute the basis of instruction. Review contents of manual with personnel in full detail and explain all aspects of operation and maintenance.

68. Furnish to owner a written guarantee against all defects in material and workmanship for one year from the date of acceptance or as specified otherwise by the owner. 69. At completion, adjust all accessories for smooth operation, and

clean and polish all surfaces. 70. RE Any changes requested during the course of the project, GC to promptly provide a breakdown of all previously specified work in that area, including the previous subcontractors respective costs, and the GC costs, overhead, and profit, as well as a

similar breakdown of the proposed for, all submitted for the architect's and Owner's review. 71. Contractor shall obtain all permits necessary to perform full

scope of work. Obtain all necessary inspections and certificate 72. contractor to obtain a permit from the state division of industrial

safety for trenches or excavations 5'-0" or deeper. 3. Building occupant to secure permits required by the Fire Department from the Fire Prevention Bureau prior to occupying

4. Building address numbers shall be easily seen from the street. The general contractor fully understands the scope of work and require separate permit. acknowledges that the construction documents include all necessary drawings, schedules and specifications to perform the

76. Should the owner decide to build their project without a general contractor the Architect will not be held responsible for any

portion of the project In the event the Owner, the Owner's contractors or subcontractors, or anyone for whom the owner is legallyliable permits commencement of construction prior to obtaining a PERMIT from the respectful city. the owner shall assume full responsibility for the results of such construction. Therefore, the Owner agrees to waive any claim against the Architect and to release Karen Wilkins, from any liability arising directly or indirectly from such construction. In addition, the Owner agrees, to the fullest extent permitted by law, to indemnify and hold harmless Architect from any damages, liabilities or costs, including reasonable attorneys' fees and cost of defense, arising

8. In addition, the Owner agrees to include in any contracts for construction appropriate language that prohibits the Contractor or any subcontractors of any tier from making any changes or modifications to the Architect's construction documents without the prior written approval of Karen Wilkins and that further equires the contractor to indemnify both Architect and le Owner from any liability or cost arising from such changes made without

79. If the project is not built per Architect's plans and specifications in any means, the Owner agrees to waive any claim against the Architect and to release the Architect from any liability for the

reference project 80. It is understood that Architect will not provide design and construction services related to safely measures of any contractor or subcontractor on the project Further, it is understood that Architect will not provide any supervisory services relating to the construction for the project. Any opinions from Architect relating to any such review or supervisory services shall be considered only as general information and shall not be the basis of any claim against Architect

81. The Owner shall contract an independent inspection and testing agency to review the materials, methods, and means of construction in relation to waterproofing and sound compliance. Architect will provide input into the selection of these consultants but they will be retained by and report to the Owner. 82. the Owner shall use its best efforts to properly construct project

in full compliance with the plans and specifications prepared by Architect and must repair any substandard, faulty or failing work. 83. Always use resilient channels for ceiling between floors and all interior walls. 84 For Condominium Projects

a. The Owner shall include provisions in the purchase agreement with all buyers of any condominium unit and in the CCR's that Owner shall have the right to effectuate reasonable repairs upon receiving notice of a complaint from any homeowner prior to the filling of any action against anyone involved in the construction. Futher proprietary individual or the Homeowner's Association (HOA) filing any action against the owner or any party involved with the construction, the CC & R's will mandate that the Owner shall have the right, in its sole discretion. to either repair the alleged problem or by the unit(s) back

at the reasonable market rate for those units at the time

the complaint is made. Prior to the issuance of the permit by the building department for the project the Owner shall establish an escrow account in the amount of \$50,000 to be used solely by Architect to offset the expense in defending any lawsuit that any homeowner or Home Owner's Association might file surrounding and actual or alleged construction defect. In the event any construction defect action is filed, Architect shall have full use of the funds in the escrow to draw upon as Architect sees fit to assist in Architect's defense. In the event no construction defect litigation is filed, then the money will revert to the Owner at the expiration of twelve (12) years from substantial

completion of the project

85. The contractor shall review the drawings specifications, and site and verify all the dimensions and site conditions prior to beginning the work. The contractor shall report any inconsistencies to the Architect immediately for resolution before beginning construction or fabrication or ordering any materials. 86. The contractor shall report any discrepancies between drawings and site conditions to the architect before proceeding the work.

The contractor shall verify and coordinate all foundation plan dimension and floor plans and shall be responsible for proper execution of all work.

87. The structural, mechanical, electrical, plumbing, and any and all other drawings are supplementary to the architectural drawings. It shall be the responsibility of the contractor to check with the architectural drawings before installation of structural, mechanical, electrical, plumbing, and any and all other work. Any discrepancies between the architect's and the consulting engineer's or designer's drawings and specifications shall be brought to the architect's attention for clarification prior to installation of said work and prior to finalizing the bid for

88. Provide galvanic separation between all dissimilar metals. Along with the Agreement between the Owner and Architect, THE AMERICAN INSTITUTE OF ARCHITECTS DOCUMENT A201 "GENERAL CONDITIONS OF THE CONTRACT OF CONSTRUCTION" SHALL GOVERN THE WORK IN THIS CONTRACT AS IF WHOLLY INCLUDED IN THESE GENRAL NOTES. NOTES:

THE PROVIDED SET OF ARCHITECTURAL DRAWINGS ISA BUILDER'S SET. FOR THE PURPOSE OF THESE DOCUMENTS AND ALL OTHER DOCUMENTS FURNISHED BY THE ARCHITECTS INC. THE TERM "BUILDER'S SET" SHALL BE DEFINED AS

THE FOLLOW ING:

A SET OF ARCHITECTURAL DRAWINGS CONSISTING OF THE MINIMUM NECESSARY PLANS, SECTIONS, ELEVATIONS, DIMENSIONS, SPECIFICATIONS, DETAILS, CALCULATIONS AND NOTES TO ACQUIRE A BUILDING

SPECIFICATIONS Site work Demolition, where indicated on the drawings shall be performed in accordance with requirements shown there on.

2. Remove all organic matter and delete rious materials from the site. Burning is strictly prohibited.

Unless shown or specified grater, all finished grades should provide a minimum slope of 2% slope away from all structural footings a minimum of five (5) feet.

4. In the event of any loose fill, expansive soil, ground water or other dangerous conditions are encountered during excavations, all foundation work shall cease, and the owner notified. 5. Fences over five (5) feet in height and retaining walls over four (4) feet in height measured from the bottom of the footing shall

Asphaltic Concrete Paving (AC Paving): Unless otherwise specified in the soil's inspection report scarify and recompact the upper six inches of sub-soil a minimum of 90% density prior to placing the base. d. Sterilize the soil with aborate chloride compound for

c. Place 6 inches class ii aggregate base 4 inches thick after compaction having not less than 90% Asphalt concrete type a is to be placed not less than 2 inches thick after compaction in accordance with all provisions od the "standard specifications" from the State of California, Department of Public Works, Division

or fhighways latest revision.

Portland Cement Concrete Paving a. Provide materials for curbs, gutters, and sidewalks in accordance with the requirements for class a concrete (Section 8 & 32) of the county of LA Standard and Specifications. b. Provide Portland cement concrete paving where shown on drawings, as specified herein, as needed for a complete and proper installation

conditions including adequate bracing to the lines and grades found on the drawing. c2. Earth forms will not be permitted for paving d. Subbase aggregate: Maximum Size 1/4" Compacted to 90%

c1. Provide wood and metal form work profiled to suit

e. Provide reinforcement which complies with the following as e1. Reinforcing bars: u.o.n on the drawings, use deformed bars

for number 3 and larger e2. Welded wire fabric: No 16 welded wire mesh, plain type in coiled rolls, unfinished

f. For concrete see structural notes g. Finishing, texture finish

g1. float to produce a surface level to within 1/4" inch in 2 feet g2. With bristle broom procedure a textured finish, light, medium or coarse as directed by the owner. h.Beginning immediately after placement, protect concrete from

premature drying, excessively hot or cool temperatures and mechanical injury. Surfaces to have waterproofing shall have pits, holes, and cracks filled solid and shall be dry and smooth for application. i. Cobblestone Stamped Pattern

i1. To receive a stamped pattern, concrete should receive a small size aggregate such as a pea gravel, $\frac{3}{8}$ inch top size finishing. Follow the normal procedures, however, do not trowel the surface more than once. After the surface is trawled, or floated to the design texture, platform stamping platforms are used. One pad is placed next to the other so that the pattern is accurately aligned, at least two pads are required. the finisher simply steps from one pad to the next stamping the design to a depth of about one inch. THERMAL AND MOISTURE PROTECTION

1. waterproofing per IBC 230 4.11.5: a. Waterproofing at foundation, retaining, walls, decks, under floor slabs and shall conform with the minimum requirements unless otherwise noted or unless dire condition deem it necessary for a heavier waterproofing application. Notify owner if later

b. Surface to receive waterproofing shall receive pits, holes, and cracks filled solid and shall be dry and smooth for application. c. Manufacturer: use "pacific polymer" for install. See manufacturer's recommendations

Insulation

 Sound and thermal insulation shall be installed as indicated on the drawings as follows: 1. Sound insulation: u.s.g. sound attenuation blankets (or equal) shall be provided around bathrooms, bedrooms, and kitchen, as shown on the drawings. 2. Provide minimum 1/4" inch thick resilient material to insulate all plumbing from structure 3. Provide resilient channels on ceilings between the first and second floor

thermal Insulation 1. Install all exterior walls and roof thermal insulations should be installed as shown on drawings (r-19 and R-30) 2. In addition to the R-30 insulation in the roof, provide rigid insulation, as shown on drawings.

Installation of Insulation 1. Exercise extreme care with integral vapor barrier to maintain it continuously. 2. Dully insulate all small areas in between close spaces framing members. 3. Perform all end matching neatly with all ends fulling snugly or overlapped

4. Cut and finish insulation around pipes, conduits, and outlet boxed as necessary to maintain the integrity of the insulation. 5. Where pipes are located in stud spaces to receive insulation, place insulation between exterior wall and the pipe, com pressing insulation be if necessarv. 6. Securely fasten langes of insulation to sides of stud and joists with insulation fitting snuggly and tightly against the

framing members, using staples or nails. a. Vulkem polyrethane sealants by mameco International, shall be installed by manufacturer's instructions as follows: 1. Vulkem #45 for horizontal joints in concrete slabs and

2. Vulkem #116 in vertical joints at doors/windows/jams/frames etc for general purposes 3. Joint filler and backing of closed sell neoprene or compressible pre-molded polyethylene foam, strips or rope, shall be installed as required

b. Caulking (mastic) equal to horsealwr and co shall be installed pre manufacturer's instructions under exterior metal thresholds. window seals, and jams.

All sealants need to be installed between materials Roofing

a. Roof slope to be 1" per foot minimum IBC 1502 b. All roofing materials class "A", "B" or "C" shall be shown on the drawings, applied in strict conformance with IBC 1505 and manufacturer's recommendations and in accordance with the following minimum requirements(see NRCA manual) c. Application shall confirm to IBC 1507 d. Roof and valley lashing and juncture of roof and vertical surface, flashing, and counter flashing shall be installed per IBC 150 3.2, 1507.3.9, 1507.5.6.

Flashing and Sheetmetal a. Fabricate and install flashing and sheet metal in accordance with latest SMACNA standards where applicable b. Pitch pockers, counterflashing, cap and coping flashing, splash pans, gravel stops, facialashing, etc. minimum: 2-gallon galvanized steel or as noted on the drawings. c. Drip flashing: Use 22-gallon galvanized steel or as noted on the drawings

d. Butyl Sealer: Where it is impractical to use a solder at joints corners, etc. seal with "dap butyl gutter and tap sealer", "cushion -lock d-50-butyl sealer", "haco600" or approved equal in accordance with manufacturer's instructions. e. Galvanized sheet metal: gallon iron or steel sheet, conforming to ASTM A525-67 or A446-67, as required with minimum zinc coating of 1.25 oz/sq. ft. and 0.2% copper

f. Dissimilar Metals: where dissimilar metals come in contact, paint the connection with an approved protective coating. g. Flash and counter -flash all roof to wall conditions and around all vents and chimney protections through roof h. Insulate all metal flashing with wood with #15 felt i. All exposed flashing and metal to be painted color per owner

a. Skylights. Glass or plastic skylights to comply with IBC 2415/2610

1. Sizes and shapes indicated on the drawings 2. 1/4" nominal thickness acrylic clear tinted 3. Skylights shall be mounted on built -in curb 8minimum 4" where slope is less than 3:1) as detailed and is anodized aluminum frame in color to match the window frames. 4. All skylights must have an ICC approval and copy of the same must be on the job site for building inspector approval. b. Roof Windows:

 Size and shapes per drawings 2. Aluminum dad fixed window per "Velux" ner 216 (or equal), with dual glazing and roller shades sun screening c. Anchor roof accessories securely in place as indicated and in accordance with manufacturer's recommendations in a manner which will permit roofing and flashing work to achieve a water tight and weather proof installation.

Size the roof drains and overflow per chapter 11 of LAPC 1503.4 Overflow scuppers to be designed per Table 11 - 1 of LAP C.

Provide doors in place complete with finish hardware installed the types, designs, and dimensions shown on the door schedule, as shown on the drawings, and specified herein as needed for a complete and proper installation.

Submit shop drawings for approval of all raised panel doors. Hardware

Submit hardware schedule to owner to review Finishes shall be selected by owner during submittal process, for pricing purpose use "Baldwin". A master keyed system to be specified on submittal

Window Pricing "Fleetwood" for aluminum windows, equal or better "Marvin Integrity" series for clad windows, equal or better

"Certain teed" for vinyl windows, equal or better For pricing Purposes see Spec Book "Timely" = for frames or use equal or better "Ramco" = for hinges or use equal or better "Schlage" = for levers or use equal or better

"Norton" = for closers or use equal or better "Pemko" = for thresholds or use equal or better "Cal Royal" = for doorstops or use equal or better "Von Duprin"= for exit device or use equal or better

Lath and Plaste confirm to latest addition of IBC 718, 2512, Table 2507.2, Table 2511.1.1 and "California Lathing and Plastering Association Reference Specifications"

Portland cement plaster, mixed in proportion per references, for machine application with integrally colored stucco finish as selected by owner Vertical surfaces self-tuning galvanized metal lath

exterior cement plaster (stucco)

laminated back draft diamond mesh "B (U.S.G. or equal) Horizontal surfaced paper backed 3/8" furred galvanized metal rib lath Masonry or concrete surfaces shall be cleaned with 10% muriatic acid to water solution, rinsed with Clearwater, and receive plaster bonding agent equal to "weld-crete".

machine applied codes with finished stucco code as selected by owner. Bullnose: Weld-wire reinforcement with $\frac{7}{8}$ rad. "nose" and 2-1/2" byk wik wound or equal. Install with nails, wire, or wire ties to the outside of the lath sufficiently to maintain plumb (fed spec qq-w-461h)

Apply base code of plaster oven bonding agent, to

Accessories Casing beads equal to milcor or U.S.G. No 66 to be at all locations where plaster stops against masonry, concrete. wood, or metal surfaces and as otherwise shown or drawings. Expansion joints equal to milcor U.S.G. No 40 or

"fryreglet" as indicated. Removal grounds or screeds as required to maintain exact plaster thickness and place surfaces 3. Finishing: Provide smooth steel trowel (knock-down) finish after

the approved owner sample Precast Concrete Provide p.c.c. moldings, copings, sill, columns, etc, as shown on drawings. products manufactured by C.D.I. or equal. For installation use manufacturer's specifications or minimum 20

gallon brick ties. Field cutting (rising diamond blades) may required to fit. Gvpsum Wallboard 1. Conform to latest edition of IBC 2508, 2508,1 and "American

Standard Specifications for the Application and Finishing of Gypsum Wallboard" regular 1/2" to 5/8" thick equal to U.S.G. tapered edge sheet rock where type "X" or w/o wallboard is not required. Panels where Type "X" is required

a. Regular and Type "X" single layer wallboard shall be installed horizontally staggering end joints. Nail with 5d cooler nails (1/2" wallboard), 6d cooler nails (5/8" wallboard), at 6" o.c. for ceiling and 7" o.c. for walls 4. Water-resistant (w/r) 1/2" or 5/8" thick equal to U.S.G.

tapereded gesheetrock (regular panels) or fore code "C" (type "X" panels) as required. Accessories: a. metal trim equal to U.S.G. No 402 where wallboard

abuts with other material or terminates b. Corner beads equal to "pla-cor" traditional bullnose No 85 standard No 108 5 arch. at all external corners (or equal). For installation use manufacture specifications. Joint tape, bedding, finishing cement, adhesives and laminating compound to be as recommended by

sheetrock manufacture and in compliance with UL inc. for fire-resistive rating d. Access planel were indicated or required to be equal to milcor "style dw". 22"X30" u.o.n.

e. interior walls Gyplap sheathing shall be equal to 1/2" thick U.S.G. gypsum sheathing (trademark gyplap) encased with water-repellant paper on both faces and long sides. Finish coat: apply smooth finish coat capable of producing a

h.a. Use resilient channels for ceiling between floors and a

fine finish as approved from samples furnished to the owner. CERAMIC AND STONE TILES All ceramic and stone tiles shall be 1/4" to 1/2" thick selected by the owner. Installation shall conform to the latest edition of the "handbook for Ceramic Tile Installation " by the tile Council of America for the following conditions.

Exterior wall stone tile veneer (maximum 1/2" thick) shall be installed in accordance with W243 over a wood stud wall. Exterior deck stiles and stone shall be installed over plywood subfloor group I. ext. grade C.C. type or better conforming to A.P.A. classification and US Product Standard 1-83. over waterproofing with cement mortar in accordance with method

Bathtub wall tile shall be installed over an approved "water-resistant" gypsum wall board with organic adhesives in accordance with method B 413-87 or on cement motor in accordance with method B 411.87. Shower receptors/walls shall be installed with organic adhesives

over w/rgyp. Board in accordance with method B 416 or in cement mortar in accordance with method B 414 Tile tub shall be installed in accordance with method B 417 7. The countertops shall be installed in accordance with method C

3. Interior tile floors shall be installed per method F141. PAINTING

All surfaces to be clean, smooth and dry as required my manufacture instructions for finish being applied.

2. Back paint all exterior and interior finish lumber and millwork, including door and window frames, trim, cabinet work, etc. on all surfaces to be concealed after installation. Prime of stain and seal all exterior and interior wood scheduled

for opaque finish. Apply to all edges, ends, face underside and backside of items to be exposed. Surfaces of miscellaneous iron and steel not embedded in concrete and all surfaces of unprimed plain sheet metal work (not galvanized) shall be primed with zinc chocolate primer.

Galvanized (zinc) metalwork shall be primed with zinc dust, zinc

Aluminum and aluminum ally surfaces shall be primed with zinc chromate primer.

the building shall be entirely wrapped in plywood. 2. the Plywood should align with exterior face of shear walls. Senate Bill 407 (2009) / California Civil Code Sections 1101.1 through

2013 California Green Building Standards Code (CALGreen) Section When Work Triggers SB 407 When the work will trigger plumbing fixture upgrades, the following clarification and interpretation is made for each type of building

Single-family residential: All non-compliant plumbing fixtures will be required to be upgraded with water-conserving plumbing fixtures throughout the single-family residential building. [Civil Code

Section 1101.4(a)] Clarification of "Non-Compliant Plumbing Fixture" Please note that according to the definition of "non-compliant plumbing fixture" in Civil Code Section 1101.3(c), the existing plumbing fixture water usage/flow rate must exceed the amount shown to be considered non-compliant. If the existing plumbing fixture water usage/flow rate is equal to or lower than the amount shown, it is not required to

be upgraded Civil Code Division 2. Property Part 4. Acquisition of Property Title 4. Transfer

Chapter 2. Transfer of Real Property 1101.1. Except as provided in Section 1101.7, this article shall apply to residential and commercial real property built and available for use on or before January 1, 1994. 1101.2. For the purposes of this article:

(a) "Commercial real property" means any real property that is improved with, or consisting of, a building that is intended for commercial use, including hotels and motels, that is not a single-family residential real property or a multifamily residential real (b) "Multifamily residential real property" means any real property that is improved with, or consisting of, a building containing more than

one unit that is intended for human habitation, or any mixed

for human habitation. Multifamily residential real property includes residential hotels but does not include hotels and motels that are not residential hotels "Noncompliant plumbing fixture" means any of the following:

residential-commercial buildings or portions thereof that are intended

(1) Any toilet manufactured to use more than 1.6 gallons of water

(2) Any urinal manufactured to use more than one gallon of water per flush. (3) Any showerhead manufactured to have a flow capacity of more than 2.5 gallons of water per minute

per minute. (d) "Single-family residential real property" means any real property that is improved with, or consisting of, a building containing not more than one unit that is intended for human habitation. (e) "Water-conserving plumbing fixture" means any fixture that is in compliance with current building standards applicable to a newly

(4) Any interior faucet that emits more than 2.2 gallons of water

constructed real property of the same type. (f) "Sale or transfer" means the sale or transfer of an entire real property estate or the fee interest in that real property estate and does not include the sale or transfer of a partial interest, including a leasehold

HSC 116875 (a) No person shall use any pipe, pipe or plumbing fitting or fixture, solder, or flux that is not lead free in the installation or repair of any public water system or any plumbing in a facility providing water for human consumption, except when necessary for the repair of leaded ioints of cast iron pipes.

(b)(1) No person shall introduce into commerce any pipe, pipe or plumbing fitting, or fixture intended to convey or dispense water for human consumption through drinking or cooking that is not lead free, as defined in subdivision (e). This includes kitchen faucets, bathroom faucets, and any other end-use devices intended to convey or dispense water for human consumption through drinking or cooking, but excludes service saddles, backflow preventers for nonpotable services such as irrigation and industrial, and water distribution main gate valves that are two inches in diameter and above.

(2) Pipes, pipe or plumbing fittings, or fixtures that are used in manufacturing, industrial processing, for irrigation purposes, and any other uses where the water is not intended for human consumption through drinking or cooking are not subject to the requirements of paragraph (1).

(3) For all purposes other than manufacturing, industrial processing, or to convey or dispense water for human consumption, "lead free" is defined in subdivision (f). (c) No person engaged in the business of selling plumbing supplies, except manufacturers, shall sell solder or flux that is not lead free. (d) No person shall introduce into commerce any solder or flux that is not lead free unless the solder or flux bears a prominent label stating that it is illegal to use the solder or flux in the installation or repair of any plumbing providing water for human consumption.

(e) For the purposes of this section, "lead free" means not more than 0.2 percent lead when used with respect to solder and flux and not more than a weighted average of 0.25 percent when used with respect to the wetted surfaces of pipes and pipe fittings, plumbing fittings, and fixtures. The weighted average lead content of a pipe and pipe fitting, plumbing fitting, and fixture shall be calculated by using the following formula: The percentage of lead content within each component that comes into contact with water shall be multiplied 5 by the percent of the total wetted surface of the entire pipe and pipe fitting, plumbing fitting, or fixture represented in each component

shall constitute the weighted average lead content of the pipe and pipe fitting, plumbing fitting, or fixture. (f) For the purposes of paragraph (3) of subdivision (b), "lead free." onsistent with the requirements of federal law, means not more than 0.2 percent lead when used with respect to solder and flux and not more than 8 percent when used with respect to pipes and pipe fittings. With respect to plumbing fittings and fixtures, "lead free" means not more than 4 percent by dry weight after August 6, 2002,

unless the department has adopted a standard, based on health

containing lead. These percentages shall be added and the sum

effects, for the leaching of lead. (g)(1) All pipe, pipe or plumbing fittings or fixtures, solder, or flux shall be certified by an independent American National Standards Institute (ANSI) accredited third party, including, but not limited to, NSF International, as being in compliance with this section. (2)(A) The certification described in paragraph (1) shall, at a minimum, include testing of materials in accordance with the protocols used by the Department of Toxic Substances Control in

implementing Article 10.1.2 (commencing with Section 25214.4.3) of

Chapter 6.5 of Division 20.

set forth in subdivision (e)

(B) The certification required pursuant to this subdivision shall not interfere with either the department's exercise of its independent authority to protect public health pursuant to this section, or the Department of Toxic Substances Control's exercise of its independent authority to implement Article 10.1.2 (commencing with Section 25214.4.3) of Chapter 6.5 of Division 20. (3) It is the intent of the Legislature that this subdivision only provide

guidance and assistance to the entities that use an independent ANSI accredited third party to demonstrate compliance with this section. Any tests developed by an independent ANSI accredited third party in accordance with this subdivision shall have no weight of authority under California statute. (4) Notwithstanding paragraph (1), the department shall retain its independent authority in administering this article. (h) This section shall become operative on January 1, 2010. The

requirement described in subdivision (a) shall not be construed in any manner as to justify a delay in compliance with the lead-free standard

0 0 0

Wilkins Studio

San Francisco CA

(415)273-9054

ED ARC

Wilkins Studio Architects

785 Quintana Rd # 180

Morro Bay, CA 93442

(415) 273-9054

Owner:

Contract: Karen Wilkins, AIA

ο.	Description	Date
	Submittal	11/17/20
$\overline{\ \ }$		

General Notes

Sheet size: Arch D

Project Location:

roject Manager

Waste Material Type

Recycled

Step 1 - Insert weight totals into Columns A, B, and D where appropriate.

Step 3 - Add each column down and enter totals in the boxes provided.

For additional instructions and information, please see reverse.

Step 2 - Add Column A to Column B and insert total into Column C for total diverted weight.

If multiple worksheets are used, transfer column totals from each worksheet to the summary sheet.

Reused

/aste Hauler

Brick (broken

Carpet/Carpet Pad

lood (solid sawn)

oject Manager:

sphalt Shingles

arpet/Carpet Pad

lood (engineered)

Vood (solid sawn)

Office Waste

vpsum Board (Drywall)

ardboard

allets

Waste Material Type

laste Hauler:

Office Waste

Cardboard

Pallets

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

No. Description Date Submittal

General Notes

ASPHALT SHINGLES WITH SLOPED ROOFS 2/12 TO 4/12 SHALL HAVE PROVIDE EACH BEDROOM, BASEMENT, AND HABITABLE ATTICS WITH TWO LAYERS OF UNDERLAYMENT APPLIED PER CRC R905.2.2. A MINIMUM OF ONE EXTERIOR WINDOW WITH A 44" MAXIMUM CLEAR OPENING HEIGHT, 5.7 SQ, FT, MINIMUM CLEAR OPENABLE AREA

GARAGE AND CARPORT

GARAGE SHALL BE SEPARATED FROM THE DWELLING UNIT & ATTIC AREA BY ½ INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE. GARAGE BENEATH HABITABLE ROOMS SHALL BE SEPARATED BY NOT LESS THAN 5/8" TYPE X GYPSUM BOARD, STRUCTURE SUPPORTING FLOOR/CEILING ASSEMBLIES USED FOR REQUIRED SEPARATIONS SHALL HAVE 1/3" GYPSUM BOARD INSTALLED MINIMUM. DOOR OPENINGS FROM THE GARAGE TO THE DWELLING SHALL BE SOLID WOOD/STEEL DOORS OR HONEYCOMB STEEL DOORS NOT LESS THAN 1 3/8" THICK OR A 20 MINUTE RATED FIRE DOOR. DOORS SHALL BE SELF-CLOSING & SELF-LATCHING. NO OPENINGS DIRECTLY INTO A SLEEPING ROOM FROM THE GARAGE. WHEN THE DWELLING AND GARAGE HAS FIRE SPRINKLERS INSTALLED PER R309.6 AND R313, DOORS INTO THE DWELLING UNIT FROM THE GARAGE ONLY NEED TO BE SELF-CLOSING AND SELF-LATCHING. (CRC R302.5.1 & T-R302.6) (CARPORTS OPEN ON TWO OR MORE SIDES AND NO ENCLOSED AREAS ABOVE DO NOT REQUIRE A SEPARATION)

- DUCTS PENETRATING THE GARAGE TO DWELLING SEPARATION SHALL BE A MINIMUM OF 26 GAUGE WITH NO OPENINGS INTO THE GARAGE. (CRC R302.5.2) PENETRATIONS THROUGH THE GARAGE TO DWELLING SEPARATION
- WALL (OTHER THAN DUCTS AS LISTED ABOVE) SHALL BE FIRE-BLOCKED PER CRC SECTION R302.11. ITEM #4. GARAGE AND CARPORT FLOOR SURFACES SHALL BE NON-COMBUSTIBLE MATERIAL AND SLOPE TO DRAIN TOWARDS THE GARAGE DOOR OPENING, (CRC R309.1)
- APPLIANCES AND RECEPTACLES INSTALLED IN GARAGE GENERATING A GLOW, SPARK OR FLAME SHALL BE LOCATED 18" ABOVE FLOOR UNLESS IT IS LISTED AS FLAMMABLE VAPOR IGNITION RESISTANT. PROVIDE PROTECTIVE POST OR OTHER IMPACT BARRIER FROM VEHICLES (CMC 308.0).

STAIRWAYS & RAMPS EXTERIOR STAIR STRINGERS MUST BE NATURALLY RESISTANT TO

DECAY OR PRESSURE TREATED. (CRC R317.1) SLIDING/SWINGING GLASS DOORS RISE SHALL BE MAXIMUM 7.75"; RUN SHALL BÉ 10" MINIMUM: GLAZING IN WALLS AND ENCLOSURES FACING HOT TUBS. SPAS. HEADROOM 6'-8" MINIMUM: WIDTH 36" MINIMUM, 31.5" BETWEEN A HANDRAIL ON ONE SIDE AND 27" WITH HANDRAILS ON TWO SIDES. VARIATION BETWEEN RISER HEIGHTS 3/8" MAXIMUM, A NOSING NOT LESS THAN .75 INCHES BUT NOT MORE THAN 1.25 INCHES SHALL BI PROVIDED ON STAIRWAYS WITH SOLID RISERS WHERE THE TREAD SHALL PROJECT NOT MORE THAN 1.25 INCHES BEYOND THE TREAD BELOW. OPEN RISERS ARE PERMITTED, PROVIDED THE OPENING

BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4" SPHERE. (OPENINGS ARE NOT LIMITED WHEN THE STAIR HAS A RISE OF 30" OR LESS), (CRC R311.7) STAIRWAYS WITH 4 OR MORE RISERS SHALL HAVE A HANDRAIL OF ONE SIDE 34" TO 38" ABOVE THE TREAD NOSING. CIRCULAR HANDRAILS SHALL HAVE AN OUTSIDE DIAMETER OF 1.25"-2": IF NOT CIRCULAR, IT SHALL HAVE A PERIMETER DIMENSION OF 4"-6.25" WITH A MAXIMUM CROSS SECTIONAL DIMENSION OF 2.25". SEE R311.7.8.3 ITEM# 2 FOR TYPE II HANDRAILS WITH A PARAMETER OVER 6.25". A

MINIMUM CLEARANCE OF 1.5" SHALL BE MAINTAINED FROM THE WALI OR OTHER SURFACE, HANDRAILS SHALL BE RETURNED. TERMINATE IN NEWEL POSTS, OR SAFETY TERMINALS. (CRC R311.7.8.2) GUARDS SHALL BE 42" MINIMUM HEIGHT (UNLESS ACTING AS A HANDRAIL/GUARD FOR A STAIRWAY, THE GUARD HEIGHT MAY BE 34"-38" IN HEIGHT), WITH OPENINGS LESS THAN 4" INCHES CLEAF (GUARDS ON THE OPEN SIDES OF STAIRS MAY HAVE 4 3/8"

OPENINGS), (CRC R312) PROVIDE LANDINGS AT THE TOP/BOTTOM OF THE STAIRWAY THE WIDTH OF THE STAIRWAY. THE DEPTH OF THE LANDING SHALL BE 36" MINIMUM. (SEE CRC R311.7.6 FOR EXCEPTIONS). USABLE SPACES UNDERNEATH ENCLOSED/UNENCLOSED

RAMPS SERVING THE EGRESS DOOR SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 12 UNITS HORIZONTAL (8.3-PERCENT SLOPE). ALL OTHER RAMPS SHALL HAVE A MAXIMUM SLOPE OF 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12 5-PERCENT SLOPE) EXCEPTION: WHERE IT IS TECHNICALLY INFEASIBLE TO COMPLY BECAUSE OF SITE CONSTRAINTS, RAMPS SHALL HAVE A SLOPE OF NOT MORE THAN 1 UNIT VERTICAL IN 8 UNITS HORIZONTAL (12.5-PERCENT SLOPE) (CRC R311.8.1). PROVIDE 3'X3' LANDINGS AT THE TOP AND BOTTOM OF RAMPS. WHERE DOORS OPEN ONTO RAMPS, AND WHERE RAMPS CHANGE DIRECTIONS. (CRC R311.8)

STAIRWAYS SHALL BE PROTECTED BY A MINIMUM OF 1/2" GYPSUM

JARDS ARE REQUIRED IF DECK OR FLOOR IS OVER 30" ABOVE

GRADE, MINIMUM 42" HIGH, WITH OPENINGS LESS THAN 4" (CRC R312) GUARDRAILS SHALL BE DESIGNED AND DETAILED FOR LATERAL FORCES ACCORDING TO CRC TABLE 301.5. PROVIDE DECK LATERAL LOAD CONNECTIONS AT EACH END OF THE DECK AND AT DECK INTERSECTIONS PER CRC R507.2.4. CONNECTORS SHALL HAVE A MINIMUM ALLOWABLE STRESS DESIGN CAPACITY OF 1,500LBS AND INSTALL WITH 24" OF THE END OF THE DECK. 750LB RATED DEVICES ARE ALLOWED (DTT1Z AS EXAMPLE) IF LOCATED EVENLY AT 4 POINTS ALONG THE DECK. POSTS/COLUMNS SHALL BE RETRAINED AT THE BOTTOM END TO PREVENT LATERAL DISPLACEMENT: CLEARLY SHOW APPROVED POST BASES, STRAPS, ETC TO ACHIEVE THIS PER CRC R407.3

HARDWARE AND FASTENERS TO BE HOT-DIPPED GALVANIZED.

STAINLESS STEEL, SILICON BRONZED OR COPPER. (CRC R317.3)

NO ELECTRICAL PANELS SHALL BE IN CLOSETS OF BATHROOMS. MAINTAIN A CLEARANCE OF 36" INCHES IN FRONT OF PANELS. 30" WIDE OR WIDTH OF EQUIPMENT AND 6'-6" HIGH FOR HEADROOM (CEC

A CONCRETE-ENCASED ELECTRODE (UFER) CONSISTING OF 20' OF REBAR OR #4 COPPER WIRE PLACED IN THE BOTTOM OF A FOOTING IS REQUIRED FOR ALL NEW CONSTRUCTION. (CEC 250.52(A) BOND ALL METAL GAS AND WATER PIPES TO GROUND. ALL GROUND CLAMPS SHALL BE ACCESSIBLE AND OF AN APPROVED TYPE. (CEC

ALL 15/20 AMPERE RECEPTACLES INSTALLED PER CEC 210.52 SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES. (CEC 406.12) ALL BRANCH CIRCUITS SUPPLYING 15/20 AMPERE OUTLETS IN LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS, KITCHENS, LAUNDRY ROOM OR SIMILAR ROOMS/AREAS SHALL BE PROTECTED BY A LISTED COMBINATION TYPE ARC-FAULT CIRCUIT INTERRUPTER (CEC 210 12) PROVIDE A MINIMUM OF ONE 20A CIRCUIT TO BE USED FOR THE LAUNDRY RECEPTACLE. (CEC 210.11(C)(2)) PROVIDE A MINIMUM OF ONE 20A CIRCUIT FOR BATHROOM RECEPTACLE OUTLETS. (CEC

PROVIDE AT LEAST 1 OUTLET IN BASEMENTS, GARAGES, LAUNDRY ROOMS, DECKS, BALCONIES, PORCHES AND WITHIN 3' OF THE OUTSIDE OF EACH BATHROOM BASIN. (CEC 210.52 (D). (F) & (G)) FURNACES INSTALLED IN ATTICS AND CRAWL SPACES SHALL HAVE AN ACCESS PLATFORM (CATWALK IN ATTICS LIGHT SWITCH AND RECEPTACLE IN THE SPACE. PROVIDE A SERVICE RECEPTACLE FOR THE FURNACE. (CEC 210.63)

ALL DWELLINGS MUST HAVE ONE EXTERIOR OUTLET AT THE FRONT AND THE BACK OF THE DWELLING. (CEC 210.52(E)) GARAGE RECEPTACLES SHALL NOT SERVE OUTLETS OUTSIDE THE GARAGE. A MINIMUM OF 1 RECEPTACLE SHALL BE PROVIDED FOR EACH CAR SPACE, (210,52(G)(1))

A 15/20 AMP RECEPTACLE SHALL BE INSTALLED WITHIN 50FT OF ELECTRICAL SERVICE EQUIPMENT. (CEC 210.64) KITCHENS, DINING ROOMS, PANTRIES, BREAKFAST NOOKS, AND SIMILAR AREAS MUST HAVE A MINIMUM OF TWO 20A CIRCUITS. KITCHEN, PANTRY, BREAKFAST NOOKS, DINING ROOMS, AND SIMILAR AREAS COUNTER OUTLETS MUST BE INSTALLED IN EVERY COUNTER SPACE 12" INCHES OR WIDER, NOT GREATER THAN 4' O.C., WITHIN 24" INCHES OF THE END OF ANY COUNTER SPACE AND NOT HIGHER THAN 20" ABOVE COUNTER. (CEC 210.52 (C)) ISLAND COUNTER SPACES SHALL HAVE AT LEAST 1 RECEPTACLE OUTLET UNLESS A RANGE TOP OR SINK IS INSTALLED THAN 2 RECEPTACLES MAY BE REQUIRED. 1 RECEPTACLE IS REQUIRED FOR PENINSULAR COUNTER SPACES. RECEPTACLES SHALL BE LOCATED BEHIND KITCHEN SINKS IF THE COUNTER AREA DEPTH BEHIND THE SINK IS MORE THAN 12" FOR STRAIGHT COUNTERS AND 18" FOR CORNER INSTALLATIONS.

(CEC FIGURE 210.52(C)(1)) RECEPTACLES SHALL BE INSTALLED AT 12' O.C. MAXIMUM IN WALLS STARTING AT 6' MAXIMUM FROM THE WALL END. WALLS LONGER THAN TWO FEET SHALL HAVE A RECEPTACLE. HALLWAY WALLS LONGER THAN 10 FT SHALL HAVE A RECEPTACLE IN HALLWAYS. (CEC RECEPTACLES SHALL NOT BE INSTALLED WITHIN OR DIRECTLY OVER

A BATHTUB OR SHOWER STALL. (CEC 406.9(C) LIGHT PENDANTS, CEILING FANS, LIGHTING TRACKS, ETC SHALL NOT BE LOCATED WITHIN 3ET HORIZONTALLY AND 8ET VERTICALLY ABOVE A SHOWER AND/OR BATHTUB THRESHOLD (CEC 410 10(D)) ALL LIGHTING/FAN FIXTURES LOCATED IN WET OR DAMP LOCATIONS SHALL BE RATED FOR THE APPLICATION. (CEC 410.10) GFCI OUTLETS ARE REQUIRED: FOR ALL KITCHEN RECEPTACLES THAT ARE DESIGNED TO SERVE COUNTERTOP SURFACES. DISHWASHERS, BATHROOMS, IN UNDER-FLOOR SPACES OR BELOW GRADE LEVEL, IN EXTERIOR OUTLETS, WITHIN 6' OF A LAUNDRY/UTILITY/WET BAR INKS. LAUNDRY AREAS, AND IN ALL GARAGE OUTLETS INCLUDING OUTLETS DEDICATED TO A SINGLE

DEVICE OR GARAGE DOOR OPENER (CEC 210.8). CARBON-MONOXIDE ALARMS SHALL BE INSTALLED IN DWELLING

UNITS WITH FUEL-BURNING APPLIANCES OR WITH ATTACHED GARAGES (CRC R315) OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE ON EVERY LEVEL OF A DWELLING UNIT INCLUDING BASEMENTS

ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS (MAY BE BATTERY OPERATED) SMOKE ALARMS SHALL BE INSTALLED (CRC (R314): IN EACH ROOM USED FOR SLEEPING PURPOSES.

OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS. IN EACH STORY, INCLUDING BASEMENTS. SHALL NOT BE INSTALLED WITHIN 20FT HORIZONTALLY OF COOKING APPLIANCES AND NO CLOSER THAN 3FT TO MECHANICAL REGISTERS, CEILING FANS AND BATHROOM DOORS WITH A BATHTUB

OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A

SMOKE DETECTOR (314 3(4)) ALTERATIONS, REPAIRS, OR ADDITIONS EXCEEDING 1,000 DOLLARS. (MAY BE BATTERY OPERATED) ALL SMOKE AND CARBON-MONOXIDE ALARMS SHALL BE HARDWIRED WITH A BATTERY BACKUP (SMOKE ALARMS SHALL HAVE A 10-YEAR

SEALED BATTERY). (CRC R314.4 & R315.1.2) ALL 15/20 AMPERE RECEPTACLES IN WET LOCATIONS SHALL HAVE IN-USE (BUBBLE) COVERS INSTALLED. ALL RECEPTACLES IN WET LOCATIONS SHALL ALSO BE LISTED WEATHER-RESISTANT TYPE. (CEC 406.9(B)(1)

UNDERFLOOR CLEANOUTS SHALL NOT BE MORE THAN 5 FEET FROM AN UNDERFLOOR ACCESS. ACCESS DOOR OR TRAP DOOR. (CPC ABS PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT UNLESS

PROTECTED BY WATER BASED SYNTHETIC LATEX PAINTS. (CPC PVC PIPING SHALL NOT BE EXPOSED TO DIRECT SUNLIGHT LINLESS PROTECTED BY WATER BASED SYNTHETIC LATEX PAINT, .04" THICK WRAP OR OTHERWISE PROTECTED FROM UV DEGRADATION. (CPC THE ADJACENT SPACE NEXT TO SHOWERS WITHOUT THRESHOLDS SHALL BE CONSIDERED A "WET LOCATION" WHEN USING THE CRC, CBC, AND THE CEC, (CPC 408.5 SHOWER COMPARTMENTS, REGARDLESS OF SHAPE, SHALL HAVE A MINIMUM FINISHED INTERIOR OF 1024 SQUARE INCHES (32" BY 32")

AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" CIRCLE. THE REQUIRED AREA AND DIMENSIONS SHALL BE MEASURED AT A HEIGHT EQUAL TO THE TOP OF THE THRESHOLD AND SHALL BE MAINTAINED TO A POINT OF NOT LESS THAN 70" ABOVE THE SHOWER DRAIN OUTLET. (CPC 408.6) PROVIDE CURTAIN ROD OR DOOR A MINIMUM OF 22" IN WIDTH (CPC 408.5), SHOWERS AND TUBS WITH SHOWERS REQUIRE A NON-ABSORBENT SURFACE UP TO 6' ABOVE WATER HEATERS: PROVIDE PRESSURE RELIEF VALVE WITH DRAIN

TO OUTSIDE FOR WATER HEATER. (CPC 504.6) PROVIDE SEISMIC STRAPPING IN THE UPPER & LOWER THIRD OF THE WATER HEATER A MINIMUM OF 4" ABOVE CONTROLS. (CPC 507.2) THE WATER HEATER SHALL BE OF AN INSTANTANEOUS TYPE OR THE FOLLOWING SHALL BE PROVIDED (NEW CONSTRUCTION ONLY) (CEC 150(N)): A 120V RECEPTACLES PROVIDED WITHIN 3FT A CATEGORY III OR IV VENT, OR A STRAIGHT (WITHOUT BENDS) TYPE

CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE BASE OF THE WATER HEATER GAS SUPPLY LINE WITH A MINIMUM 200,000 BTU/HR DEDICATED CAPACITY FOR THE WATER HEATER DOMESTIC HOT WATER LINES SHALL BE INSULATED. INSULATION

AND MINIMUM 2" THICKNESS FOR PIPES LARGER THAN 2" IN DIAMETER, (CPC 609.11 A 3-INCH GRAVITY DRAIN SHALL BE PROVIDED AT THE LOW POINT OF UNDERFLOOR SPACES, INSTALLED SO AS TO PROVIDE 1/4-INCH PER FOOT GRADE AND TERMINATE AT AN EXTERIOR POINT OF THE BUILDING PROTECTED FROM BLOCKAGE, THE OPENING SHALL BE SCREENED WITH A CORROSION-RESISTANT WIRE MESH WITH MESH OPENINGS OF 1/4-INCH IN DIMENSION. LENGTHS OF THE GRAVITY DRAINS OVER 10 FEET IN LENGTH SHALL BE FIRST APPROVED BY THE BUILDING OFFICIAL. (L-V 8.9) WATER HEATERS LOCATED IN ATTICS, CEILING ASSEMBLIES AND

SHALL BE THE THICKNESS OF THE PIPE DIAMETER UP TO 2" IN SIZE

RAISED FLOOR ASSEMBLIES SHALL SHOW A WATER-TIGHT CORROSION RESISTANT MINIMUM 1 1/2" DEEP PAN UNDER THE WATER HEATER WITH A MINIMUM ¾ INCH DRAIN TO THE EXTERIOR OF THE WATER CLOSET SHALL BE LOCATED IN A SPACE NOT LESS THAN 30" IN WIDTH (15" ON EACH SIDE) AND 24" MINIMUM CLEARANCE IN

FRONT. (CPC 402.5) THE MAXIMUM HOT WATER TEMPERATURE DISCHARGING FROM A BATHTUB OR WHIRLPOOL BATHTUB FILLER SHALL NOT EXCEED 120 DEGREES F. (CPC 418)

PROVIDE ANTI-SIPHON VALVES ON ALL HOSE BIBS. (CPC 603.5.7) FLOOR DRAINS SHALL BE PROVIDED WITH A TRAP PRIMER. (CPC

14. MAXIMUM WATER FLOW RATES. (CGBSC 4.303.1): WATER CLOSETS: 1 28GPF

URINALS: .125GPF KITCHEN FAUCETS: 1.8GPM @ 60PSI LAVATORY FAUCETS: 1.2PGM @ 60PSI

MECHANICAL

SHOWERHEADS: 2GPM

WOOD BURNING APPLIANCES SHALL BE ONE OF THE FOLLOWING: A PELLET-FUELED WOOD BURNING HEATER. A U.S. EPA PHASE II CERTIFIED WOOD BURNING HEATER AN APPLIANCE OR FIREPLACE DETERMINED TO MEET THE U.S. EPA PARTICULATE MATTER EMISSION STANDARD OF LESS THAN 7.5 GRAMS PER HOUR FOR A NON-CATALYTIC WOOD FIRED APPLIANCE OR 4.1 GRAMS PER HOUR FOR A CATALYTIC WOOD FIRED APPLIANCE AND IS APPROVED IN WRITING BY THE APCO. ALL NEWLY INSTALLED GAS FIREPLACES SHALL BE DIRECT VENT

AND SEALED-COMBUSTION TYPE. (CMC 912.2) ANY INSTALLED WOOD STOVE OR PELLET STOVE SHALL HAVE A PERMANENT NSPS LABEL CERTIFYING EMISSION LIMITS. TOP CHIMNEY MUST EXTEND A MINIMUM OF 2 FT. ABOVE ANY PART OF THE BUILDING WITHIN 10 FT. (CMC 802.5.4 FIREPLACES SHALL HAVE CLOSABLE METAL OR GLASS DOORS, HAVE

COMBUSTION AIR INTAKE DRAWN FROM THE OUTSIDE AND HAVE A READILY ACCESSIBLE FLUE DAMPENER CONTROL. CONTINUOUS BURNING PILOT LIGHTS ARE PROHIBITED. (CEC 150.0(E)) PROVIDE COMBUSTION AIR FOR ALL GAS FIRED APPLIANCES PER CMC CHAPTER 7. GAS VENTS PASSING THROUGH AN INSULATED ASSEMBLY SHALL

HAVE A METAL INSULATION SHIELD A MINIMUM 2" ABOVE INSULATION. GAS WATER HEATER AND FURNACE ARE NOT ALLOWED IN AREAS OPENING INTO BATHROOMS, CLOSETS OR BEDROOMS UNLESS INSTALLED IN A CLOSET EQUIPPED WITH A LISTED GASKETED DOOR

ASSEMBLY AND A LISTED SELF-CLOSING DEVICE WITH ALL COMBUSTION AIR OBTAINED FROM THE OUTDOORS. (CPC 504) ROOF TOP EQUIPMENT ON ROOFS WITH OVER 4/12 SLOPE SHALL HAVE A LEVEL 30"X30" WORKING PLATFORM. (CMC 304.2) EXHAUST OPENINGS TERMINATING TO THE OUTDOORS SHALL BE COVERED WITH A CORROSION RESISTANT SCREEN 1/4"-1/2" IN OPENING SIZE (NOT REQUIRED FOR CLOTHES DRYERS), (CMC 502.1) VENT DRYER TO OUTSIDE OF BUILDING (NOT TO UNDER-FLOOR

AREA), VENT LENGTH SHALL BE 14 MAXIMUM, SHALL TERMINATE A MINIMUM OF 3' FROM THE PROPERTY LINE AND ANY OPENING INTO THE BUILDING. (CMC 504.4.2) ENVIRONMENTAL AIR DUCTS SHALL NOT TERMINATE LESS THAN 3' TO A PROPERTY LINE, 10' TO A FORCED AIR INLET, 3' TO OPENINGS INTO THE BUILDING AND SHALL NOT DISCHARGE ON TO A PUBLIC

PROVIDE MINIMUM 100 SQUARE INCHES MAKE-UP AIR FOR CLOTHES DRYERS INSTALLED IN CLOSETS. (CMC 504.4.1(1)) HEATING SYSTEM IS REQUIRED TO MAINTAIN 68 DEGREES AT 3 FT. ABOVE FLOOR LEVEL AND 2FT FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS, (CRC R303.9)

ENERGY CODE

ALL DUCTS IN CONDITIONED SPACES MUST INCLUDE R-4.2 INSULATION. (CALIFORNIA ENERGY CODE 150.1(C)9) INSULATE THE FIRST 5' OF HOT/COLD WATER LINES, ALL LINES 3/4 INCH IN DIAMETER OR LARGER, ALL RECIRCULATION PIPING, PIPING TO STORAGE TANKS AND ALL HOT WATER PIPES TO KITCHEN FIXTURES FROM THE WATER HEATER. (CALIFORNIA ENERGY CODE

ISOLATION WATER VALVES REQUIRED FOR INSTANTANEOUS WATER HEATERS 6.8KBTU/HR AND ABOVE VALVES SHALL BE INSTALLED ON BOTH COLD AND HOT WATER LINES EACH VALVE WILL NEED A HOSE BIB OR OTHER FITTING ALLOWING FOR FLUSHING THE WATER HEATER WHEN THE VALVES ARE CLOSED. (CEC 110.3(C)7) ALL LUMINAIRES MUST BE HIGH EFFICACY (CALIFORNIA ENERGY CODE 150.0(K)1A)

THE MAXIMUM NUMBER OF BLANK ELECTRICAL BOXES INSTALLED MORE THAN 5 FEET ABOVE THE FLOOR IS LIMITED TO THE NUMBER OF BEDROOMS. THE BLANK BOXES SHALL BE SERVED BY A DIMMER, VACANCY SENSOR OR FAN SPEED CONTROL. (CALIFORNIA ENERGY

6. LUMINARIES RECESSED IN INSULATED CEILINGS MUST MEET THESE EQUIPMENT. STRUCTURAL COMPONENTS. STRUCTURAL DESIGN

THEY MAY NOT CONTAIN A SCREW BASE SOCKETS THEY SHALL CONTAIN A JAS COMPLIANT LIGHT SOURCE AT LEAST ONE LUMINAIRE IN EACH OF THESE SPACES SHALL BE CONTROLLED BY A VACANCY SENSOR. (CALIFORNIA ENERGY CODE JOINT APPENDIX A (JA8) CERTIFIED LAMPS SHALL BE CONSIDERED HIGH EFFICACY. JA8 COMPLIANT LIGHT SOURCES SHALL BE

UNDER-CABINET LIGHTING SHALL BE SWITCHED SEPARATELY FROM OTHER LIGHTING SYSTEMS. (CALIFORNIA ENERGY CODE 150.0(K)2L) BY A MANUAL ON/OFF SWITCH AND HAVE ONE OF THE FOLLOWING CONTROLS (THE MANUAL SWITCH SHALL NOT OVERRIDE THE AUTOMATIC CONTROL DEVICE): (CALIFORNIA ENERGY CODE

PHOTO-CONTROL AND MOTION SENSOR PHOTO-CONTROL AND AUTOMATIC TIME SWITCH CONTROL ASTRONOMICAL TIME CLOCK CONTROL TURNING LIGHTS OFF

ALL HIGH EFFICACY LIGHT FIXTURES SHALL BE CERTIFIED AS "HIGH-EFFICACY" LIGHT FIXTURES BY THE CALIFORNIA ENERGY CONTRACTOR SHALL PROVIDE THE HOMEOWNER WITH A LUMINAIRE SCHEDULE GIVING THE LAMPS USED IN THE LUMINAIRES INSTALLED

PROJECT SHALL MEET THE MINIMUM VENTU ATION AND ACCEPTABLE INDOOR AIR QUALITY REQUIREMENTS PER ASHRAE STANDARD 62.2. WINDOW OPERATION IS NOT A PERMISSIBLE METHOD OF PROVIDING THE WHOLE BUILDING VENTILATION AIRFLOW REQUIRED. THIS IS SUBJECT TO HERS TESTING. THE FOLLOWING LABEL MUST BE ATTACHED TO THE FAN SWITCH: "TO MAINTAIN MINIMUM LEVELS OF OUTSIDE AIR VENTILATION REQUIRED FOR GOOD HEALTH. THE FAN CONTROL SHOULD BE ON AT ALL TIMES WHEN THE BUILDING IS OCCUPIED UNLESS THERE IS SEVERE OUTDOOR AIR CONTAMINATION." (CALIFORNIA ENERGY CODE 150.0(O))

BUILDINGS CONSTRUCTED AFTER JANUARY 1, 2008 EXTERIOR WALL COVERINGS SHALL BE NONCOMBUSTIBLE, IGNITION RESISTANT, HEAVY TIMBER, LOG WALL OR FIRE RESISTIVE

EXTERIOR WALL COVERINGS SHALL EXTEND FROM THE FOUNDATION TO THE ROOF AND TERMINATE AT 2 INCH NOMINAL SOLID BLOCKING BETWEEN RAFTERS AND OVERHANGS. (CRC R337.7.3.1) OPEN/ENCLOSED ROOF EAVES AND SOFFITS, EXTERIOR PORCH CEILINGS, FLOOR PROJECTIONS, UNDER-FLOOR AREAS AND UNDERSIDES OF APPENDAGES TO COMPLY WITH IGNITION RESISTANT CONSTRUCTION REQUIREMENTS. (CRC R337.5-9) (SHOW

SHALL BE FIRE STOPPED BY APPROVED MATERIALS OR HAVE ONE SHEET COMPLYING WITH ASTM D 3909. (CRC R337.5.2) OVER NOT LESS THAN ONE LAYER OF MINIMUM 72LB MINERAL SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM [3909 AND AT LEAST 36 INCHES WIDE RUNNING THE FULL LENGTH.

ATTIC GABLE AND EAVES ABOVE 12FT AND UNDER-FLOOR

WIRE MESH, VENTS, OR OTHER MATERIALS THAT HAVE A MINIMUM 1/16 INCH AND MAXIMUM 1/8 INCH OPENINGS. NON-COMBUSTIBLE AND CORROSION RESISTANT, ALL OTHER EAVE VENTS SHALL BE LISTED/APPROVED TO RESIST THE INTRUSION OF FLAME AND BURNING (CRC R337.6) EXTERIOR GLAZING SHALL HAVE A MINIMUM OF ONE-TEMPERED OR BE TESTED TO MEET PERFORMANCE REQUIREMENTS OF SFM STANDARD 12-7A-2. (CRC R337.8.2)

NONCOMBUSTIBLE, IGNITION RESISTANT MATERIAL, MINIMUM 1 3/8 INCH SOLID CORE MINIMUM 20 MINIUTE FIRE RESISTIVE RATING OR AND STAIRS WITHIN 10FT OF GRADE LEVEL SHALL BE IGNITION RESISTANT MATERIAL, EXTERIOR FIRE RETARDANT TREATED WOOD OR NONCOMBUSTIBLE MATERIAL. (CRC R337.9)

GREEN BUILDING

PROJECTS WHICH DISTURB LESS THAN ONE ACRE OF SOIL AND ARE TOTAL DISTURBS ONE ACRE OR MORE. SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION. ONE OR MORE OF THE FOLLOWING MEASURES SHALL BE IMPLEMENTED TO PREVENT FLOODING OF ADJACENT PROPERTY, PREVENT EROSION AND RETAIN SOIL RUNOFF ON THE SITE (CGBSC 4.106.2):

 RETENTION BASINS OF SUFFICIENT SIZE SHALL BE UTILIZED TO WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, COLLECTION POINT, GUTTER, OR SIMILAR DISPOSAL

ALL NEW RESIDENTIAL CONSTRUCTION WITH ATTACHED PRIVATE CHARGING STATIONS (CGBSC 4.106.4)

208/240V BRANCH CIRCUIT TO A SUITABLE BOX LOCATION FOR EV CHARGING. THE OTHER END SHALL TERMINATE TO THE MAIN SERVICE AND/OR SUBPANEL TO INSTALL A 40-AMPERE DEDICATED BRANCH CIRCUIT. THE

MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL HAVE A COMBINED FLOW RATE OF 2GPM OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUTLET TO BE IN OPERATION AT A TIME. (CGBSC 4.303.1.3.2) RESIDENTIAL PROJECTS WITH AN AGGREGATE LANDSCAPE AREA EQUAL TO OR GREATER THAN 500 SQUARE FEET SHALL COMPLY

WITH EITHER A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE SYSTEM CONTROLLERS INSTALLED AT TIME OF FINAL INSPECTION SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS AND/OR WEATHER BASED CONTROLLERS WITH RAIN SENSORS, SOIL MOISTURE BASED CONTROLLERS ARE NOT REQUIRED TO HAVE RAIN SENSOR INPUT. (CGBSC 4.304)

RECYCLE AND/OR REUSE A MINIMUM OF 65 PERCENT OF NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE. (CGBSC

DIRECTIONS THAT MANUAL SHALL REMAIN ONSITE FOR THE LIFE OF OPERATION AND MAINTENANCE INSTRUCTIONS FOR EQUIPMENT,

PUBLIC TRANSPORTATION AND CARPOOL OPTIONS MATERIAL REGARDING IMPORTANCE OF KEEPING HUMIDITY LEVELS BETWEEN 30-60 PERCENT

THE PROJECT SHALL MEET MINIMUM POLLUTANT CONTROL REQUIREMENTS FOR ADHESIVES, SEALANTS, CAULKS, PAINTS, CARPET, RESILIENT FLOORING SYSTEMS, ETC. (CGBSC 4.504) WITH TAPE PLASTIC SHEET METAL OR OTHER METHODS TO REDUCE THE AMOUNT OF WATER, DUST AND DEBRIS WHICH MAY

GENERAL NOTES BASED ON THE 2019 CALIFORNIA BUILDING STANDARD SPECIFIC TO THE PROJECT. REFERENCE APPLICABLE SHEETS AND

CRITERIA, BUILDING FINISHES AND OTHER COMPONENTS SPECIFIC TO REQUIREMENTS (CALIFORNIA ENERGY CODE 150.0(K)1C): THEY MUST BE RATED FOR DIRECT INSULATION CONTACT (IC). THE PROJECT CONSTRUCTION. THEY MUST BE CERTIFIED AS AIRTIGHT (AT) CONSTRUCTION

THEY MUST HAVE A SEALED GASKET OR CAULKING BETWEEN THE HOUSING AND CEILING TO PREVENT FLOW OF HEATED OR COOLED AIR OUT OF LIVING AREAS AND INTO THE CEILING CAVITY. IN BATHROOMS, GARAGES, LAUNDRY ROOMS, AND UTILITY ROOMS.

CONTROLLED BY A VACANCY SENSOR OR DIMMER. (EXCEPTION: <70SE CLOSETS AND HALLWAY) (CALIFORNIA ENERGY CODE

ALL EXTERIOR LIGHTING SHALL BE HIGH EFFICACY, BE CONTROLLED

(CALIFORNIA ENERGY CODE 10-103(B))

WILDLAND URBAN INTERFACE (WUI)

COMPLIANCE ON THE PLANS). SPACES CREATED BETWEEN ROOF COVERINGS AND ROOF DECKING LAYER OF MINIMUM 72LB MINERAL SURFACED NONPERFORATED CAP VALLEY FLASHING SHALL BE NOT LESS THAN 26AWG AND INSTALLED

VENTILATION SHALL BE PROVIDED WITH FULLY COVERED METAL PANE, GLASS BLOCK, HAVE A FIRE RESISTIVE RATING OF 20 MINUTES

8. EXTERIOR DOORS INCLUDING GARAGE DOORS SHALL BE SHALL BE TESTED TO MEET THE PERFORMANCE REQUIREMENTS OF THE WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES

NOT PART OF A LARGER COMMON PLAN OF DEVELOPMENT WHICH IN

METHOD, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM

WATTLE OR OTHER METHOD APPROVED BY THE ENFORCING GARAGES SHALL HAVE THE FOLLOWING FOR ELECTRIC VEHICLE (EV)

INSTALL A MINIMUM 1-INCH CONDUIT CAPABLE OF SUPPLYING A THE MAIN PANEL AND/OR SUBPANEL SHALL BE OF SUFFICIENT SIZE

DEDICATED OVERCURRENT PROTECTION SPACE SHALL BE LABELED

(MWELO), WHICHEVER IS MORE STRINGENT, AUTOMATIC IRRIGATION

AT TIME OF FINAL INSPECTION, A BUILDING OPERATION AND MAINTENANCE MANUAL, COMPACT DISC, ETC SHALL BE PROVIDED CONTAINING THE FOLLOWING: (CGBSC 4.410)

APPLIANCES, ROOF/YARD DRAIN-AGE, IRRIGATION SYSTEMS, ETC INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY

 INFORMATION REGARDING ROUTINE MAINTENANCE PROCEDURES STATE SOLAR ENERGY INCENTIVE PROGRAM INFORMATION A COPY OF ANY REQUIRED SPECIAL INSPECTION VERIFICATIONS

8 DUCT OPENINGS RELATED TO HVAC SYSTEMS SHALL BE COVERED ENTER THE SYSTEM. (CGBSC 4.504.1)

CODES. THIS IS NOT AN ALL INCLUSIVE LIST OF CODE REQUIREMENTS SPECIFIC AREAS OF THE PLANS FOR LOCATIONS OF FIXTURES/

If multiple worksheets are used, transfer column totals from each worksheet to the summary sheet. For additional instructions and information, please see reverse. Instructions for Weight or Volume Method:

Step 1 - Insert volume totals into Columns A, B, and D where appropriate.

Step 3 - Add each column down and enter totals in the boxes provided.

 Choose which method of construction waste tracking to be used throughout the project. Choose either the Weight Method or the Volume Method, but do not use different methods on the same worksheet.

If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste reduction requirement is achieved.

Construction Waste Management Worksheet (Weight Method) - CW 3

Diverted

Non-Recycle

Insert weight totals into proper category below

=

=

If Column C is larger than Column D (on the summary sheet), compliance with 65 percent waste reduction requirement is achieved.

Insert cubic foot or cubic yard totals into proper category below

Construction Waste Management Worksheet (Volume Method) - CW 2

Diverted

Non-Recycle

(Disposed)

Reused

ompleted By:

ompleted By:

ignature:

 To minimize confusion, use the same unit of measure and do not mix pounds and tons, or Cu. Yds. and Cu. Ft. on the same worksheet. It is easiest to stay with the same unit of measure for the entire project to avoid the need for conversions

Enter construction waste materials that are to be recycled under Recycled (Column A).

Enter construction waste materials that are to be reused under Reused (Column B)

Step 2 - Add Column A to Column B and insert total into Column C for total diverted volume.

Enter construction waste materials that will not get recycled or reused under Non-Recycled/Disposed (Column D)

Add amounts from Column A to amounts from Column B and enter the total under Diverted (Column C).

Add amounts in each Column (A, B, C, and D) and enter these sums into Total boxes.

 If the Diverted amount (Column C) is greater than the Non-Recycled/Disposed amount (Column D), compliance with the construction waste reduction requirement of at least 65 percent per Section 4.408.1 has been achieved.

When more than one worksheet is used, transfer the data onto the Weight or Volume Summary Worksheet at the completion

Examples of weights and volumes of some typical construction waste materials

Material	Range of pounds per cubic yard	Typical pounds per cubic yard	Typical cubic yards per ton
Asphalt roofing material	250-460	360	5.5
Asphalt - paving	1300-2200	1750	1.1
Cardboard	70-135	85	23.5
Concrete	1300-2200	1750	1.1
Gypsum Drywall	315-470	400	5
Metals	220-1940	540	3.7
Wood	200-540	499	5

Standard Conversions: 1 cubic yard equals 27 cubic feet 1 ton equals 2000 pounds

* Source: Sacramento Regional Solid Waste Authority

WITH WEEP HOLES IMMEDIATELY ABOVE THE FLASHING. (CRC PROVIDE A MINIMUM 22" X 30" ACCESS OPENING TO ATTIC (CRC R807); MAY BE REQUIRED TO BE 30"X30" TO REMOVE THE LARGEST

REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING. BAFFLES ARE REQUIRED AT VENTS FOR INSULATION PROVIDE MINIMUM OF 1" INCH OF AIR SPACE BETWEEN INSULATION AND ROOF SHEATHING. ENCLOSED RAFTER SPACES SHALL HAVE 1 INCH CLEAR CROSS

(MINIMUM 5.0 SQ. FT. AT GRADE FLOOR OPENINGS), 24" MINIMUM

CLEAR OPENABLE HEIGHT AND 20" MINIMUM CLEAR WIDTH, OR AN

WINDOW WELLS, LADDERS, AND STEPS SHALL COMPLY WITH CRO

R310.2.3. BARS, GRILLES, COVERS, ANDS SCREENS SHALL BE

15LBS TO OPERATE THE EMERGENCY ESCAPE AND RESCUE

EACH BATHROOM CONTAINING A BATHTUB, SHOWER OR

AN INTEGRAL HUMIDISTAT INSTALLED. (CRC R303.3.1)

OPENINGS. (CRC R310.4)

OPENABLE EXTERIOR EXIT DOOR, (CRC R310.2.1 AND CRC R310.2.2)

RELEASABLE OR REMOVABLE FROM THE INSIDE WITHOUT THE USE

OF A KEY, TOOL, SPECIAL KNOWLEDGE, OR FORCE GREATER THAN

TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED

WITH ENERGY STAR APPROVED EQUIPMENT (MINIMUM 50CFM) WITH

PROVIDE ATTIC CROSS VENTILATION: 1/150 OF ATTIC AREA OR 1/300

WITH AT LEAST 40% BUT MORE THAN 50% OF VENTS ARE 3 FT

CLIMATE ZONE 16 (TRUCKEE REGION). THE NET AREA MAY BE

ABOVE EAVE AND BALANCE IS AT EAVE. AS AN ALTERNATIVE IN

VENTILATION. (PROPERLY SIZED RAFTERS FOR INSULATION) (CRC UNDER FLOOR CROSS VENTILATION: MINIMUM 1.0 SQ. FT. FOR EACH 150 SQ. FT. OF UNDER FLOOR WHEN A CLASS 1 VAPOR RETARDER IS INSTALLED ON THE GROUND SURFACE THE MINIMUM AREA OF VENTILATION MAY BE LIMITED TO 1SO ET FOR EACH 1 500 SOLIARE FEET OF UNDER-FLOOR ONE VENTILATION OPENING SHALL BE WITHIN THREE (3) FEET OF EACH CORNER OF THE BUILDING (CRC

R408.1). UNVENTED CRAWL SPACES SHALL COMPLY WITH CRC THE FOLLOWING AREAS SHALL HAVE SAFETY GLAZING: (CRC R308.4)

WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SWIMMING POOLS WHERE THE GLAZING IS LESS THAN 60 INCHES ABOVE THE STANDING SURFACE WITHIN THE COMPARTMENT AND WITHIN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE (CRC GLAZING WITHIN A 24" ARC OF A DOOR THAT IS LESS THAN 60 INCHES

ABOVE THE FLOOR, GLAZING INSTALLED PERPENDICULAR TO A DOOR IN A CLOSED POSITION AND WITHIN 24 INCHES OF THE DOOR ONLY REQUIRES SAFETY GLAZING IF IT IS ON THE HINGE SIDE OF AN INSWING DOOR. (CRC R308.4.2) GLAZING WHERE THE EXPOSED AREA IS GREATER THAN 9SQ.FT, BOTTOM IS LESS THAN 18 IN. AND AT LEAST 36 IN. ABOVE THE FLOOR,

AND ADJACENT TO A WALKING SURFACE WITHIN 60IN. OF THE BOTTOM TREAD OF A STAIRWAY AND LESS THAN 36IN. ABOVE THE LANDING GLAZING IN GUARDS AND RAILINGS GLAZING ADJACENT TO STAIRWAYS, LANDINGS. AND RAMPS WITHIN 36IN. HORIZONTALLY OF THE WALKING SURFACE LESS THAN 36IN.

ABOVE THE WALKING SURFACE PROVIDE LANDINGS AND A PORCH LIGHT AT ALL EXTERIOR DOORS. LANDINGS ARE TO BE MINIMUM 3 FT DEEP X WIDTH OF DOOR. LANDINGS AT REQUIRED EGRESS DOORS MAY STEP DOWN A MAXIMUM OF 7.75 INCHES WHEN THE DOOR DOES NOT SWING OVER THE LANDING AND 1.5 INCHES WHEN DOOR SWINGS ONTO THE LANDING OTHER THAN REQUIRED EXTERIOR EXIT DOORS MAY HAVE A THRESHOLD OF 7.75 INCHES MAXIMUM: A LANDING IS NOT

REQUIRED IF A STAIR WITH TWO OR FEWER RISERS IS LOCATED ON

THE EXTERIOR SIDE AND THE DOOR DOES NOT SWING OVER THE

FOUNDATIONS & CONCRETE SLABS CONCRETE STRENGTH(S):

STAIRWAY. (CRC R311.3-R311.3.2)

SLOPE DRAINAGE 6" WITHIN THE FIRST 10FT. FROM THE FOUNDATION

WALL. IF PHYSICAL OBSTRUCTIONS OR LOT LINES PROHIBIT THE 10FT DISTANCE, A 2-5 PERCENT SLOPE SHALL BE PROVIDED TO AN APPROVED ALTERNATIVE METHOD OF DIVERTING THE WATER AWAY FROM THE FOUNDATION, IMPERVIOUS SURFACES SHALL ALSO BE SLOPED A MINIMUM OF 2 PERCENT FOR 10FT AWAY FROM STRUCTURES TO AN APPROVED DRAINAGE WAY. (CRC R401.3) FOOTINGS SHALL EXTEND AT LEAST 12 INCHES INTO THE UNDISTURBED GROUND SURFACE. (CRC R403.1.4) UNLESS ERECTED

ON SOLID ROCK, TO PROTECT AGAINST FROST AND FREEZING, THE MINIMUM FOUNDATION DEPTH IS 18 INCHES BELOW GRADE IF RETWEEN 4 000-7 000 FOOT FLEVATION AND 24 INCHES BELOW GRADE FOR 7 000 FOOT FLEVATION AND ABOVE EXCEPTION: INTERIOR FOOTINGS SHALL BE A MINIMUM OF 12 INCHES BELOW

STEPPED FOOTINGS SHALL BE USED WHEN SLOPE OF FOOTING

CONCRETE SLABS: 3 1/2" MINIMUM (CRC R506.1). SLABS UNDER LIVING AREAS AND GARAGES SHALL BE REINFORCED WITH WIRE 6" X 6", 10 GALIGE X 10 GALIGE WELDED MESH OR FOLLIVALENT STEEL REINFORCEMENT AND 4" THICKNESS OF 3/8 MINIMUM GRAVEL UNDER THE CONCRETE SLAB. SEPARATE FROM SOIL WITH A 6 MIL POLYETHYLENE VAPOR RETARDER WITH JOINTS LAPPED NOT LESS THAN 6 INCHES IN LIVING AREAS. A CAPILLARY BREAK SHALL BE

BOTTOM IS GREATER THAN 1 IN 10 (V: H)

INSTALLED WHEN A VAPOR RETARDER IS REQUIRED. PROVIDE 18" X 24" FOUNDATION ACCESS THROUGH THE FLOOR OR 16"X24" ACCESS THROUGH A PERIMETER WALL. (CRC R408.4) MINIMUM SILL BOLTING: 1/3" ANCHOR BOLTS OR APPROVED ANCHORS AT 6 FT. O.C. MAXIMUM FOR ONE-STORY (CRC R403.1.6), USE ANCHOR BOLTS AT 4 FT. O.C. MAXIMUM FOR THREE STORY CONSTRUCTION FMBED BOLTS 7" MINIMUM THE ANCHOR BOLTS SHALL BE PLACED IN THE MIDDLE THIRD OF THE WIDTH OF THE PLATE, LOCATE END BOLTS NOT LESS THAN 7 BOLT DIAMETERS, NOR MORE THAN 12" FROM ENDS OF SILL MEMBERS. IN SDC D0 AND ABOVE: PROVIDE 3"X3"X0.229 PLATE WASHERS ON EACH BOLT AT

BRACED OR SHEAR WALL LOCATIONS, STANDARD CUT WASHERS

SHALL BE PERMITTED FOR ANCHOR BOLTS NOT LOCATED IN BRACED/SHEAR WALL LINES. CLEARANCES AND TREATMENT FOR WOOD FRAMING

PRESSURE TREATED OR SHALL BE WOOD OF NATURAL RESISTANCE TO DECAY (CRC R317.1.3 & 5) COLUMNS EXPOSED TO THE WEATHER OR IN BASEMENTS WHEN SUPPORTED ON CONCRETE PIER OR METAL PEDESTALS SHALL BE PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE PIER/PEDESTALS PROJECT 1" ABOVE CONCRETE OR 6" ABOVE EARTH AND THE EARTH IS COVERED BY AN APPROVED IMPERVIOUS MOISTURE BARRIER, (CRC R317.1.4 EXC. 1)

COLUMNS IN ENCLOSED CRAWL SPACES OR UNEXCAVATED AREAS

PEDESTALS PROJECTING NOT LESS THAN 1" ABOVE A CONCRETE

LOCATED WITHIN THE PERIPHERY OF THE BUILDING SHALL BE

WEATHER EXPOSED GLU-LAM, BEAMS AND POSTS SHALL BE

PRESSURE TREATED OR NATURAL RESISTANCE TO DECAY UNLESS THE COLUMN IS SUPPORTED BY A CONCRETE PIER OR METAL PEDESTAL OF A HEIGHT 8" OR MORE AND THE EARTH IS COVERED BY AN IMPERVIOUS MOISTURE BARRIER. (CRC R317.1.4 EXC. 2) DECK POSTS SUPPORTED BY CONCRETE PIERS OR METAL

POSITIVE POST TO BEAM CONNECTION SHALL BE PROVIDED TO ENSURE AGAINST UPLIFT AND LATERAL DISPLACEMENT. (CRC R502.9 & CBC 2304.9.7) ALL FASTENERS USED FOR ATTACHMENT OF SIDING & INTO PRESSURE TREATED LUMBER SHALL BE OF A CORROSION

FLOOR OR 6" ABOVE EXPOSED EARTH. (CRC R317.1.4 EXC. 3)

RESISTANT TYPE (CRC R317.3). FIRE-BLOCK IN CONCEALED SPACES OF STUD WALLS/PARTITIONS VERTICALLY AT CEILING/FLOOR LEVELS, HORIZONTALLY AT 10FT. INTERVALS. FIRE-BLOCK AT SOFFITS, DROP CEILINGS/SIMILAR LOCATIONS & IN CONCEALED SPACES AT THE TOP/BOTTOM OF STAIR STRINGERS. (CRC R302.11)

AND APPROVED FLASHING AT EXTERIOR OPENINGS (CRC R703.2). SPECIFY A MINIMUM OF 2 LAYERS OF GRADE D PAPER UNDER STUCCO AND 2 LAYERS OF 15LB FELT (OR EQUIVALENT) UNDER STUCCO SHALL HAVE A MINIMUM CLEARANCE TO EARTH OF 4 INCHES AND 2 INCHES TO PAVED SURFACES WITH AN APPROVED WEEP SCREED. (CRC R703.7.2.1) MASONRY STONE VENEER SHALL BE FLASHED BENEATH THE FIRST COURSE OF MASONRY AND PROVIDED

PROVIDE APPROVED BUILDING PAPER UNDER THE BUILDING SIDING

R703.8.5 AND R703.8.6)

PIECE OF MECHANICAL EQUIPMENT PER THE CALIFORNIA ROOF DRAINS/GUTTERS REQUIRED TO BE INSTALLED PER THE CALIFORNIA PLUMBING CODE WITH LEAF/ DEBRIS PROTECTION ALSO ALL ROOFING SHALL BE TESTED/LISTED CLASS A MINIMUM.

Page of

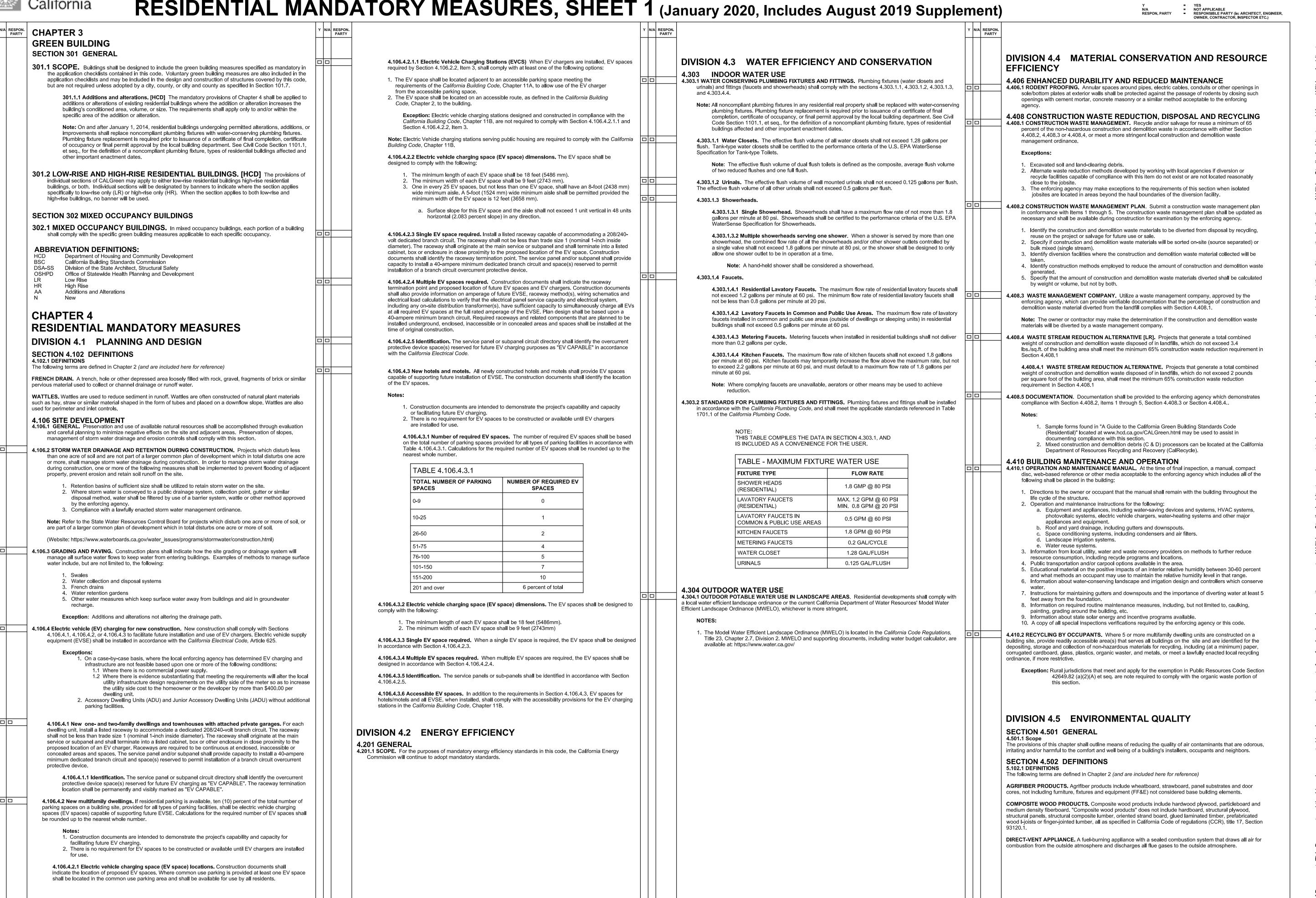
Activar Windows

Page of



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

RESIDENTIAL MANDATORY MEASURES, SHEET 1 (January 2020, Includes August 2019 Supplement)



DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE 2016 CALIFORNIA GREEN BUILDING STANDARDS (CALGREEN) CODE. DUE TO THE VARIABLES BETWEEN BUILDING DEPARTMENT JURISDICTIONS, THIS CHECKLIST IS TO BE USED AN AMEND TO INDICATE AREAS OF COMPLIANCE WITH THE FULL CODE.

Wilkins Studio

San Francisco CA (415)273-9054



Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442

0

 \mathbf{m}

O

.-06(

9

0

Owner:

(415) 273-9054

Green Sheet

Description Date

Submittal



2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

ES, SHEET 1 (January 2020, Includes August 2019 Supplement)

YES
NOT APPLICABLE
RESPONSIBLE PARTY (ie: ARCHITECT, ENGINEER,
OWNER, CONTRACTOR, INSPECTOR ETC.)

N/A RESPON. PARTY			Y N/A RESPON. PARTY		
				TABLE 4.504.2 - SEALANT VOC LIMI	 T
	MAXIMUM INCREMENTAL REACTIVITY (MIR). The maximum change compound to the "Base Reactive Organic Gas (ROG) Mixture" per weight	ge in weight of ozone formed by add ght of compound added, expressed	ling a ⊦to	(Less Water and Less Exempt Compounds in Gram	
	hundredths of a gram (g O³/g ROC). Note: MIR values for individual compounds and hydrocarbon solvents a			SEALANTS	VOC LIMI
	and 94701.			ARCHITECTURAL	250
	MOISTURE CONTENT. The weight of the water in wood expressed in	percentage of the weight of the over	en-dry wood.	MARINE DECK	760
	PRODUCT-WEIGHTED MIR (PWMIR). The sum of all weighted-MIR for	or all ingredients in a product subje	ct to this	NONMEMBRANE ROOF	300
	article. The PWMIR is the total product reactivity expressed to hundred product (excluding container and packaging).	Iths of a gram of ozone formed per	gram of	ROADWAY	250
	Note: PWMIR is calculated according to equations found in CCR, Title	17, Section 94521 (a).		SINGLE-PLY ROOF MEMBRANE	450
	REACTIVE ORGANIC COMPOUND (ROC). Any compound that has the	he potential, once emitted, to contri	bute to	OTHER	420
	ozone formation in the troposphere.			SEALANT PRIMERS	
	VOC. A volatile organic compound (VOC) broadly defined as a chemic with vapor pressures greater than 0.1 millimeters of mercury at room to	al compound based on carbon cha	ins or rings cally contain	ARCHITECTURAL	
	hydrogen and may contain oxygen, nitrogen and other elements. See C			NON-POROUS	250
_	4.503 FIREPLACES			POROUS	775
	4.503.1 GENERAL. Any installed gas fireplace shall be a direct-vent s woodstove or pellet stove shall comply with U.S. EPA New Source Per	formance Standards (NSPS) emiss	sion limits as	MODIFIED BITUMINOUS	500
	applicable, and shall have a permanent label indicating they are certificated pellet stoves and fireplaces shall also comply with applicable local ordinates.		odstoves,	MARINE DECK	760
	4.504 POLLUTANT CONTROL			OTHER	750
] 	4.504.1 COVERING OF DUCT OPENINGS & PROTECTION OF MEC CONSTRUCTION. At the time of rough installation, during storage on startup of the heating, cooling and ventilating equipment, all duct and copenings shall be covered with tape, plastic, sheet metal or other meth reduce the amount of water, dust or debris which may enter the system 4.504.2 FINISH MATERIAL POLLUTANT CONTROL. Finish material	the construction site and until final other related air distribution compored acceptable to the enforcing agn.	ent ency to	TABLE 4.504.3 - VOC CONTENT LIN	 MITS FOR
	4.504.2.1 Adhesives, Sealants and Caulks. Adhesives, sealar requirements of the following standards unless more stringent lo management district rules apply:	nt and caulks used on the project s cal or regional air pollution or air qu	nall meet the pality	ARCHITECTURAL COATINGS2,3	
		are englants and on the missions and o		GRAMS OF VOC PER LITER OF COATING, LES	35 WATER & LESS
	Adhesives, adhesive bonding primers, adhesive prime shall comply with local or regional air pollution control	or air quality management district r	ules where	COATING CATEGORY	VOC LIM
	applicable or SCAQMD Rule 1168 VOC limits, as sho Such products also shall comply with the Rule 1168 p			FLAT COATINGS	50
	compounds (chloroform, ethylene dichloride, methylen tricloroethylene), except for aerosol products, as spec	ne chloride, perchloroethylene and		NON-FLAT COATINGS	100
				NONFLAT-HIGH GLOSS COATINGS	150
	 Aerosol adhesives, and smaller unit sizes of adhesive units of product, less packaging, which do not weigh n 			SPECIALTY COATINGS	
	than 16 fluid ounces) shall comply with statewide VOC prohibitions on use of certain toxic compounds, of <i>Cal</i>			ALUMINUM ROOF COATINGS	400
	commencing with section 94507.			BASEMENT SPECIALTY COATINGS	400
	4.504.2.2 Paints and Coatings. Architectural paints and coatin	gs shall comply with VOC limits in	Table 1 of	BITUMINOUS ROOF COATINGS	50
	the ARB Architectural Suggested Control Measure, as shown in apply. The VOC content limit for coatings that do not meet the c	definitions for the specialty coatings	categories	BITUMINOUS ROOF PRIMERS	350
	listed in Table 4.504.3 shall be determined by classifying the coacoating, based on its gloss, as defined in subsections 4.21, 4.36	ating as a Flat, Nonflat or Nonflat-H . and 4.37 of the 2007 California Ai	igh Gloss r Resources	BOND BREAKERS	350
	Board, Suggested Control Measure, and the corresponding Flat, Table 4.504.3 shall apply.			CONCRETE CURING COMPOUNDS	350
		C l ll l th D d d	Literal AMID	CONCRETE/MASONRY SEALERS	100
	4.504.2.3 Aerosol Paints and Coatings. Aerosol paints and co Limits for ROC in Section 94522(a)(2) and other requirements, in	ncluding prohibitions on use of certi	ain toxic	DRIVEWAY SEALERS	50
	compounds and ozone depleting substances, in Sections 94522 Regulations, Title 17, commencing with Section 94520; and in a			DRY FOG COATINGS	150
	Quality Management District additionally comply with the percen 8, Rule 49.	t VOC by weight of product limits o	f Regulation	FAUX FINISHING COATINGS	350
		ion shall be provided at the request	of the	FIRE RESISTIVE COATINGS	350
	4.504.2.4 Verification. Verification of compliance with this section enforcing agency. Documentation may include, but is not limited.		of the	FLOOR COATINGS	100
	Manufacturer's product specification.			FORM-RELEASE COMPOUNDS	250
	Field verification of on-site product containers.			GRAPHIC ARTS COATINGS (SIGN PAINTS)	500
				HIGH TEMPERATURE COATINGS	420
	TABLE 4.504.1 - ADHESIVE VOC LIMIT	T ₁₂		INDUSTRIAL MAINTENANCE COATINGS	250
	(Less Water and Less Exempt Compounds in Grams	· ·		LOW SOLIDS COATINGS1	120
	ARCHITECTURAL APPLICATIONS	VOC LIMIT		MAGNESITE CEMENT COATINGS	450
	INDOOR CARPET ADHESIVES	50		MASTIC TEXTURE COATINGS	100
		50		METALLIC PIGMENTED COATINGS	500
	CARPET PAD ADHESIVES	150		MULTICOLOR COATINGS	250
	OUTDOOR CARPET ADHESIVES	100		PRETREATMENT WASH PRIMERS	420
	WOOD FLOORING ADHESIVES			PRIMERS, SEALERS, & UNDERCOATERS	100
	RUBBER FLOOR ADHESIVES	60		REACTIVE PENETRATING SEALERS	350
	SUBFLOOR ADHESIVES	50		RECYCLED COATINGS	250
	CERAMIC TILE ADHESIVES	65		ROOF COATINGS	50
	VCT & ASPHALT TILE ADHESIVES	50		RUST PREVENTATIVE COATINGS	250
	DRYWALL & PANEL ADHESIVES	50		SHELLACS	
	COVE BASE ADHESIVES	50		CLEAR	730
	MULTIPURPOSE CONSTRUCTION ADHESIVE	70		OPAQUE	550
	STRUCTURAL GLAZING ADHESIVES	100		SPECIALTY PRIMERS, SEALERS &	100
	SINGLE-PLY ROOF MEMBRANE ADHESIVES	250		UNDERCOATERS	
	OTHER ADHESIVES NOT LISTED	50		STAINS	250
	SPECIALTY APPLICATIONS			STONE CONSOLIDANTS	450
	PVC WELDING	510		SWIMMING POOL COATINGS	340
	CPVC WELDING	490		TRAFFIC MARKING COATINGS	100
	ABS WELDING	325		TUB & TILE REFINISH COATINGS	420
	PLASTIC CEMENT WELDING	250		WATERPROOFING MEMBRANES	250
				1	
	ADHESIVE PRIMER FOR PLASTIC	550		WOOD COATINGS	275
	ADHESIVE PRIMER FOR PLASTIC CONTACT ADHESIVE	80		WOOD PRESERVATIVES	350
	ADHESIVE PRIMER FOR PLASTIC				350 340

140

30

50

50

30

80

STRUCTURAL WOOD MEMBER ADHESIVE

SUBSTRATE SPECIFIC APPLICATIONS

POROUS MATERIAL (EXCEPT WOOD)

QUALITY MANAGEMENT DISTRICT RULE 1168.

1. IF AN ADHESIVE IS USED TO BOND DISSIMILAR SUBSTRATES TOGETHER,

THE ADHESIVE WITH THE HIGHEST VOC CONTENT SHALL BE ALLOWED.

2. FOR ADDITIONAL INFORMATION REGARDING METHODS TO MEASURE

THE VOC CONTENT SPECIFIED IN THIS TABLE, SEE SOUTH COAST AIR

TOP & TRIM ADHESIVE

METAL TO METAL

PLASTIC FOAMS

1. GRAMS OF VOC PER LITER OF COATING, INCLUDING WEXEMPT COMPOUNDS
2. THE SPECIFIED LIMITS REMAIN IN EFFECT UNLESS RETARE LISTED IN SUBSEQUENT COLUMNS IN THE TABLE.

^{3.} VALUES IN THIS TABLE ARE DERIVED FROM THOSE SPECIFIED BY THE CALIFORNIA AIR RESOURCES BOARD, ARCHITECTURAL COATINGS SUGGESTED CONTROL MEASURE, FEB. 1, 2008. MORE INFORMATION IS AVAILABLE FROM THE AIR RESOURCES BOARD.

	Г				
	Ţ	ΓABLE 4.504.5 - FORM <i>A</i>	YLDEHYDE LIN	MITS ₁	
	<u> </u>	MAXIMUM FORMALDEHYDE EN	MISSIONS IN PART		
		PRODUCT HARDWOOD PLYWOOD VENEE	ED CODE	0.05	
		HARDWOOD PLYWOOD COMP		0.05	
	<u> </u>	PARTICLE BOARD		0.09	
	N	MEDIUM DENSITY FIBERBOAR	lD	0.11	
	1 B W V	THIN MEDIUM DENSITY FIBERI . VALUES IN THIS TABLE ARE BY THE CALIF. AIR RESOURCE MEASURE FOR COMPOSITE W WITH ASTM E 1333. FOR ADDI CODE OF REGULATIONS, TITLE	L E DERIVED FROM ES BOARD, AIR TO VOOD AS TESTED ITIONAL INFORMA	XICS CONTROL IN ACCORDANCE TION, SEE CALIF.	
	2	93120.12. 2. THIN MEDIUM DENSITY FIBI THICKNESS OF 5/16" (8 MM).	ERBOARD HAS A I	MAXIMUM	
<u> </u>	4.504.3 CARPET S' requirements of at le	L.5 ENVIRONMENT SYSTEMS. All carpet installed in east one of the following:	the building interior	LITY (continued shall meet the testing and	d) product
	 California Organic C February 3. NSF/ANS 	a Department of Public Health, "S Chemical Emissions from Indoor 3 2010 (also known as Specifications Indoor 3 Indoor Indoor Active Indoor Indoor Active Indoor Ind	standard Method for Sources Using Envi on 01350).		
	requirements	rpet cushion. All carpet cushion of the Carpet and Rug Institute's	s Green Label progra	am.	
	4.504.4 RESILIEN	rpet adhesive. All carpet adhesiver FLOORING SYSTEMS. Where all comply with one or more of the	e resilient flooring is		
	1. Products Evaluation Version 1 in the Col 2. Products 3. Certificati 4. Meet the Volatile O	compliant with the California Depon of Volatile Organic Chemical E.1.1, February 2010 (also known a bllaborative for High Performance certified under UL GREENGUAF ion under the Resilient Floor Cow California Department of Public Forganic Chemical Emissions from 2010 (also known as Specification	partment of Public H missions from Indoo as Specification 0135 Schools (CHPS) Hi RD Gold (formerly th rering Institute (RFC Health, "Standard M Indoor Sources Us	or Sources Using Environm 50), certified as a CHPS Lo igh Performance Products le Greenguard Children & S I) FloorScore program. lethod for the Testing and I	nental Chambers," bw-Emitting Material Database. Schools program). Evaluation of
	composite wood pro formaldehyde as sp	TE WOOD PRODUCTS. Hardwo oducts used on the interior or extended in ARB's Air Toxics Contributes specified in those sections, as	erior of the buildings ol Measure for Com	s shall meet the requireme posite Wood (17 CCR 931	nts for
		cumentation. Verification of coring agency. Documentation shall			requested
	2. Ch 3. Pro CC 4. Ext Wo 012	oduct certifications and specification of custody certifications. oduct labeled and invoiced as me CR, Title 17, Section 93120, et seterior grade products marked as a cod Association, the Australian A 21, CSA 0151, CSA 0153 and CS ther methods acceptable to the en	eeting the Composite eq.). meeting the PS-1 or S/NZS 2269, Europ SA 0325 standards.	r PS-2 standards of the En	gineered
	4.505.1 General. B	OR MOISTURE CONTRO Buildings shall meet or exceed the	e provisions of the C	-	
	California Building C	E SLAB FOUNDATIONS. Conci Code, Chapter 19, or concrete sla ial Code, Chapter 5, shall also co	ab-on-ground floors	required to have a vapor re	
]	4.505.2.1 Ca _l following:	pillary break. A capillary break	shall be installed in	compliance with at least or	ne of the
	a v shr AC 2. Oth	1-inch (101.6 mm) thick base of 1. vapor barrier in direct contact with rinkage, and curling, shall be use DI 302.2R-06. her equivalent methods approved	n concrete and a cored. For additional industrial by the enforcing ag	ncrete mix design, which w formation, see American C gency.	ill address bleeding
	4.505.3 MOISTURE shall not be installed	slab design specified by a license CONTENT OF BUILDING MAT d. Wall and floor framing shall no Noisture content shall be verified	FERIALS. Building report to the enclosed when	materials with visible signs the framing members exc	of water damage eed 19 percent
	 Moisture of moisture of found in S Moisture of each pi At least th 	content shall be determined with verification methods may be apposed to a spection 101.8 of this code. readings shall be taken at a point liece verified. hree random moisture readings so the to the enforcing agency provide	either a probe-type broved by the enforcing t 2 feet (610 mm) to the chall be performed o	or contact-type moisture ning agency and shall satis 4 feet (1219 mm) from the	fy requirements grade stamped end th documentation
	Insulation products venclosure in wall or recommendations p	which are visibly wet or have a hi floor cavities. Wet-applied insula prior to enclosure.	igh moisture conten ation products shall	t shall be replaced or allow follow the manufacturers' o	ved to dry prior to drying
	4.506 INDOOF 4.506.1 Bathroom of following:	R AIR QUALITY AND EXexhaust fans. Each bathroom s	XHAUST hall be mechanicall	y ventilated and shall comp	oly with the
		II be ENERGY STAR compliant a inctioning as a component of a wi control.			
	equ adj b. Ah	imidity controls shall be capable of ual to 50% to a maximum of 80% justment. numidity control may be a separat egral (i.e., built-in)	6. A humidity contro	l may utilize manual or aut	omatic means of
	tub	r the purposes of this section, a b o/shower combination. phting integral to bathroom exhau			

CHAPTER 7 INSTALLER & SPECIAL INSPECTOR QUALIFICATIONS 702 QUALIFICATIONS

702.1 INSTALLER TRAINING. HVAC system installers shall be trained and certified in the proper installation of HVAC systems including ducts and equipment by a nationally or regionally recognized training or certification program. Uncertified persons may perform HVAC installations when under the direct supervision and responsibility of a person trained and certified to install HVAC systems or contractor licensed to install HVAC systems. Examples of acceptable HVAC training and certification programs include but are not limited to the following:

- 1. State certified apprenticeship programs.
- 2. Public utility training programs. 3. Training programs sponsored by trade, labor or statewide energy consulting or verification organizations.
- 4. Programs sponsored by manufacturing organizations. 5. Other programs acceptable to the enforcing agency.

702.2 SPECIAL INSPECTION [HCD]. When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition to other certifications or qualifications acceptable to the enforcing agency, the following certifications or education may be considered by the enforcing agency when evaluating the qualifications of a special inspector:

- 1. Certification by a national or regional green building program or standard publisher. 2. Certification by a statewide energy consulting or verification organization, such as HERS raters, building
- performance contractors, and home energy auditors. 3. Successful completion of a third party apprentice training program in the appropriate trade. 4. Other programs acceptable to the enforcing agency.

1. Special inspectors shall be independent entities with no financial interest in the materials or the

project they are inspecting for compliance with this code. 2. HERS raters are special inspectors certified by the California Energy Commission (CEC) to rate homes in California according to the Home Energy Rating System (HERS).

[BSC] When required by the enforcing agency, the owner or the responsible entity acting as the owner's agent shall employ one or more special inspectors to provide inspection or other duties necessary to substantiate compliance with this code. Special inspectors shall demonstrate competence to the satisfaction of the enforcing agency for the particular type of inspection or task to be performed. In addition, the special inspector shall have a certification from a recognized state, national or international association, as determined by the local agency. The area of certification shall be closely related to the primary job function, as determined by the local agency.

Note: Special inspectors shall be independent entities with no financial interest in the materials or the project they are inspecting for compliance with this code.

703 VERIFICATIONS

703.1 DOCUMENTATION. Documentation used to show compliance with this code shall include but is not limited to, construction documents, plans, specifications, builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which demonstrate substantial conformance. When specific documentation or special inspection is necessary to verify compliance, that method of compliance will be specified in the appropriate section or identified applicable checklist.

Wilkins Studio

San Francisco CA (415)273-9054

Wilkins Studio Architects Contract: Karen Wilkins, AIA

785 Quintana Rd # 180

Morro Bay, CA 93442

(415) 273-9054

Owner:

No.	Description	Date
	Submittal	11/17/202
G	reen Sheet	
	part 2	

DISCLAIMER: THIS DOCUMENT IS PROVIDED AND INTENDED TO BE USED AS A MEANS TO INDICATE AREAS OF COMPLIANCE WITH THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER TO MEET THOSE INDIVIDUAL PROJECT BASIS AND MAY BE MODIFIED BY THE END USER ASSUMES ALL RESPONSIBILITY ASSOCIATED WITH THE USE OF THIS DOCUMENT, INCLUDING VERIFICATION WITH THE FULL CODE.

4.507 ENVIRONMENTAL COMFORT

sized, designed and have their equipment selected using the following methods:

ASHRAE handbooks or other equivalent design software or methods.

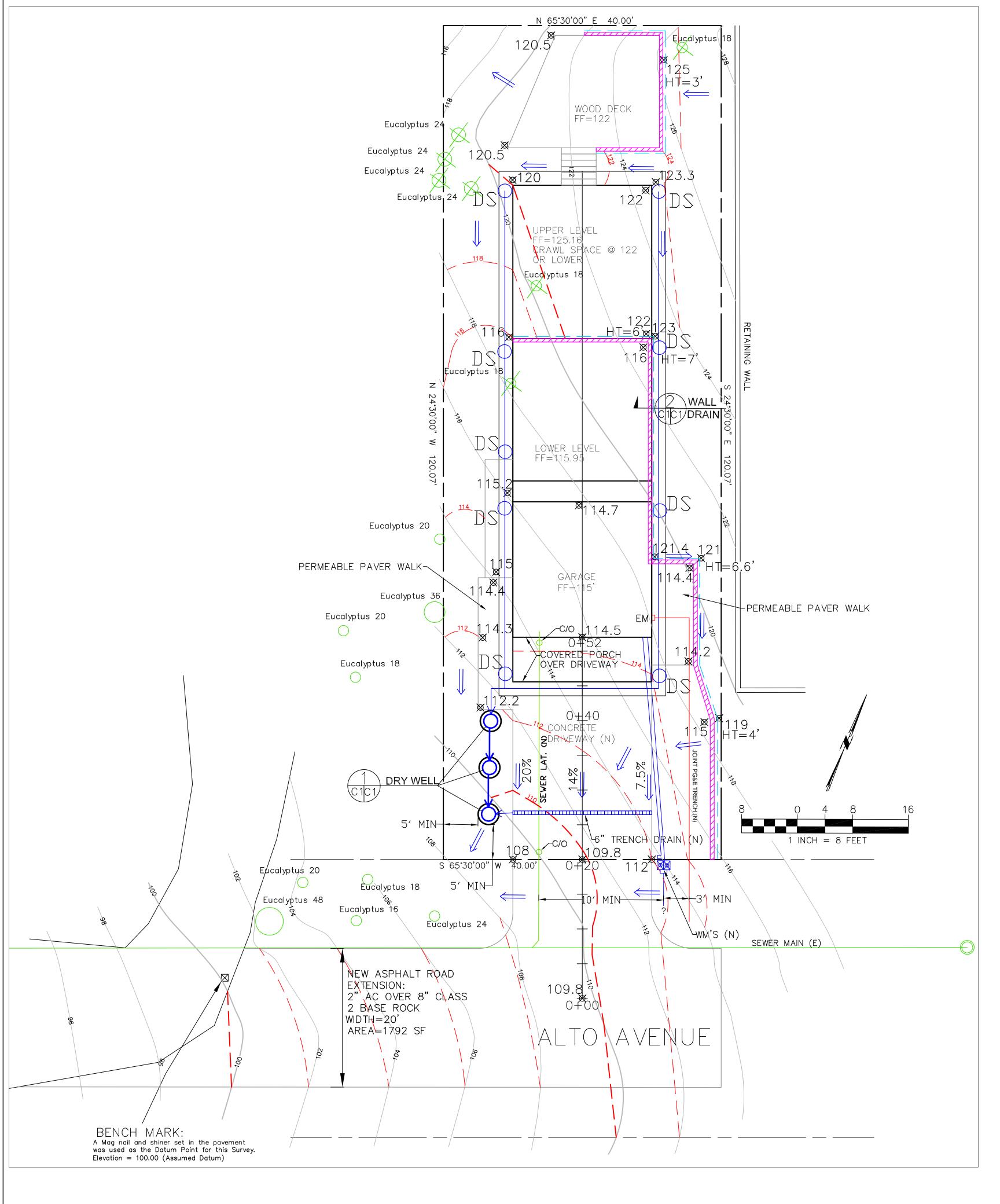
Equipment Selection), or other equivalent design software or methods.

4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. Heating and air conditioning systems shall be

3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S - 2014 (Residential

Exception: Use of alternate design temperatures necessary to ensure the system functions are

1. The heat loss and heat gain is established according to ANSI/ACCA 2 Manual J - 2011 (Residential Load Calculation), ASHRAE handbooks or other equivalent design software or methods. 2. Duct systems are sized according to ANSI/ACCA 1 Manual D - 2014 (Residential Duct Systems),



DRAINAGE NOTES

1. DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.

2. ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DRY WELLS, AS SHOWN.

3. ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.

4. IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN/ENERGY DISSIPATER TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

GRADING NOTES

CUT VOLUME: 235 CY FILL VOLUME: 5 CY TOTAL: 240 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

LEGEND

// EXISTING CONTOURS PROPOSED CONTOURS PROPOSED SPOT ELEVATION

PROPOSED RETAINING WALL



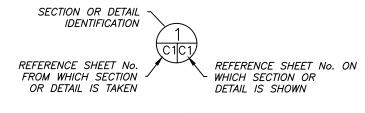
— 4′ MIN PERFORATED DRAIN PIPE

4" MIN SOLID DRAIN PIPE

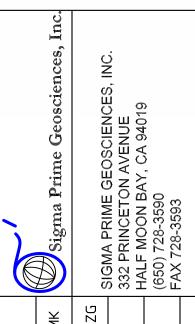
GENERAL NOTES

- 1. PLANS PREPARED AT THE REQUEST OF: PAUL McGREGOR, OWNER
- 2. TOPOGRAPHY BY PAT McNULTY, SURVEYED MARCH, 2015.
- 3. THIS IS NOT A BOUNDARY SURVEY. 4. ELEVATION DATUM ASSUMED.
- THE GEOTECHNICAL REPORT:
- GEOTECHNICAL STUDY: POWER PROPERTY, 3RD STREET MONTARA, APN 036-013-010; DATE: PENDING, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 20-126 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE
- GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL
- RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- 6. STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT. AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUG-BGRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS AND PHONE NUMBER (650-306-8405 EXT 181) TO SCHEDULE COUNTY DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

SECTION AND DETAIL CONVENTION







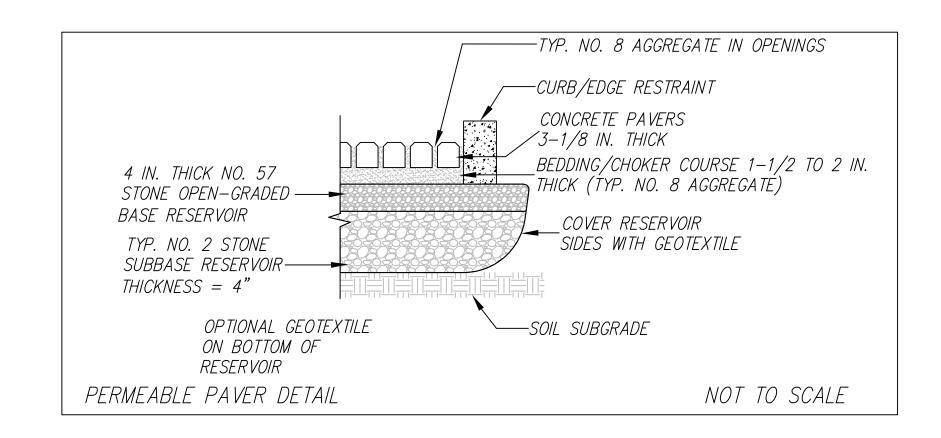
No. 62264

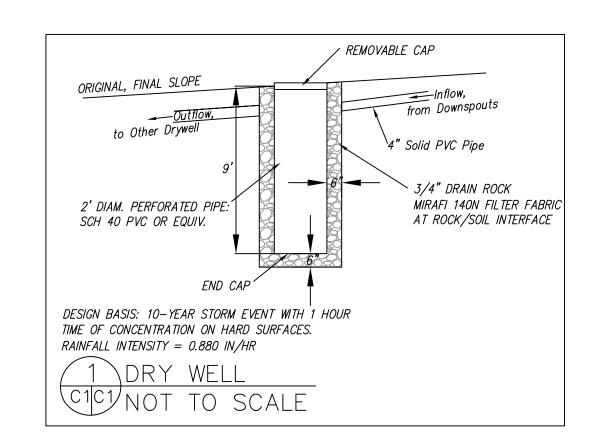
AND PLAN

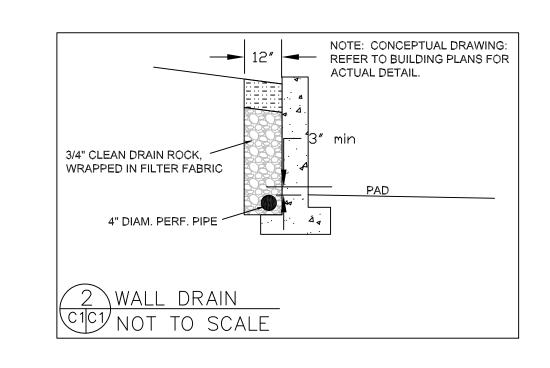
GRADING DRAINAGE MCGREGOR ALTO A MIRA APN 048-

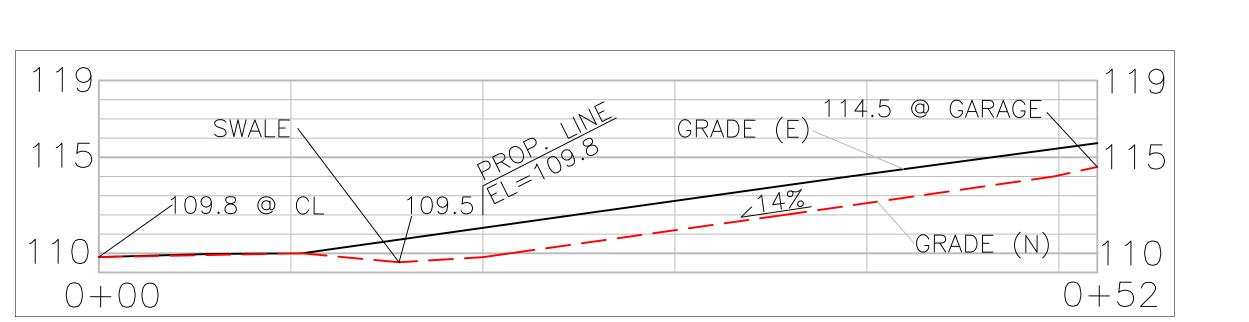
SHEET

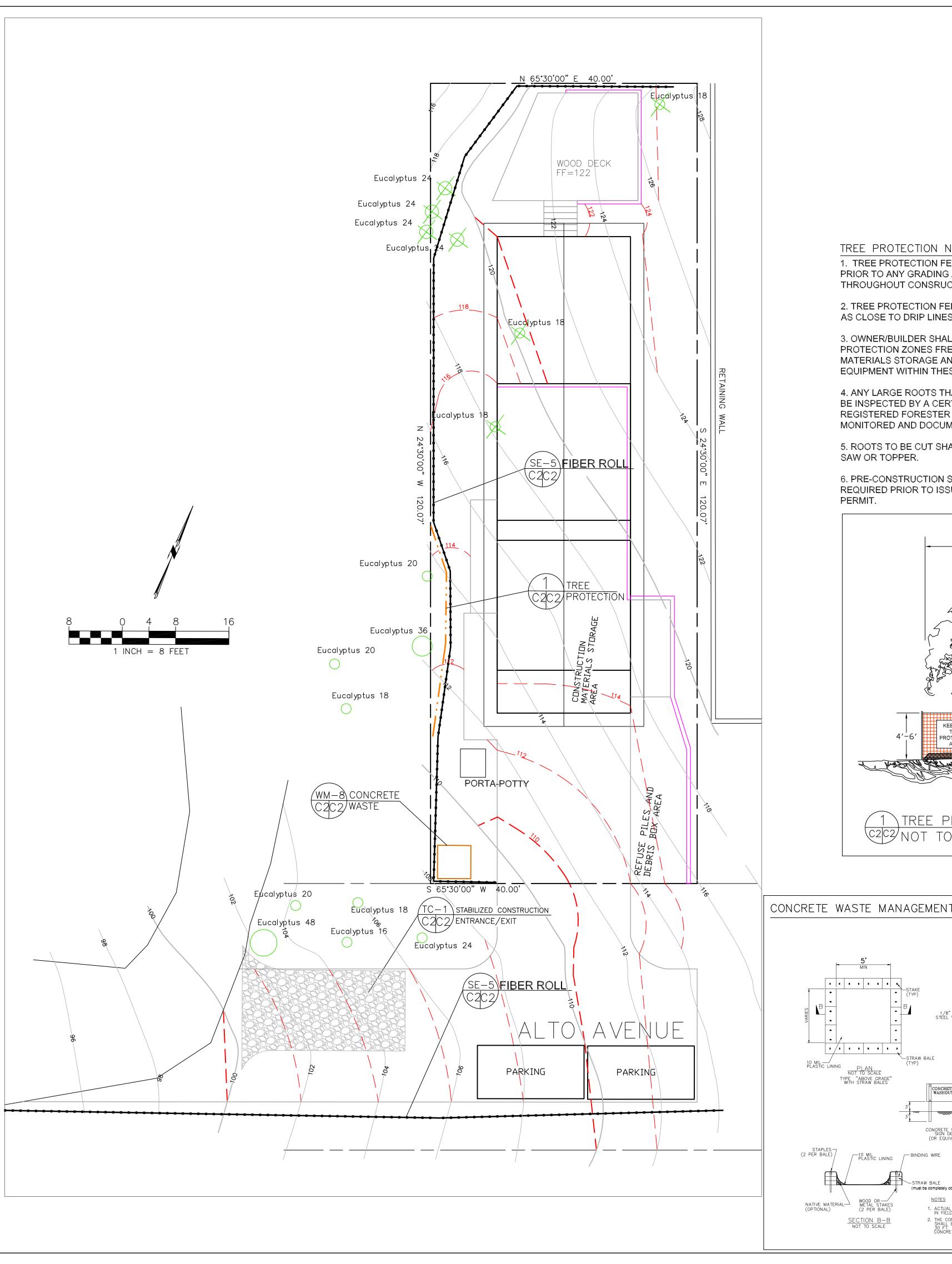
 \bigcup —











TREE PROTECTION NOTES 1. TREE PROTECTION FENCING SHALL BE INSTALLED PRIOR TO ANY GRADING AND REMAIN ON-SITE

2. TREE PROTECTION FENCES SHALL BE INSTALLED AS CLOSE TO DRIP LINES AS POSSIBLE.

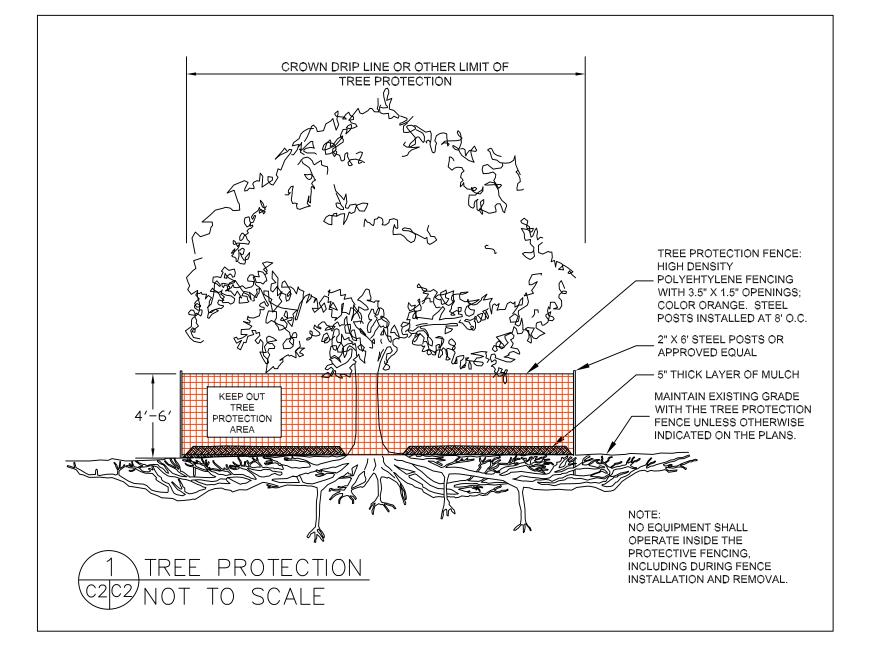
THROUGHOUT CONSRUCTION PROCESS.

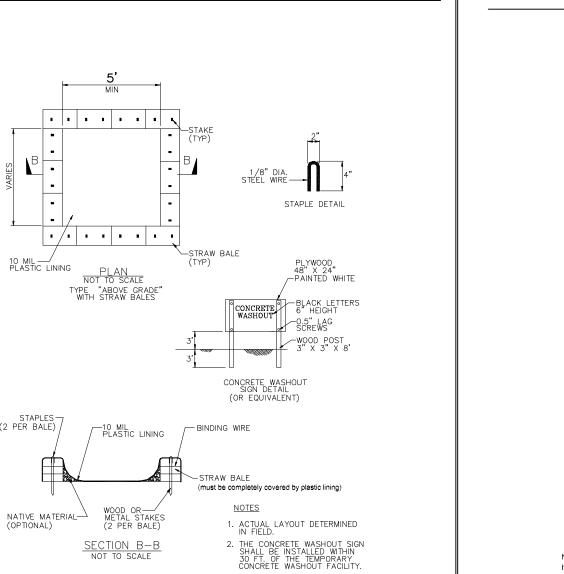
3. OWNER/BUILDER SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY **EQUIPMENT WITHIN THESE AREAS.**

4. ANY LARGE ROOTS THAT NEED TO BE CUT SHALL BE INSPECTED BY A CERTIFIED ARBORIST OR REGISTERED FORESTER PRIOR TO CUTTING, AND MONITORED AND DOCUMENTED.

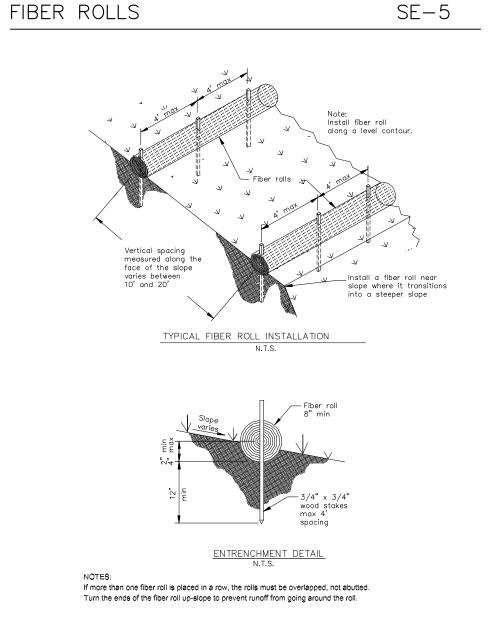
5. ROOTS TO BE CUT SHALL BE SEVERED WITH A SAW OR TOPPER.

6. PRE-CONSTRUCTION SITE INSPECTION WILL BE REQUIRED PRIOR TO ISSUANCE OF BUILDING





8-MW



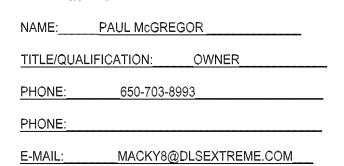
GENERAL EROSION AND SEDIMENT CONTROL NOTES

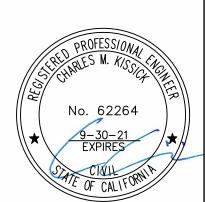


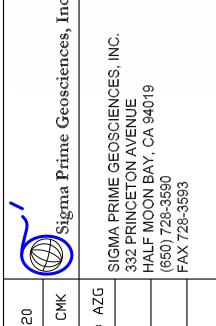
- · There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- · Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- · Erosion control materials to be on-site during off-season.
- · Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- · Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- · Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- · Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- · Limit construction access routes to stabilized, designated access points
- · Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- · Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- · Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- · Dust control is required year-round.
- · Erosion control materials shall be stored on-site.

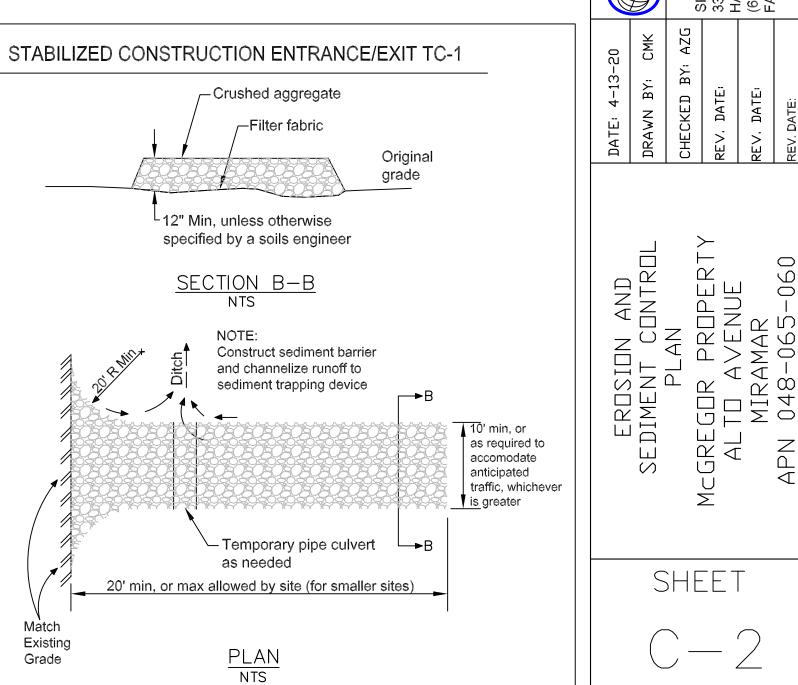
EROSION CONTROL POINT OF CONTACT

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE ARE REQUIRED.









SITE PLAN KEYNOTES DESCRIPTION (NOT ALL SYMBILS NECESSARY ON THIS SHEET) 01 00 GENERAL 01 01 PROPERTY LINE SETBACKS 01 03 EXISTING RETAINING WALL 01 04 EXISTING TREE TO REMOVE 02 00 SITE CONSTRUCTION 02 01 SWALES 02 02 6" TRENCH DRAIN 02 03 3' x10' DEEP ENERGY DISSIPATER 02 04 (2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF 02 05 NEW ASPHALT APRON 03 00 CONCRETE 03 01 PROPOSED CONCRETE DRIVEWAY 03 02 CONCRETE RETAINING WALL 04 00 MASONRY 04 01 PROPOSED PAVERS SET IN SAND 04 02 PROPOSED PAVERS WALKWAY PLUMBING 22 00 22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS 22 01 VALVE) CONTRACTOR TO VERIFY 22 02 GAS LINE 22 03 WATER METER **GAS METER** 26 00 ELECTRICAL 26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

GENERAL SITE NOTES

MAIN ELECTRICAL SERVICE

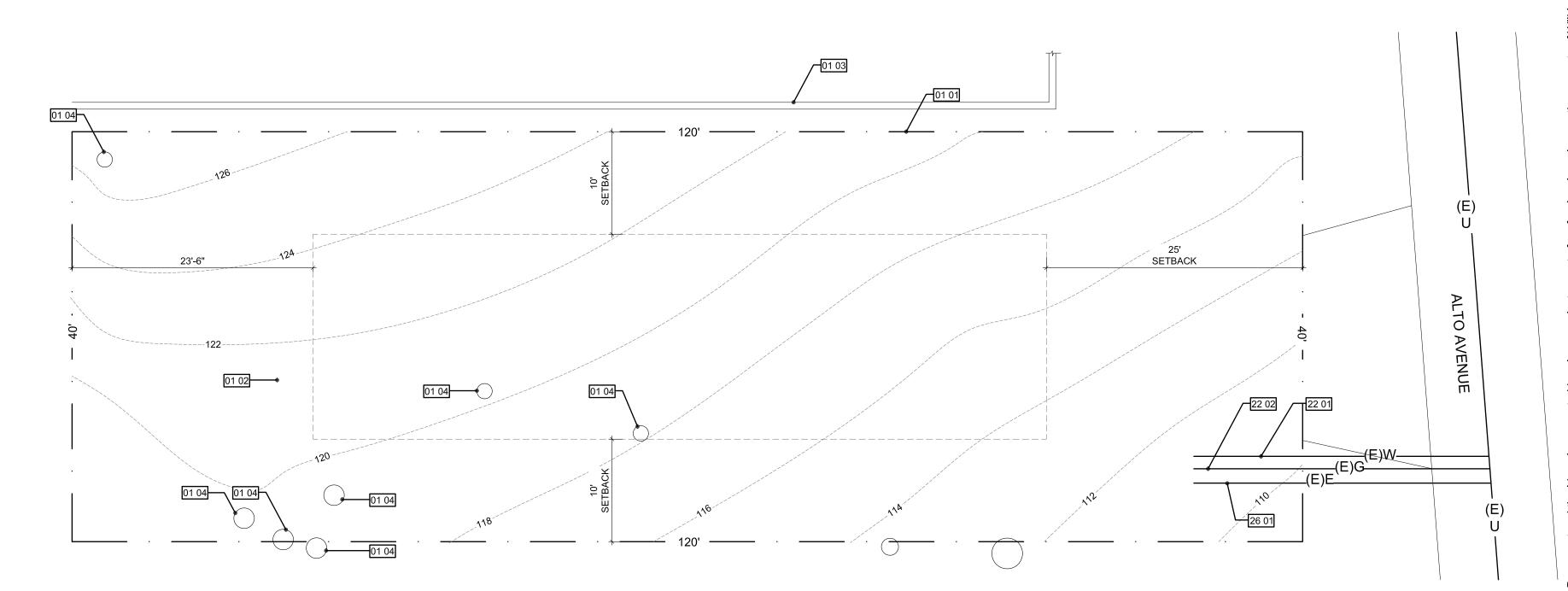
ELECTRICAL METER

26 02

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) ⁻ P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S —	NEW BUILDINGS SEWER
— u —	UTILITY LINES







Architects

San Francisco CA

(415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

O 0 idence Bay, -060 $\mathbf{\Omega}$ alf Moon E 048-065-Resi

Description Date

Existing Site Plan

Scale: As Noted Sheet size: Arch D

SITE PLAN KEYNOTES DESCRIPTION (NOT ALL SYMBILS NECESSARY ON THIS SHEET) 01 00 GENERAL 01 01 PROPERTY LINE SETBACKS 01 03 EXISTING RETAINING WALL 01 04 EXISTING TREE TO REMOVE 02 00 SITE CONSTRUCTION 02 01 SWALES 02 02 6" TRENCH DRAIN 02 03 3' x10' DEEP ENERGY DISSIPATER 02 04 (2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF 02 05 NEW ASPHALT APRON 03 00 CONCRETE 03 01 PROPOSED CONCRETE DRIVEWAY 03 02 CONCRETE RETAINING WALL 04 00 MASONRY 04 01 PROPOSED PAVERS SET IN SAND 04 02 PROPOSED PAVERS WALKWAY

22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

VALVE) CONTRACTOR TO VERIFY

MAIN ELECTRICAL SERVICE

ELECTRICAL METER

WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS

GENERAL SITE NOTES

PLUMBING

GAS LINE

WATER METER **GAS METER**

ELECTRICAL

22 00

22 01

22 02

22 03

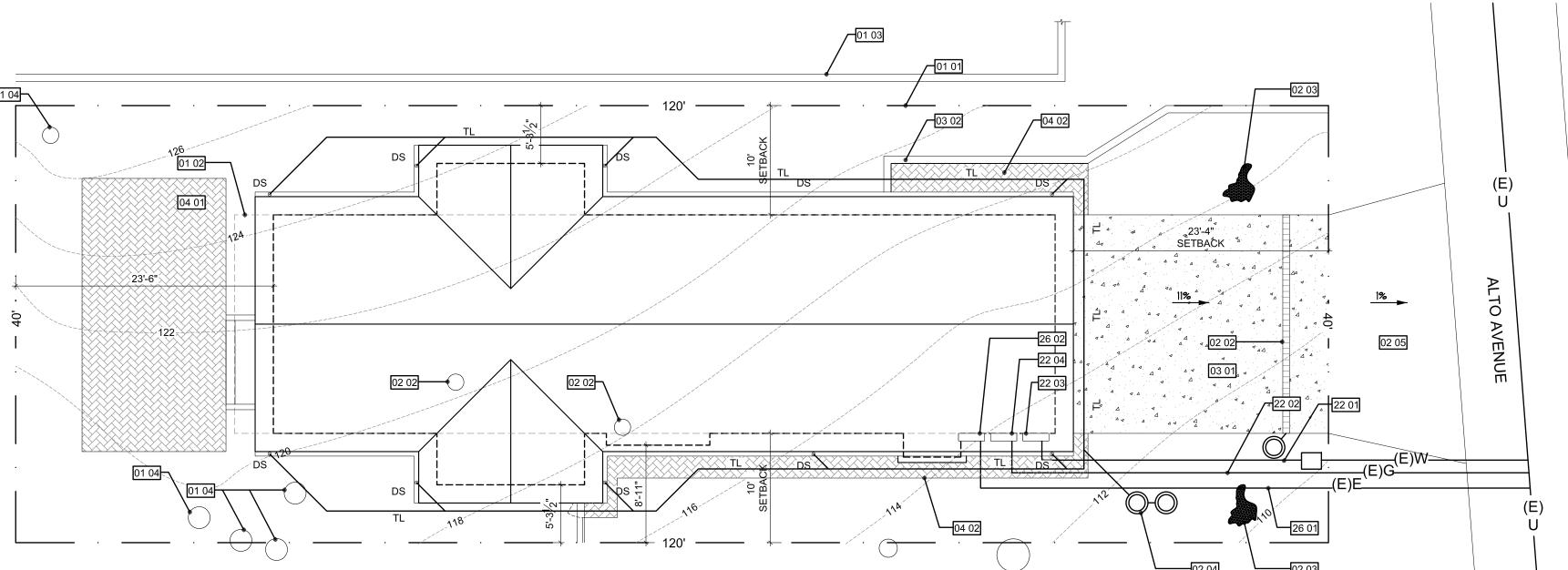
26 00

26 02

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

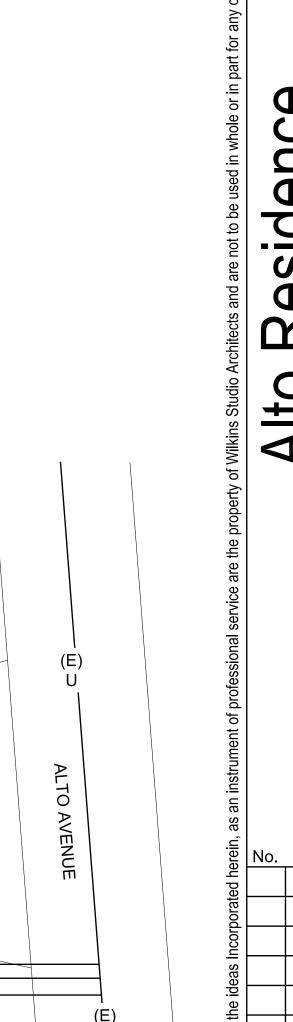
LINE LEGEND

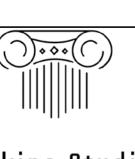
—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) ^P —	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S —	NEW BUILDINGS SEWER
— u —	UTILITY LINES



PROPOSED SITE PLAN

SCALE: 1/8" =1'-0"





Architects

San Francisco CA

(415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

Ö 0 idence Bay, -060 $\mathbf{\Omega}$ 065 alf Moon 048-065 Resi Half

> Description Date Submittal

Proposed Site

Sheet size: Arch D

GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- 2. FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- 3. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- 4. THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED, POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- 6. SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- 7. ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL. AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
- 10. ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- 11. A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OFWAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- 12. THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- 13. THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD CONSTRUCTION. 14.HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION. 15.FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED. THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR. B. DOCUMENT THAT THE REGULATORY 16.WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMIT/S OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

GRADING NOTES

- 1. ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. 12.MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING. 13.MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- 3. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit. 16.ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.
- 4. ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- 6. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS
- 7. ESTIMATED EARTH QUANTITIES: FRONT YARD RETAINING WALL 48 CU. YARDS DRIVEWAY 56 CU. YARDS NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- 8. SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION
- ORDINANCES. 9. NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL
- TO ONE VERTICAL (2:1).
- 10. DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. 11. AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- 12. FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY. 10.REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

UNDERGROUND UTILITY NOTES

- 1. AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

APPLICABLE CODES

2019 BUILDING STANDARDS CODES · CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019 IBC) CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC) CALIFORNIA PLUMBING CODE (2019 UPC) · CALIFORNIA MECHANICAL CODE (2019 UMC) CALIFORNIA ELECTRICAL CODE (2019 NEC) CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019) CALIFORNIA GREEN BUILDING CODE California Fire Code (2019 IFC) · CALIFORNIA REFERENCE STANDARDS CODE · COUNTY BUILDING AND CONSTRUCTION ORDINANCE -TITLE 19 COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23

COUNTY FIRE CODE ORDINANCE - TITLE 16

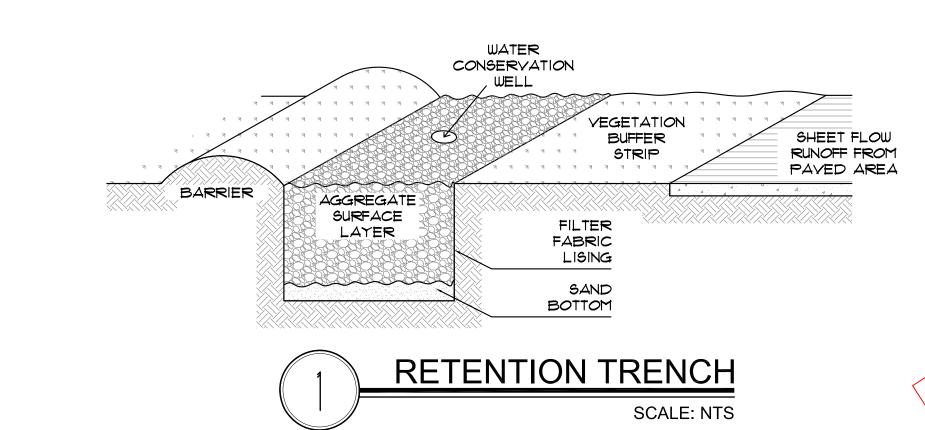
COUNTY LAND USE ORDINANCE -TITLE 22

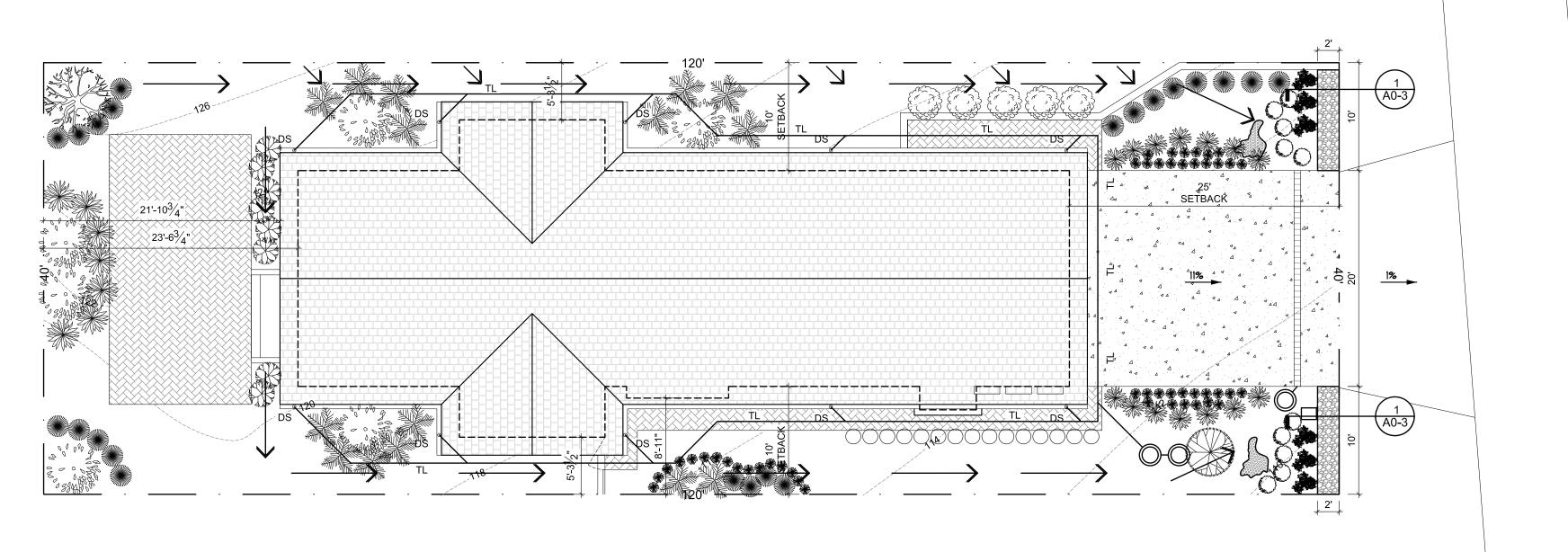
LEGEND

	PROPERTY LINE
	SETBACK
	EXISTING GROUND CONTOUR
550	FINISH GRADE CONTOUR
	CONCRETE
	EDGE OF PAVEMENT
——————————————————————————————————————	WATER LINE
₩V	WATER VALVE
Σ	FIRE HYDRANT
s	SANITARY SEWER MAIN
——— E ———	ELECTRICAL LINE
ල	UTILITY POLE
E	ELEC. VAULT / PEDESTAL / PULL BOX
T	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
	FENCE
——— G ———	GAS MAIN
$\cdots \longrightarrow \cdots \longrightarrow \cdots$	SWALE
<u>2%</u> →	PROPOSED GRADE & DIRECTION
100.0 FLEV	SPOT ELEVATION
DS	DOWN SPOUT

IMPERVIOUS AREAS AREAS | SQ FT PROPERTY 4,802.80 100 **BUILDINGS FOOT** 1,567.37 32.63 DRIVEWAY AND 603.75 SIDEWALKS 12.57 2,631.68 54.80 LANDSCAPING

2,171.12 SQ. FT. ÷ 4,802.80 SQ. FT. X 7,600 CU. FT. = VOLUME OF DETENTION REQUIRED 16,812.19 (CU. FT.)







Wilkins Studio Architects San Francisco CA (415)273-9054

SED ARM

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

0 0 enc Bay -06(\Box O 9 0 ___ **(1)** alf AP

0

Description Date

Drainage Site

FIRE SAFELY NOTES

- 1. SEE SITE PLAN FOR FUEL MODIFICATION ZONE. MAINTAIN A VEGETATION CLEARANCE OF 30' AROUND ALL BUILDINGS AND STRUCTURES. REMOVE LIMBS LOCATED WITHIN 10' OF CHIMNEY & TRIM DEAD/DYING LIMBS THAT OVERHANG THE ROOF, LEAVES, NEEDLES, OR DEAD GROWTH SHALL BE REMOVED FROM THE ROOF. [NOTE: NO TREES
- OCCUR ON SITE.1 2. SMOKE & CARBON MONOXIDE DETECTOR SMOKE DETECTORS ARE REQUIRED IN ALL SLEEPING AREAS AND IN HALLWAYS LEADING TO SLEEPING AREAS.
- 3. ANY PORTION OF A FENCE OR OTHER STRUCTURE WITHIN FIVE FEET OF THE BUILDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR APPROVED EXTERIOR FIRE-RETARDANT WOOD OR MATERIAL THAT MEETS THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE BUILDING.
- AND PERMANENTLY MARKED ON THE FIRE CONNECTION. A BLUE DOT REFLECTOR TO BE LOCATED NEAR THE FIRE CONNECTION. 5. TEN FEET OF FUEL MODIFICATION TO BE ON BOTH SIDES OF THE ACCESS ROAD AND
- DRIVEWAY. ROAD TO BE CAPABLE OF SUPPORTING 20 TONS WITH 13'-6" OF UNOBSTRUCTED VERTICAL CLEARANCE.

4. IF FIRE CONNECTION HAS LESS THAN 20 PSI, THE WORD "DRAFT" WILL BE CLEARLY

- 6. PERMANENT ADDRESS NUMBERS TO BE PLACED AT THE DRIVEWAY ENTRANCE AND ON THE RESIDENCE WITH MIN 6" AND 1/2" STROKE. 7. DEFERRED SUBMITTAL FOR FIRE SPRINKLER IS REQUIRED AND SUBMIT TO BUILDING AND
- SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 8. THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314
- 9. SPECIAL CONSTRUCTION REQUIREMENTS IN FIRE HAZARD SEVERITY ZONE NEW BUILDINGS LOCATED WITHIN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILD LAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE LOCAL JURISDICTION OR IN A STATE RESPONSIBILITY AREA (SRA) SHALL COMPLY WITH THE REQUIREMENTS OF 2019 CRC SEC. R327 FOR EXTERIOR WILDFIRE EXPOSURE: [§ R327.] .3 CRC].
- 10. 705A ROOFING: CLASS COOL ROOF .LIST PRODUCT.

AND R315.

- 11. WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (26 GA GSM) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72# MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 RUNNING THE FULL
- LENGTH OF THE VALLEY. [§R327.5.3]
- 12. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4] 13. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO
- THE ATTIC OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH W/ OPENING 1/16" MINIMUM AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- EXTERIOR PORCH CEILINGS SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED ONE-HOUR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA OF SFM 12-7 A-3. [§R327.7.6]
- 15. EXPOSED UNDERSIDE OF FLOOR PROJECTIONS OVER AN EXTERIOR WALL SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED 1-HR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA O SFM 12-7 A-3. [§R327.7.7]
- 16. 707A EXTERIOR WALLS: NONCOMBUSTIBLE FRAMING SYSTEM W/ 17. CAL FIRE APPROVED WOOD OR NONCOMBUSTIBLE CEMENTITIOUS SIDING PER
- DETAILS ON PLANS. 18. NONCOMBUSTIBLE FERROUS METAL SIDING PER DETAILS ON PLANS.
- 19. EAVES/CANOPY: METAL CEILING
- 20. 708A EXTERIOR WINDOWS & FRENCH DOORS: DUAL GLAZED WITH ONE PANE TEMPERED OR 20 MIN RATED. EXTERIOR DOORS: 20 MINUTES RATED OR MEET STANDARD OF WINDOW ABOVE.
- 21. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI PANE GLAZING W/ A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257,
- OR MEET THE REQUIREMENTS OF SFM 12-7 A-2. [§R327.8.2.1] 22. EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, OR SOLID CORE WOOD W/ STILES AND RAILS NOT LESS THAN 1 3/8" THICK W/ FIELD PANEL NO LESS THAN 1 1/4" THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING
- TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 12-7 A-1. [§R327.8.3] 23. 709A - DECKING: TREX OR EQUAL DECKING LISTED BY CAL FIRE FOR WIND LAND URBAN INTERFACE FRAMING TO BE NON-COMBUSTIBLE OR CONCEALED WITH APPROVED CEMENTITIOUS SIDING SYSTEM
- 24. WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES, AND STAIRS LOCATED WITHIN 10' OF THE BUILDING SHALL BE IGNITION-RESISTANT MATERIAL COMPLYING WITH BOTH SFM 12-7 A-4 AND SFM 12-7 A-5. EXTERIOR FIRE RETARDANT TREATED WOOD, NONCOMBUSTIBLE MATERIAL, OR MEET THE REQUIREMENTS OF SFM 12-7 A-4A WHEN THE EXTERIOR WALL COVERING IS EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT. [§R327.9.2, R327.9.3]
- 25. 710A ACCESSORY STRUCTURES: DESIGNED TO MEET REQUIREMENTS STATED ABOVE. (NONE PROPOSED)

GENERAL NOTES

SITE GRADING AND SLOPE ARE BASED ON OWNERS DESCRIPTION. ARCHITECT WAS NOT PROVIDED WITH UPDATED PROPERTY SLOPE AND GRADING DOCUMENTS FOR THIS DESIGN, OWNER MUST PROVIDE LEGAL SURVEY TO VERIFY SLOPE AND TO SUBMIT TO ARCHITECT FOR ASSESSMENT AND PLAN ADJUSTMENTS PRIOR TO CONSTRUCTION.

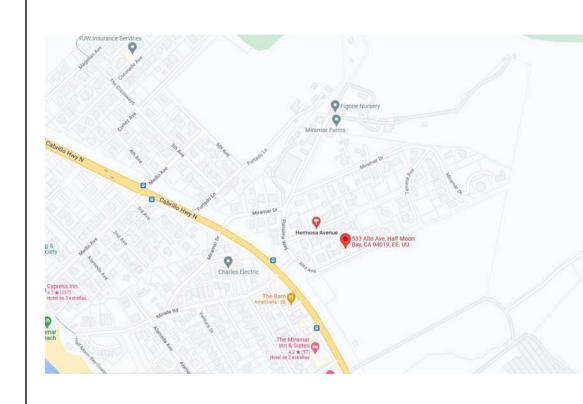
GENERAL NOTES FIRE PROTECTION

- CERTAIN TERMS ARE DEFINED AS FOLLOWS: 1, CDF DIRECTOR, DIRECTOR OF THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE
- 2. FIRE PROTECTION PLAN. A DOCUMENT PREPARED FOR A SPECIFIC PROJECT OR DEVELOPMENT PROPOSED FOR A WILDLAND-URBAN INTERFACE FIRE AREA. IT DESCRIBES WAYS TO MINIMIZE AND MITIGATE POTENTIAL FOR LOSS FROM WILDFIRE
- 3. THE FIRE PROTECTION PLAN SHALL BE IN ACCORDANCE WITH THIS ARTICLE. WHEN REQUIRED BY THE ENFORCING AGENCY FOR THE PURPOSES OF GRANTING MODIFICATIONS, A FIRE PROTECTION PLAN SHALL BE SUBMITTED. ONLY LOCALLY
- STANDARDS COMMISSION IN ACCORDANCE WITH SECTION 101.14 OR THE DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT IN ACCORDANCE WITH SECTION 101.15 SHALL APPLY.
- CALIFORNIA PUBLIC RESOURCES CODES. SECTIONS 4201 THROUGH 4204 AND CLASSIFIED AS VERY HIGH, HIGH, OR MODERATE IN STATE RESPONSIBILITY AREAS OR
- 5. THE CALIFORNIA CODE OF REGULATIONS, TITLE 14, SECTION 1280 ENTITLES THE MAPS OF THESE GEOGRAPHICAL AREAS AS "MAPS OF THE FIRE HAZARD SEVERITY ZONES IN
- LOCAL AGENCY UPON THE RECOMMENDATION OF THE CDF DIRECTOR PURSUANT TO GOVERNMENT CODE, SECTIONS 51177(C), 51178 AND 5118, THAT IS NOT A STATE
- 7. STATE RESPONSIBILITY AREA. LANDS THAT ARE CLASSIFIED BY THE BOARD OF FORESTRY PURSUANT TO PUBLIC RESOURCES CODE SECTION 4125 WHERE THE FINANCIAL RESPONSIBILITY OF PREVENTING AND SUPPRESSING FOREST FIRES IS
- 8. WILDFIRE. ANY UNCONTROLLED FIRE SPREADING THROUGH VEGETATIVE FUELS THAT THREATENS TO DESTROY LIFE, PROPERTY, OR RESOURCES AS DEFINED IN PUBLIC
- FIRE TO A STRUCTURE AND ITS IMMEDIATE ENVIRONMENT. 10. WILDLAND-URBAN INTERFACE FIRE AREA. A GEOGRAPHICAL AREA IDENTIFIED BY THE STATE AS A "FIRE HAZARD SEVERITY ZONE" IN ACCORDANCE WITH THE PUBLIC RESOURCES CODE, SECTIONS 4201 THROUGH 4204, AND GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189, OR OTHER AREAS DESIGNATED BY THE ENFORCING
- 11. SECTION 4903 PLANS [RESERVED] 12. SECTION 4904 FIRE HAZARD SEVERITY ZONES
- 13. LANDS IN THE STATE ARE CLASSIFIED BY THE CDF DIRECTOR IN ACCORDANCE WITH THE SEVERITY OF WILDFIRE HAZARD EXPECTED TO PREVAIL IN THOSE AREAS AND WHICH WILL REDUCE THE POTENTIAL FOR LOSSES TO LIFE, PROPERTY, AND
- 14. 4904.2 CLASSIFICATIONS 15. THE CDF DIRECTOR CLASSIFIES LANDS INTO FIRE HAZARD SEVERITY ZONES IN ACCORDANCE WITH CALIFORNIA PUBLIC RESOURCES CODE, SECTIONS 4201
- GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189 FOR AREAS WHERE A LOCAL AGENCY IS RESPONSIBLE FOR FIRE PROTECTION. 16. SECTION 4905 WILDFIRE PROTECTION BUILDING CONSTRUCTION
- PROTECTION SHALL BE APPLIED WITHIN GEOGRAPHICAL AREAS WHERE A WILDFIRE BURNING IN VEGETATIVE FUELS MAY READILY TRANSMIT FIRE TO BUILDINGS AND THREATEN TO DESTROY LIFE, OVERWHELM FIRE SUPPRESSION CAPABILITIES, OR
- 19. WITHIN THE LIMITS ESTABLISHED BY LAW, CONSTRUCTION METHODS INTENDED TO MITIGATE WILDFIRE EXPOSURE SHALL COMPLY WITH THE WILDFIRE PROTECTION
- STANDARDS CODE, INCLUDING THE FOLLOWING: 20. CALIFORNIA BUILDING CODE, CHAPTER 7A,
- 21. CALIFORNIA RESIDENTIAL CODE, SECTION R337,
- 23. 4905.3 ESTABLISHMENT OF LIMITS
- 24. THE ESTABLISHMENT OF LIMITS FOR THE WILDLAND-URBAN INTERFACE FIRE AREA'S REQUIRED CONSTRUCTION METHODS SHALL BE DESIGNATED PURSUANT TO THE CALIFORNIA PUBLIC RESOURCES CODE FOR STATE RESPONSIBILITY AREAS OR BY A LOCAL AGENCY FOLLOWING A FINDING SUPPORTED BY SUBSTANTIAL EVIDENCE IN
- EFFECTIVE FIRE PROTECTION WITHIN THE AREA. 25. SECTION 4906 HAZARDOUS VEGETATION AND FUEL MANAGEMENT
- REDUCE THE RISK OF FIRE SPREADING TO BUILDINGS AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS. 27. 4906.2 APPLICATION
- 28. BUILDINGS AND STRUCTURES LOCATED IN THE FOLLOWING AREAS SHALL MAINTAIN THE REQUIRED HAZARDOUS VEGETATION AND FUEL MANAGEMENT: 29. ALL UNINCORPORATED LANDS DESIGNATED BY THE STATE BOARD OF FORESTRY
- AND FIRE PROTECTION AS STATE RESPONSIBILITY AREA (SRA) INCLUDING: 30. 1.1. MODERATE FIRE HAZARD SEVERITY ZONES.
- 31. 1.2. HIGH FIRE HAZARD SEVERITY ZONES. 32. 1.3. VERY-HIGH FIRE HAZARD SEVERITY ZONES.
- 33. LAND DESIGNATED AS VERY-HIGH FIRE HAZARD SEVERITY ZONE BY CITIES AND OTHER LOCAL AGENCIES.
- 35. HAZARDOUS VEGETATION AND FUELS AROUND ALL APPLICABLE BUILDINGS AND STRUCTURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING LAWS
- 36. PUBLIC RESOURCES CODE, SECTION 4291.
- 37. CALIFORNIA CODE OF REGULATIONS, TITLE 14, DIVISION 1.5, CHAPTER 7, SUBCHAPTER 3, SECTION 1299 (SEE GUIDANCE FOR IMPLEMENTATION "GENERAL GUIDELINE TO CREATE DEFENSIBLE SPACE").
- 40. SECTION 4907 DEFENSIBLE SPACE

51175 — 51189 and any local ordinance of the authority having jurisdiction.

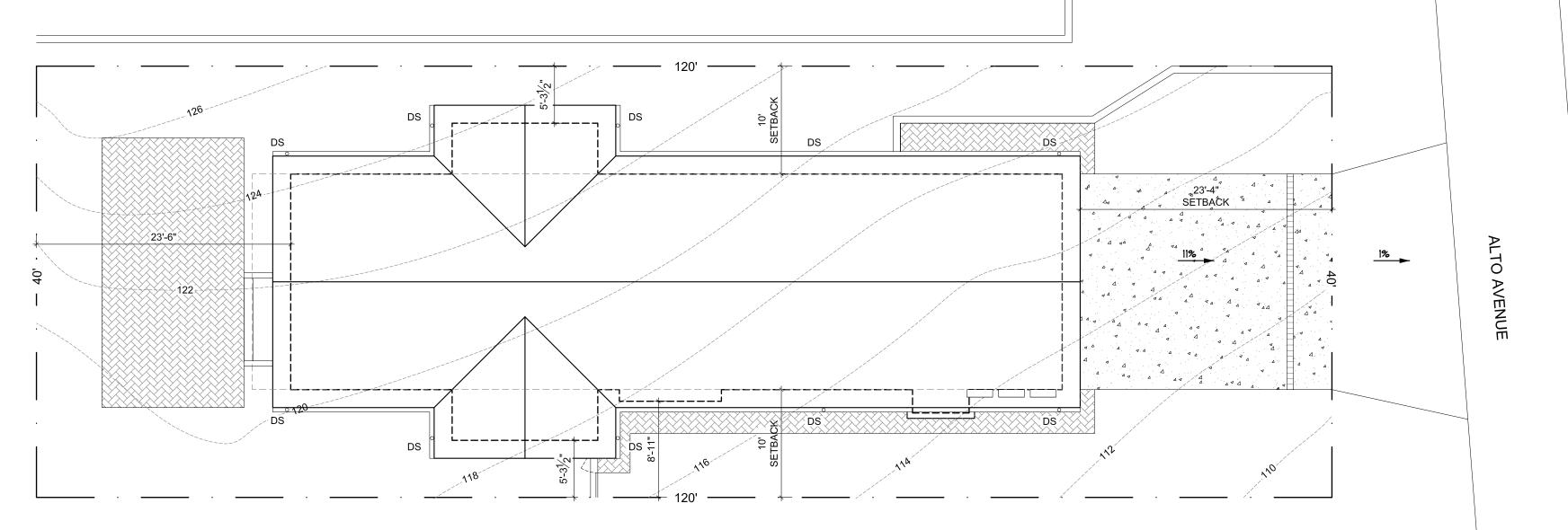
Area (SRA) as required in Public Resources Code 4290 and "SRA Fire Safe Regulations" California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Section 1270.

VICINITY MAP



- PROTECTION.
- EXPOSURE.
- ADOPTED ORDINANCES THAT HAVE BEEN FILED WITH THE CALIFORNIA BUILDING
- 4. FIRE HAZARD SEVERITY ZONES. GEOGRAPHICAL AREAS DESIGNATED PURSUANT TO
- AS LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONES DESIGNATED PURSUANT TO CALIFORNIA GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189.
- THE STATE RESPONSIBILITY AREA OF CALIFORNIA." 6. LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE. AN AREA DESIGNATED BY A
- RESPONSIBILITY AREA AND WHERE A LOCAL AGENCY, CITY, COUNTY, CITY AND COUNTY, OR DISTRICT IS RESPONSIBLE FOR FIRE PROTECTION.
- PRIMARILY THE RESPONSIBILITY OF THE STATE.
- RESOURCES CODE, SECTIONS 4103 AND 4104. 9. WILDFIRE EXPOSURE. ONE OR A COMBINATION OF RADIANT HEAT, CONVECTIVE HEAT, DIRECT FLAME CONTACT AND BURNING EMBERS BEING PROJECTED BY VEGETATION
- AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
- THE RESPONSIBILITY FOR FIRE PROTECTION, SO THAT MEASURES MAY BE IDENTIFIED RESOURCES FROM WILDFIRE.
- THROUGH 4204 FOR STATE RESPONSIBILITY AREAS AND ACCORDANCE WITH
- 17. MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE
- RESULT IN LARGE PROPERTY LOSSES. 18. 4905.2 CONSTRUCTION METHODS AND REQUIREMENTS WITHIN ESTABLISHED LIMITS
- BUILDING CONSTRUCTION REQUIREMENTS CONTAINED IN THE CALIFORNIA BUILDING
- 22. CALIFORNIA REFERENCED STANDARDS CODE, CHAPTER 12-7A.
- THE RECORD THAT THE REQUIREMENTS OF THIS SECTION ARE NECESSARY FOR
- 26. HAZARDOUS VEGETATION AND FUELS SHALL BE MANAGED TO REDUCE THE SEVERITY OF POTENTIAL EXTERIOR WILDFIRE EXPOSURE TO BUILDINGS AND TO

- 34. 4906.3 REQUIREMENTS
- AND REGULATIONS:
- 38. CALIFORNIA GOVERNMENT CODE, SECTION 51182.
- 39. CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 7, SUBCHAPTER 1, SECTION 3.07.
- 41. Defensible space will be maintained around all buildings and structures in State Responsibility 42. Buildings and structures within the Very-high Fire Hazard Severity Zones of a Local Responsibility Areas (LRA) shall maintain defensible space as outlined in Government Code





San Francisco CA

(415)273-9054

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

No. Description Date Submittal

Fire Safety Plan

APPLICANT NOTES/ SIZE/ CHECHK-OFF SYMBOL COMPONENT MANUFACTURER MODEL COLOR COMPONENTS WATER METER CONTROLLER AUTOMATIC IRRIGATION CONTROLLER HUNTER PRO-C INDOOR UTILIZING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA OR (RAIN, FREEZE, WIND, ETC.), WHICH SHALL BE REQUIRED FOR IRRIGATION SCHEDULING IN ALL IRRIGATION SYSTEMS. (15.92.110.A.1.B) **WEATHER** HUNTER | SOLAR-SYNC-SEN | WIRED SENSOR **FULL PORT BALL** NIBCO 585 LINE SIZE **VALVE** PVC SCH 40 WITH SCH 40 MAINLINE SOLVENT WELD FITTING PVC SCH 40 PIPE SIZE: 0-6 LATERAL PIPE GPM, 1/2" PIPE WITH SCH 40 (COLOR VARIES SOLVENT WELD 7-12 GPM: 1" PER ZONE) PIPE, **FITTINGS**

APPLICANT INSTRUCTIONS:

- 1. MEASURE ENTIRE FRONT YARD AREA. SUBTRACT HARDSCAPE AREAS TO GET THE TOTAL SQUARE FEET OF PLANTED AND IRRIGATED AREA, ENTER THIS NUMBER IN THE PLANT WATER USE TABLE ON THIS SHEET.
- 2. IF NEEDED USE A RED PEN TO ADJUST THE LAYOUT OF DRIVEWAY, PATHS AND PLANTING AREAS TO FIT YOUR
- 3. ADJUST ORIENTATION OF NORTH ARROW TO SITE CONDITION.
- 4. ADD ANY EXISTING TREES IN RED ON THE PLAN. ADJUST TREE LOCATIONS IF NEEDED TO FIT YOUR SITE.
- FILL IN PLANT WATER USE TABLE.

IRRIGATION LEGEND

- INSURE LESS THAN 25% OF PLANTED AREA IS MEDIUM WATER USE PLANTINGS.
- 7. IN THE LEGEND, CIRCLE THE HARDSCAPE MATERIALS YOU WILL BE USING AND ON DETAIL SHEETS L5-0
- 8. INDICATE ANY SUBSTITUTIONS TO THE PLANTINGS BY CROSSING OUT THE LISTED PLANTS AND WRITING THE SUBSTITUTION BELOW IN RED INK, MAKE SURE THE PLANTS USED HAVE MATCHING WATER USE AND ARE ROUGHLY THE SAME SIZE (SEE SONOMA-MARIN SAVING WATER PARTNERSHIP
- 9. THE DESIGN OF THE LANDSCAPING SHALL COMPLY WITH CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED) GUIDELINES. LOW-LYING PLANTS SHALL NOT EXCEED 2' IN HEIGHT AT MATURITY, OR MUST BE MAINTAINED TO 2' IN HEIGHT. MATURE TREE CANOPIES SHALL BE A MINIMUM OF 6' FROM GRADE, OR BE
- MAINTAINED TO A MINIMUM OF 6' FROM GRADE. 10. PURSUANT TO MMC 17.26.030.A, "A MINIMUM OF 30 PERCENT OF THE TOTAL PROJECT LOT AREA SHALL BE PROVIDED AS IMPROVED AND/OR LANDSCAPED OPEN SPACE FOR GENERAL USE.
- ADJUST LAYOUT OF PLANTING BEDS IF CHANGED ON LAYOUT SHEET.
- 12. REVIEW IRRIGATION VALVE TABLE TO ADJUST SF AREAS OF VALVE ZONES.
- 13. IF AREAS EXCEED MAX SUBZONE FLOW (3GPM) DIVIDE INTO ADDITIONAL SUBZONES AND ENTER UNDER
- SUBZONE COLUMN 14. IF AREAS EXCEED MAX ZONE FLOW (7 GPM) ADD A VALVE AND ENTER SF AREA NEXT TO NEW VALVE NUMBER ("B"
- 15. DRAW OUT NEW SUBZONE AND/OR VALVE ZONE AREA ON PLAN IN NEW COLOR.
- 16. ADD VALVE S NEEDED TO VALVE MANIFOLD.
- 17. REVIEW IRRIGATION LEGEND AND CHECK OFF THAT ALL COMPONENTS ARE SHOWN ON ADJUSTED PLAN 18. NOTE ANY EQUIPMENT SUBSTITUTIONS.

WATER USE CLASSIFICATION OF LANDSCAPE SPECIES

(WUC	OLS IV)				6	
<u> </u>		PLANT / FLOWERING	PLANT TYPE	WATER USE	SIZE	SPACING
		RHAMNUS CALIFORNICA, COFFEE BARRY"MOUND SAN BRUNO"	SHRUB		5 G	
2		ERIGARON GLAUCUS, SEASIDA DAISY	SHRUB		1 G	
3		EXISTING CYPRESS	TREE			
<u>(4)</u>		LIMONIUM PEREZII, STATICA	SHRUB		1 G	
(<u>5</u>)		LAVANDULA STOECHAS, SPANISH LAVANDAR	SHRUB		1 G	
(b)		WESTRINGIA FRUTICOSA, COAST ROSEMARY	SHRUB		1 G	
		CARAX BARBARAE, SANTA BARBARA SEDGA	SHRUB		1 G	
(8)		HABA BUXIFOLIA, BOXLAAF HABA	SHRUB		1 G	
9)		DODONEA VISCOSA 'PURPUREA", HOPSEED BUSH	SHRUB		5 G	
	2000 g	CISTUS SALVIFOLIUS, SAGALAAF ROCKROSA CISTUS PURPURAUS, ORCHID ROCKROSA	SHRUB SHRUB		1 G 1 G	
	3 - 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	PODOCARPUS GRACILIOR, FARN PINE	TREE		15 G	
(12)		CUPRESSUS MACROCARPA, MONTEREY CYPRESS	TREE		15 G	

APPLICANT CHECHK-OFF COMPONENTS	SYMBOL	COMPONENT	MANUFACTURER	MODEL	NOTES/ SIZE/ COLOR
		DRIP IRRIGATION C	ONTROL VALVE ASS	EMBLY TO INCLUDE	
		ASSEMBLY		ACZ-075-40 DRIP CONTROL ZONE KIT	ALL-IN-ONE KIT INCLUDES BACKFLOW PREVENTION, FILTER AND PRESSURE REGULATOR
	#	ANTI-SIPHON VALVE (COLOR VARIES PER ZONE)	HUNTER	PGV-ASV, INCLUDED IN KIT	3/4 INCH ANTI-SIPHON VALVE PROVIDES BACKFLOW PREVENTION
		DRIP FILTER		INCLUDED IN KIT	150 MESH STAINLESS STEEL SCREEN
		PRESSURE REGULATION		INCLUDED IN KIT	40 PSI
		NIPPLE			PVC SCH 80 UV RESISTANT
	D	TRANSITION TO DR	RIP ZONE		SEE DETAIL
	*	SPRINKERS			

GENERAL NOTES

1 COFFEE BARRY

LIMONIUM PEREZII

© CISTUS SALVIFOLIUS

© BUFFALOGRASS

MONTERREY CYPRESS

- 1. INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1000 SQFT TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA. (UNLESS CONTRA INDICATED BY A SOILS TEST
- 2. INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.
- 3. A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.
- 4. TOTAL TURF AREA SHALL NOT EXCEED 25% OF THE LANDSCAPE AREA." FOR THIS WE NEED A CALCULATION TOTAL TURF OF PROPERTY DIVIDED BY TOTAL SQFT OF PROPERT. SHOULD NOT EXCEED 26%.
- 5. THE PROJECT SHALL COMPLY WITH THE MORE RESTRICTIVE OF THE OUTDOOR POTABLE WATER REDUCTION REQUIREMENTS OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE 4.304 AND THE MANTECA WATER EFFICIENT LANDSCAPE ORDINANCE.
- 6. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE. 7. A MINIMUM THREE (3") LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN
- TURF AREAS OR PROVIDING HABITAT FOR BENEFICIAL INSECTS OR OTHER WILDLIFE, UP TO 5%. LANDSCAPE PLAN SHALL IDENTIFY TYPE OF MULCH AND APPLICATION DEPTH. (15.92.100.A.3.D).
- 8. DEDICATED LANDSCAPE WATER METER OR SUBMETER FOR RESIDENTIAL LANDSCAPES OVER 5,000 SF AND NON-RESIDENTIAL LANDSCAPES OVER 1,000 SF BUT NOT MORE THAN 5,000 SF (THE LEVEL AT WHICH WATER CODE 535 APPLIES), (15,92,110,A,1,A) 9. IRRIGATION PLAN SHALL SHOW THE STATIC WATER PRESSURE, WATER FLOW AND DESIGN OPERATING PRESSURE. IF THE
- STATIC PRESSURE IS ABOVE OR BELOW THE REQUIRED DYNAMIC PRESSURE OF THE IRRIGATION SYSTEM. PRESSURE-REGULATING DEVICES, E.G. BOOSTER PUMP, IN-LINE PRESSURE REGULATOR, ETC., SHALL BE INSTALLED TO MEET THE REQUIRED DYNAMIC PRESSURE OF THE IRRIGATION SYSTEM. (15.02.110.A.1.C)
- 10. EACH VALVE SHALL IRRIGATE A HYDROZONE WITH SIMILAR SITE, SLOPE, SUN EXPOSURE, SOIL CONDITIONS, AND PLANT MATERIALS WITH SIMILAR WATER USE. THE IRRIGATION PLAN SHALL CONFORM TO THE HYDROZONES OF THE LANDSCAPE

2 SEASIDE DAISY

SPANISH LAVANDAR

8 HABA BUXIFOLIA

1 FARN PINE

COMPONENTS	OTMBOL	OOM ONLIN	WARRITAGIONER	WODEL	COLOR		
	DRIP LAYOUT						
		PLANTING BEDS					
	0	TREES					
				TLCV26-1801	CLAY SOIL: EMITTER FLOW, 0.26 GPH, EMITTER SPACING: 18" ROW SPACING: 18"		
		INLINE EMITTER TURBING	NETAFIM	TLCV4-1801	LOAM SOIL: EMITTER FLOW, 0.4 GPH, EMITTER SPACING: 18" ROW SPACING: 18"		
				TLCV6-1801	SANDY SOIL: EMITTER FLOW, 0.6 GPH, EMITTER SPACING: 12" ROW SPACING: 18"		
	F	DRIP FLUSHOUT	NETAFIM	TLFIG8			
			RE LARGER THAN ACTUAL SIZE AND MAY BE SHOWN IN PA COORDINATE LOCATION OF EQUIPMENT WITH PLUMBER.				
	ALL PIPE RUNS UN	IDER PAVING ARE IN	SLEEVES, INSTALL SI	LEEVES PRIOR TO P	OURING CONCRETE		

MANUFACTURER

WATER EFFICIENT LANDSCAPE							
ЕТо	51.9						
HIDROZONE # DESCRIPTION	PLAN FACTOR (PF)*	IRRIGATION METHOD	IRRIGATION EFFICIENCY (IE)	ETAF (PF/IE)	LANDSCAPE AREA (SQFT)	ETAF X AREA	ETWU
1	0.05	SPRINKLERS +DRIP	0.75	0.06666666667	188.37	12.5580000006279	404.0913240202046
2	0.05		0.75	0.06666666667	597.24	39.8160000019908	1,281.19924806406
3	0.05	SPRINKLERS +DRIP	0.75	0.06666666667	565.97	37.7313333352199	1,214.118844060706
4	0.05	SPRINKLERS +DRIP	0.75	0.06666666667	702.56	46.8373333356752	1,507.131712075357

MAWA = ETo \times 0.62 \times 0.55 \times sqft

AREAS	
LOT	4,802.80 Sq Ft
GRASS	2,054.14 Sq Ft

ETWU = ETo x 0.62 x ETAFxArea

APPLICANT

CHECHK-OFF

SYMBOL

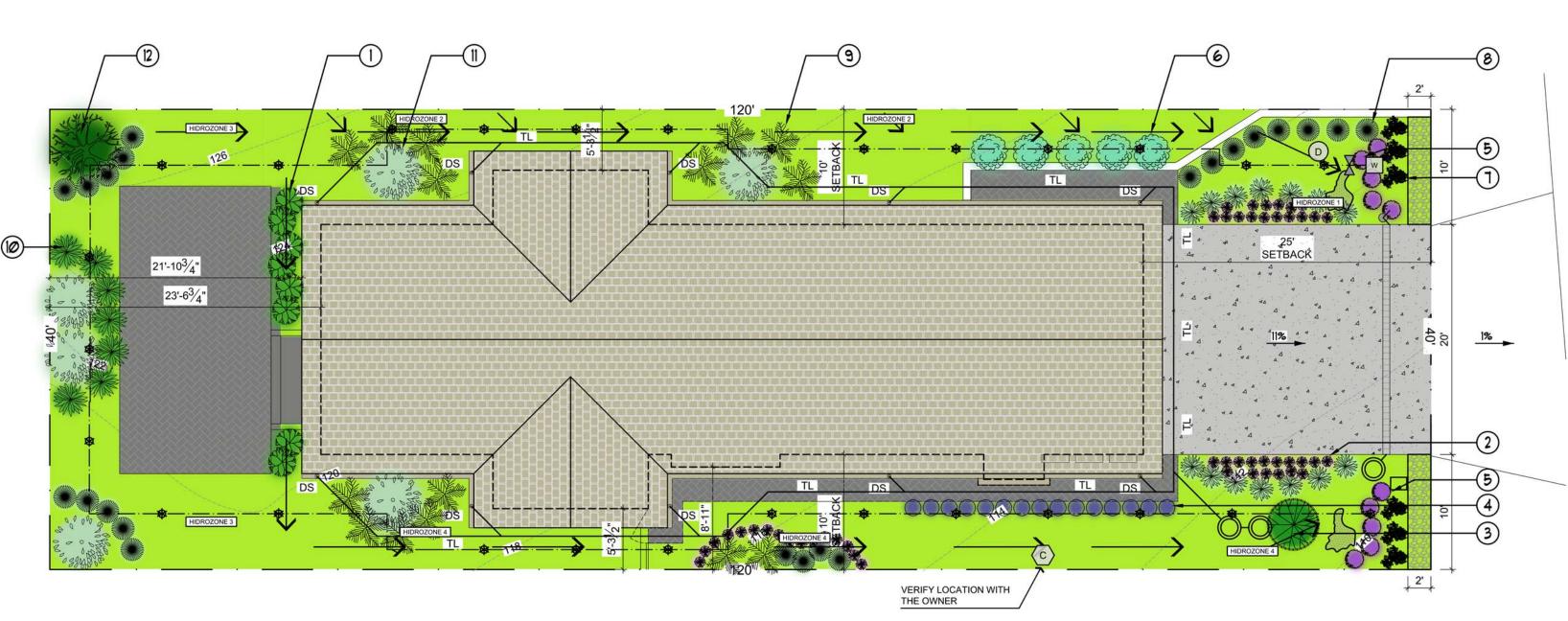
COMPONENT

4,406.541128220327	TOTAL ETWU
36,353.964306	TOTAL MAWA

NOTES/ SIZE/

COLOR

MODEL







San Francisco CA (415)273-9054 GED ARC

CONCRETE

DRIVEWAY

DRAUGHT

RESISTANT

BUFFALOGRASS

PAVERS SET IN

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

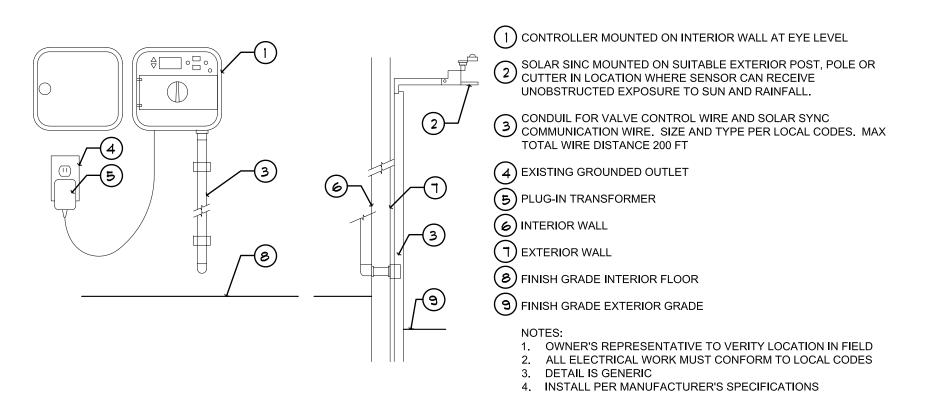
Owner:

တ 40 0 enc Bay, -060 $\mathbf{\Omega}$ 0 O 90 Res Mo alf APN Avenue,

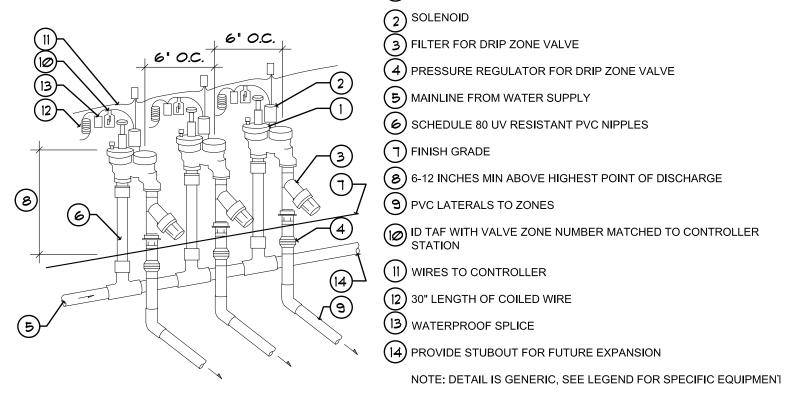
Alto

No. Description Date

Layaut & Planting

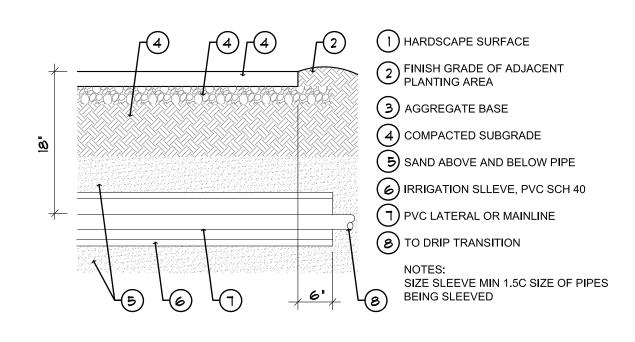


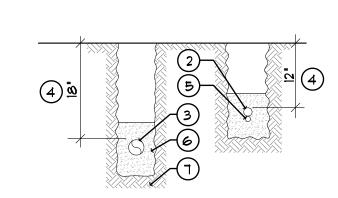
1) FINISH GRADE 2) MULCH 3) VALVE BOX 4) MAIN LINE 5) MALE ADAPTERS 6) BRASS BALL VALVE, SIZED TO MATCH PIPE 7) FILL BOTTOM OF BOX WITH 3" DEPTH DRAIN ROCK



SMART CONTROLLER INTERIOR

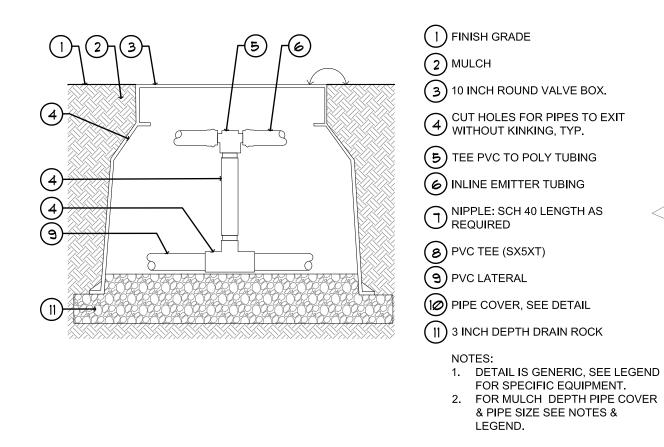
SCALE: NTS



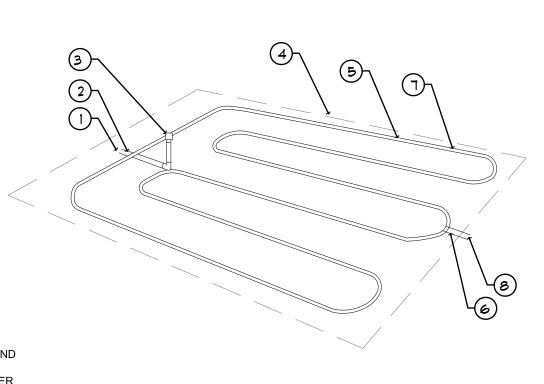




2 ISOLATION VALVE BALL SCALE: NTS







1) TO VALVE MANIFOLD

1 ANTI-SIPHON VALVE

2 PVC LATERAL
3 TRANSITION FROM LATERAL TO DRIP ZONE

4 DRIP ZONE

5 IN-LINE DRIP TUBING, INSTALL PERPENDICULAR TO SLOPE

BLANK DRIP TUBING, USE TO EXTEND FLUSH-OUT TO ACCESSIBLE

LOCATION

The stake tubing every 2 ft.

8 TO FLUSHOUT

 THIS LOYOUT FOR SMALL AREAS
 DETAIL IS GENERIC, SEE LEGEND FOR SPECIFIC EQUIPMENT.
 MAXIMUM FLOW PER SUBZONE, 3

4. MAXIMUM LENGTH OF TUBING: 200 LF

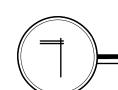
IRRIGATION SLEEVING SCALE: NTS

5

TRENCHING & PIPE COVER

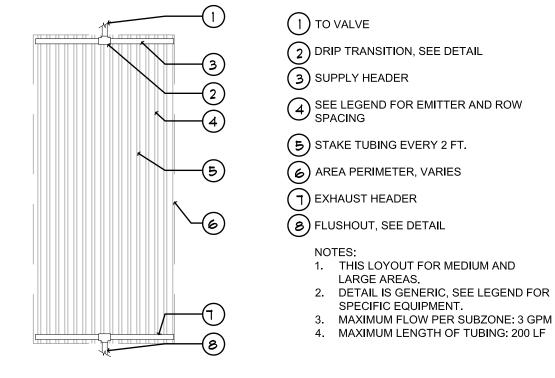
SCALE: NTS

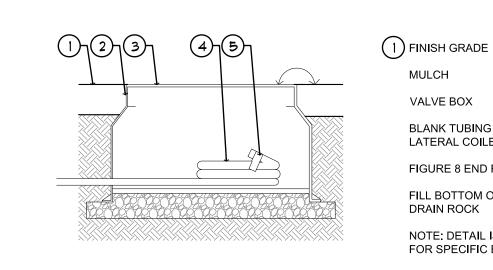




DRIP ZONE LAYOUT - LITE

SCALE: NTS





MULCH

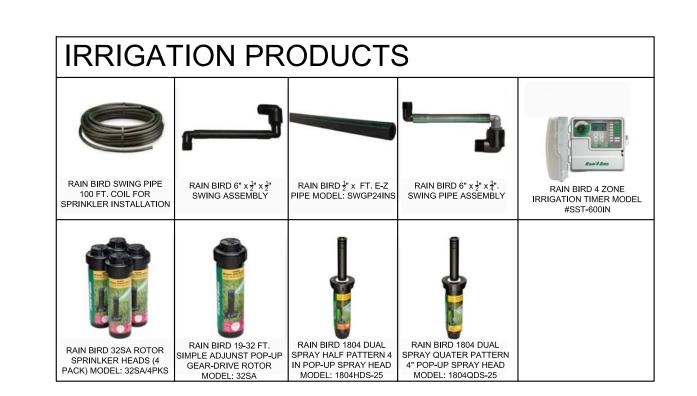
VALVE BOX

BLANK TUBING FED FROM TECHLINE
LATERAL COILED 18 TO 24 IN BOX

FIGURE 8 END FITTING, TLFIG8

FILL BOTTOM OF BOX WITH 3" DEPTH
DRAIN ROCK

NOTE: DETAIL IS GENERIC, SEE LEGEND
FOR SPECIFIC EQUIPMENT.







DRIP FLUSH VALVE

SCALE: NTS

Irrigation Details & Notes

Wilkins Studio

Architects

San Francisco CA

(415)273-9054

Architect

Owner:

Residence

Wilkins Studio Architects

Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

0.

0

on Bay, -065-060

Half Moon I N: 048-065

Avenue, Ha

Alto

L2-0
Scale: As Noted
Sheet size: Arch D

SITE PLAN KEYNOTES DESCRIPTION (NOT ALL SYMBILS NECESSARY ON THIS SHEET) 01 00 GENERAL 01 01 PROPERTY LINE SETBACKS 01 03 EXISTING RETAINING WALL 01 04 EXISTING TREE TO REMOVE 02 00 SITE CONSTRUCTION 02 01 SWALES 02 02 6" TRENCH DRAIN 02 03 3' x10' DEEP ENERGY DISSIPATER 02 04 (2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF 02 05 NEW ASPHALT APRON 03 00 CONCRETE 03 01 PROPOSED CONCRETE DRIVEWAY 03 02 CONCRETE RETAINING WALL 04 00 MASONRY 04 01 PROPOSED PAVERS SET IN SAND 04 02 PROPOSED PAVERS WALKWAY PLUMBING 22 00 22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS 22 01 VALVE) CONTRACTOR TO VERIFY 22 02 GAS LINE 22 03 WATER METER **GAS METER** 26 00 ELECTRICAL 26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

GENERAL SITE NOTES

MAIN ELECTRICAL SERVICE

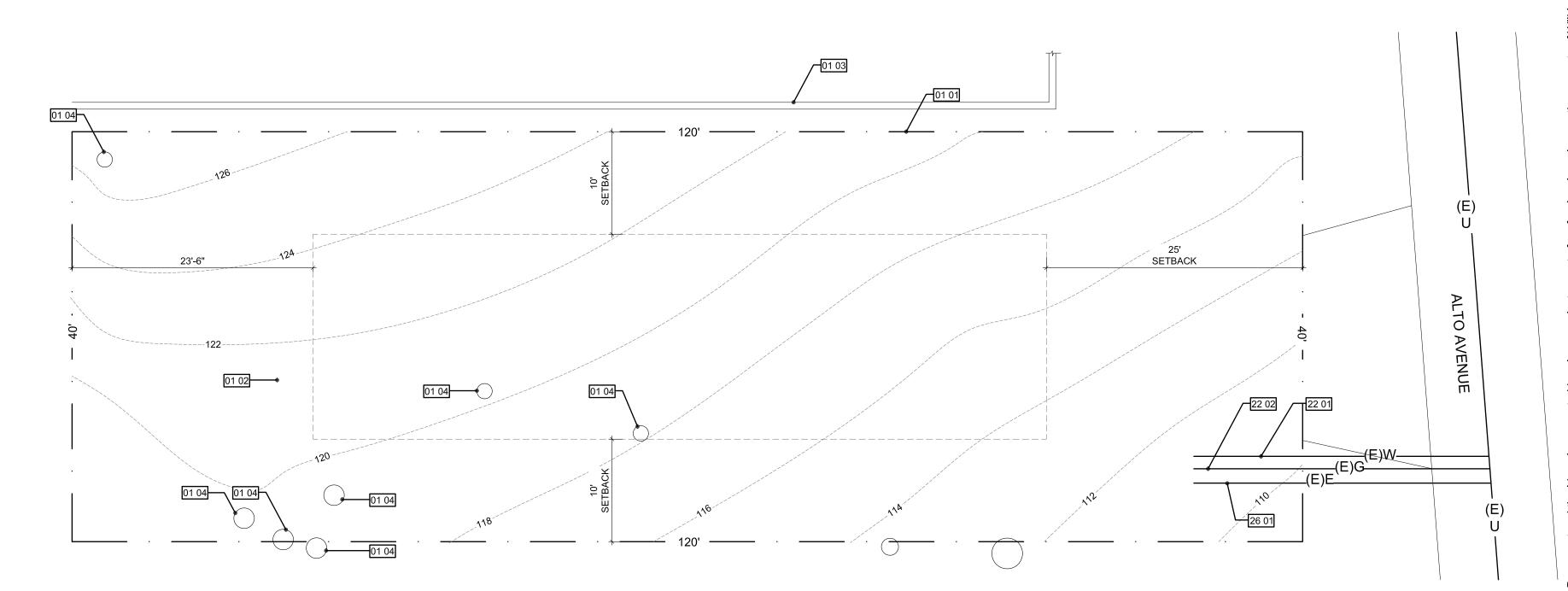
ELECTRICAL METER

26 02

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING CONSTRUCTION.
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

LINE LEGEND

—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) P—	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) ⁻ P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S —	NEW BUILDINGS SEWER
— u —	UTILITY LINES







Architects

San Francisco CA

(415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

O 0 idence Bay, -060 $\mathbf{\Omega}$ alf Moon E 048-065-Resi

Description Date

Existing Site Plan

Scale: As Noted Sheet size: Arch D

SITE PLAN KEYNOTES DESCRIPTION (NOT ALL SYMBILS NECESSARY ON THIS SHEET) 01 00 GENERAL 01 01 PROPERTY LINE SETBACKS 01 03 EXISTING RETAINING WALL 01 04 EXISTING TREE TO REMOVE 02 00 SITE CONSTRUCTION 02 01 SWALES 02 02 6" TRENCH DRAIN 02 03 3' x10' DEEP ENERGY DISSIPATER 02 04 (2) 2' x 9' DEEP DRY WELLS FOR ROOF RUNOFF 02 05 NEW ASPHALT APRON 03 00 CONCRETE 03 01 PROPOSED CONCRETE DRIVEWAY 03 02 CONCRETE RETAINING WALL 04 00 MASONRY 04 01 PROPOSED PAVERS SET IN SAND 04 02 PROPOSED PAVERS WALKWAY

22.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

26.1 SEE MEP PLANS FOR REQUIREMENTS AND NOTES

VALVE) CONTRACTOR TO VERIFY

MAIN ELECTRICAL SERVICE

ELECTRICAL METER

WATER ENTRY POINT W/ PRIVATE METERS. (1.5 WATER SERVICE& BBOS

GENERAL SITE NOTES

PLUMBING

GAS LINE

WATER METER **GAS METER**

ELECTRICAL

22 00

22 01

22 02

22 03

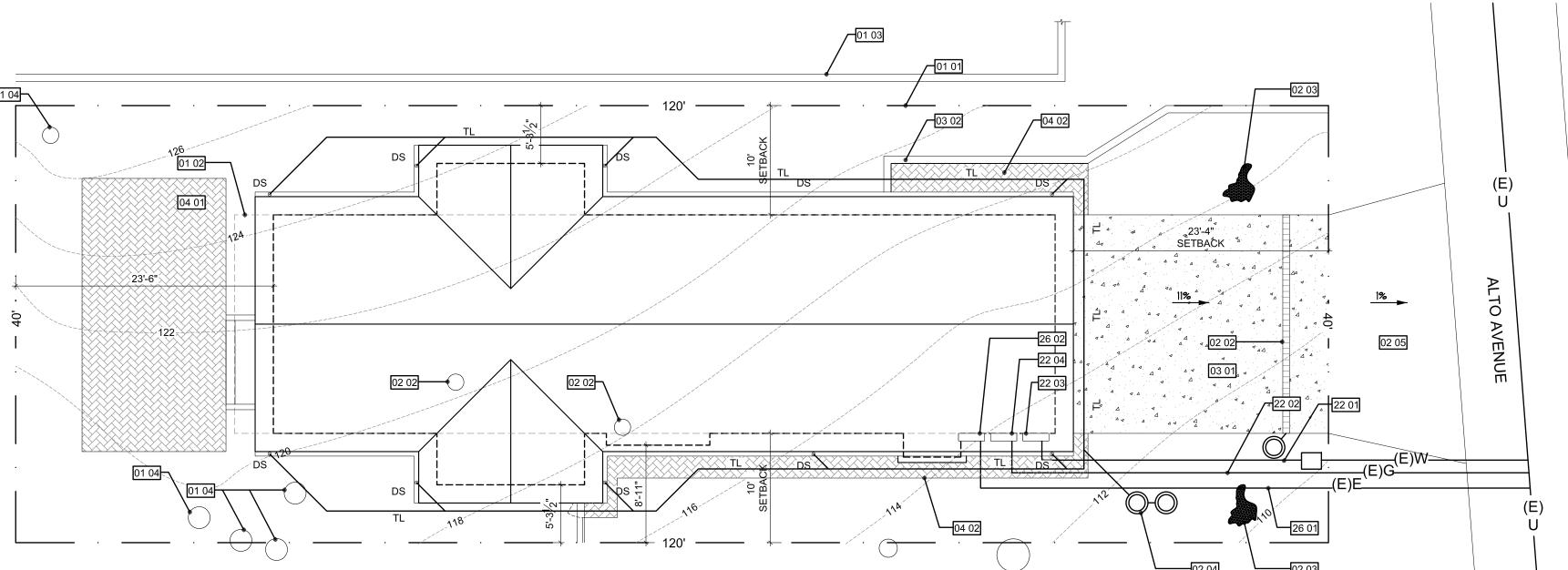
26 00

26 02

- 1. DIMENSIONS TAKE PRECEDENCE OVER SCALE. IF DIMENSIONAL ERRORS OCCUR, CONTRACTOR SHALL NOTIFY THE ARCHITECTED PRIOR TO COMMENCING THAT PORTION OF THE WORK.
- 2. DURING GRADING IF THE PROPERTY CORNERS ARE DISTURBED, ALTERED, OR TAMPERED WITH THE GRADING CONTRACTOR SHALL HAVE THE PROPERTY CORNERS RESET BY A REGISTERED CIVIL ENGINEER OR LICENSED LAND SURVEYOR AT COMPLETION OF GRADING. ALL COST SHALL BE BORNE BY THE GRADING CONTRACTOR.
- 3. THE CONCRETE CONTRACTOR SHALL BE RESPONSIBLE FOR SETTING BUILDING CORNERS, PERFORMING ALL LAYOUT WORK, SETTING ALL LINES, GRADES, RADIO, ETC. OR ANY OTHER POINTS NECESSARY FOR HIS WORK.
- 4. LOCATION OF UTILITIES BASED ON BEST INFORMATION AVAILABLE, AND MAY NOT BE COMPLETE OR ACCURATE. CONTRACTOR TO COORDINATE WITH LOCAL UTILITY COMPANIES.
- 5. ALL DIMENSIONS, SETBACKS, AND PROPERTY BOUNDARIES SHOWN HERE MAY ONLY BE CONSIDERED TO BE APPROXIMATE, CONTRACTOR BEARS FULL RESPONSIBILITY FOR VERIFICATION OF ALL SETBACKS OR EASEMENTS BEFORE BEGINNING
- 6. ALL PROPERTY LINES, EASEMENTS AND BUILDINGS, BOTH EXISTING AND PROPOSED, ARE SHOWN ON THE SITE PLAN.
- 7. SOILS PREPARATION AND SITE GRADING SHALL BE INSPECTED BY THE SOILS ENGINEER OR ENGINEERING GEOLOGIST OF RECORD DURING THE GRADING OPERATIONS. THE ENGINEER SHALL CERTIFY THE WORK AS BEING DONE IN ACCORDANCE WITH THE APPROVED RECOMMENDATIONS IF NEEDED, PRIOR TO PLACEMENT OF BUILDING FOUNDATIONS.
- 8. ALL SITE WORK, DRAINAGE SYSTEMS AND FOUNDATIONS AND OTHER SOIL CONSIDERATIONS SHALL CONFORM TO THE RECOMMENDATIONS OF THE REPORT AND ANY SUBSEQUENT RECOMMENDATIONS MADE BY THE SOIL ENGINEER OF RECORD. FOUNDATION EXCAVATIONS SHALL BE REVIEWED AND APPROVED BY SOIL ENGINEER OF RECORD PRIOR TO PLACEMENT OF FORMS AND REINFORCEMENT.
- 9. OUTDOOR POTABLE WATER USE IN LANDSCAPE AREAS RESIDENTIAL DEVELOPMENTS SHALL COMPLY WITH A LOCAL WATER EFFICIENT LANDSCAPE ORDINANCE OR THE CURRENT CALIFORNIA DEPARTMENT OF WATER RESOURCES' MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO), WHICHEVER IS MORE STRINGENT.

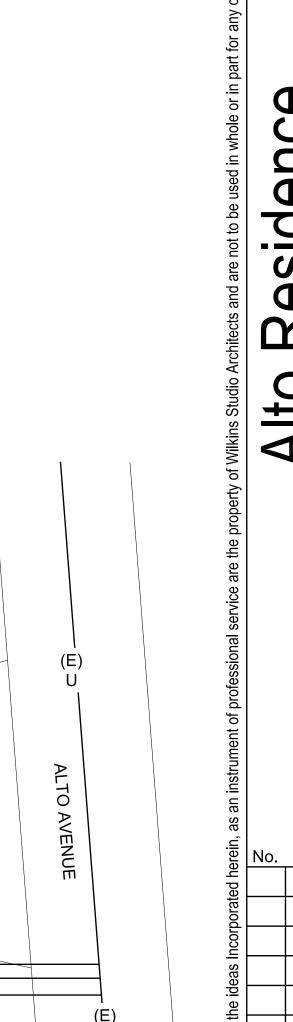
LINE LEGEND

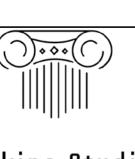
—(E) E—	EXISTING ELECTRICAL SUPPLY
—(E) ^P —	EXISTING WATER SUPPLY
—(E) G—	EXISTING GAS SUPPLY
—(E) S—	EXISTING BUILDINGS SEWER
—(N) E—	NEW ELECTRICAL SUPPLY
—(N) P—	NEW WATER SUPPLY
—(N) G—	NEW GAS SUPPLY
—(N) S —	NEW BUILDINGS SEWER
— u —	UTILITY LINES



PROPOSED SITE PLAN

SCALE: 1/8" =1'-0"





Architects

San Francisco CA

(415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

Ö 0 idence Bay, -060 $\mathbf{\Omega}$ 065 alf Moon 048-065 Resi Half

> Description Date Submittal

Proposed Site

Sheet size: Arch D

GENERAL NOTES

- NO CONSTRUCTION SHALL BE STARTED WITHOUT PLANS APPROVED BY THE COUNTY BUILDING DEPARTMENT. THE BUILDING DEPARTMENT SHALL BE NOTIFIED AT LEAST 24 HOURS PRIOR TO STARTING OF CONSTRUCTION AND OF THE TIME LOCATION OF THE PRECONSTRUCTION CONFERENCE. ANY CONSTRUCTION PERFORMED WITHOUT APPROVED PLANS OR PRIOR NOTIFICATION TO THE BUILDING DEPARTMENT WILL BE REJECTED AND WILL BE AT THE CONTRACTOR'S AND/OR OWNER'S RISK.
- 2. FOR ANY CONSTRUCTION PERFORMED THAT IS NOT IN COMPLIANCE WITH PLANS OR PERMITS APPROVED FOR THE PROJECT THE BUILDING DEPARTMENT MAY REVOKE ALL ACTIVE PERMITS AND RECOMMEND THAT COUNTY CODE ENFORCEMENT PROVIDE A WRITTEN NOTICE OR STOP WORK ORDER IN ACCORDANCE WITH SECTION 22.52.140 [23.10] OF THE LAND USE ORDINANCE.
- 3. ALL CONSTRUCTION WORK AND INSTALLATIONS SHALL CONFORM TO THE MOST CURRENT JURISDICTION PUBLIC IMPROVEMENT STANDARDS AND ALL WORK SHALL BE SUBJECT TO THE APPROVAL OF THE BUILDING DEPARTMENT.
- 4. THE PROJECT OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND/OR MAINTAINING ALL WEATHER ACCESS AT ALL TIMES TO EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK. ADDITIONALLY, THEY SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING SERVICES, INCLUDING UTILITY, GARBAGE COLLECTION, MAIL DISTRIBUTION, ETC., TO ALL EXISTING PROPERTIES LOCATED IN THE VICINITY OF WORK.
- ON-SITE HAZARDS TO PUBLIC SAFETY SHALL BE SHIELDED BY CONSTRUCTION FENCING. FENCING SHALL BE MAINTAINED BY THE PROJECT OWNER AND CONTRACTOR UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND OCCUPIED, POTENTIAL HAZARDS HAVE BEEN MITIGATED, OR ALTERNATIVE PROTECTIVE MEASURES HAVE BEEN INSTALLED.
- 6. SOILS TESTS SHALL BE DONE IN ACCORDANCE WITH THE COUNTY PUBLIC IMPROVEMENT STANDARDS, SECTION 3.2.3. ALL TESTS MUST BE MADE WITHIN 15 DAYS PRIOR TO THE PLACING MATERIAL. THE TEST RESULTS SHALL CLEARLY INDICATE THE LOCATION AND SOURCE OF THE MATERIAL.
- 7. ROADWAY COMPACTION TESTS SHALL BE MADE ON SUBGRADE MATERIAL, AGGREGATE BASE MATERIAL. AND MATERIAL AS SPECIFIED BY THE SOILS ENGINEER. SAID TESTS SHALL BE MADE PRIOR TO THE PLACEMENT OF THE NEXT MATERIAL LIFT.
- SUBGRADE MATERIAL SHALL BE COMPACTED TO A RELATIVE COMPACTION OF 95% IN THE ZONE BETWEEN FINISHED SUBGRADE ELEVATION AND A MINIMUM OF 1-FOOT BELOW. ALL MATERIAL IN FILL SECTIONS BELOW THE ZONE MENTIONED ABOVE SHALL BE COMPACTED TO 90% RELATIVE COMPACTION.
- CONTRACTOR SHALL CERTIFY THAT THE IMPROVEMENTS WHEN COMPLETED ARE IN ACCORDANCE WITH THE PLANS PRIOR TO THE REQUEST FOR A FINAL INSPECTION. RECORD DRAWINGS SHALL BE PREPARED AFTER CONSTRUCTION IS COMPLETED. THE CONTRACTOR CERTIFYING THE IMPROVEMENTS AND PREPARING AS-BUILT PLANS MAY BE PRESENT WHEN THE FINAL INSPECTION IS MADE BY THE COUNTY.
- 10. ALL UTILITY COMPANIES SHALL BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION.
- 11. A JURISDICTION ENCROACHMENT PERMIT IS REQUIRED FOR ALL WORK DONE WITHIN THE COUNTY RIGHT-OFWAY. THE ENCROACHMENT PERMIT MAY ESTABLISH ADDITIONAL CONSTRUCTION, UTILITY AND TRAFFIC CONTROL REQUIREMENTS.
- 12. THE JURISDICTION INSPECTOR ACTING ON BEHALF OF THE JURISDICTION BUILDING DEPARTMENT MAY REQUIRE REVISIONS IN THE PLANS TO SOLVE UNFORESEEN PROBLEMS THAT MAY ARISE IN THE FIELD. ALL REVISIONS SHALL BE SUBJECT TO THE APPROVAL OF THE DEVELOPER'S ENGINEER OF WORK.
- 13. THE STRUCTURAL SECTION SHALL BE BASED ON SOILS TESTS TAKEN AT THE TIME OF CONSTRUCTION AND USING A TRAFFIC INDEX OF FOR (ROAD NAME). THE STRUCTURAL SECTION SHALL BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO ROAD CONSTRUCTION. 14.HYDRO-SEEDING OR OTHER PERMANENT EROSION CONTROL SHALL BE PLACED AND ESTABLISHED WITH 90% COVERAGE ON ALL DISTURBED SURFACES (OTHER THAN PAVED OR GRAVEL SURFACES) PRIOR TO THE FINAL INSPECTION. 15.FOR ANY PUBLIC IMPROVEMENTS TO BE MAINTAINED BY THE JURISDICTION, IF ENVIRONMENTAL PERMITS FROM THE U.S. ARMY CORPS OF ENGINEERS, THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD/STATE WATER RESOURCES CONTROL BOARD, OR THE CALIFORNIA DEPARTMENT OF FISH & GAME ARE REQUIRED. THE DEVELOPER SHALL: A. SUBMIT A COPY OF ALL SUCH COMPLETED PERMITS TO THE COUNTY BUILDING DEPARTMENT OR. B. DOCUMENT THAT THE REGULATORY 16.WHEN THE PROJECT SITE EARTHWORK IS NOT INTENDED TO BALANCE THEN A SEPARATE GRADING PERMIT FOR THE SENDING OR RECEIVING PROPERTY MAY BE REQUIRED. A COPY OF THE PERMIT/S OR EVIDENCE THAT NO PERMITS ARE REQUIRED SHALL BE SUBMITTED TO THE DEPARTMENT PRIOR TO COMMENCING PROJECT EARTHWORK.

GRADING NOTES

- 1. ALL DISTURBED AREAS SHALL BE HYDRO SEEDED OR PLANTED WITH APPROVED EROSION CONTROL VEGETATION AS SOON AS PRACTICAL AFTER CONSTRUCTION IS COMPLETE. 12.MINIMUM SETBACK TO CREEKS AND BLUFFS SHALL BE MAINTAINED. MINIMUM SETBACK OF TWO FEET FROM ALL PROPERTY LINES WILL BE MAINTAINED FOR ALL GRADING. 13.MINIMUM SLOPE AWAY FROM BUILDINGS SHALL BE 5% FOR THE FIRST TEN FEET AROUND PERIMETER.
- 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING SURVEY MARKERS DURING CONSTRUCTION. ALL SUCH MONUMENTS OR MARKERS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- 3. ALL CONTRACTORS AND SUBCONTRACTORS WORKING WITHIN THE RIGHT OF WAY SHALL HAVE AN APPROPRIATE CONTRACTOR'S LICENSE, A LOCAL BUSINESS LICENSE, AND shall obtain an encroachment permit. 16.ENGINEERING REPORTS FOR CUT OR FILL SLOPE STEEPER THAN 2:1 SHALL BE SUBMITTED TO THE FIELD INSPECTOR.
- 4. ALL GRADING CONSTRUCTION SHALL CONFORM TO THE APPLICABLE CODES AS NOTED UNDER "APPLICABLE CODES" HEADING.
- 5. THE DEVELOPER SHALL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING WITH THE COUNTY AND OTHER AFFECTED AGENCIES. THE CONTRACTOR SHALL NOTIFY THE COUNTY BUILDING DEPARTMENT AT LEAST 24 HOURS PRIOR TO ANY WORK BEING PERFORMED, AND ARRANGE FOR INSPECTION.
- 6. GRADING SHALL COMPLY WITH THE RECOMMENDATIONS OF THE PRELIMINARY SOILS
- 7. ESTIMATED EARTH QUANTITIES: FRONT YARD RETAINING WALL 48 CU. YARDS DRIVEWAY 56 CU. YARDS NOTE: EXACT SHRINKAGE, CONSOLIDATION, AND SUBSIDENCE FACTORS AND LOSSES DUE TO CLEARING OPERATIONS ARE NOT INCLUDED. ESTIMATED EARTHWORK QUANTITIES ARE BASED UPON THE DIFFERENCE BETWEEN EXISTING GROUND SURFACE AND PROPOSED FINISH GRADES, OR SUB GRADES AS SHOWN ON THE PLAN, AND SHOULD VARY ACCORDING TO THESE FACTORS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE INSPECTION AND QUANTITY TAKE OFF, AND SHALL BID ACCORDINGLY.
- 8. SOILS ENGINEER TO DETERMINE THE SOIL IS SUITABLE TO SUPPORT THE INTENDED STRUCTURE. SUCH REPORT INCLUDING PROGRESS AND/OR COMPACTION REPORTS SHALL BE SUBMITTED TO THE FIELD INSPECTOR PRIOR TO FINAL INSPECTION WHEN A SOILS REPORT IS OBTAINED. THE COUNTY POLICY REGARDING PAD CERTIFICATION SHALL BE FOLLOWED. WHEN APPLICABLE THE ENGINEER SHALL OBSERVE THE GRADING OPERATION(S) AND PROVIDE THE FIELD INSPECTOR WITH REQUIRED COMPACTION REPORTS AND A REPORT STATING THAT THE GRADING PERFORMED HAS BEEN OBSERVED AND IS IN CONFORMANCE WITH THE UBC AND JURISDICTION
- ORDINANCES. 9. NO CUT OR FILL SLOPES WILL BE CONSTRUCTED STEEPER THAN TWO HORIZONTAL TO ONE VERTICAL (2:1).
- 10. DUST CONTROL IS TO BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION. 11. AREAS OF FILL SHALL BE SCARIFIED, BENCHED AND RECOMPACTED PRIOR TO REPLACING FILL.
- 12. FILL MATERIAL WILL BE RECOMPACTED TO 90% OF MAXIMUM DENSITY. 10.REMOVE ANY DELETERIOUS MATERIAL ENCOUNTERED BEFORE PLACING FILL.

UNDERGROUND UTILITY NOTES

- 1. AN EFFORT HAS BEEN MADE TO DEFINE THE LOCATION OF UNDERGROUND FACILITIES WITHIN THE JOB SITE. HOWEVER, ALL EXISTING UTILITY AND OTHER UNDERGROUND STRUCTURES MAY NOT BE SHOWN ON THIS PLAN AND THEIR LOCATION WHERE SHOWN IS APPROXIMATE. THE CONSTRUCTION CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR LOCATING OR HAVING LOCATED ALL UNDERGROUND UTILITIES AND OTHER FACILITIES AND FOR PROTECTING THEM DURING CONSTRUCTION.
- ALL UTILITY COMPANIES MUST BE NOTIFIED PRIOR TO THE START OF CONSTRUCTION. THE CONSTRUCTION CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT 811 TWO TO TEN DAYS PRIOR TO THE START OF EXCAVATION AND SHALL VERIFY THE LOCATION OF ANY KNOWN UTILITIES AND WHETHER OR NOT A REPRESENTATIVE OF EACH COMPANY WILL BE PRESENT DURING EXCAVATION.

APPLICABLE CODES

2019 BUILDING STANDARDS CODES · CALIFORNIA BUILDING CODE, VOLS 1 & 2 (2019 IBC) CALIFORNIA RESIDENTIAL CODE (NEW) (2019 IRC) CALIFORNIA PLUMBING CODE (2019 UPC) · CALIFORNIA MECHANICAL CODE (2019 UMC) CALIFORNIA ELECTRICAL CODE (2019 NEC) CALIFORNIA ENERGY CODE (V.2008 UNTIL 7/1/2019) CALIFORNIA GREEN BUILDING CODE California Fire Code (2019 IFC) · CALIFORNIA REFERENCE STANDARDS CODE · COUNTY BUILDING AND CONSTRUCTION ORDINANCE -TITLE 19 COUNTY COASTAL ZONE LAND USE ORDINANCE - TITLE 23

COUNTY FIRE CODE ORDINANCE - TITLE 16

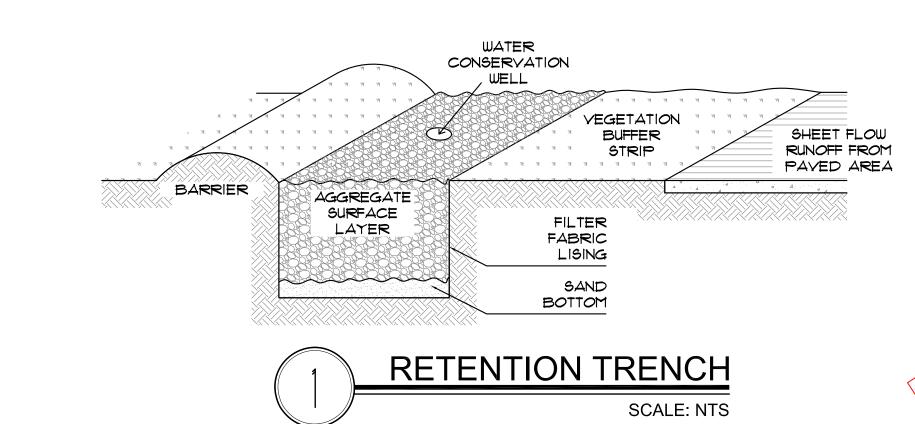
COUNTY LAND USE ORDINANCE -TITLE 22

LEGEND

	PROPERTY LINE
	SETBACK
	EXISTING GROUND CONTOUR
550	FINISH GRADE CONTOUR
	CONCRETE
	EDGE OF PAVEMENT
————W———	WATER LINE
₩V	WATER VALVE
X	FIRE HYDRANT
s	SANITARY SEWER MAIN
——— E ———	ELECTRICAL LINE
\mathcal{O}	UTILITY POLE
E	ELEC. VAULT / PEDESTAL / PULL BOX
T	TELEPHONE LINE
T	TELE. VAULT / PEDESTAL / PULL BOX
 ×	FENCE
——— G ———	GAS MAIN
$\cdots \longrightarrow \cdots \longrightarrow$	SWALE
2%▶	PROPOSED GRADE & DIRECTION
100.0	SPOT ELEVATION
ELEV	DOWN CDOUT
DS	DOWN SPOUT

IMPERVIOUS AREAS AREAS | SQ FT PROPERTY 4,802.80 100 **BUILDINGS FOOT** 1,567.37 32.63 DRIVEWAY AND 603.75 SIDEWALKS 12.57 2,631.68 54.80 LANDSCAPING

2,171.12 SQ. FT. ÷ 4,802.80 SQ. FT. X 7,600 CU. FT. = VOLUME OF DETENTION REQUIRED 16,812.19 (CU. FT.)



Wilkins Studio Architects San Francisco CA (415)273-9054 SED ARM

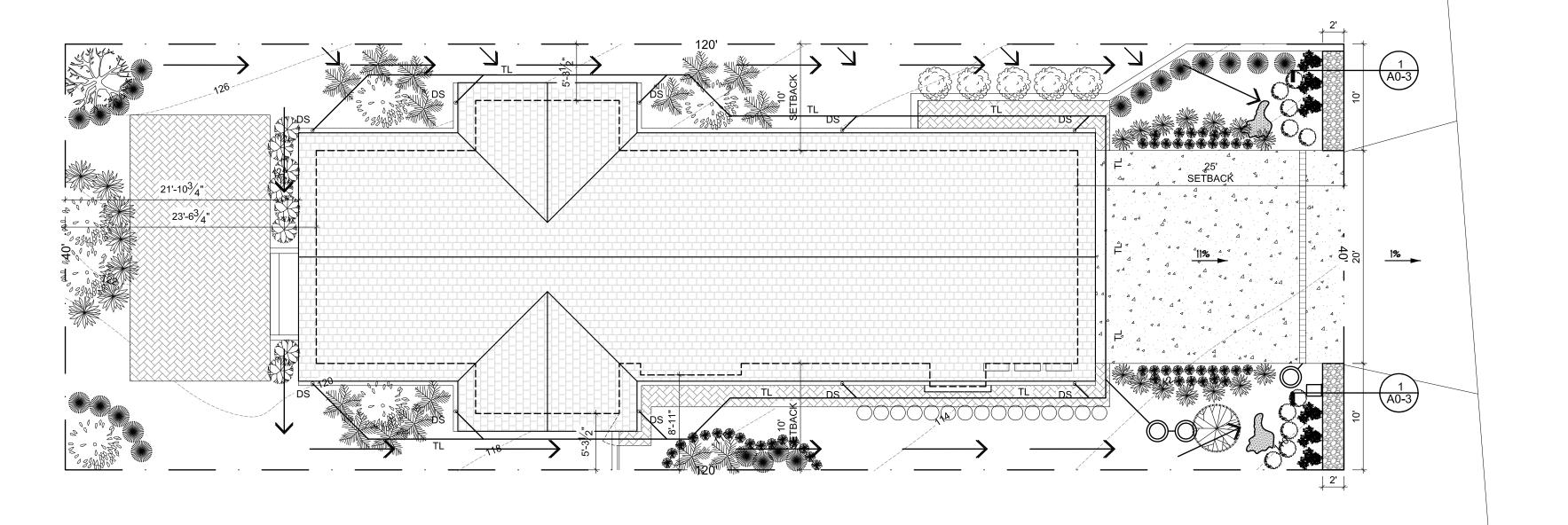
> Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

0 0 0 enc Bay -06(\Box O 9 0 ___ **(1)** alf AP

Description Date

Drainage Site





FIRE SAFELY NOTES

AND R315.

- 1. SEE SITE PLAN FOR FUEL MODIFICATION ZONE. MAINTAIN A VEGETATION CLEARANCE OF 30' AROUND ALL BUILDINGS AND STRUCTURES. REMOVE LIMBS LOCATED WITHIN 10' OF CHIMNEY & TRIM DEAD/DYING LIMBS THAT OVERHANG THE ROOF, LEAVES, NEEDLES, OR DEAD GROWTH SHALL BE REMOVED FROM THE ROOF. [NOTE: NO TREES
- OCCUR ON SITE.1 2. SMOKE & CARBON MONOXIDE DETECTOR SMOKE DETECTORS ARE REQUIRED IN ALL SLEEPING AREAS AND IN HALLWAYS LEADING TO SLEEPING AREAS.
- 3. ANY PORTION OF A FENCE OR OTHER STRUCTURE WITHIN FIVE FEET OF THE BUILDING SHALL BE CONSTRUCTED OF NON-COMBUSTIBLE MATERIAL OR APPROVED EXTERIOR FIRE-RETARDANT WOOD OR MATERIAL THAT MEETS THE SAME FIRE-RESISTIVE STANDARDS AS THE EXTERIOR WALLS OF THE BUILDING.
- 4. IF FIRE CONNECTION HAS LESS THAN 20 PSI, THE WORD "DRAFT" WILL BE CLEARLY AND PERMANENTLY MARKED ON THE FIRE CONNECTION. A BLUE DOT REFLECTOR TO BE LOCATED NEAR THE FIRE CONNECTION.
- 5. TEN FEET OF FUEL MODIFICATION TO BE ON BOTH SIDES OF THE ACCESS ROAD AND DRIVEWAY. ROAD TO BE CAPABLE OF SUPPORTING 20 TONS WITH 13'-6" OF UNOBSTRUCTED VERTICAL CLEARANCE.
- 6. PERMANENT ADDRESS NUMBERS TO BE PLACED AT THE DRIVEWAY ENTRANCE AND ON THE RESIDENCE WITH MIN 6" AND 1/2" STROKE.
- 7. DEFERRED SUBMITTAL FOR FIRE SPRINKLER IS REQUIRED AND SUBMIT TO BUILDING AND SAFETY FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. 8. THE SMOKE ALARMS AND CARBON MONOXIDE ALARMS SHALL BE COMPLIANT WITH CRC R314
- 9. SPECIAL CONSTRUCTION REQUIREMENTS IN FIRE HAZARD SEVERITY ZONE NEW BUILDINGS LOCATED WITHIN ANY FIRE HAZARD SEVERITY ZONE OR ANY WILD LAND-URBAN INTERFACE FIRE AREA DESIGNATED BY THE LOCAL JURISDICTION OR IN A STATE RESPONSIBILITY AREA (SRA) SHALL COMPLY WITH THE REQUIREMENTS OF
- 2019 CRC SEC. R327 FOR EXTERIOR WILDFIRE EXPOSURE: [§ R327.] .3 CRC]. 10. 705A - ROOFING: CLASS COOL ROOF .LIST PRODUCT.
- 11. WHEN PROVIDED, VALLEY FLASHINGS SHALL BE NOT LESS THAN 0.019" (26 GA GSM) CORROSION RESISTANT METAL INSTALLED OVER A MINIMUM 36-INCH WIDE UNDERLAYMENT CONSISTING OF ONE LAYER OF 72# MINERAL-SURFACED NON-PERFORATED CAP SHEET COMPLYING WITH ASTM D3909 RUNNING THE FULL
- LENGTH OF THE VALLEY. [§R327.5.3] 12. ROOF GUTTERS SHALL BE PROVIDED WITH THE MEANS TO PREVENT THE
- ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. [§R327.5.4] 13. ROOF AND ATTIC VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS INTO
- THE ATTIC OF THE STRUCTURE, OR SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH W/ OPENING 1/16" MINIMUM AND SHALL NOT EXCEED 1/8-INCH. [§R327.6.2]
- EXTERIOR PORCH CEILINGS SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL, IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED ONE-HOUR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA OF SFM 12-7 A-3. [§R327.7.6]
- 15. EXPOSED UNDERSIDE OF FLOOR PROJECTIONS OVER AN EXTERIOR WALL SHALL BE APPROVED NONCOMBUSTIBLE MATERIAL IGNITION-RESISTANT MATERIAL, ONE LAYER OF 5/8" TYPE X GYP BD, THE EXTERIOR PORTION OF AN APPROVED 1-HR WALL ASSEMBLY, OR HAVE THE HORIZONTAL UNDERSIDE MEET THE PERFORMANCE CRITERIA O SFM 12-7 A-3. [§R327.7.7]
- 16. 707A EXTERIOR WALLS: NONCOMBUSTIBLE FRAMING SYSTEM W/ 17. CAL FIRE APPROVED WOOD OR NONCOMBUSTIBLE CEMENTITIOUS SIDING PER DETAILS ON PLANS.
- 18. NONCOMBUSTIBLE FERROUS METAL SIDING PER DETAILS ON PLANS. 19. EAVES/CANOPY: METAL CEILING
- 20. 708A EXTERIOR WINDOWS & FRENCH DOORS: DUAL GLAZED WITH ONE PANE TEMPERED OR 20 MIN RATED. EXTERIOR DOORS: 20 MINUTES RATED OR MEET
- STANDARD OF WINDOW ABOVE. 21. EXTERIOR WINDOWS AND EXTERIOR GLAZED DOORS SHALL BE MULTI PANE GLAZING W/ A MINIMUM OF ONE TEMPERED PANE, GLASS BLOCK UNITS, HAVE A FIRE RESISTANCE RATING OF 20 MINUTES WHEN TESTED IN ACCORDANCE WITH NFPA 257,
- OR MEET THE REQUIREMENTS OF SFM 12-7 A-2. [§R327.8.2.1] 22. EXTERIOR DOORS SHALL BE OF APPROVED NONCOMBUSTIBLE CONSTRUCTION OR IGNITION-RESISTANT MATERIAL, OR SOLID CORE WOOD W/ STILES AND RAILS NOT LESS THAN 1 3/8" THICK W/ FIELD PANEL NO LESS THAN 1 1/4" THICK, SHALL HAVE A FIRE-RESISTANCE RATING OF NOT LESS THAN 20 MINUTES WHEN TESTED ACCORDING
- TO NFPA 252, OR MEET THE REQUIREMENTS OF SFM 12-7 A-1. [§R327.8.3] 23. 709A - DECKING: TREX OR EQUAL DECKING LISTED BY CAL FIRE FOR WIND LAND URBAN INTERFACE FRAMING TO BE NON-COMBUSTIBLE OR CONCEALED WITH
- APPROVED CEMENTITIOUS SIDING SYSTEM 24. WALKING SURFACE MATERIAL OF DECKS, PORCHES, BALCONIES, AND STAIRS LOCATED WITHIN 10' OF THE BUILDING SHALL BE IGNITION-RESISTANT MATERIAL COMPLYING WITH BOTH SFM 12-7 A-4 AND SFM 12-7 A-5. EXTERIOR FIRE RETARDANT TREATED WOOD, NONCOMBUSTIBLE MATERIAL, OR MEET THE REQUIREMENTS OF SFM 12-7 A-4A WHEN THE EXTERIOR WALL COVERING IS EITHER NONCOMBUSTIBLE OR IGNITION-RESISTANT. [§R327.9.2, R327.9.3]
- 25. 710A ACCESSORY STRUCTURES: DESIGNED TO MEET REQUIREMENTS STATED ABOVE. (NONE PROPOSED)

GENERAL NOTES

SITE GRADING AND SLOPE ARE BASED ON OWNERS DESCRIPTION. ARCHITECT WAS NOT PROVIDED WITH UPDATED PROPERTY SLOPE AND GRADING DOCUMENTS FOR THIS DESIGN, OWNER MUST PROVIDE LEGAL SURVEY TO VERIFY SLOPE AND TO SUBMIT TO ARCHITECT FOR ASSESSMENT AND PLAN ADJUSTMENTS PRIOR TO CONSTRUCTION.

- 1, CDF DIRECTOR, DIRECTOR OF THE CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE
- 2. FIRE PROTECTION PLAN. A DOCUMENT PREPARED FOR A SPECIFIC PROJECT OR DEVELOPMENT PROPOSED FOR A WILDLAND-URBAN INTERFACE FIRE AREA. IT DESCRIBES WAYS TO MINIMIZE AND MITIGATE POTENTIAL FOR LOSS FROM WILDFIRE
- EXPOSURE. 3. THE FIRE PROTECTION PLAN SHALL BE IN ACCORDANCE WITH THIS ARTICLE. WHEN REQUIRED BY THE ENFORCING AGENCY FOR THE PURPOSES OF GRANTING
- SECTION 101.15 SHALL APPLY. 4. FIRE HAZARD SEVERITY ZONES. GEOGRAPHICAL AREAS DESIGNATED PURSUANT TO CALIFORNIA PUBLIC RESOURCES CODES. SECTIONS 4201 THROUGH 4204 AND
- CLASSIFIED AS VERY HIGH, HIGH, OR MODERATE IN STATE RESPONSIBILITY AREAS OR AS LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONES DESIGNATED
- OF THESE GEOGRAPHICAL AREAS AS "MAPS OF THE FIRE HAZARD SEVERITY ZONES IN THE STATE RESPONSIBILITY AREA OF CALIFORNIA." 6. LOCAL AGENCY VERY HIGH FIRE HAZARD SEVERITY ZONE. AN AREA DESIGNATED BY A
- LOCAL AGENCY UPON THE RECOMMENDATION OF THE CDF DIRECTOR PURSUANT TO GOVERNMENT CODE, SECTIONS 51177(C), 51178 AND 5118, THAT IS NOT A STATE RESPONSIBILITY AREA AND WHERE A LOCAL AGENCY, CITY, COUNTY, CITY AND
- 7. STATE RESPONSIBILITY AREA. LANDS THAT ARE CLASSIFIED BY THE BOARD OF FORESTRY PURSUANT TO PUBLIC RESOURCES CODE SECTION 4125 WHERE THE FINANCIAL RESPONSIBILITY OF PREVENTING AND SUPPRESSING FOREST FIRES IS
- 8. WILDFIRE. ANY UNCONTROLLED FIRE SPREADING THROUGH VEGETATIVE FUELS THAT THREATENS TO DESTROY LIFE, PROPERTY, OR RESOURCES AS DEFINED IN PUBLIC
- 9. WILDFIRE EXPOSURE. ONE OR A COMBINATION OF RADIANT HEAT, CONVECTIVE HEAT, DIRECT FLAME CONTACT AND BURNING EMBERS BEING PROJECTED BY VEGETATION
- THE STATE AS A "FIRE HAZARD SEVERITY ZONE" IN ACCORDANCE WITH THE PUBLIC RESOURCES CODE, SECTIONS 4201 THROUGH 4204, AND GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189, OR OTHER AREAS DESIGNATED BY THE ENFORCING AGENCY TO BE AT A SIGNIFICANT RISK FROM WILDFIRES.
- 13. LANDS IN THE STATE ARE CLASSIFIED BY THE CDF DIRECTOR IN ACCORDANCE WITH THE SEVERITY OF WILDFIRE HAZARD EXPECTED TO PREVAIL IN THOSE AREAS AND THE RESPONSIBILITY FOR FIRE PROTECTION, SO THAT MEASURES MAY BE IDENTIFIED WHICH WILL REDUCE THE POTENTIAL FOR LOSSES TO LIFE, PROPERTY, AND
- 14. 4904.2 CLASSIFICATIONS 15. THE CDF DIRECTOR CLASSIFIES LANDS INTO FIRE HAZARD SEVERITY ZONES IN ACCORDANCE WITH CALIFORNIA PUBLIC RESOURCES CODE, SECTIONS 4201 THROUGH 4204 FOR STATE RESPONSIBILITY AREAS AND ACCORDANCE WITH
- AGENCY IS RESPONSIBLE FOR FIRE PROTECTION. 16. SECTION 4905 WILDFIRE PROTECTION BUILDING CONSTRUCTION
- BURNING IN VEGETATIVE FUELS MAY READILY TRANSMIT FIRE TO BUILDINGS AND THREATEN TO DESTROY LIFE, OVERWHELM FIRE SUPPRESSION CAPABILITIES, OR
- BUILDING CONSTRUCTION REQUIREMENTS CONTAINED IN THE CALIFORNIA BUILDING
- 23. 4905.3 ESTABLISHMENT OF LIMITS
- 24. THE ESTABLISHMENT OF LIMITS FOR THE WILDLAND-URBAN INTERFACE FIRE AREA'S REQUIRED CONSTRUCTION METHODS SHALL BE DESIGNATED PURSUANT TO THE CALIFORNIA PUBLIC RESOURCES CODE FOR STATE RESPONSIBILITY AREAS OR BY A LOCAL AGENCY FOLLOWING A FINDING SUPPORTED BY SUBSTANTIAL EVIDENCE IN
- THE RECORD THAT THE REQUIREMENTS OF THIS SECTION ARE NECESSARY FOR EFFECTIVE FIRE PROTECTION WITHIN THE AREA. 25. SECTION 4906 HAZARDOUS VEGETATION AND FUEL MANAGEMENT
- SEVERITY OF POTENTIAL EXTERIOR WILDFIRE EXPOSURE TO BUILDINGS AND TO REDUCE THE RISK OF FIRE SPREADING TO BUILDINGS AS REQUIRED BY APPLICABLE LAWS AND REGULATIONS.
- 28. BUILDINGS AND STRUCTURES LOCATED IN THE FOLLOWING AREAS SHALL MAINTAIN THE REQUIRED HAZARDOUS VEGETATION AND FUEL MANAGEMENT:
- 29. ALL UNINCORPORATED LANDS DESIGNATED BY THE STATE BOARD OF FORESTRY AND FIRE PROTECTION AS STATE RESPONSIBILITY AREA (SRA) INCLUDING:
- 31. 1.2. HIGH FIRE HAZARD SEVERITY ZONES. 32. 1.3. VERY-HIGH FIRE HAZARD SEVERITY ZONES.
- 33. LAND DESIGNATED AS VERY-HIGH FIRE HAZARD SEVERITY ZONE BY CITIES AND OTHER LOCAL AGENCIES.
- 35. HAZARDOUS VEGETATION AND FUELS AROUND ALL APPLICABLE BUILDINGS AND STRUCTURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE FOLLOWING LAWS AND REGULATIONS:
- 36. PUBLIC RESOURCES CODE, SECTION 4291.
- 37. CALIFORNIA CODE OF REGULATIONS, TITLE 14, DIVISION 1.5, CHAPTER 7, SUBCHAPTER 3, SECTION 1299 (SEE GUIDANCE FOR IMPLEMENTATION "GENERAL GUIDELINE TO CREATE DEFENSIBLE SPACE").
- 40. SECTION 4907 DEFENSIBLE SPACE
- 41. Defensible space will be maintained around all buildings and structures in State Responsibility Area (SRA) as required in Public Resources Code 4290 and "SRA Fire Safe Regulations"
- 42. Buildings and structures within the Very-high Fire Hazard Severity Zones of a Local Responsibility Areas (LRA) shall maintain defensible space as outlined in Government Code 51175 — 51189 and any local ordinance of the authority having jurisdiction.

VICINITY MAP



GENERAL NOTES FIRE PROTECTION

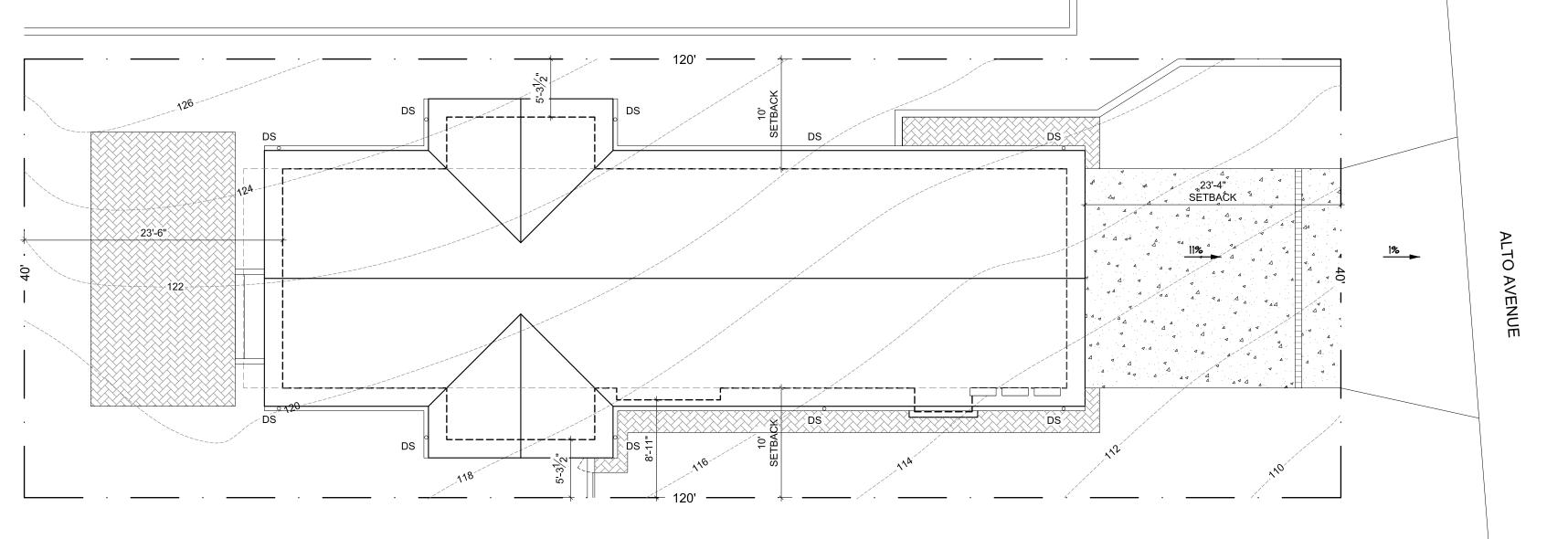
CERTAIN TERMS ARE DEFINED AS FOLLOWS:

- PROTECTION.
- MODIFICATIONS, A FIRE PROTECTION PLAN SHALL BE SUBMITTED. ONLY LOCALLY ADOPTED ORDINANCES THAT HAVE BEEN FILED WITH THE CALIFORNIA BUILDING
- DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT IN ACCORDANCE WITH

STANDARDS COMMISSION IN ACCORDANCE WITH SECTION 101.14 OR THE

- PURSUANT TO CALIFORNIA GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189. 5. THE CALIFORNIA CODE OF REGULATIONS, TITLE 14, SECTION 1280 ENTITLES THE MAPS
- COUNTY, OR DISTRICT IS RESPONSIBLE FOR FIRE PROTECTION.
- PRIMARILY THE RESPONSIBILITY OF THE STATE.
- RESOURCES CODE, SECTIONS 4103 AND 4104.
- FIRE TO A STRUCTURE AND ITS IMMEDIATE ENVIRONMENT. 10. WILDLAND-URBAN INTERFACE FIRE AREA. A GEOGRAPHICAL AREA IDENTIFIED BY
- 11. SECTION 4903 PLANS [RESERVED] 12. SECTION 4904 FIRE HAZARD SEVERITY ZONES
- RESOURCES FROM WILDFIRE.
- GOVERNMENT CODE, SECTIONS 51175 THROUGH 51189 FOR AREAS WHERE A LOCAL 17. MATERIALS AND CONSTRUCTION METHODS FOR EXTERIOR WILDFIRE EXPOSURE
- PROTECTION SHALL BE APPLIED WITHIN GEOGRAPHICAL AREAS WHERE A WILDFIRE RESULT IN LARGE PROPERTY LOSSES.
- 18. 4905.2 CONSTRUCTION METHODS AND REQUIREMENTS WITHIN ESTABLISHED LIMITS 19. WITHIN THE LIMITS ESTABLISHED BY LAW, CONSTRUCTION METHODS INTENDED TO MITIGATE WILDFIRE EXPOSURE SHALL COMPLY WITH THE WILDFIRE PROTECTION
- STANDARDS CODE, INCLUDING THE FOLLOWING: 20. CALIFORNIA BUILDING CODE, CHAPTER 7A,
- 21. CALIFORNIA RESIDENTIAL CODE, SECTION R337, 22. CALIFORNIA REFERENCED STANDARDS CODE, CHAPTER 12-7A.

- 26. HAZARDOUS VEGETATION AND FUELS SHALL BE MANAGED TO REDUCE THE
- 27. 4906.2 APPLICATION
- 30. 1.1. MODERATE FIRE HAZARD SEVERITY ZONES.
- 34. 4906.3 REQUIREMENTS
- 38. CALIFORNIA GOVERNMENT CODE, SECTION 51182.
- 39. CALIFORNIA CODE OF REGULATIONS, TITLE 19, DIVISION 1, CHAPTER 7, SUBCHAPTER 1, SECTION 3.07.
- California Code of Regulations, Title 14, Division 1.5, Chapter 7, Subchapter 2, Section 1270.





San Francisco CA

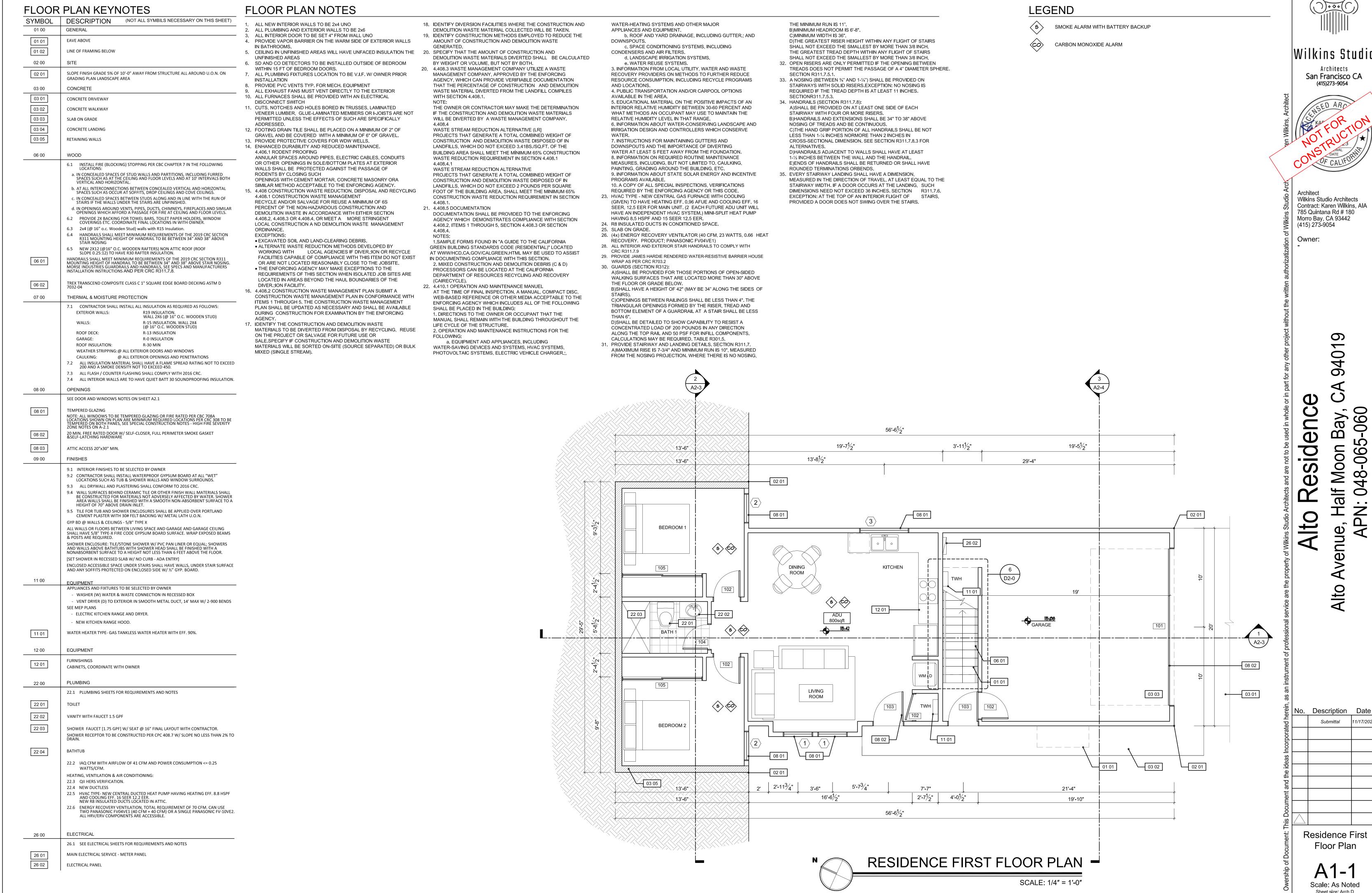
(415)273-9054

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

No. Description Date Submittal

Fire Safety Plan

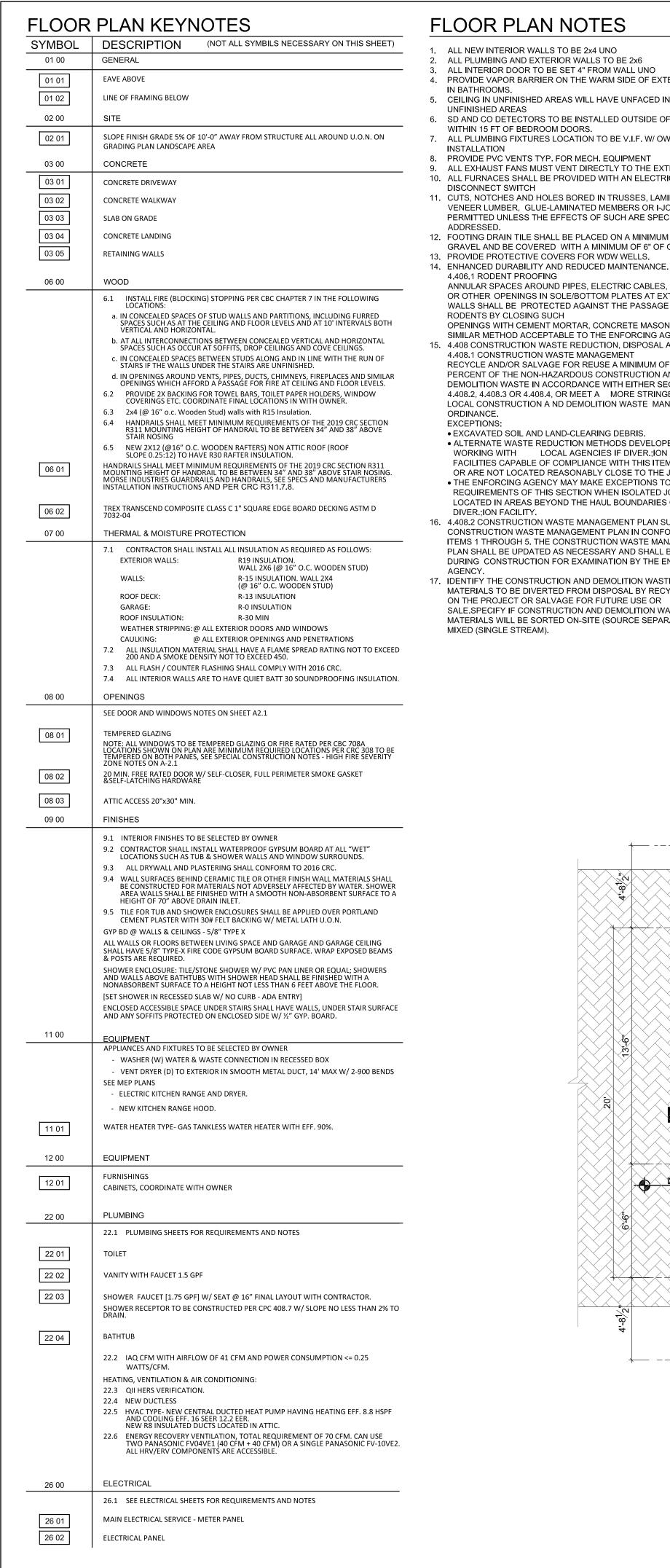


Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180

Ö 9 0 Ω. 4

Residence First Floor Plan

Scale: As Noted



FLOOR PLAN NOTES ALL NEW INTERIOR WALLS TO BE 2x4 UNO

ALL PLUMBING AND EXTERIOR WALLS TO BE 2x6 ALL INTERIOR DOOR TO BE SET 4" FROM WALL UNO PROVIDE VAPOR BARRIER ON THE WARM SIDE OF EXTERIOR WALLS

5. CEILING IN UNFINISHED AREAS WILL HAVE UNFACED INSULATION THE 20. SPECIFY THAT THE AMOUNT OF CONSTRUCTION AND 6. SD AND CO DETECTORS TO BE INSTALLED OUTSIDE OF BEDROOM

WITHIN 15 FT OF BEDROOM DOORS. ALL PLUMBING FIXTURES LOCATION TO BE V.I.F. W/ OWNER PRIOR INSTALLATION

PROVIDE PVC VENTS TYP. FOR MECH. EQUIPMENT ALL EXHAUST FANS MUST VENT DIRECTLY TO THE EXTERIOR 10. ALL FURNACES SHALL BE PROVIDED WITH AN ELECTRICAL

DISCONNECT SWITCH 11. CUTS, NOTCHES AND HOLES BORED IN TRUSSES, LAMINATED VENEER LUMBER, GLUE-LAMINATED MEMBERS OR I-JOISTS ARE NOT PERMITTED UNLESS THE EFFECTS OF SUCH ARE SPECIFICALLY ADDRESSED.

12. FOOTING DRAIN TILE SHALL BE PLACED ON A MINIMUM OF 2" OF GRAVEL AND BE COVERED WITH A MINIMUM OF 6" OF GRAVEL. 13. PROVIDE PROTECTIVE COVERS FOR WDW WELLS.

4.406.1 RODENT PROOFING ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY ORA

SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY. 15. 4.408 CONSTRUCTION WASTE REDUCTION, DISPOSAL AND RECYCLING 4.408.1 CONSTRUCTION WASTE MANAGEMENT RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 6S PERCENT OF THE NON-HAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2. 4.408.3 OR 4.408.4. OR MEET A MORE STRINGENT LOCAL CONSTRUCTION A ND DEMOLITION WASTE MANAGEMENT

EXCEPTIONS: • EXCAVATED SOIL AND LAND-CLEARING DEBRIS. • ALTERNATE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL AGENCIES IF DIVER.;ION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE. • THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOB SITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE

16. 4.408.2 CONSTRUCTION WASTE MANAGEMENT PLAN SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN IN CONFORMANCE WITH ITEMS 1 THROUGH 5. THE CONSTRUCTION WASTE MANAGEMENT PLAN SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE DURING CONSTRUCTION FOR EXAMINATION BY THE ENFORCING

17. IDENTIFY THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OR SALVAGE FOR FUTURE USE OR SALE.SPECIFY IF CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE SORTED ON-SITE (SOURCE SEPARATED) OR BULK MIXED (SINGLE STREAM).

18. IDENTIFY DIVERSION FACILITIES WHERE THE CONSTRUCTION AND DEMOLITION WASTE MATERIAL COLLECTED WILL BE TAKEN. 19. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE

AMOUNT OF CONSTRUCTION AND DEMOLITION WASTE GENERATED. DEMOLITION WASTE MATERIALS DIVERTED SHALL BE CALCULATED

BY WEIGHT OR VOLUME, BUT NOT BY BOTH. 20. 4.408.3 WASTE MANAGEMENT COMPANY UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT THE PERCENTAGE OF CONSTRUCTION AND DEMOLITION WASTE MATERIAL DIVERTED FROM THE LANDFILL COMPILES WITH SECTION 4.408.1.

THE OWNER OR CONTRACTOR MAY MAKE THE DETERMINATION IF THE CONSTRUCTION AND DEMOLITION WASTE MATERIALS WILL BE DIVERTED BY A WASTE MANAGEMENT COMPANY. 4.408.4 WASTE STREAM REDUCTION ALTERNATIVE (LR]

PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF

CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN

LANDFILLS, WHICH DO NOT EXCEED 3.41BS./SQ.FT. OF THE BUILDING AREA SHALL MEET THE MÍNIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1 4.408.4.1 WASTE STREAM REDUCTION ALTERNATIVE PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED OF IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE

CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 21. 4.408.5 DOCUMENTATION DOCUMENTATION SHALL BE PROVIDED TO THE ENFORCING AGENCY WHICH DEMONSTRATES COMPLIANCE WITH SECTION 4.408.2, ITEMS 1 THROUGH 5, SECTION 4.408.3 OR SECTION

FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65%

NOTES: 1.SAMPLE FORMS FOUND IN "A GUIDE TO THE CALIFORNIA GREEN BUILDING STANDARDS CODE (RESIDENTIAL)" LOCATED AT WWW/HCD.CA.GOV/CALGREEN.HTML MAY BE USED TO ASSIST IN DOCUMENTING COMPLIANCE WITH THIS SECTION. 2. MIXED CONSTRUCTION AND DEMOLITION DEBRIS (C & D) PROCESSORS CAN BE LOCATED AT THE CALIFORNIA DEPARTMENT OF RESOURCES RECYCLING AND RECOVERY

(CAIRECYCLE).

22. 4.410.1 OPERATION AND MAINTENANCE MANUEL AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH INCLUDES ALL OF THE FOLLOWING SHALL BE PLACED IN THE BUILDING: 1. DIRECTIONS TO THE OWNER OR OCCUPANT THAT THE MANUAL SHALL REMAIN WITH THE BUILDING THROUGHOUT THE LIFE CYCLE OF THE STRUCTURE. 2. OPERATION AND MAINTENANCE INSTRUCTIONS FOR THE

FOLLOWING: a. EQUIPMENT AND APPLIANCES, INCLUDING WATER-SAVING DEVICES AND SYSTEMS, HVAC SYSTEMS, PHOTOVOLTAIC SYSTEMS, ELECTRIC VEHICLE CHARGER .;, WATER-HEATING SYSTEMS AND OTHER MAJOR APPLIANCES AND EQUIPMENT. b. ROOF AND YARD DRAINAGE, INCLUDING GUTTER.; AND

DOWNSPOUTS. c. SPACE CONDITIONING SYSTEMS, INCLUDING CONDENSERS AND AIR FILTERS. d. LANDSCAPE IRRIGATION SYSTEMS.

e. WATER REUSE SYSTEMS.

3. INFORMATION FROM LOCAL UTILITY, WATER AND WASTE RECOVERY PROVIDERS ON METHODS TO FURTHER REDUCE RESOURCE CONSUMPTION, INCLUDING RECYCLE PROGRAMS AND LOCATIONS. 4. PUBLIC TRANSPORTATION AND/OR CARPOOL OPTIONS AVAILABLE IN THE AREA

5. EDUCATIONAL MATERIAL ON THE POSITIVE IMPACTS OF AN INTERIOR RELATIVE HUMIDITY BETWEEN 30-60 PERCENT AND WHAT METHODS AN OCCUPANT MAY USE TO MAINTAIN THE RELATIVE HUMIDITY LEVEL IN THAT RANGE. 6. INFORMATION ABOUT WATER-CONSERVING LANDSCAPE AND IRRIGATION DESIGN AND CONTROLLERS WHICH CONSERVE

7. INSTRUCTIONS FOR MAINTAINING GUTTERS AND DOWNSPOUTS AND THE IMPORTANCE OF DIVERTING WATER AT LEAST S FEET AWAY FROM THE FOUNDATION. 8. INFORMATION ON REQUIRED ROUTINE MAINTENANCE MEASURES, INCLUDING, BUT NOT LIMITED TO, CAULKING, PAINTING, GRADING AROUND THE BUILDING, ETC. 9. INFORMATION ABOUT STATE SOLAR ENERGY AND INCENTIVE PROGRAMS AVAILABLE 10, A COPY OF ALL SPECIAL INSPECTIONS, VERIFICATIONS

REQUIRED BY THE ENFORCING AGENCY OR THIS CODE. 23. HVAC TYPE - NEW CENTRAL GAS FURNACE WITH COOLING (GIVEN) TO HAVE HEATING EFF. 0.96 AFUE AND COOLING EFF. 16 SEER, 12.5 EER FOR MAIN UNIT, (2 EACH FUTURE ADU UNIT WILL HAVE AN INDEPENDENT HVAC SYSTEM.) MINI-SPLIT HEAT PUMP HAVING 8.5 HSPF AND 15 SEER 12.5 EER. 24. R8 INSULATED DUCTS IN CONDITIONED SPACE. 25. SLAB ON GRADE.

26. (4x) ENERGY RECOVERY VENTILATOR (40 CFM, 23 WATTS, 0.66 HEAT RECOVERY. PRODUCT; PANASONIC FV04VE1) 28. ALL INTERIOR AND EXTERIOR STAIR HANDRAILS TO COMPLY WITH

CRC R311.7.9 29. PROVIDE JAMES HARDIE RENDERED WATER-RESISTIVE BARRIER HOUSE

WRAP AS PER CRC R703.2 30. GUARDS (SECTION R312):

A)SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES THAT ARE LOCATED MORE THAN 30" ABOVE THE FLOOR OR GRADE BELOW. B)SHALL HAVE A HEIGHT OF 42" (MAY BE 34" ALONG THE SIDES OF C)OPENINGS BETWEEN RAILINGS SHALL BE LESS THAN 4". THE

TRIANGULAR OPENINGS FORMED BY THE RISER, TREAD AND BOTTOM ELEMENT OF A GUARDRAIL AT A STAIR SHALL BE LESS D)SHALL BE DETAILED TO SHOW CAPABILITY TO RESIST A CONCENTRATED LOAD OF 200 POUNDS IN ANY DIRECTION ALONG THE TOP RAIL AND 50 PSF FOR INFILL COMPONENTS.

CALCULATIONS MAY BE REQUIRED. TABLE R301.5. 31. PROVIDE STAIRWAY AND LANDING DETAILS, SECTION R311.7. A)MAXIMUM RISE IS 7-3/4" AND MINIMUM RUN IS 10", MEASURED FROM THE NOSING PROJECTION. WHERE THERE IS NO NOSING, THE MINIMUM RUN IS 11". B)MINIMUM HEADROOM IS 6'-8".

C)MINIMUM WIDTH IS 36" D)THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8 INCH.

32. OPEN RISERS ARE ONLY PERMITTED IF THE OPENING BETWEEN TREADS DOES NOT PERMIT THE PASSAGE OF A 4" DIAMETER SPHERE. SECTION R311.7.5.1. 33. A NOSING (BETWEEN ¾" AND 1-¼") SHALL BE PROVIDED ON

STAIRWAYS WITH SOLID RISERS.EXCEPTION: NO NOSING IS REQUIRED IF THE TREAD DEPTH IS AT LEAST 11 INCHES. SECTIONR311.7.5.3.

34. HANDRAILS (SECTION R311.7.8): A)SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH STAIRWAY WITH FOUR OR MORE RISERS. B)HANDRAILS AND EXTENSIONS SHALL BE 34" TO 38" ABOVE NOSING OF TREADS AND BE CONTINUOUS. C)THE HAND GRIP PORTION OF ALL HANDRAILS SHALL BE NOT LESS THAN 1-1/4 INCHES NORMORE THAN 2 INCHES IN CROSS-SECTIONAL DIMENSION. SEE SECTION R311.7.8.3 FOR ALTERNATIVES. D)HANDRAILS ADJACENT TO WALLS SHALL HAVE AT LEAST 1-1/2 INCHES BETWEEN THE WALL AND THE HANDRAIL.

E)ENDS OF HANDRAILS SHALL BE RETURNED OR SHALL HAVE

PROVIDED A DOOR DOES NOT SWING OVER THE STAIRS.

ROUNDED TERMINATIONS ORBENDS. 35. EVERY STAIRWAY LANDING SHALL HAVE A DIMENSION, MEASURED IN THE DIRECTION OF TRAVEL, AT LEAST EQUAL TO THE STAIRWAY WIDTH. IF A DOOR OCCURS AT THE LANDING, SUCH DIMENSIONS NEED NOT EXCEED 36 INCHES. SECTION R311.7.6. EXCEPTION: AT THE TOP OF AN INTERIOR FLIGHT OF STAIRS.

LEGEND

SMOKE ALARM WITH BATTERY BACKUP

CARBON MONOXIDE ALARM

San Francisco CA (415)273-9054

Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

0

 \mathbf{m}

Mo

alf

Description Date

Submittal

Residence

Second Floor

A1

Scale: As Noted Sheet size: Arch D

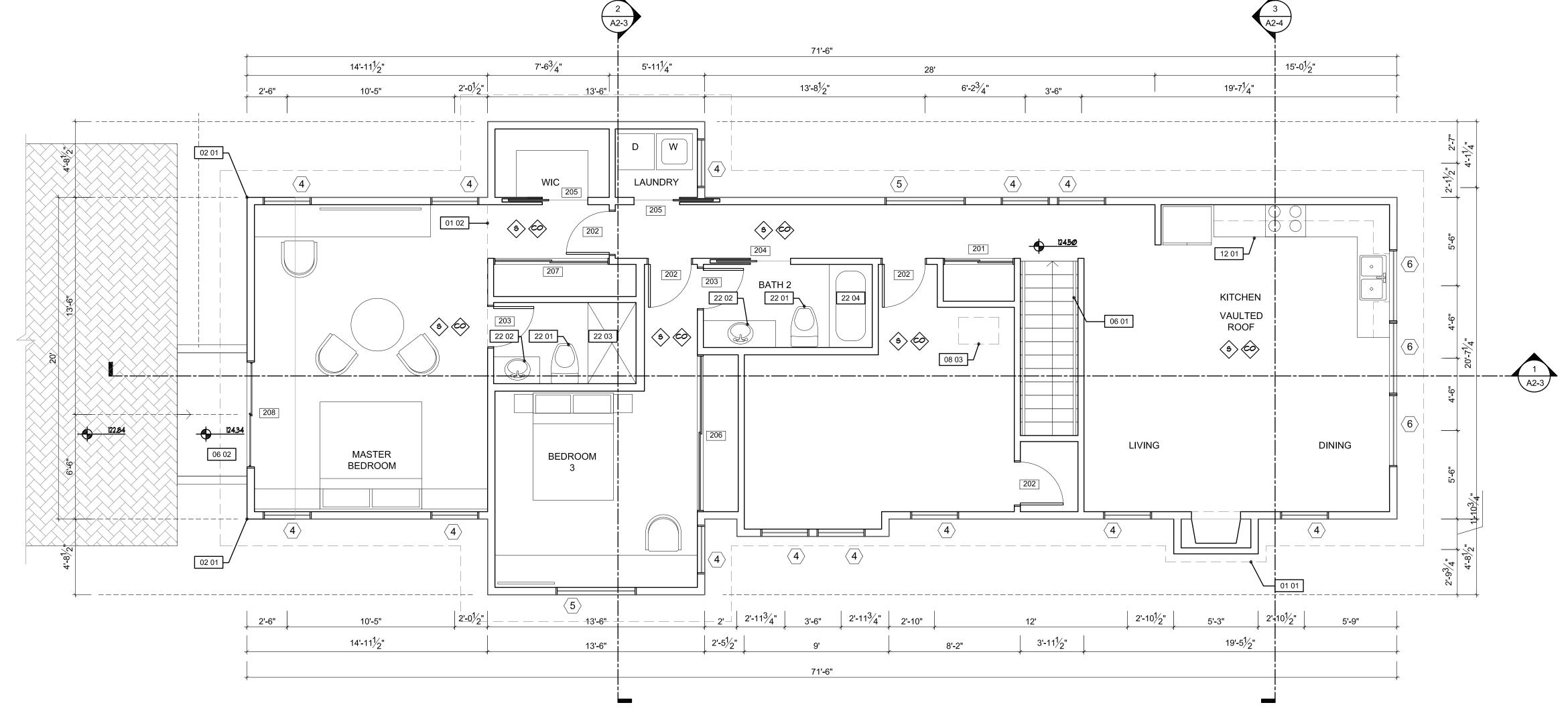
Φ

90-

9

0

D





ROOF PLAN KEYNOTES SYMBOL DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET) 01 01 EAVE ABOVE 01 02 LINE OF FRAMING BELOW 07 00 THERMAL & MOISTURE PROTECTION 7.1 CONTRACTOR SHALL VERIFY ALL CONDITIONS SHOWN ON THE DRAWINGS AND NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. 7.2 CONTRACTOR SHALL INSTALL ALL G.L. FLASHING AS REQUIRED TO COMPLETE ASSEMBLY FOR WATER-TIGHT CONSTRUCTION. (26 GAUGE, TYPICAL) COLOR MATCH ROOF WHERE VISIBLE. 7.3 ALL PENETRATIONS AS MAY OCCUR SHALL BE FLASHED AND CAPPED AS REQUIRED. 7.4 PROVIDE ALL FLASHING AND CLOSURE STRIPS AND INSTALL PER MANUFACTURER'S REQUIREMENTS - SEE DETAILS. 7.5 MATCH ROOF SLOPE TO DRAIN @ CRICKETS WHEN POSSIBLE. 7.6 ROOF COVERING AND UNDERLAYMENT SHALL COMPLY W/ 2019 CRC CHAPTER 9. 7.7 ALL ROOD EAVES AND FASCIA CONDITIONS SHALL BE AS PER DETAILS. ADJUSTMENTS IN THE FIELD SHALL OCCUR ONLY AS NECESSITATED BY DIMENSIONAL DISCREPANCIES - COORDINATE WITH ARCHITECT. 7.8 (RESIDENCE) NEW 2X4 (@ 24" O.C. WOODEN JOISTS) VENTILATED ATTIC ROOF (ROOF SLOPE 6:12) TO HAVE R30 CEILING INSULATION W/ R13 BELOW ROOF DECK INSULATION. NEW 2X4 (@ 16" O.C. WOODEN RAFTERS) NON-ATTIC (ROOF SLOPE 6:12) TO HAVE RO RAFTER INSULATION FOR GARAGE. 7.9 NEW 2X4 (@ 24" O.C. WOODEN JOISTS) VENTILATED ATTIC ROOF (ROOF SLOPE 4:12) TO HAVE R38 CEILING INSULATION W/ RADIANT BARRIER. 7.10 ROOFING LIGHTWEIGHT ROOFING OR EQUIVALENT. 07 01 CERTAINTEED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR 07 02 5" FASCIA GUTTER "DS" INDICATES 2" DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW 07 03 ATTIC EAVE VENT 07 04 ATTIC RIDGE VENT

GENERAL NOTES

- 1. OVERLAP MEMBRANES LATERALLY 3" AND FRONTALLY 6".
- MEMBRANES SHOULD BE STAGGERED ABOUT 18" SO SEAMS DO NOT OVERLAP.

 2. FOR SLOPES LESS THAN 3" PER FOOT, INSTALL THE PROPYLENE MEMBRANE PERPENDICULAR TO THE SLOPE.

ATTIC LEGEND

ROOF VENT

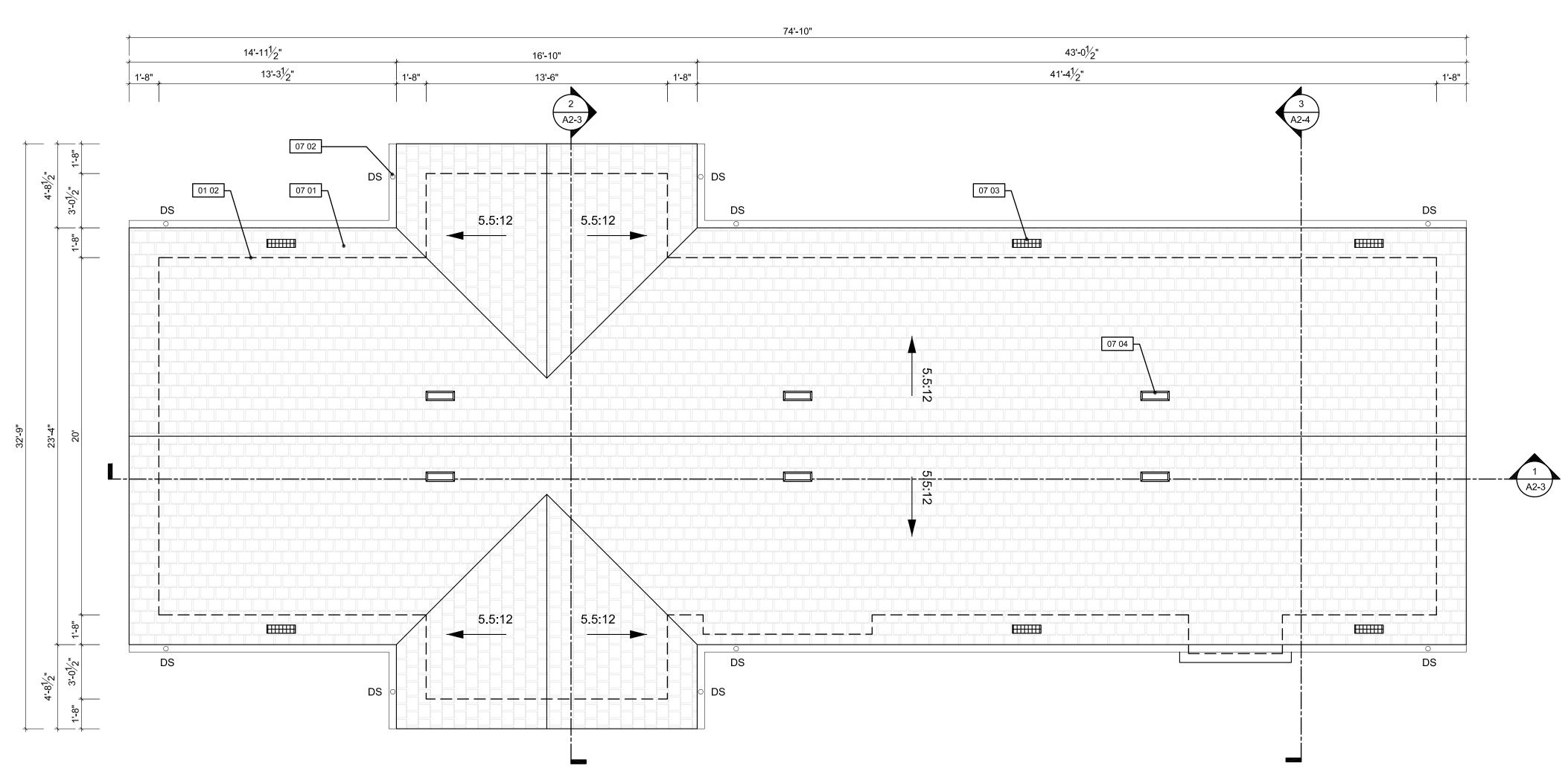
EAVE VENT 6"x16"

ATTIC VENTILATION CALCULATIONS:

1/150 RULE CALCULATION TOTAL ATTIC SQUARE FEET: 1567/150 = 10.45SQ FT X 144 - 1504 SQ IN TOTAL VENTILATION

1504/2 = 752 SQ IN FOR RIDGE VENTING THEREFOR 15 (50 SQ IN) VENTSURE METAL SLANT BACK VENTS NEAR RIDGE

675/2= 752 SQ IN FOR SOFFIT VENTING THEREFORE 15 (50 SQ IN) VENTSURE METAL SLANT BACK VENTS NEAR SOFFIT



RESIDENCE ROOF PLAN

SCALE: 1/4" = 1'-0"

Architects San Francisco CA (415)273-9054 Architect Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054 Owner: 9401 Residence oon Bay, -065-060 alf Moon F 048-065 Half

of Document: This Document

See Signature

See Sign

Residence Roof Plan

No. Description Date

Submittal 11/17/202

A1-3
Scale: As Noted
Sheet size: Arch D

EXTERIOR ELEVATION KEYNOTES See outline specificacions on sheet A0.4 for additional information in eahc category. SYMBOL DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET) SITE 02 00 02 01 FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE CONCRETE 03 00 CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS 03 01 06 00 WOOD 06 01 TREX TRANSCEND COMPOSITE CLASS C 1" SQUARE EDGE BOARD DECKING ASTM D 7032-04 +42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT 06 02 PASS. MORSE INDUSTRIES GUARDRAILS AND HANDRAILS, SEE SPECS AND MANUFACTURERS INSTALLATION INSTRUCTIONS AND PER CRC R311.7.8. 07 00 THERMAL & MOISTURE PROTECTION 07 01 CERTAINTEED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR EQUAL 5" FASCIA GUTTER 07 02 "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW 08 00 OPENINGS USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE WINDOW FLASHING DETAIL 08 01 8.1 BENJAMIN MOORE CHANTILLY LACE OC-65 FOR TRIM 09 00 **FINISHES** 09 01 JAMES HARDIE LAP SIDING COLOR: TIMBER BARK

JAMES HARDIE SHINGLE SIDING COLOR: KHAKI BROWN

SITE IMPROVEMENT

PLANTER

PERGOLA

09 02

32 00

32 01

32 02

GENERAL NOTES

1. ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS

SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2

2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94507.

3. 4.504.2.2 PAINT AND COATINGS.

BELOW.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL

4. 4.504.2.3 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF CALIFORNIA CODE OF REGULATIONS, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION..

5. 4.504.2.4 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

> 1.- MANUFACTURER'S PRODUCT SPECIFICATION. 2.- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS. TABLE 4.504.1 - ADHESIVE VOC LIMIT 1,2 (LESS WATER AND LESS EXEM PT COMPOUNDS IN GRAMS PER LITER)

DOOR SCHEDULE

BOOK SOILEBOLE								
MARK	WIDTH	HEIGHT	FRAME MATERIAL	DOOR MATERIAL	DOOR FINISH	QTY	COMMENTS	
101	15' - 10"	7' - 4"	ALUM	ALUM	PTD	1	GARAGE DOOR	
102	2' - 8"	6' - 11"	WD	WD	PTD	4		
103	3' - 0"	6' - 11"	ALUM	ALUM	PTD	2	EXTERIOR DOOR	
104	2' - 6"	6' - 11"	WD	WD	PTD	1	VENTED SINGLE FOLDING DOOR	
105	8' - 0"	6' - 11"	WD	WD	PTD	2	CLOSET SL DOOR	
201	4' - 3"	6' - 11"	WD	WD	PTD	1	CLOSET SL DOOR	
202	2' - 8"	6' - 11"	WD	WD	PTD	3		
203	2' - 6"	6' - 11"	WD	WD	PTD	2	VENTED SINGLE FOLDING DOOR	
204	2' - 6"	6' - 11"	WD	WD	PTD	1	POCKET DOOR	
205	2' - 10"	6' - 11"	WD	WD	PTD	2	POCKET DOOR	
206	9' - 7"	6' - 11"	WD	WD	PTD	2	CLOSET SL DOOR	
207	7' - 0"	6' - 11"	WD	WD	PTD	1	CLOSET SL DOOR	
208	6' - 6"	6' - 11"	ALUM	GLASS	PTD	1	SLIDING DOOR	

WINDOW SCHEDULE

NO.	WIDTH	HEIGHT	QTY	COMMENTS
1	3' - 0"	4' - 0"	2	TILT AND TURN
2	3' - 0"	3' - 0"	2	TILT AND TURN
3	5' - 0"	2' - 0"	1	SLIDING
4	3' - 0"	5' - 0"	13	TILT AND TURN
5	5' - 0"	5' - 0"	2	SLIDING
6	4' - 6"	4' - 6"	3	TILT AND TURN & FIXED
	1 2 3 4 5	1 3' - 0" 2 3' - 0" 3 5' - 0" 4 3' - 0" 5 5' - 0"	1 3' - 0" 4' - 0" 2 3' - 0" 3' - 0" 3 5' - 0" 2' - 0" 4 3' - 0" 5' - 0" 5 5' - 0" 5' - 0"	1 3' - 0" 4' - 0" 2 2 3' - 0" 3' - 0" 2 3 5' - 0" 2' - 0" 1 4 3' - 0" 5' - 0" 13 5 5' - 0" 5' - 0" 2

DOORS AND WINDOWS NOTES

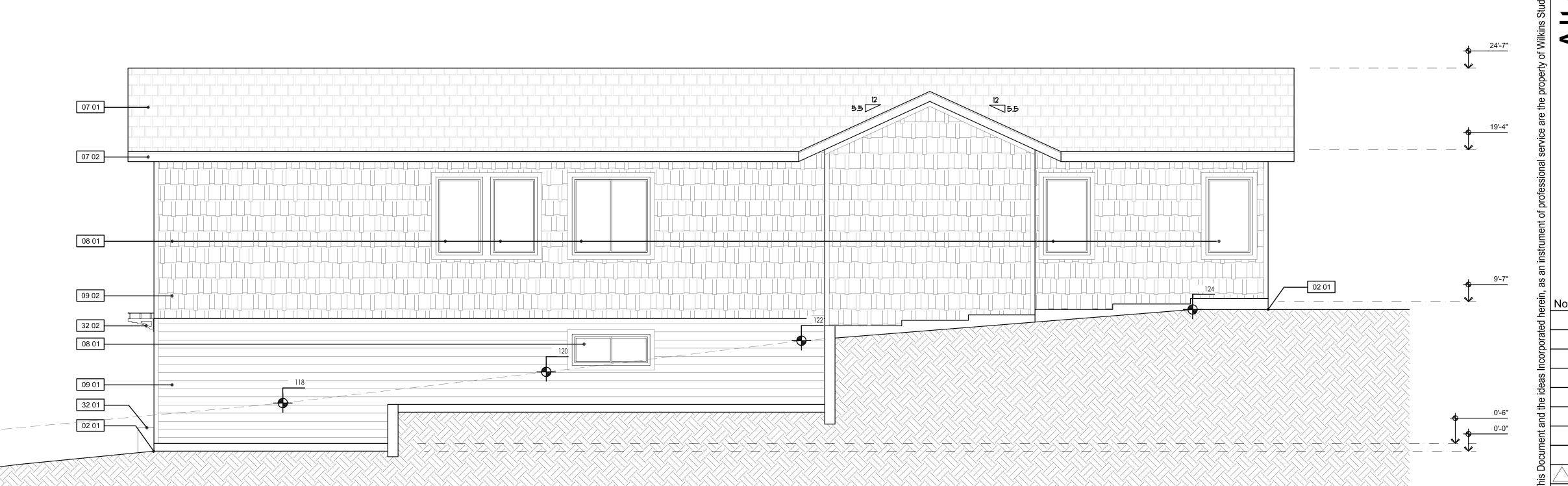
A.F.F. TO HAVE SAFETY GLASS.

- 1 HOUR FYRE-TEC FIRE RATED WINDOWS. RESIDENCE: DOUBLE NON-METAL CLEAR FOR GARAGE WINDOWS. WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.23 SHGC.
- ADUs: WINDOWS & DOORS WITH NFRC VALUE OF 0.3 U-FACTOR AND 0.23 SHGC.
- 4. ALL SIZES TO BE VERIFIED w/ MANUFACTURE. 5. ALL WINDOWS IN BATHROOMS, STAIRS AREA, AND WITH SILL LOCATION LOWER THAN 18"
- 6. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 5.7 SQUARE FEET, WITH THE MINIMUM OPENABLE WIDTH 20" AND THE MINIMUM OPENABLE HEIGHT 24".
- THE BOTTOM OF THE CLEAR OPENING SHALL NOT EXCEED 44" ABOVE THE FLOOR. THE EMERGENCY DOOR OR WINDOW SHALL BE OPENABLE FROM THE INSIDE TO PROVIDE A
- FULL, CLEAR OPENING WITHOUT THE USE OF ANY KEYS OR TOOLS. ALL HABITABLE ROOMS SHALL BE PROVIDED WITH AGGREGATE GLAZING AREA OF NOT LESS
- THAN 8% OF THE FLOOR AREA OF SUCH ROOMS, PER SECTION R303.1.
- 10. NATURAL VENTILATION SHALL BE PROVIDED FOR ALL HABITABLE ROOMS, WITH THE MINIMUM OPENABLE AREA TO THE OUTDOORS OF 4% OF THE FLOOR AREA BEING VENTILATED. SECTION R303.1.
- 11. GLAZING ADJACENT TO A DOOR WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE. AND IT MEETS EITHER OF THE FOLLOWING I) WHERE THE GLAZING IS WITHIN 24" OF EITHER SIDE OF THE DOOR IN THE PLANE OF THE DOOR IN A CLOSED POSITION. II) WHERE THE GLAZING IS ON A WALL LESS THAN 180 DEGREES FROM THE PLANE OF THE
- DOOR IN A CLOSED POSITION AND WITHIN 24" OF THE HINGE SIDE OF AN IN-SWINGING DOOR. 12. POCKET DOOR TO THE MASTER CLOSET OPENS FROM THE LEFT SIDE.

D2-0 07 01 07 02 08 01 09 02

NORTHWEST ELEVATION

SCALE: 1/4" =1'-0"



SOUTHWEST ELEVATION SCALE: 1/4" =1'-0"

Wilkins Studio Architects San Francisco CA (415)273-9054 Architect

Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

Owner:

0

Bay -06(\Box Moon 0 90 **es** aff

Description Date

Residence North and South Elevations

Sheet size: Arch D

Scale: As Noted

YMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	CONCRETE LANDING / SIDEWALK, FOR MINIMUM SIZE REQUIREMENTS
06 00	WOOD
06 01	TREX TRANSCEND COMPOSITE CLASS C 1" SQUARE EDGE BOARD DECKING ASTM D 7032-04
06 02	+42" HALF WALLS OR GUARDRAIL W/ BALUSTERS SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS. MORSE INDUSTRIES GUARDRAILS AND HANDRAILS, SEE SPECS AND MANUFACTURERS INSTALLATION INSTRUCTIONS AND PER CRC R311.7.8.
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTEED ASPHALT ROOF SHINGLES LANDMARK SOLARIS COLOR: RESAWN SHAKE OR EQUAL
07 02	5" FASCIA GUTTER "DS" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE WINDOW FLASHING DETAIL 8.1 BENJAMIN MOORE CHANTILLY LACE OC-65 FOR TRIM
09 00	FINISHES
09 01	JAMES HARDIE LAP SIDING COLOR: TIMBER BARK
09 02	JAMES HARDIE SHINGLE SIDING COLOR: KHAKI BROWN
32 00	SITE IMPROVEMENT
32 01	PLANTER
32 02	PERGOLA

GENERAL NOTES

 ADHESIVES, ADHESIVE BONDING PRIMERS, ADHESIVE PRIMERS, SEALANTS, SEALANT PRIMERS AND CAULKS

SHALL COMPLY WITH LOCAL OR REGIONAL AIR POLLUTION CONTROL OR AIR QUALITY MANAGEMENT DISTRICT RULES WHERE APPLICABLE OR SCAQMD RULE 1168 VOC LIMITS, AS SHOWN IN TABLE 4.504.1 OR 4.504.2, AS APPLICABLE. SUCH PRODUCTS ALSO SHALL COMPLY WITH THE RULE 1168 PROHIBITION ON THE USE OF CERTAIN TOXIC COMPOUNDS (CHLOROFORM, ETHYLENE DICHLORIDE, METHYLENE CHLORIDE, PERCHLOROETHYLENE AND TRICLOROETHYLENE), EXCEPT FOR AEROSOL PRODUCTS, AS SPECIFIED IN SUBSECTION 2 BELOW.

2. AEROSOL ADHESIVES, AND SMALLER UNIT SIZES OF ADHESIVES, AND SEALANT OR CAULKING COMPOUNDS (IN UNITS OF PRODUCT, LESS PACKAGING, WHICH DO NOT WEIGH MORE THAN 1 POUND AND DO NOT CONSIST OF MORE THAN 16 FLUID OUNCES) SHALL COMPLY WITH STATEWIDE VOC STANDARDS AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS, OF *CALIFORNIA CODE OF REGULATIONS*, TITLE 17, COMMENCING WITH SECTION 94507.

3. 4.504.2.2 PAINT AND COATINGS.

ARCHITECTURAL PAINTS AND COATINGS SHALL COMPLY WITH VOC LIMITS IN TABLE 1 OF THE ARB ARCHITECTURAL SUGGESTED CONTROL MEASURE, AS SHOWN IN TABLE 4.504.3, UNLESS MORE STRINGENT LOCAL LIMITS APPLY. THE VOC CONTENT LIMIT FOR COATINGS THAT DO NOT MEET THE DEFINITIONS FOR THE SPECIALTY COATINGS CATEGORIES LISTED IN TABLE 4.504.3 SHALL BE DETERMINED BY CLASSIFYING THE COATING AS A FLAT, NONFLAT OR NONFLAT-HIGH GLOSS COATING, BASED ON ITS GLOSS, AS DEFINED IN SUBSECTIONS 4.21, 4.36, AND 4.37 OF THE 2007 CALIFORNIA AIR RESOURCES BOARD, SUGGESTED CONTROL MEASURE, AND THE CORRESPONDING FLAT, NONFLAT OR NONFLAT-HIGH GLOSS VOC LIMIT IN TABLE 4.504.3 SHALL APPLY

4.4.504.2.3 AEROSOL PAINTS AND COATINGS.

AEROSOL PAINTS AND COATINGS SHALL MEET THE PRODUCT-WEIGHTED MIR LIMITS FOR ROC IN SECTION 94522(A)(2) AND OTHER REQUIREMENTS, INCLUDING PROHIBITIONS ON USE OF CERTAIN TOXIC COMPOUNDS AND OZONE DEPLETING SUBSTANCES, IN SECTIONS 94522(E)(1) AND (F)(1) OF *CALIFORNIA CODE OF REGULATIONS*, TITLE 17, COMMENCING WITH SECTION 94520; AND IN AREAS UNDER THE JURISDICTION OF THE BAY AREA AIR QUALITY MANAGEMENT DISTRICT ADDITIONALLY COMPLY WITH THE PERCENT VOC BY WEIGHT OF PRODUCT LIMITS OF REGULATION. .

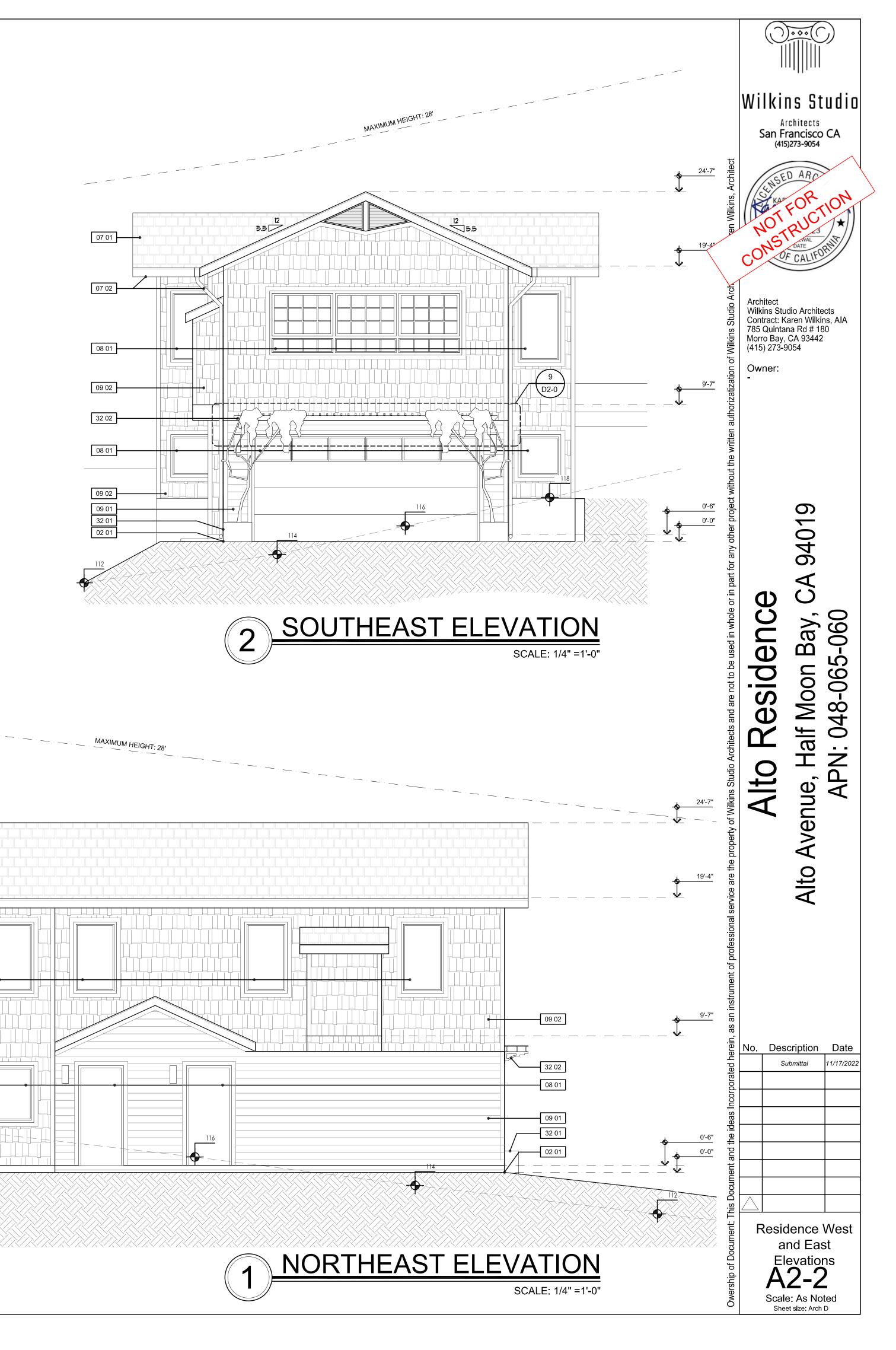
5. 4.504.2.4 VERIFICATION.

VERIFICATION OF COMPLIANCE WITH THIS SECTION SHALL BE PROVIDED AT THE REQUEST OF THE ENFORCING AGENCY. DOCUMENTATION MAY INCLUDE, BUT IS NOT LIMITED TO, THE FOLLOWING:

1.- MANUFACTURER'S PRODUCT SPECIFICATION.2.- FIELD VERIFICATION OF ON-SITE PRODUCT CONTAINERS.TABLE 4.504.1 - ADHESIVE VOC LIMIT 1,2(LESS WATER AND LESS EXEM PT COMPOUNDS IN GRAMS PER LITER)

07 01

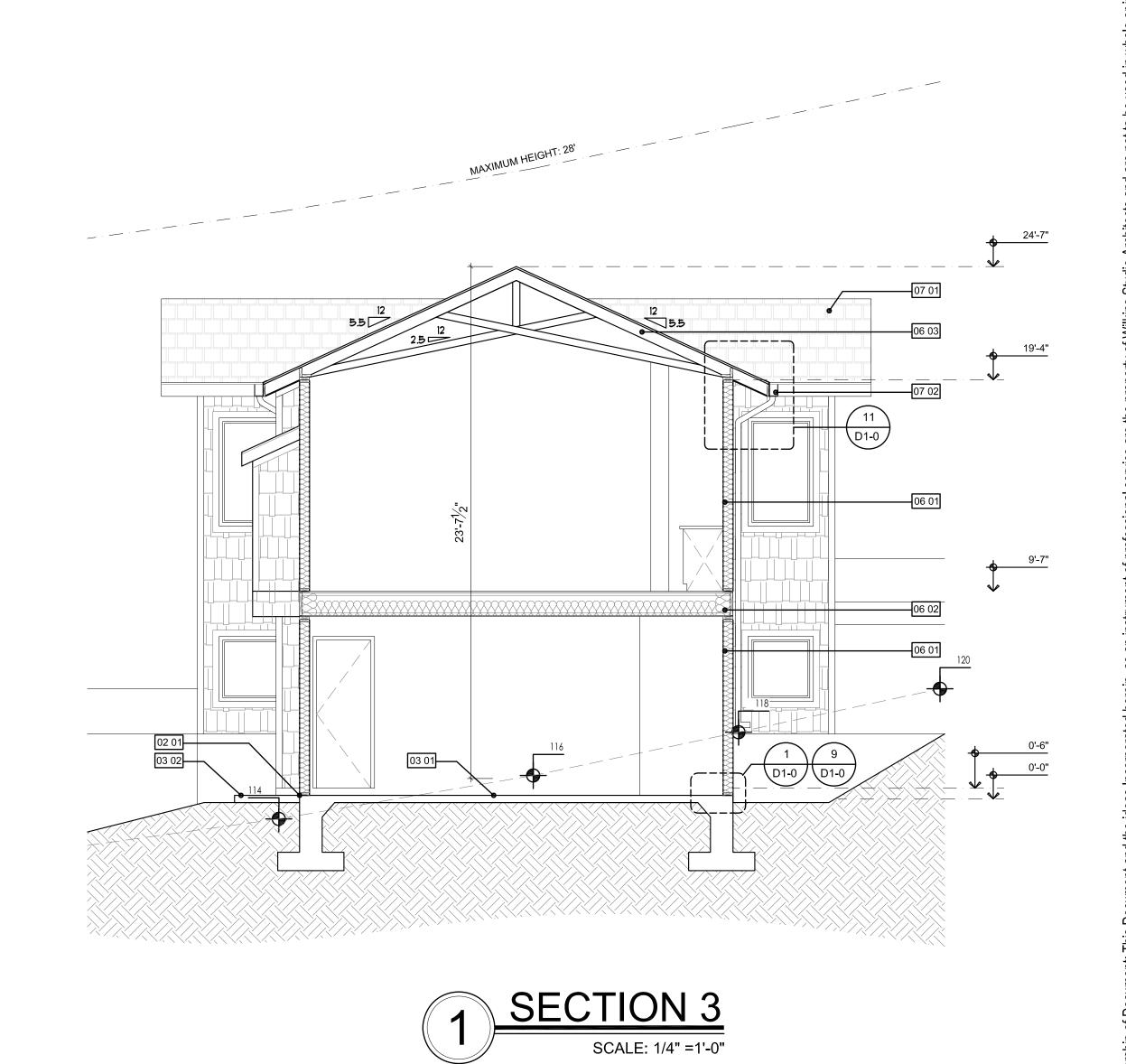
06 02



SECTION	ON NOTES & KEYNOTES		0.000
SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)	MAXIMUM HEIGHT: 28'	
02 00	SITE FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE		Wilkins Studio
03 00	CONCRETE SLAB ON GRADE		Architects San Francisco CA
03 01	CONCRETE LANDING/SIDEWALK		(415)273-9054
03 03	CMU RETAINING WALL, SEE STRUCTURAL PLANS WOOD	24'-7"	Archite (%)
06 01	2x FRAMING PER STRUCTURAL DRAWINGS	07 01	Wilkins FOL TO
06 02	FLOOR JOIST PER STRUCTURAL DRAWINGS 2x MANUFACTURED TRUSSES PER FRAMING PLAN	19'-4"	ONS DATE OR DE CALLED RIVER
	WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED		COCALI
	1. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.		Architect Wilkins Studio Architects
	2. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN. 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING, "FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS", OR OTHER WORDING. (CBS 703.7)		Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054
07 00	THERMAL & MOISTURE PROTECTION	1 D2-0 08 01	fo Owner:
07 01 07 02	CERTAINTEED ASPHALT ROOF SHINGLES ICC-ES-ESR-1389 OR EQUAL 5" FASCIA GUTTER	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	orizatiza
	"DS" INDICATES RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW		ten auth
08 00	OPENINGS USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE A2-01 WINDOW FLASHING	$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	t the writ
	DETAIL		t withou
		0'-6" D1-0 03 01	er projec
			940
			n part fe
			ence in whole ence of the second seco
		SCALE: 1/4" =1'-0"	de d
		SECTION 2 SCALE: 1/4" =1'-0"	SS
		MAXIMUM HEIGHT: 28'	A Jife of a Milects are 104 and 104 an
		<u>07 01</u>	We, We
			wity of W
			the prope
			vice are t
			onal serv
			professi
			ument of
		$\begin{array}{c ccccccccccccccccccccccccccccccccccc$	an instra
			ଞ୍ଚ No. Description Date
		5 D2-0 D2-0	Submittal 11/17/20:
			s Incorp
		0'-2" 0'-2" 0'-0"	the idea
			lent and
			s Docum
			를 Sections
		1 <u>SECTION 1</u> SCALE: 1/4" =1'-0"	Docum
		SCALE: 1/4" =1'-0"	A2-3 Scale: As Noted Sheet size: Arch D
			Sheet size: Arch D

SECTION NOTES & KEYNOTES

SYMBOL	DESCRIPTION (NOT ALL SYMBOLS NECESSARY ON THIS SHEET)
02 00	SITE
02 01	FINISH GRADE / SURFACE - SLOPE 5%FOR 10' AWAY FROM STRUCTURE
03 00	CONCRETE
03 01	SLAB ON GRADE
03 02	CONCRETE LANDING/SIDEWALK
03 03	CMU RETAINING WALL, SEE STRUCTURAL PLANS
06 00	WOOD
06 01	2x FRAMING PER STRUCTURAL DRAWINGS
06 02	FLOOR JOIST PER STRUCTURAL DRAWINGS
06 03	2x MANUFACTURED TRUSSES PER FRAMING PLAN
	WHERE THERE IS AN ACCESSIBLE CONCEALED FLOOR, FLOOR-CEILING OR ATTIC SPACE, FIRE WALLS, FIRE BARRIERS, FIRE PARTITIONS, SMOKE BARRIERS AND SMOKE PARTITIONS OR ANY OTHER WALL REQUIRED TO HAVE PROTECTED OPENINGS OR PENETRATIONS SHALL BE EFFECTIVELY AND PERMANENTLY IDENTIFIED, WITH SIGNS OR STENCILING IN THE CONCEALED SPACE, SUCH IDENTIFICATION SHALL:
	1. BE LOCATED WITHIN 15 FEET OF THE END OF EACH WALL AND AT INTERVALS NOT EXCEEDING 30 FEET MEASURED HORIZONTALLY ALONG THE WALL OR PARTITION.
	2. INCLUDE LETTERING NOT LESS THAN 3" IN HEIGHT WITH A MIN. 3/8" STROKE IN A CONTRASTING COLOR INCORPORATING THE SUGGESTED WORDING,
	"FIRE AND/OR SMOKE BARRIER PROTECT ALL OPENINGS", OR OTHER WORDING. (CBS 703.7)
07 00	THERMAL & MOISTURE PROTECTION
07 01	CERTAINTEED ASPHALT ROOF SHINGLES ICC-ES-ESR-1389 OR EQUAL
07 02	5" FASCIA GUTTER
	"DS" INDICATES RECTANGULAR DOWNSPOUT, TYPICAL (TERMINATE PER SOILS REPORT) "DTR" INDICATES DOWNSPOUT TO ROOF OR GUTTER BELOW
08 00	OPENINGS
08 01	USE TYVEK "FLEXWRAP" FLASHING AT ALL EXTERIOR OPENINGS, SEE A2-01 WINDOW FLASHING DETAIL



Wilkins Studio

Architects
San Francisco CA
(415)273-9054

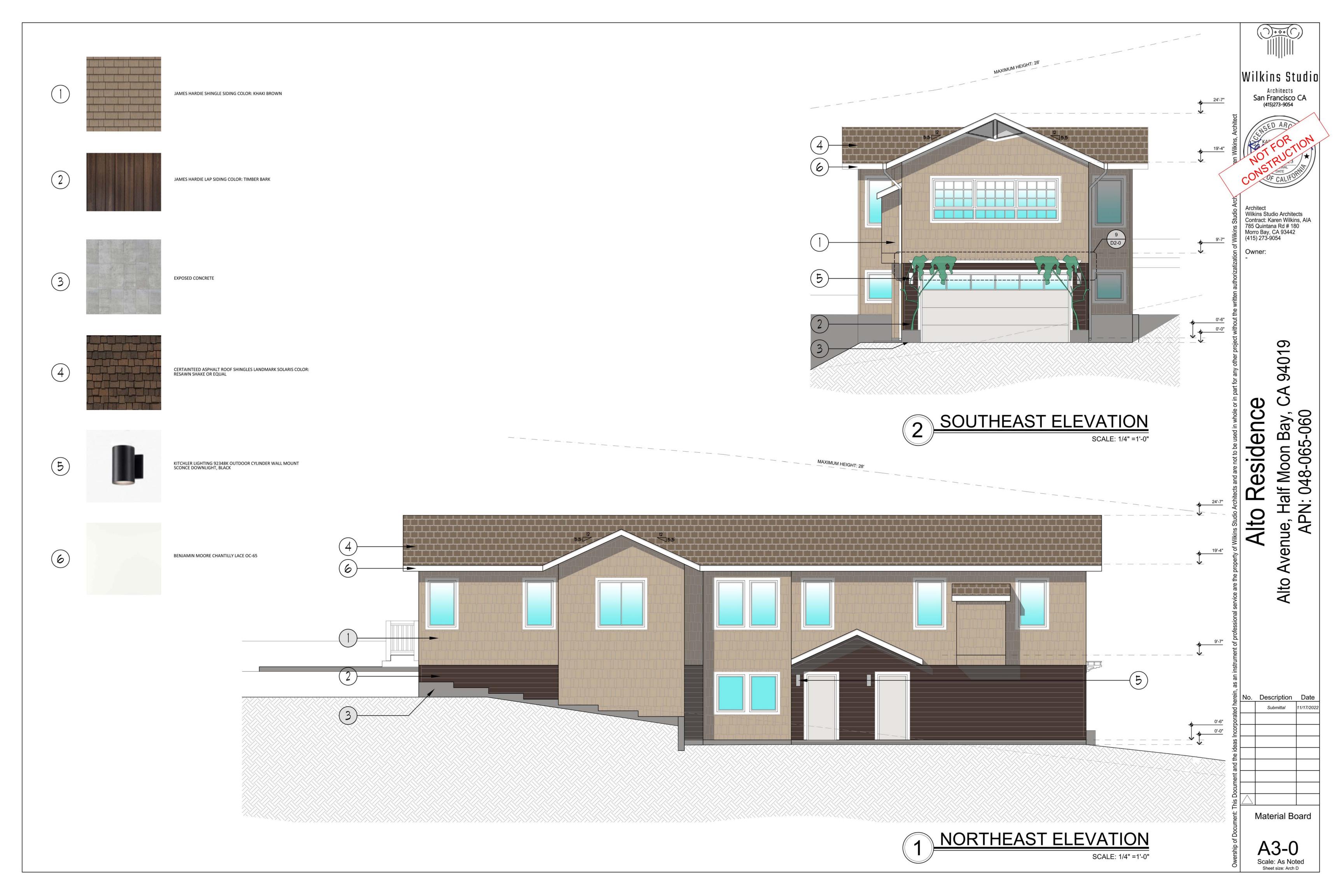
Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054

Owner:

94019

Residence Alto Avenue, Half Moon Bay, APN: 048-065-060

Section













Architects
San Francisco CA
(415)273-9054

Architect
Wilkins Studio Architects
Contract: Karen Wilkins, AIA
785 Quintana Rd # 180
Morro Bay, CA 93442
(415) 273-9054 Owner:

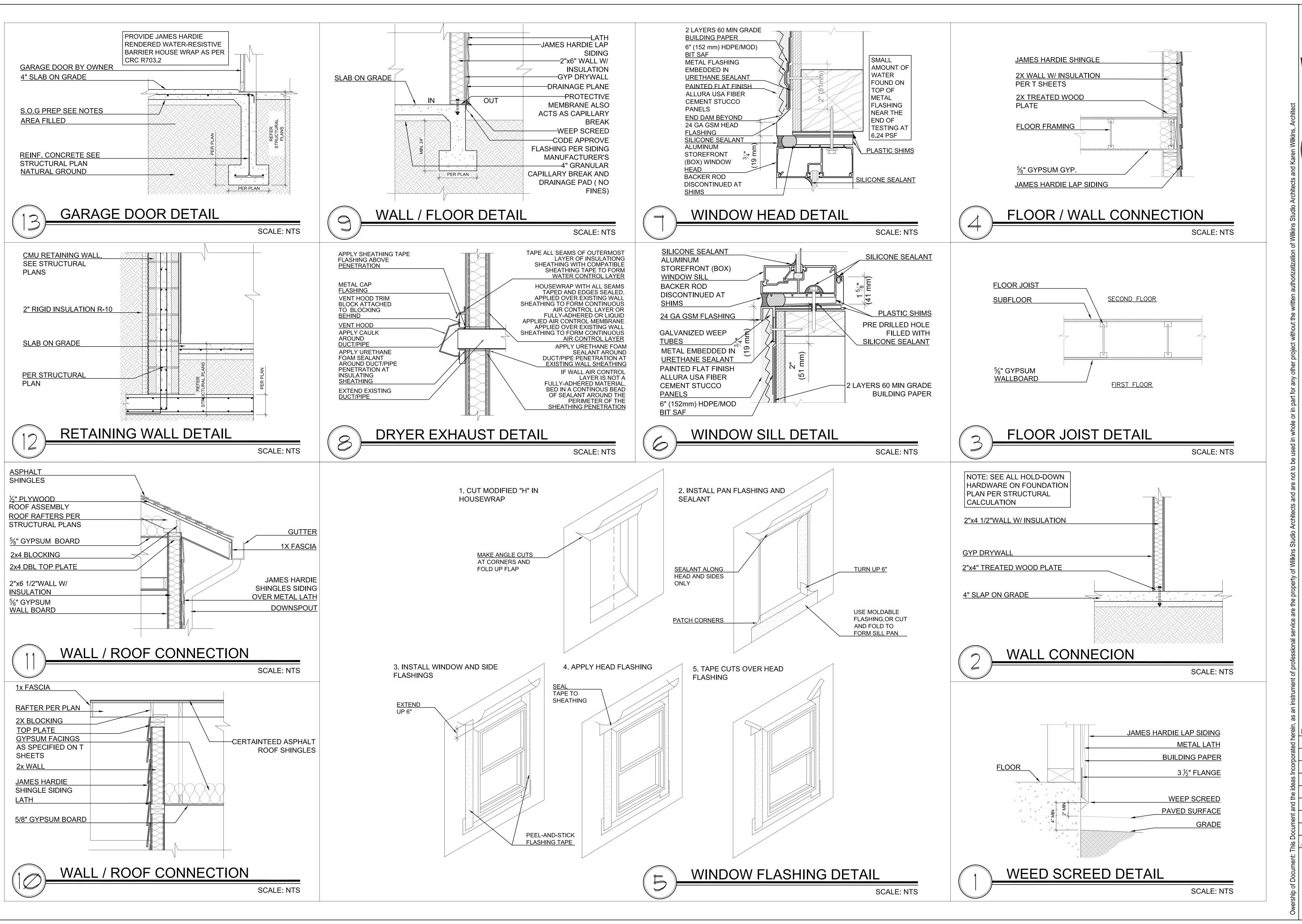
94019

Alto Avenue, Half Moon Bay, APN: 048-065-060

Residence

No. Description Date

Renderings



 $)) \diamond \diamond \diamond (($

Wilkins Studio

Architects San Francisco CA (415)273-9054



Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442 (415) 273-9054

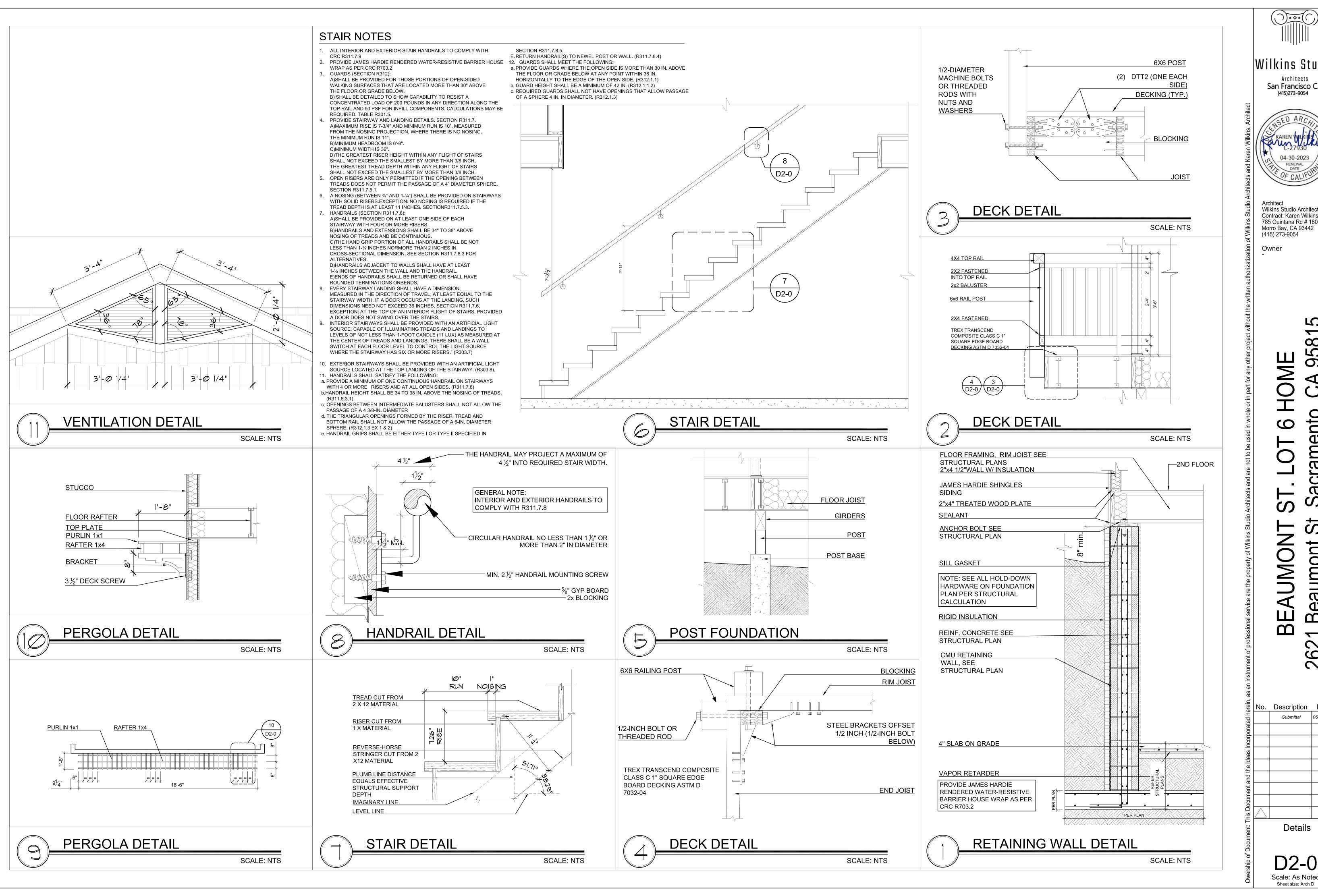
Owner

58 0 $\boldsymbol{\omega}$ aumont $\widetilde{\mathbf{D}}$ \Box 262

No. Description Date Submittal

Details

D1-0 Scale: As Noted Sheet size: Arch D



|Wilkins Studio

San Francisco CA (415)273-9054



Wilkins Studio Architects Contract: Karen Wilkins, AIA 785 Quintana Rd # 180 Morro Bay, CA 93442

acra aumont Φ $\widetilde{\mathbf{m}}$ 262

No. Description Date

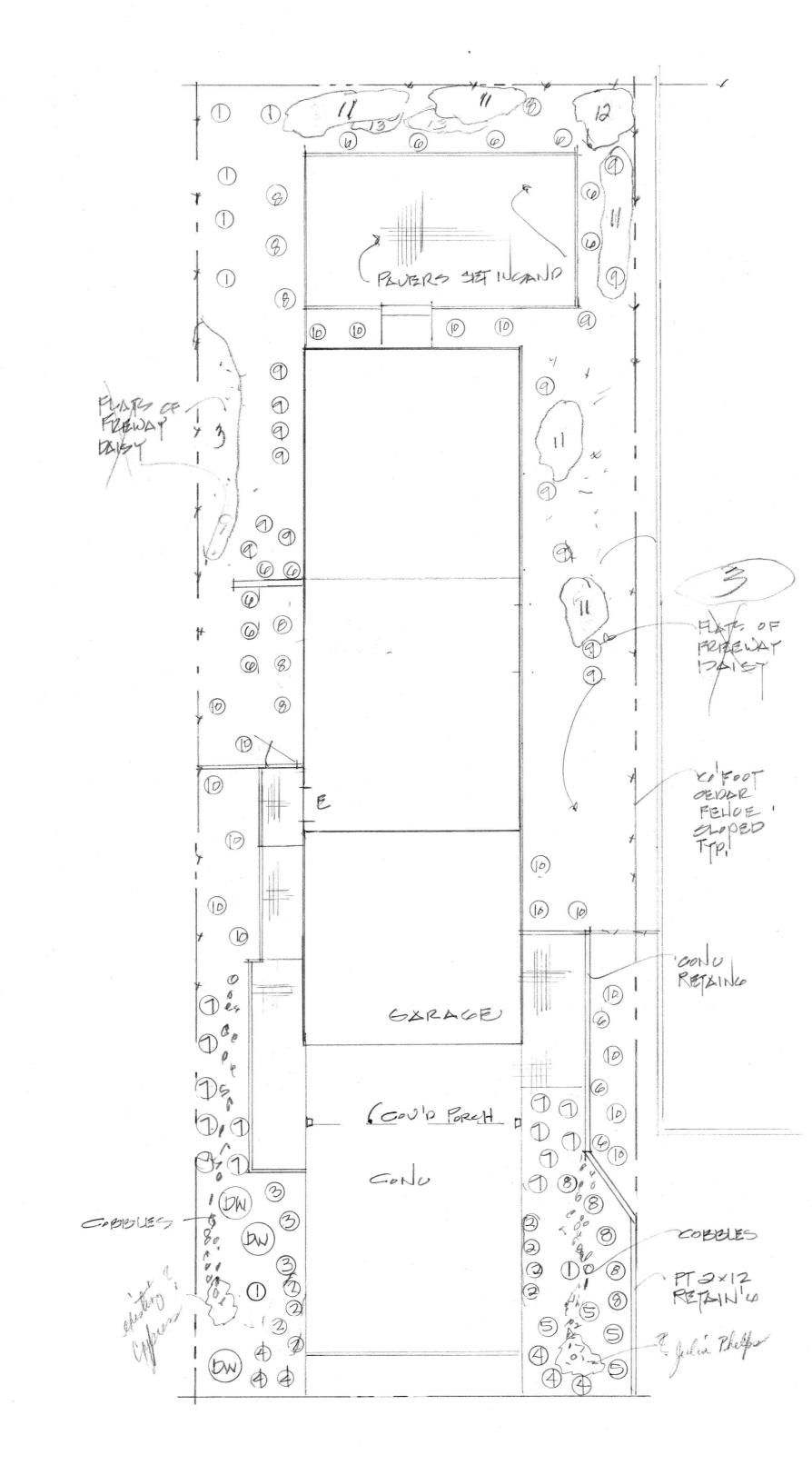
Details

D2-0 Scale: As Noted

Plant List edited by Linda Montalto Patterson Landscape Designer 650 726-2513

All plants listed drought tolerant and or native

1.	Rhamnus Californica	Coffee berry"Mound San bruno"	5 gallon size
2.	Erigeron Glaucus	Seaside daisy	1 gallon size
3.	Ceanothus	Yankee point1 gallon size	1 gallon size
	Ceanothus	Julia Phelps (shrub)	5 gallon size
4.	Limonium Perezii	Statice	1 gallon size
5.	Lavandula stoechas	Spanish Lavender	1 gallon size
6.	Westringia fruticosa	Coast Rosemary	1 gallon size
7.	Carex Barberae	Santa Barbara sedge	1 gallon size
8.	Hebe Buxifolia	Boxleaf hebe	1 gallon size
9.	Dodonea Viscosa 'Purpurea"	Hopseed Bush.	5 gallon size
10.	Cistus Salvifolius	Sageleaf Rockrose	1 gallon size
	Cistus Purpureus	Orchid Rockrose	1 gallon size
11.	Podocarpus gracilior	Fern pine	15 gallon size
12.	Cupressus Macrocarpa.	Monterey Cypress	15 gallon size
13.	Coleonema Pulchrum	Breath Of Heaven "Sunset Gold"	15 gallon size



LANDOCAPE PLAN 1/3" =11-01

PLANTING SCHEDULE Mound San Buno 1. COFFEE BERRY RHAMNUS CALIFORNICA 2. SEASIDE DAISY ERIGEREN Str Glaucus 3. CEANOTHUS- YANKEE POINT
4. STATICE LIMBNIUM Purezu
5. SPANISH LAVENDER Javandula Stoechas,
6. COAST ROSEMARY Westungia Fruitiosa
7. SEDGE GRASS Carep Barburae Sunta Bulana Ledge 7. SEDGE GRASS

8. HEBE

9. HOPSEED BUSH Andrea Visitia Purpurers diched

10. CISTUS Salvifolnis 'Sageleaf Purpurers in the

11. FREEWAY DAISY FLAT ON SLOPES

12 Podocarpus Grandeor Fem Reac

13 Clarothus Julia Phelfss' Such

NOTE: DO NOT USE MEXICAN FEATHER OR CRIMSON FOUNTAIN GRASS. 7 EUCALYYPTUS TO BE REMOVED FOR THIS PROJECT 94019 A NEW RESIDENCE FOR:
PAUL Mc GREGOR
TBD ALTO AVE
HALF MOON BAY, CA. 9401