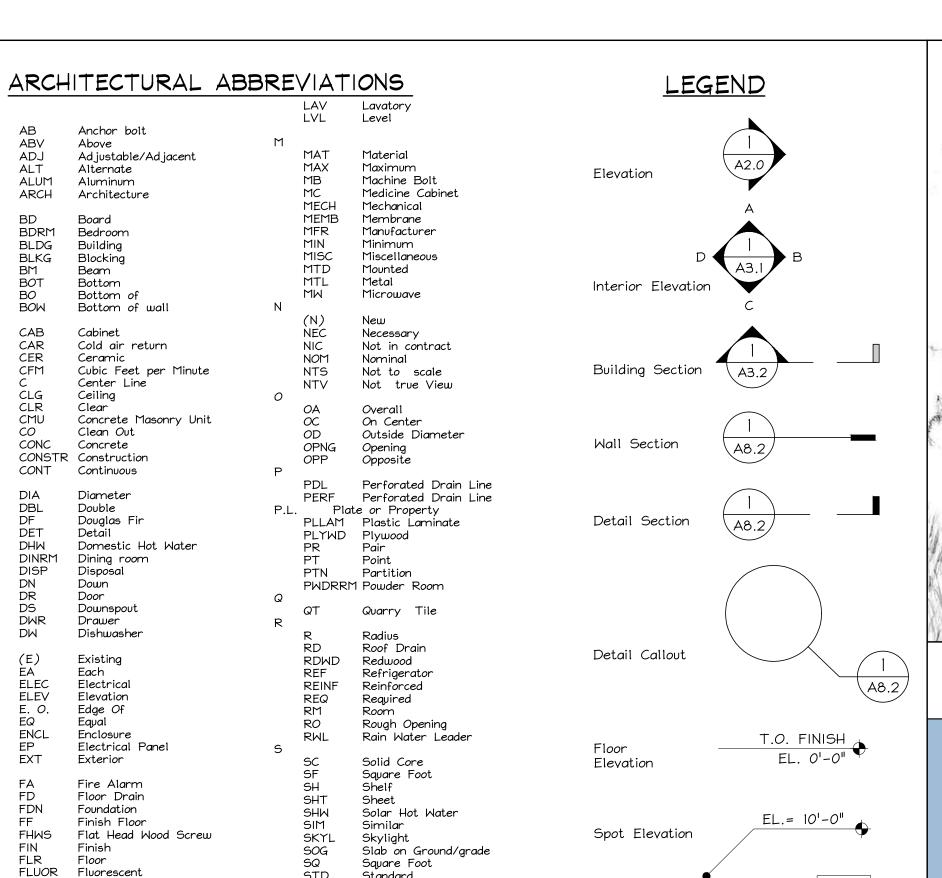
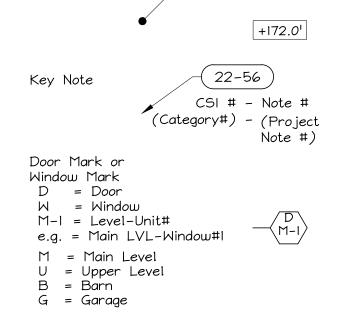
# Bewley Residence

# Audubon Montara, CA 94037

BUILDING IMAGE





Appliance Mark

### Property Line or Plate CODES / AGENCIES

PROJECT DATA SEE AI.2 FOR ZONING DATA

Face of Stud

Footing

Furring

Galvanized

Glazing

GLULAM Glue Laminated

GYPBD Gypsum Board

Header

Hardwood

Hardware

Horizontal

Insulati*o*n

Interior

Laminate

Height

Ground Fault

Hollow Core

Heating Hot Water

Insulated Concrete Forms

Garbage Disposal

Glue Laminated Beam

Galvanized sheet metal

FURR

GLB

HDR

HDWD

HDWR

HHM

Project Name Bewley Residence Project Addresss 1455 Audubon Ave. (South end) Montara, CA 94037

Project Owner Sirje Bewley P.O. Box 370453 Montara, CA 94037 A.P.N. 036-310-180

San Mateo County P.L.N. 2010-00079 Planning Dept Permit # Zone

Planned Agricultural District Concrete Masonry or Cast Concrete, Type of Construction Light Framed Wood

Occupancy Type Number of Stories

2 Stories with a Crawlspace Fire Sprinklers Yes (County Requirement)

Fire Marshal Half Moon Bay Fire Protection District

"Build It Green" New Home

Green Building Rating GreenPoints Checklist, 2006 Edition

San Mateo County \_\_points (Pending) (Based on S.M.C. Green Building Ordinance #04411 admendment Rating Standard adding Chapter 14 to the County Ordinance Code.

See Civil Drawings

See Landscape Drawings

SMD SSD

TEL

T¢G

THRD

TOW TYP

UON

**VERT** 

VGDF

MIND

W/O WP WR

MWM

With

Warm Air Register

Water closet

Water heater

Water-Resistant

Welded Wire Mesh

Window

Without.

Waterproof

Number or Pounds

See Mechanical Drawings See Structural Drawings Symmetrical Towel Bar Tight Drain Line Telephone Tongue and Groove Threaded Top of Concrete

Top of Wall Typical Unless Otherwise Noted Vertical Vertical Grain Doug Fir

> F-01 Finish Mark (P-0I) Plumbing Mark

A-01

2016 California Building Code 2016 California Residential Code 2016 California Mechanical Code 2016 California Plumbing Code 2016 California Electrical Code 2016 California Energy Code 2016 California Fire Code

2016 California Green Building Code • Fitzgerald Area of Special Biological Significance. • S.M.C. Water Efficient Landscape Ordinance. Municipal Regional Stormwater Permit: C.3 \$ C.6

• Coastside Fire District Ordinance 2013-03 • State's Model Water Efficient Landscape Ordinance (MWELO)

Coastal Commission. State Water Board Special Protection. Army Corp. of Engineering. CA Fish and Wildlife / U.S. Fish and Wildlife. San Mateo County Geotechnical San Mateo County Public Works San Mateo County Environmental Health San Mateo County Fire Marshal Coastside Fire Protection District Sanitary District Agricultural Advisory Committee Regional Water Quality Board Bay Area Air Quality Management

And other local, State, and Federal regulations.

Biologist: W.R.Ă. Environmental Consulting . 2169-G East Francisco Blvd. T. 209.599.5100 San Rafael, CA . 415.454.8868 Contact: Geoff Smick, Principal smick@wra-ca.com

Architect:

Contact:

Henri Mannik, a+e

5429 Telegraph Ave.

h.mannik@hm-ae.com

Oakland, CA 94609

. 510.652.1511

HM,a+e 5429 Telegraph Ave. Oakland, CA 94609 T. 510.652.1402 Contact: Henri Mannik, Architect Henri Mannik, P.E. h.mannik@hm-ae.com

125 East Main St.

Ripon, CA 95366

mikels7454@verizon.net

Mike Turnrose

Surveyor:

Contact:

Structural Engineer:

T. 415.677.7300 Contact:

Geotech:

Contact:

Consultants

Joel Baldwin

P.O. Box 795

Pacifica, CA 94044

earthinvestigations4@comcast.net

T. 650.557.0262

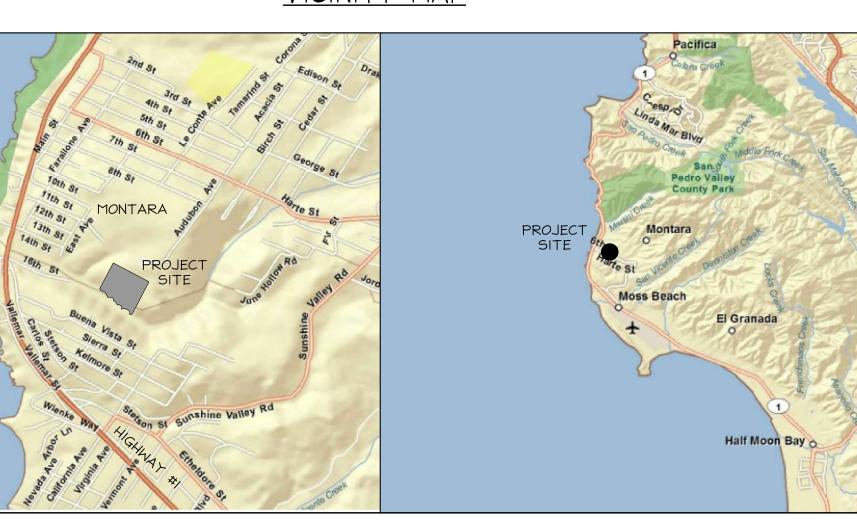
Turnrose Land Surveying Earth Investigations

T. 650.726.5990 Contact: Ken Coverdale Bruce Atkinson

Contractor: Sierra West Builders 440 Capistrano T. 650.728.0960 Contact:

C3.0 C4.0

# VICINITY MAP



### PROJECT DESCRIPTION

The project consists of a new single family residence located in the coastal town of Montara, California.

Development will be roughly limited to the North East quadrant of the property by the existing tree line and the existing horse stables on the adjacent property. There will be an access drive from Audubon Avenue and around an inner meadow area. The drive passes an studio/barn

The site design includes water storage features and stormwater management which encourages ground water absorption. A large portion of the site will be untouched.

The house will be a durable structure constructed of concrete/masonry with an insulated cavity and outer masonry veneer. The walls utilize insulated thermal mass to retain solar heat gain. The building shape and glazing enable interior spaces to have natural light from at least two sides.

Where possible, the building systems are accessible for repair and maintenance. Salvaged materials will be used where

possible. The structural detailing considers the proximity to the San Gregorio fault.

# DESIGN TEAM

Title-24 Consultant: Civil Engineer: Landscape Architect: Blue Sky Design Gabel Associates Sherwood One Union St., 2nd Floor 495 Purisma Way 20825 Nunes Ave. Castro Valley, CA 94546 San Francisco, CA 94111 Half Moon Bay, CA 94109 T. 510.428.0803 Contact: Michelle Austin info@blueskydesignsinc.com

> Half Moon Bay, CA 94109 Mark Stegmaier

INTERIOR DETAILS

INTERIOR DETAILS

MECHANICAL AND PLUMBING PLAN

MECHANICAL AND PLUMBING PLAN

+ = REVISED AND INCLUDED IN SET

SPECIFICATIONS

SPECIFICATIONS

ELECTRICAL PLAN

ELECTRICAL PLAN

STRUCTURAL DRAWINGS

TITLE 24

TITLE 24

X = INCLUDED IN SET

A9.3

A10.1

A10.2

A11.1

M.2

E.1

E.2

DRAWING INDEX

 $\times |\times| \times |\times| \times |\times| \times$ COVER, ABBREVIATIONS AND DRAWING INDEX ZONING DATA AND NOTES  $\times | \times | \times | \times | \times | \times |$  $\times | \times | \times | \times | \times | \times | \times$ PLOT PLAN  $\times | \times | \times | \times | \times | \times | \times |$ SITE PLAN  $|\times|\times|\times|\times|\times$ BUILDING SITE PLAN: MAIN HOUSE BUILDING SITE PLAN: STUDIO AND GARAGE |X|X|X|X|X $|\times|\times|\times$ FIRE ACCESS AND FIRE SITE DETAILS |X|X|X|X|SITE PLAN-EXTERIOR LIGHTING PLAN OVERALL LAYOUT SHEET  $|\times|\times|\times|\times|$ |X|X|X|X|ACCESS ROAD PLAN & PROFILE  $|\times|\times|\times|\times|$ DRIVEWAY PLAN & PROFILE GRADING # DRAINAGE PLAN |X|X|X|X|DETAILS  $|\times|\times|\times|\times|$ EROSION CONTROL PLAN  $|\times|\times|\times$ EROSION CONTROL DETAILS  $|\times|\times|\times$ EROSION CONTROL DETAILS LANDSCAPE SITE PLAN |X|X|X|XA2.2 MAIN FLOOR PLAN  $|\times|\times|\times$  $|\times|\times|\times$ JPPER FLOOR PLAN A2.4 ROOF PLAN  $|\times|\times|\times$ WORKROOM AND BARN PLAN  $|\times|\times$  $|\times|\times|\times|\times$ A2.7 GARAGE PLAN EAST ELEVATION |X|X|XA3.2 SOUTH ELEVATION |X|X|XWEST ELEVATION |X|X|XA3.3 NORTH ELEVATION |X|X|XA3.4 TRANSVERSE SECTIONS-LIVING ROOM A3.5 |X|X|XA3.6 TRANSVERSE SECTIONS-ENTRY HALL AND STAIRS  $| \times | \times | \times$ TRANSVERSE SECTIONS-ELEVATOR AND DINING ROOM TRANSVERSE SECTIONS-MASTER BEDROOM TRANSVERSE SECTIONS-FAMILY ROOM |X|X|XLONGITUDINAL SECTION A3.10 BARN ELEVATIONS A3.11  $\times | \times | \times | \times$ |X|X|X|XA3.12 BARN ELEVATIONS BARN SECTIONS  $\times | \times | \times | \times$ A3.14 GARAGE ELEVATIONS GARAGE ELEVATIONS A4.1 AINDOW SCHEDULE A4.2 DOOR SCHEDULE A4.3 FINISH SCHEDULE INTERIOR ELEVATIONS NTERIOR ELEVATIONS A5.3 NTERIOR ELEVATIONS REFLECTED CEILING PLAN REFLECTED CEILING PLAN A7.1 VERTICAL CIRCULATION A8.I EXTERIOR DETAILS EXTERIOR DETAILS A8.3 EXTERIOR DETAILS EXTERIOR DETAILS INTERIOR DETAILS A9.1

Project

**BEWLEY** RESIDENCE

Audubon Ave. Montara, CA 94037 A.P.N. 036-310-180

Architect

HM,a+e

Henri Mannik Architecture and Engineering

> 5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p

> > Consultant

 $\times$ 

 $\times$ 

 $\times$ 

 $\times$ 

X

Stamp

Printing Date

03.18.2010 Planning Permit 09.12.2011 Coordination 09.13.2011 Planning 10.05.2011 Coordination 10.11.2011 Coordination 07.19.2013 Coordination 08.08.2013 Coordination 10.07.2013 Coordination 10.21.2013 Coordination 11.05.2013 Coordination 11.07.2013 Constraints Map Constraints Map 11.25.2013 03.19.2014 Coordination D.R.Pre-app conf. 03.26.2014 Design Review 08.12.2014 Story Pole 11.14.2014 D.R. coord 06.08.2015 07.10.2015 Design Review 10.23.2015 Story Pole Site Drainage Rev. 04.10.2016 05.20.2016 Foundation Rev. Contractor Set 06.29.2016 Coordination 09.13.2016 Civil Rev. 09.22.2016 Planning 10.18.2016 Title 24 11.03.2016

> HM,a+e Job Number 2005,01

12.05.2016

10.06.2017

Coordination

Planning

Sheet Title **COVER** 

Sheet Number

© Henri Mannik, a+e 2017

as modified by state and local jurisdiction. 3. Nothing in the Drawings or in these Specifications is to be construed as requiring or permitting work that is contrary to these rules, regulations and codes.

4.All work and materials shall be in full accord with the latest rules and regulations of the Safety Orders of the Division of Industrial Safety, California Labor Code and all applicable federal, state and/or local health regulations. 5. Any reference to standards shall comply with requirements of latest revision.

6. Construction shall comply with all State of California Title-24 energy code requirements and mandatory measures per Compliance certification herein.

### DRAWING USE:

7. These architectural drawings are copyrighted instruments of service of Henri Mannik, Architecture and Engineering (HM, a+e), for the sole use for this project. If the contract has been terminated with HM,a+e, these Construction Documents in whole or part may not be used for any construction. Use of these drawings are not transferable without a new contract. Reproductions of these drawings in part or whole are not permitted without the permission of HM.a+e.

8. The Construction Documents include these Drawings and Notes, Specifications and all revisions, additions and addenda's.

9. Unless otherwise shown or noted, all typical details shall be used where applicable. All details shall be considered typical at similar conditions. Drawings do not illustrate every detail but show only special requirements to assist contractor. 10.Do not scale drawings.

11. Specifications take precedence over drawings. 12. Any existing building or site data is based on observation and/or existing information only. Destructive testing, removal of existing finishes, equipment disassembly, and material testing was not preformed for the as-build

condition, data, and code analysis. 13. The Contractor and Special Inspector shall contact the Architect regarding any questions of interpretation of these

specifications and drawings. 14. The Contractor shall thoroughly examine the drawings and specifications, and existing site conditions. By entering into the work, the Contractor states that the documents are sufficient to provide a complete installation of pertinent portions of the work. Report any questions or requests for clarification to HM, a+e immediately. If, in the opinion of any contractor, any construction details shown or otherwise specified are in conflict with accepted industry standards for quality construction or might interfere with his full guarantee of the work, he/she is to notify HM, a+e immediately for clarification. No omission or lack of detailed requirements in the drawings or specifications is to be construed as allowing any materials or workmanship below industry standards.

15.Confirm with HM, a+e that these contract documents are the most recent issue before layout and construction. 16. Verify all existing conditions and proposed dimensions at the job site. Compare architectural drawings with structural, mechanical, and electrical and plumbing drawings before commencing work. Notify Architect of any discrepancies and do not proceed with affected work until they are resolved. 17. The Architect and the Architect's consultants have no

responsibility for any modification, revisions, or substitutions of the work shown in the Construction Documents unless approved in writing by the Architect. 18.HM, a+e CAD files may only be used as backgrounds for shop drawings after HM, a+e receives a signed waiver from each party using the files, addressing the limitations and

### GEOTECHNICAL REPORT

proper use of these CAD files.

19. For geotechnical information, see the Geotechnical Investigation Report prepared by Earth Investigations Consultants (650-557-0262) and dated October 30, 2009. 20. Follow the recommendations of the report including but not limited to: site preparation, grading, compaction, trenches, foundations, slabs, driveways, drainage, and maintenance.

### BIOLOGICAL MITIGATION MEASURES, PRECONSTRUCTION BIOLOGICAL SURVEY, & AREA OF DISTURBANCE

21.All work shall comply with local, City, County, State, and Federal environmental and biological regulations. The specific regulations listed are for coordination. Other regulations may apply.

22. See the Biological Report by W.R.A. Environmental Consultants of San Rafael dated ...... biological information relvant to the project and for information, protection, and procedures on sensitive environmental habitants and

23. See Site Plans and W.R.A.'s Biological Report for identified Environmentally Sensitive Habitat Areas (E.S.H.A.) protected by the CA Coastal Commission's and San Mateo County's

Local Coastal Program (L.C.P.) 24. See Site Plans for the protected riparian corridor defined

by San Mateo County regulations. 25. See Site Plans and W.R.A.'s Biological Report for required protection of the James V. Fitzgerald Area of Special Biological Significance (ASBS). Water Board Resolution No. 2012-0012 and San Mateo County's Fitzgerald ASBS Pollution

Reduction Program. 26. The drawings and reports contain required measures and procedures to protect sensitive environmental areas. Install and maintain measures during construction.

27. Prior to the commencement of grading, excavation, vegetation removal, installation of utilities, and the construction of site improvements and structures, a biological survey is required to idendify any flora, fauna, or raptor nesting listed in the Biological Report by W.R.A. Environmental Consultants. The contractor shall allow time for the Biological Survey and any potential mitigation

measures identified in the report. 28. See sheet A1.3 for area to be surveyed for flora, fauna, and raptor nesting. No work, site modifications or disturbances shall occur outiside of the indicated Area of Disturbance. During construction, field stakes shall identify the Area of Disturbance. Replace damaged or missing

29. No work or site modifications temporary or permanent are permitted within the Riparian Setback shown on the site

30. Any repair or maintenance of the existing well to ensure domestic capacity and quality shall be approved by the California Conservation Corp (C.C.C.).

REQUIREMENTS FOR ARCHITECTURAL COPPER 31. Copper from buildings may harm aquatic life. Water that comes into contact with architectural copper may contribute to impacts, especially during installation, cleaning, treating, or washing. Patination solutions typically contain acids. After treatment when the copper is rinsed to remove these acids, the rinse water is a source off pollutants. County prohibits discharges to the storm drain of water used in the installation, cleaning, treating and washing of architectural

32. The following Best Managemnt Practices (BMPs) must be implemented to prevent prohibited discharges to storm

33. During installation use the following BMPs. If possible, purchase copper materials that do not have a pre-patina or have been pre-patinated at the factory with acid removed. 34.If patination is done on-site, implement one or more of the following BMPs:

34.1. Discharge the rinse water to landscaping. Ensure that the rinse water does not flow to the street or storm

drain. Block off storm drain inlet if needed. 34.2. Collect rinse water in a tank and pump to the sanitary sewer. Contact your local sanitary sewer agency before discharging to the sanitary sewer. 34.3. Collect the rinse water in a tank and haul off-site

for proper disposal. 35. Consider coating the copper materials with an impervious coating that prevents further corrosion and runoff. 36. During maintenance of architectural copper implement the following BMPs during routine maintenance activities, such as

power washing the roof, re-patination or re-application of impervious coatina. 37. Block storm drain inlets as needed to prevent runoff from

entering storm drains. 38. Discharge the wash water to landscaping or to the sanitary sewer (with permission from the local sanitary sewer agency). If this is not an option, haul the wash water off-site for proper disposal.

39. Contractor and owner are responsible for a discharge to the storm drain of non-stormwater generated by installing, cleaning, treating or washing copper architectural features. Violators of the municipal storm water ordinance may be subject to a fine. 40. See San Mateo Countywide Water Pollution Prevention

Program for additional requirements or updates to standards.

See County information on the James V. Fitzgerald Area of

Special Biological Significance. The project is located within the protected watershed. 41. See biological report for additional measures. Stricter measures on the biological report govern.

### EROSION CONTROL

42. See Civil drawings for storm water runoff control and construction erosion control.

43. Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, and petroleum products, chemicals, wash water or sediments, rinse water from architectural copper, and non-stromwater discharge to storm drains and watercourses. 44. Store, handle, and dispose of construction materials/wastes

properly to prevent contact with storm water. 45.Do not clean, fuel, or maintain vehicles on-site, except in a designated area where wash water is contained and treated.

46. See sheet A1.3 for add'1 info.

### SITE GRADING 47. See Civil drawings for information on grading.

SITE DRAINAGE

48. See Civil drawings for information on site drainage. 49. See BUILDING DRAINAGE on Al.2 for additional information.

LANDSCAPE 50. See Landscape drawings for planting and site 51. Follow State's Model Water Efficient Landscape Ordinance

TREE REMOVAL

(MWELO).

28. See Site plans for trees to be removed. Do not remove trees unless specifically noted on drawings and permitted. 29. Trees with a trunk circumference of 55 inches measured 4'-6" above the average surface of the ground have a special county status.

30. Repair and upgrade the existing well for domestic capacity and quality. 300' deep with conc lining @ surface. 31. See S.M.C Environmental Health Division's "Certification for an Individual Water System" dated Dec 18, 2015. 32. Well Testing by HR Henry Plumbing. 650-728-1131.

50. Project is in a US EPA Zone 2. Vent crawlspaces and foundation gravel beds to vent and remove Radon from the ground.

### DIMENSIONS:

51.Unless specifically noted on the drawings, all wall dimensions are to face of framing or face of structure, unless otherwise shown on masonry walls. See drawings for walls, columns, and other items dimensioned to center lines. Window dimensions are to centerline of window or door unless otherwise noted. Vertical dimensions are to

finish floor unless noted otherwise. 52. Contractor shall verify and be responsible for all job site measurements and levels pertinent to their work. If they differ from Contract Drawings or reviewed Submittals, discrepancies shall be brought to HM, a+e's attention immediatelv.

53.It is the subcontractor's responsibility to establish sub floor elevations.

### FINISHES:

54.HM, a+e shall observe and advise on work in order to produce harmony of matching finishes, textures, colors, etc. throughout various components of the project. 55.All interior wall and ceiling finishes shall comply with CBC Chapter 8.

56.Stucco shall be three coat - 7/8 " min. thick exterior stucco application per CBC, unless otherwised noted on drawings. See masonry details for additional info. 57.Doors and panels of shower and bath enclosures and adjacent wall openings within 60 inches above a standing

surface and drain inlet shall be fully tempered, laminated safety glass or approved plastic and shall comply with CBC. 58. Shower area walls shall be finished water resistant board to a height of not less than 70" above drain outlet. See drawings for elevations.

### MATERIALS AND PRODUCTS:

59.Unless otherwise shown or noted, follow Manufacturer's recommendations for all products used on this project. 60.All materials and equipment are to be installed in strict accordance with the latest edition of manufacturer's written installation instructions and specifications. Generic materials not specified by manufacturer are to be installed in accordance with recommendations of applicable trade associations (For example, Concrete Steel Institute, Gypsum

Association, etc.) 61. Substitutions may only be considered if submitted in writing. The burden of proof of the proposed substitution is on the

62. Shop drawings, design/build items and product literature shall be submitted and reviewed by the General Contractor and Architect, before fabrication. All submittals shall have a clear 3.5"x7" space reserved for shop drawing stamps by the General Contractor, Architect, and Engineer. If the submitted sheets do not have sufficient room, a cover sheet with a table of contents and sufficient space for stamps may be submitted. Each shop drawing submittal to HM, a+e shall consist of one reproducible copy on bond, to be marked and returned by the Architect and one copy for each specific reviewer to keep including the architect and each applicable consultant. Additional copies for submission will be returned unmarked. Submit shop drawings well in advance of fabrication; allow at least three weeks for the Architect to review, and additional time for review by the consults and forwarding between the Architect and General Contractor. Allow time for revisions and re-submittal, if required. Shop drawings and submittals shall be dated, and each update shall be identified with a revision number. All items on the shop drawings that vary from the Drawings, alter details, or extrapolate from similar details, shall be circled by a cloud with the note "Architect Verify". Minor re-detailing due to clarification and coordination mark-ups on the shop

drawings by the Architect and Engineer shall be expected:

included at no cost to the Owner. Added

shop drawing re-detailing up to 5% of total effort shall be

fabrication/installation costs or credits due to such re-detailing may be submitted. The following items shall be submitted:

FIRE PROTECTION: 63. See sheet A1.7 for additional info. 64. The building shall be fully protected with a modified NFPA 13D residential fire sprinkler system as required by the

65. Discharge sprinkler test water to sanitary sewer or to cistern. See notes in mechanical room plan, A2.1. 66. Provide draft stops and fire blocking as required by CBC.

BUILDING AND STRUCTURE DRAINAGE: 67. Unless otherwise noted, provide perimeter drains, perforated drain pipe, drain rock, and drainage blanket around entire building foundation and at building and site retaining walls. Extend drains to daylight with a slope of 1/16-1/8" per foot, unless otherwise noted on the drawings.

Drain to daylight and to well-drained, gently sloped areas, or drywells as required. Follow the recommendations and construction documents of the Geo-technical Engineer, Civil Engineer, or requirements of local jurisdiction. 68. The Contractor shall provide all temporary erosion controls during the work. See Civil drawings

EXTERIOR LIGHTING: 69. See Electric site plan and building elevations for agency approved lighting design. 70.All exterior lighting shall meet county and other agency

requirements. 71. San Mateo County zoning requirements: Design reviews section 6565.20(F).4.

72. The Contractor shall provide mock-ups where noted in the Construction Documents. 73. The Mock-ups shall consist of actual materials, colors,

techniques, methods and assemblies used in the project. The level of skill in the mock-up shall match the level of skill used in actual construction. 74. The mock-up shall be an example of all similar work in

the project. Do not proceed with any work represented by the mockup until the mock-up has been approved by the Architect 75. At the start of the work, the contractor shall provide to the architect a schedule for mock-up submittals.

76. Submit actual mock-ups well in advance of fabrication; allow at least one week for initial architectural review after notification that the mock-up is complete and accessible. Provide additional time for revisions and re-submittals, if required. 77.Re-detailing due to review of the mockup shall be

expected. This re-detailing up to 10% of total effort of the

proposed size of the mock-up for approval by the Architect

work represented by the mockup shall be included at no cost to the Owner. Added fabrication/installation costs or credits due to such re-detailing may be submitted. 78.Unless a specific mock-up size is noted, provide adequate size and scale to judge the nature of materials, material patterns, variations in material, relationships of parts, and the mock-up in context. The contractor shall submit the

before fabrication of the mock-up. 79. Mock-ups shall remain accessible and protected during construction until the completion of all work which is represented by the mock-up. Provide on site a designated and identified location for mock-up storage. Do not destroy or alter mock-ups without the approval of the architect unless otherwise directed. At the completion of the work, if requested, provide the mock-up to the Architect.

80. The Following items shall be mocked up: <u>Description</u> Garden Walls Dry stack sample of stone Sample of any movable paying Pavina Material Tree Location Review trees while in pots Masonry Finish Stucco Finish

Floor Finishes Trim Stain/Paint JOB SITE: 81.At all times, the Contractor shall be solely and completely responsible for the conditions of the job site. The responsibility includes the safety of people, property, and all necessary independent reviews of these conditions. The Architect's and the Architect's Consultant's job site visits are not intended to include review of the adequacy of the Contractor's safety measures. The Contractor shall take all precautions necessary to protect workers, and public from injury; protect from damage all existing utility lines,

structures, and property, on and adjacent to the project site; and keep the job site and adjoining premises free from accumulations of waste and dangerous materials resulting from the Work. The Contractor shall not bury or burn rubbish on Owner's premises. Shoring and bracing of the soil, the existing structure, and the new structures shall be the responsibility of the contractor and the contractor's

consulting structural engineer. 82. The Architect is not responsible for means and methods. 83. Contractors shall supervise and direct the pertinent work, inspect all work in progress and materials as they arrive for compliance with the Contract Documents, and reject defective work or materials immediately upon performance or delivery; The contractor shall deliver, store, and handle all materials and products in a manner which will prevent their damage and deterioration, and the contractor shall make all repairs or replacements necessary at no additional

cost to the Owner in the event of damage. 84. Prior to commencement of any portion of work, the Contractor shall carefully inspect and verify that work is complete to the point where new work may properly commence and all areas of discrepancy have been fully resolved. In event of failure to do so, the subcontractor shall be responsible for correction of any errors at no expense to the Owner.

85.It is the Contractor's responsibility to maintain a complete and organized set of construction documents pertinent to their work at the project site at all times when work is in progress. At the end of the project, provide to the client an As-Built set of drawings showing the actual built project including any revisions, alterations, modifications, and

substitutions. 86. Contractor shall survey the existing building to locate all existing floor elevations, face of framing, column centerlines, and interior and exterior face of wall, in order to locate new alignments, centerlines, face of framing, face of finishes, and clearances.

87. Remove all abandoned plumbing, electrical, and mechanical items and equipment. 88. The contractor shall protect any occupied areas against dust

and fumes during construction. The site shall be left broom clean and tidy at the end of each day. 89. The contractor shall remove and dispose of any hazardous materials generated during the work. Follow standards, codes, and regulations on the safe handeling, removal, and disposal of these hazardous materials.

SUSTAINABLE MEASURES: 90. Contractor shall minimize construction waste. Salvage and recycle all construction and demolition materials.

91.Use Material with recycled content

92. Use Green Point or LEED for Homes. Follow measures and requirments specified in the Construction Documents to meet the requirements. 93. Use FSC Certified wood for framing where noted. 94.Provide cement replacement with slag or fly ash where

95. Use low VOC interior paints and interior finishes. 96.Use materials with a 000 mile radius. 97.Provide \_\_ air changes per hour. See mech drawings.

# ARCHITECTURAL SUBMITTALS

WATER 985575MePluAIN GSBMbTJTAbemains breathable A plan showing all components of the fire protection water systemENSDa1DFDeNGTHEGitted to the Building Inspection Section of San Mateo County or City of Half Moon Bay for review and approval by the Coastside Fire Protection District and shall include the following:

1. Size, location and type of all water supply tanks showing vent and outlet locations and sizes. 2.A complete description and diagram showing the water piping layout. Include water source (e.g., supply lines, wells, springs, community water system tap.)

3. Size, type, location and depth of cover for all piping including domestic/fire sprinkler supply and hydrant supply. 4. Size, type and location of all control valves, fittings, required pumps (with specifications), electrical service, and all structures.

5. Size, type, location and capability of fire hydrants. 6. Elevation of water tank, hydrant and sprinklered buildings. 5.REFERENCE: NFPA 1142, CFC Section 508, \$ Appendix B, BB. CA Code of Regulations, Title 14 Section 1275.00-1275.20. CFPD Ordinance 2009-01. Coastside Fire Protection District document "FPE-005, 9/11/09 Rev."

### INSPECTIONS

1. Provide tests and inspections for all items as required by the 2013 California Building Code and all applicable local

ordinances. 2. The Owner shall retain an independent testing lab to perform all required testing and inspection.

3. The Contractor is responsible for coordinating with the testing lab to schedule all required tests and inspections.

4. The following items shall be inspected 4.1. HYDRANT PRESSURE TEST & FLUSH. The installing contractor shall pressure test and flush the underground fire hydrant supply pipe as required. The flush and

pressure test require verification by County Fire Marshal. 4.2. FIRE SPRINKLER PRESSURE TEST AND FLUSH. Prior to connecting the underground fire sprinkler supply pipe to the fire sprinkler riser, the pipe shall be pressure tested and flushed by the installing contractor, as required. If the underground piping is not to be connected to the riser immediately, the pipe shall be capped to prevent contamination.

5. See consultant drawings for observations not listed. 6. Architect does not provide inspection services.

# ARCHITECTURAL OBSERVATIONS

1. The following completed items will be observed by the Architect on site. For all layouts, allow time and labor for reasonable modifications at no expense to owner. Observation is for review of intent and not a detailed inspection or observation of all items. The following is not a list of separate site visits. Multiple items will be observed per visit, and the contractor shall allow time in the construction schedule for the Architect to see multiple items per trip when reasonably possible. The Contractor shall notify the Architect at least five working days prior to concealing any architectural items. The Architect will then determine if a site visit is appropriate. Notification shall include the following items:

> Items marked for removal Items marked for demolition Items marked for reuse. Demolition Site layout Gradina Roadwork Site utility location and layout Septic layout and installation Site drainage Site underground drainage cleanouts Site equipment and electrical Site fire protection systems Site walls, fences, and structures Site finishes Foundation layout Foundation waterproofing

Foundation drainage and any concealed drainage Foundation insulation Concrete formwork Wall layout Partiti*o*ns Furring Blocking and supports within walls Wall, floor, ceiling, and roof penetrations 26. Chases, soffits, and raceways Stair layout All Guardrail and handrail layout

Doors Windows and skylights Weather barriers Building wraps Rain screens Flashing and seals Deck waterproofing

Insulati*o*n

Roofing Siding and stucco Veneers Rainwater leader location

Gutters

Plumbing sound attenuation Cabinet layout Equipment layout Electric outlet, switch, and lighting layout

Lighting units prior to installation Smoke and CO2 Alarms Sprinklers Plumbing fixture locations 23. Plumbing clean-outs 24. Grab bars

25. HVAC and ducts/piping Gypsum Wall Board and GWB Finish 27. Fire Rated Wall Board 28. I-Hour Fire Assemblies

Fire blocking and barriers Substrate installation Finishes Paneling

Flooring pattern and joint layout Flooring Trim Painting 38. Stains and sealers

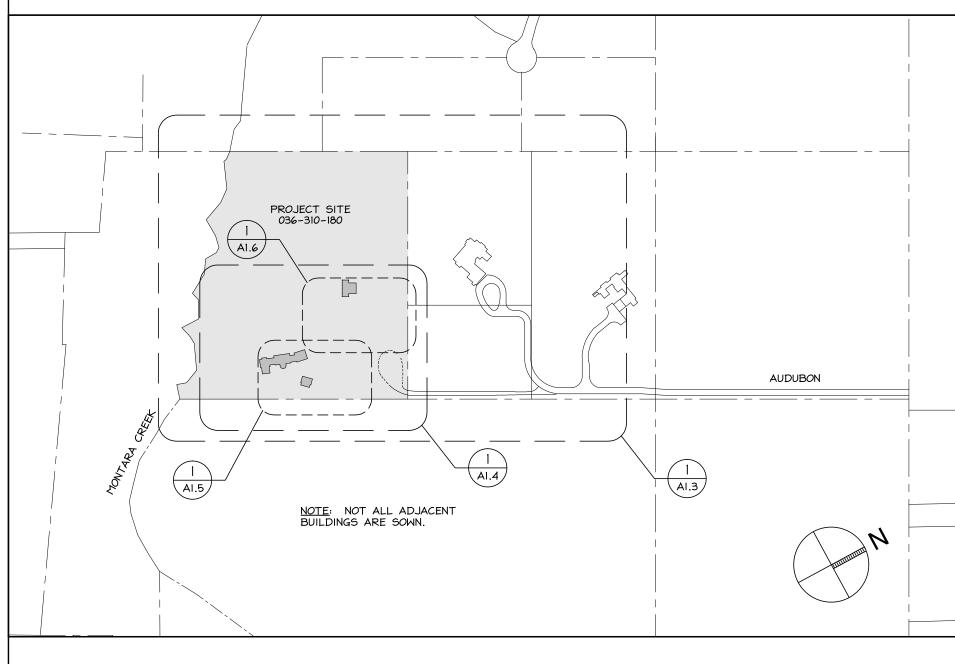
2. See consultant drawings for observations not listed.

Tiling

39. Furnishings

40. Final Cleaning

# PROJECT KEY



# ZONING DATA

GENERAL NOTES ON ZONING DATA

I. SEE AI.3 FOR ADD'L INFO HOUSE FLOOR AREA

1,580. S.F. UPPER LEVEL MAIN LEVEL 2.920. S.F.

TOTAL OF HABITABLE AREA 4,500. S.F. HOUSE FOOTPRINT 2,920. S.F.

BARN FLOOR AREA

PLANNING ITEM

F.A.R.

TOTAL

HOUSE

SEE AL3 FOR ADD'L INFO

STUDIO/BARN FLOOR AREA/FOOTPRINT 1,146. S.F.

GARAGE FLOOR AREA 554. S.F. 6,200. S.F. TOTAL FLOOR AREA

REQUIRED

LOT SIZE 357,148 S.F. 8.199 ACRES LOT WIDTH 910 Ft. FRONT YARD 50 Ft. 254 Ft. REAR YARD Varies. Riparian 200 Ft. RIGHT SIDE (WEST) 566 Ft. 20 Ft. LEFT SIDE (EAST) 20 Ft. 62 Ft. COMBINED SIDE YARD 40 Ft. 628 Ft.

<u>MAXIMUM</u> <u>PROPOSED</u> BUILDING HEIGHT 28 Ft. 28'-0" (SEE A3.7 FOR DETAILED INFO) HEIGHT DETERMINED PER 2-STORIES 2-Levels SAN MATEO COUNTY DOCUMENT, " Maximum Building Heights in Unincorporated San Mateo County", Dated 12/5/01) 1.29 % LOT COVERAGE

COVERED PARKING SPACES IMPERVIOUS SURFACES: HOUSE, STUDIO, GARAGE

HOUSE, GARAGE, STUDIO, & BARN

3,788 S.F. HOUSE ROOF AREA BARN ROOF AREA 1,553 S.F. GARAGE ROOF AREA 772 S.F. HOUSE SIDEWALKS, PATIOS, PATH 678 S.F. BARN SIDEWALKS, PATIOS, PATH 1,387 S.F. DRIVEWAY 10,855 S.F.

IMPERVIOUS PAVED AREA AS % OF LOT

GRADING. SEE C3.0 (CU.YD.)

CUT -2250 + -416 = | -2,666 CUT(+)2000 + (+)590 = (+)2,590 FILL-250 + (+)174 = (-)76 CUTSITE BLDG TOTAL CUT FILL (CU.YD.)

<u>PROPOSED</u>

1.26 %

1.74 %

19,033 S.F.

SITE(CIVIL) + BLDG

5.33 %

TOTAL



Coordination Planning Coordination Coordination Coordination Coordination Coordination Coordination Coordination Constraints Map Constraints Map Coordination Design Review Story Pole D.R. coord Design Review Story Pole Foundation Rev. Contractor Set Coordination Civil Rev. 09.22.2016 Planning 10.18.2016 Title 24 11.03.2016 Coordination 12.05.2016

Planning

Sheet Title

**BEWLEY** RESIDENCE

Project

Audubon Ave. Montara, CA 94037 A.P.N. 036-310-180

Architect

HM.a+e

Henri Mannik, Architecture and Engineering

> 5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p

> > Consultant

Stamp

Printing Date

Planning Permit 03.18.2010 09.12.2011 09.13.2011 10.05.2011 10.11.2011 07.19.2013 08.08.2013 10.07.2013 10.21.2013 11.05.2013 11.07.2013 11.25.2013 03.19.2014 D.R.Pre-app conf. 03.26.2014 08.12.2014 11.14.2014 06.08.2015 07.10.2015 10.23.2015 Site Drainage Rev. 04.10.2016 05.20.2016 06.29.2016 09.13.2016

HM,a+e Job Number

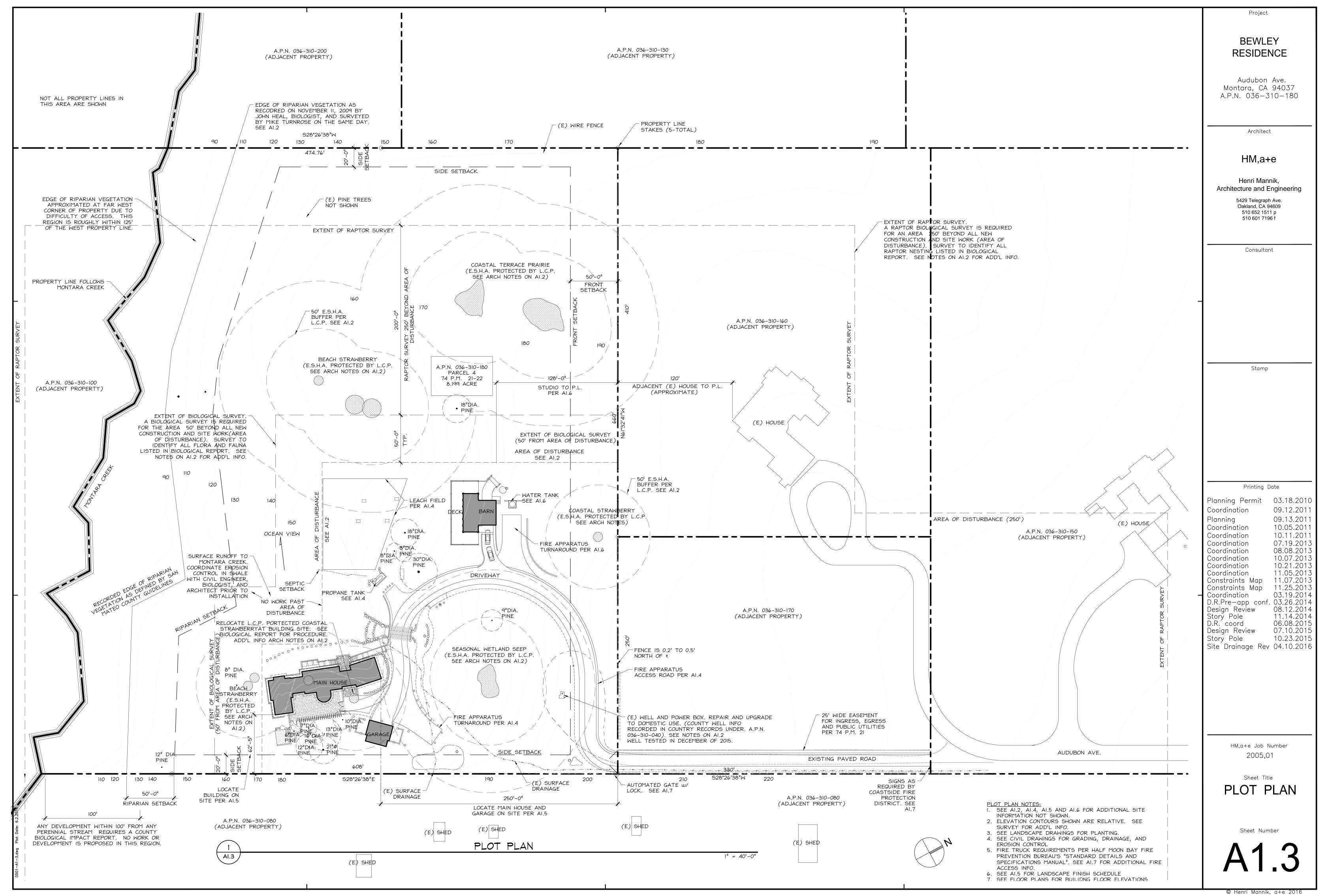
2005,01

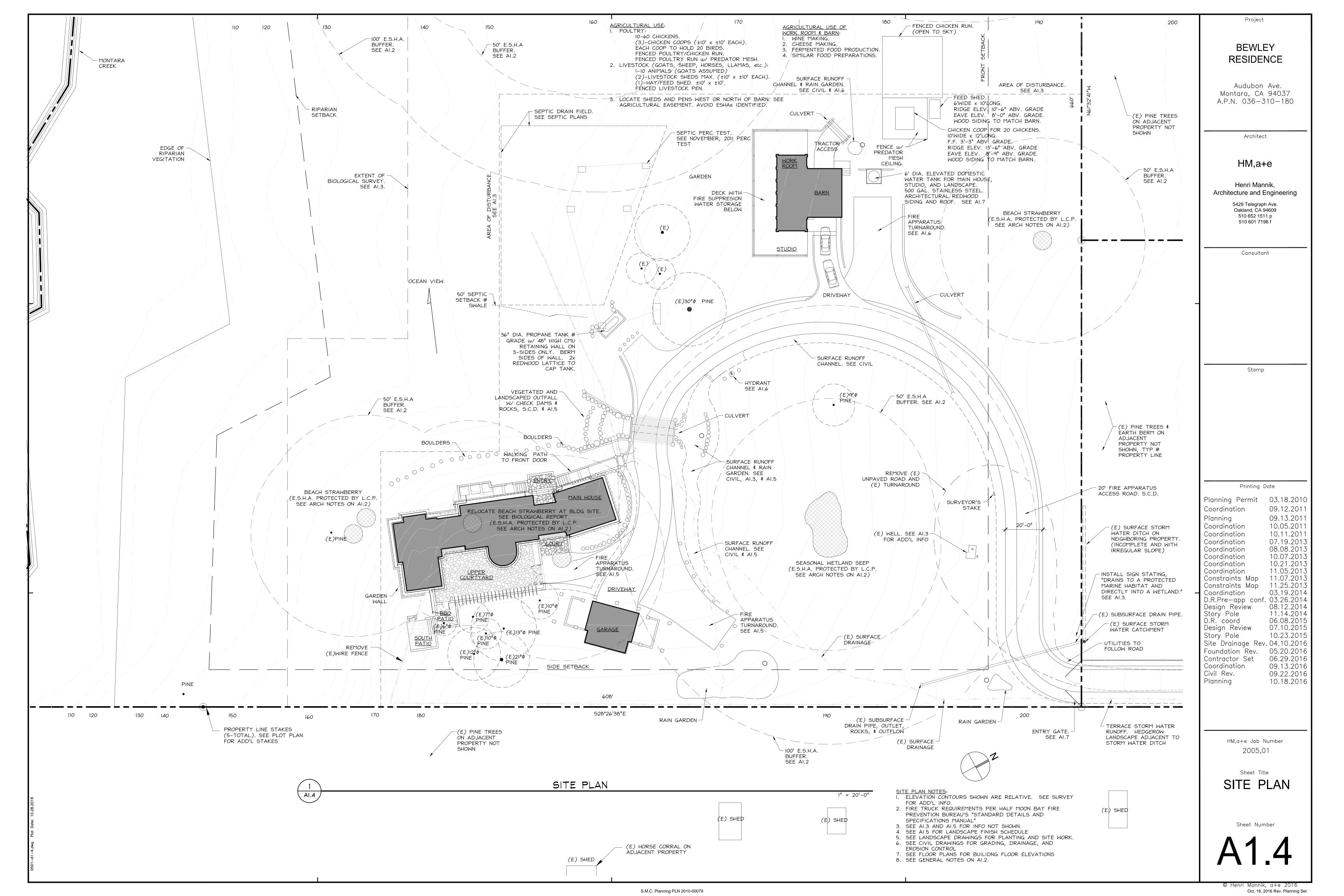
10.06.2017

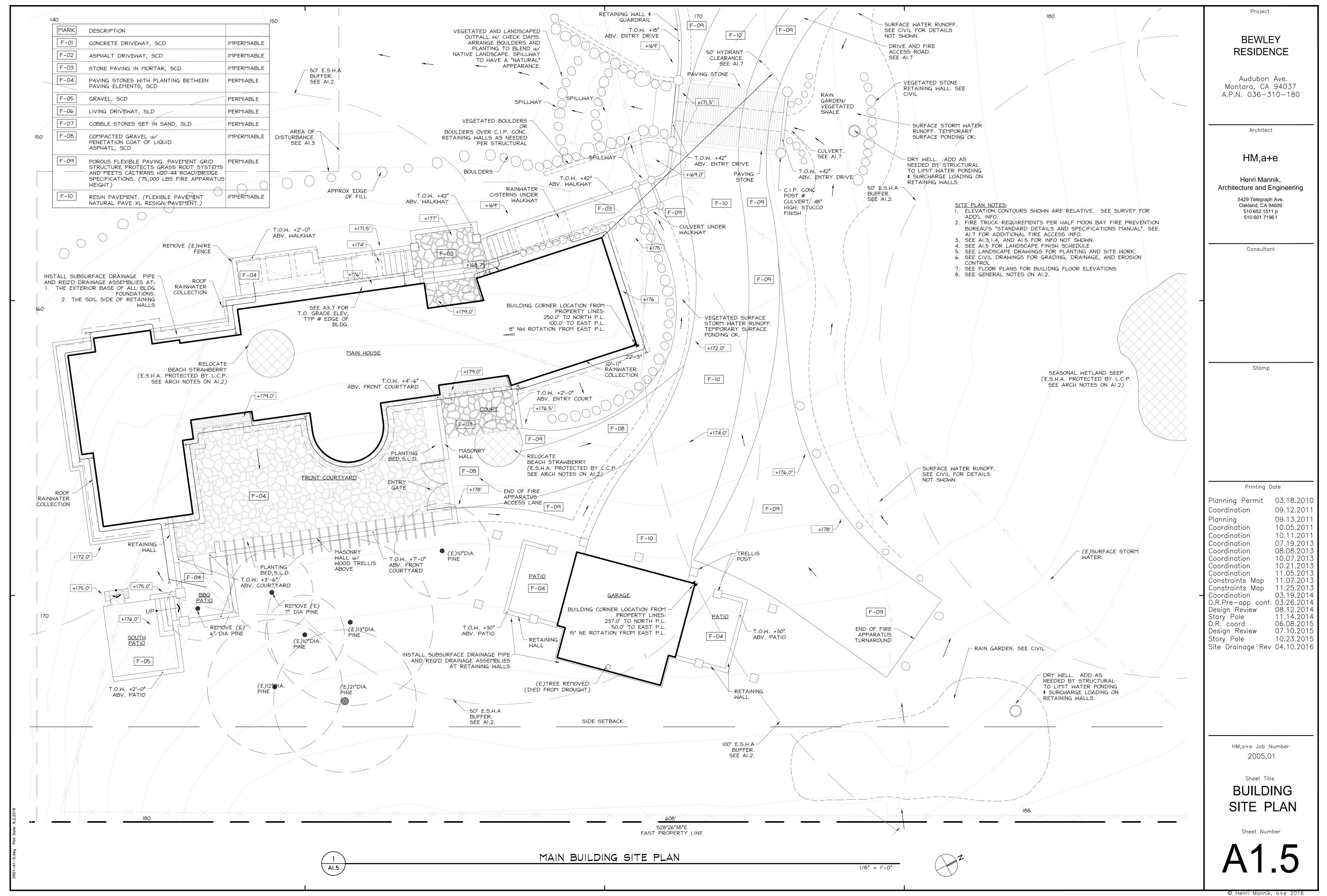
PROJECT DATA

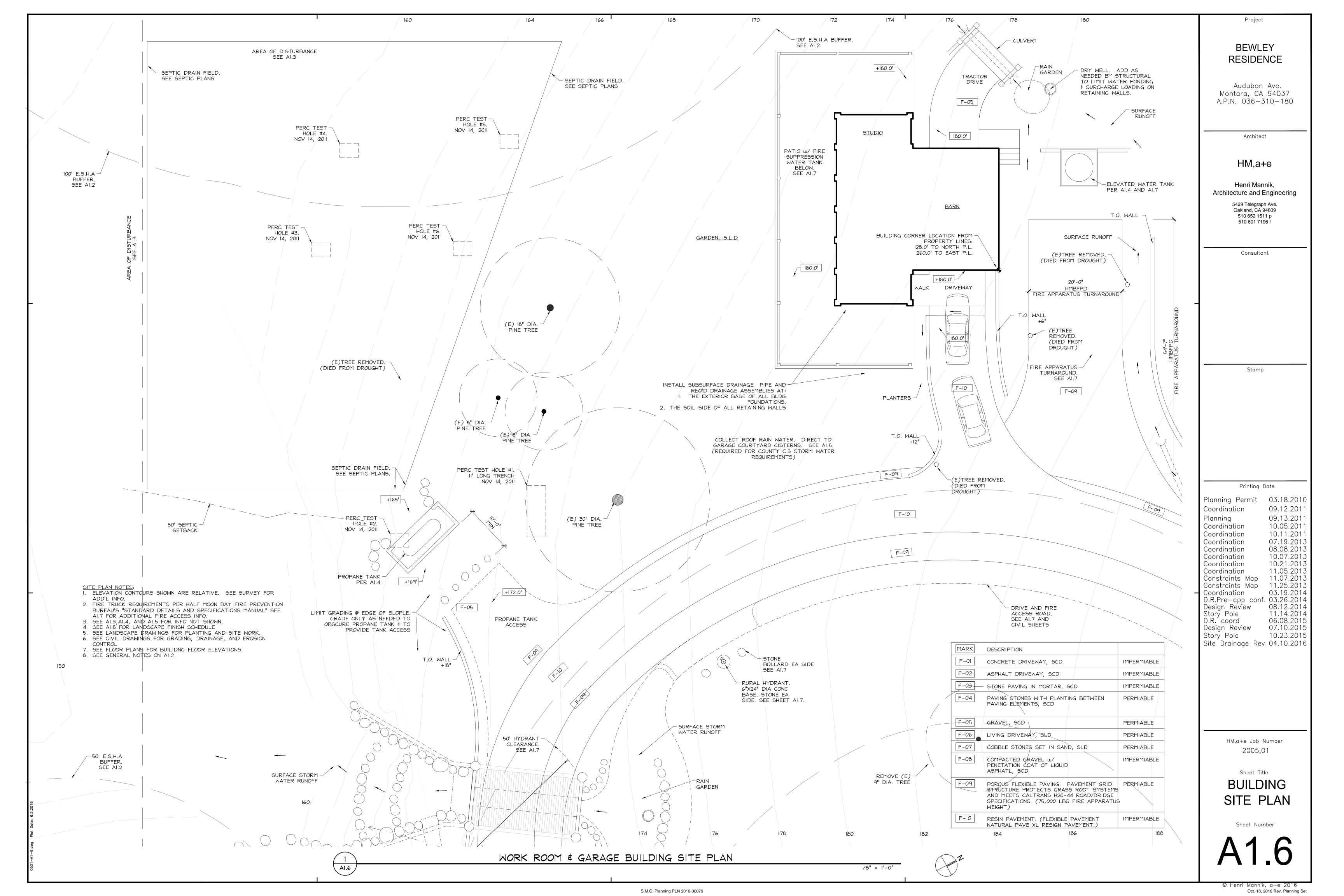
Sheet Number

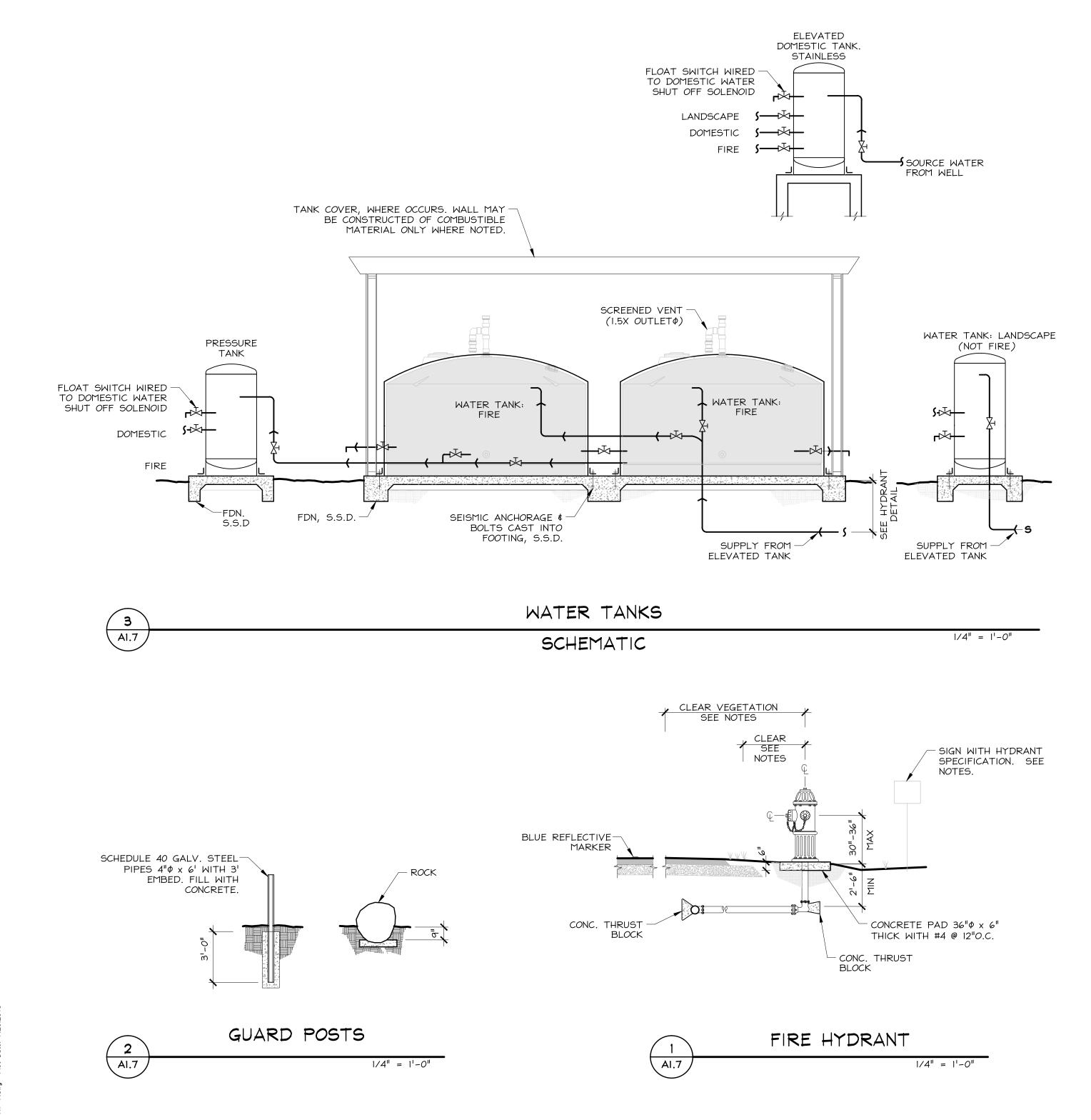
© Henri Mannik, a+e 2017











### WATER TANKS

I. A SCREENED VENT 1.5 TIMES THE THE DIAMETER OF THE OUTLET IS REQUIRED. (e.g. 4" OUTLET=6" VENT).

- 2. WATER TANK(S) SUPPLYING HYDRANTS SHALL BE LOCATED AT AN ELEVATION WHICH PROVIDES ADEQUATE POSITIVE PRESSURE.
- 3. WATER TANKS SHALL BE INTERCONNECTED BY USING A MINIMUM PIPE SIZE OF 4 INCH, INTERCONNECTION PIPING AND VALVES MUST BE OF A MATERIAL NOT DAMAGED BY UV EXPOSURE. THE CROSS CONNECTION SHALL ALSO HAVE AN APPROPRIATELY SIZED CONTROL VALVE LOCATED AT
- 4. LANDSCAPING WATER SUPPLY SHALL NOT BE STORED IN TANKS PROVIDING WATER FOR FIRE HYDRANTS. THE LANDSCAPING WATER IS IN ADDITION TO THAT REQUIRED FOR FIRE PROTECTION AND A AUTOMATIC ACTIVATED SOLENOID VALVE SHALL BE REQUIRED TO AVOID PRESSURE LOSS IN FIRE PROTECTION WATER SUPPLY DUE TO LARGE DEMAND FROM THE SAME
- WATER SUPPLY (LANDSCAPING OR AGRICULTURAL IRRIGATION). 5. WATER TANKS USED FOR FIRE PROTECTION SHALL REMAIN FULL AT ALL TIMES, AND SHALL BE FILLED AUTOMATICALLY FROM A RELIABLE WATER SOURCE (e.g. WELL, YEAR ROUND SPRING OR CREEK).
- 6. WHERE WATER TANKS PROVIDE BOTH DOMESTIC AND FIRE PROTECTION SUPPLY, THE WATER TANK SHALL BE FITTED WITH A FLOAT SWITCH WIRED TO THE DOMESTIC WATER SHUT OFF SOLENOID. 7. CONTROL VALVES SHALL BE PROVIDED FOR ALL HYDRANT INSTALLATIONS
- AND BE LOCATED AT THE TANK OR IN A LOCATION APPROVED BY THE
- 8. ALL ABOVE GROUND FIRE SPRINKLER OR FIRE HYDRANT WATER PIPING SHALL BE METALLIC. 9. LABEL ALL TANKS, PIPES, \$ VALVES FOR FUNCTION: "FIRE", "DOMESTIC",
- OR "LANDSCAPE." 10. SEE WATER SYSTEM PLAN FOR DETAILED DESIGN OF FIRE PROTECTION SYSTEM. THE DETAIL SHOWN IS A SCHEMATIC DRAWING FOR PLANNING APPROVAL. IF THESE DETAILS CONFLICT WITH THE WATER SYSTEM PLAN, THE WATER SYSTEM PLAN SHALL GOVERN.
- II. DOMESTIC & FIRE WATER SUPPLY SHALL NOT BE IN SEPARATE TANKS. 12. WATER SUPPLY SHALL BE IN MINIMUM TWO TANKS. ALL FITTINGS SHALL OPERATE IN A MANNER ALLOWING ONE TANK TO REMAIN OPERATING WHILE THE OTHER TANK IS REPAIRED.
- 13. WATER TANKS SHALL BE CONSTRUCTED OF NON-COMBUSTABLE MATERIALS. 14. DOMESTIC WATER SHALL BE STORED IN STAINLESS STEEL.

# RURAL HYDRANTS:

I. HYDRANTS SHALL BE LOCATED NO CLOSER THAN 50' TO ANY BUILDING, NO FURTHER AWAY THAN 150' OF THE PROTECTED STRUCTURE, AND BE LOCATED ON THE FIRE DEPARTMENT ACCESS SIDE OF THE BUILDING.

- 2. HYDRANT SUPPLY PIPE SHALL BE LISTED AND APPROVED FOR FIRE PROTECTION SERVICE FOR UNDERGROUND PIPE, SUCH AS AWWA C900. 3. PIPES SUPPLYING RURAL HYDRANTS SHALL HAVE A MINIMUM DIAMETER OF
- NO LESS THAN 4" STANDARD. 4. RURAL HYDRANTS SHALL HAVE AT LEAST ONE 41 OUTLET WITH "NATIONAL HOSE" THREAD STANDARD AND SHALL HAVE A REMOVABLE METALLIC CAP.
- 5. THE HYDRANT RISER AND ELBOW SHALL BE STEEL. ALL ABOVE GROUND PIPING USED FOR FIRE HYDRANT WATER SUPPLY SHALL BE METALLIC. 6. HYDRANTS SHALL HAVE A CONCRETE PAD. SEE DETAIL
- 7. ALL HYDRANTS SHALL BE POSITIVE PRESSURE AND MEET THE REQUIRED FIRE FLOW ON DEMAND. (HYDRANTS REQUIRING PRIMING, SHALL NOT BE CONSIDERED AS A PRIMARY WATER SOURCE.
- 8. CONCRETE THRUST BLOCKS (WHEN REQUIRED) SHALL BE SIZED IN ACCORDANCE WITH NATIONAL STANDARDS AND SHALL BE PROVIDED AT ALL CHANGES IN PIPE DIRECTION. SEE DETAIL
- 9. ALL HYDRANTS SHALL HAVE A 3' DIAMETER MINIMUM PHYSICAL CLEARANCE FROM RETAINING WALLS GUARDPOSTS, ROCKS etc.
- 10. FLAMMABLE VEGETATION SHALL BE CLEARED FOR A MINIMUM 8' RADIUS AROUND ALL HYDRANTS REGARDLESS OF TYPE.
- II. PERMANENT GUARD POSTS OR BOLLARDS SHALL BE INSTALLED TO PROTECT EXPOSED FIRE HYDRANTS FROM VEHICULAR DAMAGE. 12. HYDRANTS SHALL NOT BE OBSTRUCTED BY PARKING OR IN ANY OTHER
- MANNER. "NO PARKING" SIGNS MAY BE REQUIRED. 13. HYDRANT LOCATION SHALL BE IDENTIFIED BY THE INSTALLATION OF BLUE
- REFLECTIVE MARKERS. 14. RURAL HYDRANTS SHALL HAVE A PERMANENT SIGN AFFIXED, RED IN COLOR WITH WHITE I INCH LETTERS STATING "WET DRAFT HYDRANT\_\_\_GALLONS", WITH THE GALLONS OF WATER AVAILABLE TO THE
- HYDRANT PROVIDED, SHALL BE PAINTED RED AND HAVE A MINIMUM 2" BLUE REFLECTIVE BAND AROUND THE TOP OF THE PIPE JUST BELOW THE

### **CULVERT:**

SEE GARAGE COURTYARD ON ALS

- I. WHEN A CULVERT IS USED AS A PART OF EMERGENCY ACCESS, IT SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH AASHTO HB-I7. THE CULVERT SHALL BE DESIGNED FOR A LIVE LOAD SUFFICIENT TO CARRY THE IMPOSED LOADS OF FIRE APPARATUS AS STATED HEREIN:
- 2. WEIGHT: EVERY PRIVATE CULVERT (BRIDGE) HEREAFTER CONSTRUCTED OR RE-CONSTRUCTED DUE TO DAMAGE, DETERIORATION, OR OBSOLESCENCE SHALL BE DESIGNED TO SUPPORT AN IMPOSED LOAD OF FIRE APPARATUS WEIGHING AT LEAST 75,000 lbs. <u>VEHICLE LOADS SHALL BE POSTED AND</u> DATED AT BOTH ENTRANCES TO BRIDGES. (HS20-44 HIGHWAY LOADING)
- 3. WIDTH: ALL CULVERTS (BRIDGES) MUST BE A MINIMUM OF 20 FEET CLEAR WIDTH. ONE-WAY CULVERTS (BRIDGES), AND CULVERTS (BRIDGES) WITH LESS THAN 20' OF CLEAR WIDTH, REQUIRE A TURNOUT AT BOTH ENDS TO

I. GATES SHALL BE A MINIMUM OF 2 FEET WIDER THAN THE ROADWAY THEY

- 2. OVERHEAD GATE STRUCTURES SHALL HAVE A MINIMUM OF 131 FEET OF
- VERTICAL CLEARANCE. 3. LOCKED GATES SHALL BE PROVIDED WITH A KNOX BOX OR KNOX PADLOCK FOR THE FIRE DEPARTMENT ACCESS.
- 4. ELECTRIC GATES SHALL BE PROVIDED WITH A KNOX GATE SWITCH AND AUTOMATICALLY OPEN DURING POWER FAILURES UNLESS EQUIPPED WITH MANUAL OVERRIDE CAPABILITY (WHEN AUTHORIZED BY COASTSIDE FIRE
- 5. GATES PROVIDING FIRE ACCESS TO A DRIVEWAY OR OTHER ROADWAY SHALL BE LOCATED AT LEAST 35 FEET FROM THE PRIMARY ROAD OR STREET AND SHALL OPEN TO ALLOW A VEHICLE TO STOP WITHOUT OBSTRUCTING TRAFFIC ON THE ADJOINING ROADWAY. 6. CONTACT COASTSIDE FIRE DISTRICT FOR KNOX BOX APPLICATION.

### EMERGENCY ACESS ROADS SEE Al.4, Al.6, AND CIVIL DRAWINGS

I. EMERGENCY ACCESS ROADS SHALL HAVE AN UNOBSTRUCTED MINIMUM

- WIDTH OF 20'-0". 2. WHERE HYDRANTS ARE LOCATED, THE ROAD SHALL BE A MINIMUM OF 26 FEET WIDE FOR A LENGTH OF 20 FEET ON EACH SIDE OF THE HYDRANT
- (40 FEET TOTAL LENGTH). 3. EMERGENCY ACCESS ROADS SHALL HAVE 13'-6" FEET OF VERTICAL
- CLEARANCE. 4. EMERGENCY ACCESS ROADS SHALL BE DESIGNED AND MAINTAINED TO SUPPORT THE IMPOSED LOAD OF A FIRE APPARATUS WEIGHING AT LEAST 75,000 lbs AND SHALL HAVE A MINIMUM OF 2" ASPHALT SURFACE PROVIDING ALL-WEATHR DRIVING CAPABILITIES. SEE CIVIL DETAILS.
- 5. GRADES OF LESS THAN 15% SHALL BE SURFACED WITH A MINIMUM CLASS 2 AGGREGATE BASE WITH 95% COMPACTION AND AN ASPHALT SURFACE. U.O.N. 6. GRADES OF 15% TO 20% SHALL REQUIRE A NON-SKID ASPHALT OR
- CONCRETE SURFACE, OR EQUIVALENT. U.O.N. GRADES 15% TO 20% SHALL BE LIMITED TO 150 FT. IN LENGTH.
- 8. THE CENTERLINE TURNING RADIUS FOR EMERGENCY APPARATUS ACCESS ROADS SHALL BE 35 FEET. 9. DEAD-END EMERGENCY ACCESS EXCEEDING 150 FT SHALL BE PROVIDED
- WITH WIDTH AND TURNAROUND PROVISIONS MEETING CALIFORNIA FIRE CODE 10. TURNAROUNDS SHALL HAVE A MAXIMUM LONGITUDINAL SLOPE NO GREATER THAN EIGHT PERCENT (8%). THE LONGITUDINAL SLOPE IS DEFINED AS THE SLOPE CORRESPONDING TO THE LONG AXIS OF A VEHICLE AS IT TRAVELS
- INTO, OUT OF, AND THROUGH A TURNAROUND. THIS SLOPE SHALL BE MAINTAINED BEGINNING AT AND ENDING AT THE POINT OF TANGENCY OF THE EDGE OF THE PAVEMENT CURVES FOR THE TURNAROUND.
- II. THE CROSS SLOPE PERPENDICULAR TO THE LONGITUDINAL SLOPE SHALL NOT EXCEED FIVE PERCENT (5%).
- 12. ROAD GRADES SHALL NOT EXCEED 20%.
- 13. GRADES 15% TO 20% SHALL BE LIMITED TO 150 FT. IN LENGTH. 14. 20-26 FEET ROAD WIDTH-NO PARKING ON EITHER SIDE OF THE ROADWAY.
- 15. 26-35 FEET ROAD WITH-PARKING IS ALLOWED ON ONLY ONE SIDE OF ROADWAY.
- 16. 36 FEET ROAD WITH-PARKING IS NOT RESTRICTED. 17. POLES, FENCES, STONES, OR VISIBLE MARKERS SHALL INDICATE THE EDGE OF FIRE LANES.
- 18. PROVIDE ALLOWANCE FOR ALL SIGNS AND MARKERS

# BRIDGE:

NO BRIDGES USED. CULVERTS ONLY USED.

- I. BRIDGES SHALL MEET ALL CULVERT REQUIREMENTS. 2. CERTIFICATION: EVERY PRIVATE BRIDGE PROVIDING FIRE APPARATUS ACCESS HEREINAFTER CONSTRUCTED OR RE-CONSTRUCTED SHALL BE ENGINEERED BY A LICENSED CIVIL OR STRUCTURAL ENGINEER AND APPROVED BY THE FIRE MARSHAL. CERTIFICATION THAT THE BRIDGE COMPLIES WITH STRUCTURAL DESIGN STANDARDS MUST BE PROVIDED TO
- THE FIRE CHIEF. 3. RE-CERTIFICATION: EVERY PRIVATE BRIDGE SHALL BE RE-CERTIFIED EVERY TEN (10) YEARS OR WHENEVER DEEMED NECESSARY BY THE FIRE MARSHALL

### BUILDING FIRE PROTECTION:

SEE PLANS AND DETAILS

- 1. THE BUILDING SHALL BE FULLY PROTECTED WITH A MODIFIED NFPA 13D RESIDENTIAL FIRE SPRINKLER SYSTEM AS REQUIRED BY THE CODE.
- 2. PROVIDE DRAFT STOPS AND FIRE BLOCKING AS REQUIRED BY CBC. 3. SMOKE AND CARBON MONOXIDE ALARMS SHOWN ARE CONNECTED TO THE BUILDING'S ELECTRICAL SYSTEM. ALARMS SHALL HAVE BATTERY BACKUP.
- 4. PROVIDE SMOKE ALARMS IN EACH BEDROOM. NOTIFY ARCH IF ANY BEDROOMS DO NOT HAVE AN ALARM.
- 5. INTERCONNECT SMOKE ALARMS IN NEW CONSTRUCTION AND IN REMODELS. WITH REMODELS, INTERCONNECTION TO EXISTING BEDROOM ALARMS IS NOT REQUIRED IF FINISHES NEED TO BE REMOVED, U.O.N. 6. FIRE BLOCKS SHALL BE 2X NOMINAL LUMBER, 3/4" PLYWOOD, 5/8 GYPSUM
- WALL BOARD. BATT INSULATION OR MINERAL WOOL INSULATION MAY BE USED AS NOTED 7. FIRE BLOCK ALL STUD BAYS AND VERTICAL WALL CAVITIES WITHIN
- STRUCTURAL WALLS, PARTITION WALLS, STAIR STRINGERS, AND FURRED WALLS. PROVIDE BLOCKING AT THE FLOOR AND CEILING. 8. FIRE BLOCK IF WALLS EXCEED IO' IN HEIGHT, ADD BLOCKING AT IO'O.C.
- VERTICAL. BLOCK AT 10'O.C. HORIZONTAL. 9. FIRE BLOCK AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL CAVITIES SUCH AS, CRAWL SPACE TO WALL, WALL TO CEILING, SOFFITS AND DROPPED CEILINGS.
- 10. FIRE BLOCK AT VENT, PIPE, DUCT, CHIMNEY, AND FIREPLACE OPENINGS. II. FIRE BLOCK AT CONCEALED OPENINGS BETWEEN FLOORS. 12. PROVIDE DRAFTSTOPS AT ALL OPEN CONCEALLED SPACES OR CAVITIES
- BETWEEN USABLE STACKED HABITABLE SPACES. IN THESE AREAS SUCH AS, OPEN WEB FLOOR JOIST OR TRUSSES, INSTALL DRAFTSTOPS AT THE FOLLOWING CONDITIONS:
  - a.AREAS GREATER THAN 1000 SQUARE FEET b.AT EACH JOIST 30'O.C., AT EDGES OF KITCHEN
- c.AT GARAGE WALLS d.AT UTILITY ROOMS WITH EQUIPMENT USING COMBUSTIBLE FUELS. e.PROVIDE DRAFTSTOPS IN SOFFIT AREAS GREATER THAN 500 SQUARE
- 13. DRAFTSTOPS SHALL BE 2X LUMBER, SHEET METAL, 3/" PLYWOOD, OR 5/8"GYPSUM WALL BOARD.

### WATER TANK CAPACITIES: SEE A2.5 FOR LOCATION.

SEE A3.11, A3.12, A3.13. SEE AI.4

10,000 GALLONS FOR FIRE SUPPRESSION. 4 - 2,500 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN".

LOCATED UNDER STUDIO DECK. GRID 1-4/ LINES-B, D, F, H

2,000 GALLONS FOR SPRINKLER 2 - 1,000 GALLON TANKS. PLASTIC, ABV GRADE, "TUNA CAN". LOCATED UNDER STUDIO DECK. GRID LINE-L, APPROX

500 GALLONS FOR DOMESTIC AND LANDSCAPE I-ELEVATED TANK NORTH OF BARN, GRID LINE-D STAINLESS STEEL (300 GALLONS FOR DOMESTIC PER DAY PER PLANING PERMIT)

### BEWLEY **RESIDENCE**

Audubon Ave. Montara, CA 94037

A.P.N. 036-310-180

Project

# HM,a+e

Architect

Henri Mannik, Architecture and Engineering

> 5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p 510 601 7196 f

> > Consultant

Stamp

# Printing Date

Planning Permit 03.18.2010 09.12.201 Coordination 09.13.201 Planning 10.05.201 Coordination 10.11.201 Coordination 07.19.2013 Coordination 08.08.201 Coordination 10.07.201 Coordination Coordination 10.21.2013 11.05.2013 Coordination Constraints Map 11.07.201 Constraints Map 11.25.2013 03.19.2014 Coordination D.R.Pre-app conf. 03.26.2014 Design Review 08.12.2014 Story Pole 11.14.2014 D.R. coord 06.08.2015 07.10.2015 Design Review

> HM,a+e Job Number 2005,01

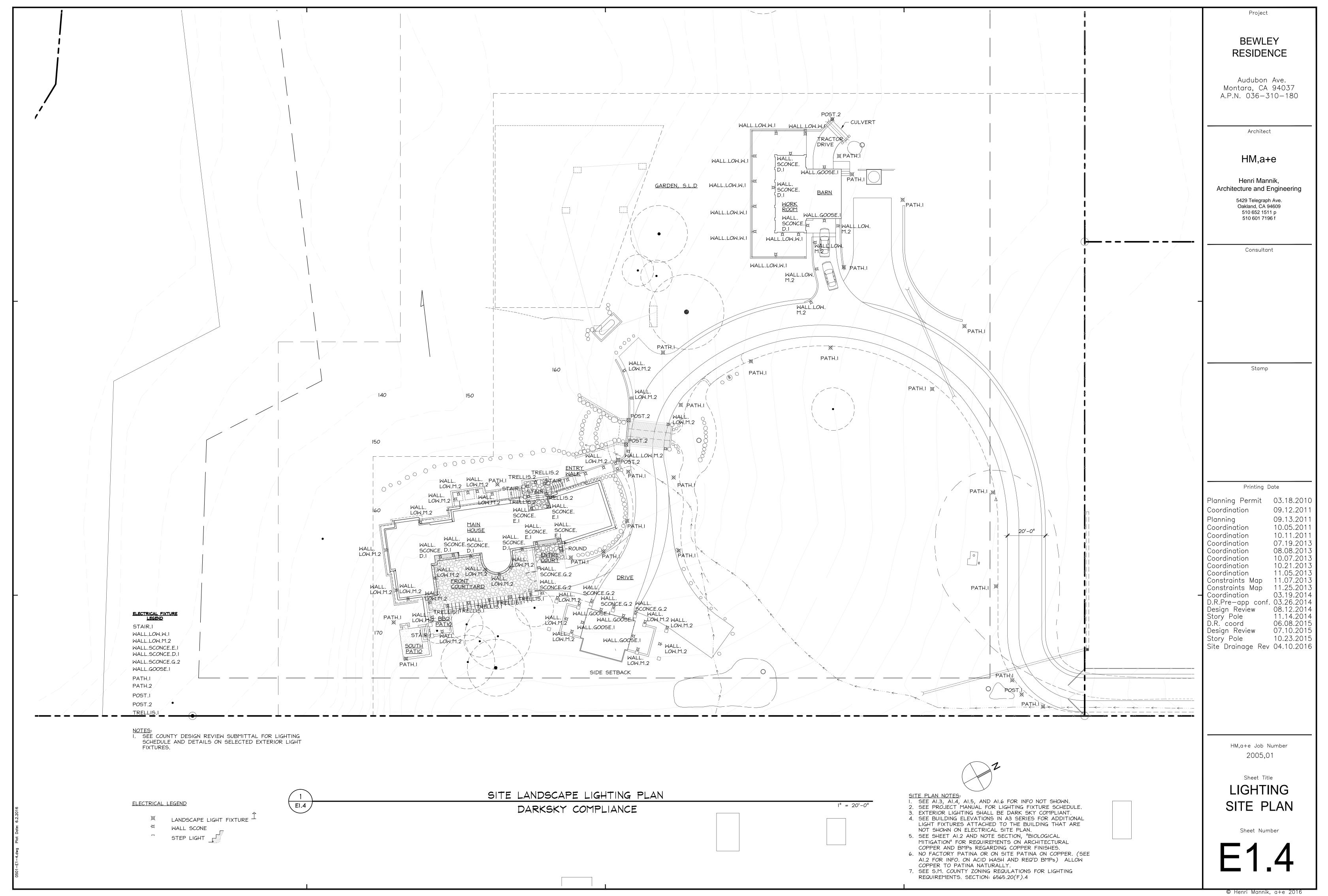
> > Sheet Title

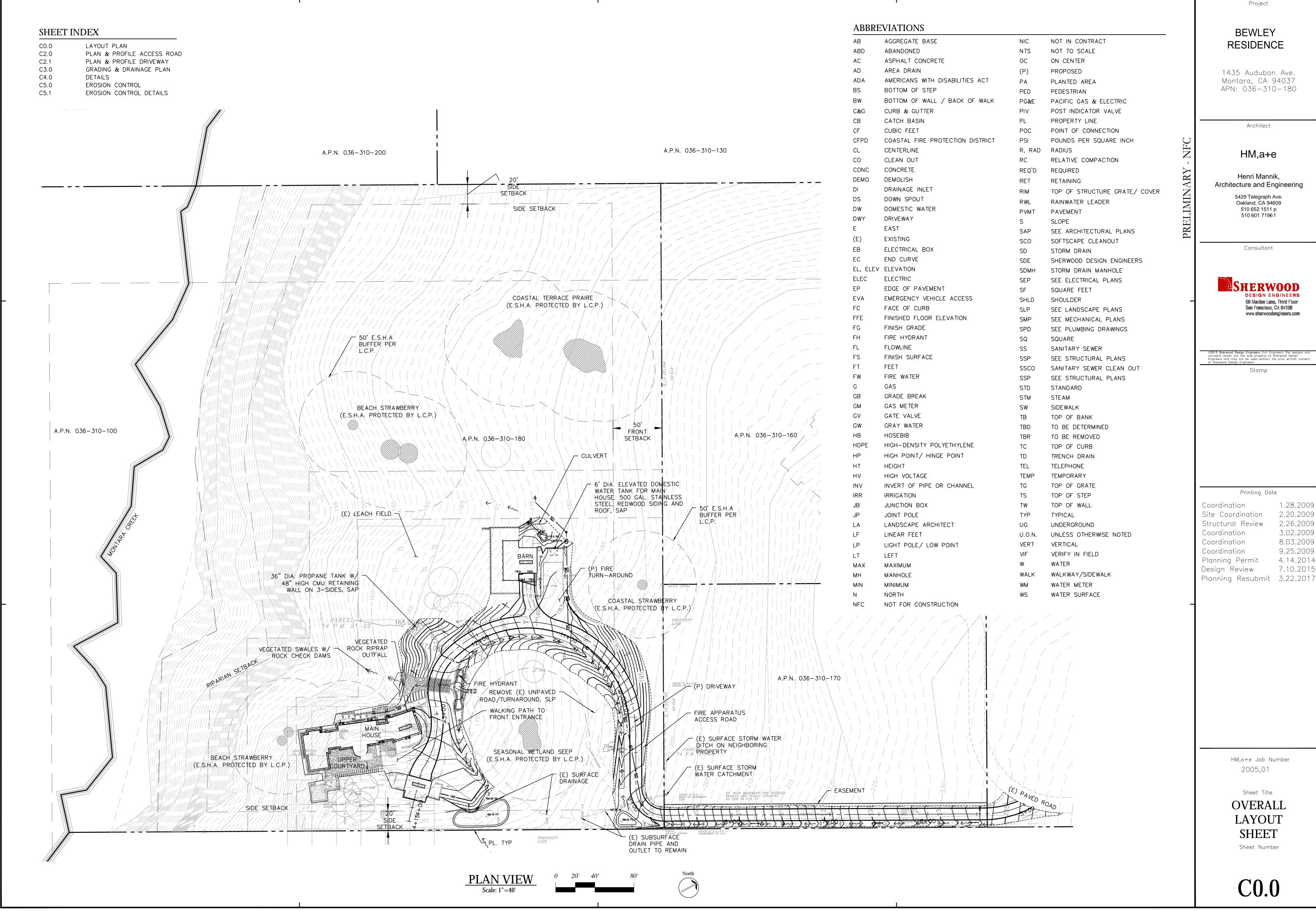
FIRE ACCESS & SITE DETAILS

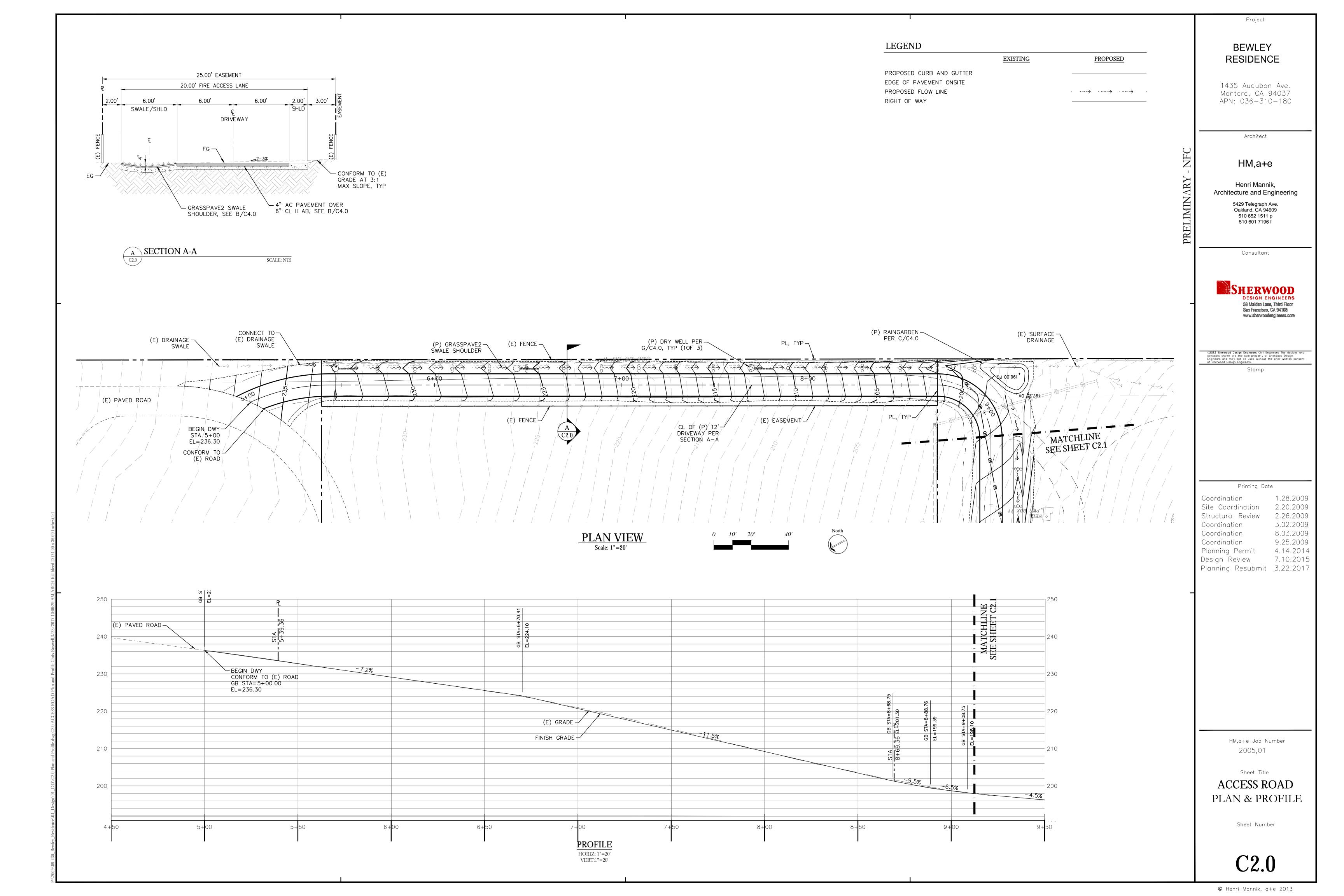
Sheet Number

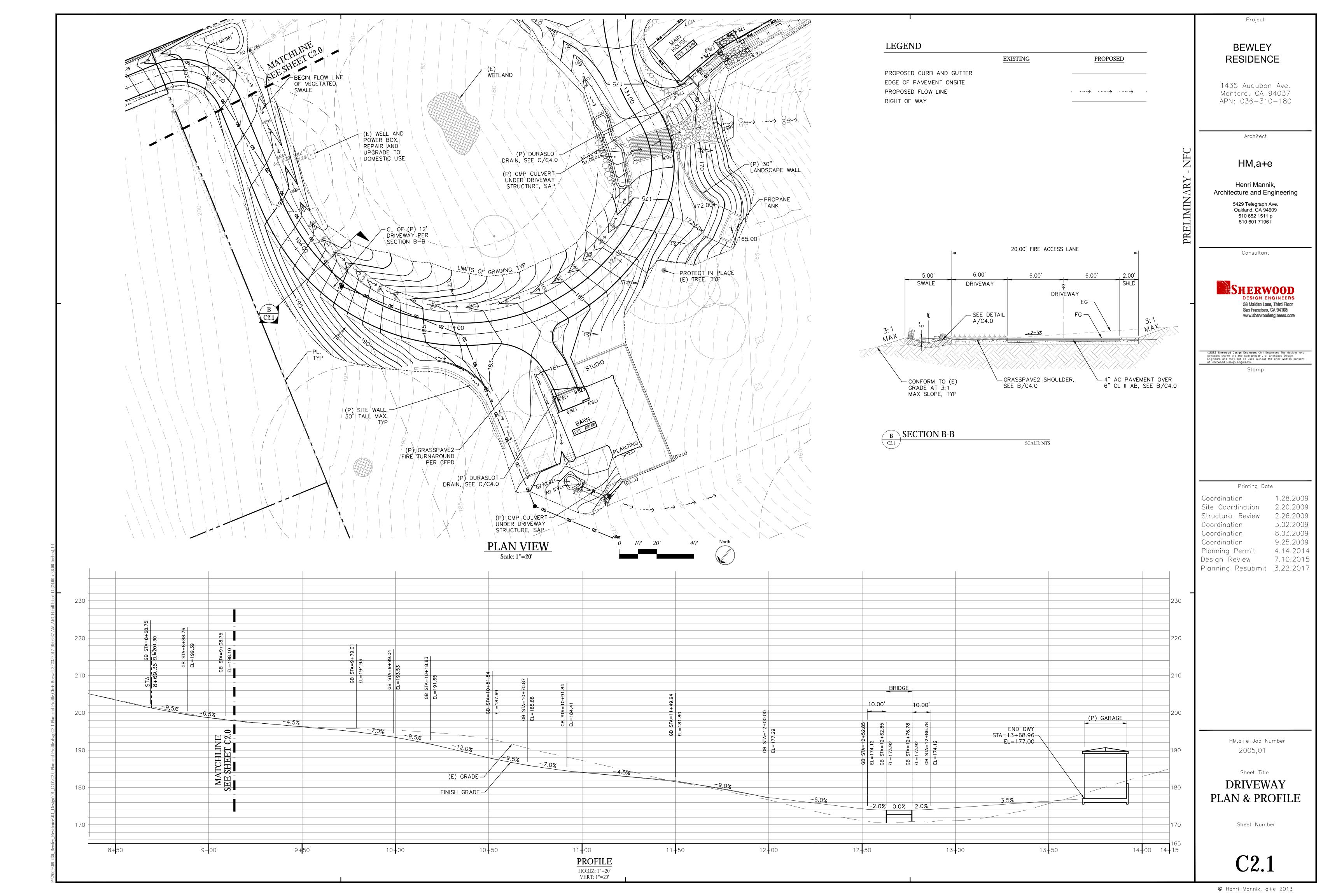
Oct. 18, 2016 Rev. Planning Set

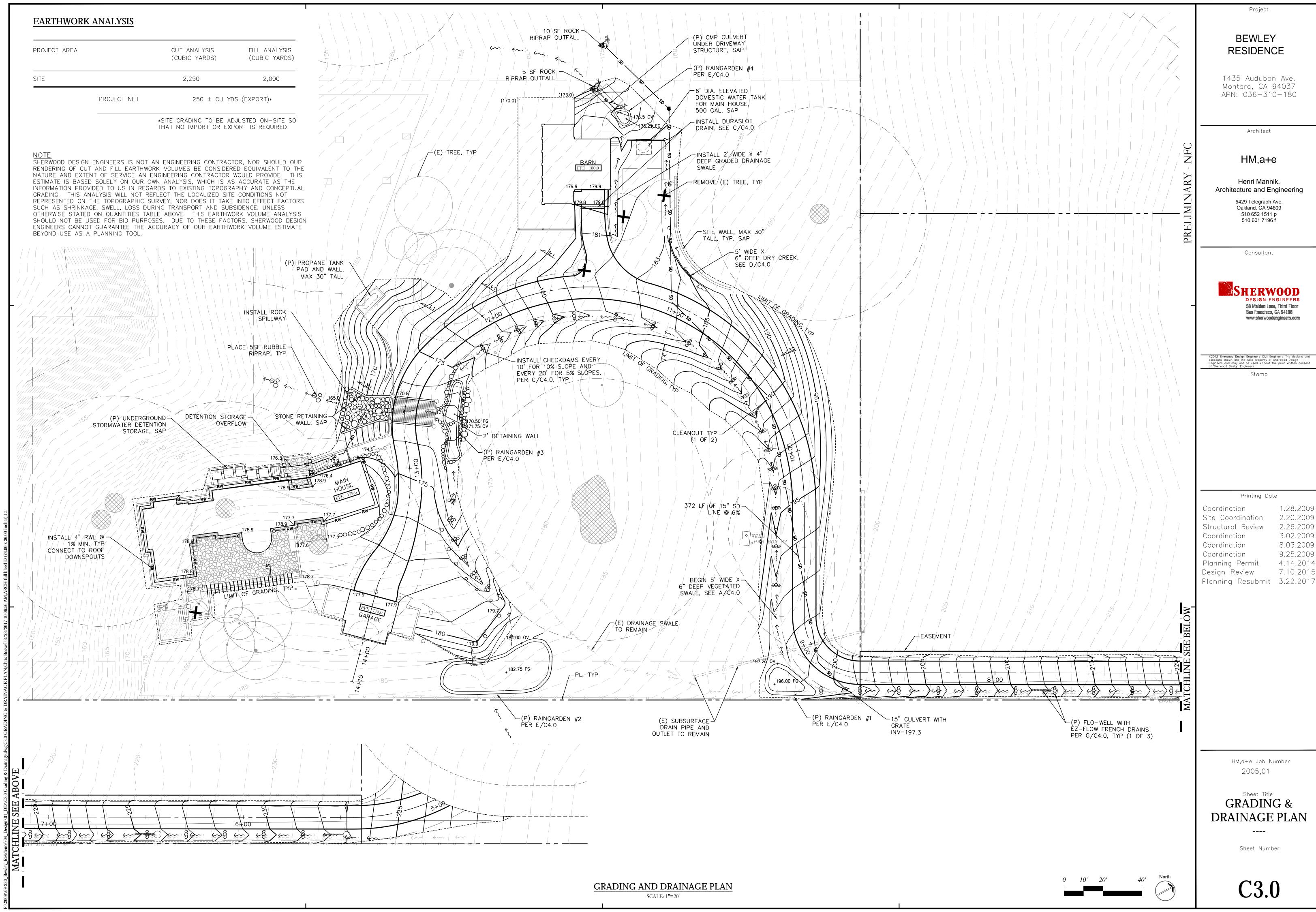
S.M.C. Planning PLN 2010-00079

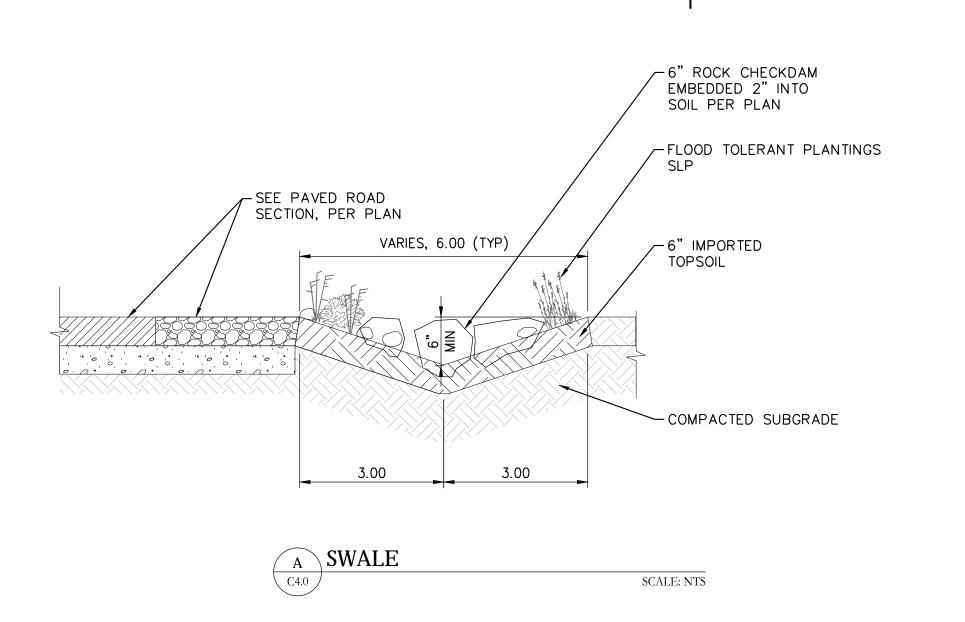


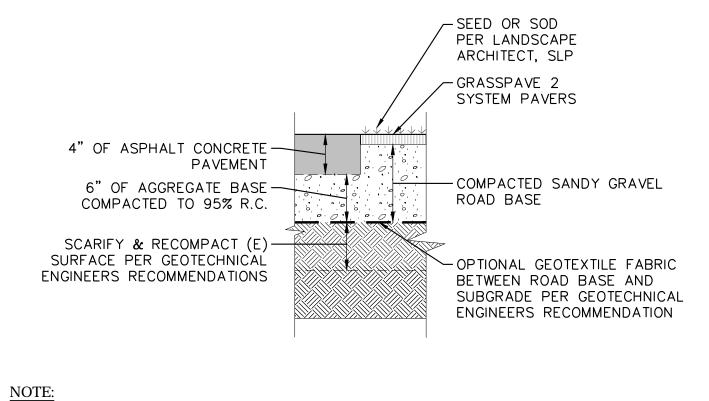


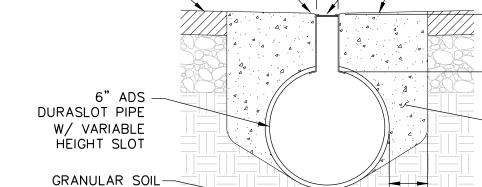












ROUNDED \_

ASPHALT

COMPACTED TO

95% R.C.

PAVING

EDGE

C DURASLOT DRAIN DETAIL

- ADA COMPLIANT METAL GRATE, PER MANUFACTURER

-CONCRETE

PIPE

SCALE: NTS

BACKFILL, TO

BELOW CENTER OF

¬(P) CONCRETE

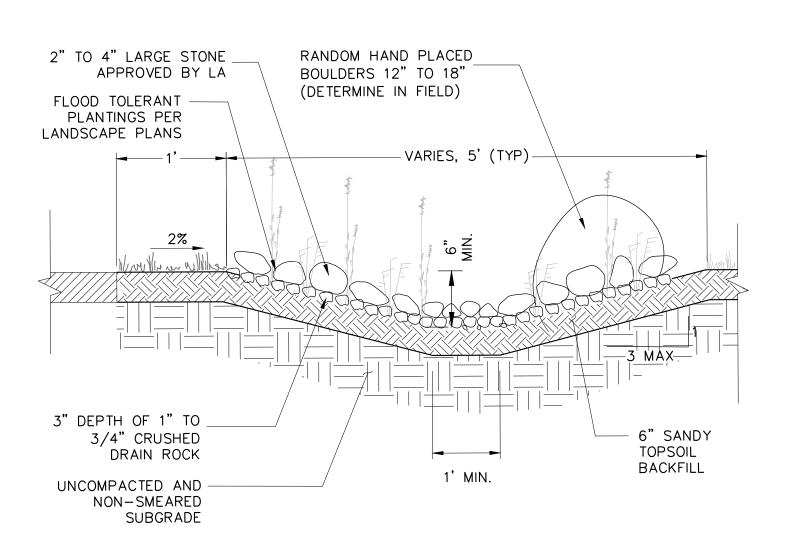
APRON

- 1. RIP AND RECOMPACT 6" OF SUBGRADE
- 2. AS NECESSARY, PLACE LAYER OF MIRAFI HP270 GEOTEXTILE FABRIC PER GEOTECHNICAL RECOMMENDATIONS

**B** PAVEMENT SECTION C4.0

SCALE: NTS

\ C4.0 /

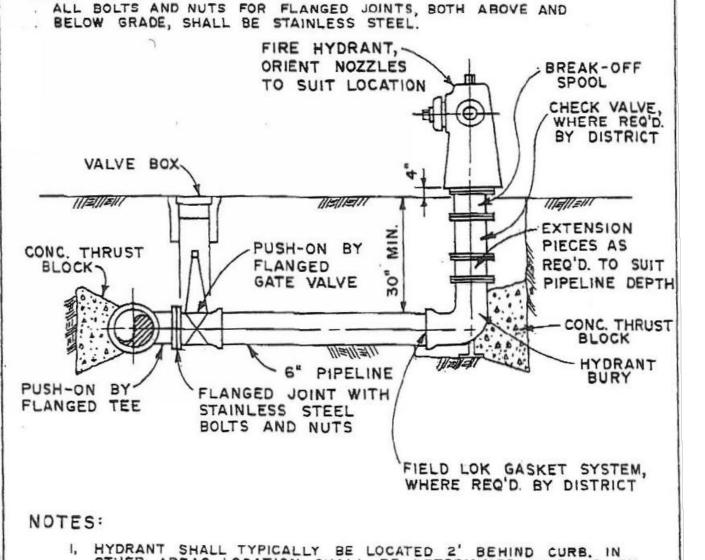


DRY CREEK SCALE: NTS



15" MIN — 2" FREEBOARD ─\ LEVEL SURFACE — FINISHED GRADE - OVERFLOW ELEVATION. OVERFLOW ROUTING PER C3.0 SLP FOR ELEV PER PLAN FINISHED SURFACE — PER C3.0, SLP \_\_\_\_\_\_ ----BIORETENTION FILTER FABRIC, TYP NATIVE — SOIL/SUBGRADE -24" MIN CLASS 2 PERMABLE, CALTRANS SPEC 68-1.025

> E RAIN GARDEN SCALE: NTS



- HYDRANT SHALL TYPICALLY BE LOCATED 2' BEHIND CURB. IN OTHER AREAS LOCATION SHALL BE DETERMINED IN FIELD BY
- 2. USE HORIZONTAL BENDS IN 6" PIPELINE AS REQUIRED, BUT NO VERTICAL BENDS.
- 3. MATERIALS SHALL CONFORM TO SPECIFICATION REQUIREMENTS.
- 4. EACH HYDRANT SHALL HAVE 2- 21/2" OUTLETS & 1-4/2" OUTLET. OUTLETS SHALL BE ORIENTED AS DIRECTED BY DISTRICT.
- 5. GUARD POSTS, NUMBER AND LOCATION TO BE DETERMINED IN FIELD BY DISTRICT, SHALL BE INSTALLED IN LOCATIONS WITHOUT CURB OR WHERE THE HYDRANT IS NOT ADEQUATELY PROTECTED BY CURB. GUARD POSTS SHALL BE 4" DIA. SCH. 40 GALVANIZED STEEL PIPE, 6 FEET LONG, INSTALLED 3 FEET DEEP IN CONCRETE, AND FILLED WITH CONCRETE.

FIRE HYDRANT

SAN MATEO COUNTY, CALIFORNIA

DISTRICT STANDARDS

F FIRE HYDRANT

SCALE: NTS

HM,a+e Job Number 2005,01

Project

**BEWLEY** 

RESIDENCE

1435 Audubon Ave.

Montara, CA 94037

APN: 036-310-180

Architect

HM,a+e

Henri Mannik,

Architecture and Engineering

5429 Telegraph Ave. Oakland, CA 94609

510 652 1511 p 510 601 7196 f

Consultant

DESIGN ENGINEERS 58 Maiden Lane, Third Floor

San Francisco, CA 94108

©2013 Sherwood Design Engineers Civil Engineers The designs and concepts shown are the sole property of Sherwood Design Engineers and may not be used without the prior written consent of Sherwood Design Engineers.

Stamp

Printing Date

Planning Resubmit 3.22.2017

1.28.2009

2.20.2009

2.26.2009

3.02.2009

8.03.2009

9.25.2009

4.14.2014

7.10.2015

Coordination

Coordination

Coordination

Coordination

Planning Permit

Design Review

Site Coordination

Structural Review

www.sherwoodengineers.com

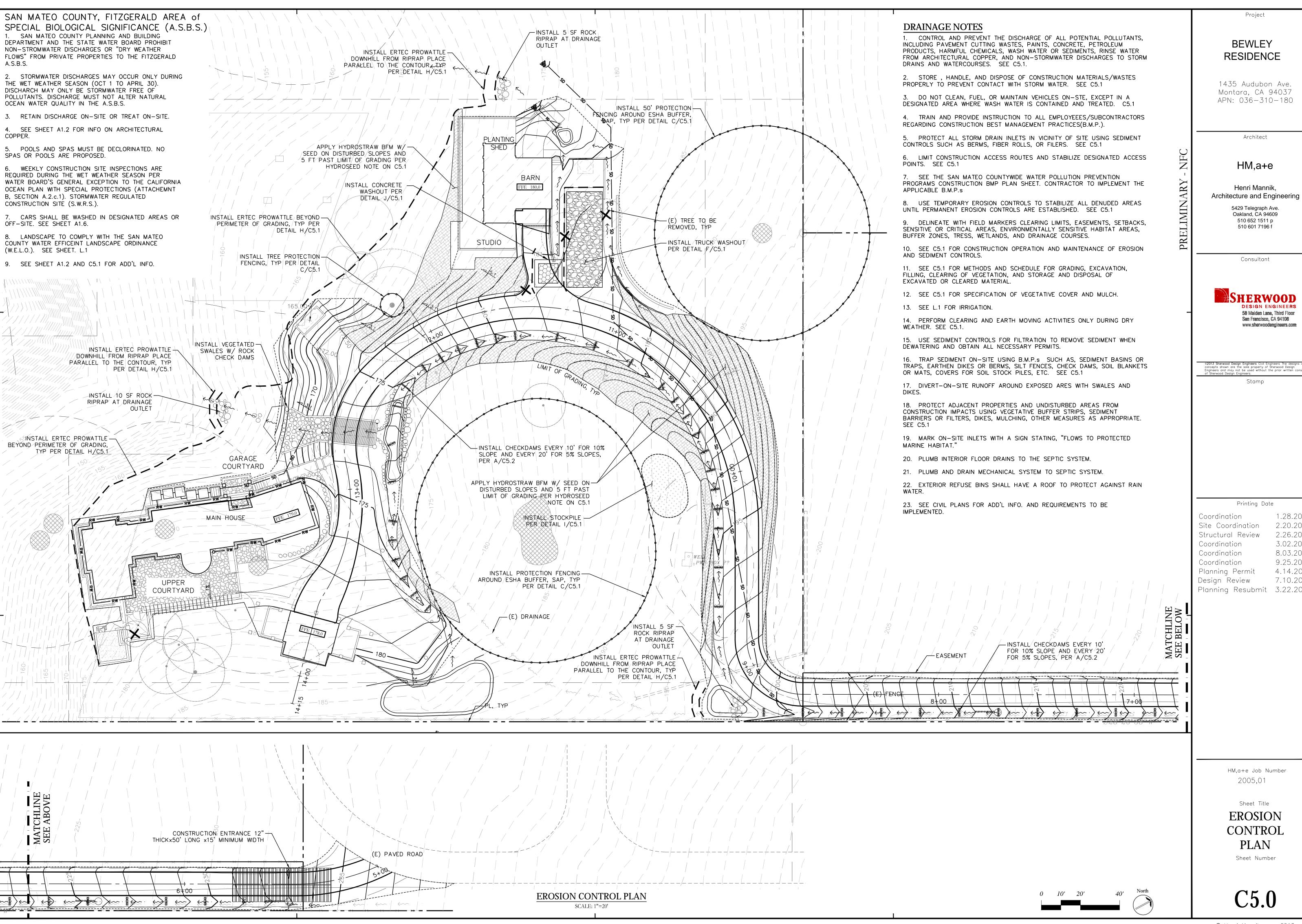
Sheet Title

**DETAILS** 

\_\_\_\_ Sheet Number

C4.0

G FLOW WELL AND EZ FLOW EXTENSION SCALE: NTS



**BEWLEY** 

1435 Audubon Ave. Montara, CA 94037

Henri Mannik

5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p

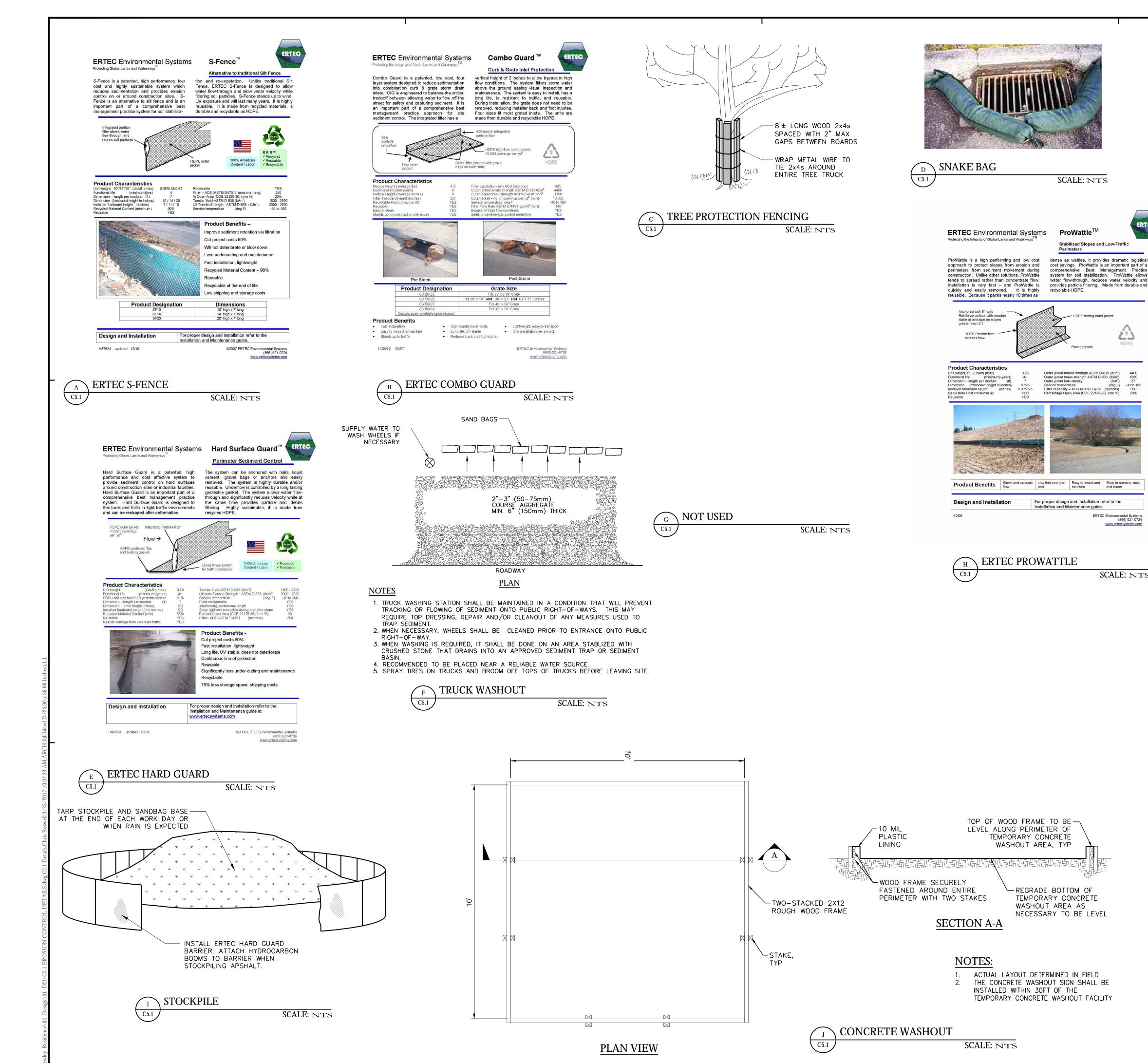


©2013 Sherwood Design Engineers Civil Engineers The designs and pts shown are the sole property of Sherwood Design eers and may not be used without the prior written consent

1.28.2009 2.20.2009 2.26.2009 3.02.2009 8.03.2009 9.25.2009 4.14.2014 7.10.2015 Planning Resubmit 3.22.2017

HM,a+e Job Number

**EROSION** CONTROL **PLAN** 



### EROSION CONTROL NOTES

SCALE: NTS

ProWattle™

Stabilized Slopes and Low-Traffic

ERTEC Environmental Systems

SCALE: NTS

- 1. ALL FILL MATERIAL SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT 2. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION
- DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING SEDIMENT STORM RUNOFF AND NON-STORM RUNOFF FROM LEAVING THE SITE. PROTECTIVE DEVICES, PROVIDED ON THESE PLANS SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO INHIBIT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. TEMPORARY EROSION CONTROL DEVICES SHOWN ON GRADING PLAN WHICH INTERFERE WITH THE WORK SHALL BE RELOCATED OR MODIFIED WHEN THE INSPECTOR SO DIRECTS AS THE WORK PROGRESSES. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE OPERABLE YEAR AROUND OR UNTIL VEGETATION IS ESTABLISHED ON SLOPED SURFACES.
- EROSION CONTROL FACILITIES SHALL BE INSPECTED AND MAINTAINED DAILY AS WELL AS WHENEVER RAIN IS FORECAST. BREACHES IN DIKES AND SWALES TO BE REPAIRED AT THE CLOSE OF EACH DAY. THE NAME OF THE PERSON RESPONSIBLE FOR THE DAILY MAINTENANCE OF THESE FACILITIES SHALL BE ON RECORD WITH THE CITY ALONG WITH A PHONE NUMBER WHERE THEY CAN BE REACHED 24 HOURS A DAY. THESE FACILITIES SHALL CONTROL AND CONTAIN EROSION—CAUSED SILT DEPOSITS AND PROVIDE FOR TH SAFE DISCHARGE OF SILT FREE STORM WATER AND NON-STORM WATER DISCHARGE INTO EXISTING AND PROPOSED STORM DRAIN FACILITIES AND PRE-EXISTING DRAINAGE PATTERNS. DESIGN OF THESE FACILITIES MUST BE APPROVED AND UPDATED EACH YEAR BY THE CIVIL ENGINEER. (OCTOBER 1 TO APRIL 15)
- 4. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE PROVISIONS OF THE CONSTRUCTION GENERAL PERMIT 2009-0009-DWQ. CONTROL MEASURES ARE SUBJECT TO THE INSPECTION AND APPROVAL OF THE ENGINEERING DIVISION OF THE PUBLIC SERVICES DEPARTMENT OF THE GOVERNING JURISDICTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES & IMPLEMENT SUCH MEASURES, FAILURE TO COMPLY WITH THE APPROVED CONSTRUCTION WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, AND / OR A PROJECT STOP ORDER.
- 6. ALL LOOSE SOIL AND DEBRIS SHALL BE REMOVED FROM THE STREET AREAS UPON STARTING OPERATIONS AND PERIODICALLY THEREAFTER AS DIRECTED BY THE INSPECTOR. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY
- 7. THE CONTRACTOR SHALL INSTALL CONTROLLED ACCESS AND EGRESS AS DEFINED IN THESE PLANS. LOCATION TO BE APPROVED BY THE ENGINEER IN THE FIELD. CONSTRUCTION EGRESS WILL BE EQUIPPED WITH A TIRE WASH STATION, AS NEEDED. ALL DISCHARGE FROM THE TIRE WASH STATION WILL BE DIRECTED TO APPROPRIATE COLLECTION AREAS, AND NOT ALLOWED TO LEAVE THE SITE. ANY MUD OR SEDIMENT THAT IS TRACKED OFF-SITE ONTO PAVED AREAS WILL BE REMOVED AS NEEDED. POWER WASHING OF STREETS IS NOT PERMITTED. STREET CLEANING EQUIPMENT WILL HAVE SWEEPERS AND VACUUM CAPABILITY.
- DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT RUNOFF TO ANY STORM DRAIN SYSTEM OR ADJACENT LANDSCAPE.
- . DURING PERIODS WHEN STORMS ARE FORECAST -9.0. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS. 9.b. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE 9.c. WHERE STOCKPILING IS NECESSARY, USE A TARPAULIN AND SURROUND THE
- STOCKPILED MATERIAL WITH SEDIMENT ROLLS, GRAVEL SEDIMENT BARRIER, SILT FENCE, OR OTHER RUNOFF CONTROLS. 9.d. USE INLET CONTROLS AS NEEDED (E.G. ERTEC DRAIN INLET PROTECTION) FOR STORM DRAIN ADJACENT TO THE PROJECT SITE OR STOCKPILED SOIL.
- 10. THOROUGHLY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXCAVATION AND
- 11. STAND-BY CREWS SHALL BE ALERTED BY THE PERMITTEE OR CONTRACTOR FOR EMERGENCY WORK DURING RAINSTORMS.
- 12. AS A PART OF THE EROSION CONTROL MEASURES, DRAINAGE INLET PROTECTION (SEDIMENT BARRIERS) SHALL BE INSTALLED ON INLETS TO REMAIN DURING THIS PHASE.
- 13. IT IS RECOMMENDED THAT ERTEC S-FENCE OR COMPARABLE PRODUCTS BE USED IN PLACE OF TRADITIONAL STRAW OR SEDIMENT ROLLS AND SILT FENCES. THESE PRODUCTS CAN BE REUSED AFTER THE COMPLETION OF THIS PROJECT, INSTALL PER MANUFACTURER'S RECOMMENDATIONS.
- 14. ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS SHALL BE STABILIZED WITH HYDRAULICALLY APPLIED MATERIAL OR SOIL STABILIZER PER THIS PLAN.
- 15. FOR GRADED BANKS WITH SLOPES BETWEEN 50:1 AND 3:1, EXPOSED EARTH SHALL BE STABILIZED WITH ATLAS SOIL-LOK PRODUCT, HYDRO STRAW GUARD PLUS OR HYDRO STRAW BFM AND SEED, LANDSCAPED, OR SEALED. IF THE PERMANENT STORM DRAIN SYSTEM IS NOT INSTALLED BY OCTOBER 1, TEMPORARY DITCHES SHALL BE CONSTRUCTED TO CONTAIN THE STORM WATER AND DIRECT IT, IN A MANNER THAT AVOIDS EROSION OF THE BANKS, TO THE EROSION AND SEDIMENT CONTROL FACILITIES. FOLLOW THE DESIGN OF THESE FACILITIES IN THIS PLAN.
- 16. FOR SLOPES OF 2:1 OR STEEPER, SEE HYDROSEED NOTES BELOW.
- 17. ALL CUT AND FILL SLOPES ARE TO BE PROTECTED TO PREVENT OVERBANK FLOW USING ERTEC S-FENCE, OR EQUAL, AS SPECIFIED ON THESE PLANS.
- 18. APPLY ATLAS DUST LOCK (OR EQUAL) TO ALL GRADED AREAS, INCLUDING, BUT NOT LIMITED TO, CUT AND FILL SLOPES, STREETS, PARKING AREAS, AND BUILDING PADS THAT DO NOT HAVE FINAL PAVEMENT OR PERMANENT STABILIZATION.
- 19. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES PER PLAN TO THE SATISFACTION OF THE CITY ENGINEER.
- 20. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING SAFETY OF VEHICLES OPERATING IN ROADWAY ADJACENT TO EROSION CONTROL FACILITIES. CONTRACTOR SHALL ENSURE THAT PONDING/FLOODING IN STREETS DOES NOT INTERFERE WITH TRAFFIC LANES AT
- 21. DUST CONTROL SHOULD BE PRACTICED ON ALL CONSTRUCTION SITES WITH EXPOSED SOILS AS NEEDED ESPECIALLY IN WINDY OR WIND-PRONE AREAS. DUST CONTROL IS CONSIDERED A TEMPORARY MEASURE AND AS AN INTERMEDIATE TREATMENT BETWEEN SITE DISTURBANCE AND CONSTRUCTION, PAVING, OR REVEGETATION. REFER TO EROSION CONTROL AND SEDIMENT CONTROL FIELD MANUAL, 3RD EDITION, PREPARED BY THE CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, SAN FRANCISCO BAY REGION.
- 22. ALL TREES ALLOCATED TO REMAIN SHALL BE PROTECTED PER THIS PLAN AND ARBORIST'S RECOMMENDATIONS.
- 23. WHEN POSSIBLE WORK SHOULD BE CONDUCTED DURING PERIODS OF NO FLOW OR
- 24. PRO-WATTLE (OR EQUAL) MAY BE USED IN PLACE OF S-FENCE (OR EQUAL) EXCEPT FOR PERIMETER PROTECTION AND TOP OF BANK PROTECTION AT SEDIMENT BASIN
- 25. HYDRO STRAW GUARD PLUS OR HYDRO STRAW BFM TO BE APPLIED PER MANUFACTURER'S RECOMMENDATION AND PER THE DIRECTION OF THE CIVIL ENGINEER TO DISTURBED AREAS NOT TO RECEIVE STRUCTURAL FILL OR VEHICULAR TRAFFIC.

### **HYDROSEED NOTES**

- THE FOLLOWING HYDROSEED NOTES ARE APPLICABLE TO GRADED BANKS STEEPER THAN 2:1. FOR GRADED BANK SLOPED AT 3:1 OR LESS, SEE NOTE 15 ABOVE.
- 1. HYDROSEED SHALL BE APPLIED PER MANUFACTURER'S RECOMMENDATIONS IN THE FOLLOWING STEPS: A. APPLY HYDRAULIC GROWTH MEDIUM (HGM, SEE NOTE 2 BELOW) AT A RATE OF 3,500 LB/ACRE B. APPLY WOOD BONDED FIBER MATRIX (BFM) BY PROFILE OR EQUIVALENT AT A

GUAR, OR A COMBINATION OF BOTH) SUFFICIENT TO COVER THE AREA 1.5" DEEP.

RATE OF 4,000/ACRE 2. FOR HGM, MIX 150 LBS/ACRE "HOLD FAST NATIVE BLEND" SEED MIX WITH 3,500 LBS/ACRE "VERDYOL BLACK" AND 80 LBS/ACRE ORGANIC BINDER (PLANTAGO,

ALL PROCESSES TO BE APPROVED BY CIVIL ENGINEER.

BEWLEY RESIDENCE

Project

1435 Audubon Ave. Montara, CA 94037 APN: 036-310-180

Architect

HM.a+e

Henri Mannik Architecture and Engineering

> 5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p 510 601 7196 f

> > Consultant



2013 Sherwood Design Engineers Civil Engineers The designs and shown are the sole property of Sherwood Design s and may not be used without the prior written consent

Stamp

Printing Date

1.28.2009 Coordination Site Coordination 2.20.2009 2.26.2009 Structural Review 3.02.2009 Coordination 8.03.2009 Coordination Coordination 9.25.2009 4.14.2014 Planning Permit 7.10.2015 Design Review Planning Resubmit 3.22.2017

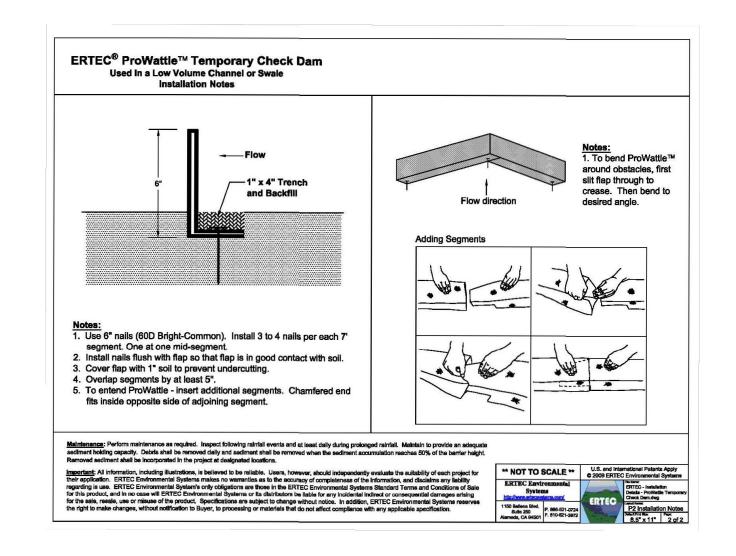
> HM,a+e Job Number 2005,01

> > Sheet Title

**EROSION CONTROL DETAILS** 

Sheet Number

© Henri Mannik, a+e 2013



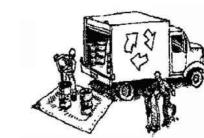




# **Construction Best Management Practices (BMPs)**

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

### Materials & Waste Management



Non-Hazardous Materials

☐ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within ☐ Use (but don't overuse) reclaimed water for dust control.

### Hazardous Materials

 $\hfill \square$  Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations. ☐ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast. ☐ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours. ☐ Arrange for appropriate disposal of all hazardous wastes.

### Waste Management

Cover waste disposal containers securely with tarps at the end of every work day and during wet weather, ☐ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the ☐ Clean or replace portable toilets, and inspect them frequently for

☐ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.) ☐ Dispose of liquid residues from paints, thinners, solvents, glues, and

### Construction Entrances and Perimeter

to clean up tracking.

cleaning fluids as hazardous waste.

☐ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site. ☐ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets

### Equipment Management & Spill Control



Designate an area, fitted with appropriate BMPs, for

- vehicle and equipment parking and storage. Perform major maintenance, repair jobs, and vehicle and equipment washing off site. ☐ If refueling or vehicle maintenance must be done
- onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste. If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

### Spill Prevention and Control ☐ Keep spill cleanup materials (e.g., rags, absorbents and

- cat litter) available at the construction site at all times. ☐ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks
- Clean up spills or leaks immediately and dispose of cleanup materials properly. Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, eat
- litter, and/or rags). Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them. Clean up spills on dirt areas by digging up and
- properly disposing of contaminated soil. Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

### Earthmoving

during dry weather.

gravel bags, berms, etc.

Control Board:

or odor.

Abandoned wells

If any of the following conditions are

contact the Regional Water Quality

- Abandoned underground tanks.

Buried barrels, debris, or trash.

Unusual soil conditions, discoloration,

or where construction is not immediately



Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff. Schedule grading and excavation work Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry ☐ Stabilize all denuded areas, install and

Paving/Asphalt Work

- seal, fog seal, etc. maintain temporary erosion controls (such Collect and recycle or appropriately matrix) until vegetation is established. dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters. ☐ Remove existing vegetation only when Do not use water to wash down fresh absolutely necessary, and seed or plant asphalt concrete pavement. vegetation for crosion control on slopes
- Sawcutting & Asphalt/Concrete Removal Prevent sediment from migrating offsite Protect nearby storm drain inlets when and protect storm drain inlets, gutters, saw cutting. Use filter fabric, catch basin ditches, and drainage courses by installing inlet filters, or gravel bags to keep slurry and maintaining appropriate BMPs, such out of the storm drain system. as fiber rolls, silt fences, sediment basins, ☐ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon Keep excavated soil on site and transfer it as you are finished in one location or at to dump trucks on site, not in the streets.
  - the end of each work day (whichever is ☐ If sawcut slurry enters a catch basin, clean it up immediately.

# Landscaping

Concrete, Grout & Mortar

☐ Store concrete, grout, and mortar away

☐ Wash out concrete equipment/trucks

offsite or in a designated washout

that will prevent leaching into the

When washing exposed aggregate,

and disposed of properly.

area, where the water will flow into a

underlying soil or onto surrounding areas.

Let concrete harden and dispose of as

prevent washwater from entering storm

gutters, hose washwater onto dirt areas, or

drain onto a bermed surface to be pumped

drains. Block any inlets and vacuum

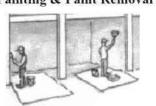
rain, runoff, and wind.

from storm drains or waterways, and on

Application

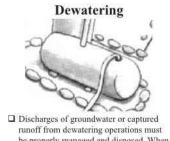
☐ Protect stockpiled landscaping materials from wind and rain by storing them under Stack bagged material on pallets and ☐ Discontinue application of any erodible landscape material within 2 days before a

### Painting & Paint Removal



Painting Cleanup and Removal ☐ Never clean brushes or rinse pain

- containers into a street, gutter, storm drain, or stream. ☐ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ☐ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste. ☐ Paint chips and dust from non-hazardous swept up or collected in plastic drop cloths and disposed of as trash.
- ☐ Chemical paint stripping residue and chips and dust from marine paints or paints must be disposed of as hazardous waste. Lead based paint removal requires a statecertified contractor.



be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant. ☐ Divert run-on water from offsite away

- from all disturbed areas. ☐ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter through a basin, tank, or sediment trap forecast rain event or during wet weather. may be required.
  - ☐ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

Storm drain polluters may be liable for fines of up to \$10,000 per day



A CONSTRUCTION BMP PLAN SHEET

SCALE: NTS

1. CONTRACTOR REQUIRED TO IMPLEMENT ALL APPLICABLE BMPS ON THIS PLAN SHEET.

Project

# **BEWLEY** RESIDENCE

1435 Audubon Ave. Montara, CA 94037 APN: 036-310-180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering

> 5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p 510 601 7196 f

Consultant



©2013 Sherwood Design Engineers Civil Engineers The designs and concepts shown are the sole property of Sherwood Design ingineers and may not be used without the prior written consent

Stamp

Printing Date

Coordination 1.28.2009 Site Coordination Structural Review 2.26.2009 3.02.2009 Coordination Coordination 8.03.2009 9.25.2009 Coordination Planning Permit 4.14.2014 7.10.2015 Design Review Planning Resubmit 3.22.2017

> HM,a+e Job Number 2005,01

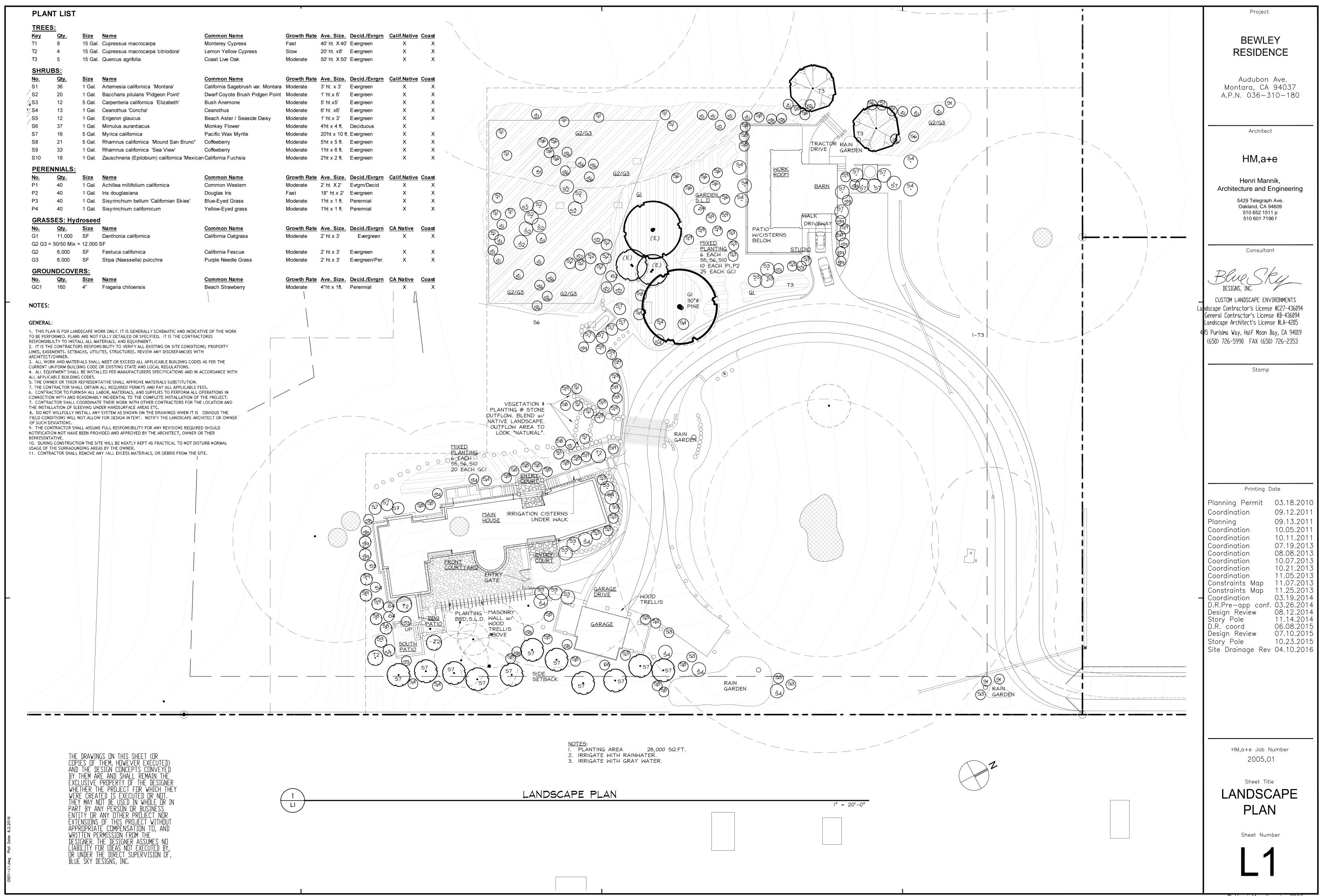
Sheet Title

**EROSION CONTROL DETAILS** 

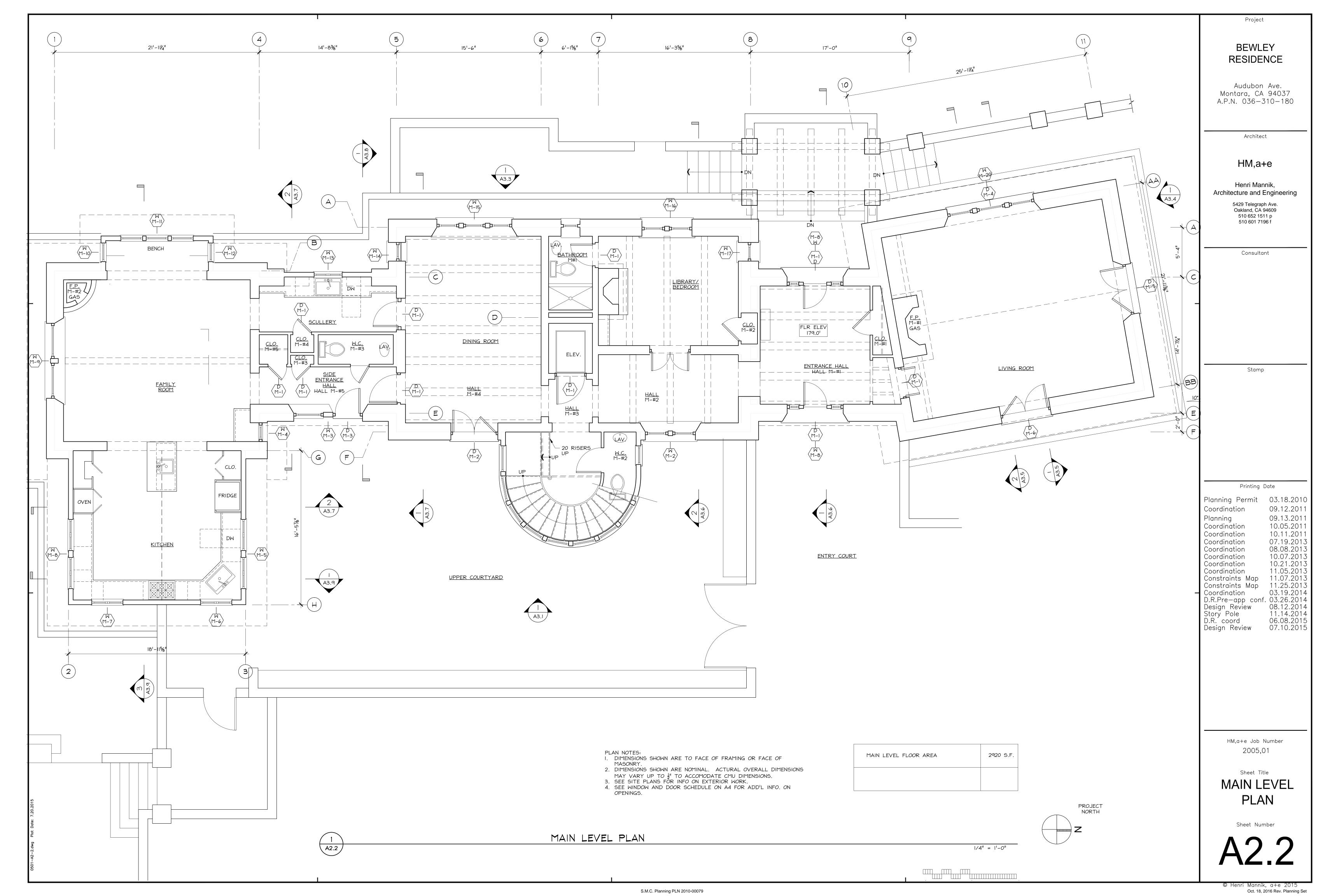
Sheet Number

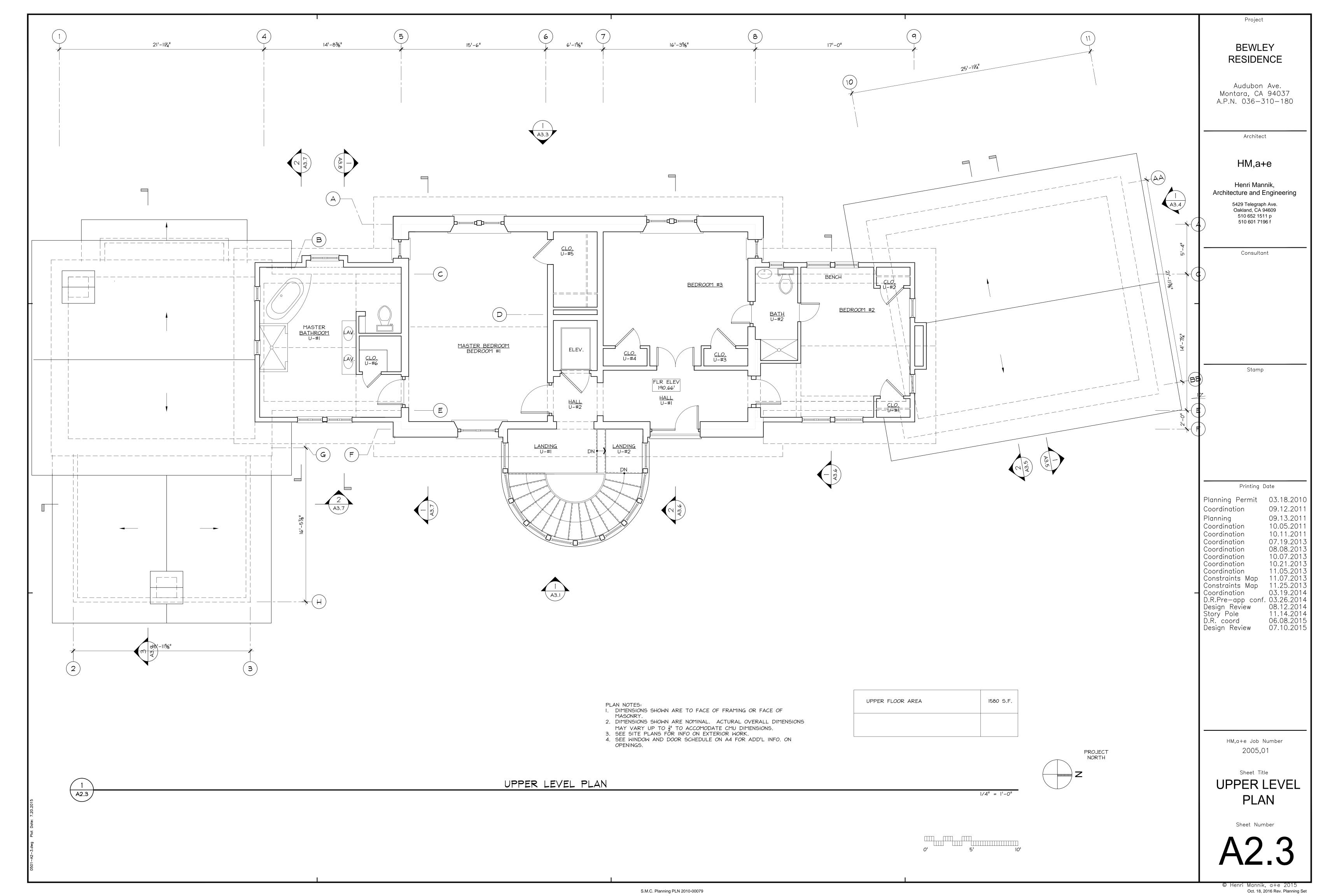
C5.2

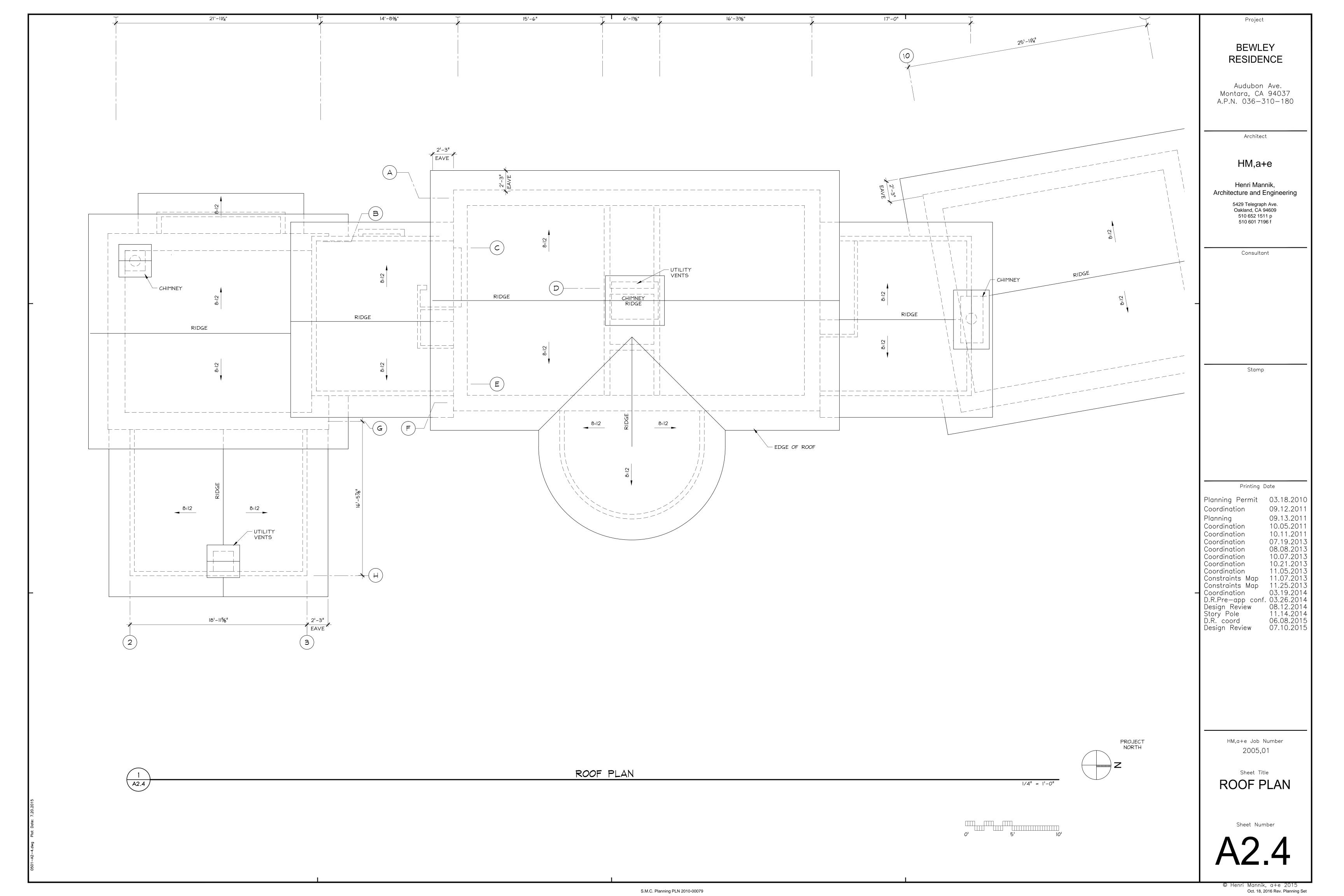
© Henri Mannik, a+e 2013

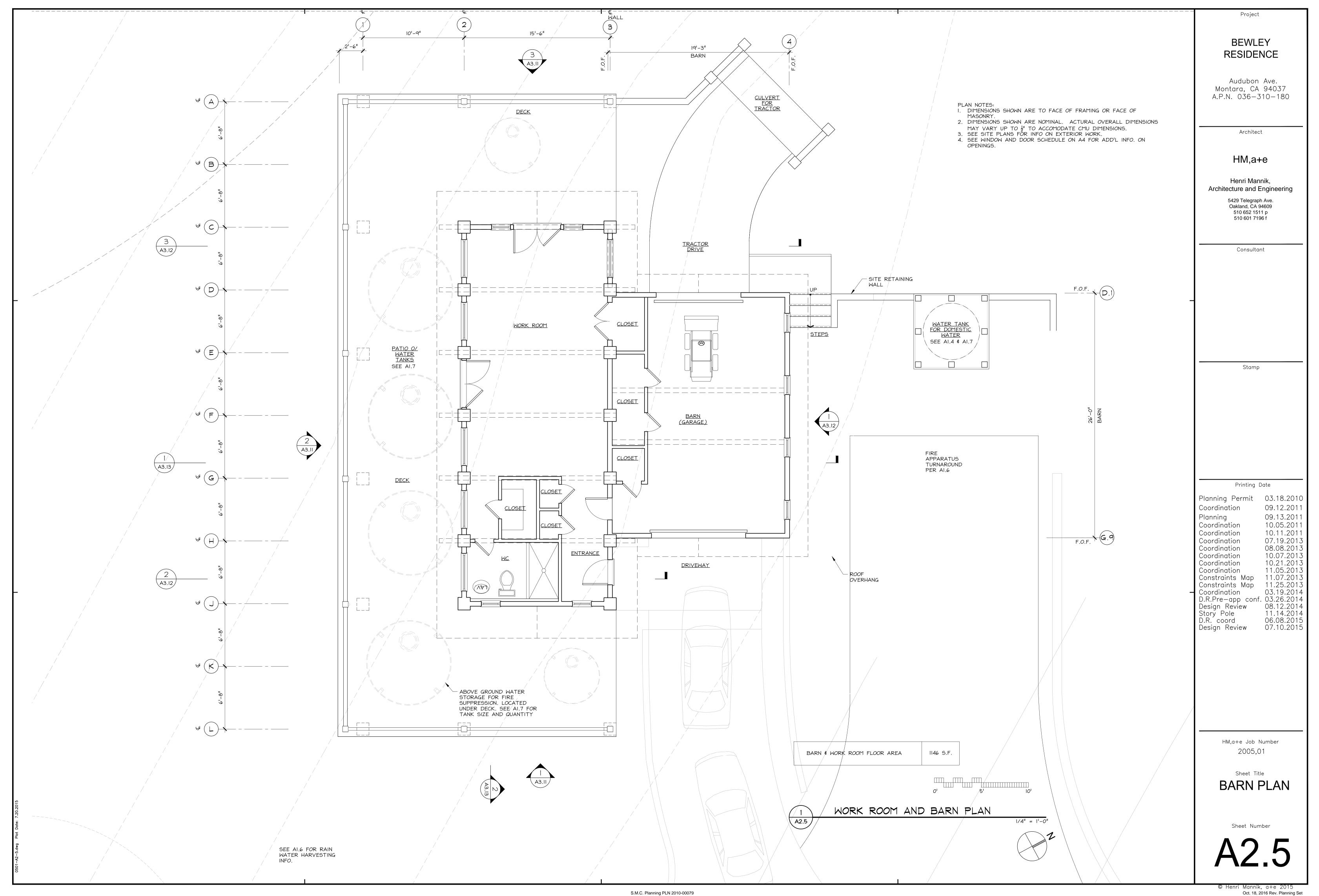


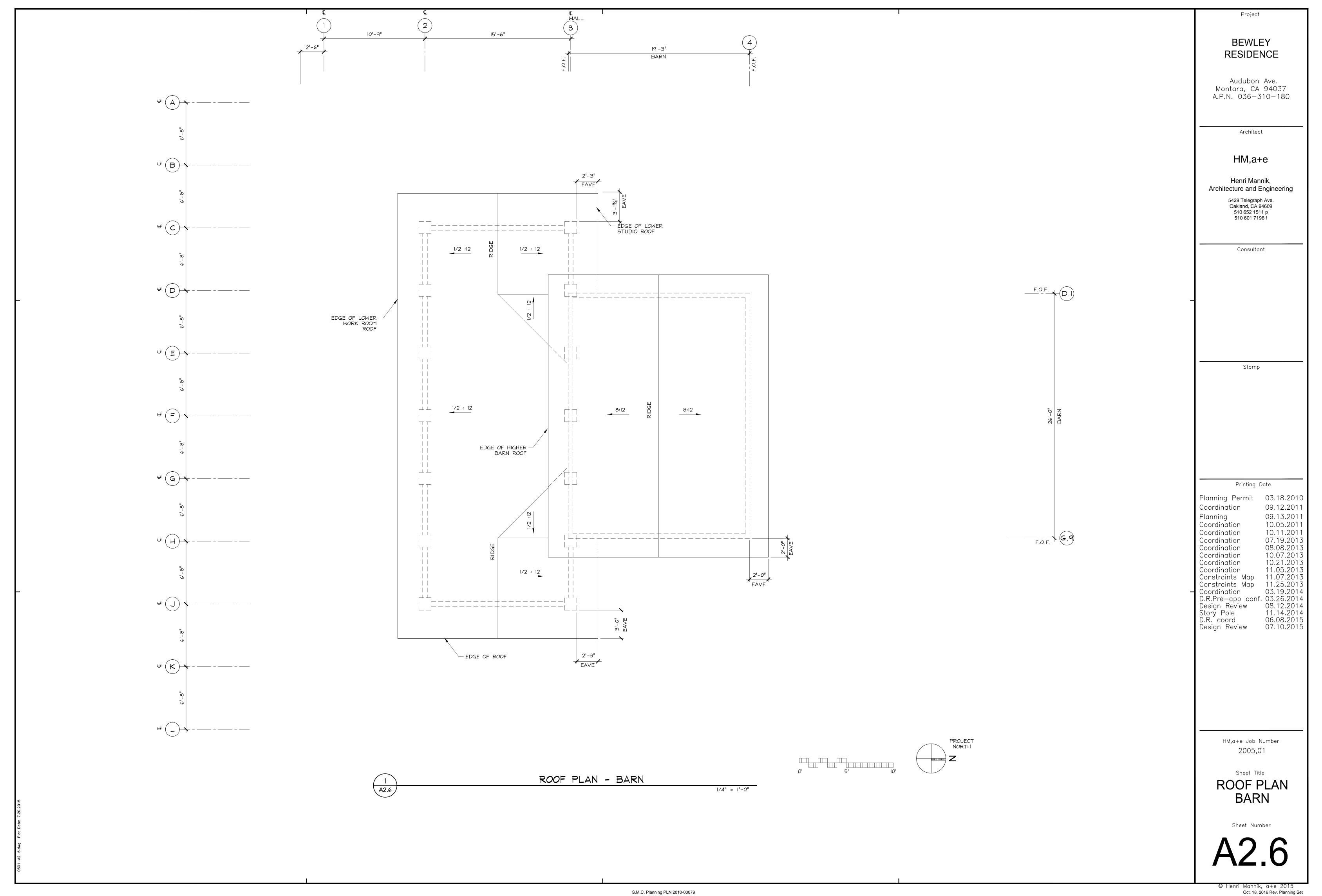
S.M.C. Planning PLN 2010-00079



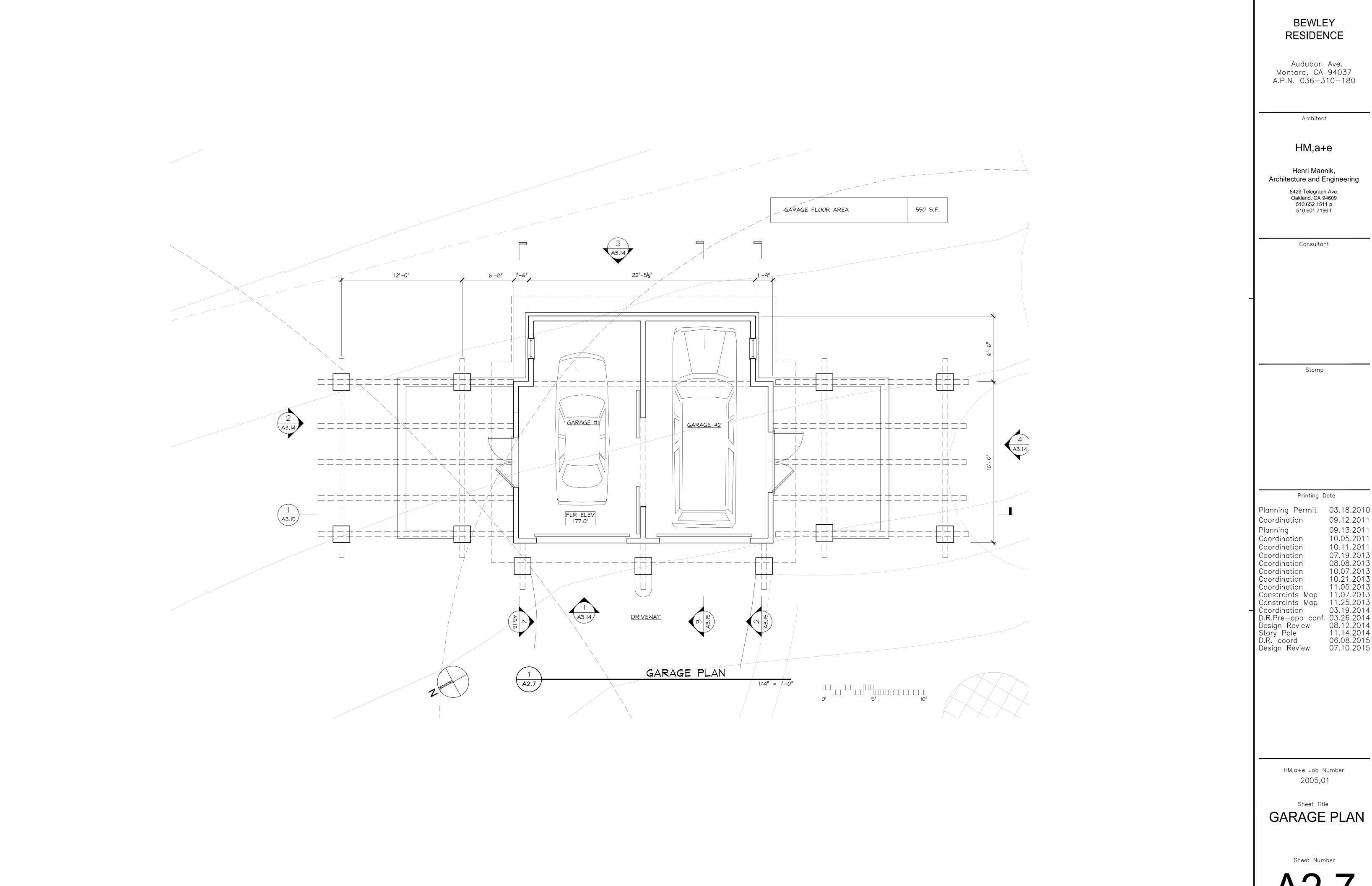








S.M.C. Planning PLN 2010-00079



Project

09.12.2011 

 Coordination
 09.12.2011

 Planning
 09.13.2011

 Coordination
 10.05.2011

 Coordination
 07.19.2013

 Coordination
 08.08.2013

 Coordination
 10.07.2013

 Coordination
 11.05.2013

 Constraints Map
 11.07.2013

 Constraints Map
 11.25.2013

 Constraints Map
 03.19.2014

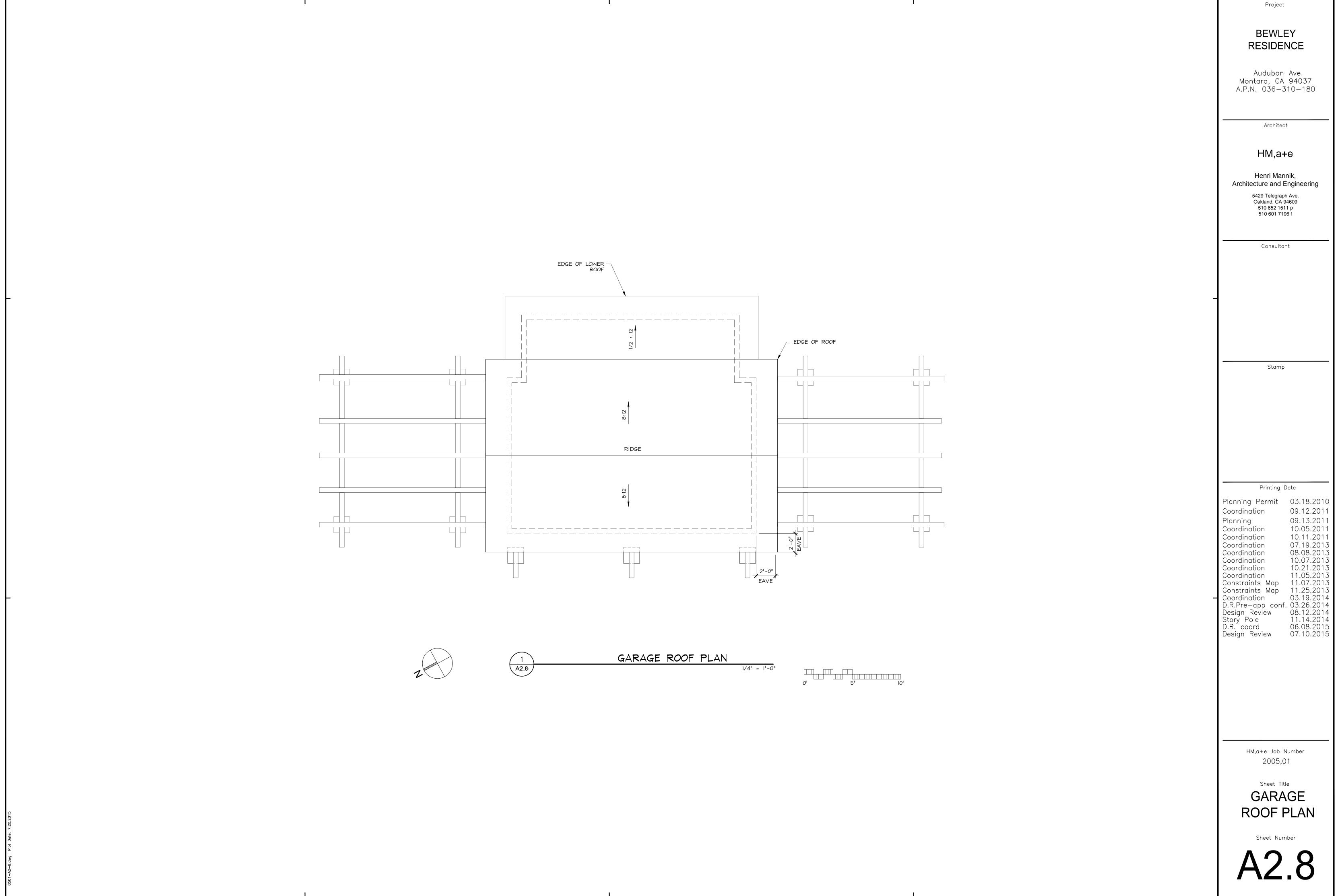
 D.R.Pre-app conf.
 03.26.2014

 Design Review
 08.12.2014

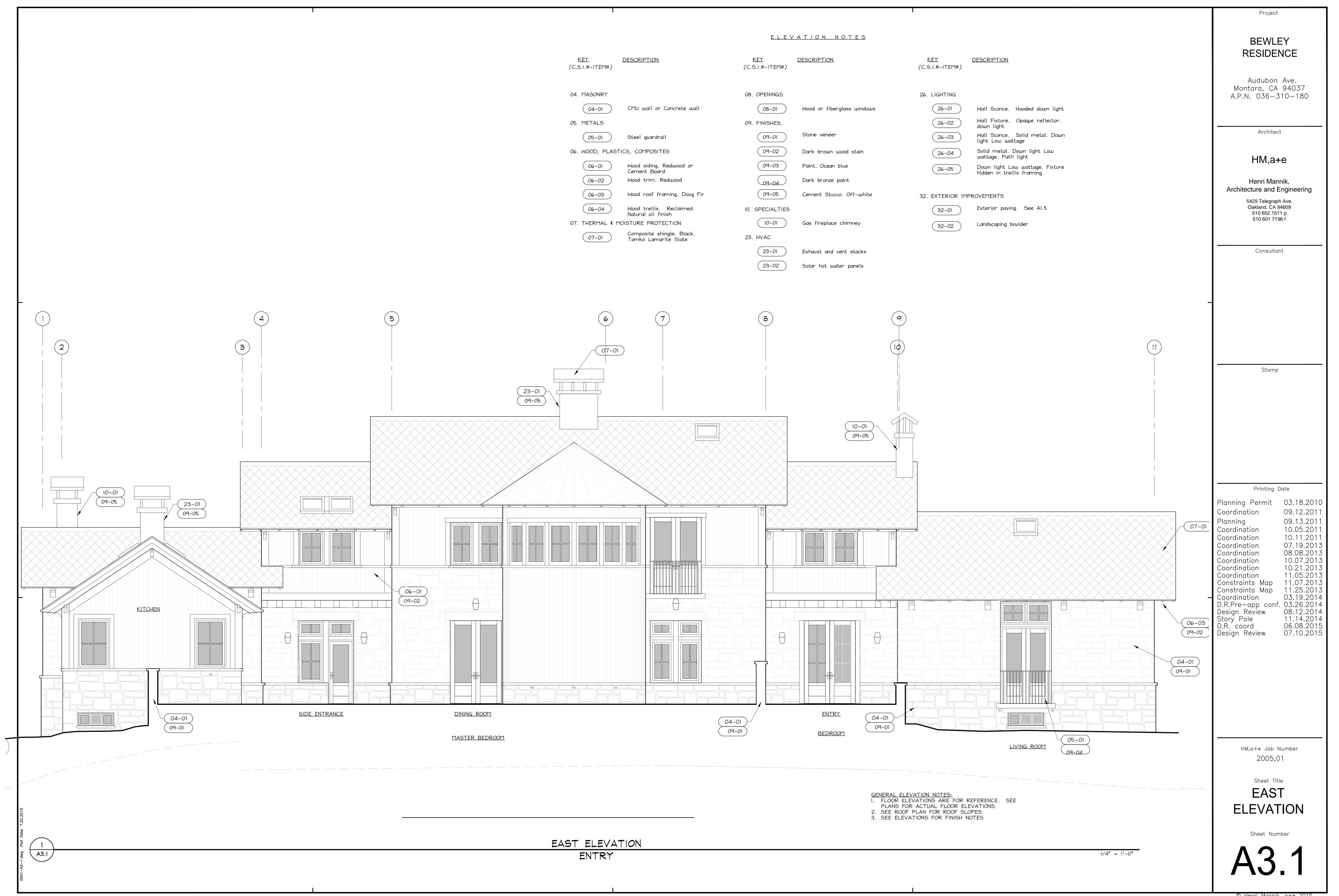
 Story Pole
 11.14.2014

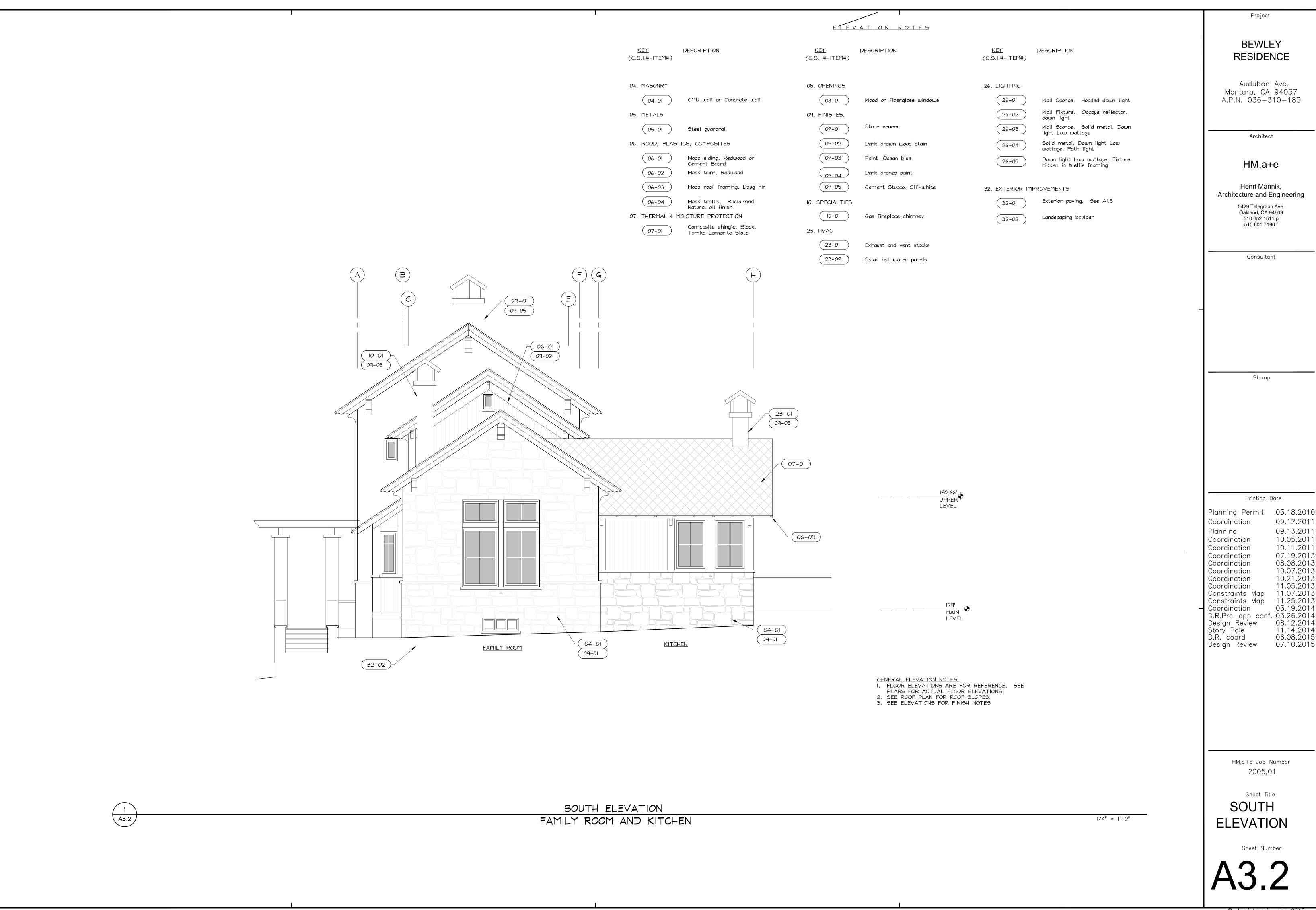
 D.R. coord
 06.08.2015

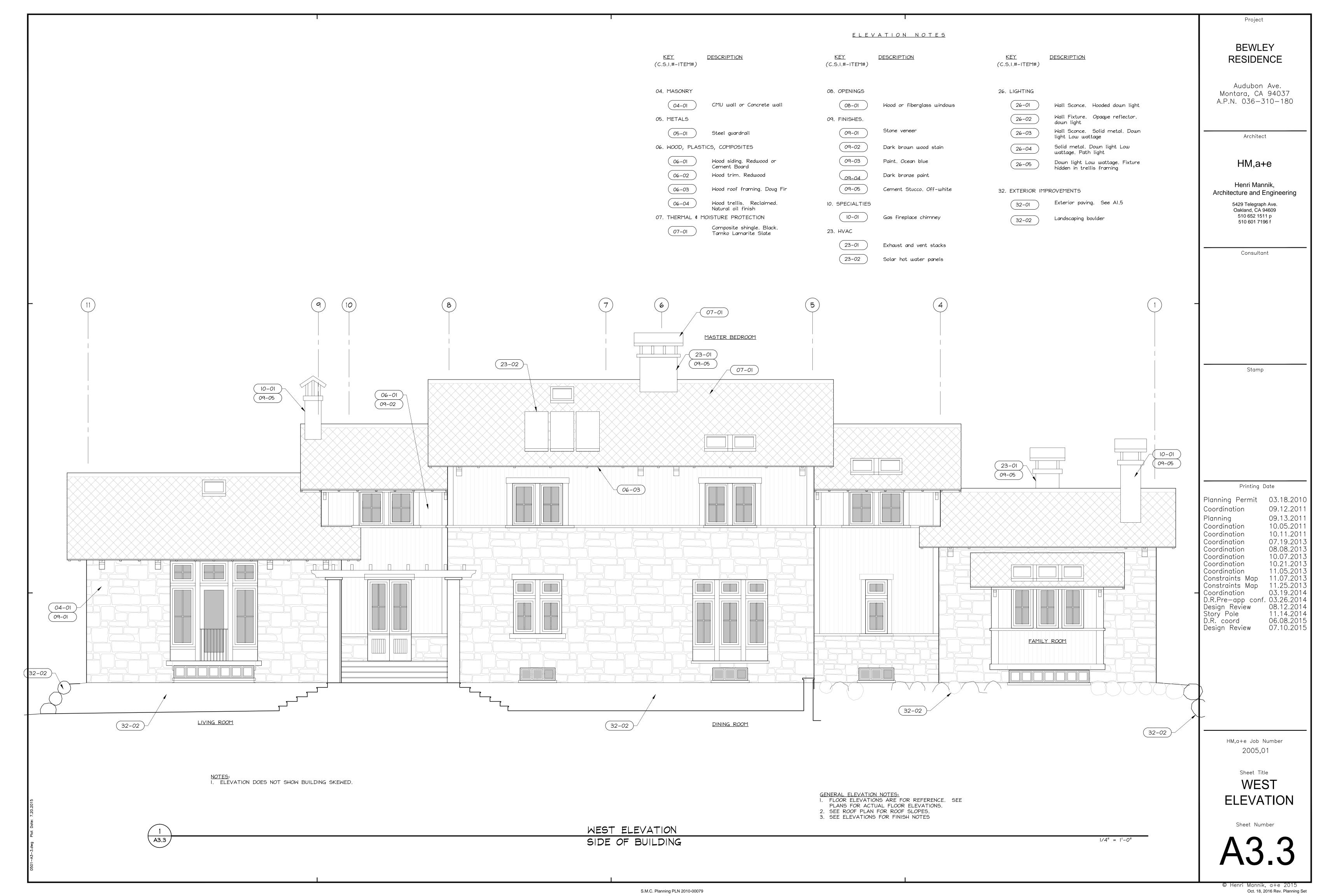
 Design Review
 07.10.2015



S.M.C. Planning PLN 2010-00079







### <u>ELEVATION NOTES</u> <u>KEY</u> **DESCRIPTION** <u>KEY</u> **DESCRIPTION DESCRIPTION** (C.S.I.#-ITEM#) (C.S.I.#-ITEM#) (C.S.I.#-ITEM#) 04. MASONRY 08. OPENINGS 26. LIGHTING CMU wall or Concrete wall (04-01 ( 08-01 Wood or fiberglass windows ( 26-01 Wall Sconce. Hooded down light Wall Fixture. Opaque reflector. 05. METALS 09. FINISHES. ( 26-02 down light 26-03 Stone veneer Wall Sconce. Solid metal. Down (09-01 (05-01 light Low wattage Solid metal. Down light Low wattage. Path light 06. WOOD, PLASTICS, COMPOSITES ( 09-02 Dark brown wood stain ( 26-04 (09-03 (06-01 Wood siding. Redwood or Paint. Ocean blue Down light Low wattage. Fixture hidden in trellis framing (26-05) Cement Board ( 06-02 Wood trim. Redwood Dark bronze paint Wood roof framing. Doug Fir ( 06-03 ( 09-05 Cement Stucco. Off-white 32. EXTERIOR IMPROVEMENTS Wood trellis. Reclaimed. Exterior paving. See A1.5 ( 06-04 10. SPECIALTIES ( 32-01 Natural oil finish ( 23-01 10-01 09-05 07. THERMAL & MOISTURE PROTECTION Gas fireplace chimney Landscaping boulder (32-02) Composite shingle. Black. 23. HVAC Tamko Lamarite Slate ( 23-01 Exhaust and vent stacks 09-05 ( 23-02 Solar hot water panels 06-03 ( 06-01 09-02 06-01 09-02 190.66' UPPER LIVING ROOM LEVEL ( 04-01 ) 09-01 179' MAIN LEVEL 05-01 32-02 32-02 NOTES: I. ELEVATION DOES NOT SHOW BUILDING SKEWED.

GENERAL ELEVATION NOTES:

1. FLOOR ELEVATIONS ARE FOR REFERENCE. SEE PLANS FOR ACTUAL FLOOR ELEVATIONS.

2. SEE ROOF PLAN FOR ROOF SLOPES.

3. SEE ELEVATIONS FOR FINISH NOTES

NORTH ELEVATION

LIVING ROOM

1/4" =  $1^1 - 0$ "

**ELEVATION** 

HM,a+e Job Number 2005,01

Sheet Title

NORTH

Project

**BEWLEY** 

RESIDENCE

Audubon Ave. Montara, CA 94037 A.P.N. 036-310-180

Architect

HM,a+e

Henri Mannik,

Architecture and Engineering

5429 Telegraph Ave. Oakland, CA 94609

510 652 1511 p

510 601 7196 f

Consultant

Stamp

Printing Date

09.12.2011 09.13.2011

10.05.2011

10.11.2011

07.19.2013

08.08.2013

10.07.2013 10.21.2013

11.05.2013

Planning Permit 03.18.2010

Constraints Map 11.07.2013
Constraints Map 11.25.2013
Coordination 03.19.2014
D.R.Pre—app conf. 03.26.2014
Design Review 08.12.2014
Story Pole 11.14.2014
D.R. coord 06.08.2015
Design Review 07.10.2015

Coordination

Coordination

Coordination

Coordination Coordination

Coordination Coordination

Coordination

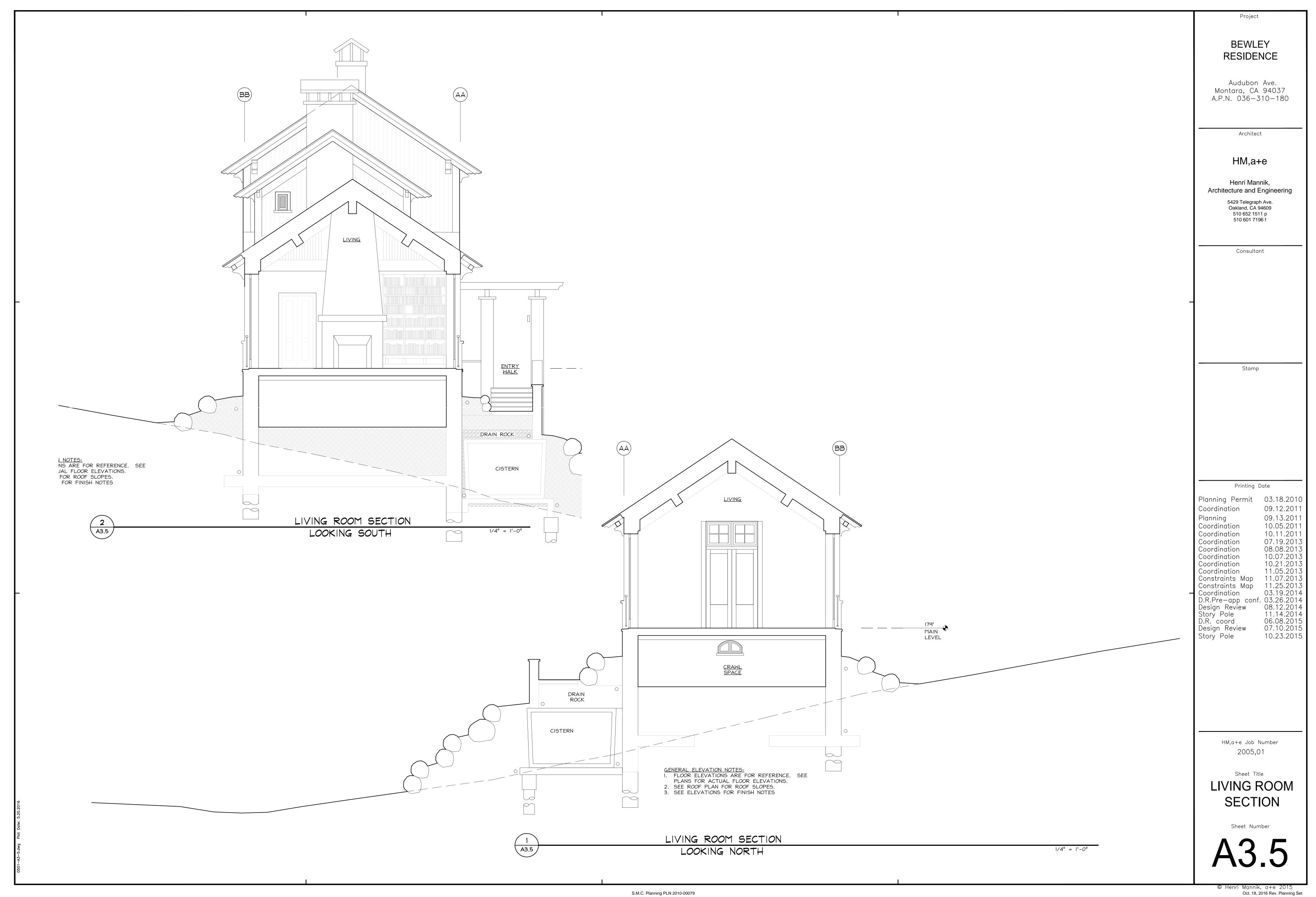
Planning

Sheet Number

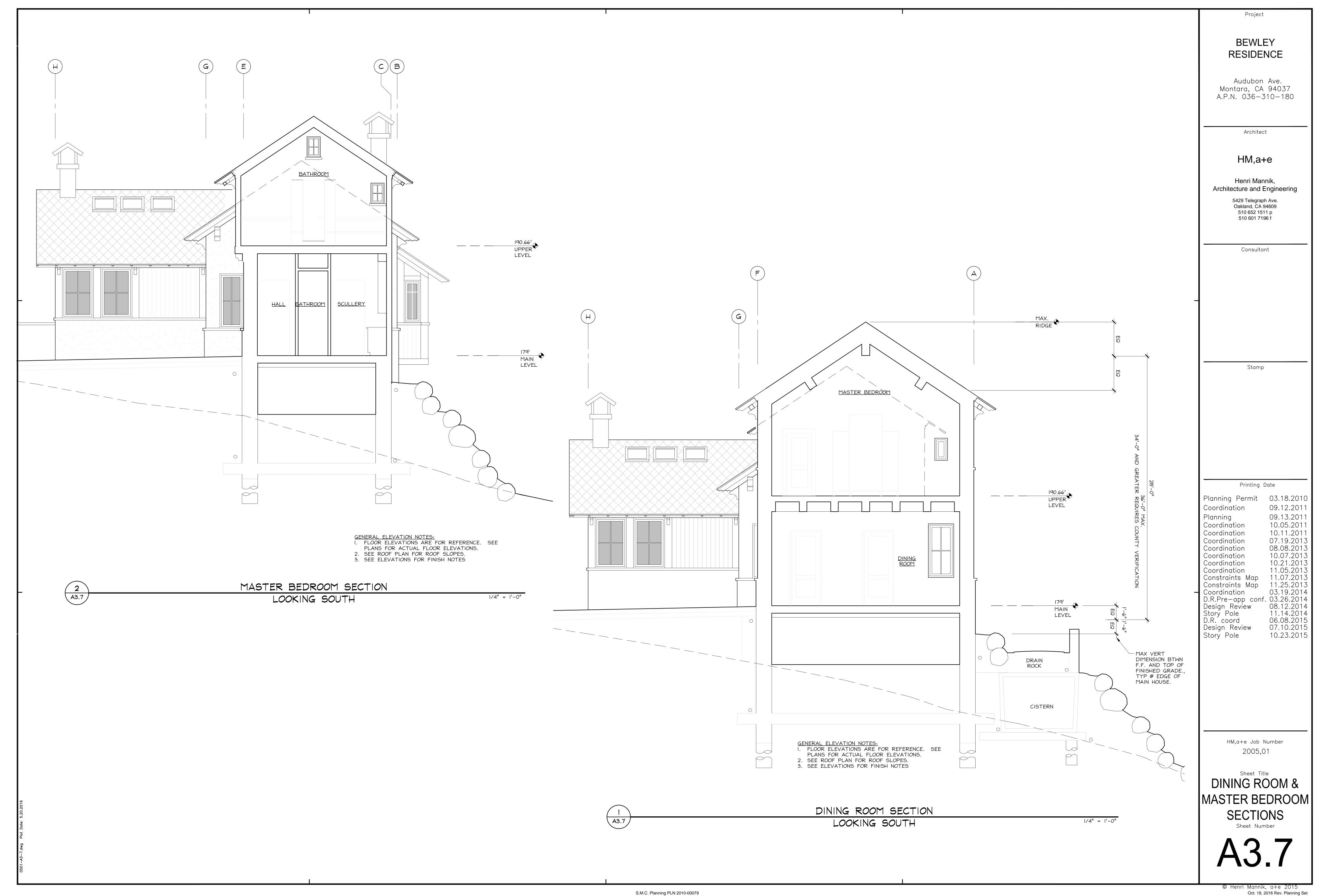
© Henri Mannik, a+e 2015 Oct. 18, 2016 Rev. Planning Set

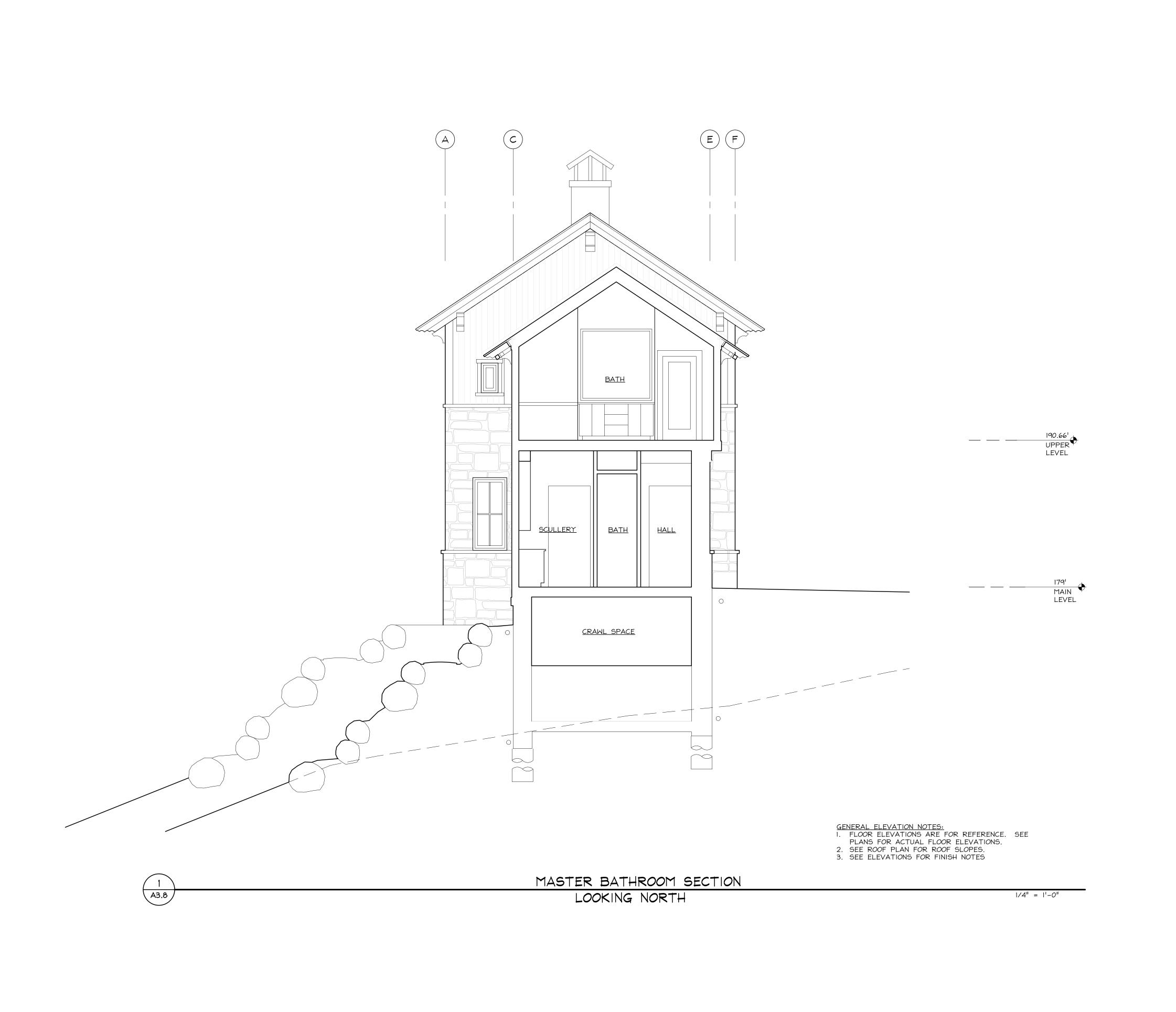
S.M.C. Planning PLN 2010-00079

A3.4









Project

BEWLEY RESIDENCE

Audubon Ave. Montara, CA 94037 A.P.N. 036—310—180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering

5429 Telegraph Ave. Oakland, CA 94609 510 652 1511 p 510 601 7196 f

Consultant

Stamp

Printing Date

Planning Permit 03.18.2010 09.12.2011 Coordination 09.13.2011 Planning 10.05.2011 Coordination 10.11.2011 Coordination Coordination Coordination 07.19.2013 08.08.2013 Coordination Coordination Coordination 10.07.2013 10.21.2013 11.05.2013 Coordination 11.05.2013
Constraints Map 11.07.2013
Constraints Map 11.25.2013
Coordination 03.19.2014
D.R.Pre—app conf. 03.26.2014
Design Review 08.12.2014
Story Pole 11.14.2014
D.R. coord 06.08.2015
Design Review 07.10.2015
Story Pole 10.23.2015

> HM,a+e Job Number 2005,01

Sheet Title

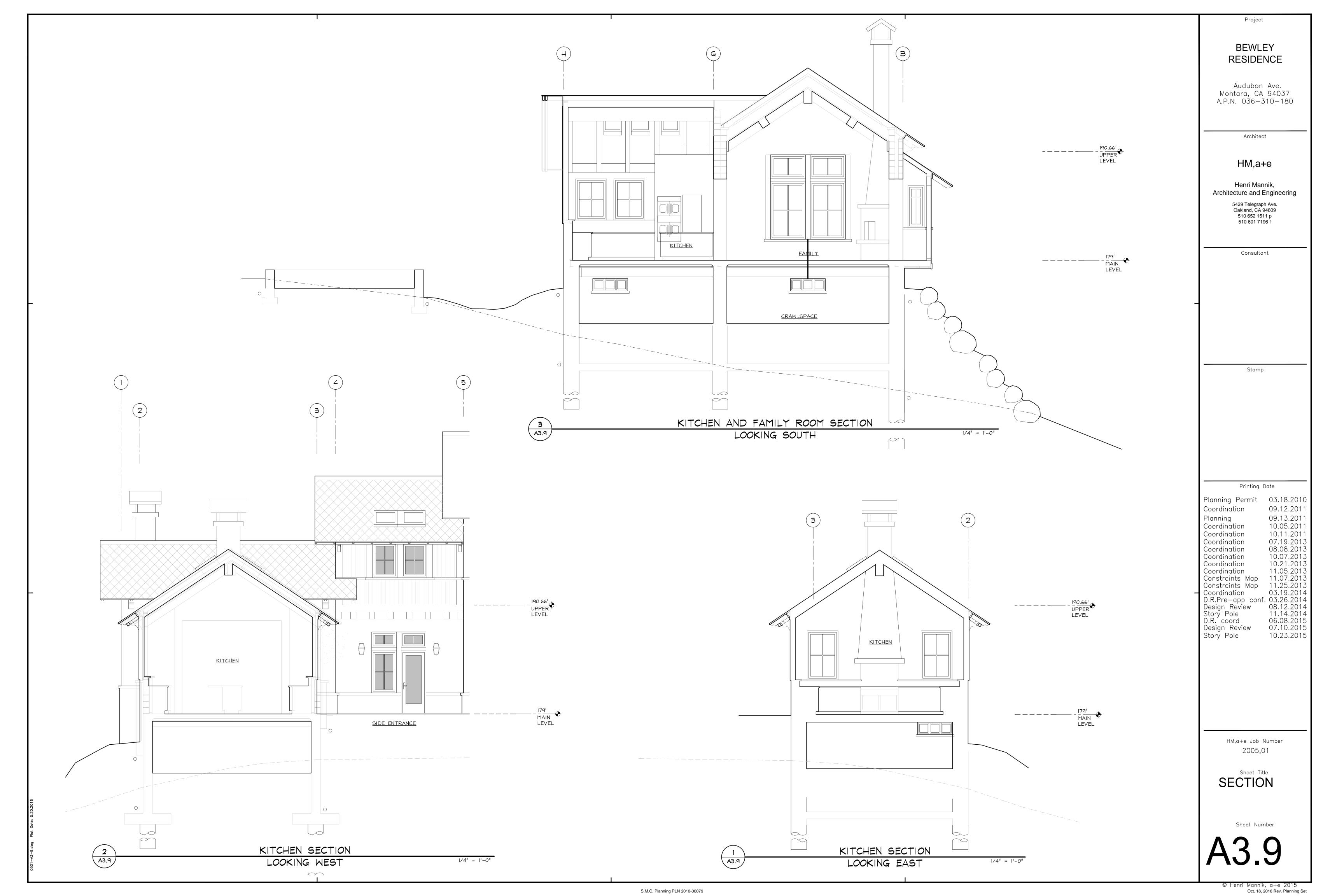
MASTER

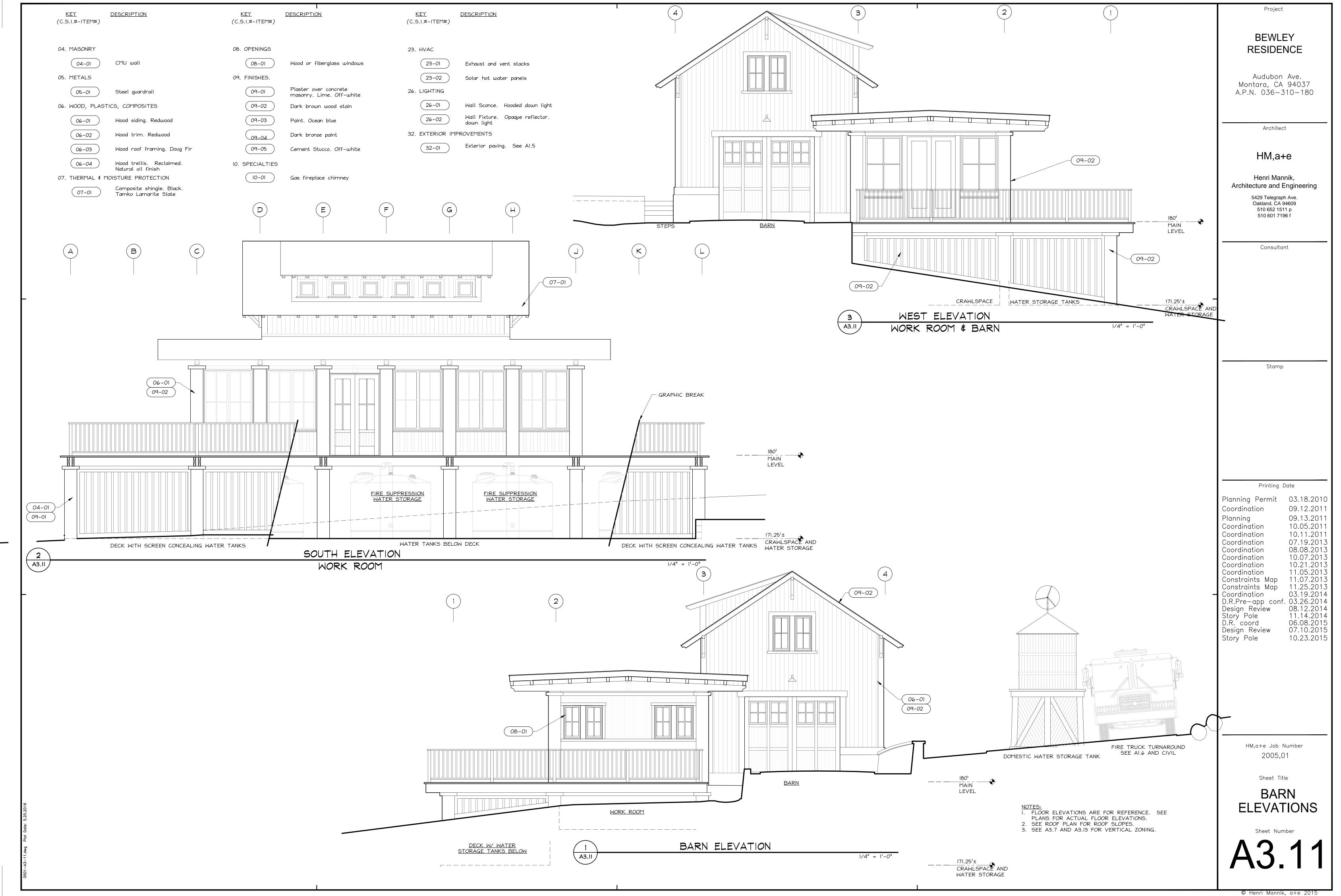
BEDROOM

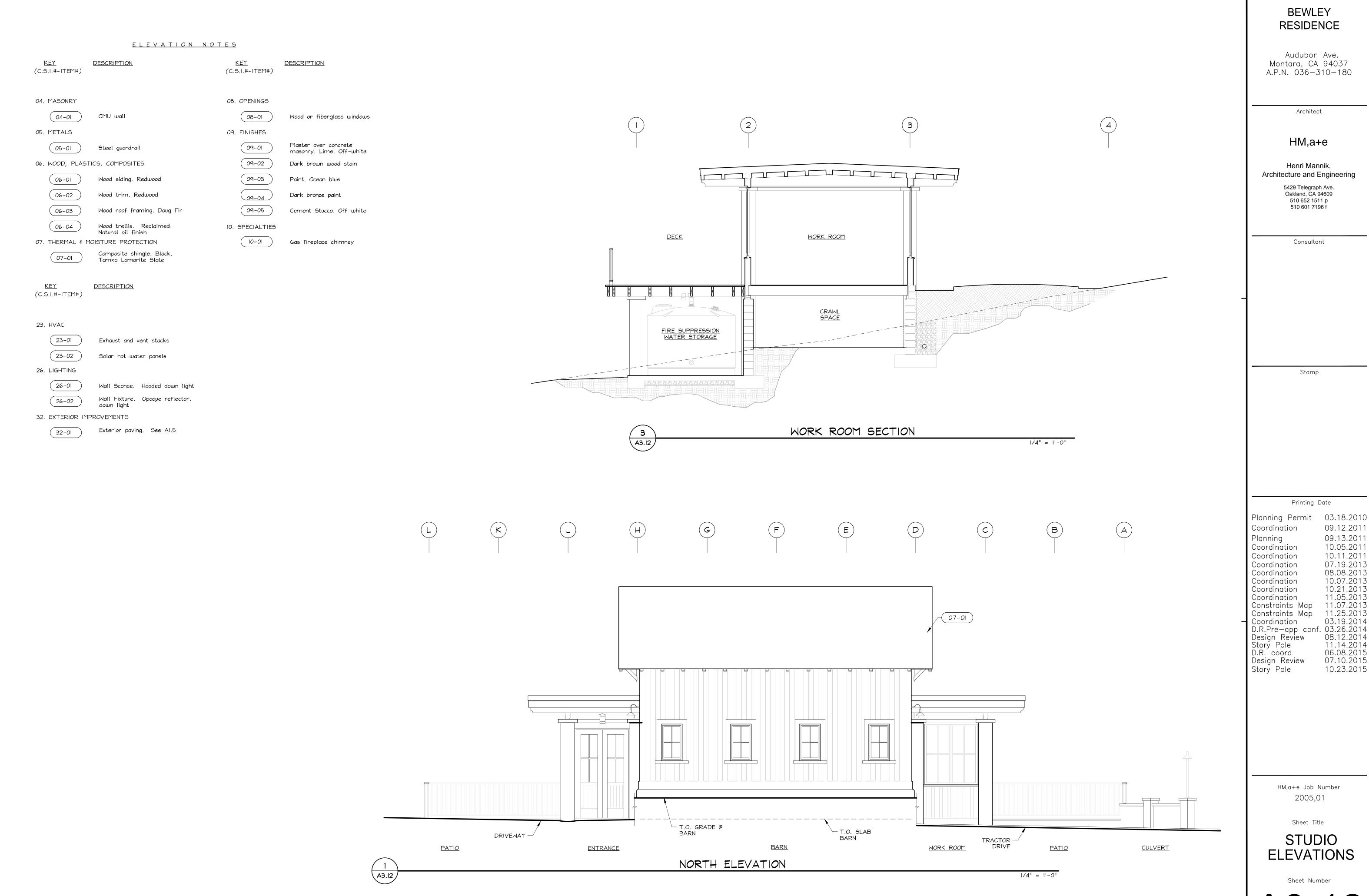
SECTION

Sheet Number

A3.8



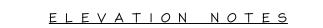




Project

09.12.2011 09.13.2011 10.05.2011 10.11.2011 07.19.2013 08.08.2013 10.07.2013 10.21.2013 11.05.2013 Constraints Map 11.07.2013
Constraints Map 11.25.2013
Constraints Map 11.25.2013
Coordination 03.19.2014
D.R.Pre—app conf. 03.26.2014
Design Review 08.12.2014
Story Pole 11.14.2014
D.R. coord 06.08.2015
Design Review 07.10.2015 07.10.2015 10.23.2015

S.M.C. Planning PLN 2010-00079



KEY DESCRIPTION

(C.S.I.#-ITEM#)

O4. MASONRY

CMU wall

O5. METALS

DESCRIPTION

(C.S.I.#-ITEM#)

Weed or fiberglass windows

O9. FINISHES.

09. FINISHES.

Plaster over concrete

Steel guardrail

O6. WOOD, PLASTICS, COMPOSITES

Plaster over concrete masonry. Lime. Off-white

Dark brown wood stain

Wood siding. Redwood
Paint. Ocean blue

Wood trim. Redwood
Dark bronze paint

Wood roof framing. Doug Fir
Cement Stucco. Off-white

A3.I3

Wood trellis. Reclaimed. 10. SPECIALTIES
Natural oil finish

07. THERMAL & MOISTURE PROTECTION Gas fireplace chimney

Composite shingle. Black. Tamko Lamarite Slate

KEY DESCRIPTION (C.S.I.#-ITEM#)

23. HVAC

Exhaust and vent stacks

Solar hot water panels

26. LIGHTING

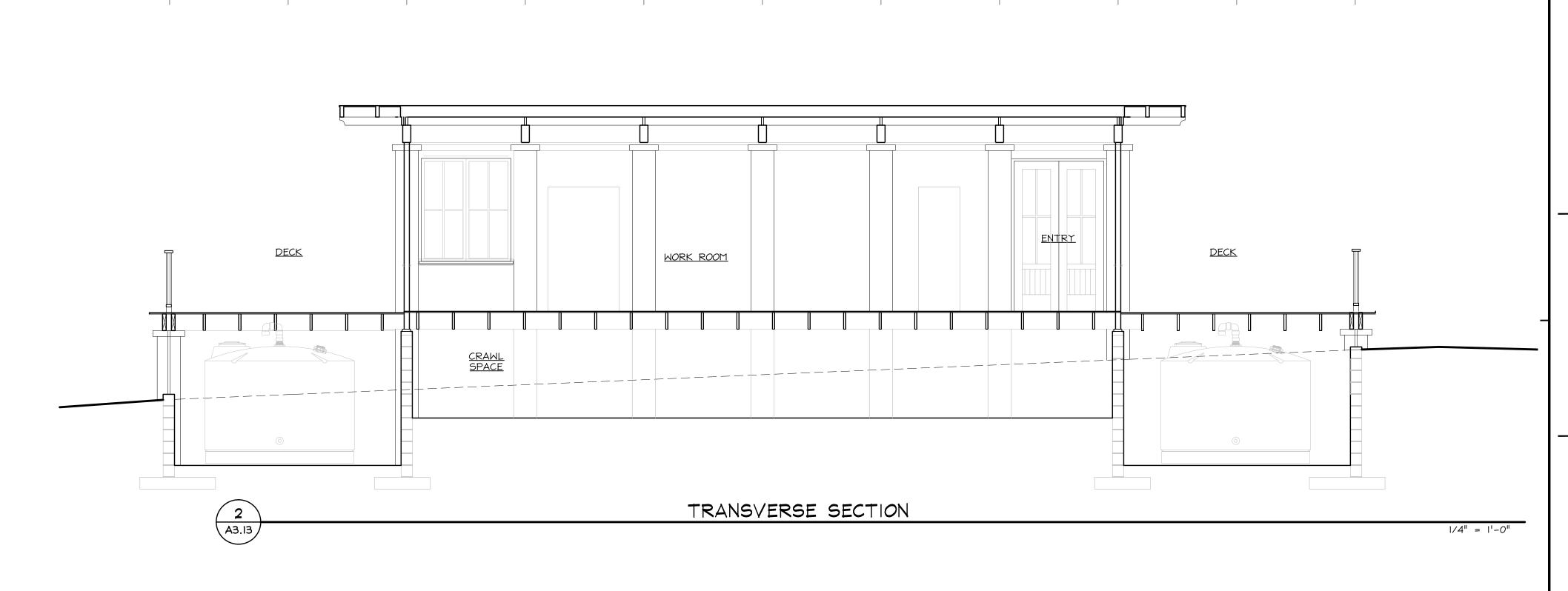
Wall Sconce. Hooded down light

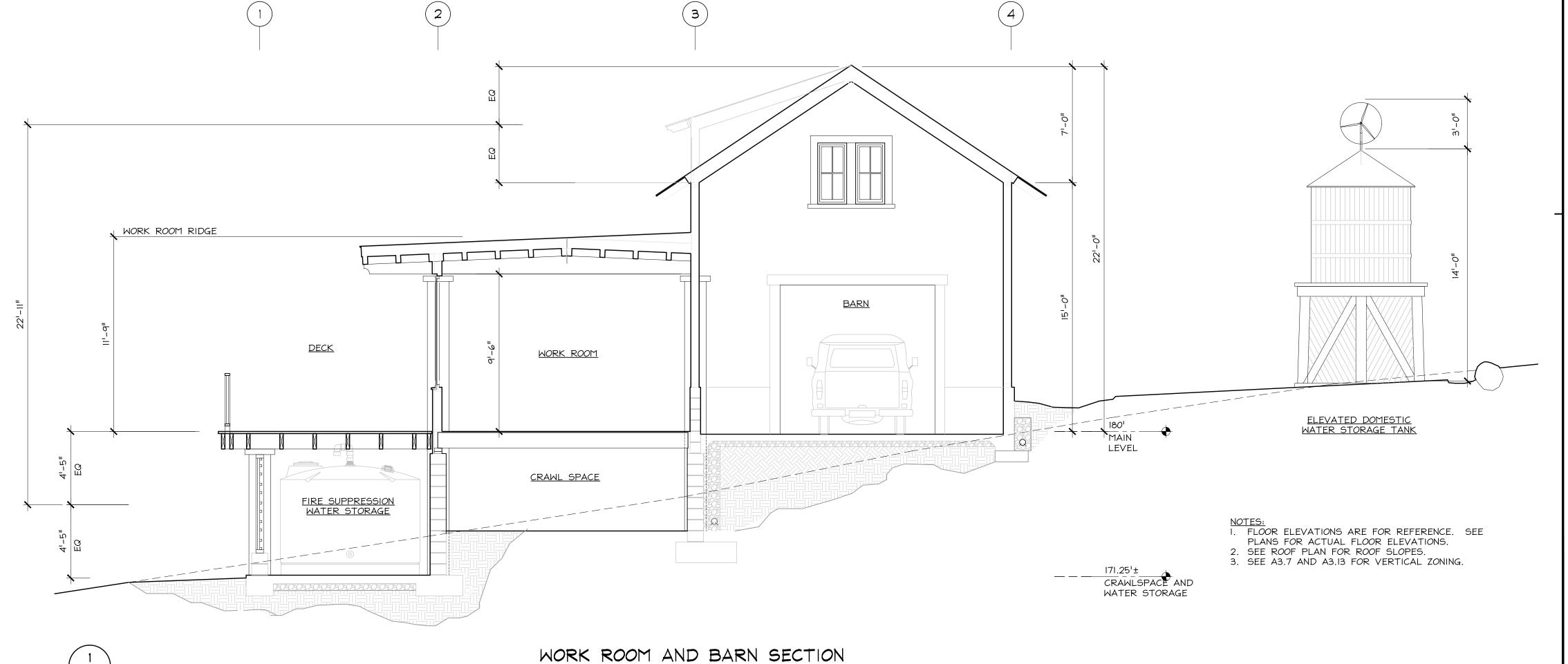
Wall Fixture. Opaque reflector.

down light

32. EXTERIOR IMPROVEMENTS

Exterior paving. See A1.5





BEWLEY RESIDENCE

Project

Audubon Ave. Montara, CA 94037 A.P.N. 036—310—180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering 5429 Telegraph Ave. Oakland, CA 94609

510 652 1511 p 510 601 7196 f

Consultant

Stamp

Printing Date

Planning Permit 03.18.2010 09.12.2011 Coordination 09.13.2011 Planning 10.05.2011 Coordination 10.11.2011 Coordination 07.19.2013 Coordination Coordination 08.08.2013 10.07.2013 10.21.2013 Coordination Coordination 11.05.2013 Coordination 11.07.2013 11.25.2013 Constraints Map Constraints Map Coordination 03.19.2014
D.R.Pre-app conf. 03.26.2014
Design Review 08.12.2014
Story Pole 11.14.2014
D.R. coord 06.08.2015 Design Review Story Pole 07.10.2015 10.23.2015

HM,a+e Job Number 2005,01

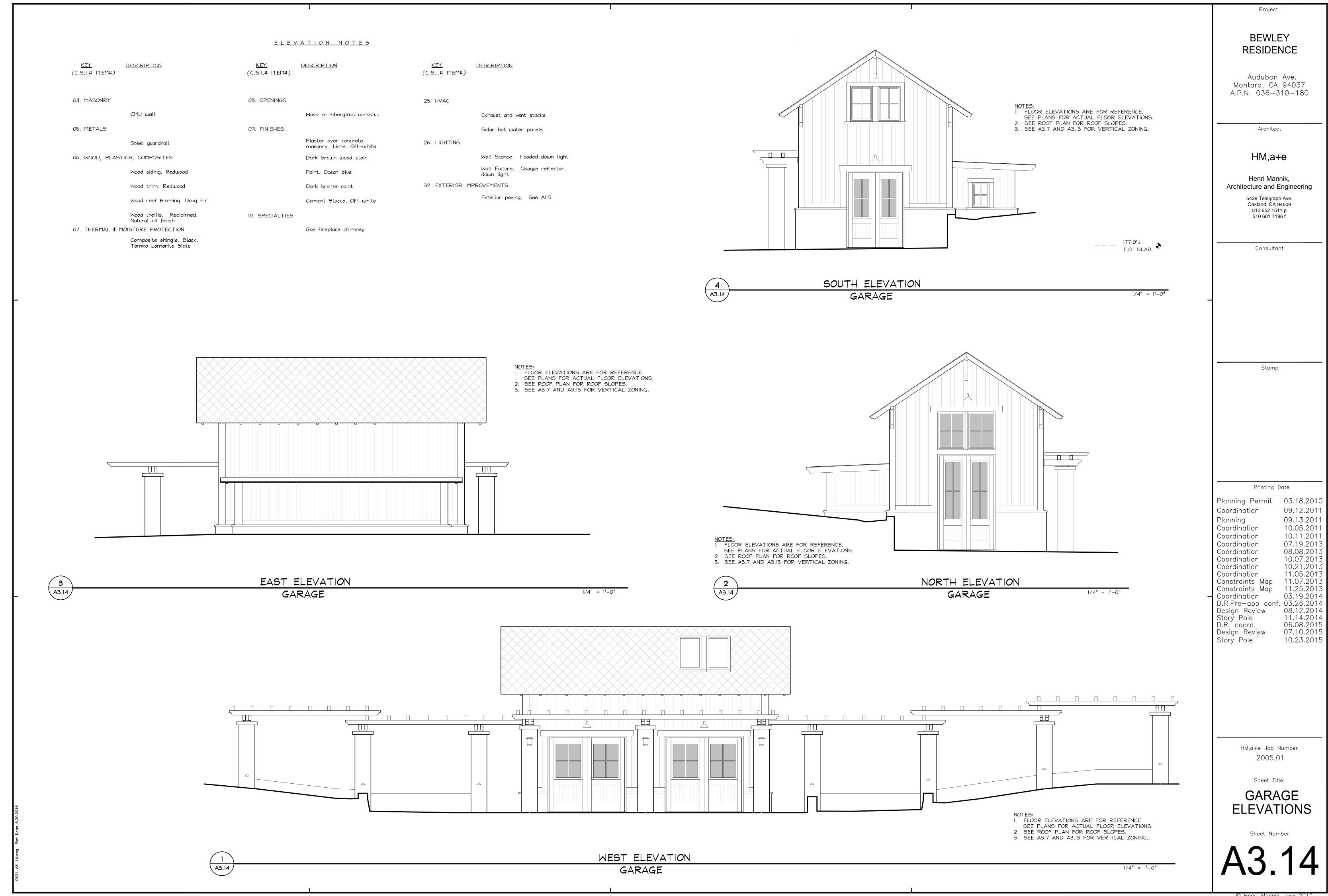
Sheet Title
BARN
ELEVATIONS

Sheet Number

A3.13

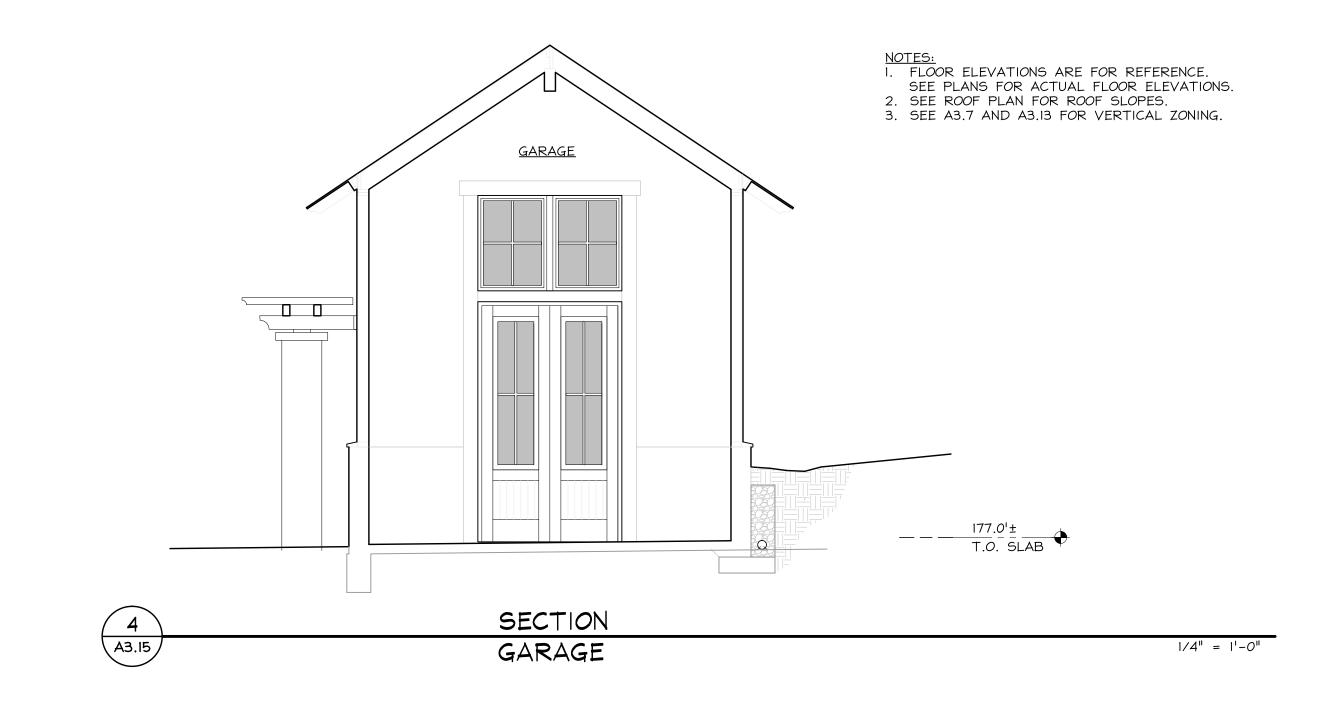
1/4'' = 1' - 0''

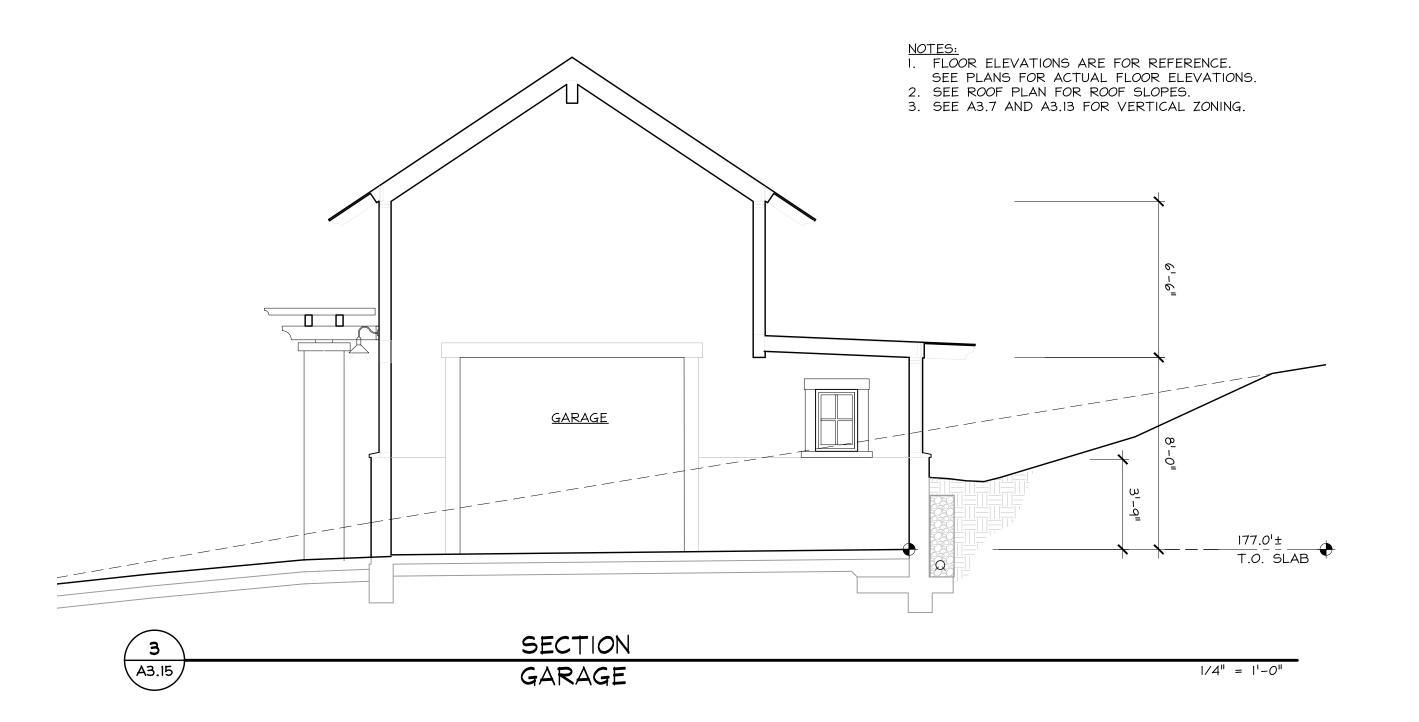
S.M.C. Planning PLN 2010-00079

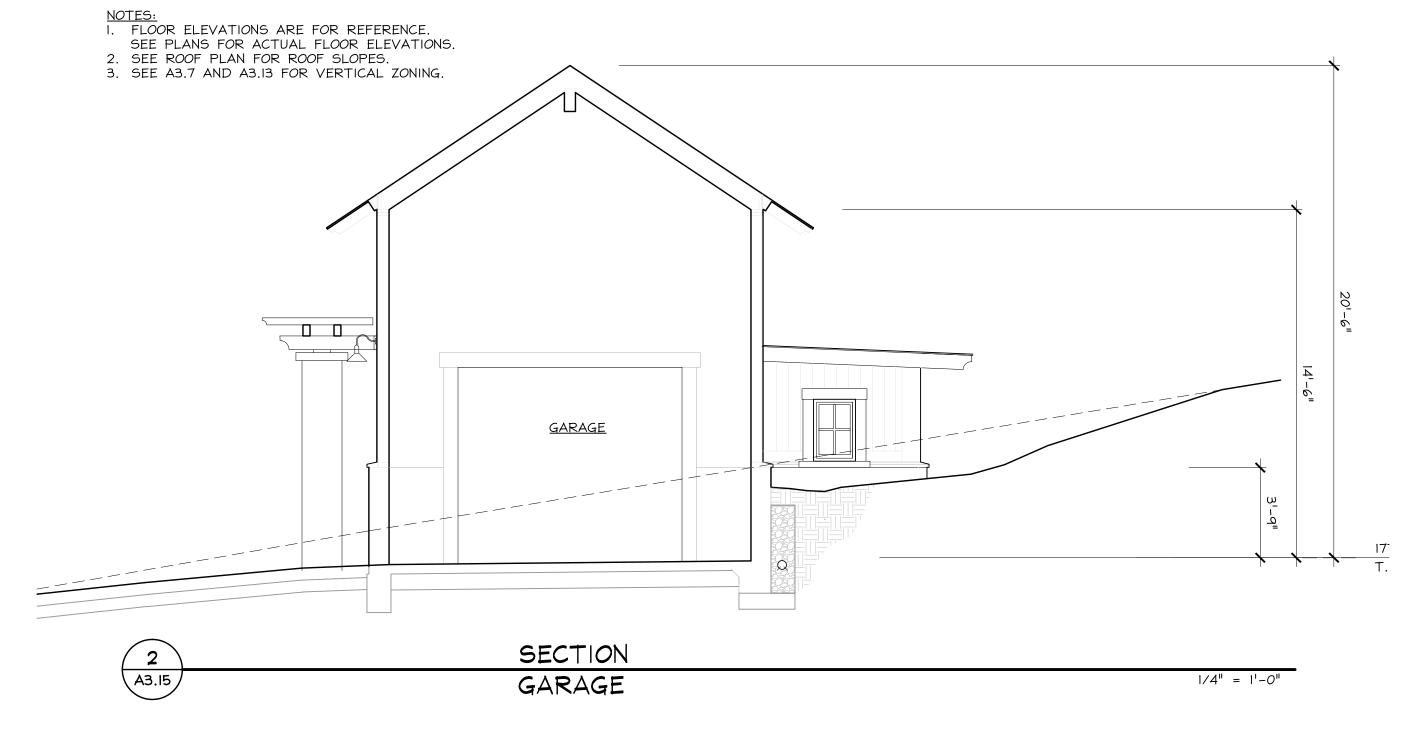


### <u>ELEVATION NOTES</u>

<u>KEY</u> (C.S.I.#-ITEM#)	<u>DESCRIPTION</u>	<u>KEY</u> (C.S.I.#-ITEM#)	<u>DESCRIPTION</u>	<u>KEY</u> (C.S.I.#-ITEM#)	<u>DESCRIPTION</u>
04. MASONRY		08. OPENINGS		23. HVAC	
	CMU wall		Wood or fiberglass windows		Exhaust and vent stacks
05. METALS		09. FINISHES.			Solar hot water panels
	Steel guardrail		Plaster over concrete masonry. Lime. Off-white	26. LIGHTING	
06. WOOD, PLASTICS, COMPOSITES			Dark brown wood stain		Wall Sconce. Hooded down light
	Wood siding. Redwood		Paint. Ocean blue		Wall Fixture. Opaque reflector. down light
	Wood trim. Redwood		Dark bronze paint	32. EXTERIOR IMP	PROVEMENTS
	Wood roof framing. Doug Fir		Cement Stucco. Off-white		Exterior paving. See Al.5
	Wood trellis. Reclaimed. Natural oil finish	10. SPECIALTIES			
07. THERMAL & MOISTURE PROTECTION			Gas fireplace chimney		
	Composite shingle. Black. Tamko Lamarite Slate				







1/4" = 1'-0"

BEWLEY RESIDENCE

Project

Audubon Ave. Montara, CA 94037 A.P.N. 036-310-180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering 5429 Telegraph Ave. Oakland, CA 94609

510 652 1511 p 510 601 7196 f

Consultant

Stamp

 Planning Permit
 03.18.2010

 Coordination
 09.12.2011

 Planning
 09.13.2011

 Coordination
 10.05.2011

 Coordination
 07.19.2013

 Coordination
 08.08.2013

 Coordination
 10.07.2013

 Coordination
 11.05.2013

 Coordination
 11.07.2013

 Constraints Map
 11.07.2013

 Constraints Map
 11.25.2013

 Coordination
 03.19.2014

 D.R.Pre—app conf.
 03.26.2014

 Design Review
 08.12.2014

 Story Pole
 11.14.2014

 Design Review
 07.10.2015

 Story Pole
 10.23.2015

Printing Date

HM,a+e Job Number 2005,01

GARAGE ELEVATIONS

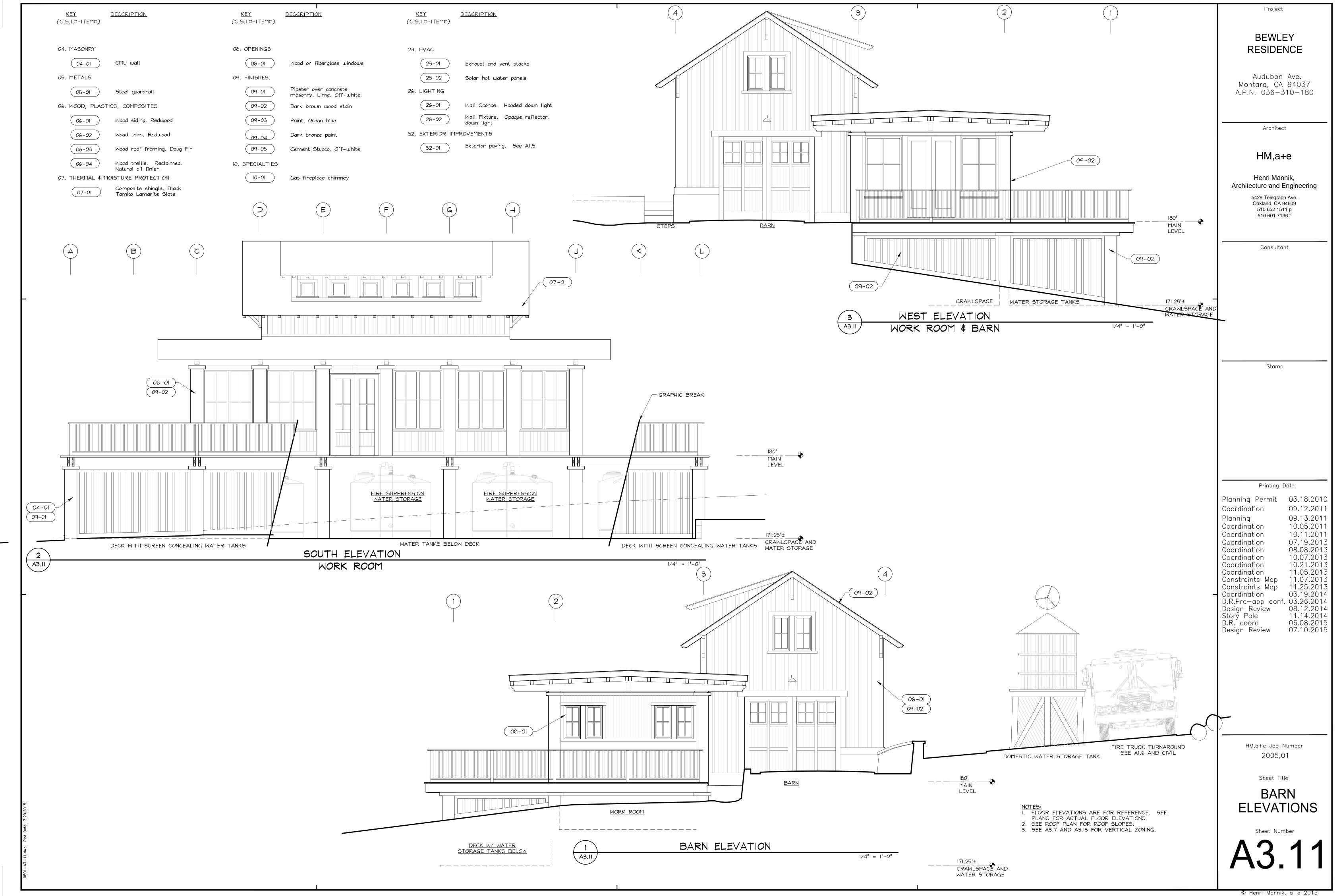
Sheet Number

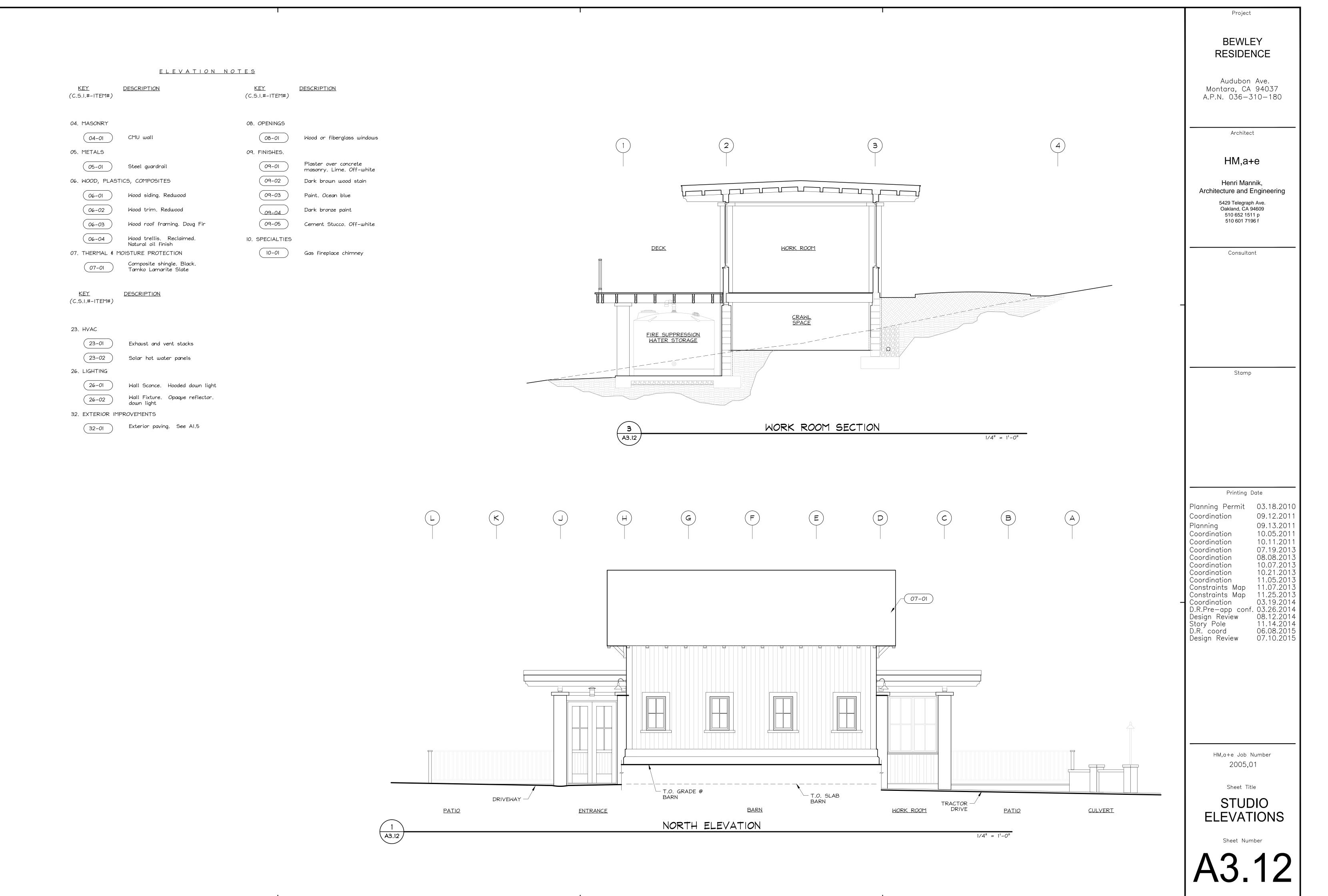
A3.15

NOT USED

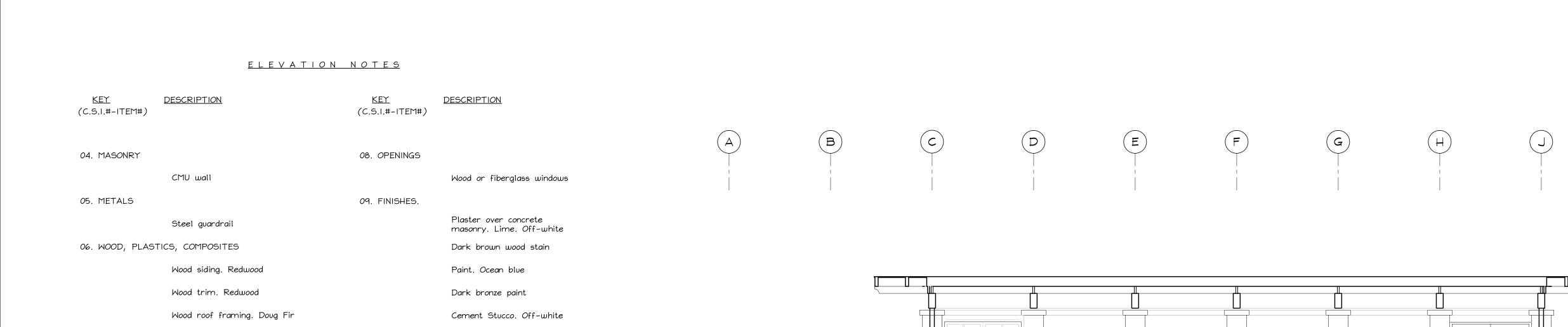
A3.14

S.M.C. Planning PLN 2010-00079





S.M.C. Planning PLN 2010-00079



KEY DESCRIPTION (C.S.I.#-ITEM#)

23. HVAC

Exhaust and vent stacks

Solar hot water panels

26. LIGHTING

Wall Sconce. Hooded down light
Wall Fixture. Opaque reflector.
down light

Wood trellis. Reclaimed.

Composite shingle. Black.

Tamko Lamarite Slate

Natural oil finish

07. THERMAL & MOISTURE PROTECTION

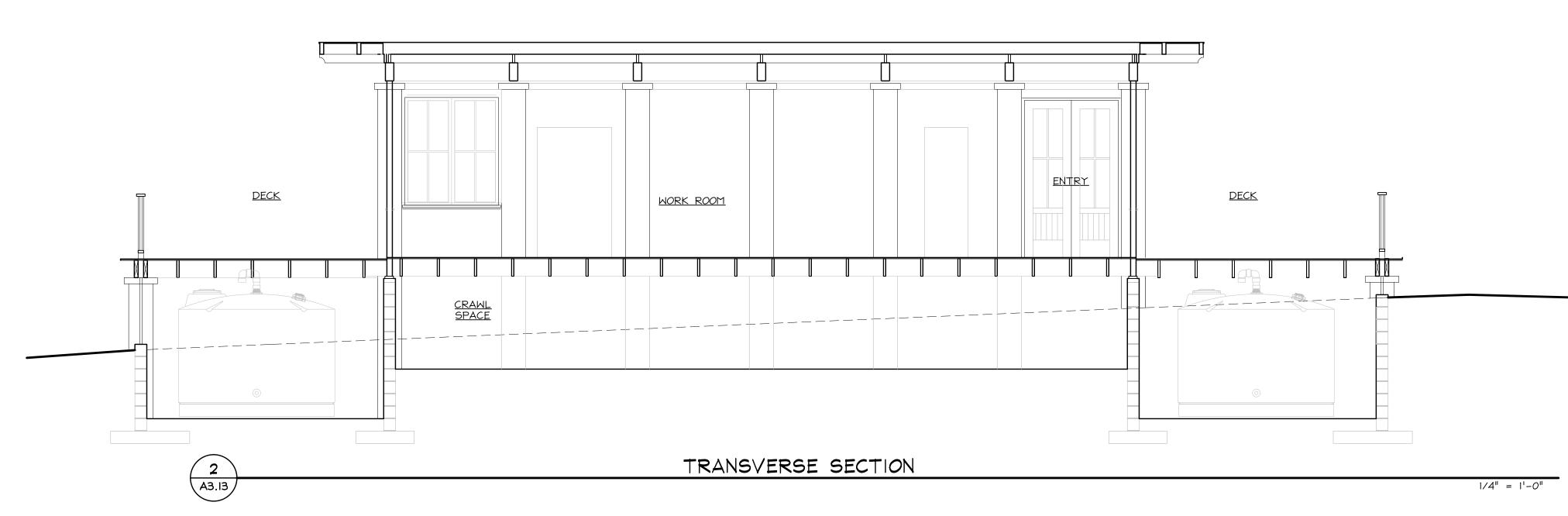
10. SPECIALTIES

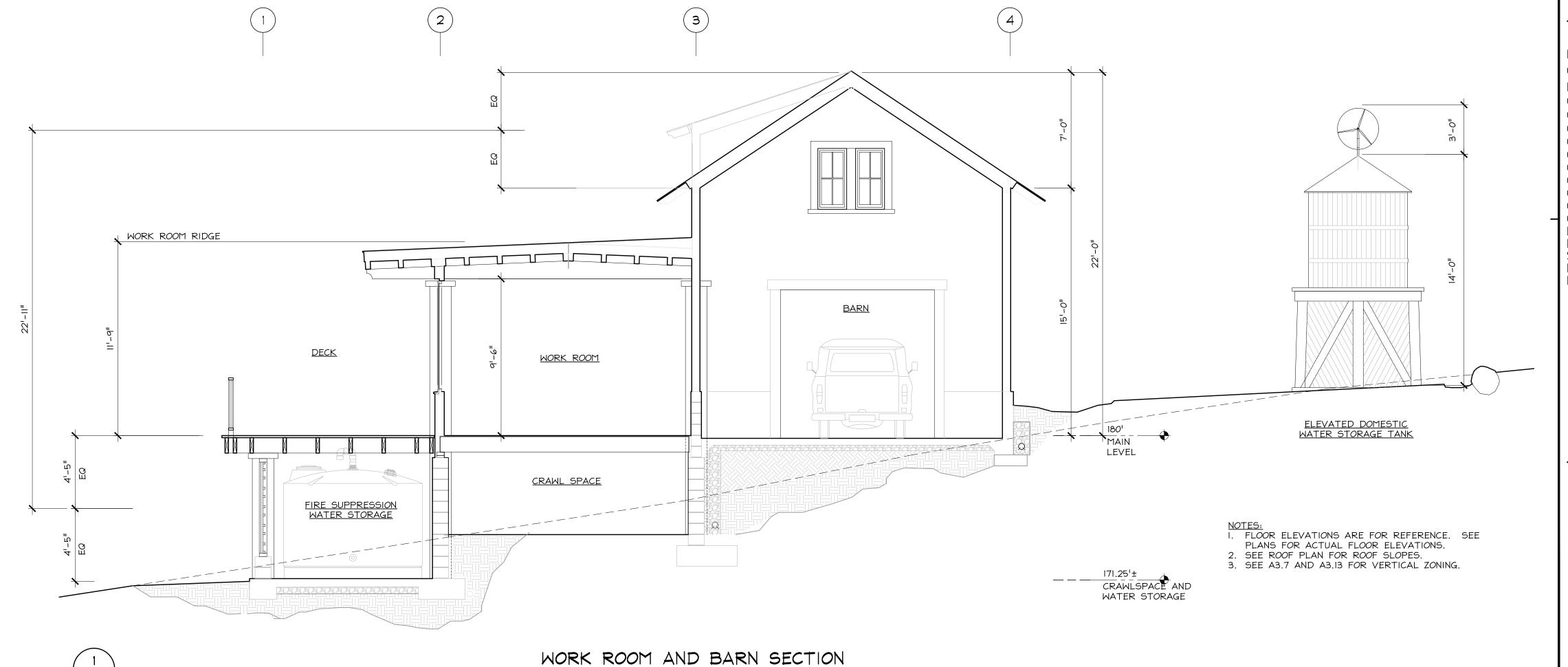
Gas fireplace chimney

A3.I3

32. EXTERIOR IMPROVEMENTS

Exterior paving. See A1.5





BEWLEY RESIDENCE

Project

Audubon Ave. Montara, CA 94037 A.P.N. 036-310-180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering 5429 Telegraph Ave. Oakland, CA 94609

Consultant

510 652 1511 p 510 601 7196 f

Stamp

Printing Date

Planning Permit 03.18.2010 09.12.2011 Coordination 09.13.2011 Planning 10.05.2011 Coordination 10.11.2011 Coordination 07.19.2013 Coordination Coordination 08.08.2013 10.07.2013 10.21.2013 Coordination Coordination 11.05.2013 Coordination 11.07.2013 11.25.2013 Constraints Map Constraints Map Coordination 03.19.2014
D.R.Pre-app conf. 03.26.2014
Design Review 08.12.2014
Story Pole 11.14.2014
D.R. coord 06.08.2015 Design Review 07.10.2015

HM,a+e Job Number 2005,01

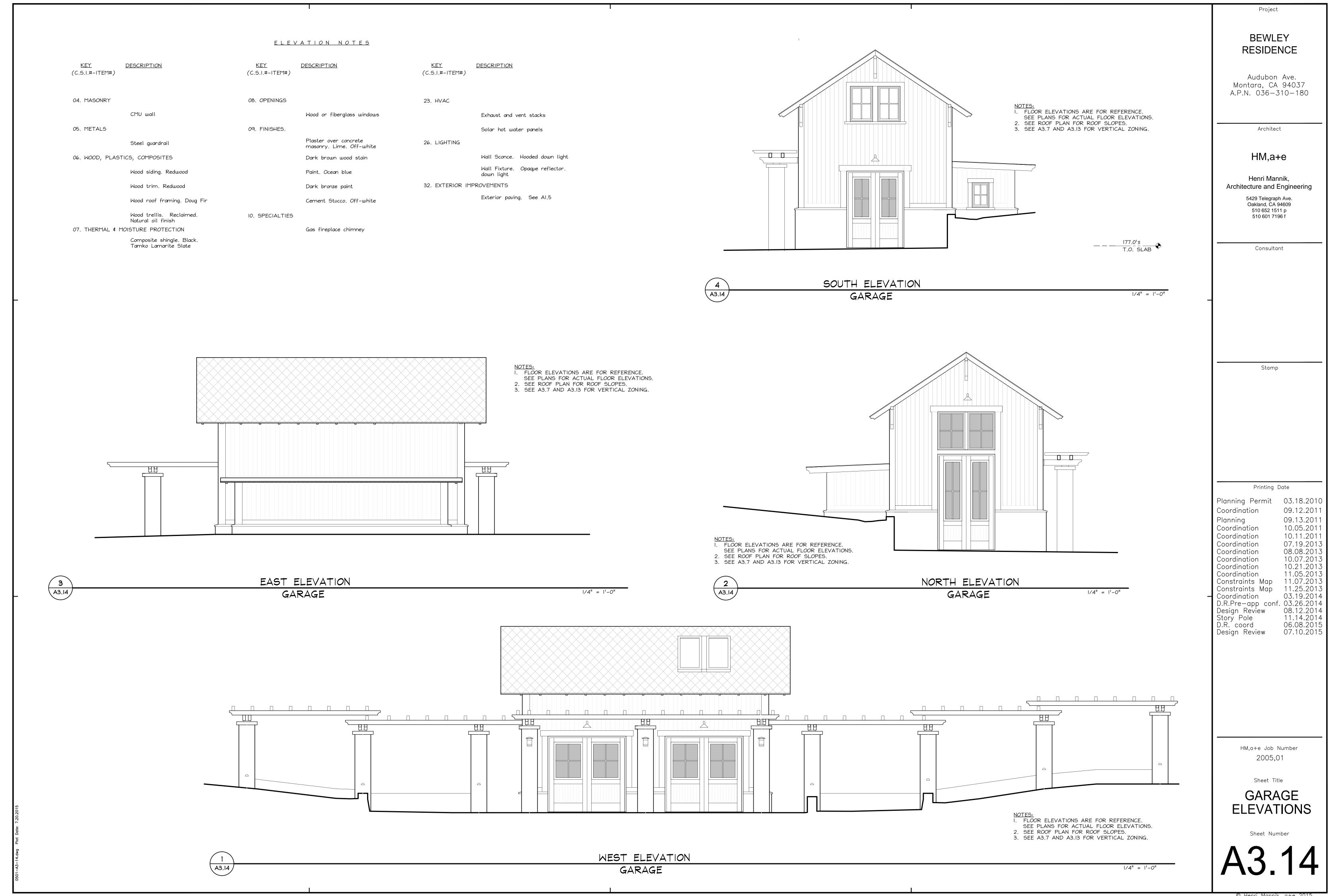
Sheet Title
BARN
ELEVATIONS

Sheet Number

A3.13

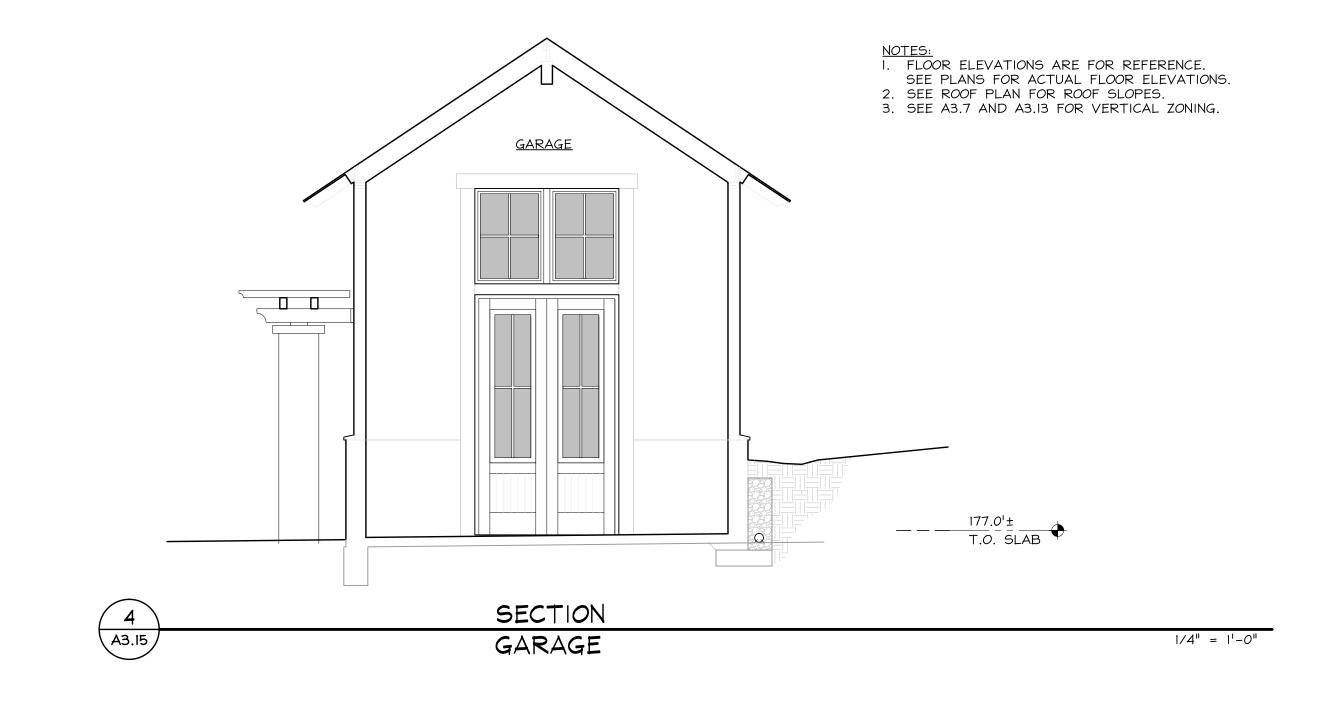
1/4'' = 1' - 0''

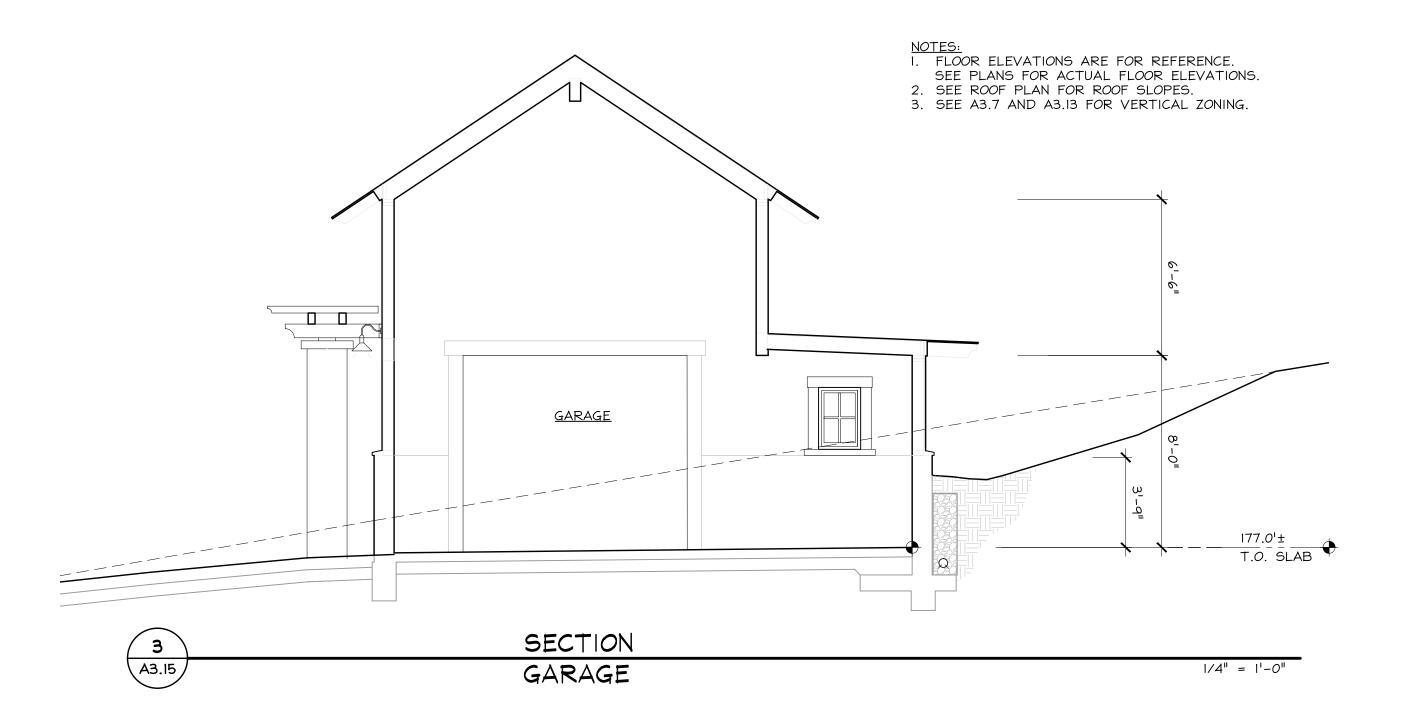
S.M.C. Planning PLN 2010-00079

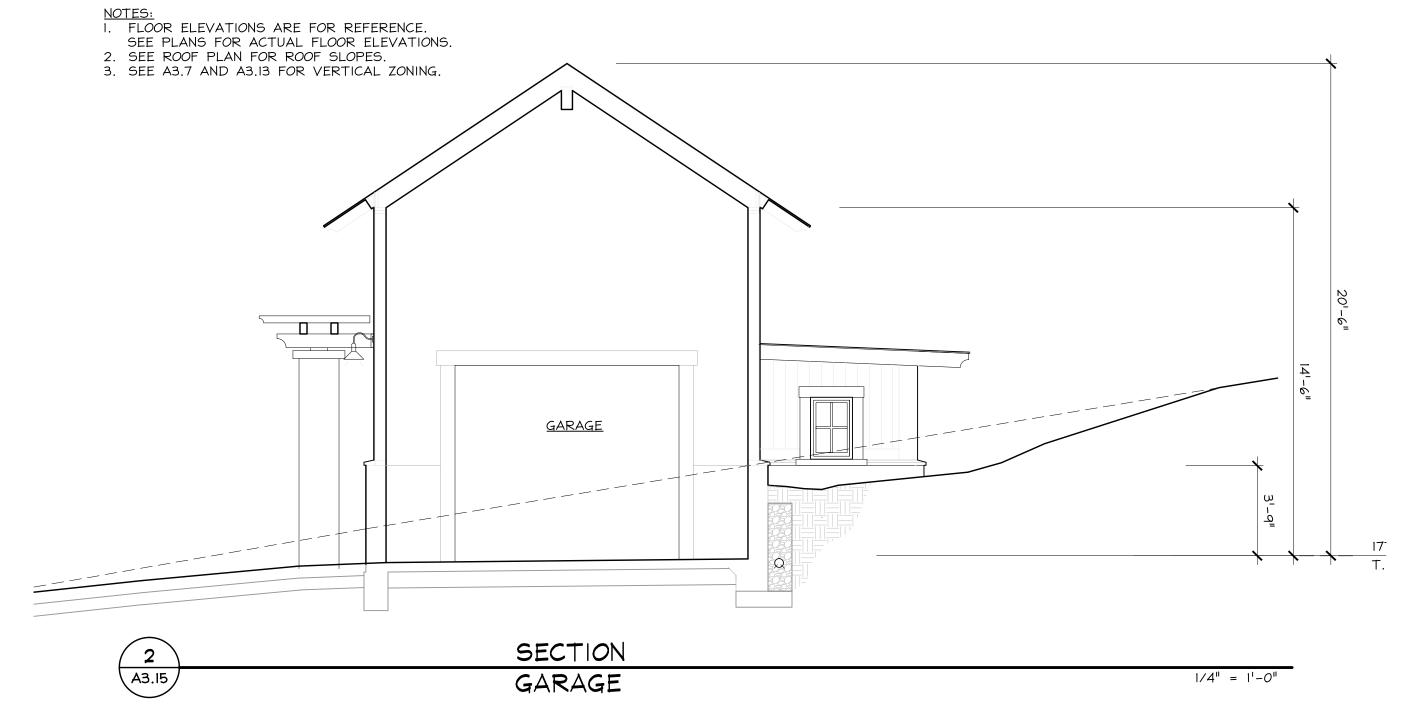


### <u>ELEVATION NOTES</u>

<u>KEY</u> (C.S.I.#-ITEM#)	<u>DESCRIPTION</u>	<u>KEY</u> (C.S.I.#-ITEM#)	<u>DESCRIPTION</u>	<u>KEY</u> (C.S.I.#-ITEM#)	DESCRIPTION
04. MASONRY		08. OPENINGS		23. HVAC	
	CMU wall		Wood or fiberglass windows		Exhaust and vent stacks
05. METALS		09. FINISHES.			Solar hot water panels
	Steel guardrail		Plaster over concrete masonry. Lime. Off-white	26. LIGHTING	
06. WOOD, PLASTICS, COMPOSITES			Dark brown wood stain		Wall Sconce. Hooded down light
	Wood siding. Redwood		Paint. Ocean blue		Wall Fixture. Opaque reflector. down light
	Wood trim. Redwood		Dark bronze paint	32. EXTERIOR IMP	ROVEMENTS
	Wood roof framing. Doug Fir		Cement Stucco. Off-white		Exterior paving. See A1.5
	Wood trellis. Reclaimed. Natural oil finish	IO. SPECIALTIES			
07. THERMAL # MOISTURE PROTECTION			Gas fireplace chimney		
	Composite shingle. Black. Tamko Lamarite Slate				







1/4" = 1'-0"

BEWLEY RESIDENCE

Project

Audubon Ave. Montara, CA 94037 A.P.N. 036—310—180

Architect

HM,a+e

Henri Mannik, Architecture and Engineering 5429 Telegraph Ave. Oakland, CA 94609

Consultant

510 652 1511 p 510 601 7196 f

Stamp

Printing Date

 Planning Permit
 03.18.2010

 Coordination
 09.12.2011

 Planning
 09.13.2011

 Coordination
 10.05.2011

 Coordination
 07.19.2013

 Coordination
 08.08.2013

 Coordination
 10.07.2013

 Coordination
 11.05.2013

 Constraints Map
 11.07.2013

 Constraints Map
 11.25.2013

 Coordination
 03.19.2014

 D.R.Pre-app conf.
 03.26.2014

 Design Review
 08.12.2014

 Story Pole
 11.14.2014

 D.R. coord
 06.08.2015

 Design Review
 07.10.2015

HM,a+e Job Number 2005,01

Sheet Title

GARAGE

ELEVATIONS

Sheet Number

A3.15

NOT USED

A3.14

S.M.C. Planning PLN 2010-00079