- 3. VERIFY ALL DIMENSIONS ON SITE. 4. DO NOT SCALE FROM THE DRAWINGS. 5. CONTRACTOR/OWNER RESPONSIBLE FOR INSTALLING A COMPLETE SYSTEM TO EXECUTE THE APPROVED DESIGN INTENT, AS SHOWN.
- SCOPE OF THE WORK:
- 6. THE WORK SHALL CONFORM TO ALL CURRENT GOVERNING CODES AND ORDINANCES. 7. THE SCOPE OF WORK IS OUTLINED IN THE 'PROJECT DESCRIPTION' AND DEPICTED IN
- THE 'CONSTRUCTION DRAWINGS' 8. THE DRAWINGS ARE THOROUGH; HOWEVER, ADDITIONAL ITEMS MAY BE REQUIRED TO
- 9. NOTIFY THE ARCHITECT IF EXISTING CONDITIONS PREVENT COMPLETION, OF ANY PORTION OF THE STATED SCOPE OF THE WORK AS DESCRIBED IN THE DRAWINGS.

PROJECT LOCATION:

- CONSTRUCTION & DEMOLITION WASTE: 10. CONSTRUCTION WASTE MANAGEMENT PLAN
- NOT REQUIRED FOR THIS PROJECT; HOWEVER, CONTRACTOR/OWNER TO ENDEAVOR RECYCLING, REUSE, COMPOST, OR OTHER APPROVED METHOD TO DIVERT LANDFILL WASTE AS REQUIRED BY THE 2019 CA GREEN BLDG. STANDARDS CODE, SECTION 4.408.1 & SECTION 5.408.1
- 11. NOTES WITHIN THE CONSTRUCTION DRAWINGS MAY SUGGEST ITEMS TO BE RE-USED IN THE NEW WORK, AS APPROPRIATE.
- 12. CONTRACTOR/OWNER TO RECORD AND TRACK MEANS & METHODS OF HANDLING LANDFILL WASTE, AS REQUIRED.
- 13. CONTRACTOR/OWNER RESPONSIBLE FOR WASTE & RECYCLING PERMITS, AS REQUIRED.
- 14. CONTRACTOR/OWNER RESPONSIBLE FOR DAILY INTERIOR & EXTERIOR SITE CLEAN-UP. 15. NO VISIBLE CONSTRUCTION DEBRIS OR WASTE TO BE ALLOWED OUTSIDE ON-SITE AT THE END OF EACH WORKING DAY.

MATERIALS, FIXTURES, FINISHES & EQUIPMENT: 16. COORDINATE MATERIAL STORAGE WITH OWNER, IF ADDITIONAL SPACE IS REQUIRED

ON SITE.

SUBJECT PROPERTY:

506 EDGECLIFF WAY -

- 17. CONTRACTOR/OWNER TO PROVIDE LABOR & MATERIALS TO COMPLETE THE SCOPE OF THE WORK AS SHOWN IN THE DRAWINGS, U.O.N. 18. OWNER TO SPECIFY WHICH MATERIALS, FIXTURES, FINISHES, OR EQUIPMENT TO BE
- 'OWNER-PROVIDED' FOR THE PROJECT. 19. CONTRACTOR/OWNER TO PROVIDE LABOR TO INSTALL 'OWNER-PROVIDED' ITEMS.

REPAIR DAMAGE TO FINISHES ADJACENT TO

- 20. CONTRACTOR/OWNER TO PROTECT AREAS ADJACENT TO THE SCOPE OF THE WORK. 21. CONTRACTOR/OWNER TO PATCH AND/OR
- THE SCOPE OF WORK. 22. CONTRACTOR/OWNER TO INTEGRATE SYSTEMS OR FINISHES THAT INCORPORATE THE SCOPE OF THE WORK.
- 23. CONTRACTOR/OWNER TO NOTIFY ARCHITECT IF THERE ARE DEFECTS UNCOVERED IN ADJACENT MATERIALS, FIXTURES, FINISHES, AND/OR EQUIPMENT DURING THE PROJECT.

#### TOLERANCE & CRAFTSMANSHIP:

- 24. CONTRACTOR/OWNER TO ADHERE TO PERMITTED DOCUMENTS & DRAWINGS AS APPROVED BY SAN MATEO COUNTY. 25. CONTRACTOR/OWNER TO EXECUTE &
- WARRANTY WORK AND THE WORK OF EACH SUB-TRADE, AS REQUIRED BY CALIFORNIA CONTRACT LAW. 26. ALL ITEMS TO BE STORED AND INSTALLED
- PER THE MANUFACTURER'S INSTRUCTIONS. 27. ALL CLEAR DIMENSIONS SHALL BE EXACT
- WITHIN 1/8" TOLERANCE ALONG THE FULL HEIGHT AND FULL WIDTH OF THE WALLS. 28. 'ALIGN' MEANS TO ACCURATELY LOCATE
- FINISH FACES IN THE SAME PLANE. 29. ALL HEIGHTS ARE DIMENSIONED FROM THE
- TOP OF THE FINISHED FLOOR (AFF); U.O.N. 30. RESOLUTION OF ALL QUESTIONS SHALL BE ADDRESSED TO THE ARCHITECT AND CONFIRMED IN WRITTEN FORM AND/OR EMAIL

#### **CALGREEN NOTES:**

31. REFER SAN MATEO COUNTY & CALGREEN MANDATORY RESIDENTIAL SUSTAINABILITY MEASURES.

#### SPECIAL INSPECTION:

#### SPECIAL INSPECTIONS REQUIRED:

- D REINFORCING STEEL PLACEMENT
- HOLDOWN INSTALLATION SHEAR WALL CONSTRUCTION & NAILING

#### HERS VERIFICATION:

- INDOOR AIR QUALITY VERIFICATION NOT REQ'D. D AIR FLOW IN HABITABLE ROOMS PLANNED w/ SPLIT-UNIT HEAT PUMP
- □ REFER TO T24-1 FOR ADDITIONAL REQUIREMENTS

#### **DESIGN REVIEW SHEETS:**

#### **GENERAL**:

- GEN. NOTES, SYMBOLS & ABBREV' GEOTECH' ENGINEER REVIEW LETTER & REDWOOD CITY WATER SERVICE MAP BOUNDARY & TOPOGRAPHIC SURVEY
- BMPs "BLUEPRINT FOR A CLEAN BAY" G1.03 FIRE DEPT. REVIEW, FIRE FLOW & WUI MAP

#### ARCHITECTURAL / DESIGN REVIEW:

- DR.01 SITE COVERAGE CALC'S / EXISTING PLOT PLAN DR.02 SITE COVERAGE CALC'S / NEW PLOT PLAN
- DR.03 DESIGN REVIEW / DEMO PLOT PLAN
- DR.04 DESIGN REVIEW / NEW PLOT PLAN
- DR.05 ESCP & DEMO GRADING PLAN DR.06 ESCP & POST-CONSTRUCTION GRADING PLAN
- DR.11 DESIGN REVIEW / S.M.Co. BMP DETAILS
- DR.12 DESIGN REVIEW / S.M.Co. BMP NOTES DR.13 SAN MATEO COUNTY - DETAILS & NOTES
- DR.14 SAN MATEO COUNTY DRYWELL DETAILS
- DR.20 DESIGN REVIEW / TREE PLAN & NOTES DR.21 DESIGN REVIEW / LANDSCAPE PLAN & NOTES
- A0.00 EXISTING / DEMO BASEMENT FLOOR PLAN
- A0.01 EXISTING / DEMO 1st LEVEL FLOOR PLAN
- A1.00 NEW BASEMENT FLOOR PLAN A1.01 NEW - 1st LEVEL FLOOR PLAN
- A1.02 NEW 2nd LEVEL FLOOR PLAN
- A1.42 NEW ROOF PLAN
- DR.31 DESIGN REVIEW / EXISTING ELEVATIONS DR.32 DESIGN REVIEW / EXISTING ELEVATIONS
- DR.33 DESIGN REVIEW / NEW ELEVATIONS DR.34 DESIGN REVIEW / NEW ELEVATIONS
- DR.51 DESIGN REVIEW / BUILDING SECTIONS
- DR.90 DESIGN REVIEW / EXTERIOR VISUALIZATIONS DR.91 DESIGN REVIEW / MATERIAL BOARD
- A8.01 DETAILS
- A8.02 OUTDOOR PATIO HEATER BY 'SOLAIRA' A8.03 VENTED NATURAL LOG SET BY 'REAL FYRE'
- A8.04 SITE-BUILT FIREBOX BY 'ISOKERN'

#### F.A.R. CALC'S:

#### FLOOR AREA RATIO (F.A.R.) CALC'S:

1,576 SF

583 SF

TOTAL (E)F.A.R.: 2,887 SF

(2,887 SF / 14,925 SF = 0.1934)

(E)F.A.R.: 19.3% @ 2,887 SF

673 SF (N)2nd FLOOR LEVEL: 585 SF

(N)F.A.R.: 29.4% @ 4,388 SF

TOTAL (N)F.A.R.: (4,388 SF / 14,925 SF = 0.294)

# Design Review Set

PROJECT INFORMATION:

PARCEL #:

PARCEL AREA

PLANNING DIST:

**NEIGHBORHOOD**:

YEAR BUILT:

OCCUPANCY:

CONST' TYPE:

**F.A.R., MAX.**:

# FLOORS:

WOOD DECKS:

GROSS AREA:

**CONDITIONED**:

<u>F.A.R.</u>:

BED/BATH:

**ZONING**:

USE:

506 EDGECLIFF WAY

(14,925 sf

EMERALD LAKE HILLS

068-192-020

DESIGN REVIEW

1946

RH/DR

R3 & U

EXISTING:

2 LEVELS

864 sf

4BD/3BA

~19'-1"

PROJECT C&D WASTE:

CODE, SECTION 4.408.1 & 5.408.1.

APPLICABLE CODES:

2019 CALIFORNIA BUILDING CODE +

2019 CALIFORNIA GREEN BUILDING

STANDARDS CODE

2019 CALIFORNIA FIRE CODE

GREEN HALO TRACKING ID#: GH902-010-8376

SAN MATEO COUNTY AMENDMENTS

2019 CALIFORNIA RESIDENTIAL BUILDING CODE

V - B

**COVERAGE, MAX.**: 25% MAX. @ 3,731 sf

**BLDG. COVERAGE**: 2,735 sf

REDWOOD CITY, CA 94062

(PER SURVEY, 0.344, AC.) ✓

RESIDENTIAL HILLSIDE / 13

SINGLE-FAMILY RESIDENTIAL

<u>POST-RENO'</u>

SPLIT-LEVEL

3 LEVELS,

(3,229 sf

644 sf

5BD/4BA

~27'-11" **4** 

SCOPE OF WORK PROPOSES GRADING & EXCAVATION TO EXISTING RESIDENTIAL PARCEL, ADJACENT

CONTRACTOR / OWNER TO ENDEAVOR RECYCLING, REUSE, COMPOST, OR OTHER APPROVED METHOD

TO AN EXISTING, ONE-STORY+BASEMENT, SINGLE-FAMILY RESIDENCE. ADDITION TO BE PLACED

UPON PREVIOUSLY LANDSCAPED AREA w/MINIMAL CONCRETE OR PAVEMENT DEBRIS TO REMOVE.

TO DIVERT WASTE FROM THE LOCAL LANDFILL. REFER TO 2019 CA GREEN BLDG. STANDARDS

IF A LARGER WATER SERVICE LATERAL IS REQUIRED TO SUPPLY FIRE SPRINKLERS, A LICENSED

ENGINEERING DIVISION. THE APPLICANT SHALL PROVIDE ALL REQUIRED BONDS, DEPOSITS, FEES AND

'CLASS-A' CONTRACTOR SHALL APPLY FOR AN ENCROACHMENT PERMIT FROM REDWOOD CITY

INSURANCE AS DESCRIBED IN THE ENCROACHMENT PERMIT APPLICATION.

AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS / NOTES:

.183(18.3%) .216(21.6%)

2,887 sf 7 4,388 sf

.193(19.3%)7.294(29.4%)

30% MAX. @ 4,478 sf

506 Edgecliff Way Redwood City, CA 94062

CONTACT INFORMATION:

506 EDGECLIFF WAY

**ARCHITECT**: inft3 | in feet cubed

JACQUI & LUCAS BUCHANAN

REDWOOD CITY, CA 94062

lucasbuchanan@hotmail.com

jacquibuchanan@gmail.com

250 LORRAINE BOULEVARD

SAN LEANDRO, CA 94577

BRYAN J. HASSEMER, AIA

(530) 448-0909

CHG ENGINEERING, INC.

9425 SAGE CREEK CT.

ZHIGUO GONG, P.E.

(209) 450-9066

FIRE SPRINKLERS:

NONE PRESENT IN EXISTING RESIDENCE.

FIRE SPRINKLERS REQUIRED WITH SCOPE OF

WORK; PROVIDE NFPA 13R SYSTEM, AS REQ'D.

FIRE SPRINKLER DESIGN TO BE SUBMITTED FOR

DEFERRED APPROVAL BY WOODSIDE FIRE

WATER SERVICE & FIRE

\*\* REFER TO <u>DETAILED</u> EXISTING & POSI-RENOVATION AREA BREAKDOWNS ON SHEET DR.01 & SHEET DR.02 \*\*

1,393 SF (FRONT/MIXED PLANTING)

2,128 SF (SIDE/MIXED PLANTING)

3,524 SF (REAR/MIXED PLANTING)

515 SF (E)DECK

1,318 SF (DRIVEWAY)

97 SF (STONE PATIO) 48 SF (STONE WALK)

108 SF (STONE WALK)

683 SF (STONE/WALLS) 279 SF (N)FRONT PATIO

1,861 SF (E)HOUSE

583 SF (E)GARAGE 785 SF (N)ADDITION

8,519 SF /14,925 SF = .57(57%)

644 SF /14,925 SF = .043(4%)

2,533 SF /14,925 SF = .169(17%)

3,229 SF /14,925 SF = .216(22%)

14,925 SF (0.344 AC) = 100%

SPRINKLER INSTALL':

COVERAGE CALC'S:

POST-RENOVATION SITE/COVERAGE CALC'S:

PERMEABLE LANDSCAPE

PERMEABLE WOOD DECK

IMPERMEABLE HARDSCAPE

IMPERMEABLE BUILDING

TOTAL SITE AREA:

SUBTOTAL

SUBTOTAL

SUBTOTAL

PROTECTION DISTRICT w/ SCOPE OF WORK.

ELK GROVE, CA 95624

ziggy.gong@gmail.com

www.chgengineering.com

73373, **EXPIRES:** 12/31/2022

bryan@inft3.com

www.inft3.com

C-37092, **RENEW**: 11/30/2023

CLIENT/

PHONE:

ADDRESS:

CONTACT:

ENGINEER:

ADDRESS:

CONTACT:

PHONE:

EMAIL:

GENERAL

ADDRESS:

CA LIC.#:

CONTACT:

PHONE:

EMAIL:

CONTRACTOR: TBD

PHONE:

EMAIL:

## PERMIT#:

BLD2021-02495 & ...96

SCOPE OF WORK:

SAN MATEO COUNTY.

OTHER SCOPE ITEMS:

PROJECT DESCRIPTION:

RENOVATE PORTION OF EXISTING SINGLE-FAMILY

DECK - NEW 3-LEVEL ADDITION w/ BASEMENT

RESIDENCE - REMOVE AN EXISTING WOODEN

LEVEL OFFICE, 1st FLOOR OPEN-AIR "LIVING

PORCH", & 2nd FLOOR BEDROOM SUITE w/

FULL BATHROOM FOR +1,511 SF GROSS AREA.

GC TO PROVIDE LABOR, MATERIALS & SYSTEMS

TO COMPLETE NECESSARY ELECTRICAL LIGHTING, SWITCHING, OUTLET/RECEPTACLES, PLUMBING, &

MECHANICAL SCOPE OF WORK. ANY CHANGES TO

CHANGES MAY ALSO NEED TO BE REVIEWED BY

SAN MATEO COUNTY FOR APPROVAL, AS REQ'D.

SUB-TRADE MECHANICAL, ELEC. & PLUMBING

INCLUDED IN PERMIT APPLICATION. AS REQ'D BY

REDUCTION OF ~413 SF w/DRIVEWAY DEMO

DECK - REVIEW w/ ARBORIST TO DETERMINE

REMOVE **ONE** (1) LARGE, DECORATIVE,

FLOWERING TREE, ADJACENT (E)WOODEN

THE SCOPE OF WORK TO BE REVIEWED /

APPROVED BY CLIENT & ARCHITECT. ANY

CUT : FILL, APPROX 20 CU. YD.

ABILITY TO REPLANT ON SITE.

2019 CALIFORNIA MECHANICAL CODE

2019 CALIFORNIA PLUMBING CODE

2019 CALIFORNIA ELECTRICAL CODE

2019 CALIFORNIA ENERGY CODE

2019 CALIFORNIA REFERENCED

STANDARDS CODE

**IMPERVIOUS SURFACES**:

sensible | modern architecture & design™

inft3

www.inft3.com

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506 Edgecliff Way Redwood City, CA 94602

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9425 Sage Creek Ct. Elk Grove, CA 95624

209.450.9066

#### consultant:

GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

#### revisions:

No.	Description	Date
	T24/ENERGY COORD	05/12/21
	FOR PERMIT	10/08/21
1	FOR PERMIT_rev1	10/21/21
2	FOR PERMIT_rev2	11/10/21
3	PLANNING DEPT. REVIEW	12/27/21
	DESIGN REVIEW DRAFT	02/25/22
4	DESIGN REVIEW PACKAGE	04/25/22

# **HASSEMER**

## 506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

\*DESIGN REVIEW\* COVER SHEET

20-015-01 inft3#: 04/25/22 drawn: 01 of 35

G0.00

DIM. @ LEFT = 1" : DRAWING TO SCALE

scale:

#### PROPOSED LIVING PORCH & BEDROOM SUITE ADDITION:

INSTALL A COMPLETE SYSTEM, INCLUDING ADDITIONAL PERMITS AND/OR INSPECTIONS

LIVING PORCH/SUITE

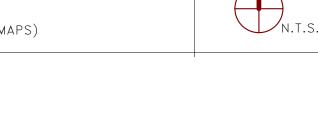


N.T.S. (GOOGLE MAPS)

















**6 - ABBREVIATIONS :** 

SCALE: N.T.S.

SCALE: N.T.S.

#### CALIFORNIA CIVIL CODE, ARTICLE 1101.4:

(A) ON / AFTER 01/01/2014, FOR ALL BUILDING ALTERATIONS OR IMPROVEMENTS TO SINGLE-FAMILY RESIDENTIAL REAL PROPERTY, AS A CONDITION FOR ISSUANCE OF CERTIFICATE OF FINAL COMPLETION & OCCUPANCY / FINAL PERMIT APPROVAL BY LOCAL BUILDING DEPT, THE PERMIT APPLICANT SHALL *REPLACE ALL NON-COMPLIANT PLUMBING* FIXTURES W/ WATER-CONSERVING PLUMBING FIXTURES & FITTINGS (CalGREEN 4.303.1)

(B) ON / BEFORE 01/01/2017, NONCOMPLIANT PLUMBING FIXTURES IN ANY SINGLE-FAMILY RESIDENTIAL REAL PROPERTY <u>SHALL BE REPLACED</u> BY THE PROPERTY OWNER WITH WATER-CONSERVING PLUMBING FIXTURES.

(C) ON / AFTER 01/01/2017, A SELLER OR TRANSFEROR OF SINGLE-FAMILY RESIDENTIAL REAL PROPERTY **SHALL DISCLOSE IN WRITING** TO THE PROSPECTIVE PURCHASER OR TRANSFEREE THE REQUIREMENTS OF SUBDIVISION (B) AND WHETHER THE REAL PROPERTY INCLUDES ANY NONCOMPLIANT PLUMBING FIXTURES.

#### 5 - CA CIVIL CODE:

\_\_\_\_(1i)

MIN.

101

1 A101

## SYMBOL: **DESCRIPTION:** (D) WALL TO BE REMOVED \_ \_ \_ \_ \_ \_ (E) NON-RATED WALL (N) NON-RATED WALL

(E) 1-HR RATED WALL

(E) 2-HR RATED WALL

WALL TYPE; SEE DETAILS

CONTROL / CARD READER

ELECTRONIC ACCESS

ELECTRONIC DOOR-

FIRE EXTINGUISHER /

EXTINGUISHER CABINET

DOOR & WALL TO REMAIN

DOOR TO BE REMOVED

<u>RESIDENTIAL EGRESS:</u>

MIN. 32" CLEAR WIDTH,

PER 2019 CRC, R311.2

MINIMUM CLEAR WIDTH @

ALL DOORWAYS, PER 2019

<u>NON-RESIDENTIAL:</u>

CBC, 11B-404.2.3

ALIGN FINISHES

CENTER LINE

- ROOM NAME

-ROOM AREA

DETAIL CALL-OUT

NOT IN PROJECT

SCOPE OF WORK

(LT. GREY HATCH)

REVISION, AS NOTED

& SHEET #

-----ROOM #

RELEASE BUTTON

(N) MILLWORK

-DOOR TAG

65. UNDER-FLOOR SPACE BETWEEN B.O. FLOOR JOISTS AND EARTH UNDER ANY BUILDING (EXCEPT SPACE OCCUPIED BY A BASEMENT) SHALL HAVE VENTILATION OPENINGS THROUGH FOUNDATION WALLS OR EXTERIOR WALLS. MINIMUM NET AREA OF VENTILATION OPENINGS SHALL BE NOT LESS THAN *1 Square foot* for each *150* SQUARE FEET OF UNDER-FLOOR AREA, UNLESS GROUND SURFACE IS COVERED BY A CLASS 1 VAPOR RETARDER MATERIAL (SECTION R408.1)

FOOTING & STEM WALL FOUNDATION NOTES:

FLOOR FRAMING, & ROOF FRAMING DESIGN &

56. FOOTINGS (CRC, R403) & BASE (CRC, R403.1)

CALCULATIONS.

R403.1.3.5.

(CRC, R408)

55. SEE STRUCTURAL DRAWINGS (SSD) FOR FOUNDATION,

57. PER SECTION R403.1.2, EXTERIOR WALLS OF BUILDINGS

GROUTED MASONRY OR CONCRETE FOOTINGS. OTHER

ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE.

CATEGORIES DO, D1 AND D2, AS ESTABLISHED IN TABLE

R301.2(1), SHALL HAVE MINIMUM REINFORCEMENT IN

R403.1.3. REINFORCEMENT SHALL BE INSTALLED WITH

SUPPORT AND COVER IN ACCORDANCE WITH SECTION

ACCORDANCE WITH SECTION R403.1.3 AND FIGURE

59. REINFORCEMENT REQUIREMENTS (CRC, R403.1.3.5)

61. FOUNDATION & RETAINING WALLS (CRC, R404)

64. VAPOR BARRIER REQUIREMENTS (CRC, R506.2.3)

63. UNDER-FLOOR VENTILATION & ACCESS REQUIREMENTS

60. SILL ATTACHMENT (CRC, R403.1.6)

62. SILL REQUIREMENTS (CRC, R404.3)

**UNDER-FLOOR SPACE NOTES:** 

58. CONCRETE FOOTINGS LOCATED IN SEISMIC DESIGN

LOCATED IN SEISMIC DESIGN CATEGORIES DO, D1 AND D2

FOOTING MATERIALS OR SYSTEMS SHALL BE DESIGNED IN

SHALL BE SUPPORTED BY CONTINUOUS SOLID OR FULLY

66. ONE VENTILATION OPENING SHALL BE WITHIN 3 FEET OF EACH CORNER OF BUILDING. VENTILATION OPENINGS SHALL BE COVERED FOR HEIGHT AND WIDTH USING ANY SCREENING MATERIAL LISTED, PROVIDED THAT THE LEAST DIMENSION OF SCREENED MATERIAL DOES NOT EXCEED 1/4 INCH. (SECTION R408.2)

67. ACCESS TO ALL UNDER-FLOOR AREAS SHALL BE PROVIDED EITHER THROUGH THE <u>FLOOR</u> (18"X24" MIN. OPENING) OR A *PERIMETER WALL* (16"X24" MIN. OPENING). THROUGH-WALL ACCESS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. (SECTION

#### EMERGENCY ESCAPE & RESCUE OPENING REQ'S:

68 BASEMENTS HARITARIE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE NOT LESS THAN ONE OPERABLE EMERGENCY ESCAPE AND RESCUE OPENING. REFER TO CRC SECTION R310.

69. WHERE DWELLING <u>ADDITIONS</u> OCCUR THAT CONTAIN SLEEPING ROOMS, AN EMERGENCY ESCAPE AND RESCUE OPENING SHALL BE PROVIDED IN EACH NEW SLEEPING ROOM. (CRC R310.5)

70. NET CLEAR HEIGHT OPENING NOT LESS THAN 24" & NET CLEAR WIDTH NOT LESS THAN 20". (CRC 310.2.1)

71. <u>Grade floor or below grade openings</u> shall have A NET CLEAR OPENING OF NOT LESS THAN 5.0 SQUARE FEET, OTHERWISE, OPENINGS SHALL HAVE 5.7 SF AREA.

72. BOTTOM OF CLEAR WINDOW SILL OPENING NOT GREATER THAN 44 INCHES, MEASURED ABOVE FLOOR; WHERE SILL HEIGHT IS BELOW GRADE, IT SHALL BE PROVIDED WITH WINDOW WELL IN ACCORDANCE WITH SECTION R310.2.3.

73. WHERE SECURITY BARS (BURGLAR BARS) ARE INSTALLED ON EMERGENCY EGRESS AND RESCUE WINDOWS OR DOORS, <u>ON OR AFTER JULY 1, 2000</u>, SUCH DEVICES SHALL COMPLY w/ CALIFORNIA BUILDING STANDARDS CODE, PART 12, CHAPTER 12-3 & OTHER APPLICABLE PROVISIONS. (CRC 310.4)

74. DWELLINGS TO BE PROVIDED WITH A MEANS OF EGRESS AND PROVIDE CONTINUOUS, UNOBSTRUCTED PATH OF VERTICAL AND HORIZONTAL EGRESS TRAVEL FROM ALL PORTIONS OF DWELLING TO REQUIRED EGRESS DOOR <u>WITHOUT</u> REQUIRING TRAVEL THROUGH A GARAGE. EGRESS DOOR (32" CLEAR WIDTH, MIN.) SHALL OPEN DIRECTLY TO A PUBLIC WAY, YARD OR COURT THAT OPENS TO A PUBLIC WAY. (CRC R311.1)

#### RECEPTACLE (OUTLET) NOTES: (CONTINUED)

31. ALL 125V, 15A & 20A RECEPTACLE SHALL BE LISTED TAMPER RESISTANT. (CEC 406.12)

32. AT LEAST ONE (1) OUTLET INSTALLED WITHIN 3'-0" OF BASIN, AT LEAST ONE (1) 20A BRANCH CIRCUIT SHALL BE PROVIDED TO SUPPLY BATHROOM OUTLETS. BATHROOM OUTLETS TO HAVE GFCI PROTECTION. (CEC 210.52(D), 210.11(C)(3), & 210.8(A)(1))

#### **LIGHTING & SWITCHING NOTES:**

33. SWITCHES PER 2019 CEC, ARTICLE 404.

34. ALL INSTALLED LIGHTING SHALL BE HIGH EFFICACY & CONTAIN BULBS THAT ARE LABELED AS JA8-2016. SCREW-BASE BULBS ARE *NOT PERMITTED* IN RECESSED LIGHTING. (CenC 150.0(k))

35. RECESSED LIGHT FIXTURES IN INSULATED CEILINGS SHALL BE APPROVED, LISTED, ZERO-CLEARANCE INSULATION COVER (IC) TYPE, CERTIFIED AIR TIGHT AT/AND SEALED w/ A GASKET OR CAULKED BETWEEN HOUSING & CEILING. (CenC 150.1(k)1C)

36. IN BATHROOMS AT LEAST ONE (1) LIGHT FIXTURE SHALL BE CONTROLLED BY A VACANCY SENSOR SWITCH. ALL OTHER LIGHTING SHALL BE CONTROLLED BY A VACANCY SENSOR OR DIMMER. (CenC 150.0(k))

#### PLUMBING FIXTURE & FITTING NOTES:

37. ALL PLUMBING FIXTURES PER 2019 CPC SHALL BE WATER-CONSERVING TYPE FIXTURES, INSTALLED TO MEET BACKFLOW PREVENTION REQUIREMENTS. (CPC 402.9 & CalGREEN 4.303.1)

38. LAVATORY CONSTRUCTION & INSTALLATION (CPC 407.0) w/ FAUCETS, MIN. FLOW > 0.8 GPM @ 20 psi & MAX. FLOW < 1.2 GPM @ 60 psi (CalGREEN 4.303.1.4.1)

39. SHOWER CONSTRUCTION & INSTALLATION (CPC 408.0) w/ SINGLE SHOWERHEADS, MAX. FLOW < 1.8 GPM @ 80 psi (CalGREEN 4.303.1.3)

40. SHOWER SLOPE TO DRAIN @ MIN. 1/4" & MAX. 1/2" PER FOOT. (CPC 408.5)

41. WATER CLOSET CONSTRUCTION & INSTALLATION (CPC 411.0) w/ MAX. 1.28 GALLONS PER FLUSH (CalGREEN 4.303.1.1)

42. DISHWASHING MACHINES SHALL COMPLY WITH 'UL 749' (CPC 414.0)

43. FOOD WASTE DISPOSERS SHALL COMPLY WITH 'UL 430' & 'ASSE 1008' (CPC 419.0)

44. KITCHEN FAUCETS SHALL HAVE A MAX. FLOW < 1.8 GPM @ 60 psi - KITCHEN FAUCET MAY TEMPORARILY INCREASE FLOW UP TO 2.2 GPM @ 60 psi, AND MUST DEFAULT TO MAX. FLOW < 1.8 GPM @ 60 psi (CalGREEN 4.303.1.4.4)

45. WATER HEATERS TO BE CONSTRUCTED, LOCATED, AND INSTALLED PER 2019 CPC, CHAPTER 5.

#### <u>FINISH NOTES</u>:

46. GYPSUM BOARD, 1/2" THICK, MINIMUM. INSTALL WATER-RESISTANT GYPSUM BOARD SUBSTRATE WHERE ADJACENT TO PLUMBING FIXTURES. (CRC TABLE 702.3.5)

47. 5/8" THICK, TYPE-X REQUIRED AT GARAGE CEILING IF BENEATH HABITAL ROOMS. (CRC TABLE 702.3.5)

48. GYPSUM BOARD AS BASE OR BACKER FOR ADHESIVE APPLICATION OF CERAMIC TILE OR OTHER REQUIRED NON-ABSORBENT FINISH MATERILAL SHALL CONFORM TO ASTM C1396, C1178 OR C1278. (CRC R702.3.7)

49. BACKER BOARD MATERIALS PER TABLE R702.4.2

50. OTHER WALL FINISHES PER R702.5 WHERE PORTION OF EXISTING EXTERIOR WALL MODIFIED, INSTALL REQUIRED INSUL. @ R-13, MINIMUM, PER CenC 150(c)1.

51. FLAME SPREAD & SMOKE-DEVELOPED PER CRC R302.10

52. PROVIDE SAFETY GLAZING @ SHOWER ENCLOSURE WHERE BOTTOM EXPOSED GLAZING EDGE LESS THAN 60" ABOVE STANDING SURFACE AND DRAIN INLET. (CRC R308.4.5)

#### FLOORS & LANDINGS @ EXTERIOR DOORS:

53. THERE SHALL BE LANDING OR FLOOR EA. SIDE, EA. EXTERIOR DOOR. LANDING WIDTH NOT LESS THAN DOOR SERVED. LANDING SHALL EXTEND NOT LESS THAN 36", MEASURED IN THE DIRECTION OF TRAVEL. SLOPE AT EXTERIOR LANDINGS TO NOT EXCEED 1/4 UNIT VERTICAL IN 12 UNITS HORIZONTAL (2 PERCENT). (CRC R311.3)

54. LANDINGS OR FINISHED FLOORS AT REQ'D EGRESS DOOR NOT MORE THAN 1.5" LOWER THAN T.O. THRESHOLD — EXCEPTION: LANDING OR FLOOR ON EXTERIOR SIDE SHALL BE NOT MORE THAN 7-3/4" BELOW T.O. THRESHOLD PROVIDED DOOR DOES NOT SWING OVER LANDING OR FLOOR.

#### **GENERAL NOTES:**

. REFER TO THE 2019 CALIFORNIA BUILDING STANDARDS CODE FOR SPECIFIC SECTIONS & CODE EXCERPTS.

2. SCOPE OF WORK MAY REQUIRE REFERENCE TO CODE-RELATED EXCERPT(S) NOT LISTED HEREIN. GENERAL CONTRACTOR RESPONSIBLE FOR COMPLETE SYSTEM IN ACCORDANCE w/ ALL APPLICABLE FEDERAL LAWS, STATE CODES & LOCAL JURISDICTION REQUIREMENTS.

#### FRAMING NOTES, SEE STRUCTURAL DRAWINGS (SSD):

3. WOOD GIRDERS & FLOOR JOISTS PER TABLE R502.3.1(1) & R502.3.1(2) - LAP JOIST 3", MIN. OR SPLICE PER SECTION R502.6.1

4. WOOD FLOOR SHEATHING PER TABLE R503.2.1.1(1)

5. WOOD FLOOR BLOCKING PER SECTION R502.7 & BRIDGING PER SECTION R502.7.1

6. WOOD FLOOR JOIST DRILLING & NOTCHING LIMITATIONS (CRC, R502.8)

7. WOOD WALL FRAMING (CRC, R602)

8. NAILING & FASTENING (TABLE R602.3(1))

9. CORNER & PARTITION POSTS (FIG. R602.3(2))

10. STEEL STRAP @ CUT TOP PLATE, (FIG. R602.6.1)

11. NOTCHING & BORED HOLE LIMITATIONS FOR <u>EXTERIOR</u>

WALLS & BEARING WALLS, PER FIGURE 602.6(1) 12. NOTCHING & BORED HOLE LIMITATIONS FOR INTERIOR

NONBEARING WALLS, PER FIGURE 602.6(2)

13. GIRDER SPANS & HEADER SPANS FOR EXTERIOR WALLS PER TABLE R602.7(1) RE: SCOPE OF WORK: SUPPORTS ROOF & CEILING ONLY

GROUND SNOW LOAD < 30 psf</pre>  $\square$  BUILDING WIDTH = 24'-0"

14. SINGLE-MEMBER HEADERS, WHERE SHOWN, INSTALLED PER SECTION R602.7.1

15. MIN. FULL-HEIGHT STUDS @ EACH END OF HEADER IN

EXTERIOR WALL PER SECTION R602.7.2 & TABLE R602.7.5 16. NONBEARING WALL HEADERS (CRC, R602.7.4)

17. FIRE BLOCKING (CRC, R602.8)

18. CRIPPLE WALLS (CRC, R602.9)

19. REPLACEMENT GLAZING (CRC, R308)

#### <u>VENTILATION NOTES:</u>

20. EACH BATHROOM CONTAINING A BATHTUB, SHOWER, OR TUB/SHOWER COMBINATION SHALL BE MECHANICALLY VENTILATED. FANS MUST HAVE A HUMIDITY CONTROL SENSOR (HUMIDISTAT) THE HUMIDIITY CONTROL SENSOR MAY BE A SEPARATE COMPONENT OR INTEGRAL TO THE EXHAUST FAN. (CMC 402.5, CalGREEN 4.506)

21. EXHAUST FAN MUST VENT TO THE OUTDOORS IN AN APPROED DUCT. TERMINATE THE OUTLET A MINIMUM OF 3'-0" FROM AN OPENING OR PROPERTY LINE. (CMC 504.5)

22. AIR EXHAUST OPENINGS THAT TERMINATE OUTDOORS SHALL BE PROTECTED WITH CORROSION-RESISTANT SCREENS, LOUVERS OR GRILLES HAVING AN OPENING SIZE OF NOT LESS THAN 1/4" AND A MAXIMUM OPENING SIZE OF 1/2", IN ANY DIMENSION. PROTECT OPENINGS AGAINST LOCAL WEATHER CONDITIONS. (CRC R303.6)

#### 1 - GENERAL NOTES :

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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> bryan@inft3.com 530.448.0909

> > client:

Lucas & Jacqui Buchanan

506 Edgecliff Way Redwood City, CA 94602

consultant:

CHG Engineering, Inc.

9425 Sage Creek Ct. Elk Grove, CA 95624

209.450.9066

consultant:

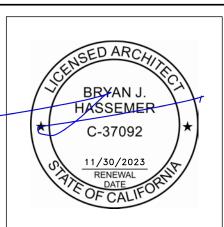
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

Description DRAFT / BID SET 07/02/21 FOR PERMIT 10/08/21 DESIGN REVIEW PACKAGE 04/25/22



506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH

GENERAL NOTES

& BEDROOM SUITE

20-015-01 inft3#: 04/25/22 drawn: 02 of 35

As indicated

DIM. @ LEFT = 1" : DRAWING TO SCALE

#### **5 - GENERAL NOTES :** 4 - SYMBOLS LEGEND :

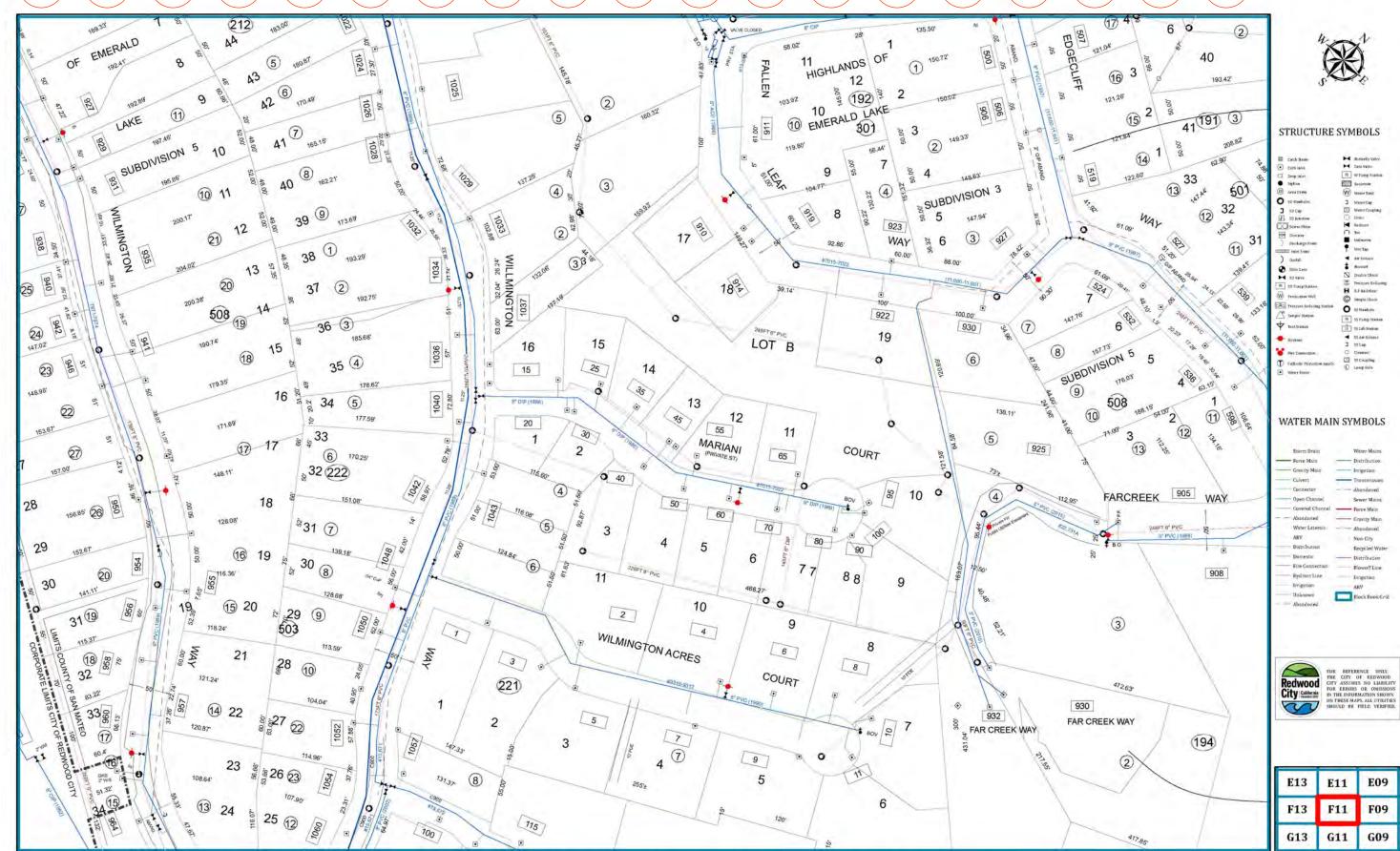
SCALE: N.T.S.

SCALE: N.T.S.

3 - GENERAL NOTES:

SCALE: N.T.S.

2 - GENERAL NOTES :



REDWOOD CITY UNDERGROUND UTILITIES

GEOFORENSICS INC.

**Consulting Soil Engineering** 

303 Vintage Park Dr., Suite 220, Foster City, CA 94404 Phone: (650) 349-3369 Fax: (650) 571-1878

File: 220244 November 15, 2021

Mr. and Mrs. Buchanan 506 Edgecliff Way Redwood City, CA 94062

Subject: **Buchanan Property** 

> 506 Edgecliff Way Redwood City, California REVIEW OF STRUCTURAL PLANS

Mr. and Mrs. Buchanan:

This letter has been prepared to document that we have reviewed the structural plans prepared for the construction of the proposed new addition for the existing residence.

#### **Plans Reviewed**

The structural plans were prepared by CHG Engineering, and are dated 6/23/21. These plans are identified as sheets \$1.0 through \$3.3.

#### **Plan Review Comments**

We have reviewed the above-listed plans for their conformance with the geotechnical recommendations and parameters provided in our soils report (dated 12/18/20), and good geotechnical engineering practice. Based upon our review, we have the following comments/corrections:

Sheet S3.0 - Detail 10 shows the proposed new office floor slab adjacent to the interior strip footing. It would be prudent to either include a perimeter subdrain along the crawl space side of the footing, or an even better alternative would be to provide a perforated collection pipe system under the floor slab to preclude any seepage up through the floor slab in the future.

In general, we find that these plans appear to have been prepared in substantial conformance with the intents of the recommendations within our report and good geotechnical engineering practice. The above comment is considered to be a suggestion only, and does not require any changes to be made to the plans. Therefore, these plans may be submitted for permit without further review by our office.

It is the owner's and addressee's responsibility to make sure that the comment above is made known to the appropriate parties, likely including the contractor and city.

File: 220244 November 15, 2021

Should you have any questions, please contact the undersigned.

Respectfully Submitted; GeoForensics, Inc.

Daniel F. Dyckman, PE, GE Senior Geotechnical Engineer, GE 2145

Email cc: 1 to addressee; CHG; inft3



GEOTECH — REVIEW LETTER

12" = 1'-0"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

inft3

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revisions:

No.		Description			
2	FOR PE	RMIT_rev	/2	11/10/2	
4	DESIGN	REVIEW	PACKAGE	04/25/22	



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

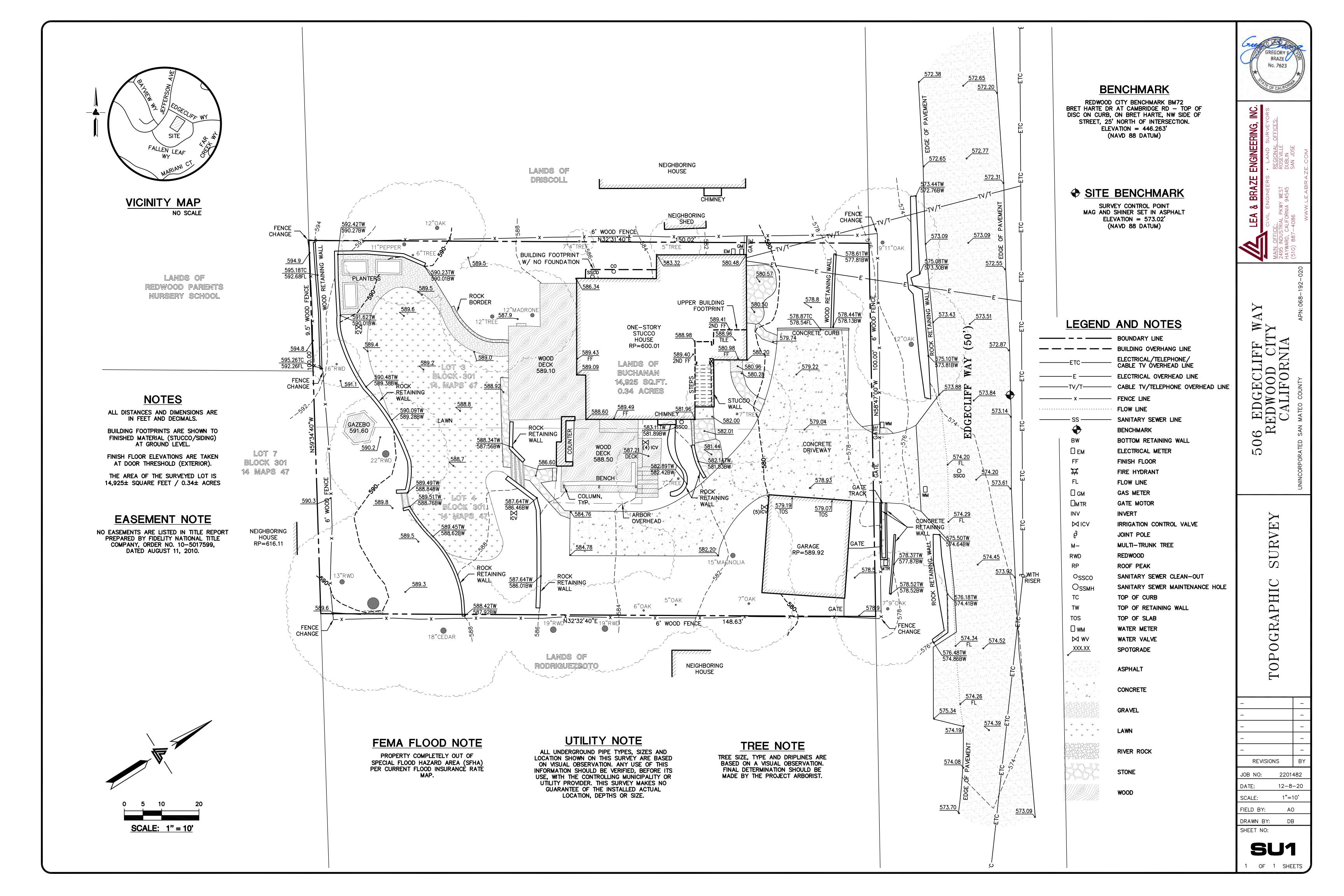
GEOTECH' REVIEW LETTER & WATER SERVICE MAP

20-015-01 04/25/22 03 of 35 G0.02

12" = 1'-0"

2 REDWOOD CITY - WATER SERVICE MAP

12" = 1'-0"

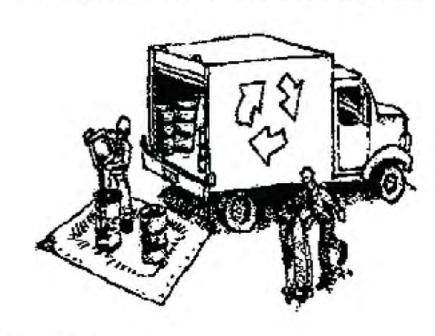


## Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

Clean Water. Healthy Community.

#### Materials & Waste Management



#### **Non-Hazardous Materials**

- ☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ☐ Use (but don't overuse) reclaimed water for dust control.

#### **Hazardous Materials**

- ☐ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations
- ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ☐ Arrange for appropriate disposal of all hazardous wastes.

#### **Waste Management**

- ☐ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ☐ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

#### **Construction Entrances and Perimeter**

- ☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## **Equipment Management & Spill Control**



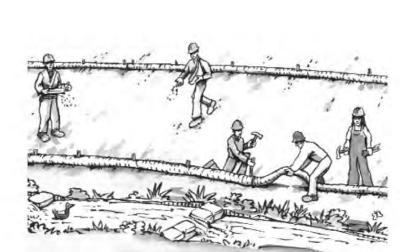
#### **Maintenance and Parking**

- Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ☐ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ☐ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ☐ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ☐ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

#### **Spill Prevention and Control**

- ☐ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ☐ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ☐ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ☐ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ☐ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## **Earthmoving**



- ☐ Schedule grading and excavation work during dry weather.
- ☐ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ☐ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately
- ☐ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ☐ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

#### **Contaminated Soils**

- ☐ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
- Unusual soil conditions, discoloration, or odor.
- Abandoned underground tanks.
- Abandoned wells
- Buried barrels, debris, or trash.

Storm drain polluters may be liable for fines of up to \$10,000 per day!

## Paving/Asphalt Work

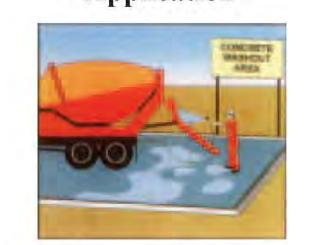


- ☐ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ☐ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ☐ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ☐ Do not use water to wash down fresh asphalt concrete pavement.

#### Sawcutting & Asphalt/Concrete Removal

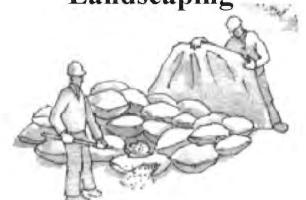
- ☐ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is
- ☐ If sawcut slurry enters a catch basin, clean it up immediately.

## Concrete, Grout & Mortar **Application**

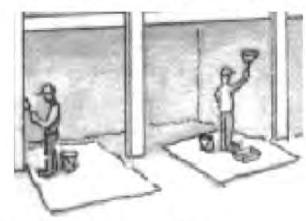


- ☐ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ☐ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ☐ When washing exposed aggregate. prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

#### Landscaping



- ☐ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ☐ Stack bagged material on pallets and under cover.
- ☐ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

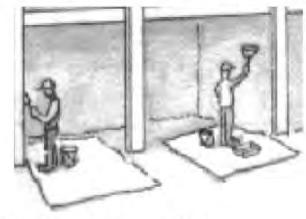


- ☐ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ☐ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.



- ☐ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If local wastewater treatment plant.
- ☐ Divert run-on water from offsite away from all disturbed areas.
- ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap
- ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

#### Painting & Paint Removal



#### **Painting Cleanup and Removal**

## **Dewatering**

- discharging to the sanitary sewer call your
- may be required.

## inft3

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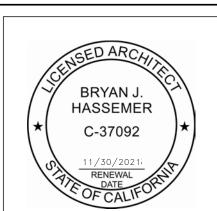
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#### revisions:

No.	Description	Date
	DRAFT / BID SET	07/02/2
	FOR PERMIT	10/08/2
4	DESIGN REVIEW PACKAGE	04/25/2



506 EDGECLIFF REDWOOD CITY, CA

& BEDROOM SUITE BMPS - BLUEPRINT FOR

LIVING PORCH

20-015-01 inft3#: 04/25/22 date: drawn:

page#:

scale:

A CLEAN BAY

G1.02

05 of 35

#### 3 WUI MAP - EMERALD LAKE HILLS 12" = 1'-0"

COMMUNITY DEVELOPMENT AND TRANSPORTATION DEPARTMENT Engineering and Transportation Division www.redwoodcity.org

1017 Middlefield Road P.O. Box 391 Redwood City, CA 94064 Telephone: 650.780.7380

#### FIRE HYDRANT FLOW TEST

Date and Time:	December 6, 2021 506 Edgecliff Way				
Project Site Address:					
(Subject Property) APN	Unincorporated San Mateo Count 068-192-020				
Customer Name:	Bryan Hassemer	Phone:	530-448-0909		
RWC Engineering Contact:	Paolo Baltar	Phone:	650-780-7258		
Public Works Contact:	Phone:				
Fire Authority and Contact:	Phone:				
Test Conducted By:	F	Paolo Baltar			
Payment Amount:	Not Established	Account:	Not Established		
Received by:	n/a				

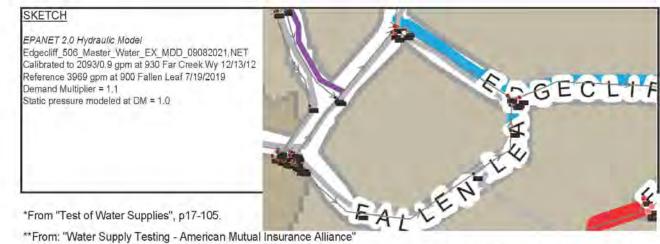
READINGS		F.H. ADDRESS	PRESSURE ZONE	SHGL
Static Pressure (S) At [model node for] Test Hydrant or Blow- off Valve, nearest to the subject property	<u>76</u> PSI	500 Edgecliff Way [J-CAL-18432]		ii
Residual Pressure (R1) At [model node for] Test Hydrant or Blow- off Valve, nearest to the subject property	<u>20</u> PSI	500 Edgecliff Way [J-CAL-18432]	California	695'
Flow (Q1) At Flow Hydrant or model node	2330 GPM	500 Edgecliff Way [J-CAL-18432]		
**Fire Hydrant Nozzle Coefficient (F) Field measurements by hydrant diffusers (e.g. Pollard or Hose Monster)	1	Flow Gauge		

Q2=F\*Q1((S-R2)/(S-R1))^0.54

2 REDWOOD CITY - FIRE FLOW TEST

12" = 1'-0"

Compiled by: Paolo Baltar
Water Purveyor Representative (Paolo Baltar)



\*\*\*Regardless of the results of this test, Redwood City Water Utility Division assumes no liability for normal pressure fluctuations from time to time as a result of normal operation of the system.

> 1 WOODSIDE FIRE PROTECTION DIST. CONDITIONAL APPROVAL 12" = 1'-0"

## WOODSIDE FIRE PROTECTION DISTRICT

Prevention Division

808 Portola Rd. Portola Valley, CA ~ www.woodsidefire.org ~ Fire Marshal Don Bullard 650-851-1594

DDLO & SI MI III	LER PLAN CHECK	K AND INSPECTIONS
PROJECT LOCATION: 506 Edgecli	ff Jurisdiction:	SMCO
Owner/Architect/Project Manager:	Permit#:	-0.3
Hassemer	BLD2021-02	2495
PROJECT DESCRIPTION: Addition	o in a transmight there is never a	
Fees Paid: SYES See Fee Comme	nts Date: 11/1/21	
Fee Comments: CH#183\$225.00 (plan	n check fee) paid by: Buchanan 1	1/8/21 MH
BUILDING PLAN CHECK COMM	ENTS/CONDITIONS:	
THE FOLLOWING REQUIREMENTS MUST BE		
1. At start of construction a 2' x 3' address s	대통령 하다면 다양하는 아이지만 (C.C.) 이 경영 대학생님은 그리고 있는데 다양 경영이 되어 있다면 다양 경우	POR COMPANY AND A STATE OF THE PARK OF THE
<ol><li>At time of final the permanent address w contrasting background.</li></ol>	ill be mounted and clearly visible	from street w/minimum of 4" numbers on
3. 100' defensible space from structure requ	ilvad bylay to start of construction	
3. 100 detensible space from structure redu	aired prior to start of constructio	n.
4. Upon final inspection 30' perimeter properties	erty line defensible space will be	required per WFPD ordinance section 304.1.2.
4. Upon final inspection 30' perimeter proposition 5. Approved spark arrestor will be required	erty line defensible space will be on all installed chimneys includir	required per WFPD ordinance section 304.1.2.
<ul><li>4. Upon final inspection 30' perimeter prope</li><li>5. Approved spark arrestor will be required</li><li>6. Install Smoke and CO detectors per 2019</li></ul>	erty line defensible space will be on all installed chimneys includir CBC.	required per WFPD ordinance section 304.1.2. ng outside fireplaces.
<ul> <li>4. Upon final inspection 30' perimeter prop</li> <li>5. Approved spark arrestor will be required</li> <li>6. Install Smoke and CO detectors per 2019</li> <li>7. NFPA 13D Fire Sprinkler System to be inst</li> </ul>	erty line defensible space will be on all installed chimneys includir CBC. talled. Sprinkler plans/calculatior	required per WFPD ordinance section 304.1.2.  ng outside fireplaces.  ns to be submitted separately to WFPD. Advise
<ol> <li>Upon final inspection 30' perimeter properties.</li> <li>Approved spark arrestor will be required</li> <li>Install Smoke and CO detectors per 2019</li> <li>NFPA 13D Fire Sprinkler System to be instructed by the contractor that they are responsible</li> </ol>	erty line defensible space will be on all installed chimneys includir CBC. talled. Sprinkler plans/calculation e for getting the correct water flo	required per WFPD ordinance section 304.1.2.  ng outside fireplaces.  ns to be submitted separately to WFPD. Advise ow data and that Cal-Water requires a backflow
<ul> <li>4. Upon final inspection 30' perimeter prop</li> <li>5. Approved spark arrestor will be required</li> <li>6. Install Smoke and CO detectors per 2019</li> <li>7. NFPA 13D Fire Sprinkler System to be inst</li> </ul>	erty line defensible space will be on all installed chimneys includir CBC. talled. Sprinkler plans/calculatior e for getting the correct water flo essure by 12-15 PSI due to friction	required per WFPD ordinance section 304.1.2. ng outside fireplaces. ns to be submitted separately to WFPD. Advise ow data and that Cal-Water requires a backflow n loss of the backflow device.
4. Upon final inspection 30' perimeter proposes. Approved spark arrestor will be required 6. Install Smoke and CO detectors per 2019 7. NFPA 13D Fire Sprinkler System to be instowner/Contractor that they are responsible device that can decrease the water flow pre 8. Driveway as proposed must meet WFPD states.	erty line defensible space will be on all installed chimneys includir CBC. talled. Sprinkler plans/calculatione for getting the correct water floessure by 12-15 PSI due to frictionstandards. If driveway dimension	required per WFPD ordinance section 304.1.2. ng outside fireplaces. ns to be submitted separately to WFPD. Advise ow data and that Cal-Water requires a backflow n loss of the backflow device.
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- Produced a state of the state		
As Built Submitted:	Date:	As Builts Approved Date:
Fee Comments:		* * * * * * * * * * * * * * * * * * * *
Rough/Hydro Sprinkler Inspection By:	Date:	
Sprinkler Inspection Comments:	2.1.6.6	
Final Bldg and/or Sprinkler Insp By:	Date:	
Comments	1	

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209.450.9066

consultant:

GeoForensics, Inc.

\*FIRE SPRINKLER NOTES:

WITH SCOPE OF WORK.

DESIGN, AS REQUIRED.

. NEW FIRE SPRINKLERS ARE REQUIRED

LATERAL AND (E)WATER METER SIZE W/ SPRINKLER SUBCONTRACTOR.

SUPPLY WITH NEW FIRE SPRINKLER

. COORDINATE MUNICIPAL WATER SERVICE

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

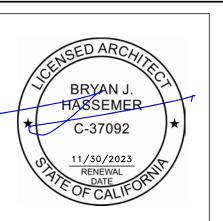
2. GC TO REVIEW (E)WATER SERVICE

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
1	FOR PERMIT_rev1	10/21/2
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

FIRE DEPT. REVIEW, FIRE FLOW & WUI MAP

20-015-01 inft3#: 04/25/22 06 of 35

12" = 1'-0"

#### **SURFACES KEY:**

AFTER RENOVATION TOTALS:

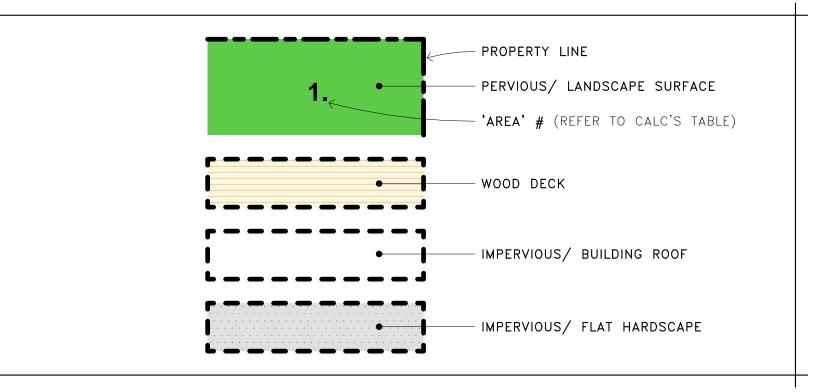
PERVIOUS/ LANDSCAPE

PERVIOUS WOOD DECK

FLAT IMPERVIOUS / SITE

TOTAL PARCEL AREA:

ROOF IMPERVIOUS



#### | IMPERVIOUS & PERVIOUS SURFACE CALC'S:

EXISTING:			PROPOSED:		
	#:	AREA:	#:	AREA:	CHANGES TO:
			5 6 8 11 18 21 22 23 24 25 26 27 28	26 SF 21 SF 12 SF 18 SF 124 SF 39 SF 10 SF 18 SF 15 SF 2 SF 7 SF 57 SF	(N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)ROOF (N)ROOF (N)ROOF (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)WOOD DECK (N)WOOD DECK (N)WOOD DECK
(E)PERVIOUS/ LANDSCAPE	1	8,958 SF	<u>SUBTOTAL</u> NO CHANGE	<u>509 SF</u> 8,449 SF	SUBTOTAL, CHANGED NO CHANGE
			9 10 12 13 14 17 20	23 SF 2 SF 2 SF 32 SF 95 SF 269 SF 80 SF	(N)PERVIOUS/ LANDSCAPE (N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)PERVIOUS/ LANDSCAPE (N)ROOF (N)ROOF (N)ROOF
(E)PERVIOUS WOOD DECK	1 a	923 SF	<u>SUBTOTAL</u> NO CHANGE	503 SF 420 SF	SUBTOTAL, CHANGED  NO CHANGE
(E)ROOF IMPERVIOUS	2	2,572 SF	15 16 SUBTOTAL NO CHANGE	24 SF 139 SF ————————————————————————————————————	(N)ROOF (N)ROOF SUBTOTAL, CHANGED NO CHANGE
			4 7 19	219 SF 220 SF 20 SF	(N)FLAT IMPERVIOUS/ SITE (N)FLAT IMPERVIOUS/ SITE (N)ROOF
(E)FLAT IMPERVIOUS/ SITE	3	2,472 SF	SUBTOTAL NO CHANGE	<u>459 SF</u> 2,013 SF	SUBTOTAL, CHANGED NO CHANGE
SITE AREAS CHANGED:				1,634 SF	
TOTAL PARCEL AREA:		14,925 SF		14,925 SF	

8,519 SF

644 SF

3,229 SF

2,533 SF

14,925 SF

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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650.349.3369

revisions:

No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH

& BEDROOM SUITE

SITE COVERAGE / EXISTING PLOT PLAN

20-015-01 04/25/22 07 of 35

As indicated DIM. @ LEFT = 1" : DRAWING TO SCALE

#### **SURFACES KEY:**

AFTER RENOVATION TOTALS:

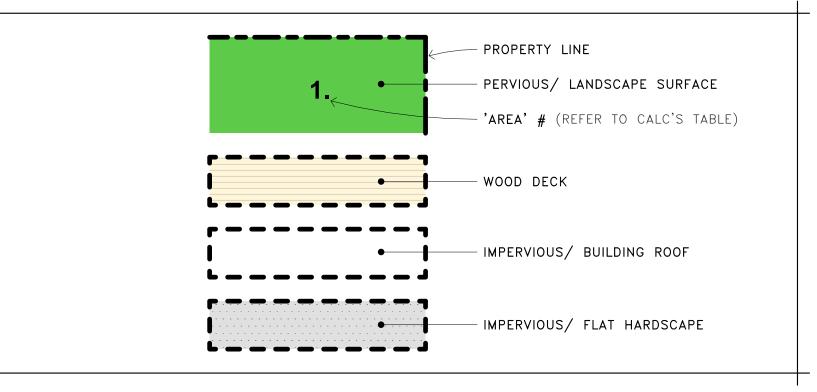
PERVIOUS/ LANDSCAPE

PERVIOUS WOOD DECK

FLAT IMPERVIOUS / SITE

TOTAL PARCEL AREA:

ROOF IMPERVIOUS



#### | IMPERVIOUS & PERVIOUS SURFACE CALC'S:

EXISTING:			PROPOSED:		
	#:	AREA:	#:	AREA:	CHANGES TO:
			5	26 SF	(N)FLAT IMPERVIOUS/ SIT
			6	21 SF	(N)FLAT IMPERVIOUS/ SIT
			8	12 SF	(N)FLAT IMPERVIOUS/ SIT
			11	18 SF	(N)FLAT IMPERVIOUS/ SIT
			18	124 SF	(N)ROOF
			21	39 SF	(N)ROOF
			22	10 SF	(N)ROOF
			23		` '
				18 SF	(N)ROOF
			24	15 SF	(N)PERVIOUS/ LANDSCAPE
			25	2 SF	(N)ROOF
			26	7 SF	(N)WOOD DECK
			27	57 SF	(N)WOOD DECK
			28	160 SF	(N)WOOD DECK
			<u>SUBTOTAL</u>	509_SF	SUBTOTAL, CHANGED
(E)PERVIOUS/ LANDSCAPE	1	8,958 SF	NO CHANGE	8,449 SF	NO CHANGE
			9	23 SF	(N)PERVIOUS/ LANDSCAPE
			10	2 SF	(N)FLAT IMPERVIOUS/ SIT
			12	2 SF	(N)FLAT IMPERVIOUS/ SIT
			13	32 SF	(N)PERVIOUS/ LANDSCAPE
			14	95 SF	(N)ROOF
			17	269 SF	1 ' '
			20	269 SF 80 SF	(N)ROOF (N)ROOF
(E)PERVIOUS WOOD DECK	1 a	923 SF	<u>SUBTOTAL</u> NO CHANGE	<u>503 SF</u> 420 SF	SUBTOTAL. CHANGED NO CHANGE
			15	24 SF	(N)ROOF
			<u>16</u>	139 SF	(N)ROOF
			SUBTOTAL	163 SF	SUBTOTAL, CHANGED
(E)ROOF IMPERVIOUS	2	2,572 SF	NO CHANGE	2,409 SF	NO CHANGE
			4	219 SF	(N)FLAT IMPERVIOUS/ SIT
			7	220 SF	(N)FLAT IMPERVIOUS/ SIT
			19	20 SF	(N)ROOF
			<u>SUBTOTAL</u>	459_SF	SUBTOTAL, CHANGED
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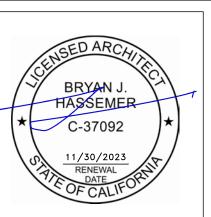
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



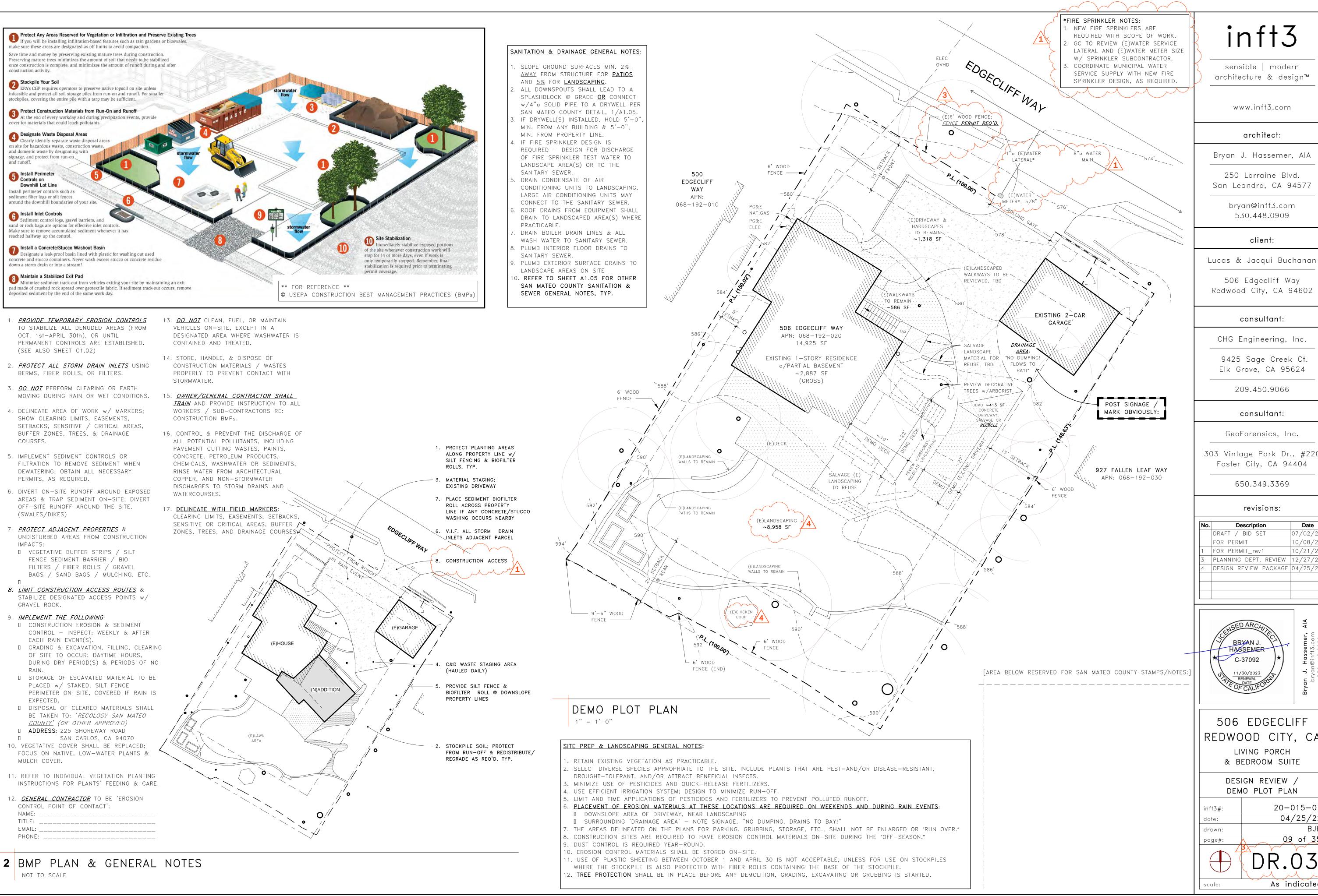
506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

SITE COVERAGE / NEW PLOT PLAN

20-015-01 04/25/22 08 of 35

As indicated DIM. @ LEFT = 1" : DRAWING TO SCALE



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#### revisions:

No.	Description	Date
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
1	FOR PERMIT_rev1	10/21/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

> LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW /

20-015-01 04/25/22

09 of 35 As indicated

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Lucas & Jacqui Buchanan

48 SF (STONE WALK)

<u>14,925 SF</u>

728 SF

583 SF

673 SF

585 SF

4,388 SF

1,576 SF

2,887 SF

19.3% @ 2,887 SF

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650.349.3369

revisions:

FOR PERMIT 10/08/21 | PLANNING DEPT. REVIEW | 12/27/21 DESIGN REVIEW PACKAGE 04/25/22

C-37092

506 EDGECLIFF REDWOOD CITY, CA

> LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / NEW PLOT PLAN

20-015-01 inft3#: 04/25/22

10 of 35

As indicated

#### General Erosion and Sediment Control Plan Guidelines

#### (Best Management Practices to be used during Site Preparation and Construction)

#### A complete Erosion and Sediment Control Plan (EC Plan) should include the following (as applicable to the site and project):

#### 1. Delineation of Area of Work For projects, including those requiring a Grading Permit, separate erosion and sediment control plan sheets are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage. For difficult projects only, additional plan sheets are required for each of the following phases: Grading and retaining wall phase, foundation and construction phase.

- Show all areas of construction, including but not limited to: areas to be graded as shown on a grading plan, areas to be cleared, as well as structures, retaining walls, roads, drives, utilities, trenches, scaffolds, catch basins, etc. These areas should be consolidated and located outside steep or sensitive areas.
- Protect surface water locations, providing primary control measures (e.g., silt fence along outer buffer zone of creek; do not disturb riparian areas) and secondary control measures (e.g., fiber rolls) in disturbed areas sloping toward the creek/ocean.
- Protect storm drain inlets using fiber rolls, permeable rock sacks, or other measures that keep sediment from entering the drain. Show inlet locations and protection measure details on the EC Plan. Include on the EC Plan that filter fabric or filter baskets shall be installed in the drains and cleaned out after each rain event, or as needed to function property. Do not use sand bags as these tear and can result in sand entering the storm drains.
- Maximize and protect areas to be undisturbed (including sensitive areas and buffer zones), using a vegetative buffer strip or 6 ft. fence/barrier. Show the "limits of work" on the EC Plan and barriers along the "limit". Forbid work, storage, earth moving, vegetation clearing, and other disturbances outside of the "limit". Do not use hay bales as these can easily fall apart.
- Provide a separate Tree Protection Plan to identify and protect trees, using fencing placed along driplines. An arborist report is required for those trees where work will encroach into the dripline. See separate Tree Protection Plan Guidelines.
- Prevent runoff to off-site areas using perimeter controls (diversion berms, silt fencing, and/or fiber rolls). Silt fencing is preferred, but fiber rolls may work in some instances. Where the site is flat or the slope is gentle, installing these measures on the property line should be adequate. On slopes greater than 3:1, the measures must be installed along contour lines.
- Prevent Erosion of Unstable or Denuded Areas
- Show all proposed retaining walls in the EC Plan, including areas that will be used for stockpiling earth and storing construction materials Indicate the location and method for stabilizing disturbed bare earth areas. Use seeding and/or mulching and the following, as
- For slopes less than 3:1, provide silt fencing or fiber rolls along contour lines. For slopes greater than 3:1, anchored erosion blankets (rice, straw, or coconut) and fiber rolls or silt fencing at the crest are required. Jute netting is preferred when used with seeding.
- Use diversion berms to divert water from unstable or denuded areas (e.g., top and base of a disturbed slope, grade breaks where slopes transition to a steeper slope).
- Direct water from construction areas to designated temporary filtration/detention areas. Show any temporary detention areas for stormwater and stabilization of those areas.
- 3. Show Locations of Logistics Areas
- Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the EC Plan. Show how they will be accessed and show protection of the access routes.
- Show location of utility trenches, indicate utility types, and identify timing of installation.

#### 4. Construction Access Routes

- Use stabilized designated access points for entrance onto the property using 3"- 6" fractured aggregate over geo-textile fabric over the first 20 feet of the property. If using an existing paved driveway, identify on EC Plan. Where vehicles or equipment will travel from an existing paved driveway to unpaved areas within the property, a stabilized transition point is required that meets the above standards.
- Provide designated area(s) for parking of construction vehicles, using aggregate over geo-textile fabric.
- Show all access roads/ramps and access points used by excavation equipment, trucks, or fork lifts/crane access (second floor construction). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the EC Plan. Materials for this purpose are required to be stored on-site.

#### Containment of Construction Materials and Waste

- Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits. No concrete, mortar, or stucco washout is allowed to be placed directly on the soil/ground. Specify the method used to contain the washout.
- Show location of portable toilets away from surface water locations and storm drain inlets.
- Show storage location and containment of construction materials during work, as well as afterhours/weekends. Show the location of lumber, gravel, and materials storage areas on the EC Plan. Show how they will be accessed and show protection of the access routes.
- Show areas and proposed protection of temporary stockpiles using anchored-down plastic sheeting in dry weather. The use of plastic sheeting during the wet season, Oct 1 through April 30, is not allowed, unless the stockpile is also protected with fiber rolls containing the base of the stockpile. Alternatively, in wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.
- Indicate the location of refuse piles and debris box locations on the EC Plan. Show how they will be accessed and show protection of the

Provide an anticipated construction schedule and/or construction duration (in weeks or months)

#### 7. Other Required Permits/Inspections

- Does the project require a County Grading Permit? Check with Planning staff to verify. For County Grading Permits (only): Grading associated with a County Grading Permit is prohibited during the Winter Grading Moratorium
- Does the project disturb 1 acre (43,560 sq. ft.) of area or more? If Yes:

  Applicant shall file Notice Of Intent (NOI) with State Water Resources Control Board for State General Construction
- Activity NPDES Permit. (Prior to issuance of the building permit, applicant must submit WDID Number to Planning).
- A Pre-Site EC and/or Tree Protection Inspection may be required prior to the issuance of a building, grading, or demolition permit.

#### Add the Following Standard Comments on the EC Plan:

- Erosion Control Point of Contact. (Please provide an Erosion Control Point of Contact including name, title/qualification, email, and phone number. The EC Point of Contact will be the County's main point of contact if Erosion Control or Tree Protection corrections are required).
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB)
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.

Limit construction access routes to stabilized, designated access points. Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods. Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and

Construction Best Management Practices.

Placement of erosion materials at these locations are required on weekends and during rain events: (List locations)

The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over." Construction sites are required to have erosion control materials on-site during the "off-season."

#### Dust control is required year-round.

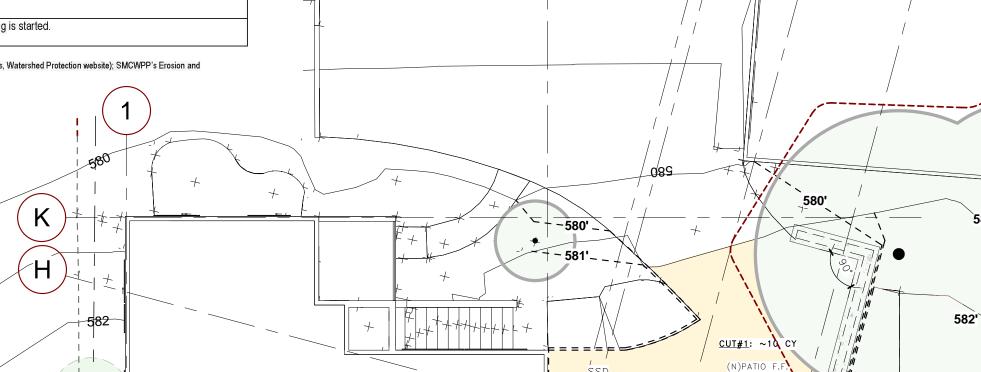
#### Erosion control materials shall be stored on-site.

Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

Tree protection shall be in place before any demolition, grading, excavating or grubbing is started.

Sources: Watershed Protection Maintenance Standards (County of San Mateo Department of Public Works, Watershed Protection website); SMCWPP's Erosion and Sediment Control Field Manual (Planning Counter)

SSB:aow - SSBAA0527\_WAJ.DOCX



<u>CUT#2</u>: ~50 CY

COORD'

FOOTINGS PER STRUCTURAL DRAWINGS -

COORD FOOTINGS PER STRUCTURAL

(4.6)

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

REFER TO SHEET DR.06

FOR POST-CONSTRUCTION SITE & FINISH GRADING

> 506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH

C-37092

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architecture & design™

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303 Vintage Park Dr., #220

Foster City, CA 94404

650.349.3369

revisions:

DESIGN REVIEW PACKAGE 04/25/22

Description

**EROSION & SEDIMENT** CONTROL PLAN

& BEDROOM SUITE

inft3#:

11 of 35

ESCP GUIDELINES 12" = 1'-0"

1 ESCP - DEMO / GRADING PLAN

1" = 10'-0"

DIM. @ LEFT = 1" : DRAWING TO SCALE

20-015-01

As indicated

04/25/22

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#### (Best Management Practices to be used during Site Preparation and Construction)

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#### 4. Construction Access Routes

- Use stabilized designated access points for entrance onto the property using 3"- 6" fractured aggregate over geo-textile fabric over the first 20 feet of the property. If using an existing paved driveway, identify on EC Plan. Where vehicles or equipment will travel from an existing paved driveway to unpaved areas within the property, a stabilized transition point is required that meets the above standards.
- Provide designated area(s) for parking of construction vehicles, using aggregate over geo-textile fabric.
- Show all access roads/ramps and access points used by excavation equipment, trucks, or fork lifts/crane access (second floor construction). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the EC Plan. Materials for this purpose are required to be stored on-site.

#### Containment of Construction Materials and Waste

- a. Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits. No concrete, mortar, or stucco washout is allowed to be placed directly on the soil/ground. Specify the method used to contain the washout.
- Show location of portable toilets away from surface water locations and storm drain inlets.
- Show storage location and containment of construction materials during work, as well as afterhours/weekends. Show the location of lumber, gravel, and materials storage areas on the EC Plan. Show how they will be accessed and show protection of the access routes.
- Show areas and proposed protection of temporary stockpiles using anchored-down plastic sheeting in dry weather. The use of plastic sheeting during the wet season, Oct 1 through April 30, is not allowed, unless the stockpile is also protected with fiber rolls containing the base of the stockpile. Alternatively, in wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.
- Indicate the location of refuse piles and debris box locations on the EC Plan. Show how they will be accessed and show protection of the

Provide an anticipated construction schedule and/or construction duration (in weeks or months)

#### 7. Other Required Permits/Inspections

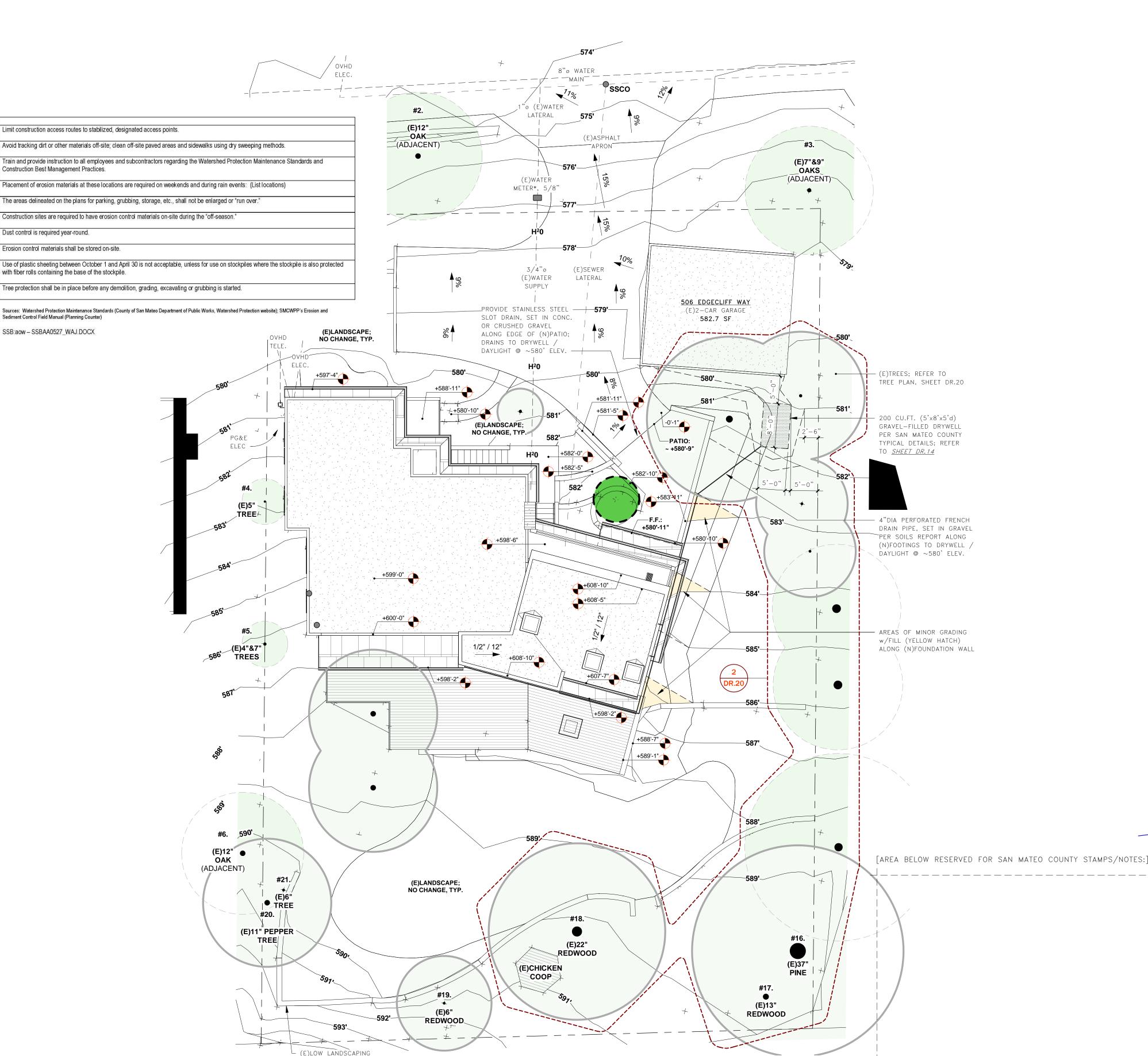
- Does the project require a County Grading Permit? Check with Planning staff to verify. For County Grading Permits (only): Grading associated with a County Grading Permit is prohibited during the Winter Grading Moratorium (Oct. 1 through April 30).
- Does the project disturb 1 acre (43,560 sq. ft.) of area or more? If Yes:
- Applicant shall file Notice Of Intent (NOI) with State Water Resources Control Board for State General Construction Activity NPDES Permit. (Prior to issuance of the building permit, applicant must submit WDID Number to Planning).
- A Pre-Site EC and/or Tree Protection Inspection may be required prior to the issuance of a building, grading, or demolition permit.

#### Add the Following Standard Comments on the EC Plan:

installed prior to earth-moving activities and construction.

- Erosion Control Point of Contact. (Please provide an Erosion Control Point of Contact including name, title/qualification, email, and phone number. The EC Point of Contact will be the County's main point of contact if Erosion Control or Tree Protection corrections are required).
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products,
- chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB)
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.

# A complete Erosion and Sediment Control Plan (EC Plan) should include the following (as applicable to the site and project): Construction Best Management Practices. Dust control is required year-round. Sediment Control Field Manual (Planning Counter) SSB:aow - SSBAA0527\_WAJ.DOCX



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303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

#### revisions:

No.		Descripti	on	Date
4	DESIGN	REVIEW	PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

> & BEDROOM SUITE **EROSION & SEDIMENT**

LIVING PORCH

CONTROL PLAN

20-015-01 inft3#: 04/25/22 drawn: 12 of 35

ESCP GUIDELINES

12" = 1'-0"

1 ESCP - NEW / CONSTRUCTION PLAN 1" = 10'-0"

WALL, TO REMAIN, TYP.

As indicated

Stoke B

Collisions Stoke B

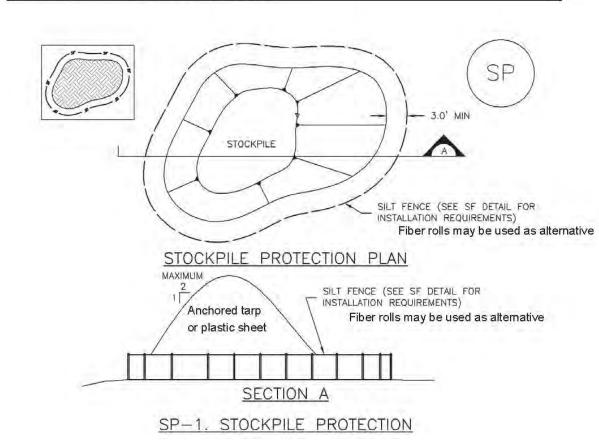
Stoke B

Collisions of Stoke B

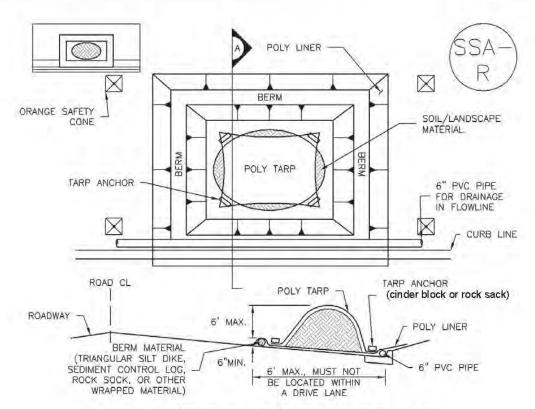
Collisions o

## 3 SAN MATEO CO. — SILT FENCE

#### Stockpile Management (SP)



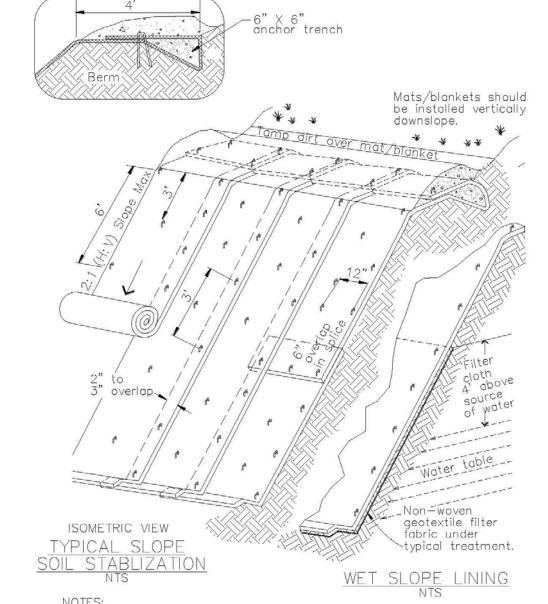
#### **Stockpile Management (SP)**



SP-2. MATERIALS STAGING IN ROADWAY

## Geotextiles and Mats

EC-7



1. Slope surface shall be free of rocks, clods, sticks and grass. Mats/blankets shall have good soil contact.

2. Lay blankets loosely and stake or staple to maintain direct contact with the soil. Do not stretch.

3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

July 2012 California Stormwater BMP Handbook 11 of 1

Construction

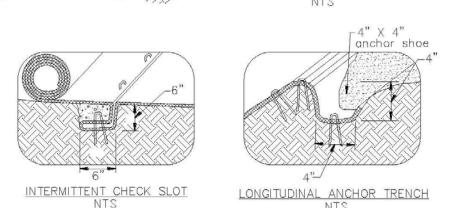
www.casqa.org

#### **Geotextiles and Mats**

12" \* 6"

EC-7

ISOMETRIC VIEW



NOTES:

1. Check slots to be constructed per manufacturers specifications.

2. Staking or stapling layout per manufacturers specifications.

3. Install per manufacturer's recommendations

TYPICAL INSTALLATION DETAIL

y 2012 California Stormwater BMP Handbook 1
Construction
www.casqa.org

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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650.349.3369

#### revisions:

No.		Descripti	on	Date
4	DESIGN	REVIEW	PACKAGE	04/25/22



ECLIFF

# 506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH

& BEDROOM SUITE

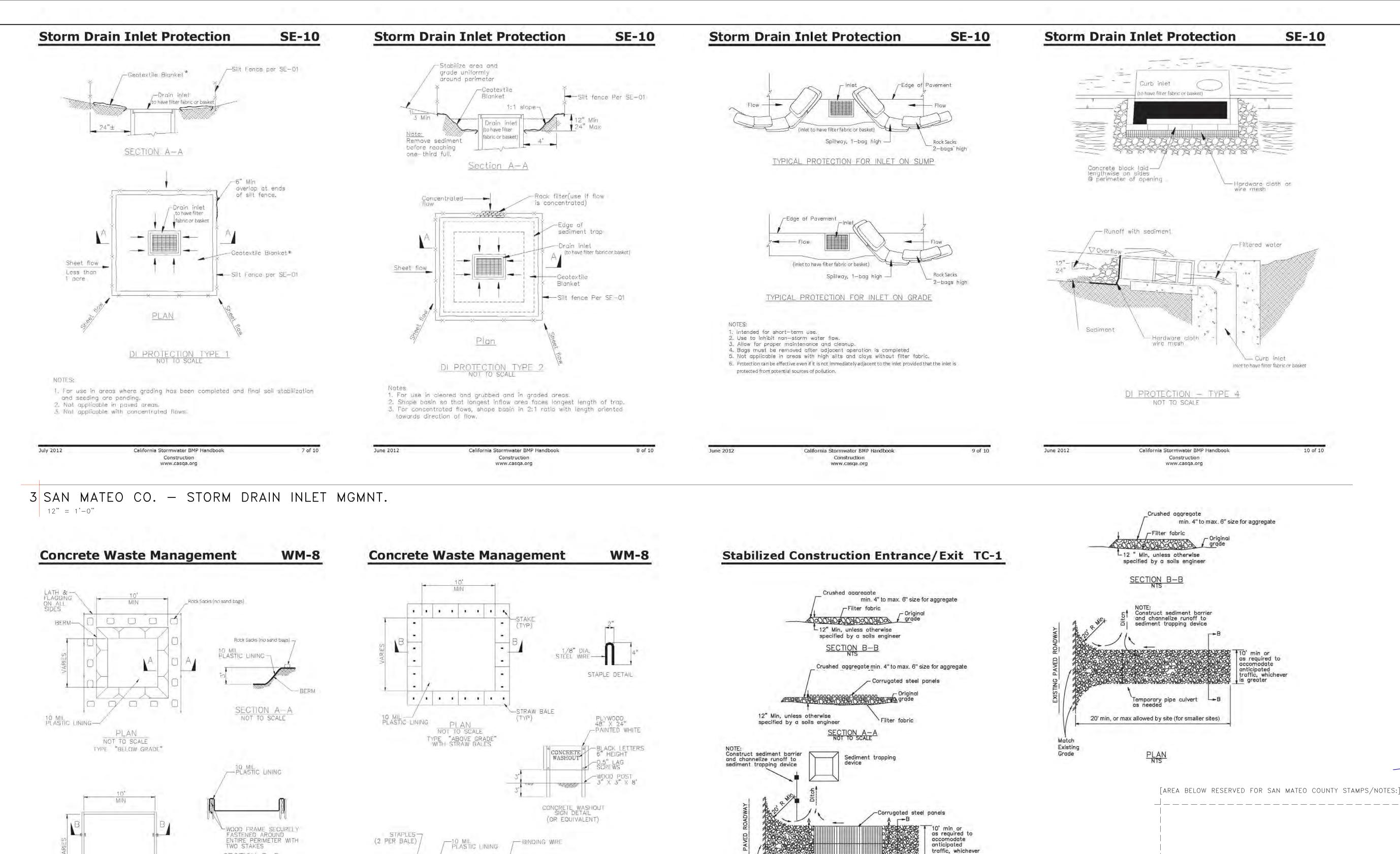
DESIGN REVIEW / SM Co. BMP DETAILS

inft3#: 20-015-01
date: 04/25/22
drawn: BJH
page#: 13 of 35

12" = 1'-0"

2 SAN MATEO CO. - STOCKPILE MGMNT.

1 SAN MATEO CO. — GEOTEXTILES & MATS



STRAW BALE

NATIVE MATERIAL-

SECTION B-B NOT TO SCALE

Construction

www.casqa.org

(must be completely covered by plastic lining)

1. ACTUAL LAYOUT DETERMINED IN FIELD.

SECTION B-B NOT TO SCALE

1. ACTUAL LAYOUT DETERMINED IN FIELD.

2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT, OF THE TEMPORARY CONCRETE WASHOUT FACILITY.

NOT TO SCALE TYPE "ABOVE GRADE"

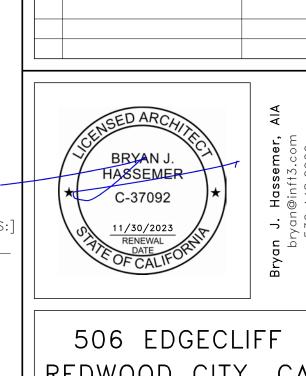
12" = 1'-0"

California Stormwater BMP Handbook

Construction

www.casqa.org

2 SAN MATEO CO. — CONC. WASHOUT MGMNT.



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revisions:

4 | DESIGN REVIEW PACKAGE | 04/25/22

REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / SM Co. BMP NOTES

20-015-01 04/25/22 drawn: 14 of 35

12" = 1'-0"

1 SAN MATEO CO. - STABILIZED SITE ACCESS 12" = 1'-0"

**GENERAL NOTE:** 

EXISTING ASPHALT DRIVEWAY IN

FOUNDATION AREA & PERIMETER

PLACE; PROVIDE STABILIZED

CONSTRUCTION PAD @ (N)

OF (N)BUILDING AREA, AS REQUIRED BY SAN MATEO CO.

or max allowed by site

(1) Length should be extended to 12 times the diameter of

the largest construction vehicle tire.

Match (2) On small sites length should be the maximum allowed by site.

July 2012

50' Typical

California Stormwater BMP Handbook

Construction

www.casqa.org

REDWOOD CITY CALIFORNIA

SCALE: NONE

DATE: <u>6/95</u>

REVISED: \_\_\_\_\_

#### SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS STANDARD SPECIFICATIONS

#### **GENERAL NOTES**

- 1. ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- 2. THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE SANITARY SEWER DESIGN SHOWN ON THESE PLANS MEETS THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
- 3. THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4765 OR 363-4100 TWO (2) WOKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK
- ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
- 5. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
- 6. THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
- 7. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
- 8. UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
- SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
- 10. PRIOR TO COMMENCING ANY SANITARY SEWER WORK IN OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE NOTIFIED WELL IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C - 13

SAN MATEO COUNTY DEPARTMENT

DRAWN BY: N.M.A. CHECK BY: R.O.
APPROVED BY: N.R.C.

OF SCALE: NONE PUBLIC WORKS DATE: <u>6/95</u> REVISED: <u>4/97</u> REDWOOD CITY

CALIFORNIA SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS

> STANDARD SPECIFICATIONS PIPE AND FITTINGS

#### POLYVINYL CHLORIDE PIPE (PVC)

- 1. ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
- 2. ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D1869. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
- 3. ALL PIPE ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FIRMLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
- ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.

#### DUCTILE IRON PIPE (DIP)

- ALL PIPE SHALL BE THICKNESS CLASS 50 (FOUR INCH PIPE SHALL BE THICKNESS CLASS 51) IN ACCORDANCE WITH ANSI SPECIFICATIONS A21.51. FITTINGS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATION A21.10.
- 2. JOINTS SHALL BE PUSH-ON TYPE OR MECHANICAL JOINT TYPE IN ACCORDANCE WITH ANSI SPECIFICATION A21.11. RUBBER GASKETS FOR PUSH-ON JOINTS SHALL BE IN ACCORDANCE WITH ANSI SPECIFICATIONS HEREIN.
- 3. PIPE AND FITTINGS SHALL HAVE A BITUMINOUS COATING OUTSIDE IN ACCORDANCE WITH ASTM SPECIFICATION A746-86, UNLESS OTHERWISE SPECIFIED HEREIN.
- 4. PIPE AND FITTINGS SHALL HAVE A 1/16" (ONE-SIXTEENTH INCH) CEMENT-MORTAR LINING WITH AN ASPHALTIC SEAL COAT.

#### VITRIFIED CLAY PIPE (VCP)

- 1. PIPE AND FITTINGS SHALL BE EXTRA STRENGTH, UNGLAZED, BELL AND SPIGOT, CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION C700.
- JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH FACTORY INSTALLED FLEXIBLE COMPRESSSION TYPE GASKETS MADE OF PLASTICIZED POLYVINYL OR POLYURETHANE CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C425. BAND TYPE COUPLINGS ARE NOT ALLOW.

C - 14

SAN MATEO COUNTY DEPARTMENT

DRAWN BY: N.M.A. CHECK BY: R.O. APPROVED BY: N.R.C.

12" = 1'-0"

PUBLIC WORKS REDWOOD CITY

SCALE: NONE DATE: <u>6/95</u> REVISED:

#### CALIFORNIA SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS

#### **TESTING REQUIREMENTS**

- ALL REFERENCES TO "DISTRICT" IN THESE TESTING REQUIREMENTS SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
- 2. ALL REQUIRED CLEANING AND TESTING OF SANITARY SEWER MAINS AND LATERALS SHALL BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE DISTRICT.

STANDARD SPECIFICATIONS

- 3. ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL BE CLEANED BY MEANS OF A HIGH SPEED JET RODDER PRIOR TO TESTING. VCP AND DIP SHALL BE TESTED FOR OBSTRUCTION BY BALL ROLLING.
- 4. ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL PASS A LOW PRESSURE AIR TEST. EACH SECTION OF MAIN SHALL BE TESTED BETWEEN SUCCESSIVE MANHOLES. THE LOW PRESSURE AIR TEST SHALL BE CONDUCTED IN THE FOLLOWING MANNER.

A COMPRESSED AIR SUPPLY SHALL BE ATTACHED TO AN AIR FITTING ON THE MAIN AND THE AIR PRESSURE WITHIN THE LINE INCREASED TO FOUR (4) POUNDS PER SQUARE INCH. (PSI). AFTER THE AIR SUPPLY IS SECURELY TURNED OFF OR DISCONNECTED, THERE SHALL BE A TWO (2) MINUTE WAITING PERIOD BEFORE THE ACTUAL TEST PERIOD BEGINS TO ALLOW STABILIZATION OF AIR WITHIN THE MAIN.

IN NO CASE SHALL THE AIR PRESSURE WITHIN THE LINE BE LESS THAN 3.5 PSI AT THE BEGINNING OF THE TEST PERIOD. REFER TO THE CHART WHICH FOLLOWS FOR THE LENGTH OF THE TEST PERIOD. THE MINIMUM LENGTH OF TEST IS TWO (2) MINUTES). THE ALLOWABLE AIR PRESSURE LOSS DURING THE TEST PERIOD SHALL BE 1.0 PSI. A WRITTEN RECORD OF THE TEST SHALL BE SUBMITTED TO THE DISTRICT BY THE CONTRACTOR.

NOMINAL PIPE SIZE (inches)	LENGTH OF LINE (feet)	LENGTH OF TEST (minutes)
4 6 6 8 8 8 8 8 10 10 10	ALL 0 - 300 300 - 370 370 AND GREATER 0 - 170 170 - 210 210 - 250 250 - 290 290 AND GREATER 0 - 110 110 - 165 165 - 215 215 AND GREATER	2 2 2 2 1/2 3 2 2 1/2 3 3 1/2 3 3/4 2 3 4 4 3/4
	C-15	

SAN MATEO COUNTY DEPARTMENT

DRAWN BY: N.M.A. CHECK BY: R.O. APPROVED BY: N.R.C.

PUBLIC WORKS REDWOOD CITY CALIFORNIA

DATE: <u>6/95</u> REVISED:

5. A TELEVISION INSPECTION SHALL BE MADE OF ALL SANITARY SEWER MAINS BEING CONSTRUCTED. IMMEDIATELY PRIOR TO TELEVISING THE SEWER, AN AMOUNT OF WATER ACCEPTABLE TO THE DISTRICT'S REPRESENTATIVE SHALL BE INTRODUCED INTO THE SEWER MAIN BEING INSPECTED

A VIDEO TAPE IN VHS FORMAT AT SP, OR EQUIVALENT, SPEED SHALL BE MADE OF THE

SUBMITTED VIDEO TAPES SHALL INCLUDE A CONTINUOUS ON-SCREEN DISPLAY WHICH CONTAINS, AS A MINIMUM, THE DATE OF THE FILMING, IDENTIFICATION OF THE LINE AND SEGMENT (REACH) OF THE LINE BEING VIEWED, AND A READOUT, IN FEET, SHOWING THE DISTANCE TO THE ENTRY POINT.

IF, IN THE OPINION OF THE DISTRICT, THE SUBMITTED VIDEO TAPES ARE OF POOR QUALITY, THE DISTRICT MAY REJECT THE VIDEO TAPES AND REQUIRE THE VIDEO INSPECTION TO BE REPEATED AND NEW VIDEO TAPES SUBMITTED TO THE DISTRICT FOR REVIEW AND

DEFLECTION TESTING OF POLYVINYL CHLORIDE (PVC) SEWER MAINS SHALL BE PERFORMED AFTER THE PLACEMENT OF ALL TRENCH BACKFILL. PIPE DEFLECTION SHALL BE TESTED BY PULLING BY HAND A GO/NO-GO MANDREL THROUGH THE INSTALLED SECTIONS OF SEWER

THE MANDREL USED SHALL HAVE A MINIMUM LENGTH EQUAL TO ITS DIAMETER. THE MANDREL SHALL BE CONSTRUCTED WITH A MINIMUM OF NINE (9) RIBS FABRICATED PARALLEL TO ITS LONGITUDINAL AXIS. BOTH THE DESIGN OF THE MANDREL AND THE FABRICATED MANDREL ITSELF SHALL BE INSPECTED AND APPROVED BY THE DISTRICT WELL IN ADVANCE

THE MANDREL DIAMETER SHALL BE 95% OF THE PIPE'S AVERAGE INSIDE DIAMETER AS DEFINED BY ASTM SPECIFICATION D3034, AND AS DETAILED IN THE FOLLOWING TABLE:

C - 16

3 SAN MATEO CO. — SEWER & SANITATION STANDARD SPEC'S

INSPECTION AND DELIVERED ALONG WITH A TYPED LOG OF THE INSPECTION TO THE DISTRICT (SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS) FOR REVIEW AND ACCEPTANCE.

ACCEPTANCE. ALL VIDEO TAPES SHALL BECOME THE PROPERTY OF THE DISTRICT.

OF THE DEFLECTION TEST.

NOMINAL PIPE SIZE (inches)	AVERAGE INSIDE DIAMETER (inches)	MINIMUM MANDREL DIAMETER (inches)
6 8	5.893 7.891 9.864	5.598 7.497 9.371

NOTE: AVERAGE INSIDE DIAMETER = AVERAGE OUTSIDE DIAMETER - 2(1.06)T; WHERE T = MINIMUM WALL THICKNESS AS DEFINED BY ASTM SPECIFICATION D3034.

1 SAN MATEO CO. - BACKFLOW DETAIL 12" = 1'-0"

SAN MATEO COUNTY DEPARTMENT

OF

PUBLIC WORKS

REDWOOD CITY

CALIFORNIA

SCALE: NONE

NEW STD. 6"X4"WYE

FOR POSITION)

VITRIFIED CLAY PIPE = VCP

- T----

(SEE LATERAL DETAIL

EXISTING VCP MAIN

NEW U.S. PIPE MECHANICAL JOINT TAPPING

EXISTING DIP MAIN

NEW STD. 6" X 4" PVC WYE (SEE LATERAL

SCALE: NONE

- ALUMINUM CONE

~ 3" OR 3-1/2" N.P.T.

OR PLAIN END

NOTE: LOCATION OF DEVICE

NOTE: LOCATION OF DEVICE

O APPROVAL OF DISTRICT AND BUILDING DEPARTMENT PRIOR

TO INSTALLATION

O APPROVAL OF

TO INSTALLATION

DEPARTMENT PRIOR

DISTRICT AND BUILDING

REVISED: \_

DATE: <u>6/95</u>

SLEEVE OR EQUIVALENT (SEE LATERAL DETAIL FOR POSITION)

DUCTILE IRON PIPE = DIP

DETAIL FOR POSITION)

EXISTING PVC MAIN -

POLYVINYL CHLORIDE = PVC

DATE: 6/95

REVISED:

DRAWN BY: N.M.A. CHECK BY: R.Q.

APPROVED BY: N.R.C.

FLOW

NOTES: HORIZONTAL PIPE ENTRY ANGLE WILL BE 90 0, INSTEAD OF 45 0

MANUFACTURED PVC CLOSURE COUPLING

SOLVENT WELDED JOINTS SHALL NOT BE ALLOWED

(NOT BANDED RUBBER COUPLING)

BY THE DEPARTMENT OF PUBLIC WORKS.

DRAWN BY: N.M.A.

CHECK BY: R.O.

TO MAIN

APPROVED BY: N.R.C.

12" = 1'-0"

NEAREST

UPSTREAM STRUCTURE

(SEE LATERAL DETAIL, PLAN VIEW)

BANDSEAL TYPE

OUTSIDE STAINLESS

NOTE: (1) THE NEWLY INSTALLED WYE SHALL BE OF THE SAME MATERIAL AS THE EXISTING MAIN.

VERTICAL PIPE ENTRY ANGLE SHALL BE 45 MINIMUM (SEE LATERAL DETAIL PROFILE VIEW)

NOTE: ALL PVC, PIPE AND FITTINGS SHALL BE SDR 35 35 AND SHALL HAVE RUBBER GASKETED JOINTS.

POLYVINYL CHLORIDE PIPE

LATERAL CONNECTION INSTALLATION DETAIL ON EXISTING PIPE

2 SAN MATEO CO. - (E)LATERAL TO (N)SAN. PIPE

SAN MATEO COUNTY DEPARTMENT

PUBLIC WORKS

REDWOOD CITY

CALIFORNIA

NON-PERFORATED PLASTIC BALL

REMOVE STANDARD -

FINISH GRADE

VALVE OPENS TO A ALLOW

WASTE WATER TO FLOW

VALVE CLOSES BY ITS

OWN WEIGHT TO PREVENT

BACK TO HOUSE LATERAL

WASTEWATER FROM FLOWING

INTO SEWER MAIN;

CLEANOUT PLUG

SECTION OF PVC PIPE

NOTE: LATERAL CONNECTION INSTALLATION ON NEWLY INSTALLED PIPE WILL BE AS DIRECTED

**OVERFLOW** 

OVERFLOW DEVICE

TO SEWER MAIN

BACKFLOW DEVICE

OVERFLOW AND BACKFLOW DEVICE DETAIL

C-9

TO BUILDING

VITRIFIED CLAY

DUCTILE IRON PIPE

STEEL SHEAR RING

SEWER REPAIR

#### **SAN MATEO CO. SEWER NOTES:**

#### **SANITATION & DRAINAGE GENERAL NOTES:**

- 1. SLOPE GROUND SURFACES MIN. 2% AWAY FROM STRUCTURE FOR **PATIOS** AND 5% FOR **LANDSCAPING**.
- 2. ALL DOWNSPOUTS SHALL LEAD TO A SPLASHBLOCK @ GRADE OR CONNECT w/4"ø SOLID PIPE TO A DRYWELL PER SAN MATEO COUNTY DETAIL, 1/A1.05.
- 3. IF DRYWELL(S) INSTALLED, HOLD 5'-0", MIN. FROM ANY BUILDING & 5'-0", MIN. FROM PROPERTY LINE.
- 4. GENERAL CONTRACTOR TO EXTEND SANITARY SEWER CONNECTION FROM NEW BATHROOM TO EXISTING MUNICIPAL SEWER SYSTEM LATERAL; 4"ø CAST IRON (2% SLOPE) w/CLEANOUT - CONFIRM BACKFLOW PREVENTER IF MANHOLE RIM ELEVATION IS LESS THAN 12" BELOW BASEMENT LEVEL FIN. FLOOR ELEVATION.
- 5. EXISTING WATER SERVICE AND WATER METER SIZE SHALL BE COORDINATED W/ FIRE SPRINKLER DESIGN (IF REQUIRED), SUBMITTED FOR DEFERRED REVIEW AND APPROVAL BY WOODSIDE FIRE PROTECTION DISTRICT.
- 6. EXISTING UNDERGROUND UTILITIES TO BE REFERENCED FROM REDWOOD CITY, MAP \_\_\_ (TBD).
- 7. SANITARY SEWER CONNECTION AND TESTING MUST BE MADE IN THE PRESENCE OF A SEWER DISTRICT REPRESENTATIVE.
- 8. THE SEWER DISTRICT OFFICE SHALL BE CONTACTED (650-363-4100) TO SCHEDULE INSPECTIONS. INSPECTIONS MUST BE SCHEDULED A MINIMUM OF ONE WORKING DAY PRIOR TO THE INSPECTION. NO INSPECTIONS SHALL OCCUR ON FRIDAYS, WEEKENDS OR HOLIDAYS UNLESS SPECIAL ARRANGEMENTS ARE MADE WITH THE SEWER DISTRICT.
- 9. CARE MUST BE TAKEN TO PROTECT THE EXISTING SEWER DISTRICT FACILITIES WHEN A NEW SEWER LATERAL AND CONNECTION IS INSTALLED. ANY DAMAGE TO THE SEWER DISTRICT FACILITIES DURING THE INSTALLATION OF THIS NEW LATERAL SHALL BE REPAIRED BY THE APPLICANT PER THE SEWER DISTRICT STANDARD DETAILS AND AT THE APPLICANT'S EXPENSE. THE SEWER DISTRICT MUST BE NOTIFIED OF ANY DAMAGES TO THE SANITARY SEWER FACILITIES AND ANY REPAIRS MUST BE INSPECTED BY A SEWER DISTRICT REPRESENTATIVE.
- 10. A VIDEO INSPECTION OF THE SEWER MAIN (MANHOLE TO MANHOLE) WHERE THE NEW LATERAL CONNECTS TO THE SEWER DISTRICT MAIN OR THE EXISTING CONNECTION IS TO BE REMOVED SHALL BE PERFORMED BY THE APPLICANT OR CONTRACTOR AND SUBMITTED TO THE SEWER DISTRICT FOR REVIEW AFTER LATERAL CONNECTION HAS BEEN MADE OR THE MAIN REPAIRED. THE VIDEO INSPECTION SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS DESCRIBED IN THE SPECIAL PROVISIONS FOR CLOSED CIRCUIT TELEVISION INSPECTION OF SANITARY SEWER MAINS (A COPY CAN BE OBTAINED FROM OUR WEBSITE AT HTTP://PUBLICWORKS.SMCGOV.ORG/SEWER-SERVICES). THE SEWER DISTRICT WILL REVIEW THE VIDEO INSPECTION TO DETERMINE WHETHER THE WORK PERFORMED IS ACCEPTABLE. ALL UNACCEPTABLE WORK SHALL BE CORRECTED TO THE SEWER DISTRICT'S SATISFACTION AT THE APPLICANT'S EXPENSE.

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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#### consultant:

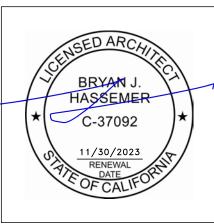
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

#### revisions:

No.		Descripti	on	Date
	FOR PE	RMIT		10/08/21
4	DESIGN	REVIEW	PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH

& BEDROOM SUITE

SAN MATEO COUNTY -DETAILS & NOTES

20-015-01 inft3#: 04/25/22 date: drawn:

page#:

scale:

12" = 1'-0"

15 of 35

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PRESCRIPTIVE DRAINAGE REQUIREMENTS

Dry Well

Dry wells are appropriate where the following site

Roof areas with downspouts or other impervious areas can be connected to the dry well.
 Dry wells should be installed at least 5 feet from property lines, 10 feet from building

▶ Overflow from the dry well can be directed to a pervious area or storm drain system such

that excess water will not flow towards any nearby foundations or neighboring properties.

▶ A dry well should be sized to capture the runoff produced from the design storm over

the connected impervious area, with account taken for any gravel or fill material that is used. This will ensure the capture and infiltration of the design storm volume. The

Contributing Area (sq. ft.) Dry Well Volume (sq. ft.) Dry Well with Gravel Fill (cubic ft) Fill (cubic ft)

300 - 1,000

Projects adding roof or impervious areas in excess of 2,000 sq ft shall add 35 cubic ft of dry well volume

Fill 1.5" to 3" dia

Width = \_\_ft

Drywell Section Example Detail

for indirect / overland storm-

COUNTY OF SAN MATEO DRAINAGE MANUAL 37

(without fill) or 100 cubic ft of dry well volume (with gravel fill) per every 500 sq ft of additional area.

Is a Dry Well Feasible at My Project?

foundations, and 25 feet from septic tanks and dispersal fields.

How large does my dry well need to be?

characteristics are present:

Dry Well systems present following table should be used as minimum sizing guidance for dry wells.

Dry Well Sizing Table

Width = \_\_\_ft

Drywell Section Example Detail

drain pipes

Prescriptive Design

Measure Fact Sheet

an easy to install and

stormwater control.

sustainable solution for

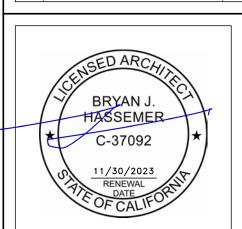
Fil 1.5" to 3" dia.

drain rock

DECEMBER 2019 - DRAFT

revisions:

No.		Descripti	on	Date
	FOR PE	RMIT		10/08/2
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[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

## 506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

SAN MATEO COUNTY -DRYWELL DETAILS

page#:

20-015-01 inft3#: 04/25/22 date: drawn:

16 of 35

12" = 1'-0"

1 SAN MATEO CO. - DRYWELL NOTES & DETAIL

12" = 1'-0"

200 CU.FT.

PRESCRIPTIVE DRAINAGE REQUIREMENTS

▶ When installing a dry well, the following design

Dry well is located at least 5 feet from property lines, 10 feet

unknown, the maximum depth of the dry well shall be 5'

Dry well is installed to intercept and collect runoff via a

downspout from a roof or adjacent impervious area.

www.usanorth811.org at least two days before digging.

The soil under the dry well has been over-excavated to at

Dry well is appropriately sized in accordance with the sizing table shown.

For dry wells with gravel fill use 2" diameter or greater stone. A sedimentation basin or debris box has been installed, and a

fine mesh screen has been installed on the inlet to prevent

An overflow has been incorporated in the dry well such that excess water will flow into the storm drain system or another

pervious area and away from any nearby foundations or neighboring properties. Optional: An observation well consisting of a slotted or perforated pipe (typically PVC), 4 - 6 inches in diameter, capped with an above-ground, sealable lid has

▶ In the following table, fill in the contributing area that will be draining to the dry well and the volume of the dry well

WITH FILL

sediment and debris from entering the dry well.

and replaced without compaction.

been incorporated into the dry well.

you are proposing to install at your property.

455 County Center 2nd Floor Redwood City. CA 94063 (660) 363-4161 www.planning smcgov.org

38 COUNTY OF SAN MATEO DRAINAGE MANUAL

Project Information

least one foot in depth. The soil has been re placed uniformly

without compaction, or amended with 15-30% of coarse sand

Prescriptive Design

Measure Fact Sheet

Design Checklist

criteria shall be considered:

Dry Well

from building foundations, and 25 feet from septic tanks and dispersal fields.

Water level, drawdown time, and evidence of clogging will be monitored monthly during the rainy season.

In areas where information about the depth to groundwater is Standing water will not remain above the dry well for

Utilities have been located before digging by calling USA North
811 at (800) 642-2444 or

Utilities have been located before digging by calling USA North
at least twice annually.

Operations & Maintenance

▶ Once a dry well is installed, the following

the measure to function properly:

maintenance criteria shall be followed in order to allow

more than 4 days. Extended periods of flooding

may result in the breeding of mosquitoes or other

If roof downspouts are connected to the dry well, rain

If the dry well ever becomes plugged and overflows

on a continual basis, the dry well will be repaired or

replaced as necessary, and gravel media fill will be

As the owner of the project property, I hereby acknowledge that the above information is true, accurate and complete, to the best of my knowledge.

DRAFT - DECEMBER 2019

cleaned or replaced to enhance the infiltration capacity

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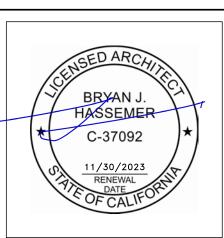
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4	DESIGN RI	EVIEW	PACKAGE	04/25/22



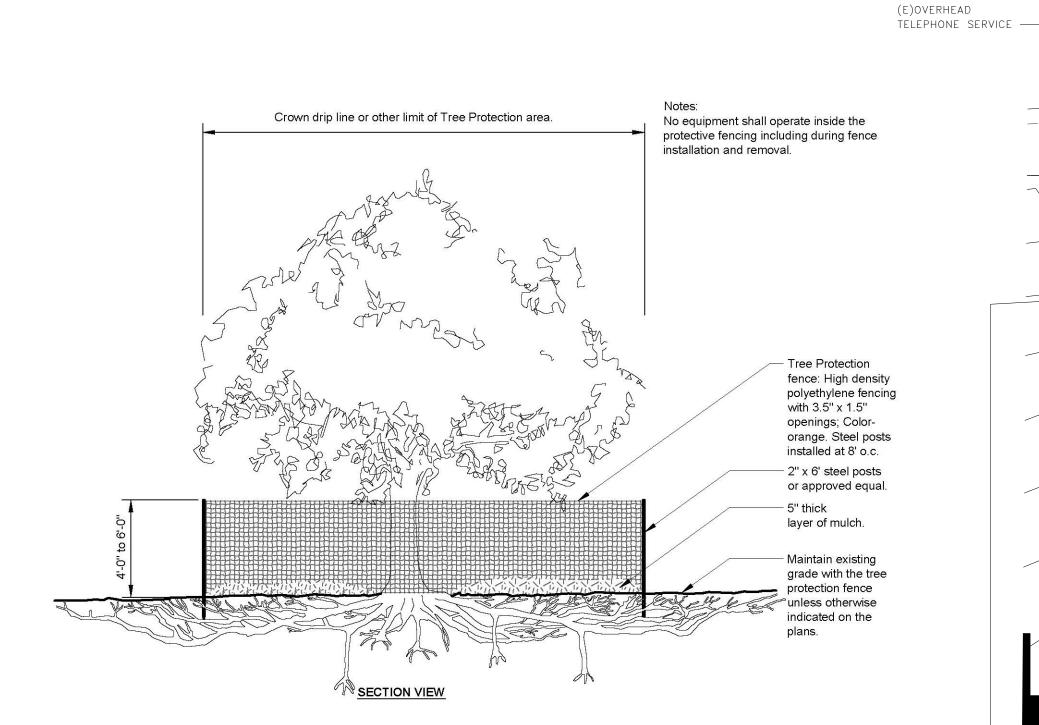
506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / TREE PLAN & NOTES

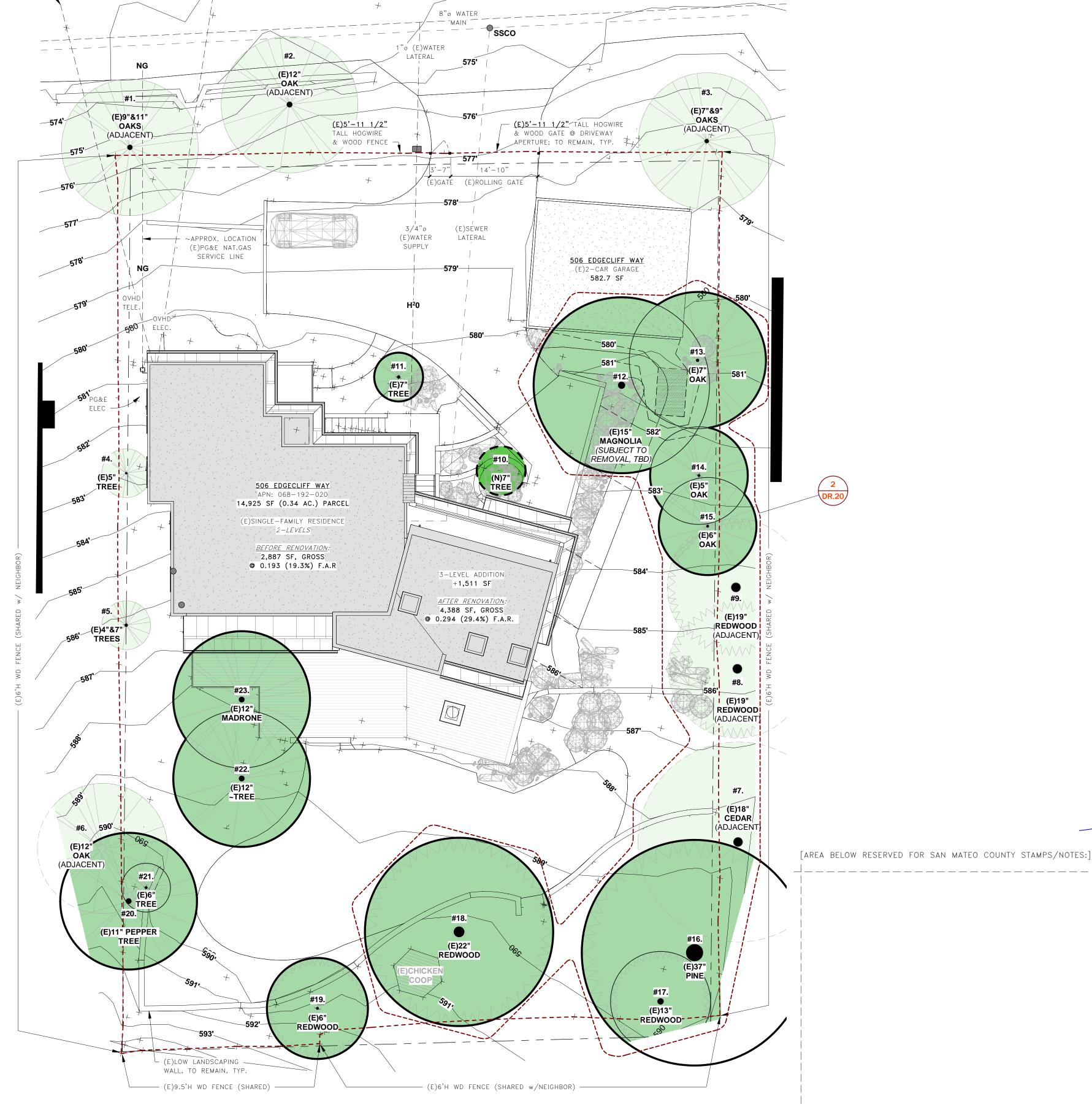
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As indicated



2 SAN MATEO CO. - TREE PROTECTION 12" = 1'-0"

<u>NO</u> .	<u>(E)/(N)</u>	TRUNK SIZE (DB	H)   GENUS	SPECIES	COMMON NAME
#1	(E)	9" & 11"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#2	(E)	12"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#3	(E)	7" & 9"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#4	(E)	5"	UNKNOWN		
#5	(E)	4" & 7"	UNKNOWN		
#6	(E)	12"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#7	(E)	18"	THUJA	PLICATA	WESTERN RED CEDAR
#8	(E)	19"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#9	(E)	19"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#10	(N)	7"	TBD		
#11	(E)	7"	UNKNOWN		
#12	(E)	15"	MAGNOLIA	GRANDIFLORA	
#13	(E)	7"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#14	(E)	5"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#15	(E)	6"	QUERCUS	AGRIFOLIA	COAST LIVE OAK
#16	(E)	37"	PINUS	PONDEROSA	PONDEROSAL PINE
#17	(E)	13"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#18	(E)	22"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#19	(E)	6"	SEQUOIA	SEMPERVIRENS	COAST REDWOOD
#20	(E)	6"	SCHINUS	MOLLE	PEPPERTREE
#21	(E)	6"	UNKNOWN		
#22	(E)	12"	UNKNOWN		
#23	(E)	12"	ARBUTUS	MENZIESII	PACIFIC MADRONE



(E)OVERHEAD PG&E ELECTRICAL SERVICE

1 EXISTING / NEW - TREE PLAN & SCHEDULE

1" = 10'-0"

2 CA WATER BOARD — LANDSCAPE / PRESCRIPTIVE APPROACH 12" = 1'-0"

(CAN ONLY BE USED WHEN AGGREGATE LANDSCAPE AREAS ARE 2,500 SQUARE FEET OR LESS) 1.1. <u>COMPOST</u>: INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ.FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA (UNLESS CONTRADICATED BY A SOILS TEST). 1.2. WATER USE: RESIDENTIAL: INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER. 1.3. <u>MULCH</u>: A <u>MINIMUM 3-INCH LAYER OF MULCH</u> SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS. 1.4. <u>TURF</u>: 1.4.A. TOTAL TURF AREA *SHALL NOT EXCEED 25%* OF THE LANDSCAPE AREA. 1.4.B. TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH. 1.4.C. TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF. 1.5. <u>Irrig' system</u>: 1.5.a. irrigation controllers use evapotranspiration or soil moisture data AND UTILIZE A RAIN SENSOR. 1.5.B. IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE. 1.5.C. AREAS LESS THAN 10 FEET IN ANY DIRECTION UTILIZE SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.



LANDSCAPE GENERAL NOTES / PRESCRIPTIVE:

LANDSCAPE, EXCLUDING EDIBLES AND AREAS

USING RECYCLED WATER, SHALL CONSIST OF

\*\* PROJECT NOTE \*\*

ONLY PLANTS OF 'VERY LOW' & 'LOW' WATER

1.7. AUTOMATIC WEATHER-BASED OR SOIL

1.8. PRESSURE REGULATORS SHALL BE

DYNAMIC PRESSURE OF SYSTEM WITHIN

1.9. MANUAL-SHUT-OFF VALVES SHALL BE

INSTALLED AS CLOSE AS POSSIBLE TO THE

ANY DIRECTION SHALL BE IRRIGATED WITH

PRODUCES NO RUNOFF OR OVERSPRAY.

1.10. AREAS LESS THAN 10-FEET IN WIDTH IN

SUBSURFACE IRRIGATION OR OTHER MEANS THAT

1.11. AT THE TIME OF FINAL INSPECTION, THE

PERMIT APPLICANT MUST PROVIDE THE OWNER

1.12. UNLESS CONTRADICTED BY A SOILS TEST,

COMPOST AT A RATE OF A MINIMUM OF FOUR

PERMEABLE AREA SHALL BE INCORPORATED TO

CUBIC YARDS PER 1,000 SQ. FT. OF

A DEPTH OF SIX INCHES INTO THE SOIL.

IRRIGATION SCHEDULE OF LANDSCAPE AND

INSTALLED ON IRRIGATION SYSTEM TO ENSURE

1.6. FOR RESIDENTIAL AREAS, 75% OF

FACTOR OF 0.3.

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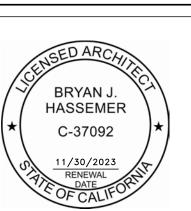
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Description DESIGN REVIEW PACKAGE 04/25/22



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / LANDSCAPE & NOTES

20-015-01 05/04/22 XX of XX

As indicated

1 EXISTING / NEW - LANDSCAPE PLAN & NOTES

<u>LANDSCAPE WATER-EFFICIENCY (MWELO) APPENDIX - D CHECKLIST:</u>

1" = 10'-0"

Туре	Botanical Name	Common Name	Water Use	WUCOLS Plant Fact
ypu	Abies pinsapo	Spanish fir	Low	WOODEN HAIR TOO
N N	Abutilon palmeri	Indian mallow	Low	
	Acacia baileyana	Bailey acacia	Low	
Α	Acacia boormanii	Snowy River wattle	Low	
_	Acacia cognata (Acacia subporosa)	bower wattle	Low	
	Acacia cultriformis	knife acacia	Low	
		clay wattle	Low	
TN	Acacia glaucoptera			
1.14	Acacia greggli	catclaw acacia	Low	- 1
	Acacia iteaphylla	willow wattle	Low	
	Acacia linearifolia	golden wattle	Low	
T	Acacia longifolia	Sydney golden wattle	Low	
	Acacia pendula	weeping acacia	Low	
	Acacia pravissima	ovens wattle	Low	
T	Acacia saligna	blue leaf wattle	Low	
T	Acacia subporosa	subporosa acacia	Low	
	Achillea ageratifolia	Greek yarrow	Low	
	Achillea clavennae	silvery yarrow	Low	
	Achillea filipendulina	fern leaf yarrow	Low	
PN	Achillea millefolium (CA native cultivars)	yarrow	Low	
P	Achillea tomentosa	woolly yarrow	Low	
	Adenanthos cuneatus 'Coral Drift'	flame bush	Low	
	Adenanthos detmoldii 'Metallica'	yellow jugflower	Low	
			Low	
	Adenanthos drummondii	woolly bush	1	1
	Adenanthos meisneri	woollybush	Low	
	Adenanthos sericeus	coastal woolly bush	Low	
	Aechmea recurvata var. recurvata	false tillandsia	Low	
Su	Aeonium spp.	Canary Island rose	Low	
	Agapanthus inapertus major	drooping agapanthus	Low	
	Agastache barberi	pink hyssop	Low	
	Agastache cana	mosquito plant	Low	
	Agastache coccinea pink	agastache	Low	
	Agastache rupestris	licorice mint	Low	
S	Agave attenuata (and thin-leaved relatives) (Ca native and non-native)	agave	Low	
	Agonis flexuosa and cvs.	peppermint tree	Low	
	Albizia distachya	plume albizia	Low	
	Albizia julibrissin	silk tree	Low	
N	Alcea rosea cys.	perennial hollyhock	Low	
	Allocasuarina torulosa	forest oak	Low	
			1	
T Co N	Allocasuarina verticillata (Casuarina stricta)	coast beefwood	Low	-
T Su N	Aloe spp.	aloe	Low	
	Aloysia triphylia	lemon verbena	Low	
u	Alstroemeria ligtu hybrids and cys.	alstroemeria (ligtu)	Low	
	Alyogyne huegelii	blue hibiscus	Low	
	Alyssum montanum	mountain alyssum	Low	
N	Ambrosia chamissonis	sand bur	Low	
N	Amorpha californica	California false indigo bush	Low	
	Amsonia grandiflora	large flowered blue star	Low	
N	Anaphalis margaritacea	pearly everlasting	Low	
u	Anemone coronaria	poppy-flowered anemone	Low	
	Angelica pachycarpa	shiny leaf angelica	Low	
	Angophora costata (Angophora cordifolia)	gum myrtle	Low	
	Anigozanthos bicolor	two-colored kangaroo paw	Low	
	Anigozanthos flavidus	kangaroo paw	Low	
	Anigozanthos hybrids & cys.	kangaroo paw	Low	
		1		
	Anigozanthos manglesii	red and green kangaroo paw	Low	-
	Anigozanthos rufus	red kangaroo paw	Low	
	Anigozanthos viridis	green kangaroo paw	Low	
N.	Antennaria rosea	pussy toes	Low	
	Antirrhinum hispanicum	Spanish snapdragon	Low	
	Antirrhinum sempervirens	silver snapdragon	Low	
P	Aptenia 'Red Apple'	ice plant (Red Apple)	Low	
P	Aptenia cordifolia	ice plant (Aptenia)	Low	
N	Aquilegia spp. (CA native and non-native spp.)	columbine	Low	
	Arabis spp.	rockcress	Low	
	Araucaria araucana	monkey puzzle tree	Low	1
	Araucaria bidwillii	bunya-bunya	Low	
	Arbutus 'Marina'	Marina arbutus	Low	
Д	Arbutus andrachne	Greek strawberry tree	Low	
N.	Arbutus menziesii	madrone	14 2-12	
		Texas madrone	Low	
*	Arbutus texana		Low	-
T .	Arbutus unedo	strawberry tree	Low	
N	Arctostaphylos 'Austin Griffiths'	Austin Griffiths manzanita	Low	
N	Arctostaphylos 'John Dourley'	John Dourley manzanita	Low	
N	Arctostaphylos 'Lester Rowntree'	Lester Rountree manzanita	Low	
SN	Arctostaphylos 'Pacific Mist'	Pacific Mist manzanita	Low	
	The second control to the second	Sunset manzanita	Low	
N	Arctostaphylos 'Sunset'	i a a marie of the	1	

Туре	Botanical Name	Common Name	Water Use WUCO	.S Plant Facto
PN	Abronia latifolia	yellow sand verbena	Very Low	0
PN	Abronia maritima	sand verbena	Very Low	0
T	Acacia dealbata	silver wattle	Very Low	0
Т	Acacia decurrens	green wattle	Very Low	0
T	Acacia melanoxylon	blackwood acacia	Very Low	0
ST	Acacia podalyriifolia	pearl acacia	Very Low	0
Gc S	Acacia redolens	prostrate acacia	Very Low	0
T	Acacia stenophylla	eumong/shoestring acacia	Very Low	0
D. 41				
PN	Acmispon glaber (Lotus scoparius)	deer weed	Very Low	0
Gc S N	Adenostoma fasciculatum	chamise	Very Low	0
STN	Adenostoma sparsifolium	red shanks/ribbonwood	Very Low	0
TN	Aesculus californica	California buckeye	Very Low	0
PS	Agave americana (and thick-leaved relatives) (CA native and non-native)	agave	Very Low	-0
T	Ailanthus altissima	tree of heaven	Very Low	0
Bu N	Allium spp. mostly from CA or Mediterranean	allium	Very Low	0
Bu	Amaryllis beliadonna	naked lady	Very Low	0
SN	Arctostaphylos canescens	hoary manzanita	Very Low	0
S N	Arctostaphylos glandulosa	Eastwood's manzanita	Very Low	0
STN				
	Arctostaphylos glauca	big berry manzanita	Very Low	0
STN	Arctostaphylos manzanita	common manzanita	Very Low	0
SN	Arctostaphylos pringlei	pink bract manzanita	Very Low	0
5 N	Arctostaphylos viscida	whiteleaf manzanita	Very Low	0
PN	Argemone corymbosa	prickly poppy	Very Low	-0
PN	Argemone munita	prickly poppy	Very Low	0
P	Argemone pleiacantha	south western prickly poppy	Very Low	0
Gc 5	Artemisia spp. (shrubby)	sagebrush	Very Low	0
S N	Artemisia tridentata	big sagebrush	Very Low	0
P	Arum italicum	Italian arum	Very Low	0
Gc S N	Atriplex CA native species	saltbush	Very Low	0
GC S N	Atriplex semibaccata	Australian saltbush		
			Very Low	0
S N	Baccharis 'Centennial'	Centennial baccharis	Very Low	0
S N	Baccharis sarothroides	desert broom	Very Low	0
PA	Ballota pseudodictamnus	Grecian horehound	Very Low	0
Bu N	Bloomeria crocea	golden stars	Very Low	0
GNA	Bouteloua curtipendula	sideoats grama	Very Low	0
Bu N	Brodiaea spp.	brodiaea	Very Low	0
s	Capparis spinosa	caper bush	Very Low	0
5 N	Ceanothus cuneatus	buckbrush	Very Low	0
S N	Ceanothus foliosus and cvs.	wavy leaf mountain lilac	Very Low	0
S N	Ceanothus gloriosus v. porrectus 'Mt. Vision'	Mt. Vision ceanothus	Very Low	0
5 N	Ceanothus graggii	desert ceanothus	Very Low	0
S N	Ceanothus integerrimus	deer brush	Very Low	0
5 N	Ceanothus leucodermis	whitebark ceanothus	Very Low	0
5 N	Ceanothus megacarpus	big pod ceanothus	Very Low	0
P.	Centranthus ruber	red valerian	Very Low	0
5	Cephalocereus spp.	old man cactus	Very Low	.0
TNA	Cercis occidentalis	western redbud	Very Low	0
5 N	Cercocarpus betuloides	mountain ironwood	Very Low	0
SN	Cercocarpus ledifolius	curl-leaf mountain mahogany	Very Low	0
S	Cercocarpus montanus	mountain mahogany	Very Low	0
S Su	Cereus hildmannianus	night blooming cereus	Very Low	0
5 Su	Cereus peruvianus	Peruvian apple cactus	Very Low	0
TN	\$4550 WAS 880 CO.	desert willow	+ + +	0
	Chilopsis linearis		Very Low	
Bu N	Chlorogalum pomeridianum	soap plant	Very Low	0
PN	Cirsium occidentale	venus thistle	Very Low	0
S N	Cleome isomeris	bladder pod	Very Low	.0
STN	Comarostaphylis diversifolia (Arctostaphylos diversifolia)	summer hally	Very Low	0
G	Cortaderia selloana cvs.	pampas grass	Very Low	-0
Bu A	Cyclamen hederifolium	ivy leaf cyclamen	Very Low	0
S Su A	Dasylirion spp.	desert spoon	Very Low	0
P	Datura metel (fastuosa)	devil's trumpet	Very Low	0
5 N	Dendromecon rigida	tree poppy	Very Low	0
Bu N	Dichelostemma spp.	blue dicks	Very Low	0
S Su N	Echinocactus spp. (CA native and non-native spp.)	barrel cactus		
			Very Low	0
ST	Elaeagnus angustifolia	Russian olive	Very Low	0
S N	Ephedra nevadensis	Nevada ephedra	Very Low	.0
PN	Eriastrum densifolium elongatum	giant woolly star	Very Low	0
S N	Ericameria arborescens	golden fleece	Very Low	0
SN	Eriogonum arborescens	Santa Cruz Island buckwheat	Very Low	0
S N	Eriogonum fasciculatum and cvs.	California buckwheat	Very Low	0
SNA	Erlogonum giganteum	St. Catherine's lace	Very Low	0
PN	Eschscholzia californica	California poppy	Very Low	0
T	Eucalyptus cinerea	ash leaved gum, silver dollar tree	Very Low	0
S	Eucalyptus kruseana	book-leaf mallee	Very Low	0
T .		long flowered marlock		
	Eucalyptus macrandra		Very Low	0
1	Eucalyptus preissiana	bell mallee	Very Low	0
1	Eucalyptus woodwardii	lemon flowered gum	Very Low	0
P Su	Euphorbia caput-medusae	Medusa"s head	Very Low	0
P Su	Euphorbia ferox	pin cushion	Very Low	0
PSu	Euphorbia resinifera	Moroccan mound	Very Low	0
S Su	Euphorbia xanti	Baja spurge	Very Low	0
S Su N	Ferocactus spp. (CA native and non-native spp.)	barrel cactus	Very Low	0
Bu	Ferraria crispa	starfish iris	Very Low	0
GN	Festuca idahoensis and cvs.	Idaho fescue	Very Low	
- 11	I A THE RESIDENCE OF THE PARTY	Camming LEGGINE	Commercy Address 1	

SN	Frangula californica ssp. tomentella (Rhamnus tomentella)	chaparral coffeeberry	Very Low	0.
Bu	Freesia spp.	freesia	Very Low	0.
5 N	Fremontodendron spp. & cvs.	flannel bush	Very Low	0.
Bu N	Fritillaria affinis	checker lily	Very Low	0.1
P Su	Graptopetalum spp,	graptopetalum	Very Low	0.
	Helianthus multiflorus	sunflower	Very Low	0.
T	Hesperocyparis arizonica (Cupressus arizonica) nomen, unresolved	Arizona cypress	Very Low	0.1
TN	Hesperocyparis macnabiana (Cupressus macnabiana)	MacNab cypress	Very Low	0.1
TN	Hesperocyparis stephensonii (Cupressus arizonica ssp. arizonica, C. arizonica var. glabra))	Cuyamaca cypress	Very Low	0.
Bu	Homeria spp.	cape tulip	Very Low	0.1
Bu	Homoglad hybrids	hybrid homoglad	Very Low	0.
Gc N	Iva hayesiana	poverty weed	Very Low	0.1
5 N	Justicia californica (Beloperone californica)	chuparosa	Very Low	0.1
S N	Larrea tridentata	creosote	Very Low	0,
5	Ligustrum vulgare	wild privet	Very Low	0.1
P	Linum spp. (perennial)	flax	Very Low	0.
SN	Lupinus albifrons	silver lupine	Very Low	0.1
S N	Lupinus excubitus	grape soda lupine	Very Low	0.1
5	Macropidia fuliginosa	black kangaroo paw	Very Low	0.1
S N	Malacothamnus fasciculatus	bush mallow	Very Low	0.1
S N	Malacothamnus fremontii	Fremont's bush mallow	Very Low	0.1
S N	Malosma laurina (Rhus laurina)	laurel sumac	Very Low	0.1
PSu	Mammillaria geminispina	cactus	Very Low	0.1
P Su	Mammillaria melanocentra	cactus	Very Low	0.1
ST	Melaleuca armillaris	bracelet honey-myrtle	Very Low	0.1
ST	Melaleuca decussata	totem poles (lilac melaleuca)	Very Low	0.1
ST	Melaleuca elliptica	granite honey-myrtle	Very Low	0.1
T.	Melia azedarach	chinaberry	Very Low	0.1
GN	Melica imperfecta	coast range onion grass	Very Low	0.1
SN	Mimulus aurantiacus and cvs. (Diplacus aurantiacus)	sticky monkey flower	Very Low	0.1
S N	Mimulus aurantiacus var. puniceus	red bush monkey flower	Very Low	0.1
P	Mirabilis jalapa	Four o"clock	Very Low	0.1
PN	Mirabilis Jaevis var. villosa (Mirabilis bigelovii)	desert four o''clock	Very Low	0.1
PN	Monardella villosa	coyote mint	Very Low	0.1
Bu	Moraea spp.(winter growing)	moraea	Very Low	0.1
Bu	Muscari macrocarpum	grape hyacinth	Very Low	0.1
Bu	Narcissus spp.	daffodil	Very Low	0.1
PSN	Nolina spp. (CA natives and non-natives)	bear grass	Very Low	0.1
T	Olea europaea	olive	Very Low	0.1
5 Su N	Opuntia spp. & cvs. (CA natives and non-natives)	prickly pear/cholla	Very Low	0.1
T	Parkinsonia aculeata	Mexican palo verde/ Jerusalem thorn	Very Low	0.1
TN	Parkinsonia florida (Cercidium florida)	blue palo verde	Very Low	0.1
TN	Parkinsonia microphylla (Cercidium microphyllum)	little leaf palo verde	Very Low	0.1
SNA	Peritoma arborea (Isomeris arborea)	bladderpod	Very Low	0.1
TN	Pinus attenuata	knobcone pine	Very Low	0.1
TN	Pinus longaeva	bristlecone pine	Very Low	0.1
Ť	Pinus pinea	Italian stone pine	Very Low	0.1
TN	Pinus ponderosa	ponderosa pine	Very Low	0.1
TN	Pinus sabiniana	foothill pine	Very Low	0.1
ST	Pistacia lentiscus	mastic tree	Very Low	0.1
PN	Polypodium californicum	California polypody	Very Low	0.1
PSSu	Portulacaria afra & cvs.	elephant's food	Very Low	0.1
P	Puya spp.	puya	Very Low	0.1
TN	Quercus agrifolia	coast live oak	Very Low	0.1
S N	Quercus berberidifolia	California scrub oak	Very Low	0.1
TN	Quercus chrysolepis	canyon live oak	Very Low	0.1
TN	Quercus douglasii	blue oak	Very Low	0.1
STN	Quercus dumosa	Nutall's scrub oak	Very Low	0.1
SN	Quercus durata	leather oak	Very Low	0.1
TN	Quercus wislizeni	interior live oak	Very Low	0.1
TN	Quercus x morehus	oracle oak	Very Low	0.1
PN	Ranunculus californicus	California buttercup	Very Low	0.1
S	Rhagodia spinescens (Rhagodia deltophylla)	Australian saltbush	Very Low	0.1
S N	Ribes californicum	hillside gooseberry	Very Low	0.1
SNA	Ribes malvaceum	chaparral current	Very Low	0.1
S.N	Ribes menziesii	canyon gooseberry	Very Low	0.1
T	Robinia pseudoacacia	black locust	Very Low	0.1
PSN	Romneya coulteri	Matilija poppy	Very Low	0.1
PSN	Romneya trichocalyx	hairy Matilija poppy	Very Low	0.1
SNA	Salvia apiana	white sage	Very Low	0.1
T	Schinus molle	California pepper tree	Very Low	0.1
T	Schinus polygamus	Peruvian pepper tree	Very Low	0.1
Bu	Scilla peruviana (Scilla hughii)	giant scilla	Very Low	0.1
S N	Senecio flaccidus var. douglasii	Douglas groundsel	Very Low	0.1
s	Senna multiglandulosa (Cassia tomentosa)	woolly senna	Very Low	0.1
SN	Simmondsia chinensis	jojoba	Very Low	0.1
PN	Sisyrinchium bellum and cvs.	blue-eyed grass	Very Low	0.1
Bu	Sparaxis spp,	Harlequin flower	Very Low	0.1
5	Spartium junceum	Spanish broom	Very Low	0.1
Bu A	Sternbergia lutea	yellow autumn crocus	Very Low	0.1
GN	Stipa cernua (Nassella cernua)	nodding needlegrass	Very Low	0.1
GN	Stipa hymenoides (Oryzopsis hymenoides)	Indian rice grass	Very Low	0.1
- 4*	Control of the Parket Williams	the state of the s	Very Low	0.1
GN	Stipa lepida (Nassella lepida)	foothill needlegrass		

	Tamatik apriyila	togir cenal	TAGLA COM T	Ų,
s	Tamarix pentaphylla	tamarisk	Very Low	0.
Gc P	Teucrium cossonii	Majorcan germander	Very Low	0.
Bu N	Toxicoscordion fremontii (Zigadenus fremontii)	star Illy	Very Low	0.
PSN	Trichostema Janatum	woolly blue curls	Very Low	0.
5 N	Trichostema parishii	mountain blue curls	Very Low	0.
Bu N	Triteleia hyacinthina	white brodiaea	Very Low	0.
Bu N	Triteleia laxa	Ithuriel's spear	Very Low	0.
Bu N	Triteleia peduncularis	long-rayed brodiaea	Very Low	0.
T	Vachellia farnesiana (Acacia farnesiana)	sweet acacia	Very Low	0.
P	Verbena bonariensis	verbena (bonariensis)	Very Low	0.
Bu	X Amarygia hybrids	amarygia	Very Low	0.
S Su	Yucca aloifolia	Spanish bayonet	Very Low	0.
S Su N	Yucca baccata	banana yucca	Very Low	0.
S Su N	Yucca brevifolia	Joshua tree	Very Low	0.
5 Su	Yucca elata	soaptree yucca	Very Low	0.
S Su	Yucca elephantipes	giant yucca	Very Low	0.
S Su	Yucca glauca	soapweed yucca	Very Low	0.
S Su	Yucca rigida	blue yucca	Very Low	0.
S Su	Yucca rostrata	beaked yucca	Very Low	0.
S Su N	Yucca schidigera (Yucca californica, Yucca mohavensis)	Mojave yucca	Very Low	0.

Туре	Botanical Name	Common Name	Water Use	WUCOLS Plant Factor
S	Westringia fruticosa (rosmariniformis) & hybrids and cvs	coast rosemary	Low	0.2
S	Westringia glabra	violet westringia	Low	0.2
S	Westringia longifolia	winged westringia	Low	0.2
PN	Whipplea modesta (shade)	modesty	Low	0.2
PN	Wyethia angustifolia	narrow leaf mule ears	Low	0.2
Bu	X Amarcrinum memoria-corsii	crinodonna	Low	0.2
T	X Chiranthofremontia lenzii	hybrid monkey hand tree	Low	0.2
T	X Chitalpa tashkentensis	chitalpa	Low	0.2
P Su	X Graptosedum cultivars	graptosedum	Low	0,2
S	X Halimiocistus sahucii	hybrid rockrose	Low	0.2
S	X Halimiocistus wintonensis	halimiocistus	Low	0.2
P Su	X Mangave cvs.	mangave	Low	0.2
P Su	X Pachyveria spp.	pachyveria	Low	0.2
P Su	X Sedeveria cvs	stonecrop	Low	0.2
P	Xanthorrhoea spp.	grass tree	Low	0.2
PN	Xerophyllum tenax	bear grass	Low	0,2
PSN	Xylococcus bicolor	mission manzanita	Low	0.2
S	Xylosma congesta	shiny xylosma	Low	0.2
S Su	Yucca filamentosa & cvs,	Adam's needle	Low	0.2
S Su	Yucca gloriosa	Spanish dagger	Low	0.2
Gc P	Zinnia grandiflora	prairie zinnia	Low	0,2
T	Ziziphus jujuba	Chinese jujube	Low	0,2

Туре	Botanical Name	Common Name	Water Use	WUCOLS Plant Factor
Sc	Cotoneaster horizontalis	rock cotoneaster	Low	0.2
S	Cotoneaster salicifolius	willowleaf cotoneaster	Low	0.2
5	Cotoneaster spp. (shrubs)	cotoneaster	Low	0.2
s	Cotyledon spp.	cotyledon	Low	0.2
SSu	Crassula spp.	crassula	Low	0.2
N	Crocanthemum aldersonii (Helianthemum scoparium)	sunrose	Low	0.2
9	Crocosmia hybrids (Tritonia)	montbrieta	Low	0.2
S	Crotalaria agatiflora	canary-bird bush	Low	0.2
T	Cunonia capensis	butterspoon tree	Low	0.2
T	Cupressus sempervirens	Italian cypress	Low	0.2
T	Cussonia spicata	cabbage tree	Low	0.2
Bu		hardy cyclamen	Low	
Bu	Cyclamen coum (shade)		Low	0.2
Bu	Cyclamen graecum (shade)	Greek cyclamen		0,2
	Cyclamen persicum and hybrids (shade)	Persian cyclamen	Low	0,2
ST	Cydonia obionga	Quince	Low	0.2
S	Cytisus spp.	broom (Cytisus)	Low	0,2
T.	Dais cotinifolia	pom-pom tree	Low	0.2
P	Dalea gattingeri (Petalostemon purpureum)	purple prairie clover	Low	0.2
Gc P	Dampiera diversifolia	dampiera	Low	0.2
0	Dampiera trigona	dampiera	Low	0.2
S	Daphne odora and cys.	winter daphne	Low	0.2
S	Daphne x mantensiana	Manten daphne	Low	0.2
Gc	Darwinia citriodora 'Seaspray'	lemon-scented myrtle	Low	0.2
Gc	Delosperma spp.	ice plant (Delosperma)	Low	0.2
S N	Dendromecon harfordii	island bush poppy	Low	0.2
G N	Deschampsia cespitosa and cvs.	tufted hairgrass	Low	0.2
PN	Dichondra donelliana	California ponysfoot	Low	0.2
PN	Dichondra occidentalis	western dichondra	Low	0.2
Gc	Dichondra sericea	silver leaf pony"s foot	Low	0.2
P	Dicliptera suberecta	hummingbird plant	Low	0.2
P	Dictamnus spp.	burning bush/dittany	Low	0.2
P	Dietes bicolor and cvs	fortnight lily	Low	0.2
P	Dietes grandiflora and cvs.	fairy iris	Low	0.2
P.	Dietes iridioides and cvs,	fortnight lily	Low	0.2
P	Digitalis ferruginea	rusty foxglove	Low	0.2
P	Digitalis lanata	woolly foxglove	Low	0.2
T	Diospyros kaki	Japanese persimmon	Low	0.2
T	Diospyros texana	Texas persimmon	Low	0.2
-	Diospyros virginiana	American persimmon	Low	0.2
S	Diplolaena angustifolia 'Orange Urchin'		Low	
S	A Company of the setting framework in a large of the control of th	yanchep rose	Low	0.2
	Diplolaena dampieri 'Feather Duster'	southern diplolaena		0.2
G N	Distichlis spicata (marsh, reveg)	salt grass	Low	0.2
	Dodecatheon spp. (non-native)	shooting stars	Low	0.2
S	Dodonaea boroniifolia	hopseed bush	Low	0.2
Gc	Dodonaea procumbens	hopseed bush (procumbens)	Low	0.2
S	Dodonaea viscosa	hopseed bush	Low	0.2
S	Dodonaea viscosa 'Purpurea'	purple hopseed bush	Low	0.2
S	Doryanthes palmeri	spear IIIy	Low	0.2
F	Dracaena draco	dragon tree	Low	0.2
Р	Dracunculus vulgaris	voodoo lily	Low	0.2
S Ba	Drepanostachyum falcatum (Arundinaria)	blue bamboo	Low	0.2
S Ba	Drepanostachyum hookerianum	bamboo	Low	0.2
Gc	Drosanthemum spp.	ice plant (Drosanthemum)	Low	0.2
PN	Drymocallis glandulosa (Potentilla glandulosa)	sticky cinquefoil	Low	0.2
PSuN	Dudleya spp.	dudleya	Low	0.2
Р	Dyckia spp.	dyckia	Low	0.2
Gc P	Dymondia margaretae	dymondia	Low	0.2
PSSUA	Echeveria spp.	hens and chickens	Low	0.2
P Su	Echinopsis spp. (Trichocereus spp.)	torch cactus	Low	0.2
P	Echium 'Purple Tower'	purple tower echium	Low	0.2
PS	Echium candicans (fastuosum)	pride of Madeira	Low	0.2
S	Echium gentianoides	Tajinaste	Low	0.2
PS	Echium pininana	pride of Teneriffe	Low	0.2
s	Edraianthus graminifolius	grassy bells	Low	0.2
s	Elaeagnus pungens	silverberry	Low	0.2
s	Elaeagnus x ebbingei	Ebbinge's silverberry	Low	0.2
G N	Elymus condensatus and cvs. (Leymus condensatus)	glant wild rye	Low	0.2
G N	Elymus triticoides (Leymus triticoides)	creeping wild rye	Low	0.2
SN	Encelia californica	coast sunflower	Low	0.2
s N	Encelia farinosa	brittle bush	Low	
	the state of the s			0.2
S Pm	Encephalartos spp.	bread cycad	Low	0.2
	Engelmannia pinnatifida	Engelmann daísy	Low	0.2
S N	Ephedra viridis	green mormon tea	Low	0.2
NA	Epilobium spp. (Zauschneria) and cvs.	California fuchsia	Low	0.2
S	Eremophila glabra	emu bush	Low	0.2
6	Eremophila laanii	Emu bush	Low	0.2
3	Eremophila maculata	spotted emu bush	Low	0.2
	Eremophila racemosa	Easter egg bush	Low	0.2

1	WUCOLS	'VERY	LOW'	WATER	PLANT
	12" = 1'-0"				

Y	Botanical Name		100-4	UCOLS Plant Facto
Type Gc S N	Arctostaphylos edmundsii 'Bert Johnson'	Common Name  Bert Johnson manzanita	Low Low	OCOLS FIANT FACTO
Gc S N	Arctostaphylos edmundsii 'Big Sur'	Big Sur manzanita	Low	0
Gc S N	Arctostaphylos edmundsii 'Rosy Dawn'	Rosy Dawn manzanita	Low	0
Gc S N	Arctostaphylos hookeri 'Buxifolia'	Buxifolia manzanita	Low	0
Gc S N	Arctostaphylos hookeri 'Ken Taylor'	Ken Taylor manzanita	Low	0
Gc S N	Arctostaphylos hookeri 'Monterey Carpet'	Monterey carpet manzanita	Low	
Gc S N	Arctostaphylos hookeri 'Wayside'	Wayside manzanita	Low	
S N	Arctostaphylos hookeri	manzanita (shrub cvs.)	Low	
S N	Arctostaphylos insularis	island manzanita	Low	
STN	Arctostaphylos manzanita cys.	manzanita cvs. e.g., Dr Hurd, St. Helena	Low	
SN	Arctostaphylos morroensis	Morro manzanita	Low	
S N	Arctostaphylos purissima 'Vandenberg'	Vandenberg manzanita	Low	
SN	Arctostaphylos refugioensis	Refugio manzanita	Low	
SN	Arctostaphylos rudis cvs.	shagbark manzanita	Low	
S N	Arctostaphylos silvicola	ghostly manzanita	Low	
Gc N	Arctostaphylos uva-ursi 'Point Reyes'	Pt. Reyes manzanita	Low	
Gc N	Arctostaphylos uva-ursi 'Radiant'			
Gc N	Arctostaphylos uva-ursi 'San Bruno Mountain'	Radiant manzanita San Bruno Mtn manzanita	Low	
Gc N			1 1	(
	Arctostaphylos uva-ursi 'Tom's Point'	Tom's Point manzanita	Low	(
Gc N	Arctostaphylos uya-ursi 'Wood's Compact'	Wood's compact manzanita	Low	
SN	Arctostaphylos viridissima 'White Cloud'	White Cloud manzanita	Low	
	Arctotis hybrids	African daisy	Low	
S	Argyranthemum gracile	chelsea girl and other cys	Low	(1)
S N	Aristida purpurea	purple three-awn	Low	
A.V	Aristolochia californica	California Dutchman's pipe	Low	1
5	Artemisia 'Powis Castle'	Powis Castle sagebrush	Low	
S	Artemisia arborescens	large wormwood	Low	
S N	Artemisia californica	California sagebrush	Low	- 10
Gc N	Artemisia californica 'Canyon Gray'	Canyon Gray sagebrush	Low	10
Gc N	Artemisia californica 'Montara'	Montara sagebrush	Low	
N	Artemisia douglasiana	California mugwort	Low	
S	Artemisia filifolia	sand sagebrush	Low	
Gc P	Artemisia spp. (herbaceous)	angel"s hair	Low	
3	Arundinaria gigantea	cane reed	Low	
N N	Asclepias (CA native species)	milk/silk weed	Low	0
0	Asphodeline lutea	Jacob's rod/kings spear	Low	
9	Asphodeline taurica	asphodel	Low	
р	Aspidistra elatior (shade)	cast iron plant	Low	
9	Asplenium scolopendrium (Phyllitis scolopendrium)	Hart's tongue fern	Low	
0	Aubrieta deltoidea	rock cress	Low	
	Aurinia saxatilis	hardy alyssum/basket of gold	Low	1.0
Bu	Babiana spp. and hybrids	baboon flower	Low	
SN	Baccharis pilularis consanguinea	coyote brush	Low	
Sc S N	Baccharis pilularis cvs.	dwarf coyote brush	Low	
s N	Baccharis salicifolia	mule fat	Low	
S T	Baeckea virgata	tall baeckia	Low	
N	Baileya multiradiata	desert marigold	Low	-
S Ba	Bambusa spp.	bamboo (Bambusa)	Low	
S	Banksia baxteri	bird's nest banksia	Low	1,0
s	Banksia ericifolia	heath-leafed banksia	Low	
ST	Banksia integrifolia	tree banksia	Low	18
5	Banksia menziesii	firewood banksia	Low	
ST	Banksia praemorsa	cut-leaf banksia	Low	1)
ST	Banksia speciosa	showy banksia	Low	
p.				
	Baptisia australis	false indigo	Low	- 1
ST	Baukinia galpinii Baukinarnea recurvata (Nolina recurvata)	red orchid bush	Low	
ST	Beaucarnea recurvata (Nolina recurvata)	ponytali palm	Low	
5 C N	Beaucarnea stricta (Nolina stricta)	bottle palm	Low	
3c S N	Berberis aquifolium var, repens (shade)	creeping mahonia	Low	
5 N	Berberis nevinii	Nevin mahonia	Low	
S N	Berberis pinnata & cvs. (Mahonia pinnata)	California holly grape	Low	
9	Berlandiera lyrata	chocolate scented daisy	Low	
Su	Beschorneria albiflora	trunking beschorneria	Low	
Su	Beschorneria yuccoides	Mexican IIIy	Low	
9	Bidens triplinervia	tickseed	Low	
,	Boltonia asteroides cvs.	false chamomile	Low	
3 N	Bothriochloa barbinodis	cane bluestem	Low	
Gc S V	Bougainvillea spp.	bougainvillea	Low	
3 N	Bouteloua gracilis and cys.	blue grama	Low	
Г	Brachychiton acerifolius	flame tree	Low	
Г	Brachychiton populneus	bottle tree	Low	
•	Brachyglottis greyi (Senecio greyi)	groundsel	Low	
r Pm	Brahea armata	blue hesper palm	Low	
r Pm	Brahea brandegeel	San Jose hesper palm	Low	
r Pm N	Brahea edulis	Guadalupe palm	Low	
SN	Brickellia californica	brickellbush	Low	
	Briza media	quaking grass	Low	
G				

Type	Botanical Name	Common Name	Water Use WUCC	LS Plant Facto
S	Buddleja lindleyana	weeping butterfly bush	Low	0
PA	Bulbine frutescens and cvs.	stalked bulbine	Low	0
P	Bulbine latifolia	rooiwortel	Low	0
Bu	Bulbinella elegans	cat''s tail lily	Low	0
Bu	Bulbinella floribunda	yellow cat tail	Low	0
Bu	Bulbinella hookeri	Maori onion	Low	0
Bu	Bulbinella nutans	bulbinella	Low	0
	1			
Bu	Bulbinella robusta	bulbinella	Low	0
S	Bupleurum fruticosum	shrubby hare's ear	Low	0
T Pm	Butia odorata (Butia capitata)	pindo palm	Low	0
S	Caesalpinia gilliesii	desert bird of paradise	Low	0
5	Caesalpinia pulcherrima (deciduous in desert)	dwarf poinciana	Low	0
PN	Calandrinia spp. and cvs. (some spp. changed to Cistanthe sp.)	rock purslane	Low	0
P	Callirhoe involucrata	wine cups	Low	0
S	Callistemon 'Cane's hybrid'	Cane's hybrid bottlebrush	Low	0
S	Callistemon 'Jeffers'	Jeffer's bottlebrush	Low	0
S	Callistemon 'Little John'	Little John bottlebrush	Low	0
SA	Callistemon 'Violaceus'	purple bottle brush	Low	0
ST	Callistemon citrinus	bottle brush	Low	0
ST	Callistemon pinifolius	pine-leafed bottlebrush	Low	0
S	Callistemon rigidus	erect bottlebrush	Low	0
ST	Callistemon salignus	pink tips/white bottlebrush	Low	0
ST		callistemon (subulatus)	Low	0
T	Callistemon subulatus			
	Callistemon viminalis	weeping bottle brush	Low	0
Bu N	Calochortus spp.	Mariposa IIIy	Low	0
T.	Calodendrum capense	cape chestnut	Low	.0
S	Calothamnus quadrifidus	net bush	Low	0
P	Calylophus berlandieri	sundrops	Low	0
P	Calylophus drummondiana	Texas primrose	Low	0
P.	Calylophus hartwegii	Sierra sundrop	Low	0
V N	Calystegia macrostegia	morning glory	Low	0
V N	Calystegia purpurata ssp. purpurata	coast morning glory	Low	0
PN	Camissoniopsis cheiranthifolia (Genothera cheiranthifolia)	beach evening primrose	Low	0
V	Campsis spp.	trumpet creeper	Low	0
p	Carex divulsa (Carex tumulicola)		Low	
PN		European gray sedge		0
PN	Carex subfusca	rusty sedge	Low	0
P	Carex texensis	catlin sedge	Low	Ċ
PN	Carex tumulicola	Berkeley sedge	Low	0
Gc	Carissa macrocarpa (prost cvs.)	Natal plum	Low	0
S	Carissa spp. and cvs.	Natal plum	Low	0
Gc	Carpobrotus spp.	ice plant (Carpobrotus)	Low	0
T	Carya illinoensis	pecan	Low	0
PS	Caryopteris incana	common bluebeard	Low	0
Т	Cassia leptophylla	gold medallion tree	Low	0
Ť	Castanopsis cuspidata	copper false chestnut	Low	0
T	Castanospermum australe	Moreton Bay chestnut	Low	0
Ť	Casuarina cunninghamiana	river she-oak	Low	0
T	Catalpa bungei	umbrella catalpa	Low	0
+				
- 41	Catalpa speciosa	western catalpa	Low	.0
SN	Ceanothus 'Blue Jeans'	Blue Jeans ceanothus	Low	0
Gc N	Ceanothus 'Centennial'	Centennial ceanothus	Low	0
SNA	Ceanothus 'Concha'	Concha ceanothus	Low	0
SN	Ceanothus 'Dark Star'	Dark Star ceanothus	Low	Ċ
	Lippia nodiflora 'Campagna Verde'	Kurapia	Low	0
SN	Ceanothus 'Frosty Blue'	Frosty Blue ceanothus	Low	0
S N	Ceanothus 'Joan Mirov'	Joan Mirov ceanothus	Low	0
s N	Ceanothus 'Julia Phelps'	Julia Phelps ceanothus	Low	
SN	Ceanothus 'Louis Edmunds'	Louis Edmonds ceanothus	Low	0
SNA	Ceanothus 'Ray Hartman'	Ray Hartman ceanothus	Low	
S N	Ceanothus 'Sierra Blue'	Sierra blue ceanothus	Low	0
s N	Ceanothus 'Tassajara Blue'	Tassajara Blue ceanothus	Low	0
S N	Ceanothus 'Tilden Park'	Tilden Park ceanothus	Low	0
SN		Wheeler Canyon ceanothus	Low	
	Ceanothus 'Wheeler Canyon'		4 4	0
SN	Ceanothus arboreus & cys.	island ceanothus	Low	0
S N	Ceanothus cyaneus	San Diego ceanothus	Low	0
Gc N	Ceanothus gloriosus 'Anchor Bay'	Anchor Bay ceanothus	Low	0
Gc N	Ceanothus gloriosus 'Heart's Desire'	Heart's Desire ceanothus	Low	0
Gc N	Ceanothus gloriosus 'Emily Brown'	Emily Brown ceanothus	Low	0
Gc N	Ceanothus hearstiorum	San Simeon ceanothus	Low	0
s N	Ceanothus Impressus 'Puget Blue'	Puget Blue ceanothus	Low	0
SN	Ceanothus impressus 'Vandenberg'	Vandenberg ceanothus	Low	0
Gc N	Ceanothus maritimus 'Frosty Dawn'	Frosty Dawn ceanothus	Low	0
Gc N	Ceanothus maritimus 'Popcorn'	Popcorn CA lilac	Low	0
	A STANDARD TO BE SHOULD BE A STANDARD BY A S			
Gc N	Ceanothus maritimus 'Point Sierra'	Point Sierra ceanothus	Low	0
Gc N A	Ceanothus maritimus 'Valley Violet'	Valley Violet ceanothus	Low	0
SN	Ceanothus rigidus 'Snowball'	Snowball ceanothus	Low	0
SN	Ceanothus thyrsiflorus 'Arroyo de la Cruz'	Arroyo de la Cruz ceanothus	Low	0
	Two control of the co	Ocean Mich connethin	II our	
N	Ceanothus thyrsiflorus 'Oregon Mist'	Oregon Mist ceanothus	Low	0

Ceanothus thyrsiflorus 'Skylark'	Skylark ceanothus	Low	0.2
Ceanothus thyrsiflorus 'Snow Flurry'	Snow Flurry ceanothus	Low	0.2
Ceanothus thyrsiflorus var griseus 'Carmel Creeper'	Carmel Creeper ceanothus	Low	0.2
Ceanothus thyrsiflorus var. griseus 'Diamond Heights'	Diamond Heights ceanothus	Low	0.2
Ceanothus thyrsiflorus var. griseus 'Yankee Point'	Yankee Point ceanothus	Low	0.2
Cedrus deodara	deodar cedar	Low	0.2
Cedrus libani	cedar of Lebanon	Low	0.2
Celba speciosa (Chorisia speciosa)	floss silk tree	Low	0.2
	and the state of t		
Celtis australis	European hackberry	Low	0.2
Celtis occidentalis	common hackberry	Low	0.2
Celtis reticulata	western hackberry	Low	0.2
Celtis sinensis	Chinese hackberry	Low	0.2
Centaurea cineraria	dusty miller (cineraria)	Low	0.2
Centaurea gymnocarpa	velvet centaurea	Low	0.2
Centaurea montana	perennial cornflower	Low	0.2
	ice plant (Cephalophyllum)	Low	0.2
Cephalophyllum.spp.			
Ceratonia siliqua	carob	Low	0.2
Ceratostigma abyssinicum	African plumbago	Low	0.2
Ceratostigma griffithii	Burmese plumbago	Low	0.2
Ceratostigma plumbaginoides	dwarf plumbago	Low	0.2
Cercis mexicana	Mexican redbud	Low	0.2
Cercis reniformis	southwest redbud	Low	0.3
Cercocarpus minutiflorus	San Diego mountain mahogany	Low	0,2
Chaenomeles cvs,	flowering quince	Low	0.2
Chamaemelum nobile (Anthemis nobilis)	chamomile	Low	0.2
Chamaerops humilis	Mediterranean fan palm	Low	0.2
Chamelaucium cvs	wax flower	Low	0.2
Chamelaucium uncinatum	Geraldton wax flower	Low	0.2
Chasmanthe aethiopica	cobra lily	Low	0.2
Chasmanthium latifolium	sea oats	Low	0.2
Cheilanthes argentea	silver cloak fern	Low	0.3
Cheilanthes covillei	Coville's lip fern	Low	0.2
Chimonobambusa marmorea (Arundinaria)	marbled bamboo	Low	0.2
Chimonobambusa quadrangularis	square-stemmed bamboo	Low	0.2
Chiranthodendron pentadactylon	monkey"s hand tree	Low	0.2
Chlorophytum comosum (SHADE)	spider plant	Low	0.2
Choisya dumosa yar. arizonica	Arizona mock orange	Low	0.2
Chondropetalum elephantinum	large cape rush	Low	0.2
Chondropetalum tectorum	cape reed	Low	0.2
Chrysolepis chrysophylla	chinquapin	Low	0.2
Cissus antarctica	kangaroo vine	Low	0.3
Cistus incanus ssp. creticus (C.villosus)	pink rockrose	Low	
			0.0
Cistus spp. and cvs.	rockrose	Low	0.2
Clematis lasiantha	pipestem clematis	Low	0.2
Clematis viticella	Italian clematis	Low	0.2
Clerodendrum bungei (SHADE)	cashmere bouquet	Low	0.2
Clianthus puniceus	parrot"s beak	Low	0.2
Clinopodium chandleri (Satureja chandleri)	San Miguel savory	Low	0.2
	yerba buena		
Clinopodium douglasii (Satureja douglasii)		Low	.0.2
Cneorum tricoccon	spurge-olive	Low	0.2
Colchicum agrippinum	autumn crocus	Low	0.2
Colletia paradoxa	anchor plant	Low	0.2
Commelina dianthifolia	dayflower	Low	0.2
Constancea nevinii (Eriophyllum nevinii)	island snowflake	Low	0.2
Convolvulus cneorum	bush morning glory	Low	0.2
Convolvulus mauritanicus	ground morning glory	Low	0.3
Coprosma petriei "Verde Vista"	Verde Vista coprosma	Low	0.2
Coprosma x kirkii	creeping coprosma	Low	0.2
Cordyline australis	New Zealand cabbage tree	Low	0.2
Cordyline indivisa	blue dracaena palm	Low	0.2
Coreopsis auriculata 'Nana'	dwarf coreopsis	Low	0.2
Coreopsis lanceolata	lanceleaf tickseed	Low	0.3
	pink tickseed		
Coreopsis rosea		Low	0.2
Coreopsis verticillata cvs.	threadleaf coreopsis	Low	0.2
Correa spp. and cvs.	Australian fuchsia	Low	0.2
Corylus colurna	Turkish hazel	Low	0.3
Corylus cornuta subsp. californica	California hazel	Low	0.3
Corylus maxima	filbert	Low	0.3
		- 4 - 4	
Corymbia citriodora (Eucalyptus citriodora)	lemon scented gum	Low	0.2
Corymbia ficifolia (Eucalyptus ficifolia)	red flowering gum	Low	0.2
Corymbia maculata (Eucalyptus maculata)	spotted gum	Low	0.2
Cotinus coggygria	smoke tree	Low	0.2
Cotinus oboyatus	American smoke tree	Low	0.2
Cotoneaster apiculatus	Cranberry cotoneaster	Low	0.2
	4 (1) (1) (1) (1) (1) (1) (1) (1)		
Cotoneaster coriaceus (Cotoneaster lacteus, Cotoneaster parneyi)	red clusterberry	Low	0.2
Cotoneaster dammeri 'Coral Beauty'	bearberry cotoneaster	Low	0.2
Company and a professional and a Company and	bearberry cotoneaster	Low	0.2
Cotoneaster dammeri 'Lowfast'	Dear Derry Coconedates	1	

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revisions:

No.		Date		
4	DESIGN	REVIEW	PACKAGE	04/25/22



506 EDGECLIFF

REDWOOD CITY, CA LIVING PORCH

WUCOLS 'VERY LOW' & 'LOW' WATER PLANTS

& BEDROOM SUITE

20-015-01 05/04/22

page#:

scale:

DR.22

12" = 1'-0"

2 WUCOLS 'LOW' WATER PLANTS - PG.01

12" = 1'-0"

Botanical Name Ericameria cuneata California goldenbush Ericameria ericoides interior golden bush Ericameria linearifolia leafy fleabane Erigeron foliosus Erigeron glaucus pink Santa Barbara daisy Erigeron x moerheimii loquat thickleaf yerba santa Eriobotrya japonica Eriodictyon crassifolium Eriodictyon tomentosum woolly yerba santa saffron buckwheat Eriogonum crocatum Eriogonum fasciculatum 'Theodore Payne' Theodore Payne buckwheat Eriogonum fasciculatum 'Warriner Lytle' Warriner Lytle buckwheat Eriogonum grande var. rubescens San Miguel Island buckwheat cliff buckwheat Eriogonum parvifolium Eriogonum spp. (CA native and non-native spp.) sulphur-flower buckwheat Eriogonum umbellatum and cys, Eriophyllum confertiflorum golden yarrow woolly sunflower Eriophyllum lanatum & cvs Eriophyllum staechadifolium Erodium reichardii (Erodium chaeme alpine geranium hybrid crane"s bill Bowles Mauve wallflower Erysimum 'Bowles Mauve' Erysimum 'Jubilee' jubilee wallflower Wenlock beauty wallflower Erysimum 'Wenlock Beauty' Erysimum concinnum Erysimum hieraciifolium Siberian wallflower island wallflower wallflower Pt. Reyes wallflower Erysimum menziesii wallflower suffrutescent wallflower Erysimum pulchellum Erysimum suffrutescens Erythrina x bidwillii Bidwell"s coral bean red gum sugar gum bushy yate mountain white gum Eucalyptus camaldulensis Eucalyptus cladocalyx Eucalyptus conferruminata (Eucalyptus lehmannii) Eucalyptus dalrympleana Eucalyptus erythrocorys red cap gum Eucalyptus erythronema blue gum cider gum white ironbark Eucalyptus globulus Eucalyptus gunnii Eucalyptus leucoxylon Eucalyptus microtheca omeo gum Nichol's willow leaf peppermint Eucalyptus neglecta Eucalyptus parvula small-leaved gum Eucalyptus polyanthemos silver dollar gum Eucalyptus populnea silver mountain gum swamp mahogany Eucalyptus pulverulenta Eucalyptus robusta Eucalyptus rudis Sydney blue gum Eucalyptus saligna salmon gum gimlet Salt River mallet Eucalyptus salmonophloia Eucalyptus sargentii red iron bark swamp mallee Steedman"s gum Eucalyptus sideroxylon Eucalyptus spathulata Eucalyptus steedmanii black sallee Eucalyptus stellulata Eucalyptus torquata Eucalyptus viminalis Euonymus japonicus Euonymus kiautschovicus horned spurge Mediterranean spurge Euphorbia ceratocarpa Euphorbia characias cypress spurge Euphorbia cyparissias creeping spurge cushion spurge Euphorbia myrsinites Euphorbia polychroma (epithymoides) gopher spurge euphorbia euphorbia Euphorbia rigida Euphorbia seguieriana niciciana Euphorbia x martinii and cvs. Euryops pectinatus

Tyson"s euryops

snow day surprise pearl bush fleeceflower

Euryops tysonii

Exochorda x macrantha 'Niagara' Fallopia baldschuanica (Polygonum aubertii)

Fallopia japonica (potentially invasive weed)

Туре	Botanical Name	Common Name	Water Use	WUCOLS Plant Fact
N N	Fallugia paradoxa	Apache plume	Low	
	Fascicularia pitcairniifolia	fascicularia	Low	19
	Felicia fruticosa	shrub aster	Low	
NA	Festuca californica and cvs.	California fescue	Low	
3	Festuca cinerea	fescue (cinerea)	Low	
i	Festuca glauca	blue fescue	Low	
3	Festuca mairei	Maire's fescue	Low	
S N	Festuca rubra	creeping red fescue	Low	
,	Foeniculum vulgare 'Purpureum'	bronze fennel	Low	
s N	Forestiera pubescens	desert olive	Low	
3	Forsythia X intermedia	forsythia	Low	
S N	Frangula californica and cvs. (Rhamnus californica)	coffeeberry	Low	
- N	Fraxinus dipetala	foothill ash	Low	
	Furcraea spp.	furcraea	Low	
			Low	
	Gaillardia aristata	great blanket flower		
	Gaillardia x grandiflora and cultivars	blanket flower	Low	1
N N	Gambelia speciosa & cvs. (Galvezia speciosa & cvs.)	island bush snapdragon	Low	
N	Garrya elliptica and cvs.	coast silktassel	Low	
N	Garrya flavescens	ashy silktassel	Low	
N	Garrya fremontii	Fremont silk tassel	Low	
Su	Gasteraloe hybrids	gasteraloe	Low	
Su	Gasteria spp. (shade)	gasteria	Low	
	Gelsemium sempervirens	Carolina jessamine	Low	
	Genista spp.	broom (Genista)	Low	
c P	Geranium incanum	carpet geranium	Low	
u	Gladiolus watsonius (Homoglossum)	gladiolus	Low	İ
	Glandularia aristigera and cys (Verbena tenuisecta)	South American rock vervain	Low	
N	Glandularia lilacina and cvs. (Verbena lilacina)	lilac verbena	Low	1
	Glaucium flayum	horned poppy	Low	l .
c P		- 1 3 - 14 - 14 - 14 - 14 - 14 - 14 - 14	100000	1
CP	Glechoma hederacea	ground ivy	Low	1
	Gleditsia triacanthos	honey locust	Low	
	Globularia cordifolia	creeping globe daisy	Low	
	Gomphostigma virgatum	otter bush	Low	
	Goniolimon speciosum (Limonium speciosum)	statice	Low	
	Goniolimon tataricum (Limonium tataricum)	Tartarian statice	Low	
Su	Graptoveria hybrids	graptoveria	Low	
	Grevillea robusta	silk oak	Low	
	Grevillea spp. & cvs.	grevillea	Low	
N	Grindella hirsutula	hairy gum plant	Low	1
N	Grindelia stricta	coastal gum plant	Low	
cN	Grindelia stricta var. platyphylla	spreading gum plant	Low	
- 11	Gymnocladus dioica	Kentucky coffee tree	Low	i e
	Gypsophila paniculata	baby"s breath	- 1	1
			Low	
ŭ	Haemanthus albiflos	dappled snowbush	Low	
	Hakea laurina	sea urchin tree	Low	
	Hakea suaveolens	sweet hakea	Low	
	Halimium atriplicifolium	yellow rock rose	Low	
	Halimium Jasianthum	yellow rock rose	Low	
	Halimium ocymoides	yellow rock rose	Low	
Su	Haworthia spp.	haworthia	Low	
Su	Hechtia spp and cvs.	hechtia	Low	
	Helianthemum nummularium & cvs.	common sunrose	Low	İ
	Helichrysum bracteatum	straw flower	Low	1
	Helichrysum petiolare	licorice plant	Low	1
	Helictotrichon sempervirens and cvs	blue oat grass	Low	1
А				l
75	Helleborus argutifolius	Corsican hellebore	Low	1
	Helleborus foetidus	stinking hellebore	Low	
	Helleborus lividus	Majorcan hellebore	Low	1
Su	Hesperaloe funifera	Coahullan hesperaloe	Low	1
Su A	Hesperaloe parviflora	red/ yellow yucca	Low	
N	Hesperocyparis bakeri (Cupressus bakeri)	Modoc cypress	Low	
N	Hesperocyparis forbesii (Cupressus forbesii)	Tecate cypress	Low	
N	Hesperocyparis goveniana (Cupressus goveniana)	Gowen cypress	Low	1
N	Hesperocyparis guadalupensis (Cupressus guadalupensis)	Guadalupe Island cypress	Low	
N	Hesperocyparis nevadensis (Cupressus nevadensis)	Piute cypress	Low	1
N	Hesperocyparis sargentii (Cupressus sargentii)	Sargent cypress	Low	l
Su N	Hesperoyucca spp. (Yucca whipplei, Yucca californica)	yucca	Low	1
N.A	Heteromeles arbutifolia	toyon	Low	
N				1
	Heterotheca villosa (Chrysopsis villosa)	hairy golden aster	Low	1
	Hibiscus syriacus	rose of Sharon	Low	
N	Holodiscus discolor	sea foam	Low	
N	Hosackia crassifolia var. otayensis (Lotus crassifolius var. otayensis)	Otay Mountain lotus	Low	
	Humulus lupulus	hops	Low	
А	Hunnemannia fumariifolia	Mexican tulip poppy	Low	
Sú	Hylotelephium spp. and cvs. (Some are Sedum)	stone crop	Low	
	Hymenolepis parviflora (Athanasia acerosa)	golden coulter bush	Low	1
	Hypericum olympicum	olympic hypericum	Low	1
	TO A PROPERTY MADE AND A PROPERTY AN	Section of ballings	LAW	

Туре	Botanical Name	Common Name	Water Use	
S	Ilex cornuta 'Burfordii'	Burford holly	Low	
S	Ilex vomitoria	yaupon	Low	
S	Indigofera heterantha	Himalayan indigo	Low	
Bu	Ipheion uniflorum	spring star flower	Low	
V	Ipomea indica (acuminata)	blue dawn flower	Low	
p	Ipomopsis rubra	standing cypress	Low	
		A Company of the Comp		
PN	Iris douglasiana	Douglas iris	Low	
P	Iris germanica	bearded iris	Low	
PNA	Iris Pacific Coast hybrids	Pacific Coast hybrid iris	Low	
S	Isoplexis canariensis	Canary Island foxglove	Low	
S	Isoplexis chalcantha	isoplexis	Low	
5	Isopogon formosus	rose cone flower/drumsticks	Low	
Bu	Ixia spp,	African corn lily	Low	
S	Jasminum floridum	showy jasmine	Low	
S	Jasminum humile	Italian jasmine	Low	
s	Jasminum mesnyi	primrose jasmine	Low	
S				
	Jasminum nitidum	angel wing jasmine	Low	
SA	Jasminum nudiflorum	winter jasmine	Low	
S	Jasminum officinale f. grandiflorum (Jasminum grandiflorum)	common jasmine	Low	
S	Jasminum parkeri	dwarf jasmine	Low	
T Pm	Jubaea chilensis			
		Chilean wine palm	Low	
PN	Juncus patens and cvs.	California gray rush	Low	
s N	Juniperus californica	California juniper	Low	
Т	Juniperus scopulorum cys.	Rocky Mountain juniper	Low	
GCST	Juniperus spp.	juniper	Low	
S Su	Kalanchoe spp.	kalanchoe	Low	
SN	Keckiella antirrhinoides	yellow penstemon	Low	
SN	Keckiella breviflora	yawning penstemon	Low	
SN	Keckiella cordifolia	climbing penstemon	Low	
v	Kennedia nigricans	black coral pea	Low	
V	The state of the s		1	
	Kennedia rubicunda	dusky coral pea	Low	
P Su	Kleinia repens (Senecio repens)	blue chalksticks	Low	
P	Kniphofia galpinii	coral poker	Low	
PA	Kniphofia spp. and cys.	poker plant	Low	
P	Kniphofia uvaria hybrids and cys.	red hot poker	Low	
G N				
	Koeleria macrantha (cristata)	June grass	Low	
S	Kolkwitzia amabilis	beauty bush	Low	
S	Kunzea spp.	kunzea	Low	
Bu	Lachenalia spp.	cape cowslip	Low	
STA	Lagerstroemia spp., hybrids and cvs.	crape myrtle	Low	
210				
1	Lagunaria patersonii	primrose tree	Low	
S	Lambertia inermis	lambertia	Low	
Gc	Lampranthus spp.	ice plant (Lampranthus)	Low	
Gc S	Lantana camara & cvs.	lantana	Low	
Gc	Lantana hybrids	hybrid lantana	Low	
	A CARLO DE CONTROL DE			
Gc S	Lantana montevidensis (sellowiana)	trailing lantana	Low	
Г	Laurus 'Saratoga'	Saratoga laurel	Low	
T	Laurus nobilis	sweet bay	Low	
SA	Layandula spp. & cvs.	lavender	Low	
S	Lavatera maritima	bush mallow		
			Low	
S	Lechenaultia biloba	blue lechenaultia	Low	
S	Lechenaultia formosa orange	orange lechenaultia	Low	
S	Leonotis leonurus	lion's tail	Low	
P	Leonotis menthifolia	lion's tail	Low	
p				
	Leonotis nepetifolia	lion"s tail	Low	
SN	Lepechinia calycina	pitcher sage	Low	
s N	Lepechinia fragrans	fragrant pitcher sage	Low	
s	Lepechinia hastata	Mexican pitcher sage	Low	
ST	Leptospermum 'Dark Shadows'	A second	Low	
	The state of the s	Dark Shadows tea tree		
S	Leptospermum grandiflorum	autumn tea tree	Low	
ST	Leptospermum laevigatum	Australian tea tree	Low	
s	Leptospermum laevigatum 'Revesii'	dwarf tea tree	Low	
ST	Leptospermum petersonii	lemon scented tea tree	Low	
	I make a make a second and the secon			
S	Leptospermum rotundifolium	tea tree	Low	
Gc S	Leptospermum rupestre (humifusum)	tea tree	Low	
PN	Leptosyne gigantea (Coreopsis gigantea)	giant coreopsis	Low	
PN	Leptosyne maritima (Coreopsis maritima)	sea dahlia	Low	
Gc N A	Lessingia filaginifolia 'Silver Carpet' (Corethrogyne)	California beach aster	Low	
PN	Lessingia filaginifolia and cvs. (Corethrogyne)	sand aster	Low	
T	Leucadendron argenteum	silver tree	Low	
s	Leucadendron spp, hybrids and cvs.	conebush	Low	
Bu	Leucojum autumnale (shade)	autumn snowflake	Low	
S				
	Leucophyllum spp. & cvs.	purple sage, Texas ranger etc.	Low	
S	Leucophyta brownii (Calocephalus brownii)	cushion bush	Low	
S	Leucospermum spp & cvs.	pincushion bush	Low	
P Su	Lewisia columbiana rupicola	columbia lewisia	Low	
PSuN	Lewisia cotyledon	bitter root	Low	
	The state of the s		1-7-	
P Su N	Lewisia hybrids (CA natives and non-natives)	lewisia	Low	

Туре	Botanical Name	Common Name		WUCOLS Plant Factor
Р	Libertia spp. (shade)	libertia	Low	
T	Ligustrum lucidum	glossy privet	Low	
S	Ligustrum ovalifolium	California privet	Low	(
S	Ligustrum sinense 'Sunshine'	Sunshine Chinese privet	Low	11
S	Ligustrum x vicaryi	golden privet	Low	
Bu N	Lillium humboldtii	Humboldt lily	Low	
PN	Limonium californicum	western marsh rosemary	Low	13
P.	Limonium perezli	statice	Low	
P	Linaria hybrids	toadflax	Low	- 1
P	Linaria purpurea	toadflax	Low	
S	Lobelia laxiflora	Mexican lobelia	Low	- 1
P	Lobelia tupa	glant red lobelia	Low	
P.	Lomandra longifolia	spiny headed mat rush	Low	
PN	Lomatium californicum	California celery	Low	
VN	Lonicera hispidula	California honeysuckle	Low	
SN	Lonicera interrupta	chaparral honeysuckle	Low	
SN	Lonicera involucrata	twinberry	Low	
S	Lonicera nitida	box honeysuckle	Low	11
V	Lonicera periclymenum	flowering woodbine	Low	
VN	Lonicera subspicata	chaparral honeysuckle	Low	
S	Loropetalum chinense & cvs.	fringe flower	Low	
s	Lotus berthelotii	Parrot's beak	Low	
Gc	Lotus corniculatus	birdsfoot trefoil	Low	
SN	Lupinus arboreus	coastal bush lupine	Low	1.0
SN	Lupinus chamissonis	silver dune lupine	Low	
PN	Lupinus latifolius	broadleaf lupine	Low	
S	Lupinus propinguus (nomenclature status unresolved)	blue bush lupine	Low	
PN	Lupinus variicolor	many-colored lupine	Low	
p N	Lychnis coronaria	rose campion/crown pink	Low	
G T N	Lygeum spartum	false esparto grass ironwood	Low	
1.04	Lyonothamnus spp.		Low	
V	Macfadyena unguis-cati	cat"s claw	Low	
SN	Malacothamnus jonesii	Jones bush mallow	Low	
SN	Malacothamnus palmeri	Palmer's mallow	Low	11
Gc	Malephora spp.	ice plant (Maleophora)	Low	17
SN	Malva assurgentiflora and cvs. (Lavatera assurgentiflora)	tree mallow	Low	1.0
P	Manfreda spp.	manfreda	Low	,
S	Marrubium bourgaei 'All Hallows Green'	All Hallows Green horehound	Low	
T	Melaleuca bracteata 'Revolution Green'	river tea tree	Low	
T	Melaleuca decora	white feather honey myrtle	Low	
T	Melaleuca ericifolia	heath melaleuca	Low	
S	Melaleuca fulgens	scarlet honey myrtle	Low	
s	Melaleuca incana	grey honey-myrtle	Low	
S	Melaleuca lateritia	robin redbreast bush	Low	
Ť	Melaleuca linariifolia	flax leaf paper bark	Low	
T	Melaleuca nesophila	pink melaleuca	Low	
T	Melaleuca styphelioides	prickly-leaved paperback	Low	
S	Melaleuca thymifolia	thyme honey-myrtle	Low	
T	Melaleuca viridiflora var. rubriflora (Melaleuca guinguenervia)	cajeput tree	Low	10
s	Melaleuca wilsonii	Wilson melaleuca	Low	
p	Melampodium leucanthum	blackfoot daisy	Low	- 10
S	Melianthus major	honey flower	Low	
S	Melianthus minor	honey bush	Low	- 1
S	Melianthus pectinatus	honeybush	Low	
S S	Melianthus villosus	honey bush	Low	1.0
Gc P N				
T	Mentha spp. (CA native and non-native spp.)  Metrosideros excelsa (Metrosideros tomentosa)	mint New Zealand Christmas tree	Low	
SN		TOTAL STREET,		
	Mimulus hybrids (shrubby) (Diplacus)	monkey flower	Low	
PN	Mirabilis laevis var. crassifolia (Mirabilis californica)	wishbone bush	Low	
PN	Mirabilis multiflora	four o"clock	Low	
PN	Monardella linoides	flax leaf monardella	Low	
PN	Monardella macrantha	scarlet monardella	Low	
PN	Monardella odoratissima	mountain pennyroyal	Low	
Gc V	Muehlenbeckia complexa	maidenhair vine	Low	
G	Muhlenbergia capillaris and cvs.	hairy awn muhly	Low	
G A	Muhlenbergia dubia	pine muhly	Low	
G	Muhlenbergia dumosa	bamboo muhiy	Low	
G	Muhlenbergia filipes	purply muhly	Low	
G	Muhlenbergia lindheimeri	Lindheimer muhly	Low	1
G	Muhlenbergia pubescens	soft muhly	Low	
GNA	Muhlenbergia rigens	deer grass	Low	10
ST	Myoporum laetum	coast myoporum	Low	
Gc S	Myoporum parvifolium & cvs.	myoporum	Low	10
Gc S	Myoporum X 'Pacificum'	pacifica saltbush	Low	
S	Myrsine africana	African boxwood	Low	
S	Myrtus communis	true myrtle	Low	
S	Nandina domestica and cvs.	heavenly bamboo	Low	
	Nassella gigantea	giant needle grass	Low	
G				

Type	Botanical Name	Common Name	Water Use	WUCOLS Plant Factor
P	Nauplius sericeus (Asteriscus sericeus)	Canary island daisy	Low	0.3
PA	Neomarica caerulea	walking iris	Low	0.5
PA	Nepeta spp.	catmint/catnip	Low	0.
Bu	Nerine spp. (winter growing)	nerine	Low	0.3
S	Nerium oleander & cvs.	oleander	Low	0.5
TN	Notholithocarpus densiflorus (Lithocarpus densiflorus)	tanbark oak	Low	0.
S	Ochna serrulata	bird"s eye bush	Low	0.3
PN	Oenothera caespitosa	tufted (white) evening primrose	Low	0.
PN	Oenothera elata (E. hookeri)	Hooker"s evening primrose	Low	0.
P	Oenothera pallida	white evening primrose	Low	0.
Gc P	Oenothera speciosa (Oenothera berlandieri)	Mexican evening primrose	Low	0.
Gc P	Oenothera stubbei	Baja evening primrose	Low	0.
T	Olea africana	African olive	Low	0.
Bu	Ornithogalum arabicum	star of Bethlehem	Low	0.
P	Orthrosanthus var, chimboracensis centroamericanus now O, monadelphus	orthrosantus	Low	0.
P	Orthrosanthus multiflorus	blue flag	Low	0.
Gc	Oscularia deltoides	pink iceplant	Low	0.
Gc	Osteospermum spp,	African daisy	Low	0.
P Su	Othonna capensis	little pickles ice plant	Low	0.
P Su	Pachyphytum spp.	moonstones	Low	0.
P	Papaver pilosum	hairy poppy	Low	0,
Gc V	Parthenocissus tricuspidata	Boston ivy	Low	0.
Gc P	Pelargonium peltatum	ivy geranium	Low	0.
P.	Pelargonium x hortorum and cys.	garden geranium	Low	0.
PN	Pellaea andromedifolia	coffee fern	Low	0.
PN	Pellaea mucronata	bird's foot fern	Low	0.
G	Pennisetum alopecuroides and cvs.	black pennisetum	Low	0.
G	Pennisetum massaicum	bunny tails	Low	0.
G	Pennisetum setaceum	fountain grass	Low	0,
PN	Penstemon SW native spp. and cvs.	penstemon (SW natives)	Low	0.
P	Pentas lanceolata	Egyptian star flower	Low	0.
PS	Perovskia spp. & cvs.	Russian sage	Low	0.
T	Persea americana	avocado	Low	0.
PN	Petrophytum caespitosum	rock spirea	Low	0.
PN	Phacelia californica	scorpion flower	Low	0.
S	Philadelphus mexicanus	evergreen mock orange	Low	0.
SN	Philadelphus microphyllus	littleleaf mock orange	Low	0.
S	Phlomis cretica	Cretan phlomis	Low	0.
S	Phlomis fruticosa	Jerusalem sage	Low	0.
S	Phlomis italica	Italian Jerusalem sage	Low	0.
S	Phlomis lanata	Crete Jerusalem sage	Low	0.
SA	Phlomis purpurea (Phlomis caballeroi)	purple Jerusalem sage	Low	0.
_	Phlomis russeliana	phlomis (russeliana)	Low	0.
S	Phlomis samia	Greek Jerusalem sage	Low	0.
S	Phlomis spectabilis (Phlomis cashmeriana)	Kashmir sage	Low	0
T Pm	Phoenix canariensis	Canary Island date palm	Low	0.
T Pm	Phoenix dactylifera	date palm	Low	0.
STPm	Phoenix roebelenii	pigmy date palm	Low	0.
P.	Phormium hybrids	flax	Low	0.
P	Phormium tenax	New Zealand flax	Low	0.
Gc N	Phyla nodiflora (Lippia nodiflora) cvs.	Library	Low	0.
S	Phylica arborea	Island cape myrtle	Low	0
S T Ba	Phyllostachys spp.	bamboo (Phyllostachys)	Low	0
SN	Physocarpus capitatus	ninebark	Low	0
S	Physocarpus opufolius	common nine bark	Low	0
T	Pinus brutia	Calabrian pine eldarica pine	Low	0.
T	Pinus brutia ssp. eldarica		Low	0.
T	Pinus canariensis	Canary Island pine	Low	0.
TAY	Pinus cembra	Swiss stone pine	Low	0
TN	Pinus coulteri	Coulter pine	Low	0.
TN	Pinus edulis	pinyon pine	Low	0
+	Pinus halepensis	Aleppo pine	Low	0.
TN	Pinus heldreichii (Pinus leucodermis)	Bosnian pine	Low	0.
TN	Pinus jeffreyi	Jeffrey pine	Low	0.
TN	Pinus monophylla	single leaf pinyon pine  Montezuma pine	Low	0.
	Pinus montezumae			1 0.

Туре	Botanical Name	Common Name	Water Use WUCO	S Plant Factor
S	Prostanthera denticulata	mint bush	Low	0.2
S	Prostanthera ovalifolia	mint bush	Low	0.2
S	Prostanthera phylicifolia	spiked mint bush	Low	0.2
S	Prostanthera rotundifolia	round leaf mint bush	Low	0,2
SN	Prunus andersonii	desert peach	Low	0.2
T	Prunus caroliniana	Carolina laurel cherry	Low	0.2
TN	Prunus ilicifolia	holly leaf cherry	Low	0.2
STN	Prunus ilicifolia Iyonii	Catalina cherry	Low	0.2
T	Prunus mume	Japanese apricot	Low	0.2
T	Prunus spp. edible	apricot	Low	0.2
T	Prunus spp. edible	nectarine	Low	0.2
T	Prunus spp. edible	nectarine (low chill)	Low	0.2
T	Prunus spp. edible	peach	Low	0.2
T	Prunus spp. edible	peach (low chill)	Low	0.2
T	Prunus spp. edible	plum	Low	0.2
T	Prunus spp, edible	plum (low chill)	Low	0,2
T	Prunus spp. peach	flowering peach	Low	0.2
Т	Prunus spp. plum	flowering plum	Low	0.2
ST	Pseudopanax ferox	fierce lancewood	Low	0.2
TN	Pseudotsuga macrocarpa	big cone spruce	Low	0.2
TN	Pseudotsuga menziesii	Douglas fir	Low	0.2
	Ptelea crenulata			
SN		western hop tree	Low	0,2
	Punica granatum	pomegranate	Low	0.2
5	Punica granatum & cultivars	dwarf pomegranate	Low	0.2
SN	Purshia stansburyana (Cowania mexicana, Purshia mexicana)	cliff rose	Low	0.2
SN	Purshia tridentata	antelope bitterbrush	Low	.0,2
Gc S	Pyracantha spp. & cys.	firethorn	Low	0.2
P	Pyrethropsis hosmariense (Rhodanthemum hosmariense)	Moroccan daisy	Low	0.2
Р	Pyrrosia spp.	felt fern	Low	0,2
T	Pyrus betulifolia	birchleaf pear	Low	0.2
Ť	Quercus emoryi	Emory oak	Low	0.2
TN	Quercus engelmannii	mesa oak	Low	0.2
TN	Quercus garryana	Oregon white oak	Low	0.2
Т	Quercus ilex	holly oak	Low	0.2
TN	Quercus kelloggii	California black oak	Low	0.2
TNA	Quercus lobata	valley oak	Low	0.2
T	Quercus muehlenbergii	chinquapin oak	Low	0.2
T	Quercus polymorpha	Monterrey oak	Low	0.2
+	Quercus suber	cork oak	Low	
+		Texas red oak		0.2
	Quercus texana		Low	0.2
TN	Quercus tomentella	island oak	Low	0,2
SN	Quercus turbinella	shrub live oak	Low	0.2
T	Quillaja saponaria	soapbark tree	Low	0.2
P	Ranunculus cortusifolius	buttercup	Low	0.2
Bu	Ranunculus spp. (winter growing)	Persian ranunculus	Low	0.2
P	Raoulia australis	golden scabweed	Low	0.2
S	Rhamnus alabernus	Italian buckthorn	Low	0.2
SN	Rhamnus crocea	redberry	Low	0.2
SN	Rhamnus ilicifolia	hollyleaf redberry	Low	0.2
T	Rhaphiolepis 'Majestic Beauty'	majestic beauty	Low	0.2
S	Rhaphiolepis indica & cvs	Indian hawthorne	Low	0.2
S	Rhaphiolepis umbellata and cys.	Yeddo hawthorne	Low	0.2
P	Rohdea japonica	rohdea	Low	0.2
P	Rhodocoma arida	rhodocoma (arida)	Low	0.2
Bu A	Rhodophiala bifida	red argentine amaryllis	Low	0.2
Gc S N	Rhus aromatica (Rhus trilobata)	skunk bush	Low	0.2
SN	Rhus integrifolia	lemonade berry	Low	0.2
SN	Rhus ovata	sugar bush	Low	
ST				0.2
	Rhus typhina	staghorn sumac	Low	0.2
SN	Ribes divaricatum	spreading gooseberry	Low	0.2
SN	Ribes indecorum	white flowering current	Low	0.2
SN	Ribes quercetorum	yellow gooseberry	Low	0.2
SN	Ribes roezlii	Sierra gooseberry	Low	0.2
SN	Ribes sanguineum varieties & cultivars	red flowering currant	Low	0.2
SN	Ribes speciosum	fuchsia flowering gooseberry	Low	0.2
GC S N A	Ribes viburnifolium and cys.	evergreen currant	Low	0.2
T	Robinia x ambigua	locust	Low	0.2
V	Rosa 'Cecile Brunner'	Cecile Brunner rose	Low	0.2
V	Rosa banksiae	Lady Banks rose	Low	0.2
S N	Rosa californica	California wild rose	Low	0.2
SN	Rosa minutifolia	Baja California wild rose	Low	0.2
s	Rosa rubiginosa (Rosa eglanteria)	sweet briar rose	Low	0.2
S	Rosa rugosa	Japanese rose	Low	0.2
Gc S	Rosmarinus cvs.	rosemary	Low	0.2
S	Rosmarinus officinalis	rosemary	Low	0.2
S N	Rubus parviflorus	thimbleberry	Low	
	Rubus ursinus	California blackberry		0.2
SN	I DANAMA MISHINGS	Camorina Diackberry	Low	0.2

Туре	Botanical Name	Common Name	_	WUCOLS Plant Factor
S N S N	Salvia 'Allen Chickering' Salvia 'Aromas'	Allen Chickering sage Aromas salvia	Low	0.0
GcSN	Salvia 'Bee's Bliss'	Bee's Bliss sage	Low	0.5
Gc P N	Salvia 'Dara's Choice'	Sonoma sage	Low	0.
S	Salvia africana-lutea	golden sage	Low	0.
D 81	Salvia argentea	silver sage	Low	0,:
5 N	Salvia brandegeei Salvia canariensis	Santa Rosa Island Sage Canary Island Sage	Low	0.3
5	Salvia chamaedryoides	blue sage	Low	0.5
Sc P	Salvia chionophylla	snowflake sage	Low	0.0
N.A	Salvia clevelandii & hybrids	salvia Cleveland/Alan Chickering etc.	Low	0.0
,	Salvia coshuilensis	Coahuila sage	Low	0,0
SA	Salvia coccinea Salvia greggii & hybrids	Texas sage autumn sage	Low	0.3
S	Salvia leucantha and cvs.	Mexican bush sage	Low	0.3
N	Salvia leucophylla and cvs.	purple sage	Low	0.0
N	Salvia mellifera and cvs.	black/green sage	Low	0.0
S	Salvia muelleri	royal purple autumn sage	Low	0.
N S	Salvia munzii	San Miguel Mountain sage garden/kitchen sage	Low	0.
N	Salvia officinalis and cvs. Salvia pachyphylla	garden/kitchen sage rose sage	Low	0.
S	Salvia regia	mountain sage	Low	0.
	Salvia reptans	west Texas cobalt sage	Low	0.
	Salvia sclarea	Clary sage	Low	0.
c P N	Salvia sonomensis and cvs.	Sonoma sage	Low	0.
c P N A	Salvia spathacea and cvs. Salvia thymoides	hummingbird/pitcher sage blue salvia	Low	0.
S	Salvia x jamensis cvs.	sage (jamensis cvs.)	Low	0.
TN	Sambucus spp. (CA native and non-native spp.)	elderberry	Low	0.
cPS	Santolina spp.	lavender cotton	Low	0.
c P	Saponaria ocymoides	rock soapwort	Low	0.
	Sarcococca confusa	sweet box	Low	0.
c S	Sarcococca hookeriana humilis	sweet sarcococca	Low	0.
Ва	Sarcococca ruscifolia Sasa spp.	fragrant sarcococca bamboo (Sasa)	Low	0.
	Satureja mexicana	savory	Low	0.
c P	Scaevola 'Mauve Clusters'	fan flower	Low	0.
c P	Scaevola aemula	fairy fan	Low	0.
	Schotia afra var, angustifolia	Karoo Boer bloom	Low	0.
N	Scrophularia californica (shade) Scutellaria pontica	California figwort/bee plant Turkish skullcap	Low	0.
	Scutellaria suffrutescens	pink Texas skullcap	Low	0.
	Searsia lancea (Rhus lancea)	African sumac	Low	0.
c P Su N	Sedum spp. (some are Hylotelephium)	stone crop	Low	0.
Su	Sempervivum spp.	house leek	Low	0.
P.0	Senecio cineraria (Jacobaea maritima)	dusty miller	Low	0.
Su c P Su	Senecio cylindricus (Senecio vitalis)(nomen unresolved) Senecio mandraliscae (Kleinia mandraliscae)	narrow leaf chalksticks kleinia	Low	0.
c P Su	Senecio serpens	blue chalksticks	Low	0.
Su	Senecio talinoides and cvs. (nomenciature unresolved)	blue finger	Low	0.
	Senecio viravira	dusty miller	Low	0.
	Senna artemisioides (Cassia artemisioides)	feathery cassia/senna	Low	0.
	Senna australis (Cassia australis) Senna bicapsularis (Cassia candolleana, Cassia bicapsularis)	Australian senna/cassia New Zealand cassia/senna	Low	0.
	Senna Jirdheimeriana (Cassia Lindheimeriana)	Lindheimer's senna/cassia	Low	0.
	Sesbania punicea (Sesbania tripetii)	scarlet wisteria tree	Low	0.
N	Shepherdia argentea	silver buffaloberry	Low	0.
	Sideritis syriaca	sideritis	Low	0.
	Sisyrinchium angustifolium	blue eyed grass	Low	0.
N	Solanum aviculare Solanum umbelliferum and cys.	kangaroo apple blue witch	Low	0.
14	Solanum umpeliirerum and cvs, Solanum wendlandii	Costa Rican nightshade	Low	0.
N	Solanum xanti and cvs.	blue witch	Low	0.
SA	Soliya heterophylla	Australian bluebell creeper	Low	0.
	Sollya heterophylla f. parviflora	vining bluebell	Low	0.
T N	Sophora secundiflora	Texas mountain laurel	Low	0.
N	Sphaeralcea spp. (CA native and non-native spp.) Sporobolus airoides	desert mallow/globe mallow alkalar sacaton	Low	0.
N	Sporobolus wrightii	big sacaton	Low	0.
u A	Sprekelia formosissima	Aztec IIIy	Low	0.
N	Stachys bullata (shade)(S. californica)	hedge nettle	Low	0.
	Stachys byzantina	lamb's ears	Low	0.5
	Stachys chrysantha	yellow stachys	Low	0.3
	Stachys lanata and cys. Stipa ichu	lamb's ears Peruvian feather grass	Low	0.
	Stipa ramosissima (Austrostipa ramosissima)	pillar of smoke grass	Low	0.
i		Mexican feather grass	Low	1

Styphnolobium japonicum (Sophora japonica)

_	Territoria de la constanta de	12	The second second	100
Type S N	Botanical Name	Common Name	Water Use WUCC	
) IV	Styrax redivivus (Styrax californicus, Styrax fulvescens) Swainsona greyana	snowdrop bush hairy Darling pea	Low	0
Pm	Syagrus romanzoffiana (Arecastrum romanzoffianum)	queen palm	Low	0
s N	Symphoricarpos albus (SHADE)	snowberry	Low	0
5	Symphoricarpos hybrids (SHADE)	snowberry	Low	0
S N	Symphoricarpos longiflorus (SHADE)	desert snowberry	Low	0
Gc N	Symphoricarpos mollis (shade in SD)	creeping snowberry	Low	0
S N	Symphoricarpos rotundifolius (SHADE)	round leaf snowberry	Low	0
S	Syringa vulgaris	Illac	Low	0
S	Syringa x persica	Persian Illac	Low	0
PS	Tagetes Jemmonii	mountain marigold	Low	0
2	Talinum calycinum	fame flower	Low	0
,	Tanacetum densum Tanacetum haradianii	partridge feather tansy	Low	0
	Tanacetum parthenium (Chrysanthemum parthenium)	feverfew	Low	0
S	Tecoma Crimson Flare (TM)	yellow bells	Low	0
3	Tecoma Sunrise (TM)	Sunrise tecoma	Low	0
ST	Tecoma garrocha	Argentine tecoma	Low	0
S T	Tecoma stans	yellow bells	Low	0
5	Tecoma x alata 'Flaming Bells'	Flaming Bells	Low	0
P N	Tetraneuris acaulis (Hymenoxys acaulis)	stemless four-nerve daisy	Low	0
	Tetraneuris grandiflora	old man of the mountain	Low	0
2	Tetraneuris scaposa	four-nerve daisy	Low	0
S	Tetrapanax_papyrifera	rice paper plant	Low	0
5	Teucrium betonicum	Madeira germander	Low	0
Gc P S	Teucrium chamaedrys	germander	Low	0
5	Teucrium flavum	yellow germander	Low	0
S A	Teucrium fruticans	bush germander	Low	0
P.	Teucrium hyrcanicum	germander (hyrcanicum)	Low	0
S	Teucrium marum Thomasia solanacea	cat thyme solanum-like thomasia	Low	0
Gc P	Thymus praecox	mother-of-thyme	Low	0
Gc P	Thymus spp. and cvs.	thyme	Low	0
T	Tilia tomentosa	silver linden	Low	0
T	Toona sinensis (Cedrela sinensis)	Chinese toon	Low	0
TN	Torreya californica	California nutmeg	Low	0
T Pm	Trachycarpus fortunei	windmill palm	Low	0
Gc	Trifolium fragiferum O'Connor (revegetation use)	O"Conner"s legume	Low	0
r Pm	Trithrinax acanthocoma	spiny fiber palm	Low	0
Bu	Tritonia spp.	tritonia	Low	0
p.	Tulbaghia violacea	society garlic	Low	0
r	Ulmus 'Frontier'	Frontier elm	Low	0
ī	Ulmus parvifolia	Chinese evergreen elm Emerald Sunshine elm	Low	0
t t	Ulmus propinqua 'Emerald Sunshine"  Ulmus pumila	Siberian elm	Low	0
T	Ulmus wilsoniana 'Prospector'	Prospector elm	Low	0
Bu	Urginea maritima	sea squill	Low	0
5	Vauquelinia californica	Arizona rosewood	Low	0
Bu	Veltheimia capensis	sand lily	Low	0
>	Verbascum bombyciferum	silver mullein	Low	0
9	Verbascum phoeniceum	purple mullein	Low	0
N	Verbena gooddingii (Glandularia gooddingii)	Goodding verbena	Low	0
9	Verbena hybrids	garden verbena	Low	0
N	Verbena lasiostachys	robust verbena	Low	0
Gc P	Verbena peruviana	Peruvian verbena	Low	0
Sc P	Verbena rigida	vervain	Low	0
Gc P	Verbena stricta	hoary vervain	Low	0
3c P 3c P	Verbena tenera (puichella) Verbena tenuisecta	rock verbena moss verbena	Low	0
3C P	Verticordia plumosa 'Pink Lace'	featherflower	Low	0
3	Viburnum odoratissimum	sweet viburnum	Low	0
5	Viburnum opulus	European cranberry bush	Low	0
5	Viburnum x burkwoodii	Burkwood viburnum	Low	0
5 N	Vigulera lanata	woolly-leaf sunflower	Low	0
i A	Viguiera parishii	desert goldeneye	Low	0
•	Viola sempervirens	redwood violet	Low	0
	Vitex agnus-castus	chaste tree	Low	0
/ N	Vitis 'Roger's Red'	Roger's Red grape	Low	0
/ N	Vitis californica	California wild grape	Low	0
/ N	Vitis girdiana	desert grape	Low	0
/	Vitis labrusca	American grape	Low	0
/	Vitis vinifera	European grape	Low	0
Pm N	Washingtonia filifera	California fan palm	Low	0
r Pm	Washingtonia robusta	Mexican fan palm	Low	0
Bu S	Watsonia spp.	Watsonia	Low	0
	Westringia 'Wynyabble Gem'	Wynyabbie Gem westringia	Low	0
3	Westringia brevifolia Westringia brevifolia var. raleighii	small-leafed westringia Raleigh westringia	Low Low	0

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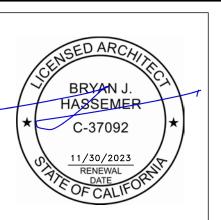
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revisions:

No.		Descripti	on	Date
4	DESIGN	REVIEW	PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

> LIVING PORCH & BEDROOM SUITE

WUCOLS 'LOW' WATER PLANTS

20-015-01 05/04/22

12" = 1'-0"

1 WUCOLS 'LOW' WATER PLANTS - PG.02

sweet pea shrub

12" = 1'-0"

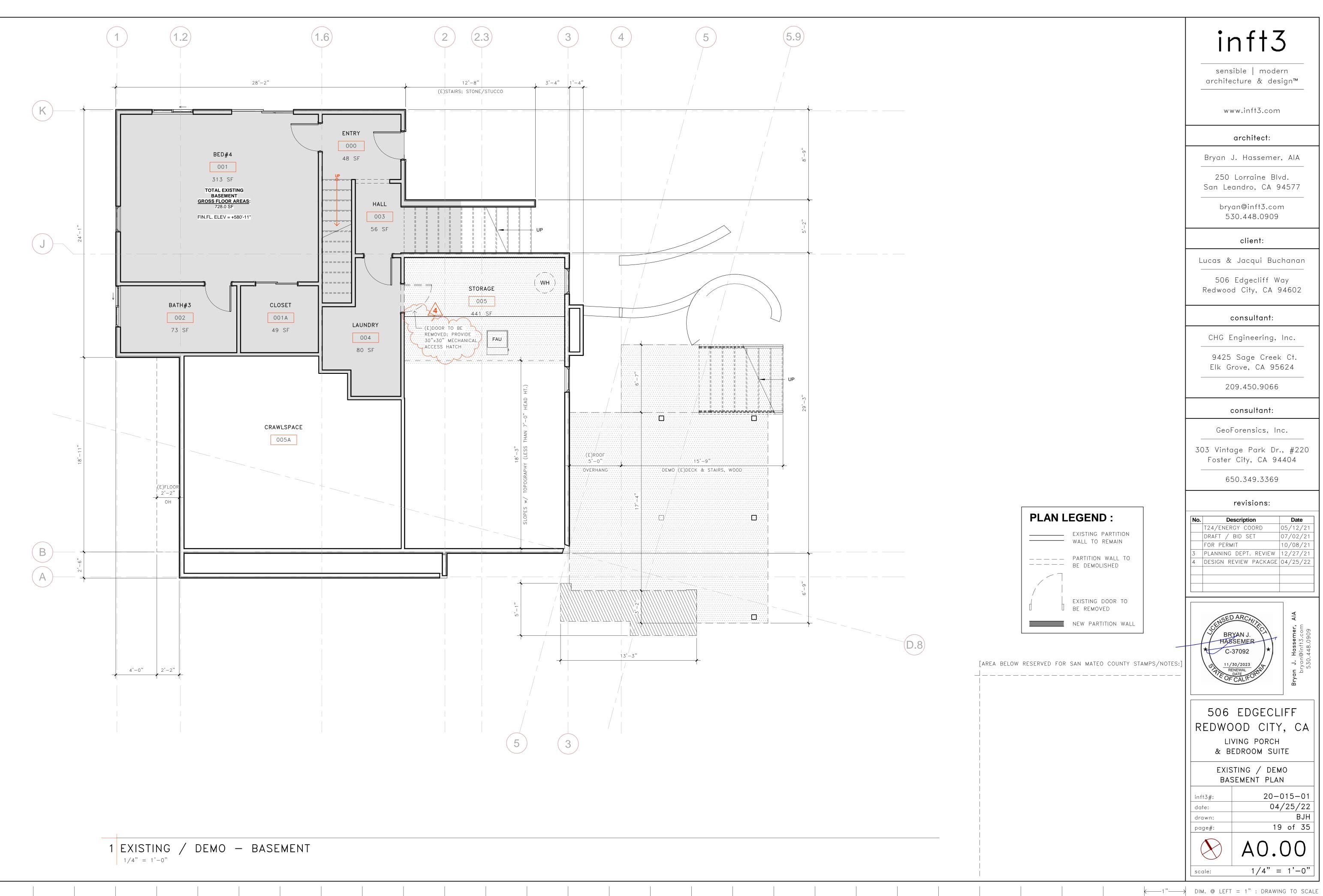
Pistacia chinensis

Pistacia vera (edible) Pittosporum tobira and cvs. Pittosporum undulatum Plecostachys serpyllifolia (Helichrysun Plumbago auriculata (capensis) Pollomintha longiflora

Polygala X dalmaisiana

Pistacia mexicana (P. texensis, texana)

Primula spp. (CA native) Dodecatheon spp



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650.349.3369

revisions:

No.	Description	Date	
	T24/ENERGY COORD	05/12/21	
	DRAFT / BID SET	07/02/21	
	FOR PERMIT	10/08/21	
3	PLANNING DEPT. REVIEW	12/27/21	
4	DESIGN REVIEW PACKAGE	04/25/22	



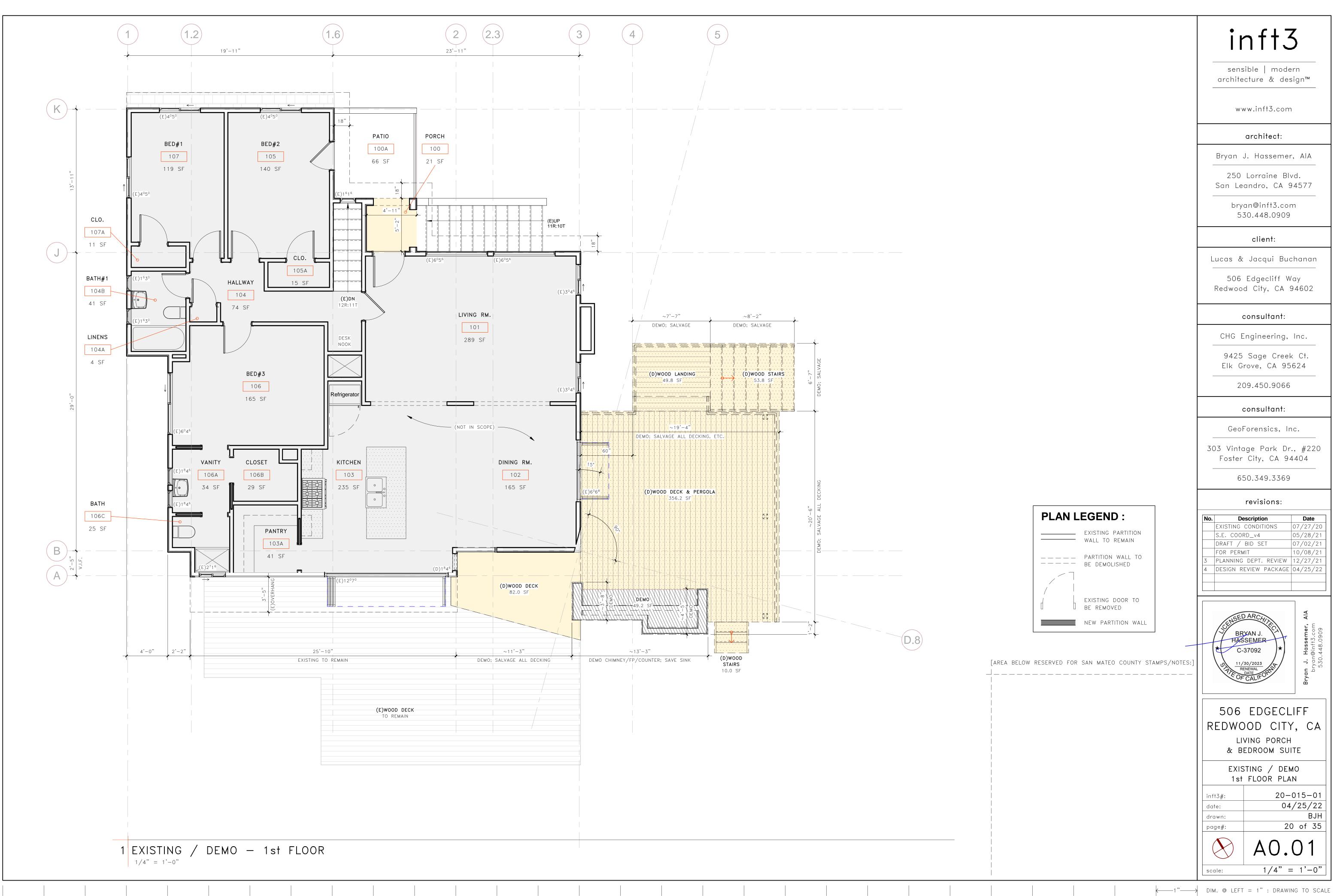
506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

EXISTING / DEMO BASEMENT PLAN

20-015-01 04/25/22 19 of 35

A0.00 1/4" = 1'-0"



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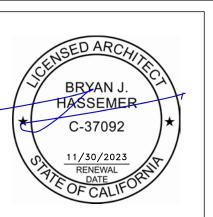
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No.	Description	Date
	EXISTING CONDITIONS	07/27/20
	S.E. COORD_v4	05/28/21
	DRAFT / BID SET	07/02/21
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



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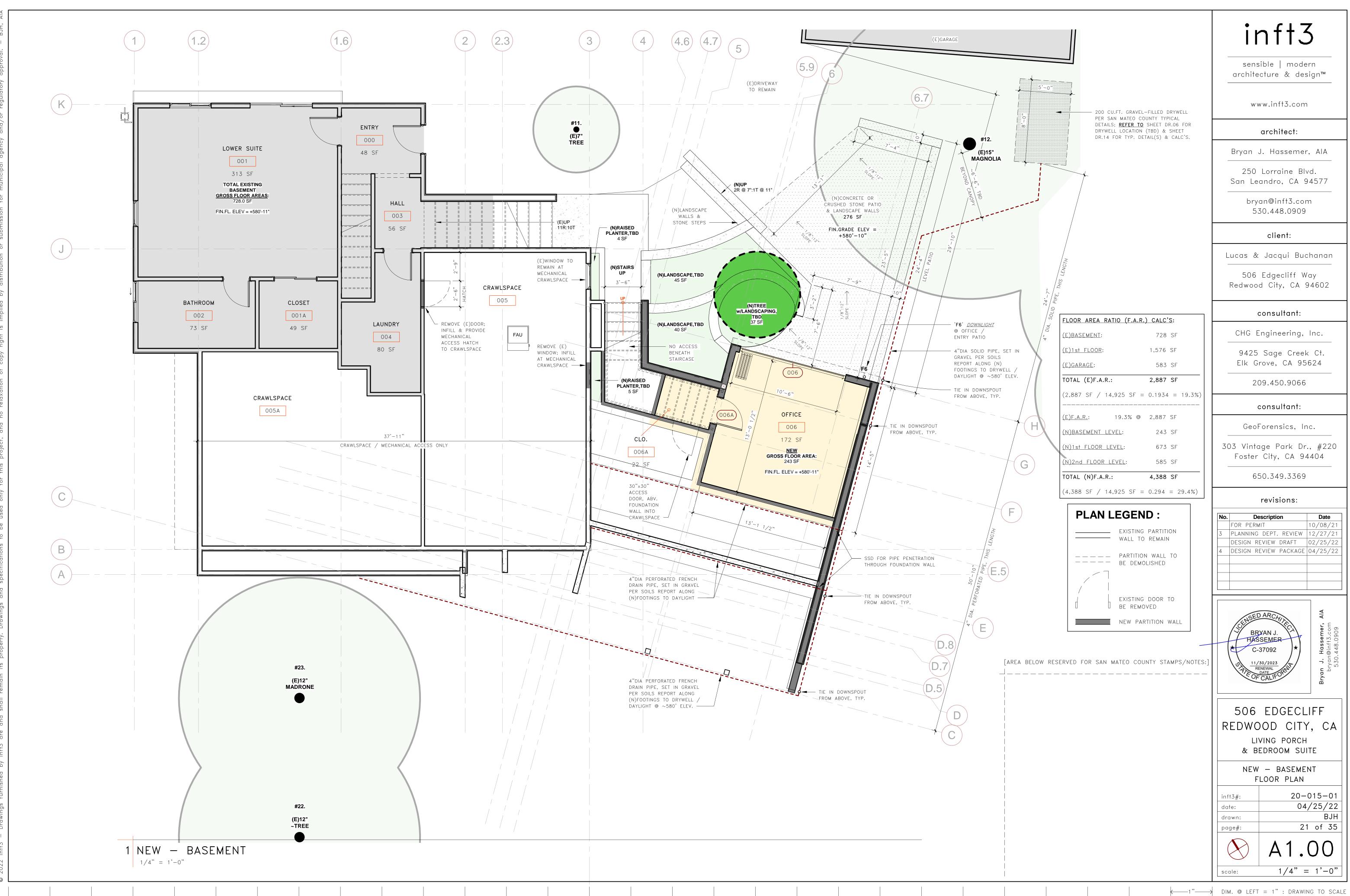
> LIVING PORCH & BEDROOM SUITE

1st FLOOR PLAN 20-015-01 04/25/22



1/4" = 1'-0"

20 of 35



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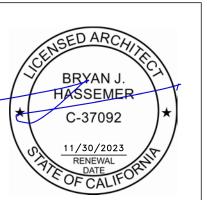
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9425 Sage Creek Ct.

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No.	Description	Date
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
	DESIGN REVIEW DRAFT	02/25/22
4	DESIGN REVIEW PACKAGE	04/25/22

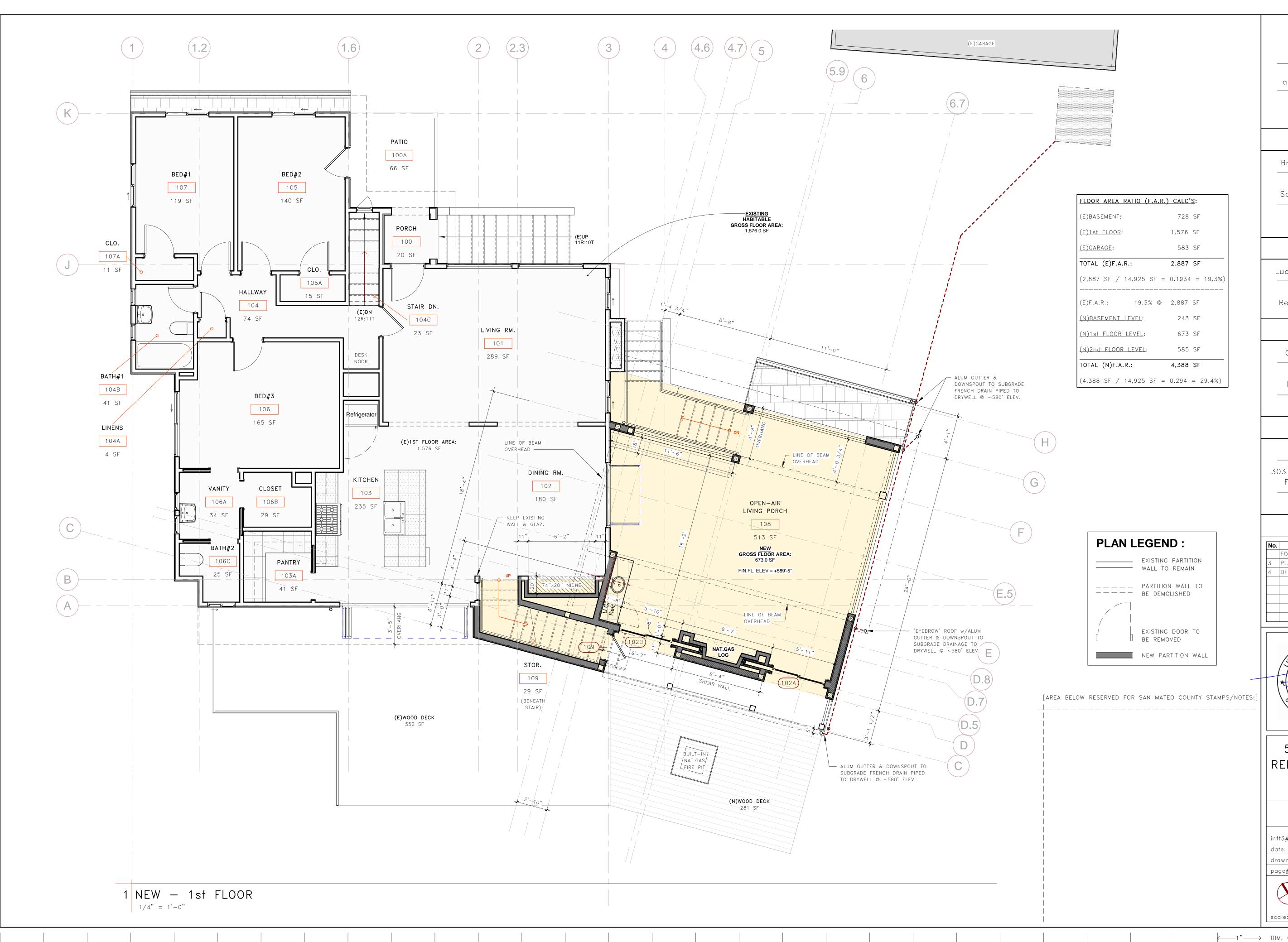


506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH

FLOOR PLAN

20-015-01 04/25/22 21 of 35



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	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



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> LIVING PORCH & BEDROOM SUITE

NEW — 1st LEVEL FLOOR PLAN

 inft3#:
 20-015-01

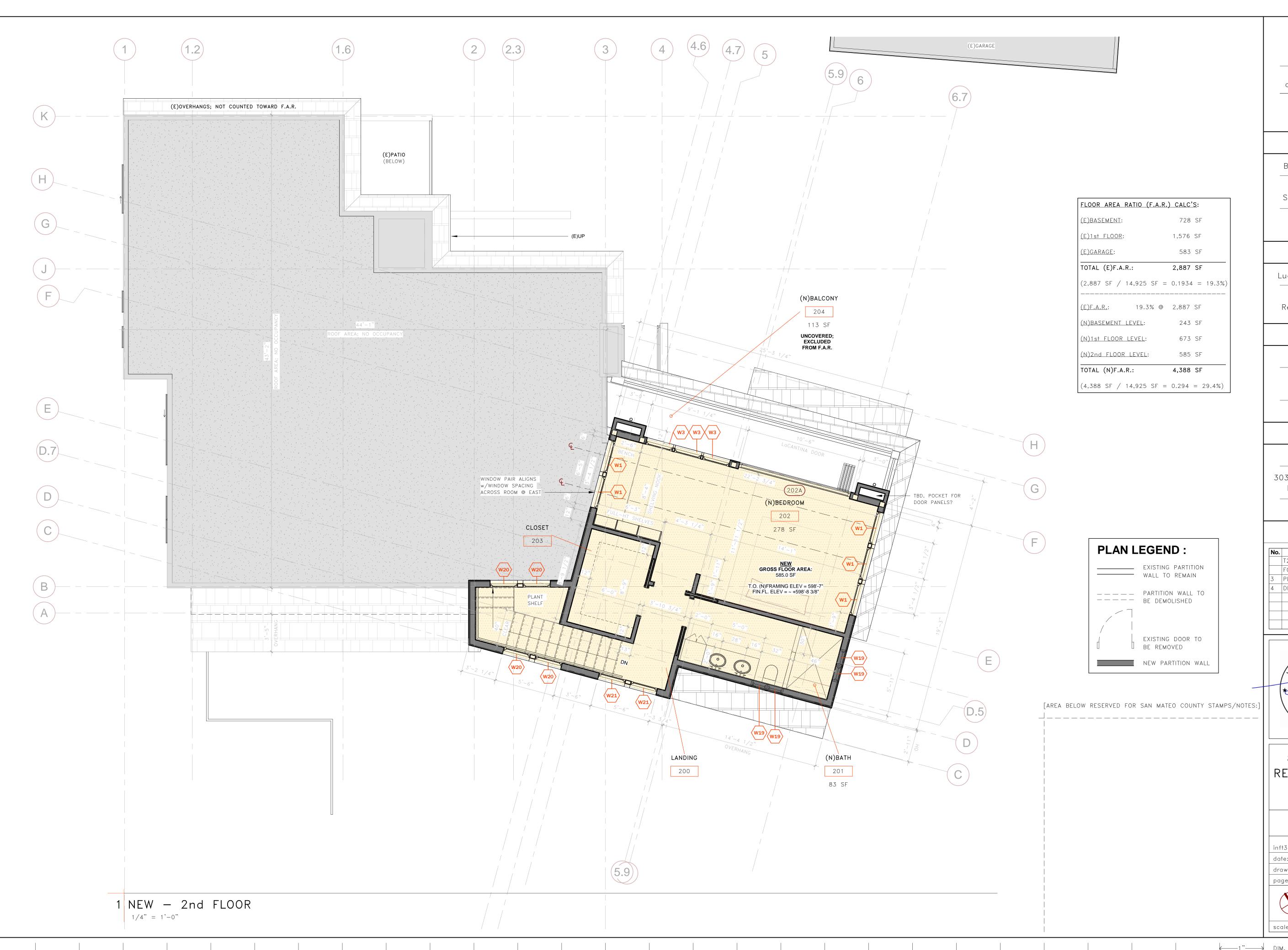
 date:
 04/25/22

 drawn:
 BJH

 page#:
 22 of 35



1/4" = 1'-0"



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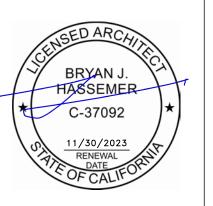
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revisions:

No.	Description	Date
	T24/ENERGY COORD	05/12/21
	FOR PERMIT	10/08/21
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



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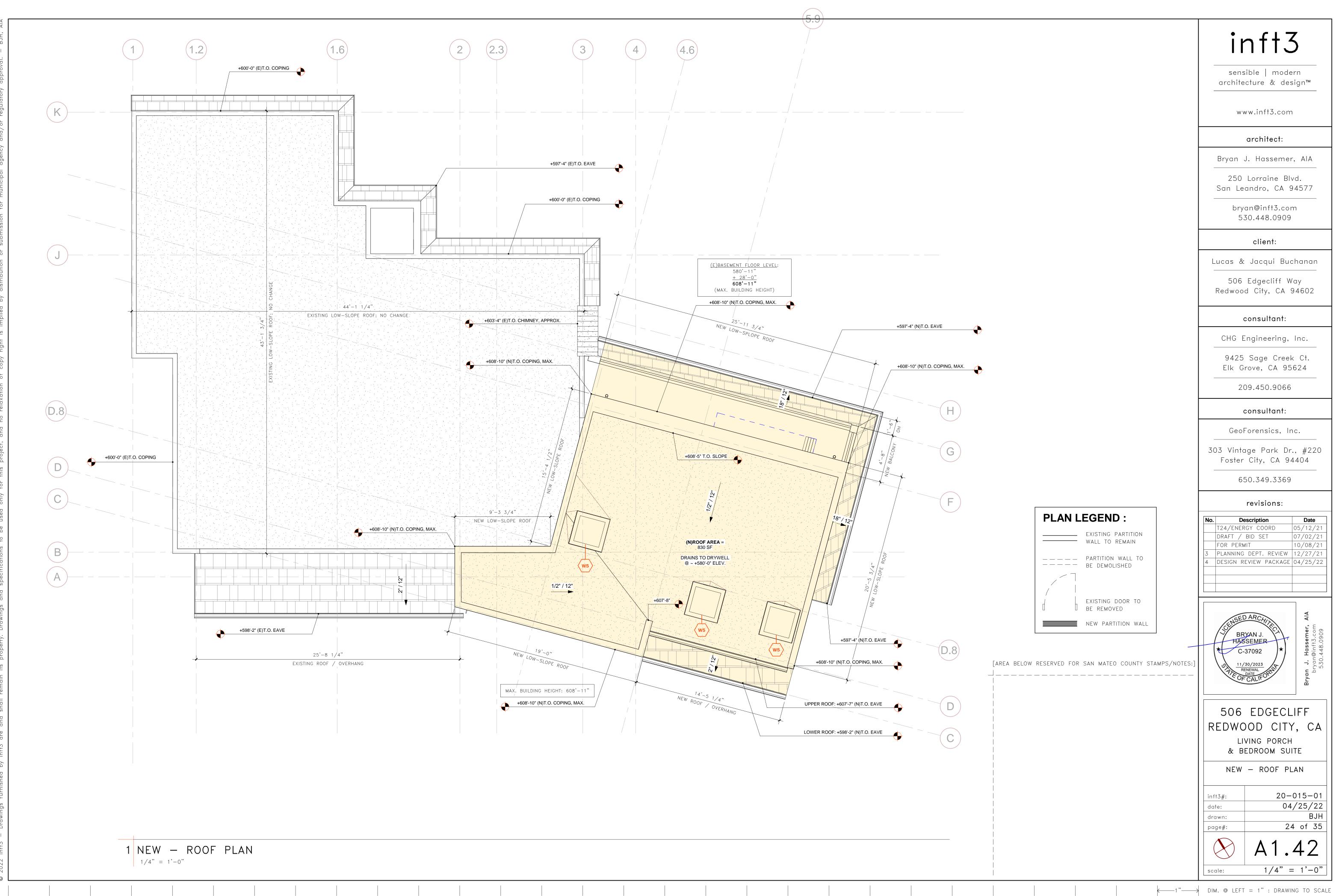
> LIVING PORCH & BEDROOM SUITE

NEW — 2nd LEVEL FLOOR PLAN

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1/4" = 1'-0"



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No.	Description	Date	
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	FOR PERMIT	10/08/21	
3	PLANNING DEPT. REVIEW	12/27/21	
4	DESIGN REVIEW PACKAGE	04/25/22	



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NEW - ROOF PLAN

	inft3#:	20-015-01
	date:	04/25/22
	drawn:	ВЈН
	page#:	24 of 35
ı		

1/4" = 1'-0"

## 2 DESIGN REVIEW - EXISTING FRONT ELEVATION (NORTH)

1/4" = 1'-0"

(D)(D.7)(D.8)(E)(G)(H)MAX. BLDG. HEIGHT +608' - 11" EXISTING OVERHANG: ALIGN NEW OVERHANG @ REAR DECK - **(E)CHIMNEY:** (E)GAS LOG INSERT TO REMAIN @ INTERIOR (E)DOOR; LaCANTINA, (E)DOOR; REAR DECK: @ EXISTING GRADE (E)REAR DECK +589' - 1" **EXISTING HARDSCAPE / LANDSCAPING:**STACKED STONE WALLS TO REMAIN — (E)BASEMENT +580' - 11"

1 DESIGN REVIEW - EXISTING SIDE ELEVATION (EAST) 1/4" = 1'-0"

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

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#### revisions:

No.	Description	Date	
3	PLANNING DEPT. REVIEW	12/27/21	
4	DESIGN REVIEW PACKAGE	04/25/22	



## 506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / EXISTINGN ELEVATIONS

20-015-01 04/25/22 25 of 35 DR.31

DIM. @ LEFT = 1" : DRAWING TO SCALE

As indicated

2 DESIGN REVIEW — EXISTING SIDE ELEVATION (WEST)

1/4" = 1'-0"

SPANSH TILE:
FASTING OVERHAND

(E)WOOD DECK
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1 DESIGN REVIEW — EXISTING REAR ELEVATION (SOUTH)

1/4" = 1'-0"

inft3

MAX. BLDG. HEIGHT +608' - 11"

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> > client:

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revisions:

No.	Description	Date
3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

Bryan J. Hassemer, Abryan@inft3.com

506 EDGECLIFF REDWOOD CITY, CA

> LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW /
EXISTING ELEVATIONS

20-015-01 ate: 04/25/22 rawn: BJH age#: 26 of 35

DIM. @ LEFT = 1" : DRAWING TO SCALE

1/4" = 1'-0"



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DESIGN REVIEW PACKAGE	04/25/22
	PLANNING DEPT. REVIEW



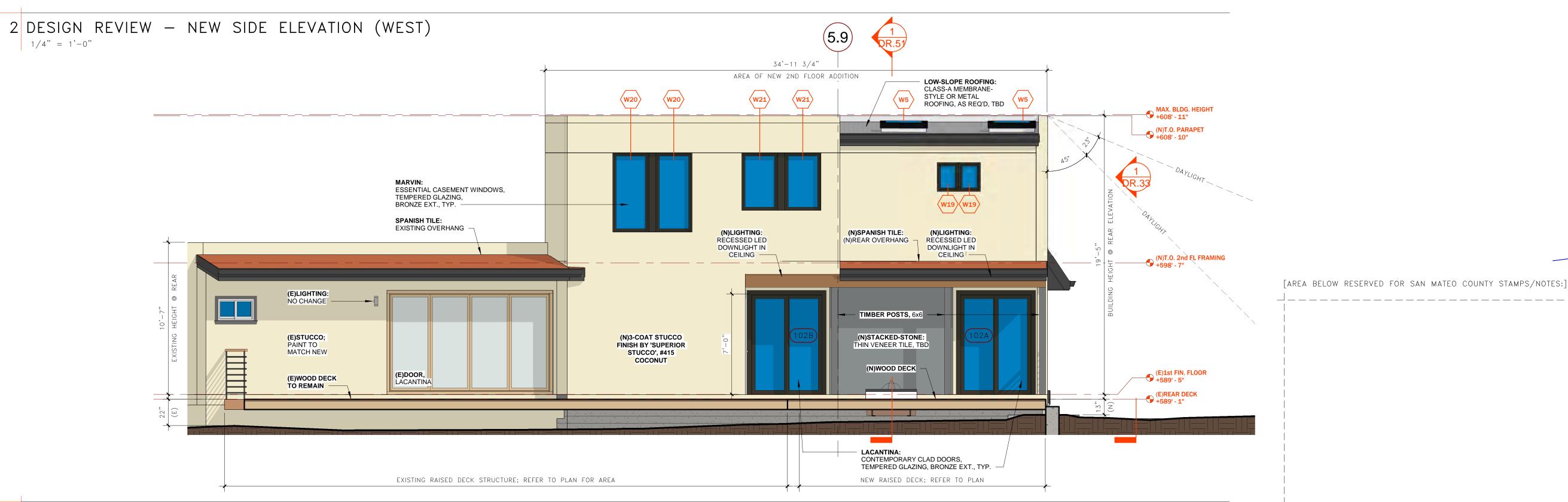
506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / NEW ELEVATIONS

20-015-01 04/25/22 27 of 35 DR.33

1/4" = 1'-0"



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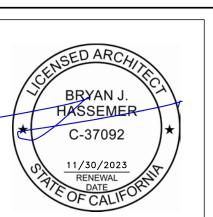
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3	PLANNING DEPT. REVIEW	12/27/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

> LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / NEW ELEVATIONS

20-015-01 inft3#: 04/25/22 drawn: 28 of 35 1/4" = 1'-0"

1 DESIGN REVIEW - NEW REAR ELEVATION (SOUTH)

1/4" = 1'-0"

1/4" = 1'-0"

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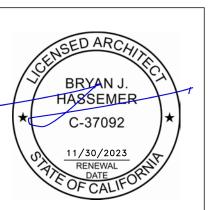
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revisions:

No.	Description	Date
4	DESIGN REVIEW PACKAGE	04/25/22



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> LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW /

20-015-01 04/25/22 29 of 35

1/4" = 1'-0"

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No.	Description	Date	
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4	DESIGN REVIEW PACKAGE	04/25/22	



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

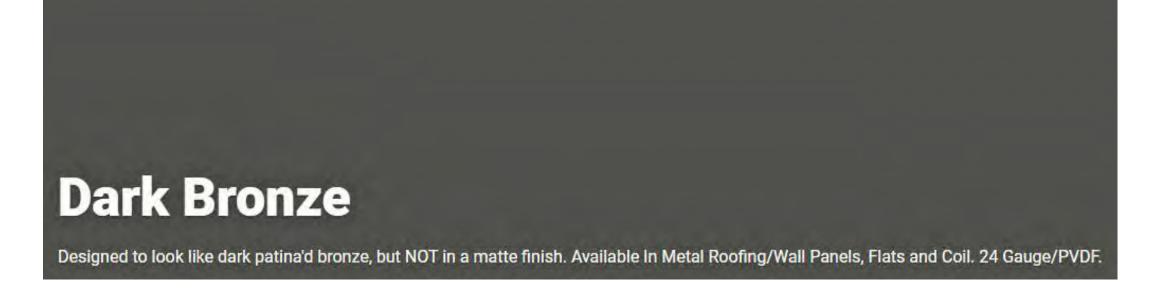
DESIGN REVIEW /
EXTERIOR VISUALIZATIONS

inft3#:	20-015-01
date:	04/25/22
drawn:	ВЈН
page#:	30 of 35
	DR 90

DR.90

Western Lock® - Dark Bronze

\*LOW-SLOPE ALTERNATE\* WESTERN STATES METAL ROOFING :





@MARVIN WINDOWS / ESSENTIAL CASEMENT - MANUFACTURER'S IMAGE; NO GLAZING SEPARATIONS PROPOSED

MARVIN WINDOWS :

SUPERIOR STUCCO (BRAND) :

GENERAL CONTRACTOR,

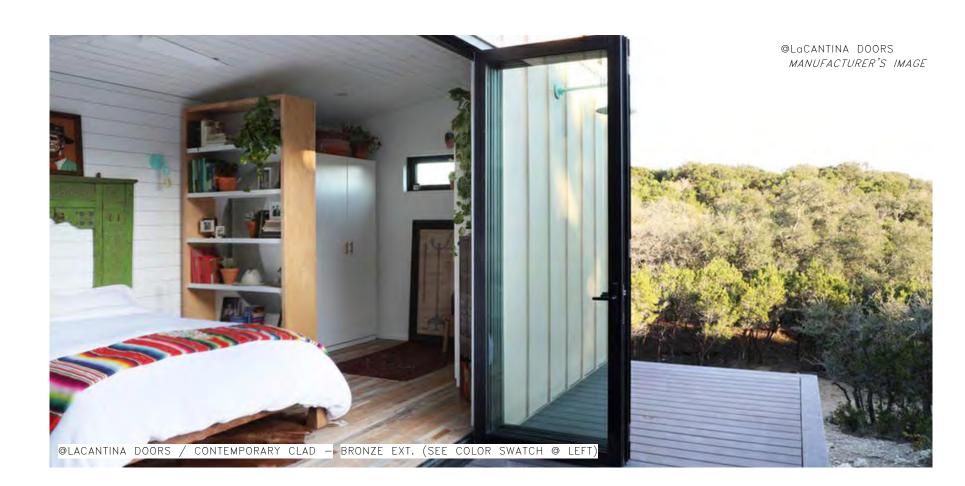
CABLE RAILING w/ WOOD CAP :



- MANUFACTURER'S IMAGE



@MARVIN WINDOWS / ESSENTIAL COLLECTION - BRONZE EXT. SHOWN - MANUFACTURER'S IMAGE;



LaCANTINA MULTI-PANEL DOORS :



#415 COCONUT **LRV 74** BASE A



\*OVERHANGS, TBD\*



CLAY TILE ROOFING :





LANDSCAPE WALLS :



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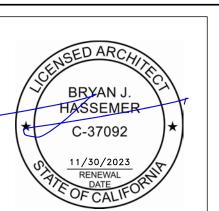
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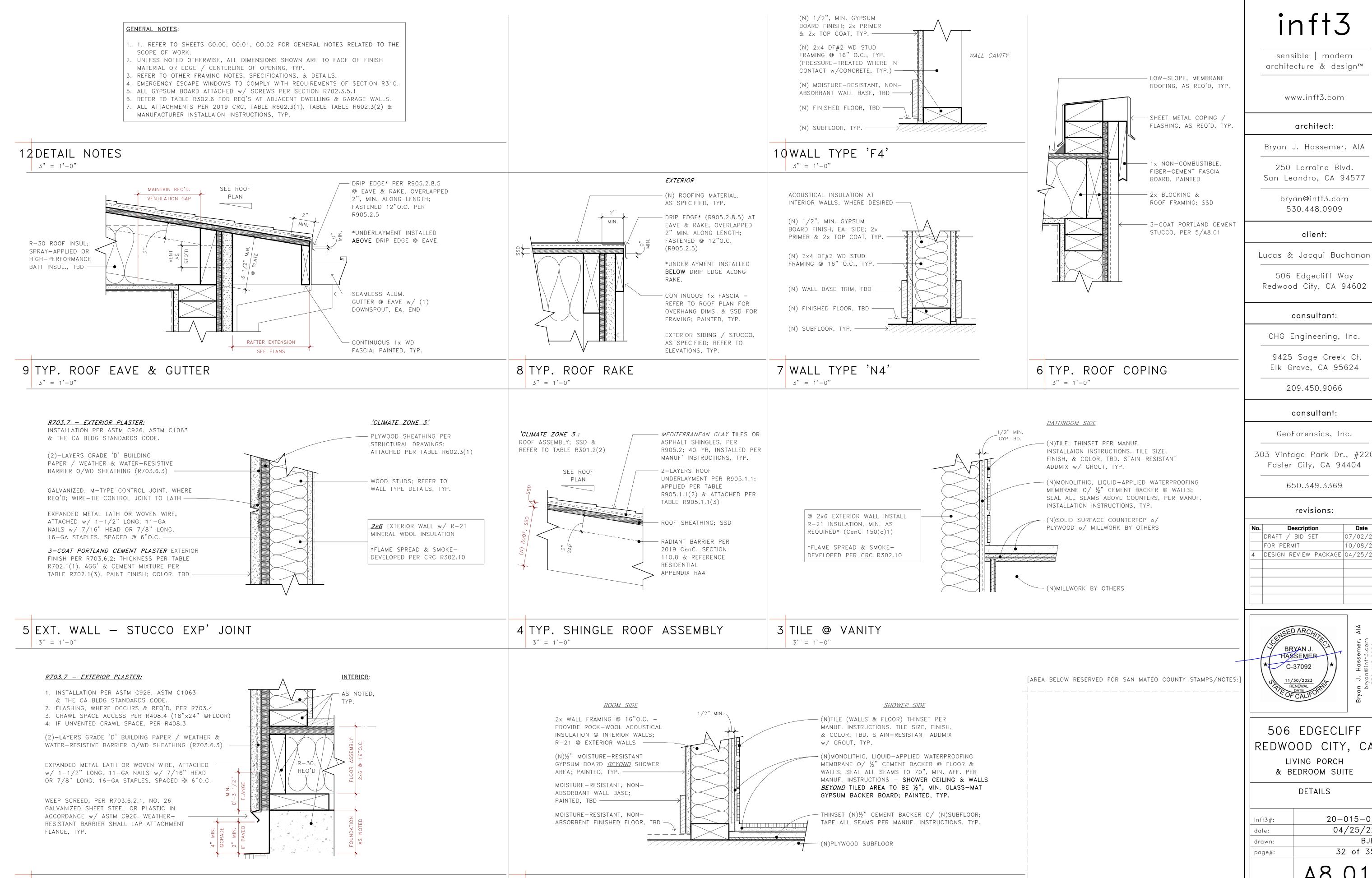


506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

DESIGN REVIEW / MATERIAL BOARD

20-015-01 04/25/22 31 of 35



1 WALL TYPE 'T1'

3" = 1'-0"

2 EXT. WALL - STUCCO @ BASE

3" = 1'-0"

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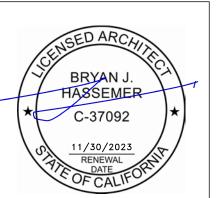
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revisions:

FOR PERMIT 10/08/	No.	Description Date	Date	
		DRAFT / BID SET 07/02/2	1	
4 DESIGN REVIEW PACKAGE 04/25,		OR PERMIT 10/08/2	1	
	1	DESIGN REVIEW PACKAGE 04/25/2	2	



506 EDGECLIFF REDWOOD CITY, CA

& BEDROOM SUITE

DETAILS

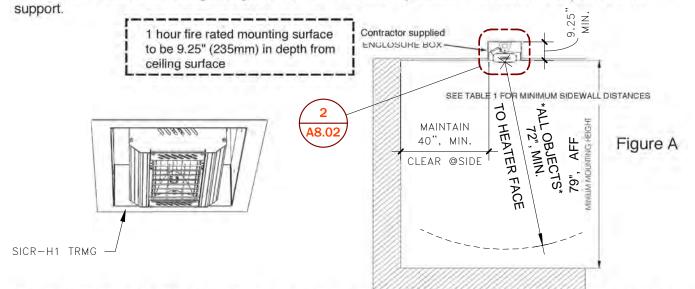
20-015-01 04/25/22 32 of 35

scale:

3" = 1'-0"

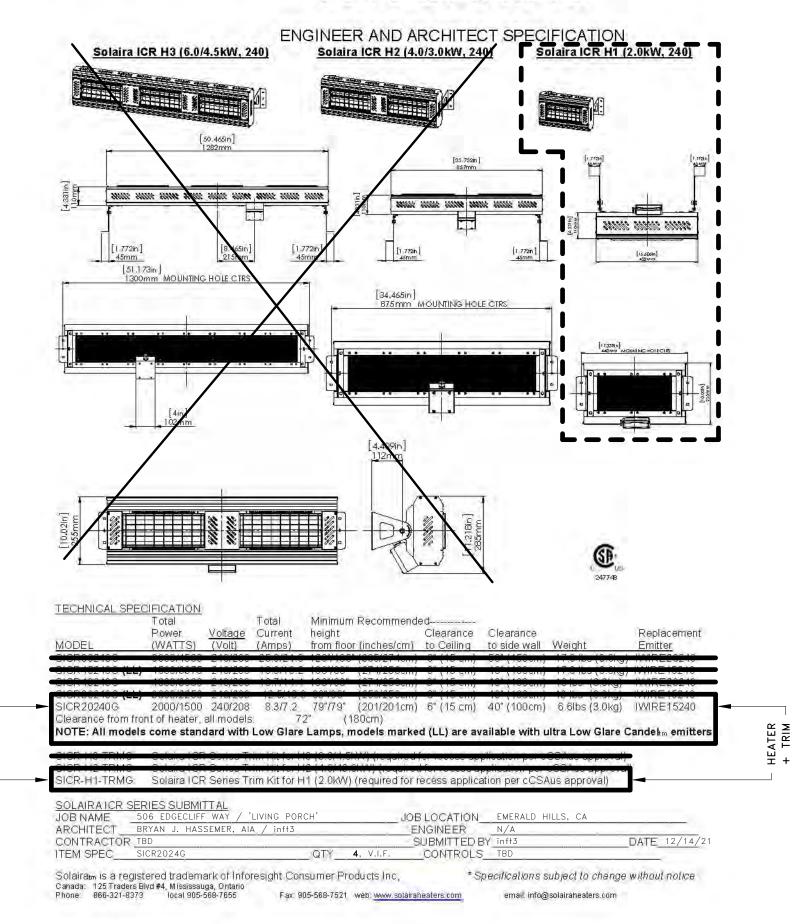
#### **WARNING: RISK OF FIRE**

- \* Installation of Trim Kit, Enclosure Box and associated wiring procedures should only be performed by qualified, licensed contractors to National Electrical Code (NEC), local code and applicable building code.
- \* Refer to applicable (H1, H2 or H3), approved Solaira ICR Series Instruction manual for cCSAus approved Safety and Installation information. THIS DOCUMENT IS NOT A SUBSTITUTE FOR APPOVED MANUAL Failure to follow instruction manual may cause fire, electric shock or injury to persons.
- \* See Figure A. below for typical recessed mounting arrangement
- \* Please refer to Table 1 of applicable (H1, H2 or H3), approved Solaira ICR Series Instruction manual for recomended positioning of heater with regards to minimum clearances to floor, sidewalls. DO NOT INSTALL IN CORNER! If installing near a corner, always ensure minimum sidewall distances are observed.
- \* Do not position heater near flammble materials such as furniture or curtains as this would present a fire hazard
- When recess mounting the heater, it MUST be accompanied with FLANGE KIT and an enclosure box (SUPPLIED BY CERTIFIED INSTALLING CONTRACTOR) made from a suitable material with 1 HOUR FIRE RATING.
- \* Enclosure box, heater and flange weight MUST be considered by contractor to ensure adequate structural



Manufacturer does not make recomendations regarding installation materials, affixment of heaters, trim kits or fire rated enclosure and assumes no responsibility for the installation.

# Solaira° ICR SERIES

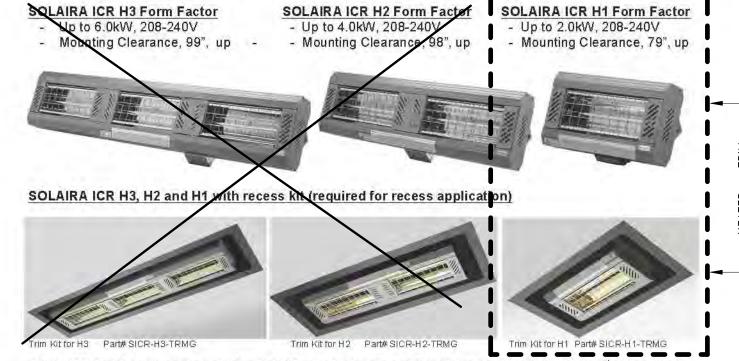


## Solaira°

ENGINEER AND ARCHITECT SPECIFICATION ICR SERIES are engineered for:

COMMERCIAL HIGH OUTPUT RADIANT HEAT LOW MOUNTING CLEARNACE TO CEILING (6" min) RECESS APPLICATION HIGH MOUNTING HEIGHT CEILING SUSPENDED OR WALL MOUNT

Solairam high performance, waterproof, shortwave infrared heaters are certified and suitable for outdoor/indoor use in commercial/Industrial applications and outdoor residential applications. Solaira shortwave technology is ideal for environments that require high radiant heating efficiency or outdoor environments.



Solaira ICR Series heaters will be cCSAus Listed for use in Canada and the U.S. and certified to UL 2021, 3<sup>rd</sup> edition Fixed and Location - Dedicated Electric Room Heaters-Electric and CSA C22.2 No. 46-13 Electric Air Heaters, Solaira ICR Series Heater may be wall hung, ceiling suspended OR recessed into ceiling structure per manufacturers recommended instruction manuals. Solaira ICR Series Heaters are suitable for indoor/outdoor in commercial industrial applications and outdoor use only in residential application. Solaira ICR series heaters are NOT suitable for indoor residential or household

Solaira ICR Series may be ceiling suspended, wall mounted or recessed into ceiling applications with recommended clearances and in the case of recess application, utilizing appropriate fire rated construction materials per instruction manuals.

Solaira ICR Series heaters will utilize only Solaira short wave emitter technology with peak infrared wavelength between 1000 - 1300 nm, Emitters will be manufactured utilizing tubular quartz with tungsten coil and shall be standard low glare or ultra low glare Candelm ,thermal shock resistant and will be terminated in a waterproof junction box attached to the fixture. Solaira ICR Series heaters will have safety guards on face of heater to protect against accidental contact with emitter lamp. Controllable Heat -Heaters can have variable heat control added as an option (see www.solairaheaters.com).

Solaira ICR Series heater enclosures and mounting brackets will be polyester powder coated, 0.9mm 1050 grade aluminum. Back mesh shall be Aluminum and accessories and all threaded hardware shall be stainless steel. Reflectors shall be gold coloured 87% reflectivity and manufactured from 0.8mm anodized aluminum. All units are supplied\* with adjustable wall or ceiling mounting bracket, safety wire guard.

\* Specifications subject to change without notice

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

#### **GENERAL NOTES:**

- PROVIDE 1-HR RECESSED ENCLOSURE (UL UXXXX) FOR 'HC1' FIXTURE
- PROVIDE MEMBRANE & THRU—PENETRATION FIREPROOFING PER CRC XXXXXXXXXXXX
- PROVIDE 30-MIN. WALL-MOUNTED TIMER/SWITCH FOR HEATER(S) @ PATIO AREA. MAX. WATTAGE @ 1500W FOR CONVENIENCE HEATING DEVICE.

## 1 SOLAIRA - PATIO HEATER & TRIM KIT

12" = 1'-0"

PROVIDE A FLOOR/CEILING ASSEMBLY AT THE RECESSED PATIO HEATER UNITS HAVING NOT LESS THAN A 1-HOUR FIRE-RESISTANCE RATING (UL U514) WHERE TESTED IN ACCORDANCE W/ ASTM E119, UL 263 OR 2019 CBC SECTION 703.3

WHERE REQUIRED TO BE FIRE—RESISTANCE RATED, <u>RATED</u> PENETRATIONS OF WALL OR FLOOR-CEILING ASSEMBLIES IN ACCORDANCE WITH R302.4

REVIEW ALL THROUGH-PENETRATIONS IN ACCORDANCE WITH R302.4.1

- D PIPES, FRAMING, ETC.
- USE <u>HILTI, FS-ONE MAX CAULK</u> @ THRU-PENETRATIONS, TYP. □ REFER TO 2/A8.04

**REVIEW ALL MEMBRANE PENETRATIONS** IN ACCORDANCE WITH R302.4.2

- STEEL ELECTRICAL BOXES, ETC. USE <u>HILTI, CP 617 PUTTY PADS</u> @ MEMBRANE PENETRATIONS, TYP.
- □ REFER TO 2/A8.04

*HORIZONTAL FIREBLOCKING*, USE 1/2" THICK GYPSUM BOARD ON 2x FRAMING, 10' HORIZONTAL SPACING, MAX. PER \$R302.11 R-19 INSUL, MIN. ---2×10 @ 16"0.C. — 7/8" RC-1 HAT CHANNEL @24"O.C. MAX. -SOLAIRA 'ICR-H1' INFRARED OUTDOOR HEATER 5/8" TYPE-X, EXTERIOR GWB @ CEILING, TYP. — NON-COMBUSTIBLE, FIBER-CEMENT SHIPLAP FINISH BOARD o/ 5/8" TYPE-X GYPSUM BOARD —— WRAP INTERIOR OF RECESSED FIXTURE POCKET w/ - PROVIDE SOLAIRA 'H1' 5/8" TYPE-X GYPSUM BOARD, EA. SIDE; FIRE TAPE RECESSED UNIT TRIM KIT, & SEAL PENETRATIONS, AS REQ'D. 1—HR DESIGN AS REQ'D; NOT SHOWN PER <u>UL L514. TESTED PER ANSI/UL263</u>

2 SOLAIRA - 1-HR HEATER POCKET

3" = 1'-0"

inft3

sensible | modern architecture & design™

www.inft3.com

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Bryan J. Hassemer, AlA

250 Lorraine Blvd. San Leandro, CA 94577

> bryan@inft3.com 530.448.0909

> > client:

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9425 Sage Creek Ct. Elk Grove, CA 95624

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consultant:

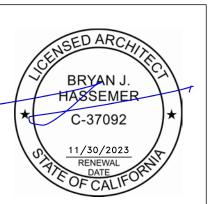
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
2	FOR PERMIT_rev2	11/10/21
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA LIVING PORCH

& BEDROOM SUITE

OUTDOOR PATIO HEATER BY 'SOLAIRA'

20-015-01 inft3#: 04/25/22 date: drawn: 33 of 35

As indicated

Charred log sets include an ember screen and additional embers that are to be placed at this stage.

- 1. Attach the ember screen to the burner by slipping it onto the back edge (center left to right) with the perforated section facing towards the back fireplace wall (Fig. 20-1).
- 2. Cover the surface of the ember screen with the additional glowing embers as shown in Fig. 20-2.

Place the glowing embers evenly over the entire surface of the screen. Break up any clumps that may have developed during shipment. Store unused embers for later use/replacement.

#### GRATE PLACEMENT

See Fig. 17-1.

PREPARE GRATE AND CENTER

1. Locate the grate (outside of the fireplace) and attach

the log locators to the 2 outer bars of the grate using the

provided screws and nuts (see Fig. 17-2 and Fig. 17-4).

the middle of the outer bars and oriented as shown in

Fig. 17-2. Temporarily place the front log at the front of

the grate, to correctly determine the log locator position.

Slide the log locators up against the rear of the front log.

Tighten the log locators in place. Remove the front log.

lock it in position. Ensure the assembly is centered from

Then remove the grate for future media placement.

Installation continued on next page

left to right. See Fig. 17-3 and Fig. 17-4.

Place the grate so that the bottom tabs on the log locator brackets fit over the back edge of the pan, locking it in position (see Fig. 20-3).

PLACE DECORATIVE WOOD CHIP (if applicable) Place the decorative wood chip in front of the valve, with at

least a 1/2" between it and the valve (see Fig. 20-4). CAUTION: Ensure the wood chip is placed at least 1/2" away from the valve to avoid overheating

and damage to the valve. If this minimum

requirement of 1/2" clearance is not possible. DO NOT use the wood chip. CAUTION: THE WOOD CHIP WILL BE HOT DURING AND AFTER OPERATION.

Installation continued on next page

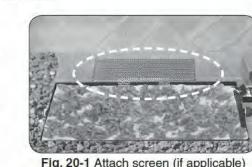


Fig. 20-1 Attach screen (if applicable)



Fig. 20-2 Cover screen with embers

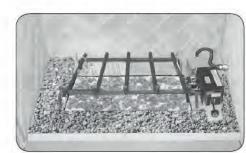


Fig. 20-3 Place grate

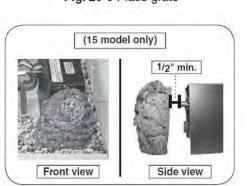


Fig. 20-4 Place wood chip (if applicable)

#### **INSTALLATION** (cont.)

#### SAND/VERMICULITE PLACEMENT

The sand/vermiculite supplied with the unit is specially selected for use with either natural or propane gas. It maximizes flame distribution and provides a cleaner burning flame.

CAUTION: Use only sand for natural gas burners and vermiculite for propane gas burners.

- Fill the <u>burner pan</u> completely with the sand/vermiculite (see Fig. 19-1). Avoid spilling the sand/vermiculite on the pilot assembly. DO NOT place sand/vermiculite on any other parts of the burner, valve, or heat shield.
- Slope the sand/vermiculite at the same angle as the <u>burner pan.</u> This is important to ensure quiet lighting and even flame distribution. See Fig. 19-2.

#### **GLOWING EMBERS PLACEMENT**

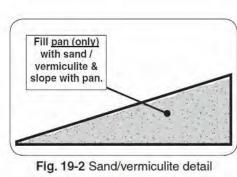
Sprinkle the glowing embers lightly and evenly over the entire surface of the sand/vermiculite as shown in Fig. 19-3. Break up any clumps that may have developed during shipment. Store unused embers for later use/replacement.

KEEP LAVA GRANULES/COALS, SAND/ VERMICULITE, EMBERS, AND ALL FOREIGN OBJECTS AWAY FROM THE PILOT ASSEMBLY, VALVE ASSEMBLY, AND HEAT SHIELD(S) DURING MEDIA PLACEMENT AND AT ALLTIMES. SEE FIG. 19-4.

Installation continued on next page



Fig. 19-1 Place sand/vermiculite



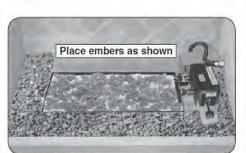


Fig. 19-3 Place glowing embers



Fig. 19-4 Keep pilot, valve, & shield(s) clear

Fig. 16-1 Connect gas supply

Fig. 16-2 Center burner in fireplace

RECOMMENDED BOX PLACEMENT:

#### **INSTALLATION (cont.)**

#### HEAT SHIELD PLACEMENT

TO PREVENT DAMAGE AND FAILURE:

IT IS CRITICAL THAT THE HEAT SHIELD(S) BE PLACED CORRECTLY OVER THE REGULATOR AND/ OR VALVE PRIOR TO OPERATION.

#### TO PREVENT OVERHEATING:

Place the valve heat shield over the valve as shown in the applicable image of Fig. 18-1. It should rest flat above the valve. For manual, 15, and 17 models, place the regulator heat shield as shown in the applicable image of Fig. 18-1. It should rest flat above the regulator.

Keep the area above and below the heat shield(s) clear of decorative media or any other objects at all times. Important: Ensure any lines/tubes/wires from the valve do not interfere with heat shield placement.

Prior to proceeding with installation, perform a lighting test (see lighting instructions for lighting your burner). Allow the unit to completely cool after testing.

#### **IMPORTANT**

For all valves, the air MUST be purged from the gas line before the pilot will light and burn properly. The time needed to purge will depend on the length of the gas line to the unit and the amount of time since the unit or gas line was last used. It may take several minutes before all the air is purged and the pilot will light and burn properly. Reference the LIGHTING INSTRUCTIONS section in this manual.

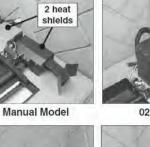
#### LAVA GRANULES/COALS (optional)

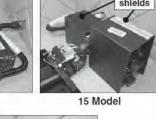
Optional lava granules and lava coals are available for decorative purposes. Contact your dealer for ordering information. If purchased, follow the steps below.

- Spread the lava granules on the floor of the fireplace, around the front and sides of the burner system (see Fig. 18-2). Repeat this process for the <u>lava coals</u> (on top of the already placed lava granules).
- Note: DO NOT place any lava media on the burner system. behind it, on or within the heat shield, or under a knob if one exists at the front of the valve (see Fig.

If applicable, the lava media may be placed around the receiver/switch box. Leave the front of the receiver/ switch box clear for control access.

Installation continued on next page







be placed over regulator and/or valve be kept clear of all media and objects

Fig. 18-1 Place heat shield(s)

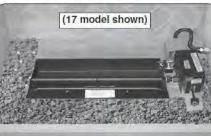


Fig. 18-2 Place lava media (if option purchase



Fig. 18-3 Proper lava media placement

**OWNER'S MANUAL** 

**DESIGN CERTIFIED** 

ANSI Z21.60

FOR INSTALLATION IN

SOLID-FUEL BURNING

FIREPLACES\*

CAREFULLY BEFORE STARTING

INSTALLATION OF THE UNIT.

CSA 2.26

#### **SPECIFICATIONS**

Real Fyre gas burner systems must be installed only in a wood burning fireplace with the minimum firebox dimensions and venting requirements met (see following tables). This appliance is designed to burn with yellow flames; adequate ventilation is absolutely necessary.

#### **Product Specifications**

		Mii	Minimum Fireplace Size		BTU Rating			
Mo	Model	Width *		D	ACCOUNT.	N. O		1.00
		Front	Rear †	Depth ‡	Height	Nat. Gas		L.P. Gas
-0.15	10/10	20"	22"	148	470	101.	-	eek-
-0.45	10/20	20"	24"	101	471	701:		15k
-	10 £4	04"	20"	10"	17"	ook		OOK
	15-30	40"	34"	16"	17"	95k		-751-
	15.00	46	40"	101	171	1101		001-
- 170		100	71-75	71.74				2-32-33-3
		Import	ant Inform	ation Rega	ding Dimen	sions		
For 02 mo	odels, add 2' h is at corres	Import allow for cen to both front ponding dept depth requir	tering of the and rear w h.	e unit. ridth.			<i>ı</i> ).	
For 02 mo	odels, add 2' h is at corres	allow for cen to both front ponding deptedepth require	tering of the and rear w h. ement begi	e unit. idth. ns inside of			y).	
For 02 mo	odels, add 2' h is at corres	allow for cen to both front ponding dept depth requir	tering of the and rear w h. ement begi	e unit. idth. ns inside of	the lip (see F		v).	
For 02 mo	odels, add 2' h is at corres lip exists, the	allow for cen to both front ponding dept depth requir	tering of the and rear with. ement begi Table 1 - I	e unit. idth. ns inside of	the lip (see Fecifications	-ig. 8-1 below		

#### Table 2 - Technical Data (if applicable)

Fireplace Requirements

These requirements MUST be met:

Ash Lip/Recess **DO NOT** install this burner system in a fireplace with an ash lip or recess greater than 3/4". See Fig. 8-1.

If this burner system is installed in a fireplace with glass doors, and the doors have a frame that obstructs airflow to the fireplace floor, the frame MUST have slots (above the fireplace floor) that allow adequate ventilation. See Fig. 8-2.

Remote receiver battery type

Important: The opening (with doors fully open) MUST meet the minimum fireplace size front width and height requirements. See Table 1 and Fig. 8-2. Important: The glass doors MUST be fully open when the burner is in operation.

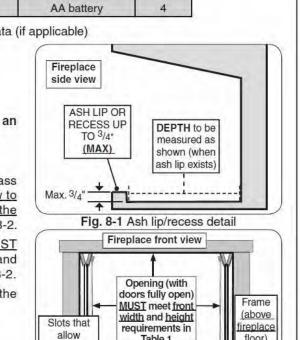


Fig. 8-2 Glass doors frame ventilation (if applicable)

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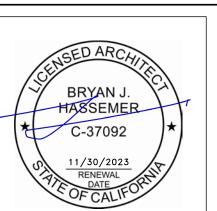
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

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#### revisions:

No.	Description	Date	
2	FOR PERMIT_rev2	11/10/2	
4	DESIGN REVIEW PACKAGE	04/25/22	



& BEDROOM SUITE

[AREA BELOW RESERVED FOR SAN MATEO COUNTY STAMPS/NOTES:]

# REDWOOD CITY, CA

04/25/22 34 of 35 12" = 1'-0'

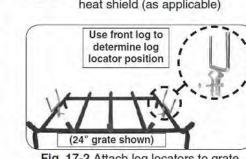
506 EDGECLIFF LIVING PORCH

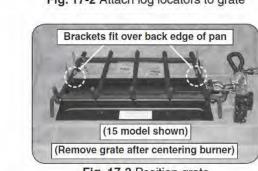
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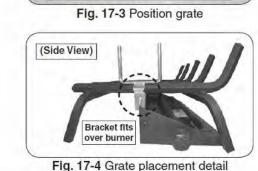
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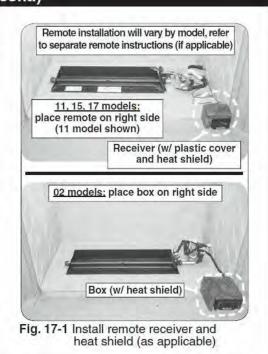
DIM. @ LEFT = 1" : DRAWING TO SCALE

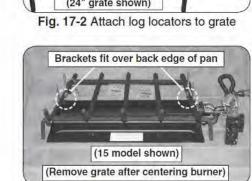
**INSTALLATION** (cont.) 9. Remote Receiver Install (11, 15, & 17 models only) Remote installation will vary by model, refer If this unit was shipped with a remote, read and follow to separate remote instructions (if applicable) the separate remote instructions (packed with remote) for complete remote installation. Reference Fig. 17-1. 10. Decorative Heat Shield (if applicable) 11, 15, & 17 Models: Ensure the remote receiver is properly installed (with the plastic cover over it). Then (11 model shown) place the decorative heat shield over the remote receiver. Receiver (w/ plastic cover and heat shield) 02 Models: Place the decorative heat shield over the 02 models: place box on right side remote receiver / switch box (see Fig. 17-1). CAUTION: THE REMOTE RECEIVER / SWITCH BOX AND DECORATIVE HEAT SHIELD WILL BE HOT DURING AND AFTER OPERATION.

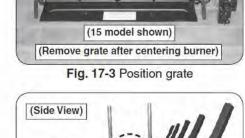


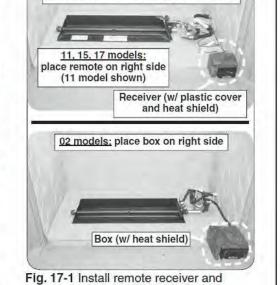


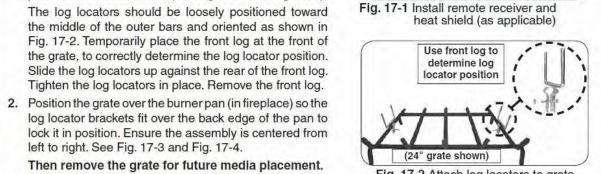


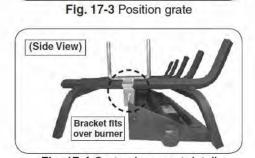












#### INSTALLATION

The Real Fyre burner system must be installed by a qualified professional service technician. Instructions must be followed carefully to ensure proper performance and full benefit from the burner system. Check to be sure the burner system is designed and labeled for the type of gas (natural or propane gas) supplied to fireplace. Fireplace floor must be level, clean, and smooth (see FIREPLACE SAFETY INFORMATION section).

WARNING: Failure to position the parts in accordance with these diagrams or failure to use only parts specifically approved with this appliance may result in property damage or personal injury. When a stainless steel burner system is installed outdoors, ensure it is not directly exposed to the elements (precipitation,

rain, wind, etc.). REFERTOTHE PARTS LIST WHEN FOLLOWING INSTALLATION INSTRUCTIONS.24" standard burner model shown here. Stainless steel models install the same.

- **INSTALL BURNER** 1. MAKE SURE FIREPLACE GAS SUPPLY IS TURNED OFF. 2. Locate the gas-supply stub inside the fireplace and remove
- the cap, if attached (reference Fig. 16-1). CAUTION: When removing the cap, make sure the stub does not turn, loosening the connection inside the wall. Attach the nut end of the flex connector to the adapter found

on the valve or, if attached, on the regulator behind the valve.

- Tighten securely. Place the burner system in the fireplace. Center the burner from left to right in the fireplace. See Fig. 16-2. Be sure gas to the fireplace is off. Remove the adapter connected to the flex connector. Attach the adapter to the gas-
- supply stub using a pipe compound resistant to all gasses. Tighten securely. Then attach the open end of the flex connector to the adapter. Tighten securely (see Fig. 16-1). Ensure the pan rests level on the fireplace floor after connection. Adjust the pan if necessary. 6. LEAK TEST: Turn on the fireplace gas supply, and test at all connections for leaks using the appropriate soapy water solution. If bubbles appear, a leak is present. Turn off the gas and tighten at all connections. Repeat until no leaks are
- the local gas company or dealer. NEVER USE A FLAME TO CHECK FOR LEAKS. For manual models, continue to PREPARE GRATE section. At this stage the burner system and remote batteries are

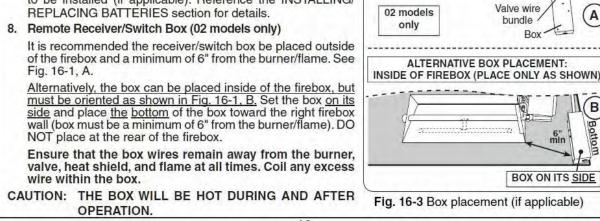
present. If a leak persists, turn off the gas supply and contact

to be installed (if applicable). Reference the INSTALLING/ REPLACING BATTERIES section for details. 8. Remote Receiver/Switch Box (02 models only) It is recommended the receiver/switch box be placed outside

of the firebox and a minimum of 6" from the burner/flame. See Fig. 16-1, A. Alternatively, the box can be placed inside of the firebox, but must be oriented as shown in Fig. 16-1, B. Set the box on its side and place the bottom of the box toward the right firebox wall (box must be a minimum of 6" from the burner/flame). DO NOT place at the rear of the firebox.

wire within the box.

OPERATION.



## RH PETERSON co. Standard and Stainless

Steel Burner Systems: G45- \*\* -02(M)(P)(-SS) G45- \*\* -11(M)(P)(-SS) G45- \*\* -15(M)(P)(-SS) G45- \*\* -17(M)(P)(-SS)

(16/19, 18/20, 24, 30, 36)

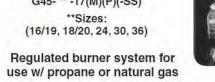


WARNING personal injury, or loss of life.

- WHAT TO DO IF YOU SMELL GAS:

BOX ON ITS SIDE

OUTSIDE OF FIREBOX



If the information in this manual is not followed exactly, a fire or explosion may result, causing property damage,

- vicinity of this or any other appliance.
- Open a window. Do not try to light any appliance.

· Do not touch any electrical switch; do

If you cannot reach the gas supplier.

not use any phone in the building. · Immediately call the gas supplier from a neighbor's phone. Follow gas supplier's instructions.

Installation and service must be performed by a qualified professional service technician service agency, or the gas supplier.



INSTALLER: CONSUMER:



**G45 VENTED GAS LOG SETS** 

IMPORTANT: READ THESE INSTRUCTIONS The Real Fyre gas log set is to be installed only in a solid-fuel burning fireplace with a working flue and

> must conform with the National Fuel Gas Code. ANSI building codes.

> > ventilation is absolutely necessary. To comply with certification, listings, and building code acceptances, and for safe operation and proper performance of this gas log set, you must use ONLY Peterson Real Fyre parts, decorative media, and accessories. Use of any other controls, parts, or accessories not designed for use with Real Fyre gas log sets is prohibited. This will void all warranties, certifications, listings, and building code approvals, and may cause property damage, personal injury, or loss of life. Peterson will not be liable for any damages

\*Note: Solid-fuels shall not be burned in a fireplace where a decorative appliance is installed.

constructed of noncombustible material. The installation, Do not store or use gasoline or other including provisions for combustion and ventilation air flammable vapors and liquids in the

Z223.1/NFPA 54, or the CSA B149.1, Natural Gas and Propane Installation Code, and applicable local A damper clamp is included to maintain the minimum permanent vent opening and to prevent full closure of the damper blade. The chimney damper MUST be fully opened when burning the unit. The unit is

designed to burn with yellow flames; thus adequate

caused by this misuse.

call the fire department.

This appliance is only for use with the type of gas indicated on the rating plate. NATIONAL We recommend that our gas hearth products be installed nd serviced by profes-

Leave this manual with the appliance. Retain this manual for future reference

Robert H. Peterson Co. • 14724 East Proctor Avenue • City of Industry, CA 91746

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consultant:

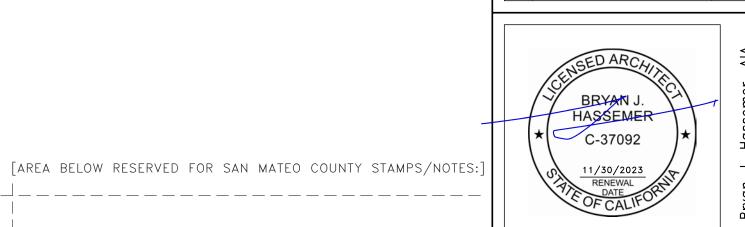
GeoForensics, Inc.

303 Vintage Park Dr., #220 Foster City, CA 94404

650.349.3369

revisions:

No.	Description	Date
2	FOR PERMIT_rev2	11/10/2
4	DESIGN REVIEW PACKAGE	04/25/22



506 EDGECLIFF REDWOOD CITY, CA

LIVING PORCH & BEDROOM SUITE

SITE-BUILT FIREBOX BY 'ISOKERN'

inft3#: 04/25/22 drawn: 35 of 35

12" = 1'-0"

FIRESTOP CP 617 PUTTY PADS

HILTTI

**Product description** 

Applications for use

**Advantages** 

on hands

No electrical conductivity

Quick and simple to install

Red list compliant

Installation instructions

Recommended application temperature

Storage and transportation temperature

Temperature resistance range

Mold and mildew performance

Tested in accordance with

LEED v4.1 compliance

Dimensions (LxWxH)

Acoustics performance

Hilti Firestop
Saving lives
through innovation
and education

Package includes

Curing time

LEED VOC

Surface burning characteristics

**Technical Data** 

Chemical basis

junction boxes, and large steel boxes

specified by specific UL approval)

Asbestos, formaldehyde and LABS free

No oil migration. Putty remains flexible over time

 Excellent adhesion to gypsum, metal and plastic Hilti-branded paper has integrated IFU on each pad

A moldable firestop putty designed to help protect electrical outlet boxes,

Protection of electrical outlet boxes, large steel boxes and junction boxes

When two outlets on opposite sides of the wall are located within a single

stud / cavity or within 24" measured horizontally (not back-to-back unless

Applied by hand, no tools required. Pad can be molded without leaving residue

No methylene diisocynate, phthalates, volatile solvents or abestos fibers

See Hilti literature or third-party listings for complete application and installation

Butyl rubber

32° to 104° F

23° to 104° F

-40° to 104° F

20 pcs per box

Non-curing

Class 0 (ASTM G21-96)

Flame spread 15 (ASTM E84)

Smoke development 10 (ASTM E84)

UL 1479, CAN / ULC-S115, ASTM E814

Complies with CDPH standard method v1.2-2017

CP 617 6"x7": 6"x7"x1/8" (15x18x0.3 cm)

CP 617 XL 9"x9": 9"x9"x1/8" (23x23x0.3 cm)

59 (relates to specific construction) ASTM E90

General gypsum wall assemblies with wood or metal studs

Can be used for commercial and residential applications

Product information

#### High-performance intumescent firestop sealant FS-ONE MAX

For effectively sealing most common through penetrations in a variety

- For use on concrete, masonry and drywall
- Mixed and multiple penetrations Metal pipe penetrations: copper, steel and EMT Insulated metal pipe penetrations: steel and copper Plastic pipe penetrations: closed or vented

## Advantages US-produced: "Buy American" compliant

One product for a variety of common through penetrations Cost-effective, easy-to-use solution Water-based and paintable





Cost-ellective, easy-to-use solution	SCHOOL STATE	
Water-based and paintable	Technical data	
Industry-leading VOC results	Chemical basis	Water-based acrylic dispersion
Ethylene glycol-free	Approx. Density	84.3 lb/ft³
	Color	Red
FBC	Application temperature range	41 - 104 °F
Promos Colentinui.	Approx. cure time <sup>1)</sup>	4 mm/3 days
rated	Temperature resistance range	-4 to 212 °F
Chemical Mold and mildew resistant resistant	Mold and mildew performance	Class 0 (ASTM G21-96)
resistant	Mold and mildew resistance	Yes
FILL, VOID OR CAVITY MATERIAL FOR USE IN THROUGH-PENETRATION FIRESTOR SYSTEMS	Surface burning characteristics UL 723 (ASTM E84)	Flame spread: 0 Smoke development: 10
US APPROVED THE SEE UL FIRE RESISTANCE DIRECTORY 66Y7	Tested in accordance with	UL 1479, ASTM E814, ASTM E84, CAN/ ULC-S115, ASTM G21, ASTM E9
Intertek	California State fire marshal approval	CSFM Listing 4485-1200:0108 for FS-ONE MAX Intumescent Firestop



Order Designation	Package Content	Item number
FS-ONE MAX 20 oz foil (3 case + disp)	1x Fail pack dispenser manual CS 270-P1, 75x Firest op sealant FS-ONE MAX 20 oz fail	3530252
FS-ONE MAX 10 oz tube (1 case)	12x Firestop sealant FS-ONE MAX 10 oz cartridge	3530249
FS-ONE MAX 5 gallon (18 pails)	18x Firest op sealant FS-ONE MAX 5 gallon pail	3530263
FS-ONE MAX 20 oz foil (1 case)	25x Firest op sealant FS-ONE MAX 20 oz foil	3530250
FS-ONE MAX 20 oz foil (3 cases)	75x Firest op sealant FS-ONE MAX 20 oz foil	3530251
FS-ONE MAX 20 oz Foil-Pallet	600x FSONE-MAX 20 az fail, 290x Bulk Shipping Canditian	3534713
FS-ONE MAX 10 oz cartridge		2101531
FS-ONE MAX 5 gallon pail		2101533

R Full: 20

& Split: 50

H Full: 20

& Split: 60

R Full: 30

& Split: 60

H Full: 30

& Split: 75

Special Note: Full firebrick is required for the bottom of the Maximus Linear fireplace.

Hilti. Outperform. Outlast. Hilti, Inc. (USA) 1-800-879-8000 | www.us.hilti.com | en español 1-800-879-5000 | Hilti (Canada) Corp. 1-800-363-4458 | www.hilti.ca

## f 💟 🔠 📴

## Specifications - 28, 36, 42, 48

the firebox/smoke dome assembly include the placement of a 4" x 4" x 3/8" minimum steel angle across the firebox opening. This item can

Framing & Weight Model Minimum Framing Weight (38 1/2"w) x (61 1/2"h) x (29 1/2"d) 1040 lbs (46"w) x (71"h) x (29 1/2"d) 1305 lbs (52"w) x (71"h) x (29 1/2"d) 1425 lbs 48 (56"w) x (71"h) x (29 1/2"d) 1600 lbs

Plan View

CP 617 6"x7"

20

f y w lin

20

CP 617 XL 9"x9" 20 373387

**Product information** 

Front View	Side View
A	<b>←</b> H →
	Damper
В В	
→ D → C	c
Ġ L	

	μ	4		Damper	4-
В			B		
Ā	E .	Ċ	ć		
¥ ¥			<u> </u>		Ц

Model	А	В	С	D	E	F	G
28	22 1/4"	60 1/4"	28 1/2"	19 3/4"	31"	35 1/2"	9 1/2
36	33"	69 3/4"	38"	27 1/4"	38 3/4"	43"	9 1/2
42	33"	69 3/4"	38"	33 1/4"	44 1/2"	49"	9 1/2'
48	43"	69 3/4"	38"	37 1/4"	48 1/2"	53"	9 1/2"

Model	В	С	Н	1	J	K	L.	M
28	60 1/4"	28 1/2"	25 1/4"	28 3/4"	31 1/2"	16"	8"	5"
36	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"
42	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"
48	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5"

Model	D	E	F	S	T
28	19 3/4"	31"	35 1/2"	28"	23"
	27 1/4"	38 3/4"	43"	28"	23"
42	33 1/4"	44 1/2"	49"	28"	23"
48	37 1/4"	48 1/2"	53"	28"	23"

#### 2 HILTI - FIRE-SAFE CAULK & PUTTY PADS 12" = 1'-0"

PROVIDE A FLOOR/CEILING ASSEMBLY AT THE RECESSED PATIO HEATER UNITS HAVING NOT LESS

263 <u>OR</u> 2019 CBC SECTION 703.3

D PIPES, FRAMING, ETC.

ACCORDANCE WITH R302.4.2

WITH *R302.4.1* 

THAN A 1-HOUR FIRE-RESISTANCE RATING (UL U514)

WHERE TESTED IN ACCORDANCE W/ ASTM E119, UL

WHERE REQUIRED TO BE FIRE-RESISTANCE RATED,

ASSEMBLIES IN ACCORDANCE WITH R302.4

*REVIEW ALL MEMBRANE PENETRATIONS* IN

D STEEL ELECTRICAL BOXES, ETC.

<u>RATED</u> PENETRATIONS OF WALL OR FLOOR—CEILING

<u>review all through—penetrations</u> in accordance

STANDARD FIREBRICK SIZES: SOKERN' Enhancements **Firebrick** Fulls: 9" x 4-1/2" x 2-1/2" Splits: 9" x 4-1/2" x 1-1/4 Soaps: 9" x 2-1/4" x 1-1/4"\* Firebrick Options and Quantities \*Red & Cream Firebrick ONLY for Isokern Fireplaces All available in fulls & splits. Red & Cream available in soaps. Red & Soapstone are special order. In wood burning applications, full 2.5" thick firebrick is recommended off the floor and backwall of the Isokern fireplace. Isoset firebrick mortar is required for installing ALL firebrick in Isokern fireplaces. H = Herringbone R = Running Bond R Full/Split: 100 R Full/Split: 100 H Full/Split: 120 H Full/Split: 120 H Full/Split: 120 R Soaps: 200 R Soaps: 200 R Soaps: 200 H Soaps; 240 H Soaps: 240 MAGNUM R Full/Split: 100 R Full/Split: 100 R Full/Split: 120 R Full/Split: 130 R Full: 60 SHOWN HERE: H Full/Split: 120 H Full/Split: 140 H Full/Split: 140 H Full/Split: 150 & Split: 160 & Split: 180 R Soaps: 200 R Soaps: 240 R Soaps: 240 R Soaps: 260 H Full: 60 H Full: 60 Soaps: 240 H Soaps: 280 H Soaps: 280 H Soaps: 300 & Split: 180 & Split: 200 must be used off the side walls of nese units. For the Magnum 60 & 72 R Full: 270 R Full: 290 nodels, you will need 60 additional R Full: 250 & Split: 70 & Split: 70 & Split: 70 ull or split firebricks. To achieve & Split: 70 is for the Magnum+ models, you H Full: 240 H Full: 270 H Full: 300 H Full: 320 vill need 70 additional full or split & Split: 70 & Split: 70 & Split: 70 firebricks in ALL Magnum 60-120" if using a running bond pattern. per extension R Full/Split: 100 R Full/Split: 130 R Full/Split: 20 H Full/Split: 120 H Full/Split: 150 H Full/Split: 120 H Full/Split: 120 H Full/Split: 25 R Soaps: 200 R Soaps: 260 R Soaps: 200 R Soaps: 40 R Soaps: 200 H Soaps: 240 H Soaps: 240 H Soaps: 240 H Soaps: 50 R Full/Split; 100 R Full/Split: 100 H Full/Split: 120 H Full/Split: 120 H Full/Split: 120 R Soaps: 200 R Soaps: 200 H Soaps: 240 H Soaps: 240

R Full: 40

H Full: 40

& Split: 70

& Split: 80

R Full: 50

& Split: 80

H Full: 50

& Split: 100

#### **GENERAL NOTE**:

UTILIZE 'ISOKERN' FIREBRICK UNIT TO INSTALL 'REAL FYRE' VENTED NATURAL GAS LOG SET; REFER TO SHEET A8.03

1 ISOKERN - FIREBRICK

12" = 1'-0"

DIM. @ LEFT = 1" : DRAWING TO SCALE

20-015-01

	Model	В	С	Н	1	J	K	L.	N
iew	28	60 1/4"	28 1/2"	25 1/4"	28 3/4"	31 1/2"	16"	8"	5
>	36	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5
Side	42	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5
S	48	69 3/4"	38"	25 1/4"	28 3/4"	41"	16"	8"	5

Mode	el D	E	F	S	T
28	19 3/4"	31"	35 1/2"	28"	23"
28 36	27 1/4"	38 3/4"	43"	28"	23"
42	33 1/4"	44 1/2"	49"	28"	23"
48	37 1/4"	48 1/2"	53"	28"	23"