

From: Mark Chow
To: noel chamberlain
CC: JTUTTLEC@aol.com; Lee, Richard; Pete Bentley; RHAGA@BKF.com; Shu, Diana
Date: 11/13/2012 6:15 PM
Subject: Re: Ticonderoga sewer main repair work
Attachments: Highland Estates Off-site Sanitary Sewer Mitigation and Lot 1 thru 4 Streetlighting District Annexation - Submittal #2 Comments

Noel,

We provided our plan review comments on the 2nd submittal last week. The attached e-mail was sent to your father's e-mail address, as well as BKF Engineers. It is expected that the comments need to be addressed and revised documents be re-submitted to us before final approval is given. Construction of the pipe bursting and manhole replacement project cannot commence until we have approved the plans and specifications.

The Crystal Springs County Sanitation District and the Bel Aire Lighting Maintenance District have received a deposit of \$21,000 from your father which is intended to reimburse staff charges for plan review, field visits and inspection associated with the sewer repair and annexation of properties into the lighting district. At this time we believe this should be sufficient to cover all the plan review and the necessary sewer repair inspection by the District inspector. We will notify you if additional funds are needed. It is our expectation that the project sponsor retain its own engineer to oversee the construction and provide coordination between the District and the contractor.

Please be advised that the Encroachment Permit required to work in County right-of-way is to be issued separately by the Roads Operations Section (Diana Shu/Richard Lee). They may require additional inspection fees.

Please let me know if you have any questions. Thanks.

Mark Chow, P.E.
Principal Civil Engineer
County of San Mateo
Department of Public Works and Parks
555 County Center, 5th Floor
Redwood City, CA 94063
Tel. (650) 599-1489
Fax. (650) 361-8220
e-mail: mchow@smcgov.org

>>> On 11/13/2012 at 10:08 AM, "noel chamberlain" <noel@nexgenbuilders.com> wrote:

Mark,

My name is Noel Chamberlain and I am working with my father, Jack Chamberlain, on the Ticonderoga pipe bursting project. We had a meeting with Pete Bentley and Jim Eggemeyer last week. At our meeting, it was determined that in order to record the Highlands final map, we need to complete the Ticonderoga sewer work. In order to start the sewer work we will need to pull an encroachment permit from the County of San Mateo Department of Public Works which needs to include costs for the sewer departments inspection fees. Have you had a chance to put together the sewer inspection fee costs?

At your convenience, could you please call me at (650) 444-3089 to discuss the status of the project?
We have put the project out to and are ready to let the pipe bursting and manhole replacement porting of the project.

Thanks,
Noel Chamberlain
NEXGEN Builders, Inc.
225 Demeter Street
East Palo Alto, CA 94303
(650) 322-5800 Ext. 205

From: <JTUTTLEC@aol.com>
To: <pbentley@smcgov.org>
Date: 11/15/2012 11:40 AM
Subject: Fwd: Highland Estates-Ticonderoga Drive
Attachments: 2012-11-09AnnexationPlat&Legal(revised2012-11-15).pdf.pdf

From: RHAGA@BKF.com
To: mchow@co.sanmateo.ca.us, mpoyatos@co.sanmateo.ca.us
CC: ctran@bkf.com, RHAGA@BKF.com, JTUTTLEC@aol.com
Sent: 11/15/2012 11:18:46 A.M. Pacific Standard Time
Subj: RE: Highland Estates-Ticonderoga Drive

Mark and Martha,
Attached is the revised "Exhibit A" Annexation Plat and Legal Description which was included the previous email.
In my earlier conversation this morning with Martha Poyatos, she asked that we amend the preamble of Exhibit A to include annexation for both the Bel-Aire Lighting & Maintenance District as well as County Service Area No.1. Therefore, "Exhibit A" Annexation Plat and Legal Description can be used for both annexation process associated with Bel-Aire Lighting & Maintenance District and County Service Area No.1.
Martha indicated she will contact you regarding this process internally and how Exhibit can be used both annexations.
Roland Haga

Roland Haga , P.E., LEED®AP
Associate/Project Manager
BKF Engineers
Civil Engineers, Land Surveyors, Planners
255 Shoreline Drive, Suite 200 | Redwood City, CA 94065
Tel (650) 482-6300 | Direct (650) 482-6407
www.bkf.com (<http://www.bkf.com/>) | _rhaga@bkf.com_
(<mailto:rhaga@bkf.com>)

From: Cuong Tran
Sent: Thursday, November 15, 2012 11:09 AM
To: 'Mark Chow (mchow@co.sanmateo.ca.us)'
Cc: 'mpoyatos@co.sanmateo.ca.us'; 'rlee@co.sanmateo.ca.us'; Roland Haga; Yousef Moradzadeh
Subject: Highland Estates-Ticonderoga Drive

Mark,
Due to file size, I have uploaded digital versions of the plan set, specifications, plat & legal and response to comments on our FTP site. Below you will find directions for accessing the FTP site.
I will be dropping off the signed Permit Set plans in addition to hard

copies of the other items at the County later today. I have included Martha Poyatos in this email as we have included County Service Area No. 1 on the plat & legal in order to allow for one document to be used for both annexations.

Please copy and paste this link into Windows Explorer (not Internet Explorer) otherwise you will not be able to download all the files at once.

[_ftp://ftp.bkf.com/Redwood_City/Highland%20Estates%20SS%20Mitigation/](ftp://ftp.bkf.com/Redwood_City/Highland%20Estates%20SS%20Mitigation/)
(ftp://ftp.bkf.com/Redwood_City/Highland%20Estates%20SS%20Mitigation/)

username: [REDACTED]

password: [REDACTED]

Thanks,

Cuong Tran, P.E., LEED AP

BkF Engineers - Surveyors - Planners

255 Shoreline Dr., Suite 200, Redwood City, CA 94065

Main (650) 482-6300, Direct (650) 482-6362, Fax (650) 482-6399

Confidentiality Notice: This email (including any attachment) is intended only for the individual or entity to which it is addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended recipient, you are not authorized to intercept, read, print, retain, copy, forward, or disseminate this communication. If you have received this communication in error, please reply to the sender or call 650-482-6300, and then please delete this message from your inbox as well as any copies. Thank you, BKF



ENGINEERS
SURVEYORS
PLANNERS

EXHIBIT "A"

**PROPOSED ANNEXATION OF THE LANDS OF TICONDEROGA PARTNERS,
LLC TO THE BEL-AIRE LIGHTING AND MAINTENANCE DISTRICT
HIGHLAND ESTATES, SAN MATEO (APN: 041-101-290)**

All that real property situate in an unincorporated area of the County of San Mateo, State of California, being a portion of the lands as described in that certain Grant Deed filed for record on March 14, 2008, as Document Number 2008-027480 in the Office of the Recorder for the County of San Mateo, State of California, being more particularly described as follows:

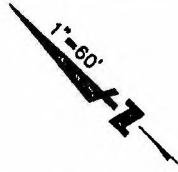
BEGINNING at the southwesterly terminus of the course labeled "53. NORTH 47°00'00" EAST 275.00 FEET" as shown on said document, said point also being the southerly corner of Lot A as said lot is shown on that certain map entitled "TRACT NO. 762, THE HIGHLANDS UNIT NO. 8", filed for record on December 18, 1957 in Volume 48 of Maps at Pages 16 and 17, San Mateo County Records;

- (1) Thence along the northwesterly line of the lands described in said document, North 47°00'00" East 275.00 feet;
- (2) Thence continuing along said northwesterly line, South 43°00'00" East 120.00 feet;
- (3) Thence leaving said northwesterly line, South 47°00'00" West 246.30 feet;
- (4) Thence South 61°35'41" West 63.74 feet;
- (5) Thence South 70°57'45" West 25.09 feet to a point on said northwesterly line;
- (6) Thence, continuing along said northwesterly line, North 38°03'00" West 105.00 feet to the beginning of a non-tangent curve, concave to the northwest, from which point a radial line bears North 38°03'00" West;
- (7) Thence continuing along said northwesterly line, northeasterly along said curve with a radius of 230.00 feet, through a central angle of 04°57'00", along an arc length of 19.87 feet;
- (8) Thence continuing along said northwesterly line, North 47°00'00" East 27.00 feet;
- (9) Thence continuing along said northwesterly line, South 43°00'00" East 10.00 feet to the POINT OF BEGINNING

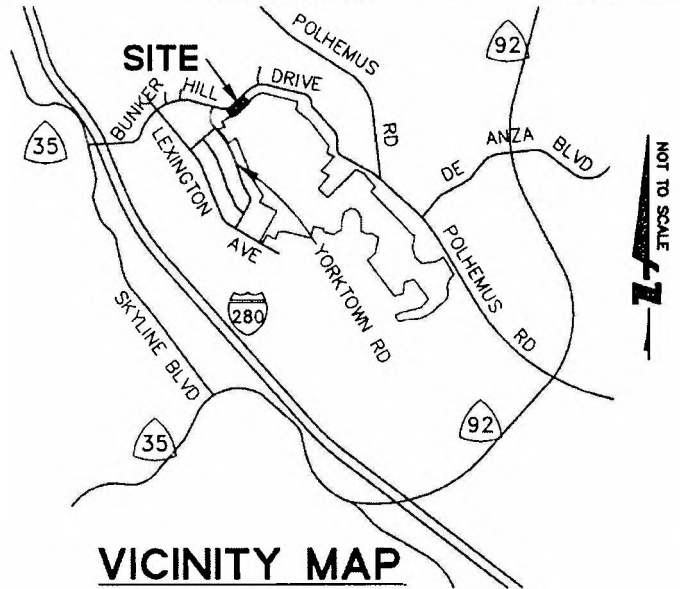
Containing an area of 0.89 acres, more or less.

For annexation purposes only. This description of land is not a legal property description as defined in the Subdivision Map Act and may not be used as the basis for an offer for sale of the land described.

EXHIBIT "A"



SCALE: 1" = 60'



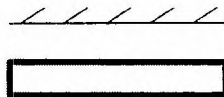
VICINITY MAP

COURSES:

1. N47°00'00"E 275.00'
2. S43°00'00"E 120.00'
3. S47°00'00"W 246.30'
4. S61°35'41"W 63.74'
5. S70°57'45"W 25.09'
6. N38°03'00"W(R) 105.00'
7. R=230.00', Δ=04°57'00", L=19.87'
8. N47°00'00"E 27.00'
9. S43°00'00"E 10.00'

0.89 ACRES

LEGEND



EXISTING BEL-AIRE LIGHTING AND MAINTENANCE DISTRICT BOUNDARY
PROPOSED ANNEXATION

DESIGNATED REMAINDER (UNSURVEYED)

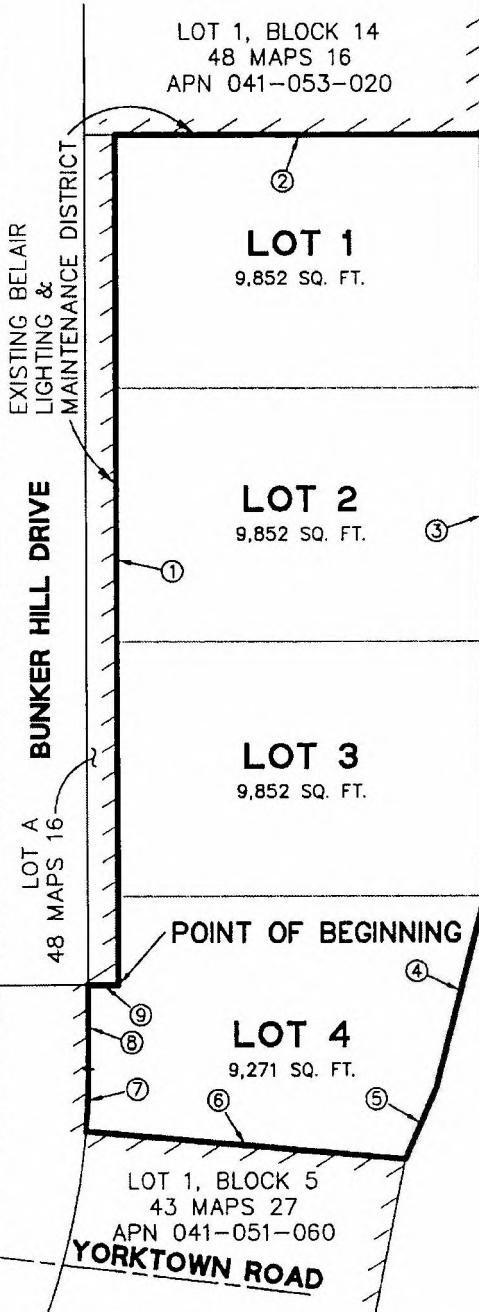
DOC #92-093032

NOTE:

LOTS 1 THROUGH 4 ARE FROM PROPOSED PARCEL MAP NO. 1094 (NOT YET RECORDED).

DISCLAIMER:

"FOR ANNEXATION PURPOSES ONLY. THIS DESCRIPTION OF LAND IS NOT A LEGAL PROPERTY DESCRIPTION AS DEFINED IN THE SUBDIVISION MAP ACT AND MAY NOT BE USED AS THE BASIS FOR AN OFFER FOR SALE OF THE LAND DESCRIBED."



LOT 1, BLOCK 14
48 MAPS 16
APN 041-053-020

LOT 1
9,852 SQ. FT.

LOT 2
9,852 SQ. FT.

LOT 3
9,852 SQ. FT.

LOT 4
9,271 SQ. FT.

LOT 1, BLOCK 5
43 MAPS 27
APN 041-051-060

YORKTOWN ROAD



255 SHORELINE DR
SUITE 200
REDWOOD CITY, CA 94065
650-482-6300
650-482-6399 (FAX)

Subject **EXHIBIT "A" - PROPOSED ANNEXATION BEL-AIRE LIGHTING & MAINTENANCE DISTRICT**

Job No. 19950168

By CRM Date 11/9/12 Chkd. CRC

SHEET 2 OF 2

Pete Bentley - RE: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition


From: Richard Lee
To: noel chamberlain
Date: 11/28/2012 4:55 PM
Subject: RE: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition
CC: Diana Shu; Hector Carlos; JTUTTLEC@aol.com; Mark Chow; Mark Marelich...

Hi Noel,

Please have the contractor contact my road inspector, Mark Marelich, 599-7273, to arrange a preconstruction meeting and also submit a traffic control plans to him. He is off on Fridays.

Thanks.

Richard Lee
Dept. of Public Works
San Mateo County
(650) 363-1852
Email: rlee@smcgov.org

 Save Paper. Think Before You Print.

>>> "noel chamberlain" <noel@nexgenbuilders.com> 11/28/2012 10:34 AM >>>

Richard,

We have selected D'Arcy and Hardy as our sewer repair contractor for the Ticonderoga Rd pipe bursting project. Their project manager, William Tobin, believes that they will be available in about two weeks to start, and are currently preparing a traffic control plan for their work.

At this time, we wanted to schedule a pre-construction meeting to run through the project. We were hoping to meet with those you deem applicable this Friday morning if possible. Does this work for you? Also, could you please let me know who I should contact, and where we should hold the meeting? Typically, we would do it onsite, however, the weather might make this difficult.

Thank you very much for your help on this and please do not hesitate to contact me at (650) 444-3089 with questions.

Noel Chamberlain
NEXGEN Builders, Inc.
225 Demeter Street
East Palo Alto, CA 94303
Office (650) 322-5800 Ext. 205
Cell (650) 444-3089

From: Mark Chow
To: JTUTTLEC@aol.com; RHAGA@BKF.com; noel@nexgenbuilders.com
CC: America Sanchez; Ann Stillman; Ed Garcia; Julie Young; Lee, Richard;...
Date: 12/5/2012 12:54 PM
Subject: Highland Estates Off-site Sanitary Sewer Mitigation - Final Review
Attachments: Highland Estates-Ticonderoga Drive Final Review Memo.pdf

Noel/Jack/Roland,

We have completed our review of submittal #3 for the sanitary sewer rehabilitation project on Ticonderoga Drive. The attached PDF file is a scanned copy of the approval memo. The hardcopies (memo and signed plans) are being sent in the mail. A link to download the scanned copy of the signed plans and approved specifications will be e-mailed separately via YouSendIt.com due to file size and the limitations of the County's e-mail system.

Please let us know if you have any questions.

Mark Chow, P.E.
Principal Civil Engineer
County of San Mateo
Department of Public Works and Parks
555 County Center, 5th Floor
Redwood City, CA 94063
Tel. (650) 599-1489
Fax. (650) 361-8220
e-mail: mchow@smcgov.org



County of San Mateo
Department of Public Works and Parks
Utilities-Flood Control-Watershed Protection

Highland Estates
Sewer Rehabilitation & Streetlighting District Annexation

To: Ticonderoga Partners LLC, 655 Skyway, Suite 230, San Carlos, CA 94070
From: *MC* Mark Chow, Principal Civil Engineer, Utilities-Flood Control-Watershed Protection Section
cc: Roland Haga, BKF Engineers, 255 Shoreline Drive, Suite 200, Redwood City, CA 94065
Tom McCarthy, Road Maintenance Supervisor
Richard Lee, Associate Engineer, Development Review Unit / Permit Section
Date: December 5, 2012
Subject: Sanitary Sewer Rehabilitation (Ticonderoga Drive), Final Submittal

Reason for Review: Sanitary Sewer Rehabilitation

Plan Identification: Sewer Rehabilitation; Highland Estates- Ticonderoga Drive, San Mateo Highlands; BKF Engineers; Plans Dated 11/14/2012

Reviewer: America Sanchez

Submittal/Review No.: Final Review

The Crystal Springs County Sanitation District (Sewer District) has reviewed and approved the proposed sewer rehabilitation Project Plans and Specifications. The applicant is reminded of the following conditions of final approval:

1. All sanitary sewer facilities shall be constructed per the approved plans and the standard details of the Sewer District. Any changes to the material, method of installation, location and design of the sanitary sewer facilities shall be submitted in writing to the Sewer District for review and approval.
2. The applicant or contractor shall submit to the Sewer District record drawings with construction staking survey information of the sanitary sewer line replacement in AutoCAD drawing format, compaction test results of trench backfill and bedding material, and any pothole information for pipe clearances and slope verification during construction prior to final pipe testing.
3. The plan set with the District Engineer's signature is being returned with this memo. This original set of plan must be updated with any changes that may occur in the field, signed by the applicant's engineer, and returned to the Sewer District at the completion of the project. The as-built drawings will be used to update the Sewer District maps and kept on file for future reference.

Highland Estates – Final Submittal

4. The re-submitted Project Specifications have been approved but minor corrections were required to be made on pages 2, 7, 8, 11, 12, 20, 19, 26, 39 and 47 as the Sewer District's previous comments were not addressed. These will be provided via electronic mail.
5. The applicant shall retain his own engineer to oversee the construction and provide coordination between the Sewer District and the contractor.
6. A pre-construction meeting shall be arranged between Sewer District staff, applicant, contractor and utility representatives prior to work commencement.
7. Please be advised that the Encroachment Permit required to work in County right-of-way is to be issued separately by the County Development Review Unit / Permit Section.

If you have any questions regarding this review or any of its contents, please contact staff at (650) 363-4100.

Attachments: Approved Plans
 Approved Project Specifications and corrected pages (by electronic mail)



Department of Public Works
 Road Operations - Permits
 455 County Center, 2nd Floor
 Redwood City, CA 94063
 (650) 363-1822 or 363-1852

PUBLIC WORKS PERMIT

Permit Number: DPW2012-00651
 Issued: 12/6/2012
 Inspection Request: (650) 599-7273 (Bayside) ←
 (650) 599-7298 (Coast)

CALL FOR APPOINTMENT FOR INSPECTION
 48 HOURS PRIOR TO COMMENCING WORK ←

APPLICANT NAME: TICONDEROGA PARTNERS, LLC

SITE ADDRESS: TICONDEROGA DRIVE

AREA: SNMAH

APPLICANT INFORMATION

TICONDEROGA PARTNERS, LLC
 655 SKYWAY STE 230
 SAN CARLOS, CA 94070

PHONE #1: 650-322-5800
 PHONE #2:

CONTRACTOR INFORMATION

NEXGEN BUILDERS
 225 DEMETER ST
 PALO ALTO, CA 94303

PHONE #1: 595-5505
 PHONE #2:

PROJECT NAME: UTILITY OTHER

PARCEL NUMBER: 000-000-222

PROJECT DESCRIPTION: On Ticonderoga Dr, approximately 100' west of Polhemus Rd, install 1,085 feet of sewer main pipe, 6" HDPE, using pipe bursting method and replace four (4) manholes. Backfill per County detail. Use traffic control per CA MUTCD or approved traffic control plans. The work must be adhered to County Sewer Section's approved plans and specs. ←

TYPE OF PERMIT
 ENCROACHMENT: X
 CONSTRUCTION (NMRW):
 STREET CLOSURE:
 TRANSPORTATION:
 LANDSCAPING:
 OTHER:

UNDERGROUND SERVICE ALERT (USA) NO.:
DATE OF USA INQUIRY:
SEWER DISTRICT:
COUNTY SIP REQ'D?:
SURETY DEPOSIT AMOUNT: \$
INSPECTION DEPOSIT AMOUNT: \$

PERMIT EXPIRATION DATE: 12/6/2013

FEE AMOUNT PAID: \$1,689 + \$1,361 Deposit

The work authorized by this Permit shall be subject to all the terms, conditions, and restrictions set forth herein. This permit consists of the **Special Provisions and Standard Details** of San Mateo County as applicable, attached and made a part hereof. The project, as specifically described, is to be strictly construed and no other activity shall be permitted. **Notify County Road Inspector 48 hrs prior to starting work.**

The Permittee and/or his contractor shall indemnify and save harmless the **County**, its officers, agents, employees and servants from all claims, suits or actions of every name, kind and description, brought for, or on account of, injuries to or death of any person or damage to property resulting from the performance of any work authorized or required by this Permit of Permittee and/or his contractor, their officers, agents, employees and/or servants.

INSURANCE

Permittee is required to maintain property damage and liability insurance in amounts equivalent to or exceeding the legal minimums as a condition of this permit.

APPROVAL BY DEPARTMENT OF PUBLIC WORKS

This permit was Issued by me on:

Date: 12/6/2012

Name: HCARLOS / RLEE

Signed: *[Signature]*

Title: Associate Engineer

**** FOR OFFICE USE ONLY ****

Date Completed: _____

By: _____

DEPARTMENT OF PUBLIC WORKS



Road Operations - Permits
455 County Center, 2/F.
Redwood City, CA 94063
(650) 363-1852

JAMES C. PORTER
Director of Public Works

Date: _____
Plan Check #: _____
APN: _____

ENCROACHMENT PERMIT APPLICATION

To Whom It May Concern:

The undersigned hereby applied for permission to excavate, construct and/or otherwise encroach upon the Right-of-Way of the County of San Mateo road(s) listed:

DESCRIBED LOCATION OF PROPOSED ACTIVITY

TRONEROCHA ROAD

DESCRIBED PROPOSED ACTIVITY: <Attach site plan and sketch or scaled drawing>

900' SOWER PIPE BUCKING & INSTALL @ TWO (2) NEW MH'S
1,085 LF MAIN

NOTE: State of California Government Code Sections 4216 and 4217 require an INQUIRY IDENTIFICATION NUMBER be assigned to every person planning to conduct an excavation in a Public Right-of-Way or Private Easement. If applicable, the applicant shall call the "USA" Regional Notification Center at 800-642-2444 a minimum of two (2) days prior to commencing that excavation. NO PERMIT TO EXCAVATE ISSUED BY SAN MATEO COUNTY SHALL BE VALID UNLESS THE APPLICANT HAS OBTAINED AN INQUIRY ID NUMBER FROM "USA."

PROPOSED ENCROACHMENT DATE(S): START _____ FINISH _____

Applicant agrees to accomplish the described activity in accordance with applicable County of San Mateo codes, regulations, restrictions and specifications and to be subject to inspection and approval by the Dept. of Public Works.

[Signature] Applicant shall indemnify and save harmless the County, its officers, agents, employees and servants from all claims, suits or actions on every name, kind and description, brought for, or on account of, injuries to or death of any person or damage to property resulting from the performance of any work authorized or required by the County in conjunction with this request.

[Signature] Applicant is required to maintain property damage and liability insurance in amounts equivalent to or exceeding the legal minimums as a condition of this permit.

APPLICANT COMPLETE

"USA" Inquiry

Date

USA Inquiry ID Number

PLEASE PRINT

NEXGEN UTILITIES APP:

NOEL CHAMBERLAIN

Applicant Name
275 DEWEES ST.

Mailing Address
EAST PALO ALTO, CA 94303

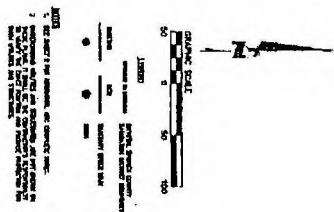
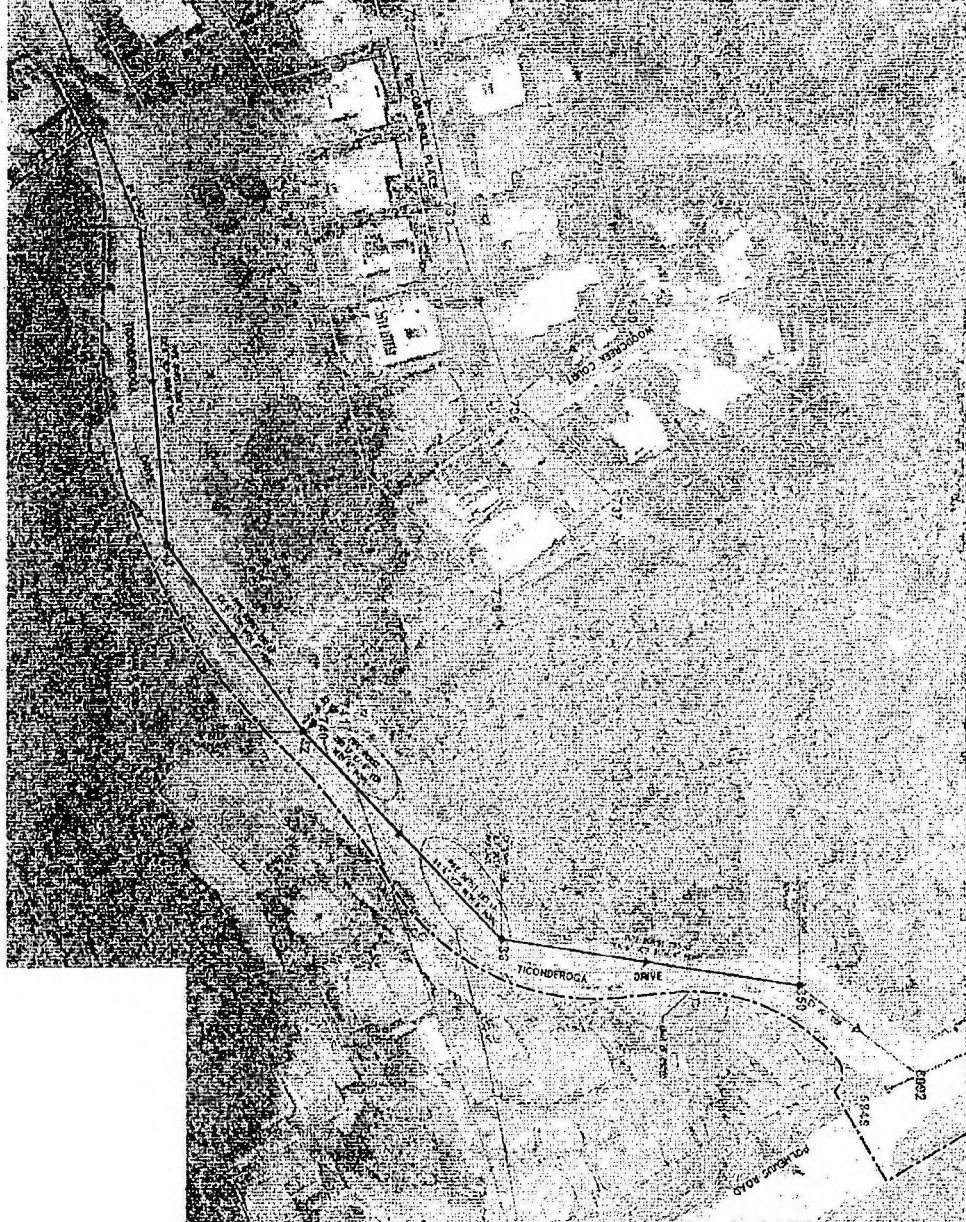
City, State Zip

650 772 5800

Area Code & Phone
[Signature]
Applicant Signature

DATE: 10/16/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

CITY OF SAN MATEO COUNTY SANITATION DISTRICT



Sheet 1 of 2 sheets

BID SET - 10/10/2012



Date	By	For
10/16/12	[Signature]	Final
10/16/12	[Signature]	Check
10/16/12	[Signature]	Draw
10/16/12	[Signature]	Approval
10/16/12	[Signature]	200 Sp. 5000-14

HIGHLAND ESTATES
 TICONDEROGA DRIVE SANITARY SEWER REHABILITATION
 UTILITY PLAN
 CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

BKF
 299 BIRCHLINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 PHONE: (650) 481-6300
 FAX: (650) 482-6300
 Estimated Project No. 12100200

C&E ENGINEERS



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mall Drop PLN122
plngbldg@co.sanmateo.ca.us
www.co.sanmateo.ca.us/planning

Payment Receipt

Check Number # :1124

Receipt # : 00000000000000061290

Name : TICONDEROGA PARTNERS, LLC

Address : TICONDEROGA DRIVE

Parcel#: 000-000-222

Case # Number	Account Number	Description	Date Paid	Amount Due	Amount Paid
DPW2012-00551	45240-1251	Major Encroachment Fee	11/15/2012	1,639.00	1,639.00
	04141-0913	Inspection Deposit - Var	11/15/2012	1,361.00	1,361.00
Total Paid:					\$3,000.00

Pete Bentley - Ticonderoga road pipe bursting project

From: "noel chamberlain" <noel@nexgenbuilders.com>
To: "Mark Marelich" <mmarelich@smcgov.org>
Date: 12/20/2012 1:43 PM
Subject: Ticonderoga road pipe bursting project
CC: "Pete Bentley" <PBentley@smcgov.org>, "William Tobin" <willietobin@s...

Mark,

Pete reminded me to let you know that we would be starting the pipe bursting project on January 2, 2013. The contractor posted the project start date last week. We have also had our precon with Mark Chow and submittals have been approved.

Please let me know if this works for you.

Thanks,
Noel Chamberlain

OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID REAL PROPERTY; AND THAT WE CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BORDER LINE.

AS OWNERS:

TICONDEROGA PARTNERS LLC, A CALIFORNIA LIMITED LIABILITY COMPANY
 BY: [Signature] NAME
[Signature] TITLE

AS TRUSTEE:

FIRST AMERICAN TITLE COMPANY, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2008-027481
 BY: [Signature] NAME Ron DeChone
[Signature] TITLE Asst. Vice President

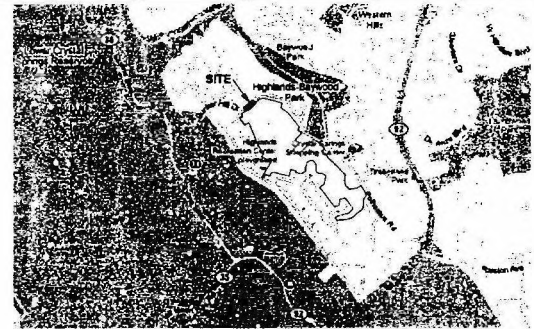
AS TRUSTEE:

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEEDS OF TRUST AND ASSIGNMENTS OF RENTS, SERIES NOS. 2011-031878 AND 2012-116991
 BY: [Signature] NAME Ron DeChone
[Signature] TITLE Asst. Vice President

OWNER'S ACKNOWLEDGMENT

STATE OF CALIFORNIA COUNTY OF San Mateo
 ON 1-24-2013 BEFORE ME, Denise Hartman Stagg A NOTARY PUBLIC, PERSONALLY APPEARED [Signature] WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE /THEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.
 WITNESS MY HAND:
 SIGNATURE [Signature]
Denise Hartman Stagg
 NAME (TYPED OR PRINTED), NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
 PRINCIPAL COUNTY OF BUSINESS: San Mateo
 COMMISSION EXPIRES: 4-2-2014
 COMMISSION # OF NOTARY: 7903423



VICINITY MAP

TRUSTEE'S ACKNOWLEDGMENT

STATE OF CALIFORNIA COUNTY OF San Mateo
 ON January 24, 2013 BEFORE ME, MARY ANN TRUJILLO A NOTARY PUBLIC, PERSONALLY APPEARED [Signature] WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE /THEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.
 WITNESS MY HAND:
 SIGNATURE [Signature]
MARY ANN TRUJILLO
 NAME (TYPED OR PRINTED), NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
 PRINCIPAL COUNTY OF BUSINESS: San Mateo
 COMMISSION EXPIRES: 4-30-2014
 COMMISSION # OF NOTARY: 1849284

TRUSTEE'S ACKNOWLEDGMENT

STATE OF CALIFORNIA COUNTY OF San Mateo
 ON January 24, 2013 BEFORE ME, MARY ANN TRUJILLO A NOTARY PUBLIC, PERSONALLY APPEARED [Signature] WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE /THEY EXECUTED THE SAME IN HIS/HER/ THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/ THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S) OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.
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 SIGNATURE [Signature]
MARY ANN TRUJILLO
 NAME (TYPED OR PRINTED), NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE
 PRINCIPAL COUNTY OF BUSINESS: San Mateo
 COMMISSION EXPIRES: 4-30-2014
 COMMISSION # OF NOTARY: 1849284

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TICONDEROGA PARTNERS LLC ON APRIL 2011. I HEREBY STATE THAT THIS PARCEL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE DECEMBER 2014, AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: 12-19-12

[Signature] MICHAEL A. SHOUP, P.L.S. 7616

COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE CALIFORNIA "SUBDIVISION MAP ACT" AND OF THE "SAN MATEO COUNTY ORDINANCE" APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

DATE: 3/7/2013

[Signature] CHRISTOPHER V. NANOREY
 LICENSED LAND SURVEYOR
 L.S. 8189

CLERK OF THE BOARD STATEMENT

I HEREBY STATE THAT THE BOARD OF SUPERVISORS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTIONS 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA.
 DATE: 3/13/2013
 BY: [Signature]
 CLERK OF THE BOARD OF SUPERVISORS
 SAN MATEO COUNTY, STATE OF CALIFORNIA
 BY: _____
 DEPUTY

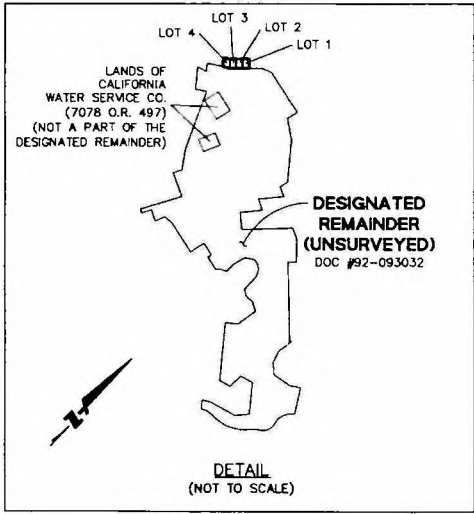
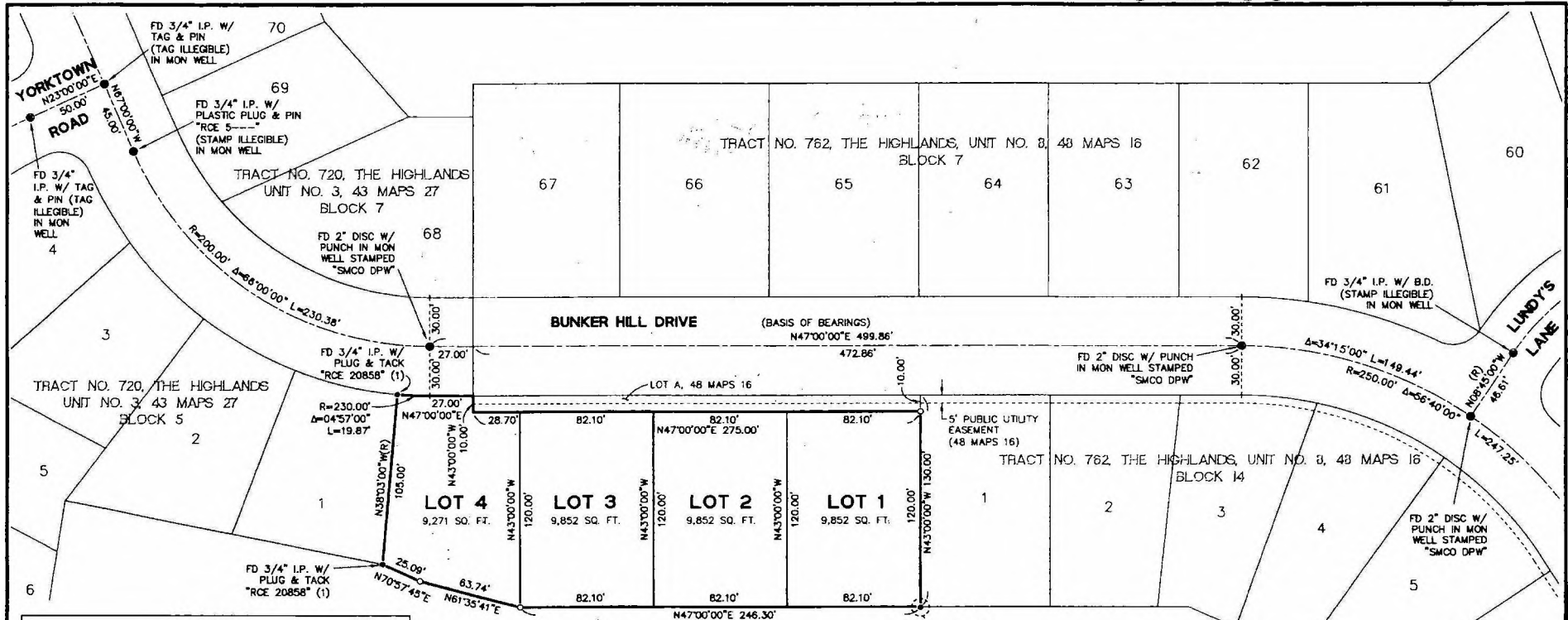
COUNTY RECORDER'S STATEMENT

FILED THIS 15th DAY OF March, 2013, AT 1:41 P.M. IN
 VOLUME 80 OF PARCEL MAPS AT PAGES 69 AND 70, AT THE REQUEST
 OF BKF ENGINEERS.
 MARK CHURCH, SAN MATEO COUNTY RECORDER
 FILE NO. 2013-900023
 FEE: \$12.00
 BY: [Signature]
 DEPUTY

PARCEL MAP NO. 1094

LANDS OF TICONDEROGA PARTNERS LLC
 BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
 THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
 DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
 SAN MATEO COUNTY
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 DECEMBER 2012





DESIGNATED REMAINDER (UNSURVEYED)
DOC #92-093032

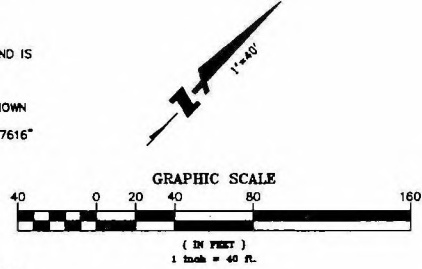
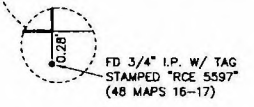
BASIS OF BEARINGS

THE BEARING NORTH 47°00'00" EAST BETWEEN TWO FOUND MONUMENTS ON THE CENTERLINE OF BUNKER HILL DRIVE AS SHOWN ON THE MAP ENTITLED "TRACT NO. 762, THE HIGHLANDS, UNIT NO. 3" RECORDED IN VOLUME 48 OF MAPS AT PAGES 16 AND 17, SAN MATEO COUNTY RECORDS, WAS TAKEN AS THE BASIS OF ALL BEARINGS SHOWN ON THIS MAP.

NOTE

THE DESIGNATED REMAINDER SHOWN HEREIN IS UNSURVEYED AND IS GRAPHICALLY SHOWN BASED ON RECORD DATA ONLY.

- LEGEND**
- FOUND STANDARD COUNTY MONUMENT AS SHOWN
 - FOUND MONUMENT AS SHOWN
 - SET 3/4" IRON PIPE WITH PLASTIC CAP "LS 7616"
 - BRASS DISK
 - FD
 - I.P.
 - MON
 - W/
 - DISTINCTIVE BORDER
 - CENTERLINE
 - LOT LINE
 - ADJOINING LOT LINE
 - RADIAL BEARING
 - RECORD DATA FROM CORNER RECORD DOCUMENT NUMBER 1763



PARCEL MAP NO. 1094

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS, SAN MATEO COUNTY, CALIFORNIA

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=40' DECEMBER 2012



From: Camille Leung
To: Diana Shu
CC: Christopher Vandrey; Pete Bentley
Date: 1/18/2013 9:45 AM
Subject: Re: DPW records related to Parcel Map (Bunker Hill) Lots 1-4 and lots 5-11 PLN2006-00357

Hi Diana,

Pete Bentley is checking compliance with Conditions of approval. Pete, can you let Sam know if there are any outstanding items: Conservation easement, etc. Thanks!

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:
<http://www.co.sanmateo.ca.us/planning/survey>

 Confidentiality Notice: This e-mail message, including any attachments, is for the sole use of intended recipient(s) and may contain confidential and protected information. Any unauthorized review, use, disclosure or distribution is prohibited. If you are not the intended recipient, please contact the sender by reply e-mail and destroy all copies of the original message.

Save Paper.
 Think before you print. >>> Diana Shu 1/16/2013 10:22 AM >>>
 Hi Chris
 Can you provide the draft map to Sam?

Camille
 Would you let Sam know if there are any outstanding items: Conservation easement, etc.

I believe they are getting ready to complete Ticonderoga sewer upgrades today or tomorrow.

Thanks
Diana

Diana Shu
dshu@smcgov.org
 650-599-1414
 Please fill out a customer satisfaction survey:
<http://www.surveymonkey.com/s/QX7ZKHQ>

1/22
 called
 John N.
 This AM &
 Asked for
 STATUS of
 BOTH RECORDS

>>> Sam Naifeh <samnaifeh@sbcglobal.net> 1/16/2013 9:20 AM >>>

Dear Diana

You noted that recordation of the map is pending satisfactory completion of Conditions of Approval for PLN2006-00357.

Please inform us as to:

1. content of the map to be recorded (pdf copy would work for this if available)
2. whether the map you refer to is the Final Map noted in the conditions of approval
3. what steps remain to be completed in the Conditions of Approval before the Final Map can be recorded.

Thanks
Sam

--- On **Mon, 12/24/12**, Diana Shu <dshu@smcgov.org> wrote:

From: Diana Shu <dshu@smcgov.org>

Subject: Re: DPW records related to Parcel Map (Bunker Hill) Lots 1-4 and lots 5-11 PLN2006-00357

To: "Sam Naifeh" <samnaifeh@sbcglobal.net>

Cc: "Alan Palter" <alan.palter@varian.com>, "Cary Wiest" <wiestandassoc@sbcglobal.net>, "Catherine Palter" <cpalter@stanford.edu>, "Christopher Vandrey" <cvandrey@smcgov.org>, "Gerard Ozanne" <jerryozanne@earthlink.net>, "Jean-Pierre Bernard" <jpybernard@att.net>, "Jim Porter" <jporter@smcgov.org>, "Lennie Roberts" <lennie@darwin.ptvy.ca.us>, "Rick Priola" <HCApres@gmail.com>

Date: Monday, December 24, 2012, 1:19 PM

Hi Sam

The Encroachment Permit is listed under "Ticonderoga Drive" as that is where the work is.

The recording of the subdivision is conditioned upon completing the sewer upgrades and this is what he is doing.

We cannot record the map until the conditions noted as "prior to recordation" have been meet.

Amongst the items he is required to complete is the sewer upgrade and the conservation easement.

Attached please find a copy of the permit.

Recordation of the map is pending satisfactory completion of his Conditions of Approval.

I hope this answers your questions.

Happy Holidays
Diana

Diana Shu
dshu@smcgov.org
650-599-1414

>>> Sam Naifeh <samnaifeh@sbcglobal.net> 12/24/2012 10:23 AM >>>
Dear Diana and Chris

Thank you both for your email.

Please provide a copy of the permit. DPW designates the activity under the name of "Highland Estates Subdivision"

Please clarify the granting of a permit to work on the subdivision when the subdivision has not yet taken place or been authorized pending the filing of the Final Map or its approved equivalent.

With Best Wishes for Happy Holidays
Sam

On Dec 24, 2012, at 9:36 AM, "Diana Shu" <dshu@smcgov.org> wrote:

Hi Sam

Chris passed this email onto me.

The applicant has received a permit to begin work on the Sewer upgrades. It will be via pipe bursting, so there will be two small pits at the beginning and end of the sewer line used to push a new pipe into the old pipe.

The work is schedule to begin next week, weather permitting. We do not expect any interruptions in service as the sewage will be pumped around this section of pipe. Likewise, traffic will have minimal impact.

If your community experiences any difficulties, please let us know immediately.

Thanks for asking,
Diana

Diana Shu
dshu@smcgov.org
650-599-1414

<IMAGE.gif>

>>> Christopher Vandrey 12/21/2012 5:05 PM >>>

Sam,

Thank you for the email, the holidays are here and I am well. I hope you are also.

On the topic of encroachment permits: I will have someone who works with permits get back to you with details. That same person can give you information about upcoming road improvement activity.

The map has not had any activity since December 2011. It is technically ready to record which means the map conforms to County drafting standards and all of the necessary statements are on it. But the map cannot record until all of the conditions of approval have been signed off by Public Works and the Planning Department.

The current map in plan check only has lots 1-4 and I am not aware of any proposed changes.

I don't have any information about PG&E surveys in the vicinity.

If we need to discuss anything about the map in greater detail, I will return to the office Thursday, December 27th at 8 a.m. Thanks again for the email.

Christopher G Vandrey, PLS
Public Works Department
cvandrey@smcgov.org
(650) 599-1410

<IMAGE.gif>

>>> Sam Naifeh <samnaifeh@sbcglobal.net> 12/21/2012 4:47 PM >>>

Dear Chris

Greetings. Hope you holiday season is gong well.

We are informed that the developer is securing the required encroachment permits from the County's Public Works department and he will start work on the sewer lines. This will primarily be pipe bursting to increase line capacity.

Requests for our area communities:

We would appreciate your providing the current status of Public Works Map Checking Section involved with the preparation of the parcel map for filing.

Please send information on required encroachment permits.

In this regard, please send detail of alterations in the maps or conditions you previously reviewed and any changes in lots 5-11.

PG&E has also conducted surveys in the last week. Please inform as to DPW review of PG&E activity and whether the Highland Estates work is involved.

Our community association has not been informed as to whether there might be any specific disruption of neighborhood road access, sanitation district functioning, water, utility service or other disruption as a consequence of this work to be done. We would appreciate your informing us as to whether and when any disruptions of access and services will occur.

Thanks
Sam Naifeh

Pete Bentley - PLN2006-00357 (Chamberlain)

From: Pete Bentley
To: samnaifeh@sbcglobal.net
Subject: PLN2006-00357 (Chamberlain)
CC: Diana Shu; Jim Eggemeyer

Sam:

Camille asked me to let you know "if there are any outstanding items: Conservation Easement, etc."

Currently County Counsel is reviewing the "title insurance policy" wording for the Easement. Once County Counsel is satisfied, I'm told the Easement is ready to be recorded.

The map, to be recorded, is the "Parcel Map" for Lots 1-4 on Bunker Hill. At a later date the "Final Map" will be recorded.

All conditions for the recording of the Parcel Map per "Planning" requirement for Lots 1-4 have been met. I believe DPW (Diana Shu) is still reviewing those conditions relative only to DPW.

The sewer replacement work on Ticonderoga has been "signed off" by DPW Roads and is being reviewed now by the Sanitary Sewer District to confirm their conditions have all been met.


Bottom line: Once the title insurance language is approved and the sewer district approves the Ticonderoga work, the Parcel map and the Conservation Easement will be recorded.

Pete Bentley

Pete Bentley - ticonderoga sewer

From: Tom Davenport
To: Pete Bentley
Date: 1/24/2013 8:15 AM
Subject: ticonderoga sewer

hi pete, just wanted to let you know that we have finaied the sewer project on ticonderoga dr. it was permit number dpw2012-00551

 Save Paper. Think Before You Print.

Pete Bentley - Re: PLN2006-00357 (Chamberlain)

From: Sam Naifeh <samnaifeh@sbcglobal.net>
To: Pete Bentley <pbentley@smcgov.org>
Date: 1/25/2013 8:03 AM
Subject: Re: PLN2006-00357 (Chamberlain)
CC: Diana Shu <dshu@smcgov.org>, Jim Eggemeyer <JEggemeyer@smcgov.org>, Alan...

Dear Pete

Thank you for sending this update.

Sam

--- On Thu, 1/24/13, Pete Bentley <pbentley@smcgov.org> wrote:

From: Pete Bentley <pbentley@smcgov.org>
Subject: PLN2006-00357 (Chamberlain)
To: samnaifeh@sbcglobal.net
Cc: "Diana Shu" <dshu@smcgov.org>, "Jim Eggemeyer" <JEggemeyer@smcgov.org>
Date: Thursday, January 24, 2013, 11:49 AM

Sam:

Camille asked me to let you know "if there are any outstanding items: Conservation Easement, etc."

Currently County Counsel is reviewing the "title insurance policy" wording for the Easement. Once County Counsel is satisfied, I'm told the Easement is ready to be recorded.


The map, to be recorded, is the "Parcel Map" for Lots 1-4 on Bunker Hill. At a later date the "Final Map" will be recorded.

All conditions for the recording of the Parcel Map per "Planning" requirement for Lots 1-4 have been met. I believe DPW (Diana Shu) is still reviewing those conditions relative only to DPW.

The sewer replacement work on Ticonderoga has been "signed off" by DPW Roads and is being reviewed now by the Sanitary Sewer District to confirm their conditions have all been met.

Bottom line: Once the title insurance language is approved and the sewer district approves the Ticonderoga work, the Parcel map and the Conservation Easement will be recorded.

Pete Bentley

 Save Paper. Think Before You Print.

Exit New Open Task List QBE GIS
 Close View Add Delete Sign Off Print Documents

View / Edit Activity

Activity: **0005** Desc: **Grant Permit Extension** Updated: 3/6/2012 PSB Edit

Disposition: Hold Level: **No hold** Sign Off

Dates

Approved Calendar Tag:

Report Tag:

Assigned To:

Done By: OK

X-Coordinate:

Y-Coordinate:

IVR Confirmation Number

Notes:
 3/6/12 PSB - Appliant in this AM and paid extention fee. Final Map approval and conditions now extended for 1 year to **April 27, 2013.** Help

Phone Call	E0001	5/17/2011	DONE	CML	5/
Received	A0010	4/29/2010	DONE	CML	04
Final Approval	H0080	4/28/2010	DONE	CML	4/

View/Add Activities

SUBDIVISION GUARANTEE

Fee : \$ 350.00
Guarantee No. :
Order No. : 0377002104
Subdivision :



**OLD REPUBLIC NATIONAL
TITLE INSURANCE COMPANY**
a Corporation, of Minneapolis, Minnesota

GUARANTEES

The County of San Mateo and any City within which said subdivision is located in a sum not exceeding \$ **1,000.00**

That, according to those public records which, under the recording laws, impart constructive notice of matters affecting the title to the land included within the exterior boundary shown on the map of the above referenced subdivision, the only parties having any record title interest in said land whose signatures are necessary, under the requirements of the Subdivision Map Act, on the certificates consenting to the recordation of said map and offering for dedication any streets, roads, avenues and other easements offered for dedication by said map are;

**Ticonderoga Partners, LLC, as owner, and First American Title Insurance Company, and
First American Title Company, as trustees**

The map hereinbefore referred to is a subdivision of:

PARCEL MAP NO. 1094


**LANDS OF TICONDEROGA PARTNERS, LLC
BEING A RECONDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2006 AS
DOCUMENT NUMBER 2006-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA**

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Corporation
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

February 4, 2013


Countersigned:

By



Validating Officer
K. Fenoglio, Sr. Vice-President

By




President

Attest

Secretary

SUBDIVISION GUARANTEE

Fee : \$ 350.00
Guarantee No. :
Order No. : 0377002104
Subdivision :



**OLD REPUBLIC NATIONAL
TITLE INSURANCE COMPANY**
a Corporation, of Minneapolis, Minnesota

GUARANTEES

The County of San Mateo and any City within which said subdivision is located in a sum not exceeding \$ **1,000.00**

That, according to those public records which, under the recording laws, impart constructive notice of matters affecting the title to the land included within the exterior boundary shown on the map of the above referenced subdivision, the only parties having any record title interest in said land whose signatures are necessary, under the requirements of the Subdivision Map Act, on the certificates consenting to the recordation of said map and offering for dedication any streets, roads, avenues and other easements offered for dedication by said map are:

**Ticonderoga Partners, LLC, as owner, and First American Title Insurance Company, and
First American Title Company, as trustees**

The map hereinbefore referred to is a subdivision of:

PARCEL MAP NO. 1094

**LANDS OF TICONDEROGA PARTNERS, LLC
BEING A REVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT BEID RECORDED MARCH 14, 2006 AS
DOCUMENT NUMBER 2006-07740 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA**

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Corporation
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111

February 4, 2013

Countersigned:

By

Validating Officer

K. Fenoglio, Sr. Vice-President

By

Attest

President

Secretary

February 5, 2013

We, **Sandie Arnott**, Tax Collector, and **Bob Adler**, County Controller, of the County of San Mateo, State of California, hereby certify that, according to the records of our offices, there are no liens against the lands of the proposed subdivision to be entitled:

"Lands of Ticonderoga Partners "

San Mateo County, California, as shown and described on the assessment roll for the fiscal year 2013-2014, as follows:

Vol. 064 Code No. 78-004 Parcel No. 041-101-290

Assessed to: Ticonderoga Partner LLC

Description:
041-101-290 96.915 AC MOL BND NELY BY POLHEMUS DR RD & SWLY BY THE HIGHLANDS SUB ACREAGE SAN MATEO SCH DIST

According to the records of these offices, there are no liens against the subdivision or any part thereof for unpaid State, County (Municipal or Local) taxes, and special assessments collected as taxes, except taxes and special assessments not yet payable, and which are established hereby in the following amounts:

Full Cash Value	Year 2013-2014	\$ 2,609
Estimated County Taxes	Year 2013-2014	\$ 437.54

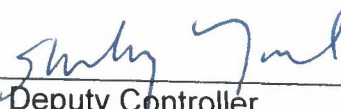
This certificate does not include any special assessments of any assessment district, the assessment or bond records of which have not been filed in our offices, and which may constitute liens upon the property. This certificate does not include any additional tax liens that may be created by changes of ownership or new construction under Senate Bill 813.

**CERTIFICATE MUST BE
RECORDED PRIOR TO**

AUG 30 2013



Tax Collector
San Mateo County



Deputy Controller
San Mateo County

Pete Bentley - Re: Fwd: Highlands Estates Parcel Map

From: Pete Bentley
To: Brian Lee; Christopher Vandrey
Subject: Re: Fwd: Highlands Estates Parcel Map
CC: Diana Shu; liliya Latman


Sounds like a plan to me. Let's notify Roland Haga and do it.

Pete

>>> Brian Lee 1/31/2013 3:19 PM >>>

The proposal is acceptable only if the deed restriction notes are recorded concurrently with the map.

Brian

 Save Paper. Think Before You Print.

>>> On 01/31/13 at 11:12 AM, Christopher Vandrey <cvandrey@smcgov.org> wrote:

Brian and Pete,

Good morning. The Bunker Hill map is getting close to recording and Diana Shu brought up a point for clarification. Public Works condition of approval #12 (attached) requires a statement on the map. Roland Haga (BKF) sent the following email on 02/01/2012.

For clarification: will Roland's proposal work instead of a note on the map?

My personal recollection was that we (County) were OK with it. Please confirm?

Thank you very much!

-Chris

 Save Paper. Think Before You Print.

>>> "Roland Haga" <RHAGA@BKF.com> 2/1/2012 5:52 PM >>>

Pete and Chris,

In accordance with your request, I propose the following language ,however, I proposed that this document be recorded as a separate instrument against each lot proposed with the title company against each of the lots 1,2,3 and 4 at the time the Parcel Map records. Then the title on each of the lots would reflect the deed restriction (below) recorded against each lot independently of the Parcel Map. This would be consistent with Section 66445 (g) and 66434.2 (if by local ordinance) of the Subdivision Map Act. Generally on and after January 1, 1987, 66445 (g) of the Subdivision Map Act , "no additional survey and map requirements shall be on a Parcel Map that does not affect record title interests".

DEED RESTRICTION NOTE: Lots 1, 2, 3 and 4 shown on this Parcel Map No. are subject to the following Deed Restrictions:

1. As required by the San Mateo County Fire Protection Ordinance, Section 3.84.100, individual property owners for Lots 1-4 and 9, 10, and 11 shall be responsible for maintaining a fuel break by removing all hazardous flammable materials or growth from the ground around each home for a distance of up to 100 feet from its exterior circumference, for the life of the project. Property owners of lots listed above shall arrange with the property owner of the open space parcel to obtain legal access to the open space parcel for the purpose of vegetation clearance. This would not include the authorization of tree removal for trees protected by the RM zoning regulations or "major removal" of vegetation requiring an RM Permit. For the twelve parcels that constitute the project site, the removal of trees or other vegetation providing screening of the eleven residences such that the residences are made significantly more visible from public viewing location (s) shall constitute a "major removal" requiring an RM Permit. This requirement shall be recorded as a deed restriction on Lots 1 through 4, when the lots are sold.

2. The Final Map will include a note stating that "any development of the project parcels must comply with the conditions of approval, as approved by the San Mateo County Board of Supervisors on April 27, 2010." San Mateo County File no. PLN 2006-00357.

Upon your review, please forward any language revisions and /or revisions and if you agree with recording the above deed restrictions on a separate instrument recorded against each lot.

Roland Haga

Roland Haga, PE, LEED@AP
Associate/Project Manager

	Roland Haga, PE, LEED AP BKF Engineers Associate/Project Manager (650) 482-6300 General (650) 482-6407 Direct Work (650) 482-6399 Fax rhaga@bkf.com Email 255 Shoreline Drive, Suite 200 Redwood City, CA 94065 United States of America
	ENGINEERS
	SURVEYORS
	PLANNERS

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GRANT OF CONSERVATION EASEMENT

2/11/13

This GRANT DEED OF CONSERVATION EASEMENT is made on November 11, 2013, by TICONDEROGA PARTNERS LLC having an address at 655 Skyway Road, Redwood City, California, Carlos, CA 94070 ("Grantor") in favor of the COUNTY OF SAN MATEO having an address at County Government Center, 400 County Center, Redwood City, CA 94063 ("Grantee" or "County").

Recitals

WHEREAS, section 6317.A (Conservation Open Space Easement) of the San Mateo County Zoning Regulations (Zoning Regulations) requires, after any land division of lands zoned Resource Management (RM), that the applicant for the land division grant to the County (and that the County accept) a conservation easement, containing a covenant running with the land in perpetuity, which limits the use of the land covered by the easement to uses consistent with open space as defined in the California Open Space Lands Act of 1972 in January 1, 1980;

WHEREAS, Grantor is the owner of lands located in the County of San Mateo, which lands are included within a subdivision commonly referred to as the Highland Estates Subdivision, the Vesting Tentative Map for which was approved by the San Mateo County Board of Supervisors on April 27, 2010;

WHEREAS, Grantor wishes to grant to Grantee a conservation easement over the property described in the attached Exhibit A, which is incorporated herein by reference (the "Subject Property"), in fulfillment of the requirements of section 6317.A of the Zoning Regulations;

NOW, THEREFORE, in consideration of the mutual covenants, terms, restrictions and conditions hereinafter set forth, Grantor hereby grants and conveys to Grantee and its successors, a conservation easement, in gross and in perpetuity, on the terms, and subject to the limitations set forth herein.

Description of Property

1. Grantor is the sole owner of the Subject Property, located in the County of San Mateo, State of California and the Subject Property is the subject of this grant. The Subject Property is delineated on the Highlands Estates Vesting Tentative Map and listed and described on Exhibit A, which is attached to and made a part of this grant by reference.

Conservation Values

2. The Subject Property possesses natural, scenic, open-space, habitat preservation, and recreational values. In particular,

(a) the preservation of the Subject Property as open space is consistent with the General Plan of the County; and

(b) the preservation of the Subject Property as open space is in the best interest of the County and specifically because:

(1) the land is essentially unimproved and if retained in its natural state has scenic value to the public and this instrument contains appropriate covenants to that end;
and

(2) it is in the public interest that the Subject Property be retained as Open Space because such land will add to the amenities of living in neighboring urbanized areas.

Intention of Grantor

3. It is the intention of Grantor to grant to Grantee a conservation easement on, over, across, and under the Subject Property pursuant to the Open-Space Easement Act of 1974, appearing at Chapter 6.6 (commencing with Section 51070) of Part 1, Division 1, Title 5 of the California Government Code, and in fulfillment of the requirements of section 6317.A of the San Mateo County Zoning Regulations whereby Grantor relinquishes certain rights and enters into certain covenants concerning the Subject Property, as more particularly set forth below. It is further the intention of the Grantor that this grant meet all of the requirements of section 170(h)(1) of the United States Internal Revenue Code.

Purpose of Easement

4. The purpose of this grant of an open-space easement in the Subject Property is to preserve the natural and scenic character of the Subject Property for public use and enjoyment, subject to the restrictions set forth herein, and to prevent any use of the Subject Property that will impair or interfere with the conservation values of the Subject Property. Grantor intends that this

Conservation Easement will confine the use of the Subject Property to activities that are consistent with such purposes.

Description of Grantee

5. Grantee is a political subdivision of the State of California, and is the entity designated under Section 6317.A of the San Mateo County Zoning Regulations to accept easements granted pursuant to that section.

Acceptance by Grantee

6. By accepting this grant, Grantee agrees to honor the intentions of Grantor to act in a manner consistent with the purposes of this grant, and to preserve and protect in perpetuity the conservation values of the Subject Property. Grantee shall accept this grant in satisfaction of Condition 11 to the approval by the Board of Supervisors on April 27, 2010 and other related conditions of approval regarding a conservation easement. The effective date of this grant shall be the date that this grant of easement is recorded. In the event that any Parcel Map or the Final Subdivision Map is invalidated as a result of a legal challenge, this Easement shall cease to have any effect and the Grantee shall reconvey to Grantor all rights it may hold by virtue of this Easement and shall promptly record a quitclaim of all such rights. This grant satisfies the requirements in the County's Resource Management Zone for a density bonus under County Ordinance Section 6318 and for a subdivision under the Resource Management Zone.

Grant of Easement

7. In consideration of the above and the mutual covenants, terms, conditions, and restrictions contained in this grant deed, and pursuant to the laws of California and in particular to the Open-Space Easement Act of 1974 and Section 6317.A of the San Mateo County Zoning Regulations, Grantor voluntarily grants to Grantee a conservation easement in gross in the Subject Property in perpetuity subject to the terms of this grant deed.

Covenants

8. The Subject Property shall be used by Grantor and Grantor's successors in interest only for those purposes that will maintain the existing open-space character of the Subject Property. Any uses of the Subject Property shall further be limited to uses consistent with open space as defined in the California Open Space Lands Act of 1972, on January 1, 1980, as set forth in Government Code section 65560.

Without limiting the generality of the foregoing, Grantor and Grantor's successors in interest hereby covenant that they will refrain, in perpetuity, from doing, causing, or permitting any of the following acts with respect to the Subject Property:

(1) Using or permitting the use of the Subject Property for any purpose except as is consistent with the stated purposes, terms, conditions, restrictions, and covenants of this easement, with the provisions of the Open-Space Easement Act of 1974, and with the findings of the Board of Supervisors of the County of San Mateo pursuant to California Government Code Section 51084.

(2) Constructing improvements on the Subject Property. However, Grantor may construct and maintain existing utility, road and access easements or any such easements authorized or reserved by the Vesting Tentative Subdivision Map approved by the Board of Supervisors of the County of San Mateo on April 27, 2010, provided that any such construction and maintenance shall be carried out consistently with the conservation values that this conservation easement was intended to protect. This section is not intended to approve or otherwise legalize existing improvements constructed by any third person on the Subject Property, nor is to be construed as requiring that Grantor remove any such improvements that exist as of the effective date of this Easement.

(3) Constructing, placing, or maintaining a parking lot, storage area, or dump site for the storage or disposal of anything that is not indigenous or natural to the Subject Property. Further, this section shall not be construed to authorize a dump site for the permanent disposal of any materials associated with normal construction activities associated with the construction of the eleven authorized houses or for any other materials whatsoever.

(4) Surfacing the Subject Property, in whole or in part, with any asphalt, stone, concrete, or other material that does not constitute natural cover for the land, except as is necessary to construct utility and road improvements within the limits of utility and road easements authorized or reserved pursuant to (2), above, or paving of a bicycle and/or pedestrian trail if the Subject Property comes to be used as a passive use park, as referenced in Section 14(b) of this easement.

(5) Mining, extracting, severing, or removing any natural resource found or located on, above, or below the Subject Property, or otherwise engaging in any activity that will alter the unique physical and scenic characteristics of the Subject Property.

(6) Cutting or removing timber or trees found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant.

(7) Cutting, uprooting, or removing natural growth found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant. Nothing in this Conservation Easement shall exempt Grantor from compliance with any regulations and /or permit requirements governing the removal of trees.

(8) Dividing or subdividing the Subject Property.

(9) Subject to those rights reserved in Paragraph 9, below, excavating, grading, or placing any sand, soil, rock, gravel, or any material on the Subject Property, except with prior written permission of Grantee, provided that the excavation, grading, or placing of material on the Subject Property is consistent with the purposes of this grant. Notwithstanding the foregoing sentence, during any time in which the Subject Property is owned by a public agency, including

but not limited to the Highland Recreation District, the Grantor may excavate, grade, or place sand, soil, rock, gravel or other material on the Subject property if, on written advice of Grantor's counsel, such action is necessary in order to comply with legal requirements and/or to address a risk of liability related to the condition of the Subject Property. Any such actions authorized by the immediately preceding sentence must be undertaken consistently with the maintenance of RM values, to the full extent possible.

(10) There shall be no storage of vehicles, boats, firewood, building materials or equipment on the Subject Property, nor shall there be any sheds or modular office buildings permitted on the Subject Property. The provisions of this subsection 8.(10) shall not apply in the area described in subsection 8.(15) during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

(11) There shall be no industrial, commercial, residential, or institutional activity permitted on the Subject Property.

(12) Unseasonable watering; use of fertilizers, pesticides, biocides, herbicides, or other agricultural chemicals except to enhance RM values (such as trail maintenance or establishment of native plantings); weed abatement activities except to enhance RM Zone values (such as removal of non-native invasive species); incompatible fire protection activities; and any other activities and uses which may impair or interfere with the purposes of the Conservation Easement.

(13) Use of off-road vehicles and use of any other motorized vehicles except on existing roadways.

(14) Planting or introduction of non-native or exotic plant or animal species.

(15) Notwithstanding the covenants in this section, it shall not be a breach of this Easement for there to be constructed an extension of the Highland Recreation District's Lexington Avenue parking lot that exists as of the effective date of this Easement into adjacent land along Lexington Avenue, provided that any such extension of the parking lot extend only into the adjacent lot area that is approximately at the grade of the parking lot and otherwise serves the purposes of this Easement. Moreover, in the event that the Highlands Recreation District comes to own the Subject Property, this easement shall not restrict that district from using such extension, for related recreational purposes.

(16) During any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District, and with respect to any activity that is otherwise permitted under the terms of this easement, this Section 8 shall not restrict Grantor from undertaking any such activity in any manner necessary in order to comply with the Americans With Disabilities Act, Section 504 of the Rehabilitation Act of 1973 or any analogous state or federal laws.

Reservation of Rights

9. Grantor reserves the right to all uses and occupancy of, and ingress and egress to and from, the Subject Property in any manner consistent with the stated purposes, terms, conditions, restrictions, and covenants of this grant. Those uses include the following specific enumerated rights:

(1) The right to remove hazardous substances, rubbish, diseased plants or trees and to correct dangerous conditions on the Subject Property.

(2) The right to remove understory vegetation which, according to the County Fire Marshall, constitutes a fire hazard to the neighboring parcels. Nothing in this subsection of this Conservation Easement shall exempt the Grantor from compliance with regulations and/or permit requirements regarding the removal of trees.

(3) The right to repair underground utility lines.

(4) The right to post signs to deter trespass or to prevent, pursuant to Civil Code Section 1008, the creation of prescriptive easements, which signs shall be of no greater size than the minimum specified by law.

Grantee's Approval

10. Whenever this grant deed requires Grantor to obtain the prior written approval or permission of the Grantee, the Grantor will notify the Grantee not less than fifteen business days in advance of the date that Grantor intends to undertake the activity. The notice must describe the nature, scope, design, location, timetable, and any other material aspect of the proposed activity in sufficient detail to permit Grantee to make an informed judgment as to the consistency of the activity with the purpose of this grant. The Grantee shall grant or deny approval in writing within ten business days of receipt of Grantors notice. Grantee may deny approval only on a reasonable determination that the proposed action would be inconsistent with the purpose of this grant. The provisions of this section 10 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Right to Prevent Prohibited Use

11. Grantor grants to Grantee and Grantee's successors and assigns, for the duration of this grant, the right, but not the obligation, to prevent or prohibit any activity that is inconsistent with the stated purposes, terms, conditions, restrictions, or covenants of this grant and the right to enter the Subject Property for the purpose of removing any building, structure, improvement, or any material whatsoever constructed, placed, stored, deposited, or maintained on the Subject Property contrary to the stated purposes of this grant or to any term, condition, restriction, or covenant of this grant. By this grant, Grantor retains all rights to enforce the easement and any rights as an owner not inconsistent with this grant.

Enforcement

12(a). The purposes, terms, conditions, restrictions, and covenants in this grant may be specifically enforced or enjoined by proceedings in the Superior Court of the State of California, consistent with the terms of Section 51086 of the California Government Code.

12(b). It is understood and agreed that the enforcement proceedings provided in this section are not exclusive and that any action to enforce the terms and provisions of the Grant of Open-Space Easement shall be at the discretion of Grantee and may be brought at law or in equity. Any forbearance on the part of Grantee to exercise its rights hereunder in the event of any breach hereof by Grantor, or by Grantor's heirs, successors, personal representatives or assigns shall not be deemed or construed to be a waiver of Grantee's rights hereunder in the event of any subsequent breach.

12(c). In any action by Grantee to enjoin any violation of this easement, Grantor agrees that Grantee shall have no obligation to prove either actual damages or the inadequacy of otherwise available legal remedies. Grantor agrees that Grantee's remedies at law for any violation of this Easement are inadequate and that Grantee shall be entitled to the injunctive relief described in this section, both prohibitive and mandatory, in addition to such other relief to which Grantee may be entitled, including specific performance of this Conservation Easement, without the necessity of proving either actual damages or the inadequacy of otherwise available legal remedies. Grantee's remedies described in this section shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity. The failure of the Grantee to discover a violation or to take immediate action shall not bar Grantee from taking action at a

later time. The provisions of this section 12(c) shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Acts Beyond Grantor's Control

13. Nothing contained in this instrument may be construed to entitle Grantee to bring any action against Grantor for any injury to or change in the Subject Property resulting from causes that are beyond Grantor's control, including, but not limited to, third party actions, trespass, fire, flood, storm, earth movement, or any prudent or reasonable action undertaken by Grantor in an emergency situations to prevent or mitigate damage or injury to the Subject Property resulting from such causes, provided that the emergency situation does not result from, or is not related to, actions undertaken by the Grantor. Nothing herein shall relieve Grantor of the obligation to apply for and obtain any required permits or approvals for any such actions.

No Authorization for Public Trespass

14(a). The granting of this conservation easement by this instrument and the acceptance of the easement by the Grantee do not, in themselves, authorize, and are not to be construed as authorizing, the public or any member of the public to enter, trespass on, or use all or any portion of the Subject Property, or as granting to the public or any member of the public any tangible rights in or to the Subject Property. It is understood that the purpose of this grant is solely to restrict the use of the Subject Property, so that it may be kept as near as possible in its natural state.

14(b). It is the intention of Grantor and Grantee that should the fee simple interest in the Subject Property be transferred to a public agency or qualified non-profit entity or the County of San Mateo, passive recreational uses that preserve the natural open space character of the land may be allowed, including, but not limited to, nature walks, day hiking, picnicking, bird watching and photography. Any such future use would be subject to the approval of such subsequent owner.

Condemnation

15. As against the County of San Mateo, in its capacity as Grantee, the purposes of this Conservation Easement are presumed to be the highest and most necessary use of the Subject Property as defined at section 1240.680 of the California Code of Civil Procedure notwithstanding sections 1240.690 and 1240.700 of that Code. If an action in eminent domain for condemnation of any interest in the Subject Property is filed, or if the Subject Property is acquired for a public improvement by a public agency or person, these restrictions will be null and void as to the interest in the Subject Property actually condemned or acquired. However, all conditions, restrictions, and covenants of this grant will be in effect during the pendency of such an action; if such an action is abandoned before the recordation of a final order of condemnation, any portion of the Subject Property that is not actually acquired for public use will once again be subject to all of the terms, conditions, restrictions, and covenants of this grant. Grantor will be entitled to the amount of compensation as if the Subject Property had not been burdened by the conservation easement, consistent with Section 51095 of the California Government Code. Nothing in this section shall preclude consideration of zoning as reflected in the approved Final Subdivision Map.

Abandonment

16. The easement granted by this instrument may not be abandoned, in whole or in part, and Sections 51093 and 51094 of the California Government Code shall be inapplicable to this Conservation Easement.

Taxes and Assessments

17. Grantor or Grantor's successor or assigns shall pay or cause to be paid all real property taxes and other assessments (general and special), fees, and charges of whatever description levied or assessed against the Subject Property. Grantee agrees to cooperate with Grantor in documenting the existence and property tax-related effect of the easement for the Assessor of San Mateo County. The provisions of this section 17 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Maintenance

18. The Grantee shall not be obligated to maintain, improve or otherwise expend any funds in connection with the use or enjoyment of Subject Property or any interest created by this Grant of Easement.

Liability and Indemnification

19(a). Grantor retains all responsibility and shall bear all costs and liabilities of any kind related to the ownership, operation, upkeep, and maintenance of the Subject Property. Grantor agrees that the Grantee shall not have any duty or responsibility for the operation, upkeep, or

maintenance of the Subject Property, or the protection of Grantor, the public or any other third parties from risks related to the condition of the Subject Property. Grantor shall remain solely responsible for obtaining any applicable governmental permits and approvals required for any activity or use by Grantor permitted by this Easement, including permits and approvals required from Grantee acting in its regulatory capacity and any activity or use shall be undertaken in accordance with all applicable federal, state, local, and administrative agency laws, statutes, ordinances, rules, regulations, orders, and requirements. Acceptance of this Grant of Open-Space Easement by Grantee is subject to the express condition that the Grantee and its officers, agents, members and employees are to be free from all liability and claim for damage by reason of any injury to any person or persons, including Grantor, or property of any kind whatsoever and to whomsoever belonging, including Grantor, resulting from any pre-existing condition(s) on the Subject Property, and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest related to the Subject Property.

19(b). Grantor, on its behalf and on behalf of its successors in interest, hereby covenants and agrees to indemnify and hold harmless the Grantee, and its directors, officers, employees, agents, contractors, and representatives, and their respective heirs, personal representatives, successors, and assigns (each, an "Indemnified Party") from and against any and all liabilities, penalties, costs, losses, damages, expenses (including, without limitation, reasonable attorneys fees and other litigation expenses), causes of actions, claims, demands, orders, liens, or judgments (each, a "Claim") on account of or arising out of any pre-existing condition(s) on the Subject Property and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest

related to the Subject Property, except that this indemnification obligation shall be inapplicable to any Claim determined to result solely from the negligence of Grantee or any of its agents. If any action or proceeding is brought against any of the Indemnified Parties by reason of any such claim, Grantor and its successors in interest shall, at the election of and upon written notice of any such Indemnified Party, defend such action or proceeding by counsel reasonably acceptable to the Grantee's Indemnified Party or reimburse such Indemnified Party for all charges incurred for services of any government attorney (including, but not limited, for example, to attorneys of the Office of the County Counsel) in defending the action or proceeding. Grantee agrees that, in the defense of any such Claim it will vigorously assert all existing and applicable immunities and defenses.

19(c). The Grantee shall have no right of control over, nor duties and responsibilities with respect to, the Subject Property, which would subject the Grantee to liability occurring on the land, by virtue of the fact that the right of Grantee to enter the land is strictly limited to preventing uses inconsistent with the interests granted, and does not include the right or obligation to enter the land for the purposes of correcting any dangerous condition as defined by California Government Code Section 830.

19(d). Grantor agrees to maintain bodily injury and property damage liability insurance as shall protect it from claims related to conditions on the Subject Property and to name the Indemnified Parties as additional insureds on such policies.

19(e). The provisions of subsections 19(b) and 19(d) of this section 19 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Amendment

20. This conservation easement may not be amended in whole or in part as to any term, condition, restriction, or covenant without the prior written consent of the Grantor and Grantee. During all times that the County of San Mateo remains owner of this easement, any non-clerical amendment to this easement that is proposed shall be presented at a duly-noticed public meeting of the San Mateo County Planning Commission for a recommendation of the Planning Commission before the proposed amendment is presented to the San Mateo County Board of Supervisors for action.

In the event that another public agency besides the County of San Mateo becomes the owner of this easement, that public agency shall convene a public hearing before its governing board to consider any proposed amendments to this easement before the governing board approves any such proposed amendments. Notwithstanding the foregoing, in no event shall any amendment to this conservation easement be permitted which violates the California Open Space Lands Act or which contradicts the perpetual nature of this easement.

Binding on Successors and Assigns

21. This grant, and each and every term, condition, restriction, and covenant of this grant, is intended for the benefit of the public and is enforceable pursuant to the provisions of the Open-

Space Easement Act of 1974. This grant binds Grantor and Grantor's successors and assigns and constitutes a servitude on the Subject Property that runs with the land.

Liberal Construction

22. This easement is to be liberally construed in favor of the grant in order to effectuate the purposes of the easement and the policy and purpose of the Open-Space Act of 1974. If any provision in this grant is found to be ambiguous, an interpretation consistent with the purpose of this easement that would render the provision valid will be adopted over any interpretation that would render it invalid.

Severability

23. If any provision of this grant is found to be invalid, or if the application of this easement to any person or circumstance is disallowed or found to be invalid, the remainder of the provisions of the grant, or the application of the grant to persons or circumstances other than those to which its application was disallowed or found invalid, will not be affected and will remain in full force and effect.

Controlling Law

24. This grant of easement is to be interpreted, enforced, and performed in accordance with the laws of the State of California.

Entire Agreement

25. This grant sets forth the entire agreement of the parties with respect to the conservation

easement and supersedes all previous conversations, negotiations, understandings, settlements, or agreements related to the conservation easement.

Captions

26. The captions in this grant have been inserted solely for the purpose of convenience of reference and are not to be construed as part of this instrument and do not affect the construction or interpretation of the grant.

Enforceable Restriction

27. This easement is intended to constitute an enforceable restriction pursuant to the provisions of California Constitution, Article XIII, Section 8, and Sections 402.1 and 421 through 423.3 of the California Revenue and Taxation Code.

Counterparts

28. The parties may execute this instrument in two or more counterparts, which shall, collectively, be signed by all parties. Each counterpart shall be deemed an original instrument as against any party who has signed it. In the event of any disparity between the counterparts produced, the recorded counterpart controls.

Recording

29. Grantee shall record this Conservation Easement in the Office of the County Recorder of the County of San Mateo and may re-record it at any time that Grantee deems it necessary in order to preserve its rights in this easement.

Merger

30. It is the intent of the Grantor and the Grantee that the doctrine of merger not operate to extinguish this Conservation Easement if the same person or entity comes to own both the easement and the Subject Property. If, despite this stated intention, the doctrine of merger is determined to have extinguished this Conservation Easement, then a replacement conservation easement or restrictive covenant containing the same material protections embodied in this Conservation Easement shall be prepared and recorded against the Subject Property.

IN WITNESS WHEREOF, Grantor has executed this Conservation Easement Deed the day and year first written above.

Dated: 2-11-13


_____, GRANTOR
TICONDEROGA PARTNERS LLC
By: Jack Chamberlain

ACCEPTANCE OF CONSERVATION EASEMENT

Pursuant to the provisions of the Open-Space Easement Act of 1974, appearing at Chapter 6.6 of Part 1, Division 1, Title 5 of the California Government Code (commencing with Section 51070), the County of San Mateo accepts this grant of a conservation easement.

Dated: _____

COUNTY OF SAN MATEO

By: _____

MPM:sl

**Exhibit A to the
Grant of Conservation Easement
Highlands Estates**

Proposed Remainder Parcel and Conservation Easement Area

Parcel 1 of Document No. 92-093032, as recorded in the Office of the San Mateo County Recorder; excepting therefrom Lots 1 through 11 and the proposed Access Easement for the Benefit of Adjacent Parcel (Document No 92-093032, as recorded in the Office of the San Mateo County Recorder, Legal Description, Exhibit "A", Parcel 2); and as shown in the attached Exhibit "B", and referenced on the Highland Estates Vesting Tentative Map prepared by BKF Engineers, dated February 2, 2010 and approved by the San Mateo County Board of Supervisors on April 27, 2010, County File No. 2006-00357, and as may be further defined by the future Recorded Parcel Maps and Final Maps related to said Highland Estates Subdivision. Any such further defining of the boundaries of this Conservation Easement will result in only slight changes to the boundaries. Upon recordation of future Parcel Maps or Final Maps related to said Highlands Estates Subdivision, a Notice of Final Description will be recorded.

Exhibit "A"

L:\CLIENT\P_DEPTS\PLANNING\2012\Highlands Matters\Conservation Easement Property Description Exhibit A Final.docx

2/20/13

Merger

30. It is the intent of the Grantor and the Grantee that the doctrine of merger not operate to extinguish this Conservation Easement if the same person or entity comes to own both the easement and the Subject Property. If, despite this stated intention, the doctrine of merger is determined to have extinguished this Conservation Easement, then a replacement conservation easement or restrictive covenant containing the same material protections embodied in this Conservation Easement shall be prepared and recorded against the Subject Property.

IN WITNESS WHEREOF, Grantor has executed this Conservation Easement Deed the day and year first written above.

Dated: 2-20-13


GRANTOR
TICONDEROGA PARTNERS LLC
By: Jack Chamberlain

EXTRAS
— (2)

ACCEPTANCE OF CONSERVATION EASEMENT

Pursuant to the provisions of the Open-Space Easement Act of 1974, appearing at Chapter 6.6 of Part 1, Division 1, Title 5 of the California Government Code (commencing with Section 51070), the County of San Mateo accepts this grant of a conservation easement.

Dated: _____

COUNTY OF SAN MATEO

By: _____

MPM:sl

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

STATE OF California)SS
COUNTY OF San Mateo)

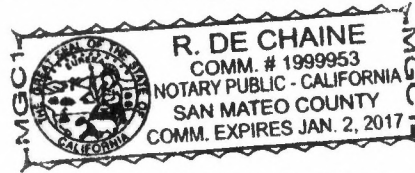
On Feb 20, 2013 before me, R. Dechaine, Notary Public, personally appeared Jack Chamberlain who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature

[Handwritten Signature]



This area for official notarial seal.

**OPTIONAL SECTION
CAPACITY CLAIMED BY SIGNER**

Though statute does not require the Notary to fill in the data below, doing so may prove invaluable to persons relying on the documents.

- INDIVIDUAL
- CORPORATE OFFICER(S) TITLE(S)
- PARTNER(S) LIMITED GENERAL
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN/CONSERVATOR
- OTHER

SIGNER IS REPRESENTING:

Name of Person or Entity

Name of Person or Entity

OPTIONAL SECTION

Though the data requested here is not required by law, it could prevent fraudulent reattachment of this form.

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED BELOW

TITLE OR TYPE OF DOCUMENT: _____

NUMBER OF PAGES _____ DATE OF DOCUMENT _____

SIGNER(S) OTHER THAN NAMED ABOVE _____

Merger

30. It is the intent of the Grantor and the Grantee that the doctrine of merger not operate to extinguish this Conservation Easement if the same person or entity comes to own both the easement and the Subject Property. If, despite this stated intention, the doctrine of merger is determined to have extinguished this Conservation Easement, then a replacement conservation easement or restrictive covenant containing the same material protections embodied in this Conservation Easement shall be prepared and recorded against the Subject Property.

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Dated: 2-20-13


TICONDEROGA PARTNERS LLC, GRANTOR
By: Jack Chamberlain

ACCEPTANCE OF CONSERVATION EASEMENT

Pursuant to the provisions of the Open-Space Easement Act of 1974, appearing at Chapter 6.6 of Part 1, Division 1, Title 5 of the California Government Code (commencing with Section 51070), the County of San Mateo accepts this grant of a conservation easement.

Dated: _____

COUNTY OF SAN MATEO

By: _____

MPM:sl

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

STATE OF California)SS
COUNTY OF San Mateo)

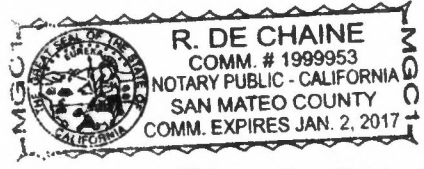
On Feb 20, 2013 before me, R. Dechaine, Notary Public, personally appeared Jack Chamberlain

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature [Handwritten Signature]



This area for official notarial seal.

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Though the data requested here is not required by law, it could prevent fraudulent reattachment of this form.

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED BELOW

TITLE OR TYPE OF DOCUMENT: _____

NUMBER OF PAGES _____ DATE OF DOCUMENT _____

SIGNER(S) OTHER THAN NAMED ABOVE _____

**Exhibit A to the
Grant of Conservation Easement
Highlands Estates**

Proposed Remainder Parcel and Conservation Easement Area

Parcel 1 of Document No. 92-093032, as recorded in the Office of the San Mateo County Recorder; excepting therefrom Lots 1 through 11 and the proposed Access Easement for the Benefit of Adjacent Parcel (Document No 92-093032, as recorded in the Office of the San Mateo County Recorder, Legal Description, Exhibit "A", Parcel 2); and as shown in the attached Exhibit "B", and referenced on the Highland Estates Vesting Tentative Map prepared by BKF Engineers, dated February 2, 2010 and approved by the San Mateo County Board of Supervisors on April 27, 2010, County File No. 2006-00357, and as may be further defined by the future Recorded Parcel Maps and Final Maps related to said Highland Estates Subdivision. Any such further defining of the boundaries of this Conservation Easement will result in only slight changes to the boundaries. Upon recordation of future Parcel Maps or Final Maps related to said Highlands Estates Subdivision, a Notice of Final Description will be recorded.

Exhibit "A"

L:\CLIENT\P_DEPTS\PLANNING\2012\Highlands Matters\Conservation Easement Property Description Exhibit A Final.docx

GRANT OF CONSERVATION EASEMENT

This GRANT DEED OF CONSERVATION EASEMENT is made on November __, 2012, by TICONDEROGA PARTNERS LLC having an address at 655 Skyway Road, Ste. 230, San Carlos, CA 94070 ("Grantor") in favor of the COUNTY OF SAN MATEO having an address at County Government Center, 400 County Center, Redwood City, CA 94063 ("Grantee" or "County").

Recitals

WHEREAS, section 6317.A (Conservation Open Space Easement) of the San Mateo County Zoning Regulations (Zoning Regulations) requires, after any land division of lands zoned Resource Management (RM), that the applicant for the land division grant to the County (and that the County accept) a conservation easement, containing a covenant running with the land in perpetuity, which limits the use of the land covered by the easement to uses consistent with open space as defined in the California Open Space Lands Act of 1972 in January 1, 1980;

WHEREAS, Grantor is the owner of lands located in the County of San Mateo, which lands are included within a subdivision commonly referred to as the Highland Estates Subdivision, the Vesting Tentative Map for which was approved by the San Mateo County Board of Supervisors on April 27, 2010;

WHEREAS, Grantor wishes to grant to Grantee a conservation easement over the property described in the attached Exhibit A, which is incorporated herein by reference (the "Subject Property"), in fulfillment of the requirements of section 6317.A of the Zoning Regulations;

NOW, THEREFORE, in consideration of the mutual covenants, terms, restrictions and conditions hereinafter set forth, Grantor hereby grants and conveys to Grantee and its successors, a conservation easement, in gross and in perpetuity, on the terms, and subject to the limitations set forth herein.

Description of Property

1. Grantor is the sole owner of the Subject Property, located in the County of San Mateo, State of California and the Subject Property is the subject of this grant. The Subject Property is delineated on the Highlands Estates Vesting Tentative Map and listed and described on Exhibit A, which is attached to and made a part of this grant by reference.

Conservation Values

2. The Subject Property possesses natural, scenic, open-space, habitat preservation, and recreational values. In particular,

(a) the preservation of the Subject Property as open space is consistent with the General Plan of the County; and

(b) the preservation of the Subject Property as open space is in the best interest of the County and specifically because:

(1) the land is essentially unimproved and if retained in its natural state has scenic value to the public and this instrument contains appropriate covenants to that end; and

(2) it is in the public interest that the Subject Property be retained as Open Space because such land will add to the amenities of living in neighboring urbanized areas.

Intention of Grantor

3. It is the intention of Grantor to grant to Grantee a conservation easement on, over, across, and under the Subject Property pursuant to the Open-Space Easement Act of 1974, appearing at Chapter 6.6 (commencing with Section 51070) of Part 1, Division 1, Title 5 of the California Government Code, and in fulfillment of the requirements of section 6317.A of the San Mateo County Zoning Regulations whereby Grantor relinquishes certain rights and enters into certain covenants concerning the Subject Property, as more particularly set forth below. It is further the intention of the Grantor that this grant meet all of the requirements of section 170(h)(1) of the United States Internal Revenue Code.

Purpose of Easement

4. The purpose of this grant of an open-space easement in the Subject Property is to preserve the natural and scenic character of the Subject Property for public use and enjoyment, subject to the restrictions set forth herein, and to prevent any use of the Subject Property that will impair or interfere with the conservation values of the Subject Property. Grantor intends that this

Conservation Easement will confine the use of the Subject Property to activities that are consistent with such purposes.

Description of Grantee

5. Grantee is a political subdivision of the State of California, and is the entity designated under Section 6317.A of the San Mateo County Zoning Regulations to accept easements granted pursuant to that section.

Acceptance by Grantee

6. By accepting this grant, Grantee agrees to honor the intentions of Grantor to act in a manner consistent with the purposes of this grant, and to preserve and protect in perpetuity the conservation values of the Subject Property. Grantee shall accept this grant in satisfaction of Condition 11 to the approval by the Board of Supervisors on April 27, 2010 and other related conditions of approval regarding a conservation easement. The effective date of this grant shall be the date that this grant of easement is recorded. In the event that any Parcel Map or the Final Subdivision Map is invalidated as a result of a legal challenge, this Easement shall cease to have any effect and the Grantee shall reconvey to Grantor all rights it may hold by virtue of this Easement and shall promptly record a quitclaim of all such rights. This grant satisfies the requirements in the County's Resource Management Zone for a density bonus under County Ordinance Section 6318 and for a subdivision under the Resource Management Zone.

Grant of Easement

7. In consideration of the above and the mutual covenants, terms, conditions, and restrictions contained in this grant deed, and pursuant to the laws of California and in particular to the Open-Space Easement Act of 1974 and Section 6317.A of the San Mateo County Zoning Regulations, Grantor voluntarily grants to Grantee a conservation easement in gross in the Subject Property in perpetuity subject to the terms of this grant deed.

Covenants

8. The Subject Property shall be used by Grantor and Grantor's successors in interest only for those purposes that will maintain the existing open-space character of the Subject Property. Any uses of the Subject Property shall further be limited to uses consistent with open space as defined in the California Open Space Lands Act of 1972, on January 1, 1980, as set forth in Government Code section 65560.

Without limiting the generality of the foregoing, Grantor and Grantor's successors in interest hereby covenant that they will refrain, in perpetuity, from doing, causing, or permitting any of the following acts with respect to the Subject Property:

(1) Using or permitting the use of the Subject Property for any purpose except as is consistent with the stated purposes, terms, conditions, restrictions, and covenants of this easement, with the provisions of the Open-Space Easement Act of 1974, and with the findings of the Board of Supervisors of the County of San Mateo pursuant to California Government Code Section 51084.

(2) Constructing improvements on the Subject Property. However, Grantor may construct and maintain existing utility, road and access easements or any such easements authorized or reserved by the Vesting Tentative Subdivision Map approved by the Board of Supervisors of the County of San Mateo on April 27, 2010, provided that any such construction and maintenance shall be carried out consistently with the conservation values that this conservation easement was intended to protect. This section is not intended to approve or otherwise legalize existing improvements constructed by any third person on the Subject Property, nor is to be construed as requiring that Grantor remove any such improvements that exist as of the effective date of this Easement.

(3) Constructing, placing, or maintaining a parking lot, storage area, or dump site for the storage or disposal of anything that is not indigenous or natural to the Subject Property. Further, this section shall not be construed to authorize a dump site for the permanent disposal of any materials associated with normal construction activities associated with the construction of the eleven authorized houses or for any other materials whatsoever.

(4) Surfacing the Subject Property, in whole or in part, with any asphalt, stone, concrete, or other material that does not constitute natural cover for the land, except as is necessary to construct utility and road improvements within the limits of utility and road easements authorized or reserved pursuant to (2), above, or paving of a bicycle and/or pedestrian trail if the Subject Property comes to be used as a passive use park, as referenced in Section 14(b) of this easement.

(5) Mining, extracting, severing, or removing any natural resource found or located on, above, or below the Subject Property, or otherwise engaging in any activity that will alter the unique physical and scenic characteristics of the Subject Property.

(6) Cutting or removing timber or trees found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant.

(7) Cutting, uprooting, or removing natural growth found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant. Nothing in this Conservation Easement shall exempt Grantor from compliance with any regulations and /or permit requirements governing the removal of trees.

(8) Dividing or subdividing the Subject Property.

(9) Subject to those rights reserved in Paragraph 9, below, excavating, grading, or placing any sand, soil, rock, gravel, or any material on the Subject Property, except with prior written permission of Grantee, provided that the excavation, grading, or placing of material on the Subject Property is consistent with the purposes of this grant. Notwithstanding the foregoing sentence, during any time in which the Subject Property is owned by a public agency, including

but not limited to the Highland Recreation District, the Grantor may excavate, grade, or place sand, soil, rock, gravel or other material on the Subject property if, on written advice of Grantor's counsel, such action is necessary in order to comply with legal requirements and/or to address a risk of liability related to the condition of the Subject Property. Any such actions authorized by the immediately preceding sentence must be undertaken consistently with the maintenance of RM values, to the full extent possible.

(10) There shall be no storage of vehicles, boats, firewood, building materials or equipment on the Subject Property, nor shall there be any sheds or modular office buildings permitted on the Subject Property. The provisions of this subsection 8.(10) shall not apply in the area described in subsection 8.(15) during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

(11) There shall be no industrial, commercial, residential, or institutional activity permitted on the Subject Property.

(12) Unseasonable watering; use of fertilizers, pesticides, biocides, herbicides, or other agricultural chemicals except to enhance RM values (such as trail maintenance or establishment of native plantings); weed abatement activities except to enhance RM Zone values (such as removal of non-native invasive species); incompatible fire protection activities; and any other activities and uses which may impair or interfere with the purposes of the Conservation Easement.

(13) Use of off-road vehicles and use of any other motorized vehicles except on existing roadways.

(14) Planting or introduction of non-native or exotic plant or animal species.

(15) Notwithstanding the covenants in this section, it shall not be a breach of this Easement for there to be constructed an extension of the Highland Recreation District's Lexington Avenue parking lot that exists as of the effective date of this Easement into adjacent land along Lexington Avenue, provided that any such extension of the parking lot extend only into the adjacent lot area that is approximately at the grade of the parking lot and otherwise serves the purposes of this Easement. Moreover, in the event that the Highlands Recreation District comes to own the Subject Property, this easement shall not restrict that district from using such extension, for related recreational purposes.

(16) During any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District, and with respect to any activity that is otherwise permitted under the terms of this easement, this Section 8 shall not restrict Grantor from undertaking any such activity in any manner necessary in order to comply with the Americans With Disabilities Act, Section 504 of the Rehabilitation Act of 1973 or any analogous state or federal laws.

Reservation of Rights

9. Grantor reserves the right to all uses and occupancy of, and ingress and egress to and from, the Subject Property in any manner consistent with the stated purposes, terms, conditions, restrictions, and covenants of this grant. Those uses include the following specific enumerated rights:

(1) The right to remove hazardous substances, rubbish, diseased plants or trees and to correct dangerous conditions on the Subject Property.

(2) The right to remove understory vegetation which, according to the County Fire Marshall, constitutes a fire hazard to the neighboring parcels. Nothing in this subsection of this Conservation Easement shall exempt the Grantor from compliance with regulations and/or permit requirements regarding the removal of trees.

(3) The right to repair underground utility lines.

(4) The right to post signs to deter trespass or to prevent, pursuant to Civil Code Section 1008, the creation of prescriptive easements, which signs shall be of no greater size than the minimum specified by law.

Grantee's Approval

10. Whenever this grant deed requires Grantor to obtain the prior written approval or permission of the Grantee, the Grantor will notify the Grantee not less than fifteen business days in advance of the date that Grantor intends to undertake the activity. The notice must describe the nature, scope, design, location, timetable, and any other material aspect of the proposed activity in sufficient detail to permit Grantee to make an informed judgment as to the consistency of the activity with the purpose of this grant. The Grantee shall grant or deny approval in writing within ten business days of receipt of Grantors notice. Grantee may deny approval only on a reasonable determination that the proposed action would be inconsistent with the purpose of this grant. The provisions of this section 10 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Right to Prevent Prohibited Use

11. Grantor grants to Grantee and Grantee's successors and assigns, for the duration of this grant, the right, but not the obligation, to prevent or prohibit any activity that is inconsistent with the stated purposes, terms, conditions, restrictions, or covenants of this grant and the right to enter the Subject Property for the purpose of removing any building, structure, improvement, or any material whatsoever constructed, placed, stored, deposited, or maintained on the Subject Property contrary to the stated purposes of this grant or to any term, condition, restriction, or covenant of this grant. By this grant, Grantor retains all rights to enforce the easement and any rights as an owner not inconsistent with this grant.

Enforcement

12(a). The purposes, terms, conditions, restrictions, and covenants in this grant may be specifically enforced or enjoined by proceedings in the Superior Court of the State of California, consistent with the terms of Section 51086 of the California Government Code.

12(b). It is understood and agreed that the enforcement proceedings provided in this section are not exclusive and that any action to enforce the terms and provisions of the Grant of Open-Space Easement shall be at the discretion of Grantee and may be brought at law or in equity. Any forbearance on the part of Grantee to exercise its rights hereunder in the event of any breach hereof by Grantor, or by Grantor's heirs, successors, personal representatives or assigns shall not be deemed or construed to be a waiver of Grantee's rights hereunder in the event of any subsequent breach.

12(c). In any action by Grantee to enjoin any violation of this easement, Grantor agrees that Grantee shall have no obligation to prove either actual damages or the inadequacy of otherwise available legal remedies. Grantor agrees that Grantee's remedies at law for any violation of this Easement are inadequate and that Grantee shall be entitled to the injunctive relief described in this section, both prohibitive and mandatory, in addition to such other relief to which Grantee may be entitled, including specific performance of this Conservation Easement, without the necessity of proving either actual damages or the inadequacy of otherwise available legal remedies. Grantee's remedies described in this section shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity. The failure of the Grantee to discover a violation or to take immediate action shall not bar Grantee from taking action at a

later time. The provisions of this section 12(c) shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Acts Beyond Grantor's Control

13. Nothing contained in this instrument may be construed to entitle Grantee to bring any action against Grantor for any injury to or change in the Subject Property resulting from causes that are beyond Grantor's control, including, but not limited to, third party actions, trespass, fire, flood, storm, earth movement, or any prudent or reasonable action undertaken by Grantor in an emergency situations to prevent or mitigate damage or injury to the Subject Property resulting from such causes, provided that the emergency situation does not result from, or is not related to, actions undertaken by the Grantor. Nothing herein shall relieve Grantor of the obligation to apply for and obtain any required permits or approvals for any such actions.

No Authorization for Public Trespass

14(a). The granting of this conservation easement by this instrument and the acceptance of the easement by the Grantee do not, in themselves, authorize, and are not to be construed as authorizing, the public or any member of the public to enter, trespass on, or use all or any portion of the Subject Property, or as granting to the public or any member of the public any tangible rights in or to the Subject Property. It is understood that the purpose of this grant is solely to restrict the use of the Subject Property, so that it may be kept as near as possible in its natural state.

14(b). It is the intention of Grantor and Grantee that should the fee simple interest in the Subject Property be transferred to a public agency or qualified non-profit entity or the County of San Mateo, passive recreational uses that preserve the natural open space character of the land may be allowed, including, but not limited to, nature walks, day hiking, picnicking, bird watching and photography. Any such future use would be subject to the approval of such subsequent owner.

Condemnation

15. As against the County of San Mateo, in its capacity as Grantee, the purposes of this Conservation Easement are presumed to be the highest and most necessary use of the Subject Property as defined at section 1240.680 of the California Code of Civil Procedure notwithstanding sections 1240.690 and 1240.700 of that Code. If an action in eminent domain for condemnation of any interest in the Subject Property is filed, or if the Subject Property is acquired for a public improvement by a public agency or person, these restrictions will be null and void as to the interest in the Subject Property actually condemned or acquired. However, all conditions, restrictions, and covenants of this grant will be in effect during the pendency of such an action; if such an action is abandoned before the recordation of a final order of condemnation, any portion of the Subject Property that is not actually acquired for public use will once again be subject to all of the terms, conditions, restrictions, and covenants of this grant. Grantor will be entitled to the amount of compensation as if the Subject Property had not been burdened by the conservation easement, consistent with Section 51095 of the California Government Code. Nothing in this section shall preclude consideration of zoning as reflected in the approved Final Subdivision Map.

Abandonment

16. The easement granted by this instrument may not be abandoned, in whole or in part, and Sections 51093 and 51094 of the California Government Code shall be inapplicable to this Conservation Easement.

Taxes and Assessments

17. Grantor or Grantor's successor or assigns shall pay or cause to be paid all real property taxes and other assessments (general and special), fees, and charges of whatever description levied or assessed against the Subject Property. Grantee agrees to cooperate with Grantor in documenting the existence and property tax-related effect of the easement for the Assessor of San Mateo County. The provisions of this section 17 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Maintenance

18. The Grantee shall not be obligated to maintain, improve or otherwise expend any funds in connection with the use or enjoyment of Subject Property or any interest created by this Grant of Easement.

Liability and Indemnification

19(a). Grantor retains all responsibility and shall bear all costs and liabilities of any kind related to the ownership, operation, upkeep, and maintenance of the Subject Property. Grantor agrees that the Grantee shall not have any duty or responsibility for the operation, upkeep, or

maintenance of the Subject Property, or the protection of Grantor, the public or any other third parties from risks related to the condition of the Subject Property. Grantor shall remain solely responsible for obtaining any applicable governmental permits and approvals required for any activity or use by Grantor permitted by this Easement, including permits and approvals required from Grantee acting in its regulatory capacity and any activity or use shall be undertaken in accordance with all applicable federal, state, local, and administrative agency laws, statutes, ordinances, rules, regulations, orders, and requirements. Acceptance of this Grant of Open-Space Easement by Grantee is subject to the express condition that the Grantee and its officers, agents, members and employees are to be free from all liability and claim for damage by reason of any injury to any person or persons, including Grantor, or property of any kind whatsoever and to whomsoever belonging, including Grantor, resulting from any pre-existing condition(s) on the Subject Property, and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest related to the Subject Property.

19(b). Grantor, on its behalf and on behalf of its successors in interest, hereby covenants and agrees to indemnify and hold harmless the Grantee, and its directors, officers, employees, agents, contractors, and representatives, and their respective heirs, personal representatives, successors, and assigns (each, an "Indemnified Party") from and against any and all liabilities, penalties, costs, losses, damages, expenses (including, without limitation, reasonable attorneys fees and other litigation expenses), causes of actions, claims, demands, orders, liens, or judgments (each, a "Claim") on account of or arising out of any pre-existing condition(s) on the Subject Property and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest

related to the Subject Property, except that this indemnification obligation shall be inapplicable to any Claim determined to result solely from the negligence of Grantee or any of its agents. If any action or proceeding is brought against any of the Indemnified Parties by reason of any such claim, Grantor and its successors in interest shall, at the election of and upon written notice of any such Indemnified Party, defend such action or proceeding by counsel reasonably acceptable to the Grantee's Indemnified Party or reimburse such Indemnified Party for all charges incurred for services of any government attorney (including, but not limited, for example, to attorneys of the Office of the County Counsel) in defending the action or proceeding. Grantee agrees that, in the defense of any such Claim it will vigorously assert all existing and applicable immunities and defenses.

19(c). The Grantee shall have no right of control over, nor duties and responsibilities with respect to, the Subject Property, which would subject the Grantee to liability occurring on the land, by virtue of the fact that the right of Grantee to enter the land is strictly limited to preventing uses inconsistent with the interests granted, and does not include the right or obligation to enter the land for the purposes of correcting any dangerous condition as defined by California Government Code Section 830.

19(d). Grantor agrees to maintain bodily injury and property damage liability insurance as shall protect it from claims related to conditions on the Subject Property and to name the Indemnified Parties as additional insureds on such policies.

19(e). The provisions of subsections 19(b) and 19(d) of this section 19 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Amendment

20. This conservation easement may not be amended in whole or in part as to any term, condition, restriction, or covenant without the prior written consent of the Grantor and Grantee. During all times that the County of San Mateo remains owner of this easement, any non-clerical amendment to this easement that is proposed shall be presented at a duly-noticed public meeting of the San Mateo County Planning Commission for a recommendation of the Planning Commission before the proposed amendment is presented to the San Mateo County Board of Supervisors for action.

In the event that another public agency besides the County of San Mateo becomes the owner of this easement, that public agency shall convene a public hearing before its governing board to consider any proposed amendments to this easement before the governing board approves any such proposed amendments. Notwithstanding the foregoing, in no event shall any amendment to this conservation easement be permitted which violates the California Open Space Lands Act or which contradicts the perpetual nature of this easement.

Binding on Successors and Assigns

21. This grant, and each and every term, condition, restriction, and covenant of this grant, is intended for the benefit of the public and is enforceable pursuant to the provisions of the Open-

Space Easement Act of 1974. This grant binds Grantor and Grantor's successors and assigns and constitutes a servitude on the Subject Property that runs with the land.

Liberal Construction

22. This easement is to be liberally construed in favor of the grant in order to effectuate the purposes of the easement and the policy and purpose of the Open-Space Act of 1974. If any provision in this grant is found to be ambiguous, an interpretation consistent with the purpose of this easement that would render the provision valid will be adopted over any interpretation that would render it invalid.

Severability

23. If any provision of this grant is found to be invalid, or if the application of this easement to any person or circumstance is disallowed or found to be invalid, the remainder of the provisions of the grant, or the application of the grant to persons or circumstances other than those to which its application was disallowed or found invalid, will not be affected and will remain in full force and effect.

Controlling Law

24. This grant of easement is to be interpreted, enforced, and performed in accordance with the laws of the State of California.

Entire Agreement

25. This grant sets forth the entire agreement of the parties with respect to the conservation

easement and supersedes all previous conversations, negotiations, understandings, settlements, or agreements related to the conservation easement.

Captions

26. The captions in this grant have been inserted solely for the purpose of convenience of reference and are not to be construed as part of this instrument and do not affect the construction or interpretation of the grant.

Enforceable Restriction

27. This easement is intended to constitute an enforceable restriction pursuant to the provisions of California Constitution, Article XIII, Section 8, and Sections 402.1 and 421 through 423.3 of the California Revenue and Taxation Code.

Counterparts

28. The parties may execute this instrument in two or more counterparts, which shall, collectively, be signed by all parties. Each counterpart shall be deemed an original instrument as against any party who has signed it. In the event of any disparity between the counterparts produced, the recorded counterpart controls.

Recording

29. Grantee shall record this Conservation Easement in the Office of the County Recorder of the County of San Mateo and may re-record it at any time that Grantee deems it necessary in order to preserve its rights in this easement.

Merger

30. It is the intent of the Grantor and the Grantee that the doctrine of merger not operate to extinguish this Conservation Easement if the same person or entity comes to own both the easement and the Subject Property. If, despite this stated intention, the doctrine of merger is determined to have extinguished this Conservation Easement, then a replacement conservation easement or restrictive covenant containing the same material protections embodied in this Conservation Easement shall be prepared and recorded against the Subject Property.

IN WITNESS WHEREOF, Grantor has executed this Conservation Easement Deed the day and year first written above.

Dated: 2-10-17


GRANTOR
TICONDEROGA PARTNERS LLC
By: Jack Chamberlain

ACCEPTANCE OF CONSERVATION EASEMENT

Pursuant to the provisions of the Open-Space Easement Act of 1974, appearing at Chapter 6.6 of Part 1, Division 1, Title 5 of the California Government Code (commencing with Section 51070), the County of San Mateo accepts this grant of a conservation easement.

Dated: _____

COUNTY OF SAN MATEO

By: _____

MPM:sl

Pete Bentley - Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition

From: Mark Chow
To: Diana Shu
Date: 2/19/2013 8:58 AM
Subject: Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition
CC: America Sanchez; Ann Stillman; JTUTTLEC@aol.com; Julie Young; Pete B...

Diana,

The sanitary sewer main rehabilitation work on Ticonderoga Drive has been completed by the contractor hired by the Ticonderoga Partners. The Crystal Springs County Sanitation District has reviewed the CCTV and manhole inspection records submitted by BKF Engineers and concur with their findings that the work was done in accordance with the approved plans. I understand your inspectors have already accepted the work for the road. You may sign-off on the Encroachment Permit.

Please let me know if you have any questions. Thanks.

Mark



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>>> On 11/15/2012 at 9:08 AM, Diana Shu wrote:

Thanks. Just let us know when you have approved the plans: date and revision, so that we can release the encroachment permit.

Diana

Diana Shu
dshu@smcgov.org
650-599-1414



Save Paper. Think Before You Print.

>>> Mark Chow 11/14/2012 8:26 PM >>>
See attached.

Mark



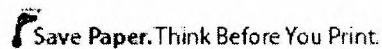
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>>> On 11/14/2012 at 6:11 PM, Diana Shu wrote:

| FYI...Chamberlain wants to move forward with installation as he cannot get a bond to cover

the work.
Let us know when you have approved the sewer plans.
Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414



>>> Richard Lee 11/13/2012 12:10 PM >>>
Hi Noel,

I was told by Pete B. that you are looking to obtain an encroachment permit ASAP so that your subdivision could be recorded after sewer main work is completed. I believe County Sewer Section has not signed off the plans.

Attached are the permit application and fee ordinance.

Please forward an application, the complete set of latest plans (pdf OK), and traffic control plans.

I would forward the plans to my road inspector for his approval.

This application is considered a major encroachment permit application. I would need a \$3,000 check to cover for a major encroachment fee of \$1,639 and deposit of \$1,361, payable to County of San Mateo. For a major encroachment permit, County would initially charge against the fee. When the charge is over the fee amount, additional charges would be applied against the deposit. Any remaining deposit would be returned to the applicant. Likewise, County would ask for additional fund, if needed. You may mail the check to my attention or drop it off at the mailing address listed on the application. I work next to Pete B.

Any question, please contact me.

Thanks.

Richard Lee
Dept. of Public Works
San Mateo County
(650) 363-1852
Email: rlee@smcgov.org

Pete Bentley - Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition

From: Pete Bentley
To: Christopher Vandrey
Subject: Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition

Chris:

According to my notes and P*P, the map will expire on April 27, 2013.

Pete

>>> Christopher Vandrey 2/20/2013 11:09 AM >>>

Good Morning Everyone,

I don't know the expiration date of the tentative map but thought I would bring it up just in case we're close. Thanks for keeping me in the loop on your progress. Have a great day!

-Chris



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>>> Diana Shu 2/20/2013 10:55 AM >>>

Thanks Pete...I'll wait for the copy of the signed agreement for my files.

Diana Shu

dshu@smcgov.org

650-599-1414

Please fill out a customer satisfaction survey:

<http://www.surveymonkey.com/s/QX7ZKHQ>



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>>> Pete Bentley<pbentley@smcgov.org> (Pete Bentley) 2/20/2013 7:39 AM >>>

Diana:

John Nibbelin is handling the conservation easement and will let me know when I can have Jim E. sign the document (Jack already has). Once signed I will forward it to Chris to record with the Parcel Map. Chris and I have already discussed the process and all is squared away.

However, the above status has nothing to do with DPW "conditions of approval" for the recordation of the Parcel Map. I believe all the DPW issues have been addressed and therefore, you can now provide Liliya with the sign-off of the condition check.

Pete

Pete Bentley - Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition


From: Pete Bentley
To: Diana Shu
Subject: Re: Sewer Main Work on Ticonderoga Dr. for Subdivision Condition

Wait for "what"??

I will certainly provide DPW with a copy of the recorded easement once it's recorded. But as you know it must be recorded with the Parcel Map. Your email does "not" confirm that you forwarded your sign-off to Liliya for Parcel Map recordation.

>>> Diana Shu 2/20/2013 10:55 AM >>>
Thanks Pete...I'll wait for the copy of the signed agreement for my files.

Diana Shu
dshu@smcgov.org
650-599-1414
Please fill out a customer satisfaction survey:
<http://www.surveymonkey.com/s/QX7ZKHQ>


 Save Paper. Think Before You Print.

>>> Pete Bentley<pbentley@smcgov.org> (Pete Bentley) 2/20/2013 7:39 AM >>>
Diana:

John Nibbelin is handling the conservation easement and will let me know when I can have Jim E. sign the document (Jack already has). Once signed I will forward it to Chris to record with the Parcel Map. Chris and I have already discussed the process and all is squared away.

However, the above status has nothing to do with DPW "conditions of approval" for the recordation of the Parcel Map. I believe all the DPW issues have been addressed and therefore, you can now provide Liliya with the sign-off of the condition check.

Pete

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>>> Diana Shu 2/19/2013 12:14 PM >>>
Thanks Mark. The EP was signed off.
Pete any luck with the open space agreement?

Diana


Diana Shu

dshu@smcgov.org

650-599-1414

Please fill out a customer satisfaction survey:

<http://www.surveymonkey.com/s/QX7ZKHQ>

 Save Paper. Think Before You Print.


>>> Mark Chow 2/19/2013 8:58 AM >>>

Diana,

The sanitary sewer main rehabilitation work on Ticonderoga Drive has been completed by the contractor hired by the Ticonderoga Partners. The Crystal Springs County Sanitation District has reviewed the CCTV and manhole inspection records submitted by BKF Engineers and concur with their findings that the work was done in accordance with the approved plans. I understand your inspectors have already accepted the work for the road. You may sign-off on the Encroachment Permit.

Please let me know if you have any questions. Thanks.

Mark


 Save Paper. Think Before You Print.

>>> On 11/15/2012 at 9:08 AM, Diana Shu wrote:

Thanks. Just let us know when you have approved the plans: date and revision, so that we can release the encroachment permit.

Diana


Diana Shu
dshu@smcgov.org
650-599-1414

 Save Paper. Think Before You Print.

>>> Mark Chow 11/14/2012 8:26 PM >>>

See attached.

Mark


 Save Paper. Think Before You Print.

>>> On 11/14/2012 at 6:11 PM, Diana Shu wrote:

FYI...Chamberlain wants to move forward with installation as he cannot get a bond to cover the work. Let us know when you have approved the sewer plans.

Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414

 **Save Paper.** Think Before You Print.

>>> Richard Lee 11/13/2012 12:10 PM >>>
Hi Noel,

I was told by Pete B. that you are looking to obtain an encroachment permit ASAP so that your subdivision could be recorded after sewer main work is completed. I believe County Sewer Section has not signed off the plans.

Attached are the permit application and fee ordinance.

Please forward an application, the complete set of latest plans (pdf OK), and traffic control plans.


I would forward the plans to my road inspector for his approval.

This application is considered a major encroachment permit application. I would need a \$3,000 check to cover for a major encroachment fee of \$1,639 and deposit of \$1,361, payable to County of San Mateo. For a major encroachment permit, County would initially charge against the fee. When the charge is over the fee amount, additional charges would be applied against the deposit. Any remaining deposit would be returned to the applicant. Likewise, County would ask for additional fund, if needed. You may mail the check to my attention or drop it off at the mailing address listed on the application. I work next to Pete B.

Any question, please contact me.

Thanks.

Richard Lee
Dept. of Public Works
San Mateo County
(650) 363-1852
Email: rlee@smcgov.org

 **Save Paper.** Think Before You Print.

Pete Bentley - Re: Highlands Conservation Easement and Parcel Map

From: Pete Bentley
To: Alycia Moulton; John Nibbelin
Subject: Re: Highlands Conservation Easement and Parcel Map
CC: Christopher Vandrey

Chris:

Can you contact Alycia to confirm what "message to title" references and to co-ordinate necessary Clerk of the Board signatures on the Parcel Map and then the 2 of you recording your documents.

Please let John and I know when the documents have been recorded.

Thanks,

Pete

>>> John Nibbelin 3/6/2013 12:37 PM >>>
Thx.

Save Paper.
Think before you print.

>>> Alycia Moulton 3/6/2013 12:15 PM >>>
Hi John:

Yes. We need to record the parcel map and then the conservation easement, in that order, correct? I have transmitted several messages to title requesting a recording date of tomorrow. I've not heard a word yet, so that may not be possible. I'll keep you posted.

>>> John Nibbelin 03/06/13 11:53 AM >>>
Alycia,

Pete Bentley over in Planning was reminding me that, in addition to getting the conservation easement filed, you were going to coordinate with Chris Vandry (sp?) over at Public Works to get the parcel map, which will be filed at the same time. Pete, anything to add to this? Thanks.

John

Save Paper.
Think before you print.

Pete Bentley - Parcel Map P1094 - Bunker Hill - Ticonderoga Partners


From: Christopher Vandrey
To: Diana Shu; Pete Bentley; jtuttle@aol.com
Date: 3/15/2013 2:45 PM
Subject: Parcel Map P1094 - Bunker Hill - Ticonderoga Partners
CC: liliya Latman

Good afternoon,

The map recorded today in book 80 of parcel maps at pages 69-70. The conforming copy will be available after we add the recorders information on Monday or Tuesday. Thank you.

Christopher G Vandrey, PLS
Public Works Department
cvandrey@smcgov.org
(650) 599-1410

Looking for San Mateo County Maps and Survey Records On-line? [Click here!](#)

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From: <JTUTTLEC@aol.com>
To: <pbentley@smcgov.org>
Date: 3/18/2013 9:37 AM
Subject: Fwd: Conservation Easement
Attachments: IMAGE.gif

595 - 5582
Ext. 201

From: DByers@landuselaw.net
To: jtuttlec@aol.com
Sent: 3/15/2013 5:58:16 P.M. Pacific Daylight Time
Subj: Fwd: Conservation Easement

Sent from my iPad

Begin forwarded message:

From: Alycia Moulton <_AMoulton@smcgov.org_ (mailto:AMoulton@smcgov.org) >
Date: March 15, 2013 2:52:13 PM PDT
To: "Eggemeyer, Jim" <_JEggemeyer@smcgov.org_ (mailto:JEggemeyer@smcgov.org) >, "Nibbelin, John" <_JNibbelin@smcgov.org_ (mailto:JNibbelin@smcgov.org) >, <_dbyers@landuselaw.net_ (mailto:dbyers@landuselaw.net) >
Subject: Re: Conservation Easement

Parcel map and conservation easement on record at 2 pm today.

>>> John Nibbelin 3/5/2013 1:54 PM >>>
All,

Attached for your files is a scanned copy of the conservation easement.
Thanks.

John

John D. Nibbelin
Chief Deputy County Counsel
Telephone: 650-363-4757
jnibbelin@co.sanmateo.ca.us (mailto:jnibbelin@co.sanmateo.ca.us)

Pete Bentley - Fwd: Re: Chamberlain SM Highlands Project - Bunker Hill - PLN2006-00357

From: Pete Bentley
To: Jim Eggemeyer; Lisa Aozasa
Subject: Fwd: Re: Chamberlain SM Highlands Project - Bunker Hill - PLN2006-00357

Jim and Lisa:

Please read the attached regarding the possible need for an RFP for the Chamberlain Project in the Highlands. If we don't need to do a RFP that would be great. As Ralph Osterling handled the referenced 2 Edgewood Road subdivisions (I don't recall going through an RFP in either case), maybe we could just hire him directly.

Let me know your thoughts and/or if Camille will do the RFP.

Thanks,

Pete

Pete Bentley - Chamberlain SM Highlands Project - Bunker Hill - PLN2006-00357

From: Pete Bentley
To: Dave Holbrook
Subject: Chamberlain SM Highlands Project - Bunker Hill - PLN2006-00357

Dave:

A short note to remind you that, when Camille put this project together over the years, environmental issues were involved much like Angela's Edgewood Canyon Project.

The Parcel Map for the 4 lots on Bunker Hill plus the "conservation easement" were both recorded on March 15, 2013. This will now allow for the issuance of the "grading permit" and four building permits. Prior to this issuance, an RFP needs to be prepared and a consultant chosen to oversee the various environmental issues.

I don't know whether Camille will do this or whether she has asked you to prepare it.

I talked with Jack Chamberlain this AM and he believes he will be submitting grading plans and building plans by the middle of April. I don't know how long the RFP process takes to bring someone on board, but it seems the process could start now. I would also suggest that Ralph Osterling be on the request list. Ralph handled the 2 subdivisions (Max Keech and Pat Fellows) on Edgewood Road and the coordination worked well.

Any questions, let me know.

Pete

NEXGEN

BUILDERS, INC.

LETTER OF TRANSMITTAL

DATE: May 22, 2013

**TO: County of San Mateo
Department of Public Works
455 County Center, 2nd Floor
Redwood City, CA 94063**

Attn: Pete Bentely

Regarding: ~~Edgewood Canyon~~ HIGHLAND ESTATES

WE ARE SENDING YOU ENCLOSED:

1 ea. 3 sets ea. Lots 1-4

MESSAGE

Dear Pete,

Please find attached grading plans for Lots 1-4 for Highland Estates.

Please do not hesitate to contact me with any questions or comments that you may have.

Noel Chamberlain

CC:

Rolando Haca - 

THUR 2-1 REVERSE FIRST
LOT 4 SHOWS 2 TO BE REMOVED = 9 TOTAL
1-4
APPROVAL SAY 7 TO BE REMOVED

	conflicting vegetation in the side and rear yard areas adjoining 2285 Bunker Hill Drive until the foundation is installed. The <u>construction drawings associated with the subdivision improvement plans and the individual site development plans for Lots 1 through 11 shall include a Clearing, Construction and Grading Limits Plan (Limits Plan).</u> The Limits Plan and all associated documents must utilize current topographic data (2009) for all parcels, as mapped by Chris Hundemer at Treadwell and Rollo. The Limits Plan shall depict the fencing and protection of the adjacent open space parcel in conformance with the approved Vesting Tentative Map. This plan shall be subject to review and approval of the County Planning and Building Department and the Department of Public Works. The applicant shall install orange fencing, staked securely at intervals, along all staging limits prior to the issuance of any Grading Permit "hard card."	BKF - CIVIL		OG SEE SHEETS C1.30, C2.30, C3.30 AND C4.30 OF THE LOT IMPROVEMENT PLANS FOR LOTS 1-4 CLEARING, CONSTRUCTION AND GRADING LIMITS PLANS. Applicable T. Ross Approved Plan
8	Development Restriction Over Lot 8: Only a portion of Lot 8 is developable. The rest of the parcel (shown as hatched on Attachment L) is in a "No-Build Zone." The "No-Build Zone" shall be shown on the Final Map for the subdivision. All setbacks shall be measured from the limits of the buildable portion of the parcel (i.e., excluding any "No-Build" areas on the Final Map). For the purpose of calculating the Maximum Building Site Coverage Ratio of 40%, the Building Site Area shall exclude any "No-Build" areas as shown on the Final Map for the subject property.	BKF - CIVIL BKF - SURVEY		N/A LOT 8 HAS NOT RECEIVED AUTHORIZATION TO PROCEED
9	Development Restriction Over Lot 11: All areas of Lot 11 are developable as allowed by the County Zoning Regulations, with the exception of a "No-Build Zone" on the right side of the parcel, as illustrated in the approved Clearing, Construction, and Grading Limits Plan. The "No-Build Zone" shall be shown on the Final Map for the subdivision. All setbacks shall be measured from the limits of the buildable portion of the parcel (i.e., excluding any "No-Build" areas on the Final Map). For the purpose of calculating the Maximum Building Site Coverage Ratio of 40%, the Building Site Area shall exclude any "No-Build" areas as shown on the Final Map for the subject property.	BKF - CIVIL BKF - SURVEY		N/A LOT 11 HAS NOT RECEIVED AUTHORIZATION TO PROCEED
10	Storm Drainage Plan: Project implementation shall comply with the approved Storm Drainage Plan.	BKF - CIVIL		Approved SEE STORM DRAINAGE REPORT.
11	Conservation Easement: Lot 12, the open-space parcel, will be subject to a conservation easement in perpetuity, and to a deed restriction, each in forms to be approved by County Counsel and the County Board of Supervisors. The easement will be noted on the Vesting Tentative Map and on the Final Map. Recordation of the Final Map and conservation easement shall be handled by the Department of Public Works (DPW) working cooperatively with Planning staff to ensure the proper order and timing of the recordation of both documents. DPW and Planning staff shall ensure that the Final Map is recorded and ensure recordation of the approved conservation easement immediately following (allowing no other document to be recorded on the project parcels between the recordings of the Final Map and the conservation easement).	COUNTY DEVELOPER		N/A LOT 12 HAS NOT RECEIVED AUTHORIZATION TO PROCEED Pursuant to rules of the Planning Dept



County of San Mateo

Planning & Building Department

Geotechnical Review Sheet

DEVELOPER/OWNER San Mateo Highlands: lots 1-4
SITE LOCATION Bunker Hill Drive
APN NO. 041072030, 041101280, 041101290
GEOLOGIST
SOILS ENGINEER `Cornerstone Earth Group

FILE NO. 9E-199
SHEET 1 OF 2

REVIEW OF:

- | | | | |
|-------------------------------------|---|-------------------------------------|------------------|
| <input type="checkbox"/> | PLANNING NO. PLN2006-00357 (grading lots 1-4) | <input checked="" type="checkbox"/> | PLANS |
| <input type="checkbox"/> | GEOLOGIC REPORT DATED | <input checked="" type="checkbox"/> | DEVELOPER/OWNER |
| <input checked="" type="checkbox"/> | SOILS REPORT DATED 7/22/2011, #230-1-2 | <input checked="" type="checkbox"/> | GEOLOGIST |
| <input type="checkbox"/> | OTHER | <input checked="" type="checkbox"/> | SOILS ENGINEER |
| | | <input checked="" type="checkbox"/> | BUILDING PERMITS |
| | | <input checked="" type="checkbox"/> | DPW |

ACTION:

- REPORTS APPROVED SUBJECT TO CONDITIONS BELOW:
 BEFORE APPROVAL THE FOLLOWING INFORMATION IS REQUIRED:
 PLANS AND REPORTS NOT APPROVED FOR REASONS BELOW:

REVIEW:

1. As requested by the Environmental Health Department, please submit a copy of the Geotechnical drilling permit or the annual Geotechnical notification form for this site.
2. Please provide a map showing the distribution of serpentinite, greywacke, and any other rock types present on or near this site. This refers to bedrock, not surficial materials. Any outcrops should also be marked.
3. The revised FINDINGS FOR COUNTY-PROPOSED RESOURCE MANAGEMENT ZONING DISTRICT TEXT AMENDMENT was sent out on March 9, 2011. Please respond in writing to those of the Geotechnical Conditions of Approval that are contained in the attached sections of that document that pertain to grading on Lots 1-4 or to all lots. These include GEO-1 (page 13), GEO-2a,b (page 14), GEO-3 (page 15), GEO-4, updated to include the 2010 UBC (page 15), and GEO-5 (page 16).

Based on the approval of responses to the above, the following will apply:

a.) Approval of the development plans and applicable structural design criteria must be obtained from the geotechnical consultant of record prior to issuance of the building permit as required by Section I of the enclosed "Geotechnical Consultant Approval" form.

b.) Section II must be observed and completed by the Geotechnical Consultant of record prior to acceptance of the completed work by the Geotechnical Section of the Planning and Building Department.

Note: Please include the Geotechnical File Number, 9E-199, in all correspondence with the Geotechnical Section of the Planning and Building Department.

PREPARED BY JLM/JFD
FMTGEO.REC (2/08)

DATE June 3, 2013

TRANSMITTAL SHEET

COUNTY OF SAN MATEO

PLANNING AND BUILDING DEPARTMENT
COUNTY GOVERNMENT CENTER
REDWOOD CITY, CALIFORNIA 94063

TO: Chamberlain Group
655 Sky Way, Suite 230
San Carlos, CA 94070

DATE: June 6, 2013

We are forwarding to you via:

ENCLOSURE: X
SEPARATE COVER:
MESSENGER:
DRAWING NUMBER:

RE: Highlands Development, Lots 1 - 4
Bunker Hill Road
Grading permit

THE FOLLOWING:

Copy of Geotechnical Review Sheet No. 9E-199 for the report for above prepared by
Cornerstone Earth Group, job 230-1-2, dated July 22, 2011.

cc: Cornerstone Earth Group
1259 Oakmead Parkway
Sunnyvale, CA 94085

AS REQUESTED BY YOU

FOR YOUR APPROVAL

FOR YOUR INFORMATION X

Very truly yours,

J. L. Mazzetta
J. F. DeMouthe

Geotechnical Section

Geotechnical Consultant Approval

County Government Center • 455 County Center, 2nd Floor
Redwood City • CA • 94063 • Mail Drop PLN 122
Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

Applicant (Owner): Chamberlain Group
Site Address: Lots 1 - 4, Highlands
Permit Type: PLN2006-00357 (grading)

Geo. File No. 9E-199
APN: 041072030, 041101280, 041101290
Required by: JLM/JFD Date: 6-3-2013

NOTICE TO APPLICANT:

SECTION I of this form must be completed and a copy returned to Geotechnical Section prior to approval of application by the Planning and Building Department.

SECTION II must be completed and a copy returned to Geotechnical Section prior to final approval of the completed construction by the Planning and Building Department.

IMPORTANT: It is the responsibility of the applicant to ensure that **ALL** geotechnical factors as noted in SECTION I have been observed and approved in SECTION II by the applicants' consultant.

FAILURE TO DO SO WILL RESULT IN UNNECESSARY DELAYS PENDING SUCH APPROVAL.

SECTION I Cornerstone Earth Group has reviewed the development
(Name of legally qualified geotechnical consultant)

Plans prepared for Chamberlain Group by: BKF Engineers

Plan No. 950168-14

Dated: 9/1/2011 Revision: _____

and find that such plans are in accordance with the recommendations provided by us or presented in our report(s) No. 230-1-2, dated 7/22/2011 with respect to geotechnical factors affecting or affected by the proposed site development. These include include but are not limited to: grading (cuts / fills), surface and subsurface water control measures, foundation design criteria, seismic hazard consideration, slope stability, "restricted from building" areas, and _____

(Geotechnical Consultant)

(Date)

COUNTY APPROVAL	
Co. Geol. _____	Date: _____
CC: _____	

SECTION II Buckley Engineering Associates has observed and approved as
(Name of legally qualified geotechnical consultant)

having been done in accordance with their recommendations all applicable work as noted in SECTION I.

NOTE:
Grading Report Required: Yes
 No

(Geotechnical Consultant)

(Date)

COUNTY APPROVAL	
Co. Geol. _____	Date: _____
CC: _____	



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@co.sanmateo.ca.us
www.co.sanmateo.ca.us/planning

PLANNING PERMIT APPLICATION REFFERAL

Page: 1

Date: 5/30/2013

TO:

- SMCo Public Works
SMCo Geotechnical
SMCo Environmental Health
SMCo Building Inspection
SMCo Parks & Recreation
Fire Marshal/Fire District
CA Coastal Commission
Water & Sanitary District
Sonoma State University
SMCo County Housing
Plng. Dir., City of
MidCoast Community Council
Pescadero Municipal Advisory Commit
North Fair Oaks Community Council
Homeowners Association
Regional Water Quality Control Board
MidPeninsula Regional Open Space Distr
California Department of Fish and Game
San Francisquito Creek JPA
Other:

FROM: C. LEUNG, Project Planner

INSTRUCTIONS:

Please review this form and the attached planning permit application materials with regard to your area of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by to avoid delay in permit processing. Thank you for your cooperation.

APPLICATION INFORMATION:

Planning Case Number: PLN2006-00357
Property Owner: TICONDEROGA PARTNERS, 655 SKYWAY, SUITE 230, SAN CARLOS, CA 94070
Project Applicant: CHAMBERLAIN GROUP, 655 SKY WAY, SUITE 230, SAN CARLOS, CA 94070
Assessor's Parcel Number(s): 041072030 9E-129, 041101280, 041101290

PROJECT LOCATION: SAN MATEO HIGHLANDS

PROJECT DESCRIPTION:



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@co.sanmateo.ca.us
www.co.sanmateo.ca.us/planning

PLANNING PERMIT APPLICATION REFFERAL

Page: 2

Date: 5/30/2013

Revised 11/3/09: 1) Rezoning of an approximately 27,000 sq/ft portion of APN 041-101-290 from RM to a R-1/S-81 zoning designation; 2) a Lot Line Adjustment between the 2 subject parcels to retain the number of existing legal parcels but to result in a new parcel configuration (Lot 10) at the base of Cobblehill Place; 3) a Zoning Text Amendment to modify the County's non-coastal RM regulations in order to allow for reduced setbacks for residential projects in urban areas that preserve open space; 4) Rezoning of a 2,178 sq/ft area (formerly APN 041-072-030) from R-1/S-8 to RM; 5) Major Subdivision of APN 041-101-290 to create 10 new residential parcels (Lots 1 through 9 & 11), with appropriate development restrictions on the remainder as per Section 6318 of the Zoning Regulations; 6) a RMD Permit to subdivide & develop nine lots to be located in the RM-zoned portion of the property (Lots 1 through 8 & 11), including granting 2 bonus density credits & an approval of a reduction in the minimum front & side yard setback requirements as per the proposed Zoning Text Amendment; & 7) a Grading Permit to perform approx. 3,700 cu/yds of cut & 5,900 cu/yds of fill for the development of 11 residential lots.

Revised 5/7/8: Major Subdivision, Rezoning, Lot Line Adjustment, Grading Permit, RM permit, & EIR to create 11 lots for homesites & 92.45 acre remainder parcel, approx. 99 acres in total. Lots 1 thru 4 will be located on Bunker Hill, 5-8 on Ticonderoga, 9 & 10 on Cobble Hill, & 11 on Cowpens. Rezoning of portion of APN 041-101-290 (portions of lots 9 & 10) from R-1/S-81 & RM to PUD, & rezoning of 041-072-030 from R-1/S-8 to PUD. Lot Line Adjustment between 041-072-030 & 041-101-290 to create Lot 11. Grading Permit for 4.55 acres of clearing, 3,700 cu/yds of excavation & 5,700 cu/yds of fill (2,000 imported) for associated driveway access & lot preparation. RMD Permit includes the use of 8 density credits & the removal of 30 trees.

Original proposal 8/22/6: Major Subdivision to create 9 new lots & a remainder parcel, involving approximately 99 acres, of which 87.22 acres is zoned RM & 11.78 acres is zoned R-E/SS-107. Lots 1 thru 8 will be clustered within & Lot 9 (83.95 acres) will remain in the RM district; the designated remainder parcel will remain unchanged as R-E/SS-107. The project also includes a Grading Permit to allow approximately 1 acre of clearing & 1,600 cu/yds of excavation for associated driveway access & lot preparation.



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
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www.co.sanmateo.ca.us/planning

PLANNING PERMIT APPLICATION REFFERAL

Page: 3

Date: 5/30/2013

DECISION MAKER:

Staff Zoning Hearing Officer Planning Commission
 Board of Supervisors Design Review Committee/Officer

COMMENTS ON PROPOSAL

State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary.

No Comments Refer to Permit*Plan for Comments
 Other Comments: _____

RECOMMENDED CONDITIONS OF APPROVAL (AGENCIES ONLY):

List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

No Recommended Conditions Refer to Permit*Plan for Conditions
 Refer to Attached Material for Conditions
 Other Conditions: _____

Name of Person Completing this Form (Print): _____ Date: _____

Phone: _____ Email: _____

RETURN THIS FORM TO: C. LEUNG
Planning and Building Department
455 County Center, 2nd Floor
Mail Drop PLN122
Redwood City, CA 94063

ND

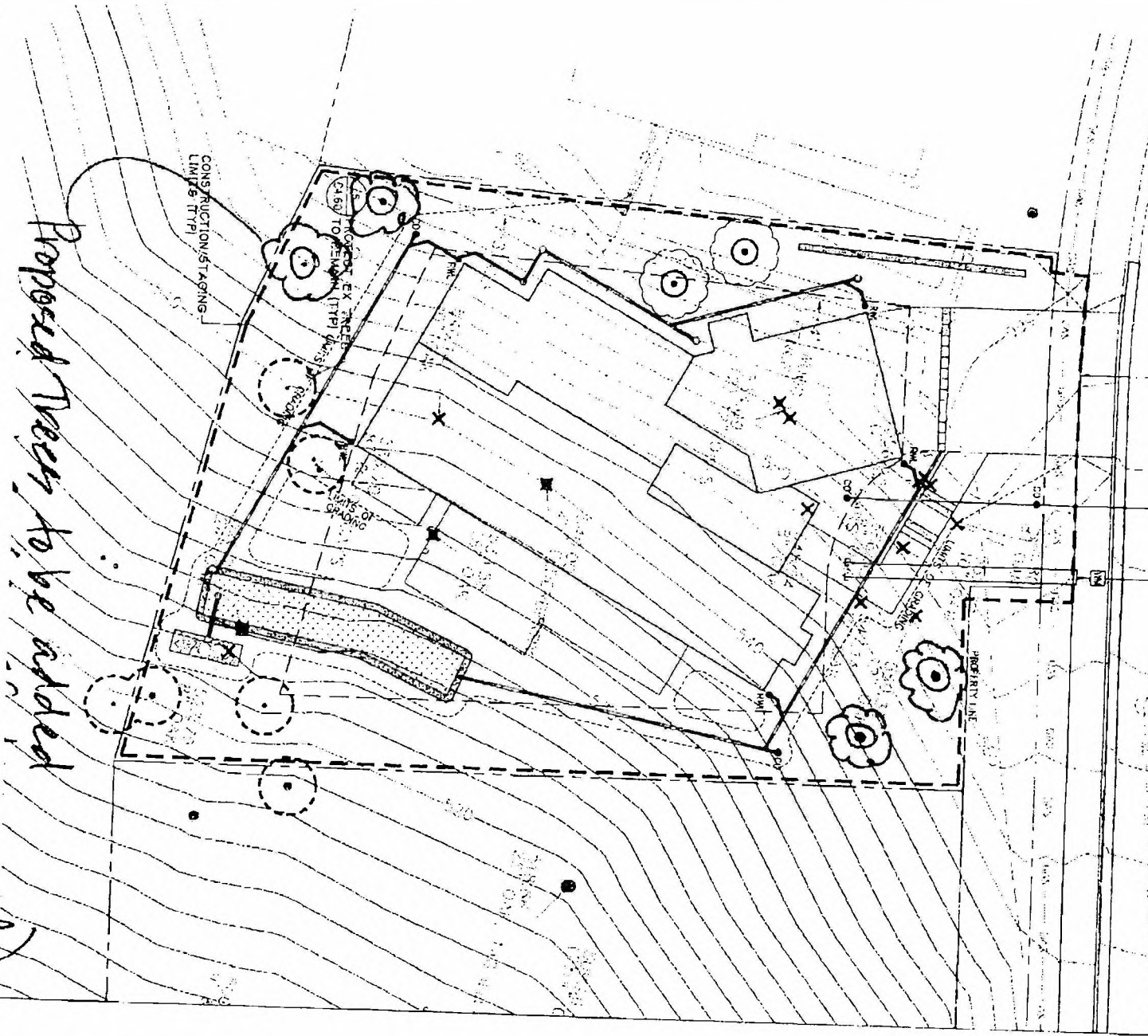
DATE TO BE REMOVED

REPLACED TREE LOCATION PER RESOURCE MANAGEMENT DISTRICT PERMIT PLAN# 201-10-290

PROPERTY LINE

BUNKER HILL DRIVE

CONSTRUCTION/STAGING LIMITS (TYP)



09/CI/11	No.	Revisions
AS S-10MM		
" JT		
" AD		
vised BH		
NO 95013-14		

**HIGHLAND ESTATES
LOT 4 IMPROVEMENT PLANS
SITE & CLEARING, CONSTRUCTION AND GRADING LIMITS PLANS**
CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA



BKF
ENGINEERS / SURVEYORS / PLANNERS

255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
PHONE: (650) 482-6300
FAX: (650) 482-6398

© BKF ENGINEERS

The Chamberlain Group
655 Skyway #230
San Carlos, CA. 94070
650 595-5582 fax 650 595-5066

facsimile transmittal

To: Pete Bently Fax: 363-4849
 From: Sylvia Nelson Date: 6-17-13
 Re: San Mateo Highlands Pages: 5
 CC:

- Urgent For Review Please Comment Please Reply Please Recycle

.....

Note: Acceptance of this application by Planning Staff...

- **Does not guarantee the approval of the proposed tree removal(s).**
 Planning staff will grant a tree removal permit only if staff is able to make one or more of the findings listed in Section 12,023 of the "Regulation of Removal of Significant Trees". A copy of this ordinance can be obtained at the Planning counter. The decision to make these findings takes into consideration public comment, recommendation(s) of reviewing agencies, the reason for removal and documentation of the tree's health or hazard as indicated by an arborist (if required, see below).
- **Does not imply that the application is "complete".** Other items, such as a report from a certified arborist, may be requested in order to complete your application (Section 12,021) For example, an arborist report may be required in order to confirm or refute a property owner's claim that a tree is diseased or a hazard to safety or property.

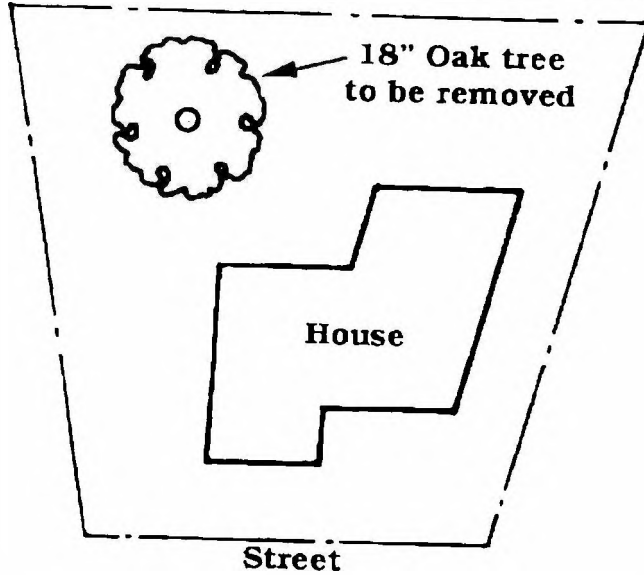
Applicant to sign below, in acknowledgment of the above information.

Sylvia Nelson, Tucumanero Partners
Applicant

REMOVAL PLAN:

Sketch site plan (aerial view) of location of tree(s) and their drip-line(s) showing approximate property lines, nearby building locations, roads, other trees, and any proposed improvements or additions which necessitate tree removal/trimming. Please CIRCLE or LABEL tree(s) to be removed. (Attach extra Site Plan if necessary).

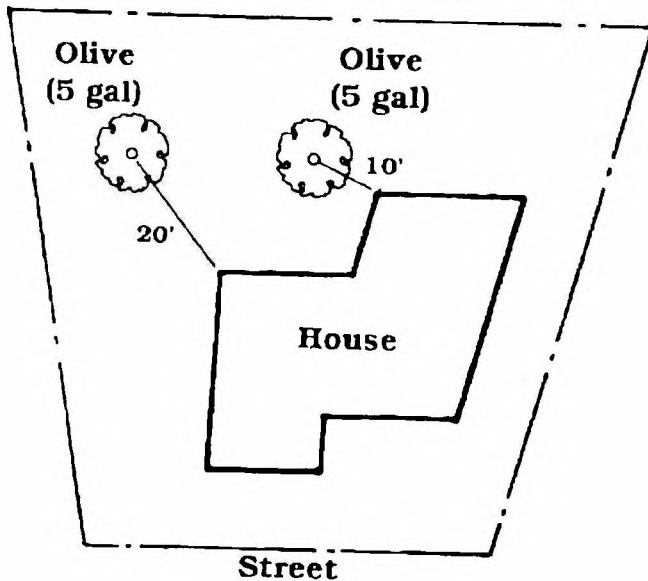
EXAMPLE:



REPLANTING PLAN:

The replanting plan shall show the location (including approximate distance to house), type, size (i.e. 5 gal., 10 gal., etc.) of proposed trees. In Bayside Design Review (DR) Zoning Districts, a 3:1 replacement ratio is required. All other residential districts require 1:1 replacement. Please sketch the site plan indicating location, size and species of new tree(s) to replace tree(s) removed. Tree replacement must be completed within one (1) year of the permit's final approval.

EXAMPLE:



RECOMMENDED SPECIES OF REPLACEMENT TREES:

1. Bayside Design Review Districts

5 gallon size trees (minimum); 3:1 replacement required

Bishop pine	Nagi pine	Cork oak	California buckeye	Bronze loquat	Chinese flame tree	Canary Island pine
Austrian black pine	Flowering cherries, plums, apricots, etc.	Southern live oak	Silk tree	White ironbark	Goldenrain tree	Coulter pine
Jelescote pine	Pears	African sumac	Bottle tree	Spotted ghost gum	Crape myrtle	Japanese red pine
Italian stone pine	Sawtooth oak	Chinese tallow tree	Incense cedar	Honey-scented eucalyptus	Greek laurel	Eldarian or Afghan pine
Indian longleaf pine	Coast live oak	California pepper tree	River she-oak	Willow-leaved peppermint gum	Saratoga laurel	Aleppo pine
Scotch pine	Arizona blue oak	Brazilian pepper tree	Coast beefwood	Small-leaved gum	Catalina ironwood	Montezuma pine
Japanese black pine	Chesnut-leaved oak	Western red cedar	Atlas cedar	Silver-dollar gum	Apples, flowering crabs, etc.	Mugho pine
Chinese pistache	Blue oak	Linden	Deodar cedar	Silver mountain gum	Chilean mayten	
Pittosporum	Holly oak	Brisbane box	Eastern redbud (false cypress)	Maidenhair tree	Flaxleaf paperback	
London plane tree	Israeli oak	Tristania	Hawthorne	Guijera	Cajeput tree	
Fern pine	Valley oak	California bay	Carrot wood		Olive (fruitless form)	
	Phillyry oak		Hopbush tree			

2. Bayside Non-Design Review Districts

5 gallon size tree minimum; 1:1 replacement required

Refer to Bayside Design Review District Selection.

3. Skyline, La Honda

15 gallon size; 1:1 replacement required

Redwood	Coast live oak
Big leaf maple	Black oak
California bay laurel	Valley oak
Islay or wild cherry	Madrone

4. Coastside

15 gallon size; 1:1 replacement required.

Peppermint willow	Monterey cypress	Shore pine	Dracaena palm
Blackwood acacia	Bushy youte	Bishop pine	California Buckeye
Norfolk Island pine	Cajeput tree	Monterey pine	Catalina ironwood
	New Zealand Christmas Tree	Canary Island date palm	

Simultaneous Development Application (if any): _____ PLN# _____

San Mateo County Planning & Building Department • 455 County Center, 2nd Floor Redwood City • CA • 94063
Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

Application for Permit to Trim or Remove

Sections 11,000 et seq and 12,000 et seq of the San Mateo County Ordinance Code.

HERITAGE TREE(S) SIGNIFICANT TREE(S)

Property Owner: Ticonderoga Partners

Address: 6955 Skyway #30

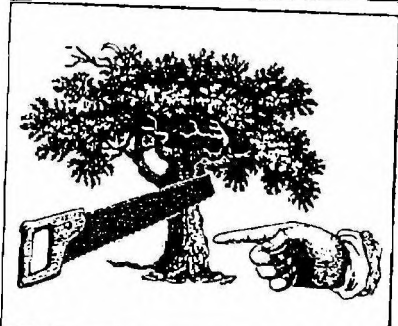
San Carlos, CA 94070 Telephone: 650-595-5582

Applicant (if different): _____

Address: _____

Telephone: _____

Address and parcel number where tree(s) located: 041-101-290 Lot 4
on Bunkerhill Drive



Date of Application: _____

10 Day Period of Posted Notice

From: _____

To: _____

Tree(s) Diameter or Circumference (at 4 1/4 ft. height)	Kind of tree(s)	Health of tree(s)	Reason for Removal/Trimming
18" dia.	Coast live oak	Satisfactory	located in house yard
20" dia	Elderberry	"	" "

REMOVAL PLAN:

1. Method of removal: By Owner

RM Yes - No

By Tree Removal Service.

Name: _____

Phone: _____

2. Disposal of tree debris: All debris to be removed from site by Tree Removal Service

All/some debris to remain on site; Purpose: _____

The information contained in the application is accurate and true to the best of my knowledge. I understand that an approved permit may be conditional. Further, the decision on this application may be appealed to the San Mateo County Planning Commission. Authority to remove or trim a tree is effective only after the approval appeal period has expired.

Sylvia Nelson Ticonderoga Partners
Applicant's Signature

Public Notification of this application request will be sent to all property owners within 100 feet of the project site and in addition, to this Mid-Coast Community Council if your project site is located in the Mid-Coast.

NOTE: All Tree Removal Applications must be submitted in person.

Pete Bentley - Re: Chamberlain

From: Pete Bentley
To: Jim Eggemeyer
Subject: Re: Chamberlain

Thanks, that's it until you or I hear from John N.


>>> Jim Eggemeyer 6/24/2013 10:36 AM >>>

So I sent an email to John N. regarding the tree issue and still have not heard back. He has read it, just not responded.

Any other Chamberlain items to discuss, or was that it?

Please let me know.

Thanks.
jke

 Save Paper. Think Before You Print.


Pete Bentley - Re: Highlands/Chamberlain

From: Pete Bentley
To: Jim Eggemeyer
Subject: Re: Highlands/Chamberlain

I'll be there.

>>> Jim Eggemeyer 6/24/2013 5:28 PM >>>

Can you please come and see me at 9:00 am? Couple of questions to run by you. Thanks.
jke

 Save Paper. Think Before You Print.



255 Shoreline Drive, Suite 200
 Redwood City, CA 94065
 (650) 482-6300, Fax (650) 482-6399

TRANSMITTAL

Date: June 26, 2013 **BKF No.:** 19950168-14

To: Pete Bentley
 County of San Mateo
 Planning and Building Department
 455 County Center, 2nd Floor
 Redwood City, CA 94063

Copies To:

From: Roland Haga, PE, LEED® AP
 Associate/Project Manager

**Subject: Highland Estates, San Mateo County
 Lot 4 Improvement Plans – Sheet C4.30**

We Are Sending You Attached **Via** **Hand Deliver**
 Under separate cover

The Following Items:
 Photocopies Prints Plan originals Report Proposal
 Specifications Shop drawings Change order Other:

Copies	Date	No.	Description
5	09/01/11	-	Full Size Sheet C4.30 of the Lot 4 Improvement Plans <small>(J:\Eng95\950168\dwg\Xarc-plt\2013-06-26 Revised Sheet for Tree Permit)</small>

These Are Transmitted As Checked Below:

<input type="checkbox"/> For signature	<input type="checkbox"/> For review and comment	<input type="checkbox"/> No exception taken
<input type="checkbox"/> For approval	<input type="checkbox"/> Returned after loan to us	<input type="checkbox"/> Returned for resubmittal
<input type="checkbox"/> For your use	<input type="checkbox"/> Response to proposal request	<input type="checkbox"/> With corrections noted
<input checked="" type="checkbox"/> As requested	<input type="checkbox"/> Other	

Remarks:

Attached, as requested, please find five (5) full size sheets of Sheet C4.30 of the Lot 4 Improvement Plans. Please contact me at (650) 482-6407 if you have any questions or comments.



July 10, 2013

Mr. Pete Bentley
County of San Mateo
Planning and Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063

Subject: Improvement Plans for Highland Estates – Bunker Hill Drive
Plan Review Comments dated May 30, 2013
Response to Review Comments

Dear Mr. Bentley,

The following are BKF's responses to your review comments, dated May 30, 2013. We have addressed the issues brought to our attention and made the necessary corrections to our plans based on comments received. The following are BKF's responses, indicated in **bold** text, to the comments in the three review letters:

- *Provide velocity at discharge for stormwater pipes onto bioretention areas and onto dissipator.*

Bioretention basin detail has been revised to include rock protection at outlet (2"-4" diameter; 2' wide x length per plan) which will provide velocity and energy dissipation for incoming stormwater. Refer to revised Detail 1 – Bioretention Basin Detail, Sheet X.70 of the Lot Improvement Plans.

- *Provide missing sheets #.7 and #.8 on all lots.*

Sheet X.70 of the Lot Improvement Plans has been included. Sheet X.80 and all references have been eliminated.

- *Locate dissipator on outfall, extend as needed to provide adequate protection to slopes and minimize maintenance.*

Energy dissipators have been located and sized for all lots. Additionally, the geotechnical engineer, Cornerstone Earth Group, has reviewed and approved the location and size of the energy dissipators. Refer to Sheet CX.40 – Grading and Utility Plan and Cross Section and Detail 2 – Dissipator/Spreader Detail, Sheet X.70 of the Lot Improvement Plans.

- *Note on #.4 indicates that excavated soils be stored on site... verify if used on landscaping or if need to be removed.*

Note has been revised to state that "any excess material shall be disposed of off-site in a lawful manner." Refer to revised Sheet CX.40 – Grading and Utility Plan and Cross Section of the Lot Improvement Plans.

255 Shoreline Drive
Suite 200
Redwood City
California 94065
phone 650.482.6300
fax 650.482.6399
www.bkf.com

K:\MAIN\1995\950168\07_Permits-Applications-Plan_Check-Conditions\A_Lead_Agency_Plan_Check_Comments_-_Conditions_of_Approval\2013-05-30 Planning and Building Department Plan Review Comments Response\Response to Comments 2013-07-10.doc

- *Verify if M&O on file with CML.*

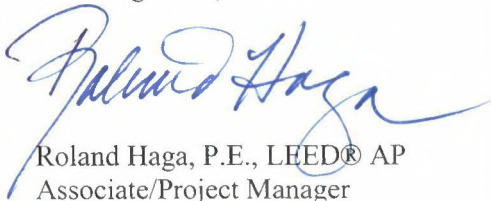
M&O has been submitted to the San Mateo County Planning Department on September 1, 2011. It is our understanding that the M&O is on file with San Mateo County Planning Department.

- *Use county std dwy detail.*

Plans have been revised to reflect San Mateo County Standard Details. Driveway to be constructed per San Mateo County Standard Detail D-1: Driveway Widths & Curb Openings Residential Dwellings and Standard Detail D-7: Driveway Plan and Profile Views. Refer to Bunker Hill Drive Street Improvement Plans Sheet C0.60 – Construction Details and Lot Improvement Plans Detail 5, CX.70 – Construction Details.

Should you have any questions, comments or need further clarification regarding the responses to the plan check comments in this letter, please contact me at (650) 482-6407 or Jonathan Tang at (650) 482-6306.

Sincerely,
BKF Engineers,



Roland Haga, P.E., LEED® AP
Associate/Project Manager



255 Shoreline Drive, Suite 200
 Redwood City, CA 94065
 (650) 482-6300, Fax (650) 482-6399

TRANSMITTAL

Date: July 11, 2013 **BKF No.:** 19950168-14

To: Pete Bentley
 County of San Mateo
 Planning and Building Department
 455 County Center, 2nd Floor
 Redwood City, CA 94063

Copies To:

From: Roland Haga, PE, LEED® AP
 Associate/Project Manager

**Subject: Highland Estates, San Mateo County
 Lot 1 - 4 Improvement Plans**

We Are Sending You Attached **Via** **Hand Deliver**
 Under separate cover

The Following Items:
 Photocopies Prints Plan originals Report Proposal
 Specifications Shop drawings Change order Other: Letter

Copies	Date	No.	Description
2	07/10/13	-	Full Size Stamped and Signed Set of the Lot 1 - 4 Improvement Plans <small>(J:\Eng95\950168\dwg\Xarc-plt\2013-07-10 Improvement Plan Submittal)</small>
5	07/10/13	-	Half Size Stamped and Signed Set of the Lot 1 - 4 Improvement Plans
1	07/10/13	-	Response to Comments Letter <small>(K:\MAIN\1995\950168\07_Permits-Applications-Plan_Check-Conditions\A_Lead_Agency_Plan_Check_Comments_-_Conditions_of_Approval\2013-05-30 Planning and Building Department Plan Review Comments Response)</small>

These Are Transmitted As Checked Below:

<input type="checkbox"/> For signature	<input type="checkbox"/> For review and comment	<input type="checkbox"/> No exception taken
<input type="checkbox"/> For approval	<input type="checkbox"/> Returned after loan to us	<input type="checkbox"/> Returned for resubmittal
<input type="checkbox"/> For your use	<input type="checkbox"/> Response to proposal request	<input type="checkbox"/> With corrections noted
<input checked="" type="checkbox"/> As requested	<input type="checkbox"/> Other	

Remarks:

Attached, as requested, please find two (2) full size stamped and signed sets of the Lot 1 – 4 Improvement Plans, five (5) half size stamped and signed sets of the Lot 1 – 4 Improvement Plans, and one (1) copy of the Response to Comments Letter. Please contact me at (650) 482-6407 if you have any questions or comments.

Pete Bentley - RE: Bunker Hill

From: Diana Shu
To: noel chamberlain
Date: 7/30/2013 5:13 PM
Subject: RE: Bunker Hill
CC: JTUTTLEC@aol.com; Mark Marelich; Pete Bentley


Hi Noel

Thanks I just got Dan's plans this afternoon and will turn that around ASAP.

Please let us know how you are planning to stage both projects. Stockpiles, equipment, parking for crews, etc.

Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414
Please fill out a customer satisfaction survey:
<http://www.surveymonkey.com/s/QX7ZKHQ>

 Save Paper. Think Before You Print.

>>> "noel chamberlain" <noel@nexgenbuilders.com> 7/30/2013 2:12 PM >>>

Hi Diana,

Construction documents have been ready to submit for two weeks. We are currently awaiting loan approval from First National Bank. We have received preliminary approval from the bank, but expect to get the "official OK" from the board this Friday.

I also wanted to thank you very much for help on the Edgewood Canyon. Dan Macleod told me that you have been very responsive with your plan review. I really appreciate it as we are anxious to get underway.

I will give you a status update on Highlands early next week.

Thanks again,

Noel

From: Diana Shu [<mailto:dshu@smcgov.org>]
Sent: Tuesday, July 30, 2013 12:17 PM
To: JTUTTLEC@aol.com; noel@nexgenbuilders.com
Cc: Mark Marelich

Subject: Bunker Hill


Hi Jack and Noel

I was just wondering if you were planning to start your project on Bunker Hill soon.

I have a few people wondering where you were planning to stage etc.

Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414
Please fill out a customer satisfaction survey:
<http://www.surveymonkey.com/s/QX7ZKHQ>

 Save Paper. Think Before You Print.


JACK 595-5582
EXT. 201

Pete Bentley - Fwd: RE: Chamberlain Project


From: Jim Eggemeyer
To: Pete Bentley
Date: 7/31/2013 1:26 PM
Subject: Fwd: RE: Chamberlain Project

called Jack & left him a message
at 1:05 Friday 8/1 morning
asked him to check with Dave Byers &
Roland Nara (BKF) on verbiage of
EASEMENT (Does verbiage PREVENT ANY
CONSTRUCTION ACTIVITY & Is This Parcel
INCLUDED TO EASEMENT DESCRIPTION

Hi Pete. See the following. Do you know if the "easement" language conflicts with what Jack might do?
Thanks.
jke

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>>> David Burruto 7/31/2013 1:15 PM >>>
Your call

 Save Paper. Think Before You Print.

>>> "Brigitte Shearer" <brigitte@highlandsrec.ca.gov> 7/31/2013 1:16 PM >>>


Wouldn't that be in conflict with the Conservation easement? While that lot isn't 'ours', per se, it's my understanding that it is bound by the terms of the easement.

I think it'd be best for everyone to get this resolved before things get started. Perhaps I'm jumping the gun a bit here, but better safe than frustrated later...

Brigitt

From: David Burruto [mailto:DBurruto@smc.gov.org]
Sent: Wednesday, July 31, 2013 10:07 AM
To: Brigitte Shearer
Subject: Re: Chamberlain Project

basic response is that it is too early to know or tell if the lot next to the Rec. District will be used as a construction staging area. I will stay on this though. But that does imply a possibility.

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>>> "Brigitte Shearer" <brigitte@highlandsrec.ca.gov> 7/25/2013 5:20 PM >>>

The construction of the 4 houses on Bunker Hill Drive may begin in the next 30 days. It is possible that the lot next to the Rec Center will be used as a staging area.

Please let me know if you have questions/ updates.
Just wanted everyone to know what I know!!

Brigitte

Brigitte Shearer
Highlands Recreation District
General Manager
650-341-4251


Pete Bentley - Fwd: RE: Bunker Hill

From: Pete Bentley
To: Camille Leung
Date: 8/6/2013 11:42 AM
Subject: Fwd: RE: Bunker Hill

Camille:

See my note to Dave below and Dave's response.


Pete

 Save Paper. Think Before You Print.

>>> Dave Holbrook 8/6/2013 11:30 AM >>>

If you're talking about the project that Camille worked on, I think it best to direct this to her. Is this the RFP for the mitigation monitoring?

David Holbrook


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>>> Pete Bentley 8/6/2013 11:08 AM >>>

Dave:

Looks like Chamberlain is getting ready to start his project in the Highlands.
What's the story of getting an RFP out now.

Pete

 Save Paper. Think Before You Print.

>>> "noel chamberlain" <noel@nexgenbuilders.com> 8/6/2013 10:37 AM >>>

Hi Diana,

I was just checking to see if you have had a chance to review Dan Macleod's latest revised grading and drainage plans for Edgewood Canyon. Pete wanted us to submit the most recent civil plans to TRA and I was hoping to give them a SM Publics Works approved copy. If you are swamped, I can give them the copies of the last submittal set which should be good enough to get them started and update them with an approved set later.

I also wanted to let you know that we did receive financing approval on the Highland Estates Phase 1 project last Friday and we will be moving forward with the project. I expect to submit for permits to the building department early next week.

Pete Bentley - Fwd: RE: Bunker Hill

From: Pete Bentley<pbentley@smcgov.org> (Pete Bentley)
To: Camille Leung
Date: 8/7/2013 8:16 AM
Subject: Fwd: RE: Bunker Hill
CC: Dave Holbrook; Jim Eggemeyer

Camille:

You missed reading some notes in P*P. The 4 lots and easement was recorded on March 15, 2013. I'm told building permits for Lots 1-4 will be submitted next week (Aug.12-16).

Unless you or some other Planner is versed in "wood rats", "native bird nesting/roosting", "bats", "red-legged frogs", etc. per the conditions, I believe a consultant is required for these reviews.

It's possible the "normal" grading activities can be inspected, as needed, by staff familiar with grading and construction activities and procedures.

If a lengthy ordeal is involved in a full scale RFP procedure and Jim is able to just hire a short term consultant (such as Ralph Osterling), this concept might work. It might only be necessary to look at the site once a week or so once grading has begun. This can be done by Planning until Building Permits are issued and by the Building Inspectors from then on.

You might want to review your conditions further to see if I missed any that might require environmental since you wrote them.

Pete

>>> Camille Leung 8/6/2013 3:58 PM >>>

Pete,

How many conditions relate to the 4 Bunker Hill homes? Do you think we need to contract with someone or we can manage it ourselves?

I think we always said that once the BLD permits come in we can start to get the RFP together (if needed). In looking at Permit Plan, it doesnt look like with have BLD permits or a recorded subdivision.

Has Jack provided status of map recordation or BLD permit applications?

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

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Save Paper.
Think before you print.>>> Pete Bentley 8/6/2013 11:42 AM >>>
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>>> "noel chamberlain" <noel@nexgenbuilders.com> 8/6/2013 10:37 AM >>>

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Thanks again for all your help,
Noel

From: Diana Shu [mailto:dshu@smcgov.org]
Sent: Tuesday, July 30, 2013 5:14 PM
To: noel chamberlain
Cc: JTUTTLEC@aol.com; Mark Marelich; Pete Bentley
Subject: RE: Bunker Hill

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Thanks

Diana

Diana Shu

dshu@smcgov.org

650-599-1414

Please fill out a customer satisfaction survey:

<http://www.surveymonkey.com/s/QX7ZKHQ>

>>> "noel chamberlain" <noel@nexgenbuilders.com> 7/30/2013 2:12 PM >>>

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From: Diana Shu [<mailto:dshu@smcgov.org>]

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To: JTUTTLEC@aol.com; noel@nexgenbuilders.com

Cc: Mark Marelich

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I have a few people wondering where you were planning to stage etc.

Thanks

Diana

Diana Shu

dshu@smcgov.org

650-599-1414

Pete Bentley - Re: Compliance with Mitigations and Conditions of Approval

From: Pete Bentley
To: Camille Leung
Subject: Re: Compliance with Mitigations and Conditions of Approval

Camille:

2 questions:

- 1.) What condition number requires notice to be sent to the neighbors? I didn't see it.
- 2.) You had told me earlier, when I questioned you about multiple grading permits for lots 1-4, that one (1) permit could be issued to cover the grading on all 4 lots. What caused you to change?

Pete

>>> Camille Leung 8/7/2013 11:34 AM >>>
Hi Jack and Sylvia,

The County is currently deciding whether we need to do a RFP for an outside contractor to monitor the site and project for compliance with Mitigations and Conditions of Approval (see latest approval letter dated March 9, 2011), or whether County can do this within existing processes.

I heard you will be applying for BLD permits within a week or so.

There shall be no ground disturbance or tree removals prior to performance of all of following (in order of

Requirements for Start of

- 1) Fee (TBD) for Mitigation Monitoring by Contractor or County is submitted to the County (Ill let you know what we decide).
- 2) Notice of Grading and Construction to Neighbors is sent (just a notice, no comments are solicited).
- 3) ALL Conditions of BLD permit issuance and Grading Hard card issuance are met.
- 4) BLD Permit AND Grading are BOTH issued for each lot: Land disturbance and approved tree removals can occur on each lot as each BLD Permit AND Grading is issued for EACH LOT. If a BLD and Grading permit has not been issued for a lot, no disturbance or tree removal is to occur there.

Please let me know if you have any concerns or questions.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

From: Camille Leung
To: Sylsnet@aol.com; jtuttlec@aol.com
CC: Dave Holbrook; Jim Eggemeyer; Pete Bentley
Date: 8/7/2013 11:37 AM
Subject: Re: Compliance with Mitigations and Conditions of Approval

I forwarded this email to Noel Chamberlain, who will be handling construction.

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:
<http://www.co.sanmateo.ca.us/planning/survey>

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Think before you print.>>> Camille Leung 8/7/2013 11:34 AM >>>
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Requirements for Start of Work:

- 1) Fee (TBD) for Mitigation Monitoring by Contractor or County is submitted to the County (Ill let you know what we decide).
- 2) Notice of Grading and Construction to Neighbors is sent (just a notice, no comments are solicited).
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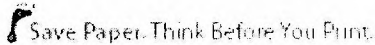
Please let me know if you have any concerns or questions.

Thanks

Pete Bentley - Re: Compliance with Mitigations and Conditions of Approval

From: Pete Bentley
To: Camille Leung
Date: 8/8/2013 7:39 AM
Subject: Re: Compliance with Mitigations and Conditions of Approval

Agreement on what?? 1 grading permit or 4. I propose 1 - you want 4. That's not agreeing.



>>> Camille Leung 8/7/2013 1:51 PM >>>
I think we are in agreement

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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<http://www.co.sanmateo.ca.us/planning/survey>

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Think before you print.>>> Pete Bentley 8/7/2013 1:49 PM >>>

1. OK for now as long as they are still willing.
2. ALL grading will be done at once and should only require "A" single grading permit. However the 1 Grading Permit will not be issued until ALL 4 Building Permit are issued. Jack/Noel are both aware that Building Permits MUST be issued along with the Grading Permit.

>>> Camille Leung 8/7/2013 1:38 PM >>>
1. I had a conversation with Jack and Sylvia a while back and we all agreed to this.

2. I know I originally said they could conduct rough grading for the subdivision first before BLD permits are issued. I'm hoping that with these four lots being right off Bunker Hill and no shared access, that we could treat them as we would any four lots in any other part of the County. Lets see if we get push back from them. If we do, we can be more flexible. But I would rather state our preference that all the grading be done at once AND under a BLD permit.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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Save Paper.

Think before you print.>>> Pete Bentley 8/7/2013 11:51 AM >>>

Camille:

2 questions:

- 1.) What condition number requires notice to be sent to the neighbors? I didn't see it.
- 2.) You had told me earlier, when I questioned you about multiple grading permits for lots 1-4, that one (1) permit could be issued to cover the grading on all 4 lots. What caused you to change?

Pete

>>> Camille Leung 8/7/2013 11:34 AM >>>

Hi Jack and Sylvia,

The County is currently deciding whether we need to do a RFP for an outside contractor to monitor the site and project for compliance with Mitigations and Conditions of Approval (see latest approval letter dated March 9, 2011), or whether County can do this within existing processes.

I heard you will be applying for BLD permits within a week or so.

There shall be no ground disturbance or tree removals prior to performance of all of following (in order of

Requirements for Start of

- 1) Fee (TBD) for Mitigation Monitoring by Contractor or County is submitted to the County (Ill let you know what we decide).
- 2) Notice of Grading and Construction to Neighbors is sent (just a notice, no comments are solicited).
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Please let me know if you have any concerns or questions.

Thanks

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Save Paper.
 Think before you print.

Pete Bentley - Re: Chamberlain Subdivision - Trees

From: Pete Bentley
To: Camille Leung
Subject: Re: Chamberlain Subdivision - Trees

Camille:

It doesn't look like you checked P*P "before" you sent this email. The removal has been addressed. See "Project Note" entry dated 6/26/13 (PLN 2006-00357).

Pete

>>> Camille Leung 8/28/2013 3:28 PM >>>
Hi Pete,

I was wondering what is the status of the extra trees to be removed. Needs RM Permit. I didnt see any application in Permit Plan. This is what Condition No. 21 says:

This permit does not authorize the removal of any additional trees with trunk circumference of more than 55 inches beyond those approved by the Board of Supervisors. Such activity would require application for and issuance of a separate Resource Management (RM) Permit. All trees not approved for removal under this permit shall be protected during grading operations.

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Name: **JACK CHAMBERLAIN** Updated: 7/21/2010 DJH
Address: **SAN MATEO HIGHLANDS**
Description: Master # **PLN2005-00586** Project: **SUBDIVISION, LLA, GRADING**
Revised 11/3/09: 1) Rezoning of an approximately 27,000 sq/ft portion of APN 041-101-290 from RM to a R-1/S-B1 zoning designation; 2) a Lot Line Adjustment

- General
- Design Review
- Coastal Develop

View / Edit Activity

Activity: 0010 Desc: Project Notes	Updated: 6/26/2013 PSB	Edit
Disposition: DONE	Hold Level: No hold	
Dates	Calendar Tag:	
	Report Tag:	
	Assigned To:	
Completed: 6/26/2013	Done By: PSB	OK
Notes:	X-Coordinate:	Help
shown on the "original". These 2 trees are located +/- in the center of the proposed residence. Determination has been made that (via Minor modification as determined by Director and CC) and since the project specifications call for 2 replacement trees per each removed tree, the trees may be removed and that four (4) replacement trees shall be planted. I have asked owner to	Y-Coordinate:	
	IVR Confirmation Number	



Pete Bentley - Re: Fwd: pln2013-00350 shell gas station

From: Pete Bentley
To: Camille Leung
Date: 9/4/2013 11:11 AM
Subject: Re: Fwd: pln2013-00350 shell gas station

Camille:

Your email says "needs stormwater treatment at BLD stage". I'm only involved in the "grading" permit process and issuance. I don't know who the Planner will be for the Building Permit review as a Building Permit Application has not yet been submitted.

If you have "conditions of approval" applicable for the grading permit only and not to the building permit, please forward them to me and I will include them in the Staff Report.

Pete

>>> Camille Leung 9/4/2013 10:18 AM >>>
Hi Pete,

This is a C3 regulated project (needs stormwater treatment at BLD stage) and an SWRS project (monthly wet season inspections). Please reference conditions of approval on P: drive. Please let me know if you need help identifying which conditions to use.

P:\Planner Templates, "NPDES PLN Permit Process Guidance w Atts_090413" file

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10/29/13 JKL, SM, CL, PB

Only change for MM (not COAs)

Construction mgmt plan p. 8.

→ bio reports followups
→ Contract w/ County
\$5,000 (template from James)

From: Camille Leung
To: noel chamberlain
CC: jtuttlec@aol.com
Date: 9/4/2013 11:41 AM
Subject: RE: Compliance with Mitigations and Conditions of Approval
Attachments: Highlands COA Excel Table.xlsx

Hi Noel,

Sorry for the delay in getting back to you. Jim Eggemeyer is out on vacation till the 9th. He will need to make the final decision when he gets back. I think there's a good chance we can do this without hiring an outside consultant. See mitigation measures and timing on attached table. This is how it could work:

- County takes Deposit for time and materials for Planning, Geo, BLD, DPW staff to do mitigation monitoring. Amount to be determined by Director.
- Property Owner must submit reports as required to Planning (Bio reports) and authorize Bio consultant to work directly with County
- Property Owner must provide a list of all construction equipment to be used and how it complies with Noise and Air mitigation measures
- Please provide plan on how neighborhood will be buffered from noise, air quality, visual impacts (type and location of construction screening, hours of construction, schedule of how long construction will last, etc.)
- County will re-evaluate this decision if there are any complaints during grading or construction.

* 1 card
* Scope of Services for B10

Some questions to help us evaluate:

- 1) How much total grading is associated just for Lots 1-4 (access, houses, landscaping)?
- 2) Will there be winter grading (Oct 1 - April 30)?
- 3) Do you think you can cooperate with process as described above?

* No Benefit of existing
* Timing Rationale from Bio

Please note again that Jim makes the final call. He could just go with a consultant, but I want to be able to present an alternative.

Thanks

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for early Free Removal

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(prior: ~~to~~ Notice)

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>>> "noel chamberlain" <noel@nexgenbuilders.com> 8/7/2013 3:54 PM >>>
Thanks Camille,

I understand your requirements prior to start. I would be ecstatic if the county could do the mitigation compliance monitoring. The site area of the four lots combined is less than 40,000 SF and should be easily manageable for the county.

Thanks again,
Noel

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]

Sent: Wednesday, August 07, 2013 11:37 AM

To: noel chamberlain

Subject: Fwd: Compliance with Mitigations and Conditions of Approval

Noel -- I should have included you in my email to Jack and Sylvia---- See below.

Hi Jack and Sylvia,

The County is currently deciding whether we need to do a RFP for an outside contractor to monitor the site and project for compliance with Mitigations and Conditions of Approval (see latest approval letter dated March 9, 2011), or whether County can do this within existing processes.

I heard you will be applying for BLD permits within a week or so.

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Please let me know if you have any concerns or questions.

Thanks

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Save Paper.
Think before you print.

From: "noel chamberlain" <noel@nexgenbuilders.com>
To: "'Pete Bentley'" <PBentley@smcgov.org>
Date: 9/5/2013 12:59 PM
Subject: FW: Compliance with Mitigations and Conditions of Approval
Attachments: Highlands COA Excel Table.xlsx

Pete,

Here is what I received from Camille.

Thanks,
Noel

-----Original Message-----

From: Camille Leung [mailto:cleung@smcgov.org]
Sent: Wednesday, September 04, 2013 11:42 AM
To: noel chamberlain
Cc: jtuttlec@aol.com
Subject: RE: Compliance with Mitigations and Conditions of Approval

Hi Noel,

Sorry for the delay in getting back to you. Jim Eggemeyer is out on vacation till the 9th. He will need to make the final decision when he gets back. I think there's a good chance we can do this without hiring an outside consultant. See mitigation measures and timing on attached table. This is how it could work:

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- Please provide plan on how neighborhood will be buffered from noise, air quality, visual impacts (type and location of construction screening, hours of construction, schedule of how long construction will last, etc.)
- County will re-evaluate this decision if there are any complaints during grading or construction.

Some questions to help us evaluate:

- 1) How much total grading is associated just for Lots 1-4 (access, houses, landscaping)?
- 2) Will there be winter grading (Oct 1 - April 30)?
- 3) Do you think you can cooperate with process as described above?

Please note again that Jim makes the final call. He could just go with a consultant, but I want to be able to present an alternative.

Thanks

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>>> "noel chamberlain" <noel@nexgenbuilders.com> 8/7/2013 3:54 PM >>>
Thanks Camille,

I understand your requirements prior to start. I would be ecstatic if the
county could do the mitigation compliance monitoring. The site area of the
four lots combined is less than 40,000 SF and should be easily manageable
for the county.

Thanks again,
Noel

-----Original Message-----

From: Camille Leung [mailto:cleung@smcgov.org]
Sent: Wednesday, August 07, 2013 11:37 AM
To: noel chamberlain
Subject: Fwd: Compliance with Mitigations and Conditions of Approval

Noel -- I should have included you in my email to Jack and Sylvia---- See
below.

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or whether County can do this within existing processes.

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met.

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*Issue with this
Relative to
"Tree Removal"*

Please let me know if you have any concerns or questions.

Thanks

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Subj: **Fwd: RE: Compliance with Mitigations and Conditions of Approval**
Date: 9/19/2013 4:11:15 P.M. Pacific Daylight Time
From: cleung@smcgov.org
To: jtuttlec@aol.com

Sorry, this is the email I sent. I lost his reply email which said that he would get back to me after he's reviewed the conditions/mitigations. Please have him answer questions.

Thanks Jack!

Camille M. Leung
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Redwood City, CA 94063
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-----Original Message-----

Date: Wed, 04 Sep 2013 11:41:52 -0700
From: "Camille Leung" <cleung@smcgov.org>
To: "noel chamberlain" <noel@nexgenbuilders.com>
Cc: <jtuttlec@aol.com>
Subject: RE: Compliance with Mitigations and Conditions of Approval

Hi Noel,

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- No* - County takes Deposit for time and materials for Planning, Geo, BLD, DPW staff to do mitigation monitoring. Amount to be determined by Director. *No NECESSARY, ONLY HOW, TOING MEMORS TO PER GRADING PERMIT*
- Property Owner must submit reports as required to Planning (Bio reports) and authorize Bio consultant to work directly with County *OK*
- Property Owner must provide a list of all construction equipment to be used and how it complies with Noise and Air mitigation measures *when is this requirement in "Conditions of Approval?"*
- Please provide plan on how neighborhood will be buffered from noise, air quality, visual impacts (type and location of construction screening, hours of construction, schedule of how long construction will last, etc.) *same as above where is this condition listed?*
- County will re-evaluate this decision if there are any complaints during grading or construction. *What decision & what decision.*

*See 4F
Not required
Can find
condition*

- Some questions to help us evaluate:
- 1) How much total grading is associated just for Lots 1-4 (access, houses, landscaping)?
 - 2) Will there be winter grading (Oct 1 - April 30)? *Probably if the 4 Bio Permits Are Issued During this time*
 - 3) Do you think you can cooperate with process as described above? *Take To Answer (3)*

Please note again that Jim makes the final call. He could just go with a consultant, but I want to be able to present an alternative.

Thanks

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Thanks again,
 Noel

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Sent: Wednesday, August 07, 2013 11:37 AM

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There shall be no ground disturbance or tree removals prior to performance of all of following (in order of timing):

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- 2) Notice of Grading and Construction to Neighbors is sent (just a notice, no comments are solicited). *Which condition of Approval is this ?? (4+) Notice for 200 only*
- 3) ALL Conditions of BLD permit issuance and Grading Hard card issuance are met. *OK*
- 4) BLD Permit AND Grading are BOTH issued for each lot: Land disturbance and approved tree removals can occur on each lot as each BLD Permit AND Grading *where is this stated in conditions ??*

Monday, September 23, 2013 AOL: JTUTTLEC

is issued for EACH LOT. If a BLD and Grading permit has not been issued for a lot, no disturbance or tree removal is to occur there.

where is this stated in conditions "??"

Please let me know if you have any concerns or questions.

Thanks

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Save Paper.
Think before you print.

The Chamberlain Group
655 Skyway #230
San Carlos, CA. 94070
650 595-5582 fax 650 595-5066

.....
facsimile transmittal

To: PETE BENTLEY Fax: 760-4849
From: JACK CHAMBERLAIN Date: 10-17-13
Re: _____ Pages: 1 + 7
CC: _____

- Urgent For Review Please Comment Please Reply Please Recycle



545 Middlefield Road, Suite 200
Menlo Park, CA 94025-3472
Tel: (650) 327-0429
Fax: (650) 327-4024
www.TRAenviro.com

Mr. Jack Chamberlain
Chamberlain Group
655 Skyway, Suite 230
San Carlos, CA 94070

October 15, 2013

Re: Scope of Work and Cost Estimate for Woodrat Survey at San Mateo Highlands

Dear Mr. Chamberlain:

TRA Environmental Sciences, Inc. (TRA) is pleased to submit this scope of work and cost estimate for a biological survey for San Francisco dusky-footed woodrat stickhouses (houses) in four parcels in the San Mateo Highlands. The project is subject to the following Condition of Approval (Mitigation Measure BIO-2a):

No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

We understand that you are interested in scheduling tree removal this fall in an area of approximately 1 acre across four parcels. Tree removal is considered part of construction activities, and therefore a woodrat survey needs to be performed within 30 days prior to the start of tree work. We will conduct a field survey of each of the four parcels and adjacent areas within 100 feet of tree removal to map and mark the woodrat houses. Each house will be marked in the field with pin flags around the perimeter.

It is assumed that some houses will eventually need to be moved to make way for grading. We will identify those houses, and can provide you with a cost estimate for that if requested. Moving a woodrat house requires a Memorandum of Understanding (MOU) with the Department of Fish and Wildlife.

It is advised that we meet the tree removal crew on site when they begin work so that we can discuss the avoidance of woodrat stickhouses and point out the location of houses.

We propose to complete the woodrat survey for \$1,360. All costs are detailed in Table 1, attached. Also attached in this file is a standard TRA Rate Sheet. For contracts under \$10,000, a deposit of 50% (\$680) is due prior to the start of work.

Thank you for contacting us, and please let me know if you have any questions regarding this scope of work.

Sincerely,



Autumn Meisel
Senior Biologist



545 Middlefield Road, Suite 200
 Menlo Park, CA 94025-3472
 Tel: (650) 327-0429
 Fax: (650) 327-4024
 www.TRAenviro.com

**San Francisco Dusky-footed Woodrat Survey
 San Mateo Highlands**

Client Information:

Jack Chamberlain
 Chamberlain Group
 655 Skyway, Suite 230
 San Carlos, CA 94070
 Tel: (650) 595-5066
 Email: jtuttlec@aol.com

TRA Information:

Autumn Meisel, Senior Biologist
 545 Middlefield Road, Suite 200
 Menlo Park, California 94025
 Tel: (415) 254-0805
 Fax: (650) 327-4024
 Email: (last name)@traenviro.com

Cost Proposal

Staff/Billing Rate (\$/hr)	Sr. Project Manager	Sr. Biologist	Support	
	\$160	\$125	\$75	
Task				Cost
Woodrat stickhouse survey and marking		4		\$500
Meet with tree removal crew		2		\$250
Memo report		2		\$250
Administration and quality control	1		2	\$310
Total labor				\$1,310
Expenses (mileage, printing)				\$50
Total				\$1,360

Terms and Conditions

The biological study will be completed using current data and regulatory information. The facts, statements, and information presented are correct to the best of our knowledge at the time of the surveys. There are limitations inherent in conducting single-season biological surveys, and environmental conditions could change in the future. Similarly, regulatory requirements also change.

The Client will provide a map of the project site if requested, a description of the project, and permission for access to the site.

If TRA's report is submitted to an agency, it must be submitted in its entirety.

The stated costs are an estimate. TRA charges will reflect actual costs for labor and expenses, and will not exceed the estimate without prior approval from Client. If the Client requests tasks beyond what is stated in the scope of work, TRA will request additional compensation.

This is a firm offer for a 60-day period, commencing October 15, 2013. If the schedule is delayed for more than six months, not due to the negligent errors or omissions of TRA or its subcontractors, we reserve the right to update the budget and scope of work.

The undersigned hereby grants permission to TRA to enter the subject property for the purpose(s) outlined in the above scope of work and warrants that he/she has the authority to give such permission.

This agreement pertains to work coordinated by TRA at its Menlo Park, California, office. Both parties deem that this agreement is entered into at Menlo Park, California, and will be interpreted according to the laws of the State of California and under the venue of San Mateo County.

HIGHLAND ESTATES DEVELOPMENT I, LLC
[Signature]

 Client *MEWPAK* Date *10-16-13* For TRA _____ Date

Ralph Osterling Consultants, Inc.
1650 Borel Place, Suite 204
San Mateo, CA 94402-3508



October 16, 2013

Mr. Noel Chamberlain
Nexgen Builders
225 Demeter Street
East Palo Alto, CA 94303

RE: Highlands Estates Development I, LLC, Lots 1 thru 4 Bunker Hill Drive
San Mateo County, CA

Dear Noel:

Please consider this to be a letter of engagement for Professional Services regarding your Highland Estates Development I, Lots 1 thru 4.

SCOPE OF SERVICES

- Review the site plans to confirm tree species and diameters for Conditions of Approval by San Mateo County.
- Oversee tree removal.
- Confirm tree protection fencing is installed properly.
- Provide written confirmation of findings and any recommendations as required in the Conditions of Approval.

FEES AND PAYMENT

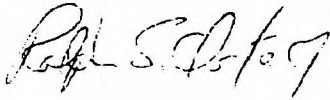
Fees will be based on time and materials at a rate of \$175 per hour. Incidental expenses are included in the above rate. Out-of-pocket expenses will receive prior approval and be charged at cost plus 15%. Invoices will be submitted monthly with daily work activities itemized. Invoices are due and payable upon receipt. Overdue invoices shall be subject to a 1.5% service charge.

Mr. Noel Chamberlain
Nexgen Builders
October 16, 2013
Page 2

Please sign where indicated below to confirm your acceptance and return a copy to my office. Should insurance certificates be required, I will be pleased to provide them upon request. I am prepared to begin work promptly.

Should you or others have questions or comments, please contact me at your convenience.

Respectfully,



Ralph Osterling, President, ACF, CLFA
Registered Professional Forester #38
State of California



RSO:js

AGREED AND ACCEPTED

HIGHLAND ESTATES DEVELOPMENT I, LLC

John Choullalaci

BY: _____

DATE: _____

MEMBER

The Chamberlain Group
655 Skyway #230
San Carlos, CA. 94070
650 595-5582 fax 650 595-5066

.....
facsimile transmittal

To: PETE BENTLEY Fax: 650 367 4849

From: JACK CHAMBERLAIN Date: 10-29-13

Re: _____ Pages: 1 + 3

CC: NOEL CHAMBERLAIN 322-5809

- Urgent
- For Review
- Please Comment
- Please Reply
- Please Recycle

.....

THE _____

 CHAMBERLAIN GROUP

October 23, 2013

County of San Mateo
 Planning and Building Department
 455 County Center
 Redwood City, CA 94603

To: Pete Bentley

Re: Lots 1 thru 4 Highlands Estates Tree Removal

Pete,

I am attaching a revised and executed copy of the Engagement Letter for the services of Ralph Osterling with the changes as you suggested. TRA completed their work yesterday, October 22. I won't have the written results for a few days and will copy you as soon as it is in hand. Of course, we will not proceed with the work without first obtaining approval from the County.

As we also discussed yesterday, the work contracted for with TRA and Osterling is only for the removal of the trees as approved during the mapping process. We intend to generate new contracts with both parties to administer the conditions of approval as part of the construction process.

We will, as we agreed to during our meeting, reimburse the County for any additional expenses incurred from the construction of the homes which are not a part of those covered by the permit process.

If, for the moment, you need anything else, please call and I will respond immediately.

Cordially,



Jack T. Chamberlain
 Managing Member
 Ticonderoga Partners LLC

Ralph Osterling Consultants, Inc.

1650 Borel Place, Suite 204
San Mateo, CA 94402-3508



RALPH OSTERLING
CONSULTANTS, INC.
PHONE (650) 573-8733
1650 BOREL PLACE, SUITE 204
SAN MATEO, CA 94402

October 16, 2013

Mr. Noel Chamberlain
Nexgen Builders
225 Demeter Street
East Palo Alto, CA 94303

RE: Highlands Estates Development I, LLC, Lots 1 thru 4 Bunker Hill Drive
San Mateo County, CA

Dear Noel:

Please consider this to be a letter of engagement for Professional Services regarding your Highland Estates Development I, Lots 1 thru 4.

SCOPE OF SERVICES

- Review the site plans to confirm tree species and diameters for Conditions of Approval by San Mateo County. Flag trees for removal.
- Oversee tree removal.
- Confirm tree protection fencing is installed properly per plans and specifications.
- Confirm erosion control measures are installed per approved plan.
- Provide written confirmation of findings and any recommendations as required in the Conditions of Approval.

FEES AND PAYMENT

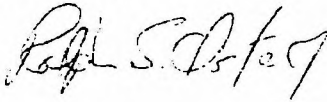
Fees will be based on time and materials at a rate of \$175 per hour. Incidental expenses are included in the above rate. Out-of-pocket expenses will receive prior approval and be charged at cost plus 15%. Invoices will be submitted monthly with daily work activities itemized. Invoices are due and payable upon receipt. Overdue invoices shall be subject to a 1.5% service charge.

Mr. Noel Chamberlain
Nexgen Builders
October 16, 2013
Page 2

Please sign where indicated below to confirm your acceptance and return a copy to my office. Should insurance certificates be required, I will be pleased to provide them upon request. I am prepared to begin work promptly.

Should you or others have questions or comments, please contact me at your convenience.

Respectfully,



Ralph Osterling, President, ACF, CLFA
Registered Professional Forester #38
State of California



RSO:js

AGREED AND ACCEPTED

BY: 

DATE: 10-23-13

Sent: 10/24/2013 10:05:31 A.M. Pacific Daylight Time
Subj: RE: Bunker Hill lots 1-4

Roland,

Stormwater plans need to be approved by Mosquito Abatement District, before BLD permits can be issued. Please Fed Ex 1 hard copy of just the stormwater and drainage plans.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:

<http://www.co.sanmateo.ca.us/planning/survey>

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>>> Camille Leung 10/24/2013 10:02 AM >>>

[Quoted text hidden]

JTUTTLEC@aol.com <JTUTTLEC@aol.com>
To: gmagpaof8@gmail.com

Fri, Oct 25, 2013 at 11:01 AM

<https://mail.google.com/mail/u/0/?ui=2&ik=640d8b8204&view=pt&search=inbox&th=141f0c376b7a5a22>

4/5

CONFIRM THIS
VIA "Condition of
Approval".
I could not find
where this is
Required By
CONDITIONS

Associate/Project Manager

BKF ENGINEERS
CIVIL ENGINEERS, LAND SURVEYORS, PLANNERS
255 Shoreline Drive, Suite 200 | Redwood City, CA 94065
Tel (650) 482-6300 | Direct (650) 482-6407

www.bkf.com | rhaga@bkf.com

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]
Sent: Wednesday, October 23, 2013 8:58 AM
To: Roland Haga; Diana Shu
Subject: Re: Bunker Hill lots 1-4

Thanks Diana.

Roland, if its easier, just send me the soft copies of the agreements you already prepared (word files). I will make the necessary updates.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Diana Shu 10/22/2013 6:10 PM >>>

Hi Roland

I spoke to Camille, she needs this info for the Annual MRP report that she needs to submit to the state each year. So thank you in advance for your help.

I checked thru my list of submittals via email and I do not see a copy of the C3/C6 checklist, or a copy of the Operations and Maintenance Agreement. So you probably sent them directly to Camille.

I do have a copy of your stormwater calcs for lots 1-4 on Bunker Hill and believe there is enough information for you to transfer data onto the C3/C6 checklist.

I have attached the latest C3/C6 checklist for your use.

Also attached is a copy of the latest O&M agreement. You will need to fill out the name, address, etc., attach your O&M exhibits to this form, then submit to Camille for review prior to execution of the agreement. This document should be given to the new homeowner so that they can submit an annual report to Camille; therefore it needs to be a stand alone document so that they can do the maintenance themselves if they so choose.

*why now? Not Prior to
BLD FINAL As
Things could change?*

Other forms if needed may be found here at this link:

<http://www.co.sanmateo.ca.us/portal/site/planning/menuitem.2ca7e1985b6c8f5565d293e5d17332a0/?vgnextoid=eeea6fa49fd96310VgnVCM1000001937230aRCRD&vgnnextchannel=3ae72b2432603210VgnVCM1000001937230aRCRD&applInstanceName=default>

Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414

Please fill out a customer satisfaction survey:
<http://www.surveymonkey.com/s/QX7ZKHQ>

Confidentiality Notice: This email (including any attachment) is intended only for the individual or entity to which it is addressed and may contain information that is privileged, confidential and exempt from disclosure under applicable law. If you are not the intended recipient, you are not authorized to intercept, read,

October 24, 2013

Jim, John, and Steve:

At this time, Jack Chamberlain (San Mateo Highlands Developer) has requested three (3) "Minor Modifications" for "proposed" work on Lots 1-4 on Bunker Hill. The requested work involves removal of trees within the proposed building pad which have been approved for removal.

Condition of approval # 19 (d) states that "trees may not be removed until the Grading Permit hard card has been issued." However, it is possible that grading permits and building permits may not be ready for issuance until late spring. As the breeding/nesting season for woodrats, native birds, and bats is usually between April and August, removal of the approved trees is requested now.

A minor modification is requested for conditions numbered 4 and 21 to allow the developer to contract directly with applicable consultants for the necessary Biological and Arborist mitigation monitoring and studies rather than the County entering into a contract for this work. The Planning Department does not staff to perform this work.

Lastly, condition # 17 requires 12 separate grading permits be issued. Individual permits for each of the 12 lots. The requested modification would allow issuance of "one" grading permit referencing all 4 lots as they are adjacent to one another on Bunker Hill.

October 24, 2013

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Lastly, condition # 17 requires 12 separate grading permits be issued. Individual permits for each of the 12 lots. The requested modification would allow issuance of "one" grading permit referencing all 4 lots as they are adjacent to one another on Bunker Hill.

STEVE - GAVE THIS TO JIM & ASKED
HIM TO REVIEW & IF OK FORWARDED TO JOHN.

Steve

October 24, 2013

Jim, John, and Steve:

At this time, Jack Chamberlain (San Mateo Highlands Developer) has requested three (3) "Minor Modifications" for "proposed" work on Lots 1-4 on Bunker Hill. The requested work involves removal of trees within the proposed building pad which have been approved for removal.

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~~Lastly, condition # 17 requires 12 separate grading permits be issued. Individual permits for each of the 12 lots. The requested modification would allow issuance of "one" grading permit referencing all 4 lots as they are adjacent to one another on Bunker Hill.~~

1ok



545 Middlefield Road, Suite 200
Menlo Park, CA 94025-3472
Tel: (650) 327-0429
Fax: (650) 327-4024
www.TRAenviro.com

Highland Estates Development I, LLC
Jack T. Chamberlain, Member
655 Skyway Road
Suite 230
San Carlos, CA 94070

October 25, 2013

Re: Woodrat Survey at San Mateo Highlands

Dear Mr. Chamberlain:

On Tuesday, October 22, 2013, I performed a survey for San Francisco dusky-footed woodrat stickhouses (houses) in four parcels in the San Mateo Highlands on Bunker Hill Road. This letter report summarizes our findings and provides recommendations for protection of woodrats.

A total of nine woodrat houses were found on site. All of the houses are in close proximity to the northern boundary of the site, and many can be seen from the top of slope. Five of the houses are in a cluster on lot 4. Of these 5, four are on the ground and one is in an oak tree. This cluster is within a large thicket of poison oak. Due to this, I was not able to place pin flags in immediate proximity of the houses.

The other four houses are also near the northern property boundary and visible from the top of slope. Lot lines were not marked in the field, but I estimate that two of the houses are on lot 1 and two on lot 2.

We understand that you are interested in scheduling tree removal this fall. If you wish to proceed with tree removal without disturbance to the houses, I could meet your tree removal team on site to identify woodrat house locations and aid in determining what trees cannot be removed in order to protect the houses. As only 9 houses were found, and 5 of these are in a cluster, the majority of tree removal could proceed without disturbance to the houses. It is important that the houses are well marked with either orange construction fencing or flagging tape so that it is easy for the tree removal team to see and avoid impact to houses.

It is assumed that all of the woodrat houses will eventually need to be dismantled to make way for grading. An alternative to having tree removal work avoid the houses is to move the houses now, prior to tree work. Per the Condition of Approval (Mitigation Measure BIO-2a):

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

As woodrat houses will need to be moved regardless, it may be prudent to move them now, prior to tree removal. Then tree removal can proceed in full without the need to take care for woodrat house avoidance. Moving a woodrat house requires a Memorandum of Understanding (MOU) with the California Department of Fish and Wildlife, and TRA could assist with this effort.

Please let me know if you have any questions and how you would like to proceed.

Sincerely,



Autumn Meisel
Senior Biologist

Pete Bentley - Fwd: Bunker Hill lots 1-4

From: Peter Bentley <gmagpaol8@gmail.com>
To: pbentley <pbentley@smcgov.org>
Date: 10/25/2013 12:02 PM
Subject: Fwd: Bunker Hill lots 1-4

----- Forwarded message -----
From: <JTUTTLEC@aol.com>
Date: Fri, Oct 25, 2013 at 11:01 AM
Subject: Fwd: Bunker Hill lots 1-4
To: gmagpaol8@gmail.com

From: dshu@smcgov.org
To: RHAGA@bkf.com, CLeung@smcgov.org
CC: jtuttlec@aol.com, mdeleon@bkf.com
Sent: 10/24/2013 10:08:32 A.M. Pacific Daylight Time

Subj: RE: Bunker Hill lots 1-4

Hi Camille and Roland

I sent Roland an email last night asking him to add the specific detail for each location so that homeowners would know what to repair, replace, in case they have to remove the unit at some point in the future.

Also, as this is a subdivision, Roland, would you make sure that the C3/C6 checklist is filled out for the entire 4 lots as a whole and not as single lots?

The outcome should be the same, but the reporting is different.

Thanks

Diana

Diana Shu

dshu@smcgov.org

650-599-1414

Please fill out a customer satisfaction survey:

<http://www.surveymonkey.com/s/QX7ZKHQ>

>>> Camille Leung 10/24/2013 10:02 AM >>>

Got it thanks.

Diana, please let us know what comments you have on the Exhibits. They pretty much just submitted the BLD permits, so we have a little bit of time (O&M Agreement needs to include approved Drainage Plan anyway, so we can't record the Agreement until all agencies have signed off and we know nothing is changing). The Agreement I'm guessing is pretty much the old template and will be updated with the standard language. *→ why now, not at BLD Final*

Roland, I will compare the old template and the new and will send you a tracked changes version for Jack to ok and a hard copy for him to sign. Please allow at least 2 weeks.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:

<http://www.co.sanmateo.ca.us/planning/survey>

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>>> Roland Haga <RHAGA@BKF.com> 10/23/2013 5:07 PM >>>

Camille and Diana,

Here is the information Camille requested (Word files O & M agreements, and Exhibits A & C and picture exhibits B in PDF) forwarded for your use in updating the O & M agreements for Lots 1 through 4. Please contact me if you need anything else. The attached information is based upon the O & M agreements BKF prepared and submitted Camille in December of 2011.

I will have a project engineer fill out a portion of the C.3 and C.6 checklist that Camille needs for updating the county's the Annual MRP report that she needs to submit to the state each year. We should have it complete by Friday and I will forward it by email via separate cover.

Best regards,
Roland Haga

Roland Haga, P.E., LEED®AP

Pete Bentley - Re: Before Trees are Cut

From: Peter Bentley <gmagpaof8@gmail.com>
To: <JTUTTLEC@aol.com>, pbentley <pbentley@smcgov.org>
Date: 10/25/2013 12:01 PM
Subject: Re: Before Trees are Cut

Jack:

Got the emails and the requests seem warranted. Other than the survey, (which she could ask me for), my only thought is, when the information is actually required. Seems more appropriate prior to final of the Building Permits. I also don't remember which condition requires approval by the Mosquito Abatement District. I'll check for condition on Monday and, if required, see when required. It doesn't seem necessary for tree removal.

In further discussions with the County, you may want to reconfirm you currently want to remove trees "only" and this requires "only" the Biology and Arborist studies and reports.

I'll give you a call on Monday after finding out what my future involvement will be in your project.

Pete

On Fri, Oct 25, 2013 at 10:54 AM, <JTUTTLEC@aol.com> wrote:

From: cleung@smcgov.org
 To: jtuttlec@aol.com
 Sent: 10/24/2013 10:42:42 A.M. Pacific Daylight Time
 Subj: Before Trees are Cut
 Hi Jack,

Per our conversation, please send me all copies of surveys. Once we get all the required survey, we will give the go ahead for tree removals.

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:

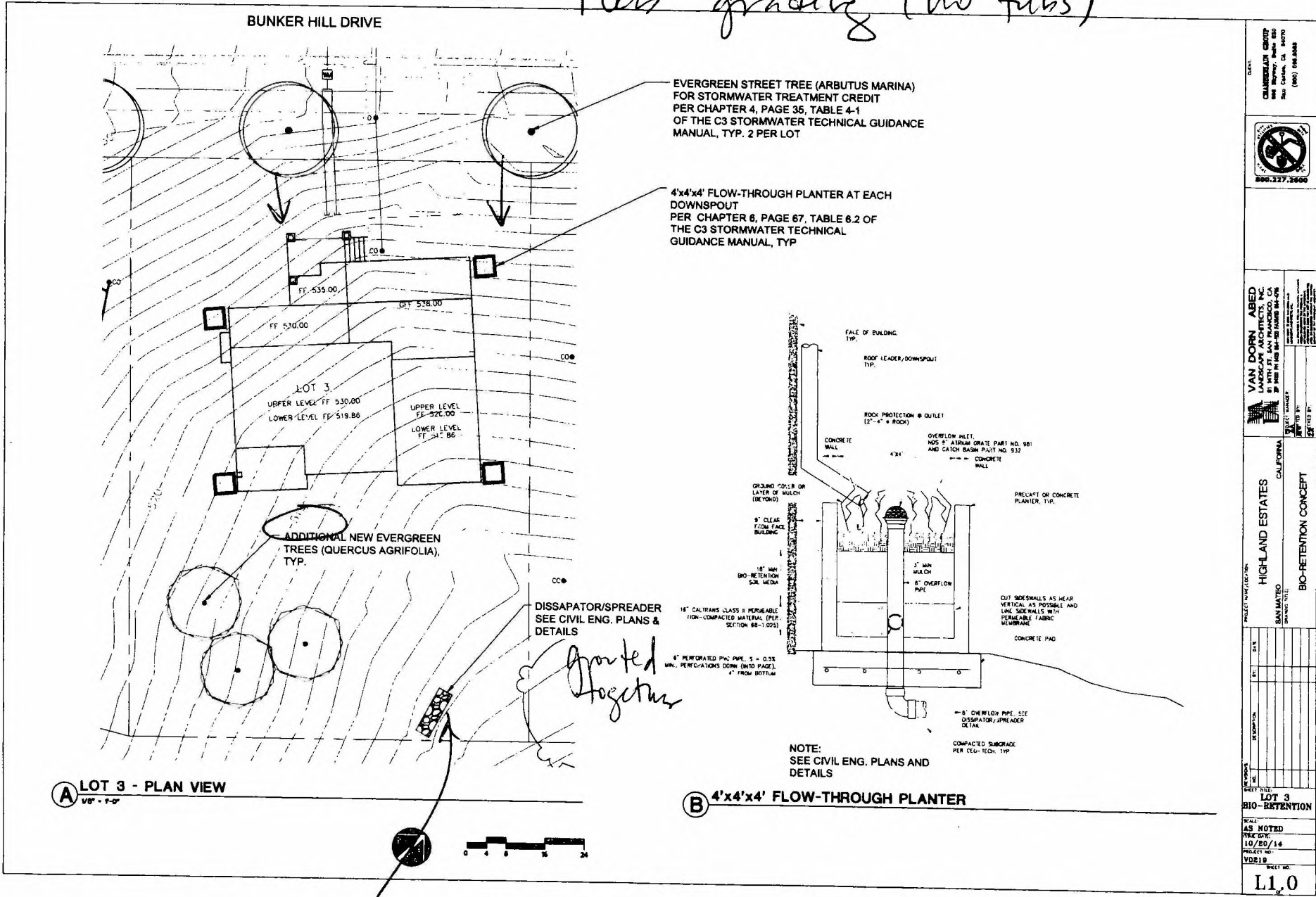
<http://www.co.sanmateo.ca.us/planning/survey>

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✓ OK to Submit to BUD
as Minor Mod.

AS Comments / OK w/ planter Boxes
move trees onto private property.
less grading (no subs)

10/27/14



CLIENT:
CALIFORNIA CREDIT
1000 Wilshire Blvd. 5th Fl.
Los Angeles, CA 90017
(800) 598-8088



VAN DORN ABED
LANDSCAPE ARCHITECTS, P.C.
1000 Wilshire Blvd. 5th Fl.
Los Angeles, CA 90017
(800) 598-8088

PROJECT NAME: **HIGHLAND ESTATES**
PROJECT NO.: **10/27/14**
DATE: **10/27/14**
DRAWN BY: **AS**
CHECKED BY: **AS**

DATE	
BY	
REVISION	
NO.	
SHEET TITLE	LOT 3 BIO-RETENTION
SCALE	AS NOTED
PROJECT NO.	10/27/14
PROJECT NO.	
SHEET NO.	L1.0

visible/maintainable by Plo.

Subj: **RE: Bio- retention, Flow-through planter exhibit**
Date: 10/27/2014 8:37:30 A.M. Pacific Daylight Time
From: sfitinghoff@cornerstoneearth.com
To: JTUTTLEC@aol.com

Jack,

We have reviewed the geotechnical aspects of this design from a geotechnical viewpoint. Use of the flow-through planters is suitable for this site from a geotechnical viewpoint. Actually, we prefer this solution over the in-ground filtration basin from a slope stability viewpoint. The water should be discharged as shown on BKF's previous plan.

Scott

Sincerely,

Scott E. Fitinghoff, P.E., G.E.
Principal Engineer
408-747-7503 (cell)



1259 Oakmead Parkway
Sunnyvale | California 94085
T 408-245-4600 Ext. 103 | F 408-245-4620

www.cornerstoneearth.com

From: JTUTTLEC@aol.com [mailto:JTUTTLEC@aol.com]
Sent: Monday, October 20, 2014 12:45 PM
To: Scott Fitinghoff
Subject: Fwd: Bio- retention, Flow-through planter exhibit

From: melissa@valainc.com
To: jtuttlec@aol.com
Sent: 10/20/2014 11:35:05 A.M. Pacific Daylight Time
Subj: Bio- retention, Flow-through planter exhibit

Hi Jack,

Please see attached. Let me know if this will work for you.

Thanks for your help.

Melissa

Melissa Willmann, LA
Van Dorn Abed, Landscape Architects, Inc.
81 14th Street. SF. CA. 94103
415-864-1921
Melissa@valainc.com

Monday, October 27, 2014 AOL: JTUTTLEC

From: <JTUTTLEC@aol.com>
To: <pbentley@smcgov.org>
Date: 10/28/2013 9:42 AM
Subject: Fwd: signed contract
Attachments: Woodratsurveyltrpt.pdf

From: meisel@traenviro.com
To: JTUTTLEC@aol.com
Sent: 10/25/2013 11:41:04 A.M. Pacific Daylight Time
Subj: RE: signed contract

Hi Jack,
Please find attached our letter report for the woodrat survey.
As for my schedule next week, I could meet at noon on Tuesday. I would
have to leave at 1, but I think this would be enough time.
Best,

Autumn Meisel
Senior Biologist
TRA Environmental Sciences, Inc.
(415) 254-0805

From: JTUTTLEC@aol.com [mailto:JTUTTLEC@aol.com]
Sent: Tuesday, October 22, 2013 1:41 PM
To: Autumn Meisel
Subject: Re: signed contract

Autumn,

Check is in the mail.

Jack

In a message dated 10/22/2013 1:32:11 P.M. Pacific Daylight Time,
meisel@traenviro.com (mailto:meisel@traenviro.com) writes:

Hi Jack,
Sorry you must have just missed me. Rushed back to wash off the poison
oak!

This site visit was a bit out of our policy as I had not received the 50% deposit check yet. Can you confirm that this will be either mailed or dropped off? Once received, I can continue work on this project (i.e. provide a summary and recommendations of my site survey).
Thank you!

Autumn Meisel
Senior Biologist
TRA Environmental Sciences, Inc.
545 Middlefield Road, Suite 200
Menlo Park, CA 94025
(415) 254-0805

From: _JTUTTLEC@aol.com (mailto:JTUTTLEC@aol.com)
[mailto:JTUTTLEC@aol.com]
Sent: Tuesday, October 22, 2013 1:23 PM
To: Autumn Meisel
Subject: Re: signed contract

Thanks Autumn,

I stopped by the project about 11:45 to try to catch you. Let me know the results with a telephone call. 650 595 5584.

Jack

In a message dated 10/22/2013 12:40:53 P.M. Pacific Daylight Time, _meisel@traenviro.com (mailto:meisel@traenviro.com) writes:

Hi Jack,
Attached is the signature page with our signature added. Can you please mail the 50% deposit check?
Thank you,
Autumn Meisel
Senior Biologist
TRA Environmental Sciences, Inc.
545 Middlefield Road, Suite 200
Menlo Park, CA 94025
(415) 254-0805

=

=

Pete Bentley - Fwd: Bunker Hill lots 1-4

From: Peter Bentley <gmagnao18@gmail.com>
 To: pbentley <pbentley@smcgov.org>
 Date: 10/28/2013 9:50 PM
 Subject: Fwd: Bunker Hill lots 1-4

----- Forwarded message -----

From: Peter Bentley <gmagnao18@gmail.com>
 Date: Fri, Oct 25, 2013 at 11:55 AM
 Subject: Fwd: Bunker Hill lots 1-4
 To: pbentley <pbentley@smcgov.org>

----- Forwarded message -----

From: <JTUTTLEC@aol.com>
 Date: Fri, Oct 25, 2013 at 11:01 AM
 Subject: Fwd: Bunker Hill lots 1-4
 To: gmagnao18@gmail.com

From: dshu@smcgov.org
 To: RHAGA@bkf.com, CLeung@smcgov.org
 CC: jtuttlec@aol.com, mdeleon@bkf.com
 Sent: 10/24/2013 10:08:32 A.M. Pacific Daylight Time

Subj: RE: Bunker Hill lots 1-4

Hi Camille and Roland

I sent Roland an email last night asking him to add the specific detail for each location so that homeowners would know what to repair, replace, in case they have to remove the unit at some point in the future.

Also, as this is a subdivision, Roland, would you make sure that the C3/C6 checklist is filled out for the entire 4 lots as a whole and not as single lots? The outcome should be the same, but the reporting is different.

Thanks

Diana

Diana Shu

dshu@smcgov.org

650-599-1414

Please fill out a customer satisfaction survey:

<http://www.surveymonkey.com/s/QX7ZKHQ>

>>> Camille Leung 10/24/2013 10:02 AM >>>

Got it thanks.

Diana, please let us know what comments you have on the Exhibits. They pretty much just submitted the BLD permits, so we have a little bit of time (O&M Agreement needs to include approved Drainage Plan anyway, so we can't record the Agreement until all agencies have signed off and we know nothing is changing). The Agreement I'm guessing is pretty much the old template and will be updated with the standard language.

Roland, I will compare the old template and the new and will send you a tracked changes version for Jack to ok and a hard copy for him to sign. Please allow at least 2 weeks.

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:

<http://www.co-sanmateo.ca.us/planning/survey>

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>>> Roland Haga <RHAGA@BKF.com> 10/23/2013 5:07 PM >>>

Camille and Diana,

Here is the information Camille requested (Word files O & M agreements, and Exhibits A & C and picture exhibits B in PDF) forwarded for your use in updating the O & M agreements for Lots 1 through 4. Please contact me if you need anything else. The attached information is based upon the O & M agreements BKF prepared and submitted Camille in December of 2011.

I will have a project engineer fill out a portion of the C.3 and C.6 checklist that Camille needs for updating the county's the Annual MRP report that she needs

to submit to the state each year. We should have it complete by Friday and I will forward it by email via separate cover.

Best regards,
Roland Haga

Roland Haga . P.E., LEED®AP
Associate/Project Manager

BKF ENGINEERS
CIVIL ENGINEERS, LAND SURVEYORS, PLANNERS
255 Shoreline Drive, Suite 200 | Redwood City, CA 94065
Tel (650) 482-6300 | Direct (650) 482-6407

www.bkf.com; rhaga@bkf.com

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]
Sent: Wednesday, October 23, 2013 8:58 AM
To: Roland Haga; Diana Shu
Subject: Re: Bunker Hill lots 1-4

Thanks Diana.

Roland, if its easier, just send me the soft copies of the agreements you already prepared (word files). I will make the necessary updates.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Diana Shu 10/22/2013 6:10 PM >>>

Hi Roland

I spoke to Camille, she needs this info for the Annual MRP report that she needs to submit to the state each year. So thank you in advance for your help.

I checked thru my list of submittals via email and I do not see a copy of the C3/C6 checklist, or a copy of the Operations and Maintenance Agreement. So you probably sent them directly to Camille.

I do have a copy of your stormwater calcs for lots 1-4 on Bunker Hill and believe there is enough information for you to transfer data onto the C3/C6 checklist.

I have attached the latest C3/C6 checklist for your use.

Also attached is a copy of the latest O&M agreement. You will need to fill out the name, address, etc., attach your O&M exhibits to this form, then submit to Camille for review prior to execution of the agreement. This document should be given to the new homeowner so that they can submit an annual report to Camille; therefore it needs to be a stand alone document so that they can do the maintenance themselves if they so choose.

Other forms if needed may be found here at this link:

<http://www.co.sanmateo.ca.us/portal/site/planning/menuitem.2ca7e1985b6c8f5565d293e5d17332a0/?vgnextoid=eeeeacfa49fd96310VgnVCM1000001937230aRCRD&vgnnextchannel=3ae72b2432603210VgnVCM1000001937230aRCRD&appInstanceName=default>

Thanks
Diana

Diana Shu
dshu@smcgov.org
650-599-1414

Please fill out a customer satisfaction survey:

Pete Bentley - Fwd: Before Trees are Cut

From: Peter Bentley <gmagpaof8@gmail.com>
To: pbentley <pbentley@smcgov.org>
Date: 10/28/2013 9:51 PM
Subject: Fwd: Before Trees are Cut

----- Forwarded message -----

From: Peter Bentley <gmagpaof8@gmail.com>
Date: Fri, Oct 25, 2013 at 11:54 AM
Subject: Re: Before Trees are Cut
To: JTUTTLEC@aol.com, pbentley <pbentley@smcgov.org>

Jack:

Got the emails and the requests seem warranted. Other than the survey, (which she could ask me for), my only thought is, when the information is actually required. Seems more appropriate prior to final of the Building Permits. I also don't remember which condition requires approval by the Mosquito Abatement District. I'll check for condition on Monday and, if required, see when required. It doesn't seem necessary for tree removal.

In further discussions with the County, you may want to reconfirm you currently want to remove trees "only" and this requires "only" the Biology and Arborist studies and reports.

I'll give you a call on Monday after finding out what my future involvement will be in your project.

Pete

On Fri, Oct 25, 2013 at 10:54 AM, <JTUTTLEC@aol.com> wrote:

From: cleung@smcgov.org
To: jtuttlec@aol.com
Sent: 10/24/2013 10:42:42 A.M. Pacific Daylight Time
Subj: Before Trees are Cut
 Hi Jack,

Per our conversation, please send me all copies of surveys. Once we get all the required survey, we will give the go ahead for tree removals.

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

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Pete Bentley - Chamberlain Project (New time)

From: Heather Hardy
To: Camille Leung; Jim Eggemeyer; Pete Bentley; Steve Monowitz
Date: 10/29/2013
Time: 11:00 AM - 11:30 AM
Subject: Chamberlain Project (New time)
Place: Room 201
CC: Heather Hardy

Heather Hardy | Executive Secretary, Planning and Building Department | County of San Mateo | 455 County Center 2nd Floor Redwood City, CA 94063 | (650)363-1859 |

From: Camille Leung
To: jtuttlec@aol.com; noel chamberlain
CC: Jim Eggemeyer; Pete Bentley; RHAGA@BKF.com; Steve Monowitz
Date: 10/31/2013 10:18 AM
Subject: Planner Update - Bunker Hill Lots
Attachments: Highlands COA Excel Table.xlsx

Hi Jack,

Jim, Steve, Pete and I met on Tuesday regarding the oversight of the Bunker Hill project by the County going forward. It was re-confirmed that Pete (who sheperded you through the Parcel Map stage) will transfer oversight to me for the BLD and mitigation monitoring process. So, regarding the Bunker Hill lots, I will be your project planner. Please use me as your point of contact :)

Several other items were also decided at the meeting:

1) At this time, the County will directly oversee the mitigation monitoring of the project. The property owner will need to enter into a contract with the County directly for this prior to any work being done at the property. A \$5,000 deposit is required, where staff time-and-materials spent on monitoring will be reimbursed. Should this amount be exceeded, the County will request additional funds. I'll send a draft contract next week.

While the property owner is free to contract with anyone else to help with their compliance efforts with the project, actual compliance with mitigation measures will be determined by the County, according to the attached table. The table broken down into milestones (prior to tree removal, prior to Grading, etc) for which adequate documentation/inspection will need to provided/completed before the County can "green light" applicable work.

2) For the next milestone, tree removal, I will need all required bio reports prior to "green lighting" the tree removals, as shown in the table. Additionally, should tree removals be done prior to issuance of the BLD permit, it should be noted that 1) a notice will be sent to neighbors prior to tree removals (Condition 4.t.iv.) and 2) survey of remaining trees would need to be done again within 2 weeks of actual ground disturbance if disturbance is to occur during the breeding season (see Mit. Measure BIO-2b).

Please feel free to use me as a resource in reviewing the scope of services for your contract(s) with biologist(s) to ensure necessary review of issues required by the mitigation measures.

3) I assume all grading for 4 lots will be done at once. Under this assumption, only 1 hard card will be issued (after all 4 BLD permits have been issued).

4) I have all of your BLD plans and will start reviewing them this week. I requested an extra set of plans for Mosquito Abatement that Roland was going to drop off. I am coordinating with him to get this.

That's it for now :) I look forward to working with you again! Please feel free to call me any time :)

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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545 Middlefield Road, Suite 200
Menlo Park, CA 94025-3472
Tel: (650) 327-0429
Fax: (650) 327-4024
www.TRAenviro.com

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NOV 04 2013

San Mateo County
Planning Division

November 1, 2013

Highland Estates Development I, LLC
Jack T. Chamberlain, Member
655 Skyway Road
Suite 230
San Carlos, CA 94070

Re: Biological Survey Report- Implementation of Biological Mitigation Measures prior to Tree Removal at San Mateo Highlands

Dear Mr. Chamberlain:

This letter reports on the status of implementation of mitigation measures for the protection of biological resources prior to tree removal within four parcels (approximately 1 acre) in the San Mateo Highlands on Bunker Hill Road. Tree removal is planned for this fall, 2013.

The following mitigation measures are addressed:

Mitigation Measure BIO-2a: *No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.*

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

Mitigation Measure BIO-2b: *No earlier than two weeks prior to commencement of construction activities that would occur during the nesting/breeding season of native bird species potentially nesting/roosting on the site (typically February through August in the project region), a survey for nesting birds shall be conducted by a qualified biologist experienced with the nesting behavior of bird species of the region. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present in the construction zone or within 500 feet of the construction zone. The surveys shall be timed such that the last survey is concluded no more than two weeks prior to initiation of construction or tree removal work. If*

ground disturbance activities are delayed, then an additional pre-construction survey shall be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c: *Prior to the commencement of construction activities during the breeding season of native bat species in California (generally occurs from April 1 through August 31), a focused survey shall be conducted by a qualified bat biologist to determine if active maternity roosts of special-status bats are present within any of the trees proposed for removal. Should an active maternity roost of a special-status bat species be identified, the roost shall not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, then the tree may be removed. Species-appropriate replacement roosting habitat (e.g., bat boxes) shall be provided should the project require the removal of a tree actively used as a maternity roost. The replacement roosting habitat shall be subject to the approval of the CDFG.*

Our findings with respect to these three mitigation measures are discussed below.

Mitigation Measure BIO-2a

Fall is outside of the birthing season for dusky-footed woodrats. Dusky-footed woodrats breed from December to September, with the majority of litters born in mid-spring. Therefore, no nests would be "active with young" in the fall. Outside of the active breeding season, the mitigation measure for woodrats calls for the dismantling of woodrat nests to allow individuals to relocate to suitable habitat within the adjacent open space.

On Tuesday, October 22, 2013, a survey for San Francisco dusky-footed woodrat stickhouses (houses) in the four parcels was performed. A total of nine woodrat houses were found on site. All of the houses are in close proximity to the northern boundary of the site, and many can be seen from the top of slope. Five of the houses are in a cluster on lot 4. Of these 5, four are on the ground and one is in an oak tree. This cluster is within a large thicket of poison oak.

The other four houses are also near the northern property boundary and visible from the top of slope. Lot lines were not marked in the field, but it was estimated that two of the houses are on lot 1 and two on lot 2.

Tree removal can proceed in either of two ways. If you wish to proceed with tree removal without disturbance to the houses, TRA could meet your tree removal team on site to identify woodrat house locations and aid in determining what trees cannot be removed in order to protect the houses. As only 9 houses were found, and 5 of these are in a cluster, the majority of tree removal could proceed without disturbance to the houses. It is important that the houses are well marked with either orange construction fencing or flagging tape so that it is easy for the tree removal team to see and avoid impact to houses.

It is assumed that all of the woodrat houses will eventually need to be dismantled to make way for grading. An alternative to having tree removal work avoid the houses is to dismantle the houses now, prior to tree work. As woodrat houses will need to be dismantled regardless, it may be prudent to dismantle them now, prior to tree removal. Then tree removal can proceed in full without the need to take care for woodrat house avoidance. Dismantling a woodrat house requires a Memorandum of Understanding (MOU) with the California Department of Fish and Wildlife, and TRA could assist with this effort.

Mitigation Measure BIO-2b

Fall is outside of the bird nesting season and no surveys for nesting birds are needed if trees are removed this fall.

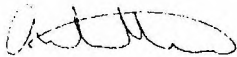
If other project activities, including grading and construction, begin prior to February 1 and carry on into the bird nesting season with no break in activity, no nesting bird survey will be needed. However, if activities begin during the nesting season (Feb. 1 to Aug. 31), a survey for tree, shrub, and ground nesting birds will be required. No more than two weeks shall elapse between the survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c

The breeding season for bats generally occurs from April 1 through August 31. If tree removal is conducted this fall, no survey for roosting bats is required per mitigation measure BIO-2c. If tree removal is delayed until after April 1, a survey for roosting bats will be required as described under the mitigation measure above.

Thank you for calling on TRA, and please let me know if you have any questions.

Sincerely,



Autumn Meisel
Senior Biologist



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

COUNTY OF SAN MATEO PLANNING AND BUILDING DEPARTMENT

Erosion Control Plan Comment Letter

Comment Letter Date: November 7, 2013	
Project EC Point of Contact:	
Case No.: BLD2013-0192 - 1795	EC Plan Reviewer: C. Leung
EC Plan Date: July 10, 2013	EC Plan 2nd Reviewer: ---

The project Erosion and Sediment Control Plan (EC Plan) has been reviewed by the Planning Erosion Control Team (EC Team) and has been found to be lacking required information. Please revise your EC Plan to address the comments in this letter and re-submit two copies of the revised plans to the Building Inspection Section Counter. Your permit will not be issued until these comments, as well as comments from other review agencies, are addressed.

COMMENTS ON THE EROSION AND SEDIMENT CONTROL PLAN (EC PLAN):

A. Make the Following Changes on the Project EC Plan (difficult projects only):

Unless as otherwise noted, all comments apply to all Lots 1 through 4:

1. Delineation of Area of Work

- a. Separate erosion and sediment control plans are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage of the project.

Additional plan sheets are required for each of the following phases (difficult projects only):

- Grading and retaining wall(s) phase.
- Foundation(s) and construction phase.
- If the piece of land on Lexington will be used for staging, provide an Erosion Control Plan for this site (include proposed screening, construction entrance, etc.).

d. Protect Storm Drains Inlets

Are there storm drain inlets on Bunker Hill? If so, show inlets and proposed protection for storm drain inlets with fiber rolls, rock sacks, or other measures that keep sediment from entering the drain. Do not install filter fabric or filter baskets in the drain. Indicate the measures to be used and their location.

e. Protect Undisturbed Areas

Use silt fence or orange fencing along the "limit of grading" to protect areas that will not be disturbed during grading.

For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.

f. Tree Protection

On the EC Plan, show which trees will not be removed and show proposed protection measures to be used (e.g., orange barrier fence). Tree protection shall be provided at the driplines. Do not locate any other uses within the tree driplines.

Protect existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.

2. Prevent Erosion of Unstable or Denuded Areas

- a. Show new contour lines for fill on Lot 1. Show all proposed retaining walls on the EC Plan, including areas that will be used for stockpiling earth and storing construction materials.
- d. Direct water from construction areas to designated temporary filtration/detention areas.

3. Show Locations of Logistics Areas

- a. Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the plans. Show how they will be accessed and show protection of the access routes.
- b. On Erosion Control Plan, show Location of utility trenches, indicate utility types, and identify timing of installation.

4. Construction Access Routes

- a. Provide designated area for parking of construction vehicles, using aggregate over geo-textile fabric.
- b. Show haul roads or access points used by excavation equipment, trucks or forklifts etc., on the plans. For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the plans. Materials for this purpose are required to be stored on-site.

5. Containment of Construction Materials and Waste

- a. Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits. No concrete, mortar or stucco washout is allowed on the soil/ground. Specify the method used to contain the washout and the location.
- b. Locate portable toilets away from surface water locations and storm drain inlets.
- c. Show storage location and containment (as necessary) of construction materials during work, as well as afterhours/ weekends). Show the location of lumber, gravel, and materials storage areas on the plans. Show how they will be accessed and show protection of the access routes.
- d. Show areas and proposed protection of temporary stockpiles using anchored-down plastic sheeting in dry weather. In wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.
- e. Indicate the location of refuse piles and debris boxes on the plans. Show how they will be accessed and show protection of the access routes.

6. Construction Schedule

- a. Include anticipated construction schedule and/or construction duration (in weeks or months).
- b. An inspection to verify the installation of erosion control measures is required prior to Building Permit issuance. Please schedule an erosion control inspection with Camille Leung (phone number: 650-363-1826).

B. Add the Following Standard Comments on the Project EC Plan:

- Erosion Control Point of Contact: Please provide an Erosion Control Point of Contact including name, title/qualifications, email, and two phone numbers. This person will be responsible for erosion control at the site and will be the County's main point of contact if corrections are required.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Construction sites are required to have erosion control materials on-site during the "off-season."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
- The tree protection shall be in place before any grading, excavating or grubbing is started.

C. Suggestions to Consider to Avoid Erosion Control Violations and Delays in Construction:

1. Installation of Utilities Before Winter is Highly Recommended

When utilities are located within a new paved driveway (e.g., Lot 3), it is HIGHLY recommended this utility be installed and covered as soon as possible and prior to the winter season (October 1 – April 30). The area could then be paved and used as a stabilized construction entrance during the wet season.

- a. Please provide an anticipated timeframe for paving of the new driveway.
- b. If the driveway will remain unpaved throughout the wet season, the applicant will be required to implement erosion controls in addition to the stabilized construction entrance(s). If any measures are found to be deficient, the project construction will be delayed until measures are found to be adequate by the building inspector.

D. For Your Reference Only – Erosion Control Policies for Construction Sites:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are

made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

FRM00506(EC Plan Letter).DOCX
(9/9/13)

Nov. 7

Dates: ~~October 18~~, 2013

REVISED on 1/2/14 to address 12/26/13 re-submittal

Prepared by: Camille Leung, Planning

BLD Comments on Chamberlain Lots 1-4 (Comments apply to all lots, unless otherwise stated):

Architectural:

Notes: These comments were not addressed in the 12/26/13 re-submittal.

1. Provide Ridge Elevations
2. Heights: Approved Height is 32-feet (Lot 1 and 2 exceed 32-feet)
- ~~3. Stories: Houses were approved at 2 stories (Lot 3 is 3 stories)~~
4. Coverage: Please provide Lot Coverage amounts on title sheet (40% is max.)
5. FAR: Please provide FAR calcs on title sheet. All lots appear to exceed approved FARs (Approved FAR: 1) 2679, 2) 2679, 3) 2726, 4) 2726)
6. Elevation: Lot 1 does not comply with approved elevation (where roof over garage slopes down towards front)
7. Elevation: Please provide color rendering and samples, with notes on materials used

this is a "change"
JNL wasn't sure it was
a modification
disclosure's important +
fair to P/O.

Minor Mod = here's
why: in our review:
height is primary

of stories
odd issue w/ this

lot
Modification is
minor

Jim Eis
fully
on board.

w/1
mod. 5gft.
height.

Impacts
meet the
Standard
Given
all
those
factors

Civil:

Notes: Revised to address the 12/26/13 re-submittal.

1. (COMMENT ADDRESSED) Landscaping: A total of ~~18~~ 14 replacement trees are required. Only 11 are provided. Please indicate that the replacement trees must be at least 15-gallon size.
2. New Landscaping Comments:
 - a. The Elderberry to be removed on Lot 4 should be replaced with an Elderberry if elderberry is a native species (from my research, it is a native species), Per Condition 4.h.
 - b. Guarantee from Landscape Architect seems only to last for 1 year (Note 13 on Page L5.0). Per Condition 4.h., replacement trees will need to last 3 years minimum. Please indicate who will be responsible for tree maintenance for 3 years and what is involved in tree maintenance activities.
3. Landscaping: Please provide an estimate of total new landscaping (I didn't see this on the plans). If the amount exceeds 2500 sq. ft., all landscaping must comply with the County

Minor
mod OK
2/11/14

Water Efficient Landscape Ordinance. Please demonstrate compliance with the requirements of this Ordinance by having the landscape architect submit in writing that the project complies with the County's Water Efficient Landscape Ordinance.

4. (INCLUDED IN COMMENT 4) Construction/Staging Limit: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.
5. See Comments on Erosion Control (in a separate comment letter dated 1/2/14)
6. (COMMENT ADDRESSED) Grading Plan: Where is fill being deposited on Lot 1 (40 cy)? Show location and finished contours. Provide cross section per Condition 18.



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

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County of San Mateo Planning and Building Department

Requirements for Erosion and Sediment Control

Soil erosion and sedimentation pose a serious threat to water quality:

- **Erosion** is the wearing away of the ground surface as a result of the movement of wind or water.
- **Sedimentation** is the accumulation of soil and other matter transported from the land by wind or water.

The State Water Resources Control Board mandates the regulation of runoff and the treatment of stormwater into drainage systems and waterways under the National Pollutant Discharge Elimination System (NPDES) permit, including construction stormwater from project sites. The prevention of stormwater pollution is a responsibility shared by everyone involved in the development/construction process, including Project engineers, developers, contractors, property owners, municipal planners, and municipal building inspectors.

The San Mateo County Planning and Building Department requires the following types of projects to submit an erosion and sediment control plan for review and approval prior to the issuance of any building permit:

- ▶ Any site with land disturbance of 1 acre or more.
- ▶ All sites where the scope of development or land alteration requires a Grading Permit.
- ▶ New or Major (50% valuation or greater) Building Projects where development, construction, or land alteration will occur on a slope greater than or equal to 20% and/or within 100 feet of a creek, wetland, or coastline.
- ▶ New pool construction.
- ▶ Demolition projects involving removal of a building pad during or just before the wet season, where the demolition and construction permits are not issued concurrently.
- ▶ Any project involving work within a waterway.

- ▶ Construction sites within the Fitzgerald Marine Reserve ASBS watershed (map included as Attachment A) that involve soil disturbance and are subject to a building or grading permit.
- ▶ Projects with demolition, grading or construction happening during or just prior to the wet season (subject to actual weather conditions, but typically October 1 through April 30).

Erosion and Sediment Control Plan Requirements:

- It is important that an erosion and sediment control plan is effective in preventing illicit discharge. Careful examination of the specific project site during project design to identify potential problems posed by slope, drainage patterns, and soil types is important in preparing an effective erosion and sediment control plan.

Submittal Requirements for a Planning and/or Building Permit:

- Submit three (3) full-size (24" x 36") identical copies of the erosion and sediment control plans as separate collated sets with the planning and/or building permit application submittal. For projects including those requiring a Grading Permit, separate erosion and sediment control plans are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage of the project.

Erosion and Sediment Control Plan Requirements:

- The erosion and sediment control plan shall be overlaid on the project grading plan(s) or site plan if there is no grading plan.
- The plan shall show what Best Management Practices (BMPs) will be used, when, and where, specific to the project scope, along with the total disturbance area and installation details and notes for the proposed BMPs. Measures include those necessary to delineate areas of work/disturbance, prevent erosion of unstable or denuded areas, plan for construction staging and storage logistics, construction of stabilized access points, and proper containment measures for construction materials and waste (see attached checklist.)
- Include an anticipated demolition/construction schedule and construction duration (in weeks or months).
- Erosion Control Point of Contact: Include name and contact information for the person responsible for maintaining erosion and sediment control measures throughout the term of the permit on the EC Plan or on the Title Sheet.
- For projects, including those requiring a Grading Permit, a licensed civil engineer experienced in erosion and sediment control or a certified professional soil erosion and sediment control specialist shall prepare the erosion and sediment control plan.

- Erosion and Sediment Control Plans shall comply with all Conditions of Approval of the associated permit(s).
- Boundary lines of the site.
- Vicinity of the site in relation to the surrounding adjacent areas.
- Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site. The contour lines shall be at intervals sufficient to show the configuration of the ground before disturbance.
- The location of all existing buildings, structures, easements, or underground utilities.
- The location of all proposed buildings, structures, retaining walls, easements, or underground utilities.
- Location, width, direction of flow and approximate location of top and toes of banks of any watercourses.
- Location and types of existing vegetation on the site. Within 25 feet of any cut or fill, the plan shall identify the location, diameter, species and appropriate elevation at the base of all trees over 12 inches in diameter (or 6 inches in diameter if project is located in the Emerald Hills area) measured at 4 1/2 feet above average ground level.
- Areas of the site currently experiencing or susceptible to erosion problems.
- Existing drainage patterns and direction of flow.
- Final contours after proposed development.
- Limits of disturbed areas.
- Areas not to be disturbed and off-limits to construction activity.
- Location of proposed vegetative erosion control measures (e.g., seeding, landscaping), including type, quantity, planting schedule, and irrigation.
- Location and details of all proposed drainage systems, walls, cribbing or other erosion protection devices to be constructed in connection with, or as a part of, the proposed work.

Implementation of Erosion and Sediment Control Plans:

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made (as may be required by the Building Inspector, changing field conditions, etc.), revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time and may cancel any requested inspection if any measures

are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection that the site is stabilized, either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

Attachment A: *General Erosion and Sediment Control Plan Checklist*

Attachment B: *Fitzgerald Marine Reserve ASBS Watershed Map*

FRM00507 (EC COUNTER HANDOUT).DOCX
(11/12/13)

Case No.:	EC Plan Date:	EC Reviewer:
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General Erosion and Sediment Control Plan Checklist

(Best Management Practices to be used during Site Preparation and Construction)

This checklist is utilized by the County Planning and Building Department's Erosion Control Team (EC Team) to review the required Erosion and Sediment Control Plan (EC Plan) for substantial grading projects and building permits for projects constructed in the wet season (October 1 to April 30) and other projects as necessary. For timely review and approval of your EC Plan, use this checklist as a guide in the preparation of the EC Plan.

A complete Erosion and Sediment Control Plan (Plan) should include the following (as applicable to the site and project):

N/A	Complies	
		1. Delineation of Area of Work
		a. For projects, including those requiring a Grading Permit, separate erosion and sediment control plans are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage.
		b. Show all areas of construction, including but not limited to: Structures, retaining walls, roads, drives, utilities, trenches, scaffolds, catch basins, etc.
		c. Protect surface water locations, providing primary control measures (e.g., silt fence along outer buffer zone of creek; do not disturb riparian areas) and secondary control measures (e.g., fiber rolls) in disturbed areas sloping toward the creek/ocean.
✓		d. Protect storm drain inlets using permeable rock sacks and/or fiber rolls.
		e. Maximize and protect areas to be undisturbed (sensitive areas and buffer zones), using a vegetative buffer strip or fence/barrier.
✓		f. Identify and protect trees, using fencing placed along driplines.
✓		g. Prevent runoff to off-site areas using perimeter controls (diversion berms, silt fencing, and/or fiber rolls).
		h. Provide an anticipated construction schedule and/or construction duration (in weeks or months).
		2. Prevent Erosion of Unstable or Denuded Areas
		a. Show all proposed retaining walls.
		b. Indicate the location and method of erosion control on disturbed bare earth areas. Use seeding and/or mulching and the following, as necessary: i) (For slopes 3:1 or greater) Anchored erosion control blankets (rice straw or coconut). ii) (For slopes less than 3:1) Anchored fiber fabric/netting or surface roughening.
		c. Use diversion berms to divert water from unstable or denuded areas (top and base of a disturbed slope, grade breaks where slopes transition to a steeper slope).
		d. Show any temporary detention areas for stormwater and stabilization of those areas.
		3. Show Locations of Logistics Areas
		a. Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the plans. Show how they will be accessed and show protection of the access routes. pg 11.8
		b. Show location of utility trenches, indicate utility type.
		4. Construction Access Routes
✓		a. Use stabilized designated access points, using 3"-4" fractured aggregate over geo-textile fabric, over the first 20 feet of the property.
✓		b. Provide designated area for parking of construction vehicles, using aggregate over geo-textile fabric.
		c. Show all access roads/ramps used for excavation/backfill, earth boring, fork lift/crane access (second floor construction). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet.
		5. Containment of Construction Materials and Waste
✓		a. Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits.
✓		b. Locate portable toilets away from surface water locations and storm drain inlets.
		c. Show storage location and containment of construction materials during work, as well as afterhours/weekends.
✓		d. Cover temporary stockpiles using anchored-down plastic sheeting in dry weather. In wet weather or for longer storage, use seeding and mulching, soil blankets or mats.
✓		e. Indicate the location of refuse piles and debris box locations on the plans. Show how they will be accessed and show protection of the access routes. <i>Indicate in each parcel</i>

confirm w/ Camille.
amount of grading

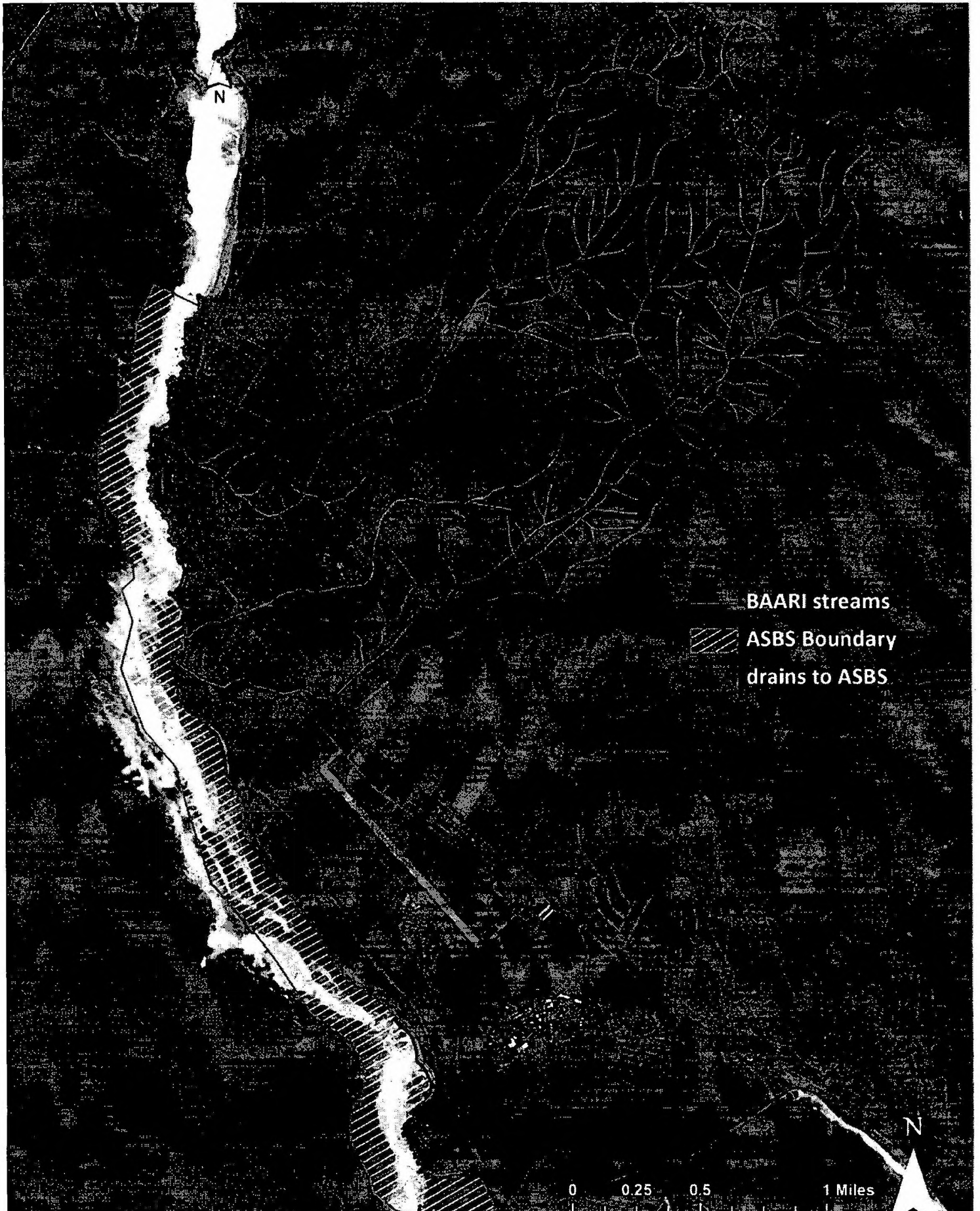
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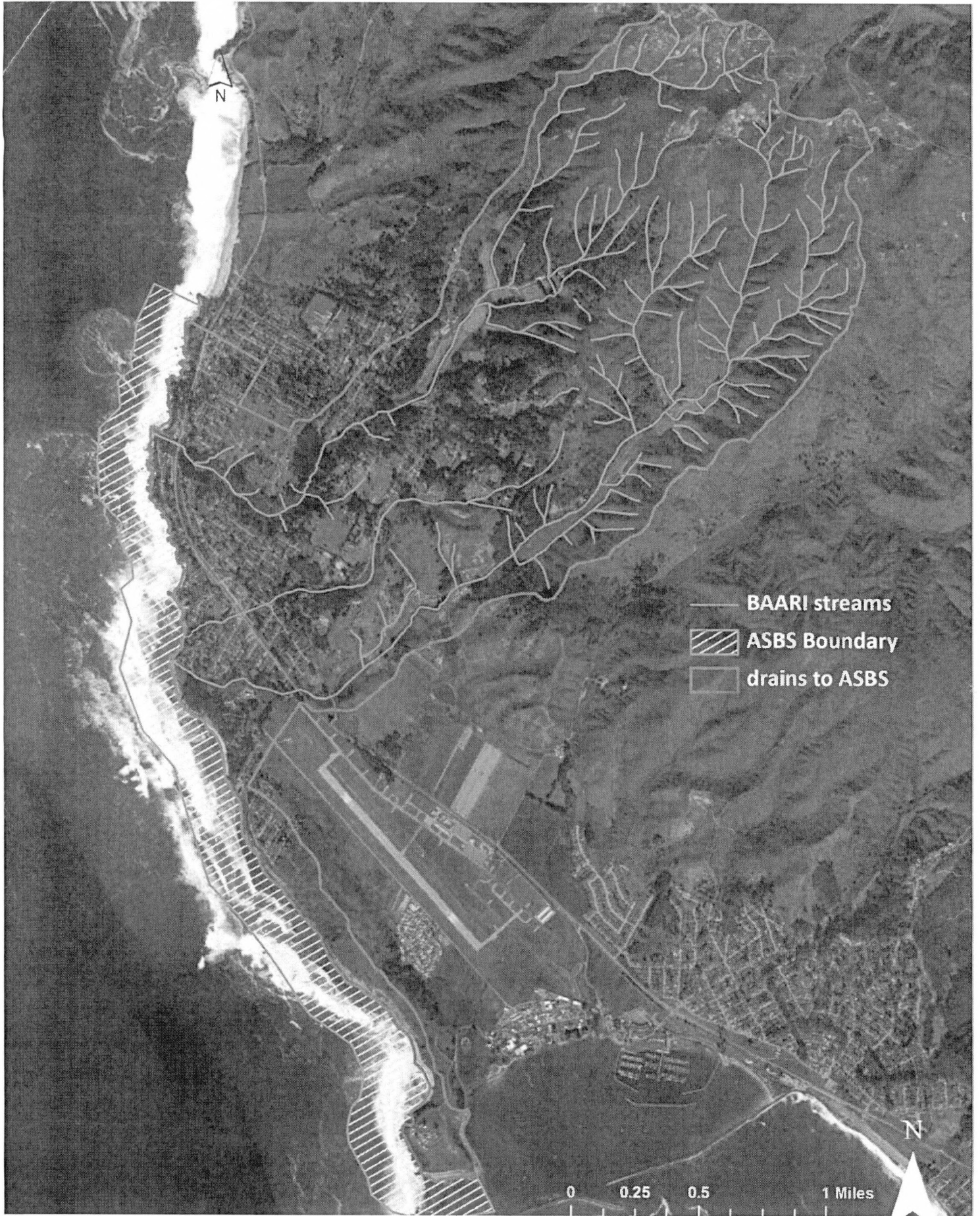
6. Other Required Permits	
	Is the Project Exempt or covered under a County Grading Permit? <input type="checkbox"/> Grading Permit Required
	Does project disturb 1 acre (43,560 sq. ft.) of area? If Yes:
	<input type="checkbox"/> Applicant shall file NOI with State Water Resources Control Board for State General Construction Activity NPDES Permit (prior to issuance of building permit, applicant must submit WDID Number to Project Planner).
7. Standard Comments	
✓	Erosion Control Point of Contact: Please provide an Erosion Control Point of Contact including name, title/qualifications, email, and two phone numbers.
0	Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
0	Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
30 ✓	Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
31 ✓	Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
0	Use sediment controls or filtration to remove sediment when dewatering site and obtain Regional Water Quality Control Board (RWQCB) permit(s) as necessary.
✓ 33	Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
34 ✓	Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
35 ✓	Limit construction access routes to stabilized, designated access points.
36 ✓	Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
0	Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and Construction Best Management Practices.
0	Placement of erosion materials at these locations are required on weekends and during rain events: (List locations)
48 ✓	The areas delineated on the plans for parking, grubbing, storage, etc., shall not be enlarged or "run over."
49 ✓	Construction sites are required to have erosion control materials on-site during the "off-season."
50 ✓	Dust control is required year-round.
51 ✓	Erosion control materials shall be stored on-site.
52 ✓	Use of plastic sheeting between October 1 and April 30 is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.
53	Tree protection shall be in place before any grading, excavating or grubbing is started.

Staff Only:

1. Arrange for second review of EC Plan. Hand second reviewer plans and Draft Comment Letter.
2. If plan is incomplete:
 - a. Give failed plans and copy of Comment Letter back to first reviewer.
 - b. First reviewer puts a "PEND" on "EC Office Activity," reference Comment Letter (should be imported into Case "Documents" in permit system).
 - c. Send Comment Letter via email to EC POC (cc: Planner for BLD/PLN). If no EC POC, email EC POC form to applicant.
 - d. Once revised plan is submitted, revised plan goes to first reviewer.
3. Once plan is complete, first reviewer signs off "EC Office Activity." Make sure EC POC is entered into the case as a "Person" (add note that this is the EC POC).
4. Add "Final by Other Agency" but do not sign off! Add this note: "The property owner shall demonstrate via building inspection that the site is stabilized, either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy."
5. If site is SWRS Site, make sure SWRS Activity is "PEND" and note regarding weekly/monthly inspections is added.
6. Stamp plans.

Frm00509(EC Checklist).docx (10/9/13)





Case No.:

**San Mateo County Planning and Building Department
EROSION CONTROL POINT OF CONTACT FORM**

Acknowledgement of Erosion Control Policies for Grading and/or Construction Sites	
<i>Initial</i>	<i>Policy</i>
	Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective, as determined by the building inspector.
	If significant field changes are made (e.g., as requested by the building inspector, to address changing field conditions, etc.), revised plans must be submitted for approval.
	The building inspector has the authority to require additional measures at any time and <u>may cancel any requested inspection</u> if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time.
	The site shall be stabilized, either with adequate erosion control or landscaping, as determined by a building inspector, prior to issuance of the Certificate of Occupancy.

I acknowledge the above policies, am responsible for erosion control at the site, and will be the County's main point of contact if corrections are required. I acknowledge that if corrections are not made in a timely manner, the violation will be escalated to a Stop Work Notice and fines will apply.

Name of Project Erosion Control Point of Contact

License (if applicable)

Phone Number (Cell)

Phone Number (Office)

Mailing Address

Email

Signature

Date

Office Use Only: EC Point of Contact should be added as "Agent" in the building case (with ID in note section that it is the EC Point of Contact).

Subj: **FW: Highland Scan**
Date: 11/11/2013 12:20:21 P.M. Pacific Standard Time
From: markg@markgrossinc.com
To: jtuttlec@aol.com

Jack here is what was approved and as we moved forward on the job there was tweaking to the plans.

First to make them fit better on the site and work with the slope and the next was to make them conform more the Architecture in the area.

Let me know if this will work,

Mark



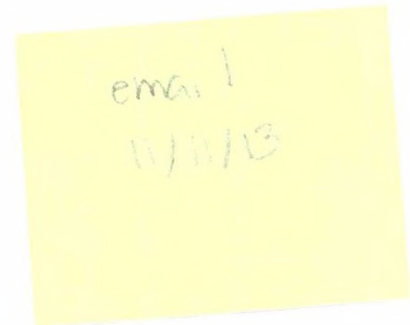
Mark Gross, AIA

Mark Gross & Associates, Inc | Architecture + Planning

8881 Research Drive, Irvine CA 92618

T (949)387-3800 Ext. 201 | F (949)387-7800

markg@markgrossinc.com | www.markgrossinc.com



**FREE RECORDING FEE
PURSUANT TO EXEMPTION
CODE #27383**

**AND WHEN RECORDED MAIL DOCUMENT
AND TAX STATEMENT TO:**

Real Property Division
County Manager's Office
San Mateo County
455 County Center 4th Floor
Redwood City, CA 94603-1663

2013-040797 CONF

2:00 pm 03/15/13 ES Fee: NO FEE

Count of pages 26

Recorded in Official Records

County of San Mateo

Mark Church

Assessor-County Clerk-Recorder



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Space Above This Line for Recorder's Use Only

GRANT OF CONSERVATION EASEMENT

3/15/13

GRANT OF CONSERVATION EASEMENT

This GRANT DEED OF CONSERVATION EASEMENT is made on March 5, 2013, by TICONDEROGA PARTNERS LLC having an address at 655 Skyway Road, Ste. 230, San Carlos, CA 94070 ("Grantor") in favor of the COUNTY OF SAN MATEO having an address at County Government Center, 400 County Center, Redwood City, CA 94063 ("Grantee" or "County").

Recitals

WHEREAS, section 6317.A (Conservation Open Space Easement) of the San Mateo County Zoning Regulations (Zoning Regulations) requires, after any land division of lands zoned Resource Management (RM), that the applicant for the land division grant to the County (and that the County accept) a conservation easement, containing a covenant running with the land in perpetuity, which limits the use of the land covered by the easement to uses consistent with open space as defined in the California Open Space Lands Act of 1972 in January 1, 1980;

WHEREAS, Grantor is the owner of lands located in the County of San Mateo, which lands are included within a subdivision commonly referred to as the Highland Estates Subdivision, the Vesting Tentative Map for which was approved by the San Mateo County Board of Supervisors on April 27, 2010;

~~WHEREAS, Grantor wishes to grant to Grantee a conservation easement over the property~~
described in the attached Exhibit A, which is incorporated herein by reference (the "Subject
Property"), in fulfillment of the requirements of section 6317.A of the Zoning Regulations;

NOW, THEREFORE, in consideration of the mutual covenants, terms, restrictions and
conditions hereinafter set forth, Grantor hereby grants and conveys to Grantee and its successors,
a conservation easement, in gross and in perpetuity, on the terms, and subject to the limitations
set forth herein.

Description of Property

1. Grantor is the sole owner of the Subject Property, located in the County of San Mateo,
State of California and the Subject Property is the subject of this grant. The Subject Property is
delineated on the Highlands Estates Vesting Tentative Map and listed and described on Exhibit
A, which is attached to and made a part of this grant by reference.

Conservation Values

2. The Subject Property possesses natural, scenic, open-space, habitat preservation, and
recreational values. In particular,

- (a) the preservation of the Subject Property as open space is consistent with the General
Plan of the County; and
- (b) the preservation of the Subject Property as open space is in the best interest of the
County and specifically because:

~~(1) the land is essentially unimproved and if retained in its natural state has scenic~~
value to the public and this instrument contains appropriate covenants to that end;

and

(2) it is in the public interest that the Subject Property be retained as Open Space because such land will add to the amenities of living in neighboring urbanized areas.

Intention of Grantor

3. It is the intention of Grantor to grant to Grantee a conservation easement on, over, across, and under the Subject Property pursuant to the Open-Space Easement Act of 1974, appearing at Chapter 6.6 (commencing with Section 51070) of Part 1, Division 1, Title 5 of the California . Government Code, and in fulfillment of the requirements of section 6317.A of the San Mateo County Zoning Regulations whereby Grantor relinquishes certain rights and enters into certain covenants concerning the Subject Property, as more particularly set forth below. It is further the intention of the Grantor that this grant meet all of the requirements of section 170(h)(1) of the United States Internal Revenue Code.

Purpose of Easement

4. The purpose of this grant of an open-space easement in the Subject Property is to preserve the natural and scenic character of the Subject Property for public use and enjoyment, subject to the restrictions set forth herein, and to prevent any use of the Subject Property that will impair or interfere with the conservation values of the Subject Property. Grantor intends that this

~~Conservation Easement will confine the use of the Subject Property to activities that are~~
consistent with such purposes.

Description of Grantee

5. Grantee is a political subdivision of the State of California, and is the entity designated under Section 6317.A of the San Mateo County Zoning Regulations to accept easements granted pursuant to that section.

Acceptance by Grantee

6. By accepting this grant, Grantee agrees to honor the intentions of Grantor to act in a manner consistent with the purposes of this grant, and to preserve and protect in perpetuity the conservation values of the Subject Property. Grantee shall accept this grant in satisfaction of Condition 11 to the approval by the Board of Supervisors on April 27, 2010 and other related conditions of approval regarding a conservation easement. The effective date of this grant shall be the date that this grant of easement is recorded. In the event that any Parcel Map or the Final Subdivision Map is invalidated as a result of a legal challenge, this Easement shall cease to have any effect and the Grantee shall reconvey to Grantor all rights it may hold by virtue of this Easement and shall promptly record a quitclaim of all such rights. This grant satisfies the requirements in the County's Resource Management Zone for a density bonus under County Ordinance Section 6318 and for a subdivision under the Resource Management Zone.

Grant of Easement

7. In consideration of the above and the mutual covenants, terms, conditions, and restrictions contained in this grant deed, and pursuant to the laws of California and in particular to the Open-Space Easement Act of 1974 and Section 6317.A of the San Mateo County Zoning Regulations, Grantor voluntarily grants to Grantee a conservation easement in gross in the Subject Property in perpetuity subject to the terms of this grant deed.

Covenants

8. The Subject Property shall be used by Grantor and Grantor's successors in interest only for those purposes that will maintain the existing open-space character of the Subject Property. Any uses of the Subject Property shall further be limited to uses consistent with open space as defined in the California Open Space Lands Act of 1972, on January 1, 1980, as set forth in Government Code section 65560.

Without limiting the generality of the foregoing, Grantor and Grantor's successors in interest hereby covenant that they will refrain, in perpetuity, from doing, causing, or permitting any of the following acts with respect to the Subject Property:

(1) Using or permitting the use of the Subject Property for any purpose except as is consistent with the stated purposes, terms, conditions, restrictions, and covenants of this easement, with the provisions of the Open-Space Easement Act of 1974, and with the findings of the Board of Supervisors of the County of San Mateo pursuant to California Government Code Section 51084.

(2) Constructing improvements on the Subject Property. However, Grantor may construct and maintain existing utility, road and access easements or any such easements authorized or reserved by the Vesting Tentative Subdivision Map approved by the Board of Supervisors of the County of San Mateo on April 27, 2010, provided that any such construction and maintenance shall be carried out consistently with the conservation values that this conservation easement was intended to protect. This section is not intended to approve or otherwise legalize existing improvements constructed by any third person on the Subject Property, nor is to be construed as requiring that Grantor remove any such improvements that exist as of the effective date of this Easement.

(3) Constructing, placing, or maintaining a parking lot, storage area, or dump site for the storage or disposal of anything that is not indigenous or natural to the Subject Property. Further, this section shall not be construed to authorize a dump site for the permanent disposal of any materials associated with normal construction activities associated with the construction of the eleven authorized houses or for any other materials whatsoever.

(4) Surfacing the Subject Property, in whole or in part, with any asphalt, stone, concrete, or other material that does not constitute natural cover for the land, except as is necessary to construct utility and road improvements within the limits of utility and road easements authorized or reserved pursuant to (2), above, or paving of a bicycle and/or pedestrian trail if the Subject Property comes to be used as a passive use park, as referenced in Section 14(b) of this easement.

(5) Mining, extracting, severing, or removing any natural resource found or located on, above, or below the Subject Property, or otherwise engaging in any activity that will alter the unique physical and scenic characteristics of the Subject Property.

(6) Cutting or removing timber or trees found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant.

(7) Cutting, uprooting, or removing natural growth found or located on the Subject Property, except as may be required for fire prevention (but only as consistent with section 9(2) below), thinning, elimination of diseased growth, or similar preventive measures in a manner compatible with the purposes of this grant. Nothing in this Conservation Easement shall exempt Grantor from compliance with any regulations and /or permit requirements governing the removal of trees.

(8) Dividing or subdividing the Subject Property.

(9) Subject to those rights reserved in Paragraph 9, below, excavating, grading, or placing any sand, soil, rock, gravel, or any material on the Subject Property, except with prior written permission of Grantee, provided that the excavation, grading, or placing of material on the Subject Property is consistent with the purposes of this grant. Notwithstanding the foregoing sentence, during any time in which the Subject Property is owned by a public agency, including

but not limited to the Highland Recreation District, the Grantor may excavate, grade, or place sand, soil, rock, gravel or other material on the Subject property if, on written advice of Grantor's counsel, such action is necessary in order to comply with legal requirements and/or to address a risk of liability related to the condition of the Subject Property. Any such actions authorized by the immediately preceding sentence must be undertaken consistently with the maintenance of RM values, to the full extent possible.

(10) There shall be no storage of vehicles, boats, firewood, building materials or equipment on the Subject Property, nor shall there be any sheds or modular office buildings permitted on the Subject Property. The provisions of this subsection 8.(10) shall not apply in the area described in subsection 8.(15) during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

(11) There shall be no industrial, commercial, residential, or institutional activity permitted on the Subject Property.

(12) Unseasonable watering; use of fertilizers, pesticides, biocides, herbicides, or other agricultural chemicals except to enhance RM values (such as trail maintenance or establishment of native plantings); weed abatement activities except to enhance RM Zone values (such as removal of non-native invasive species); incompatible fire protection activities; and any other activities and uses which may impair or interfere with the purposes of the Conservation Easement.

~~(13) Use of off-road vehicles and use of any other motorized vehicles except on existing~~
roadways.

(14) Planting or introduction of non-native or exotic plant or animal species.

(15) Notwithstanding the covenants in this section, it shall not be a breach of this Easement for there to be constructed an extension of the Highland Recreation District's Lexington Avenue parking lot that exists as of the effective date of this Easement into adjacent land along Lexington Avenue, provided that any such extension of the parking lot extend only into the adjacent lot area that is approximately at the grade of the parking lot and otherwise serves the purposes of this Easement. Moreover, in the event that the Highlands Recreation District comes to own the Subject Property, this easement shall not restrict that district from using such extension, for related recreational purposes.

(16) During any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District, and with respect to any activity that is otherwise permitted under the terms of this easement, this Section 8 shall not restrict Grantor from undertaking any such activity in any manner necessary in order to comply with the Americans With Disabilities Act, Section 504 of the Rehabilitation Act of 1973 or any analogous state or federal laws.

Reservation of Rights

9. Grantor reserves the right to all uses and occupancy of, and ingress and egress to and from, the Subject Property in any manner consistent with the stated purposes, terms, conditions, restrictions, and covenants of this grant. Those uses include the following specific enumerated rights:

(1) The right to remove hazardous substances, rubbish, diseased plants or trees and to correct dangerous conditions on the Subject Property.

(2) The right to remove understory vegetation which, according to the County Fire Marshall, constitutes a fire hazard to the neighboring parcels. Nothing in this subsection of this Conservation Easement shall exempt the Grantor from compliance with regulations and/or permit requirements regarding the removal of trees.

(3) The right to repair underground utility lines.

(4) The right to post signs to deter trespass or to prevent, pursuant to Civil Code Section 1008, the creation of prescriptive easements, which signs shall be of no greater size than the minimum specified by law.

Grantee's Approval

10. Whenever this grant deed requires Grantor to obtain the prior written approval or permission of the Grantee, the Grantor will notify the Grantee not less than fifteen business days in advance of the date that Grantor intends to undertake the activity. The notice must describe the nature, scope, design, location, timetable, and any other material aspect of the proposed activity in sufficient detail to permit Grantee to make an informed judgment as to the consistency of the activity with the purpose of this grant. The Grantee shall grant or deny approval in writing within ten business days of receipt of Grantors notice. Grantee may deny approval only on a reasonable determination that the proposed action would be inconsistent with the purpose of this grant. The provisions of this section 10 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Right to Prevent Prohibited Use

11. Grantor grants to Grantee and Grantee's successors and assigns, for the duration of this grant, the right, but not the obligation, to prevent or prohibit any activity that is inconsistent with the stated purposes, terms, conditions, restrictions, or covenants of this grant and the right to enter the Subject Property for the purpose of removing any building, structure, improvement, or any material whatsoever constructed, placed, stored, deposited, or maintained on the Subject Property contrary to the stated purposes of this grant or to any term, condition, restriction, or covenant of this grant. By this grant, Grantor retains all rights to enforce the easement and any rights as an owner not inconsistent with this grant.

Enforcement

12(a). The purposes, terms, conditions, restrictions, and covenants in this grant may be specifically enforced or enjoined by proceedings in the Superior Court of the State of California, consistent with the terms of Section 51086 of the California Government Code.

12(b). It is understood and agreed that the enforcement proceedings provided in this section are not exclusive and that any action to enforce the terms and provisions of the Grant of Open-Space Easement shall be at the discretion of Grantee and may be brought at law or in equity. Any forbearance on the part of Grantee to exercise its rights hereunder in the event of any breach hereof by Grantor, or by Grantor's heirs, successors, personal representatives or assigns shall not be deemed or construed to be a waiver of Grantee's rights hereunder in the event of any subsequent breach.

12(c). In any action by Grantee to enjoin any violation of this easement, Grantor agrees that Grantee shall have no obligation to prove either actual damages or the inadequacy of otherwise available legal remedies. Grantor agrees that Grantee's remedies at law for any violation of this Easement are inadequate and that Grantee shall be entitled to the injunctive relief described in this section, both prohibitive and mandatory, in addition to such other relief to which Grantee may be entitled, including specific performance of this Conservation Easement, without the necessity of proving either actual damages or the inadequacy of otherwise available legal remedies. Grantee's remedies described in this section shall be cumulative and shall be in addition to all remedies now or hereafter existing at law or in equity. The failure of the Grantee to discover a violation or to take immediate action shall not bar Grantee from taking action at a

later time. The provisions of this section 12(c) shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Acts Beyond Grantor's Control

13. Nothing contained in this instrument may be construed to entitle Grantee to bring any action against Grantor for any injury to or change in the Subject Property resulting from causes that are beyond Grantor's control, including, but not limited to, third party actions, trespass, fire, flood, storm, earth movement, or any prudent or reasonable action undertaken by Grantor in an emergency situations to prevent or mitigate damage or injury to the Subject Property resulting from such causes, provided that the emergency situation does not result from, or is not related to, actions undertaken by the Grantor. Nothing herein shall relieve Grantor of the obligation to apply for and obtain any required permits or approvals for any such actions.

No Authorization for Public Trespass

14(a). The granting of this conservation easement by this instrument and the acceptance of the easement by the Grantee do not, in themselves, authorize, and are not to be construed as authorizing, the public or any member of the public to enter, trespass on, or use all or any portion of the Subject Property, or as granting to the public or any member of the public any tangible rights in or to the Subject Property. It is understood that the purpose of this grant is solely to restrict the use of the Subject Property, so that it may be kept as near as possible in its natural state.

14(b).. It is the intention of Grantor and Grantee that should the fee simple interest in the Subject Property be transferred to a public agency or qualified non-profit entity or the County of San Mateo, passive recreational uses that preserve the natural open space character of the land may be allowed, including, but not limited to, nature walks, day hiking, picnicking, bird watching and photography. Any such future use would be subject to the approval of such subsequent owner.

Condemnation

15. As against the County of San Mateo, in its capacity as Grantee, the purposes of this Conservation Easement are presumed to be the highest and most necessary use of the Subject Property as defined at section 1240.680 of the California Code of Civil Procedure notwithstanding sections 1240.690 and 1240.700 of that Code. If an action in eminent domain for condemnation of any interest in the Subject Property is filed, or if the Subject Property is acquired for a public improvement by a public agency or person, these restrictions will be null and void as to the interest in the Subject Property actually condemned or acquired. However, all conditions, restrictions, and covenants of this grant will be in effect during the pendency of such an action; if such an action is abandoned before the recordation of a final order of condemnation, any portion of the Subject Property that is not actually acquired for public use will once again be subject to all of the terms, conditions, restrictions, and covenants of this grant. Grantor will be entitled to the amount of compensation as if the Subject Property had not been burdened by the conservation easement, consistent with Section 51095 of the California Government Code. Nothing in this section shall preclude consideration of zoning as reflected in the approved Final Subdivision Map.

Abandonment

16. The easement granted by this instrument may not be abandoned, in whole or in part, and Sections 51093 and 51094 of the California Government Code shall be inapplicable to this Conservation Easement.

Taxes and Assessments

17. Grantor or Grantor's successor or assigns shall pay or cause to be paid all real property taxes and other assessments (general and special), fees, and charges of whatever description levied or assessed against the Subject Property. Grantee agrees to cooperate with Grantor in documenting the existence and property tax-related effect of the easement for the Assessor of San Mateo County. The provisions of this section 17 shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Maintenance

18. The Grantee shall not be obligated to maintain, improve or otherwise expend any funds in connection with the use or enjoyment of Subject Property or any interest created by this Grant of Easement.

Liability and Indemnification

19(a). Grantor retains all responsibility and shall bear all costs and liabilities of any kind related to the ownership, operation, upkeep, and maintenance of the Subject Property. Grantor agrees that the Grantee shall not have any duty or responsibility for the operation, upkeep, or

maintenance of the Subject Property, or the protection of Grantor, the public or any other third parties from risks related to the condition of the Subject Property. Grantor shall remain solely responsible for obtaining any applicable governmental permits and approvals required for any activity or use by Grantor permitted by this Easement, including permits and approvals required from Grantee acting in its regulatory capacity and any activity or use shall be undertaken in accordance with all applicable federal, state, local, and administrative agency laws, statutes, ordinances, rules, regulations, orders, and requirements. Acceptance of this Grant of Open-Space Easement by Grantee is subject to the express condition that the Grantee and its officers, agents, members and employees are to be free from all liability and claim for damage by reason of any injury to any person or persons, including Grantor, or property of any kind whatsoever and to whomsoever belonging, including Grantor, resulting from any pre-existing condition(s) on the Subject Property, and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest related to the Subject Property.

19(b). Grantor, on its behalf and on behalf of its successors in interest, hereby covenants and agrees to indemnify and hold harmless the Grantee, and its directors, officers, employees, agents, contractors, and representatives, and their respective heirs, personal representatives, successors, and assigns (each, an "Indemnified Party") from and against any and all liabilities, penalties, costs, losses, damages, expenses (including, without limitation, reasonable attorneys fees and other litigation expenses), causes of actions, claims, demands, orders, liens, or judgments (each, a "Claim") on account of or arising out of any pre-existing condition(s) on the Subject Property and any acts or omissions of the Grantor or Grantor's predecessors or successors in interest

~~related to the Subject Property, except that this indemnification obligation shall be inapplicable~~

to any Claim determined to result solely from the negligence of Grantee or any of its agents.

If any action or proceeding is brought against any of the Indemnified Parties by reason of any such claim, Grantor and its successors in interest shall, at the election of and upon written notice of any such Indemnified Party, defend such action or proceeding by counsel reasonably acceptable to the Grantee's Indemnified Party or reimburse such Indemnified Party for all charges incurred for services of any government attorney (including, but not limited, for example, to attorneys of the Office of the County Counsel) in defending the action or proceeding. Grantee agrees that, in the defense of any such Claim it will vigorously assert all existing and applicable immunities and defenses.

19(c). The Grantee shall have no right of control over, nor duties and responsibilities with respect to, the Subject Property, which would subject the Grantee to liability occurring on the land, by virtue of the fact that the right of Grantee to enter the land is strictly limited to preventing uses inconsistent with the interests granted, and does not include the right or obligation to enter the land for the purposes of correcting any dangerous condition as defined by California Government Code Section 830.

19(d). Grantor agrees to maintain bodily injury and property damage liability insurance as shall protect it from claims related to conditions on the Subject Property and to name the Indemnified Parties as additional insureds on such policies.

19(e). The provisions of subsections 19(b) and 19(d) of this section shall not apply during any time in which the Subject Property is owned by a public agency, including but not limited to the Highlands Recreation District.

Amendment

20. This conservation easement may not be amended in whole or in part as to any term, condition, restriction, or covenant without the prior written consent of the Grantor and Grantee. During all times that the County of San Mateo remains owner of this easement, any non-clerical amendment to this easement that is proposed shall be presented at a duly-noticed public meeting of the San Mateo County Planning Commission for a recommendation of the Planning Commission before the proposed amendment is presented to the San Mateo County Board of Supervisors for action.

In the event that another public agency besides the County of San Mateo becomes the owner of this easement, that public agency shall convene a public hearing before its governing board to consider any proposed amendments to this easement before the governing board approves any such proposed amendments. Notwithstanding the foregoing, in no event shall any amendment to this conservation easement be permitted which violates the California Open Space Lands Act or which contradicts the perpetual nature of this easement.

Binding on Successors and Assigns

21. This grant, and each and every term, condition, restriction, and covenant of this grant, is intended for the benefit of the public and is enforceable pursuant to the provisions of the Open-

Space Easement Act of 1974. This grant binds Grantor and Grantor's successors and assigns and constitutes a servitude on the Subject Property that runs with the land.

Liberal Construction

22. This easement is to be liberally construed in favor of the grant in order to effectuate the purposes of the easement and the policy and purpose of the Open-Space Act of 1974. If any provision in this grant is found to be ambiguous, an interpretation consistent with the purpose of this easement that would render the provision valid will be adopted over any interpretation that would render it invalid.

Severability

23. If any provision of this grant is found to be invalid, or if the application of this easement to any person or circumstance is disallowed or found to be invalid, the remainder of the provisions of the grant, or the application of the grant to persons or circumstances other than those to which its application was disallowed or found invalid, will not be affected and will remain in full force and effect.

Controlling Law

24. This grant of easement is to be interpreted, enforced, and performed in accordance with the laws of the State of California.

Entire Agreement

25. This grant sets forth the entire agreement of the parties with respect to the conservation

----- easement and supersedes all previous conversations, negotiations, understandings, settlements, or -----
agreements related to the conservation easement.

Captions

26. The captions in this grant have been inserted solely for the purpose of convenience of reference and are not to be construed as part of this instrument and do not affect the construction or interpretation of the grant.

Enforceable Restriction

27. This easement is intended to constitute an enforceable restriction pursuant to the provisions of California Constitution, Article XIII, Section 8, and Sections 402.1 and 421 through 423.3 of the California Revenue and Taxation Code.

Counterparts

28. The parties may execute this instrument in two or more counterparts, which shall, collectively, be signed by all parties. Each counterpart shall be deemed an original instrument as against any party who has signed it. In the event of any disparity between the counterparts produced, the recorded counterpart controls.

Recording

29. Grantee shall record this Conservation Easement in the Office of the County Recorder of the County of San Mateo and may re-record it at any time that Grantee deems it necessary in order to preserve its rights in this easement.

Merger

30. It is the intent of the Grantor and the Grantee that the doctrine of merger not operate to extinguish this Conservation Easement if the same person or entity comes to own both the easement and the Subject Property. If, despite this stated intention, the doctrine of merger is determined to have extinguished this Conservation Easement, then a replacement conservation easement or restrictive covenant containing the same material protections embodied in this Conservation Easement shall be prepared and recorded against the Subject Property.

IN WITNESS WHEREOF, Grantor has executed this Conservation Easement Deed the day and year first written above.

Dated: 2-2017


GRANTOR
TICONDEROGA PARTNERS LLC
By: Jack Chamberlain

CALIFORNIA ALL-PURPOSE ACKNOWLEDGEMENT

STATE OF California)SS
COUNTY OF San Mateo)

On Feb. 20, 2013 before me, R. Dechaine, Notary Public, personally appeared * Jack Chamberlain who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Signature



This area for official notarial seal.

**OPTIONAL SECTION
CAPACITY CLAIMED BY SIGNER**

Though statute does not require the Notary to fill in the data below, doing so may prove invaluable to persons relying on the documents.

- INDIVIDUAL
- CORPORATE OFFICER(S) TITLE(S)
- PARTNER(S) LIMITED GENERAL
- ATTORNEY-IN-FACT
- TRUSTEE(S)
- GUARDIAN/CONSERVATOR
- OTHER

SIGNER IS REPRESENTING:

Name of Person or Entity

Name of Person or Entity

OPTIONAL SECTION

Though the data requested here is not required by law, it could prevent fraudulent reattachment of this form.

THIS CERTIFICATE MUST BE ATTACHED TO THE DOCUMENT DESCRIBED BELOW

TITLE OR TYPE OF DOCUMENT: _____

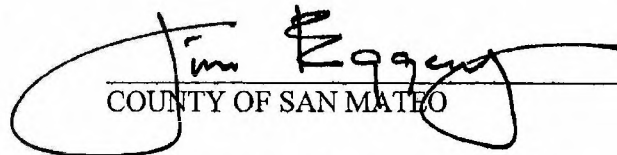
NUMBER OF PAGES _____ DATE OF DOCUMENT _____

SIGNER(S) OTHER THAN NAMED ABOVE _____

ACCEPTANCE OF CONSERVATION EASEMENT

Pursuant to the provisions of the Open-Space Easement Act of 1974, appearing at Chapter 6.6 of Part 1, Division 1, Title 5 of the California Government Code (commencing with Section 51070), the County of San Mateo accepts this grant of a conservation easement.

Dated: 3/5/13



COUNTY OF SAN MATEO

By: JIM EGGMEYER
COMMUNITY DEVELOPMENT DIRECTOR

MPM:sl

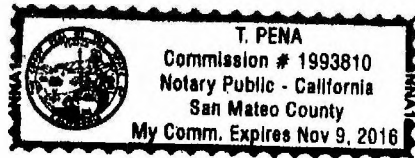
State of California)

County of San Mateo)

On 03/05/2013, before me, T. Peña,
a Notary Public, personally appeared JIM EGGEMEYER, who proved to me on the basis of
satisfactory evidence to be the person whose name is subscribed to the within instrument
and acknowledged to me that he executed the same in his authorized capacity, and that by
his signature on the instrument the person, or the entity upon behalf of which the person
acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the
foregoing paragraph is true and correct.

WITNESS my hand and official seal.



Signature Peña

**Exhibit A to the
Grant of Conservation Easement
Highlands Estates**

Proposed Remainder Parcel and Conservation Easement Area

Parcel 1 of Document No. 92-093032, as recorded in the Office of the San Mateo County Recorder; excepting therefrom Lots 1 through 11 and the proposed Access Easement for the Benefit of Adjacent Parcel (Document No 92-093032, as recorded in the Office of the San Mateo County Recorder, Legal Description, Exhibit "A", Parcel 2); and as shown in the attached Exhibit "B", and referenced on the Highland Estates Vesting Tentative Map prepared by BKF Engineers, dated February 2, 2010 and approved by the San Mateo County Board of Supervisors on April 27, 2010, County File No. 2006-00357, and as may be further defined by the future Recorded Parcel Maps and Final Maps related to said Highland Estates Subdivision. Any such further defining of the boundaries of this Conservation Easement will result in only slight changes to the boundaries. Upon recordation of future Parcel Maps or Final Maps related to said Highlands Estates Subdivision, a Notice of Final Description will be recorded.

November 13~~14~~, 2013

Jack Chamberlain
Ticonderoga Partners, LLC
655 Skyway Ste. 230
San Carlos, Ca. 94070

Dear Mr. Chamberlain:

SUBJECT: County Mitigation Monitoring for Bunker Hill Lots 1 through 4
County File Nos. PLN 2006-00357, BLD 2013-1792 through 1795

On April 27, 2010, Ticonderoga Partners, LLC received approval from the San Mateo County Board of Supervisors for a County-proposed Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on the properties. On March 9, 2011, the County Planning and Building Department approved a minor modification which allowed the recordation of a Parcel Map for Lots 1 through 4 and a reduction in home and garages sizes for Lots 1 through 4, subject to revised conditions.

Condition No. 4 requires the property owner to comply with all mitigation measures (based on the Mitigation Monitoring and Reporting Program (MMRP) incorporated within the Final EIR and made available to the public on January 4, 2010) and to enter into a contract with the San Mateo County Planning and Building Department for all mitigation monitoring for this project prior to the issuance of any grading permit "hard card" for the project. As outlined in Condition No. 4, the fee shall be staff's cost (time and materials), plus 10 percent, as required in the current Planning Service Fee Schedule. The condition adds that Planning staff may, at our discretion, contract these services to an independent contractor at cost, plus an additional 10 percent for contract administration.

At this time, the County plans to directly monitor project compliance with mitigation measures, subject to the fee structure as outlined in Condition No. 4. "Time and Materials" involves applying ~~fully loaded~~ staff hourly cost toward ~~billable hours for mitigation~~ spent monitoring for the implementation of mitigation measures for the project. Services include, but are not limited to, ~~the following as they relate to mitigation measures:~~ review and analysis of required reports, performance of inspections, responding to ~~complaints~~ inquiries from the public, and meetings with applicant, contractors, and other involved departments and agencies.

To begin, an initial deposit of \$5,000 will be required at the time of submittal. Additional funds will be submitted in \$5,000 increments prior to the exhaustion of the initial and subsequent deposits. Staff will inform you when remaining deposit funds fall below \$1,000. If deposit funds are completely exhausted, processing will immediately cease until additional funds have been submitted. All deposits are subject to a required 10% fee for contract administration, 4% technology surcharge, and 5% legal counsel surcharge (totaling in an additional \$950 for each \$5,000 deposit).

If you have any questions, please feel free to contact me at 650/363-1826 or Email cleung@smcgov.org.

Regards,

Camille Leung, Project Planner



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

November 14, 2013

Mr. Jack Chamberlain
Ticonderoga Partners, LLC
655 Skyway, Suite 230
San Carlos, CA 94070

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Mr. Jack Chamberlain

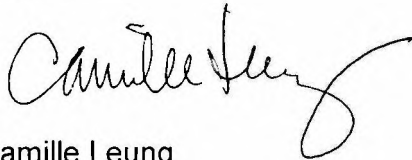
- 2 -

November 14, 2013

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If you have any questions, please feel free to contact me at 650/363-1826 or e-mail at cleung@smcgov.org.

Regards,

A handwritten signature in black ink, appearing to read "Camille Leung". The signature is fluid and cursive, with a long, sweeping tail that extends to the right.

Camille Leung
Project Planner

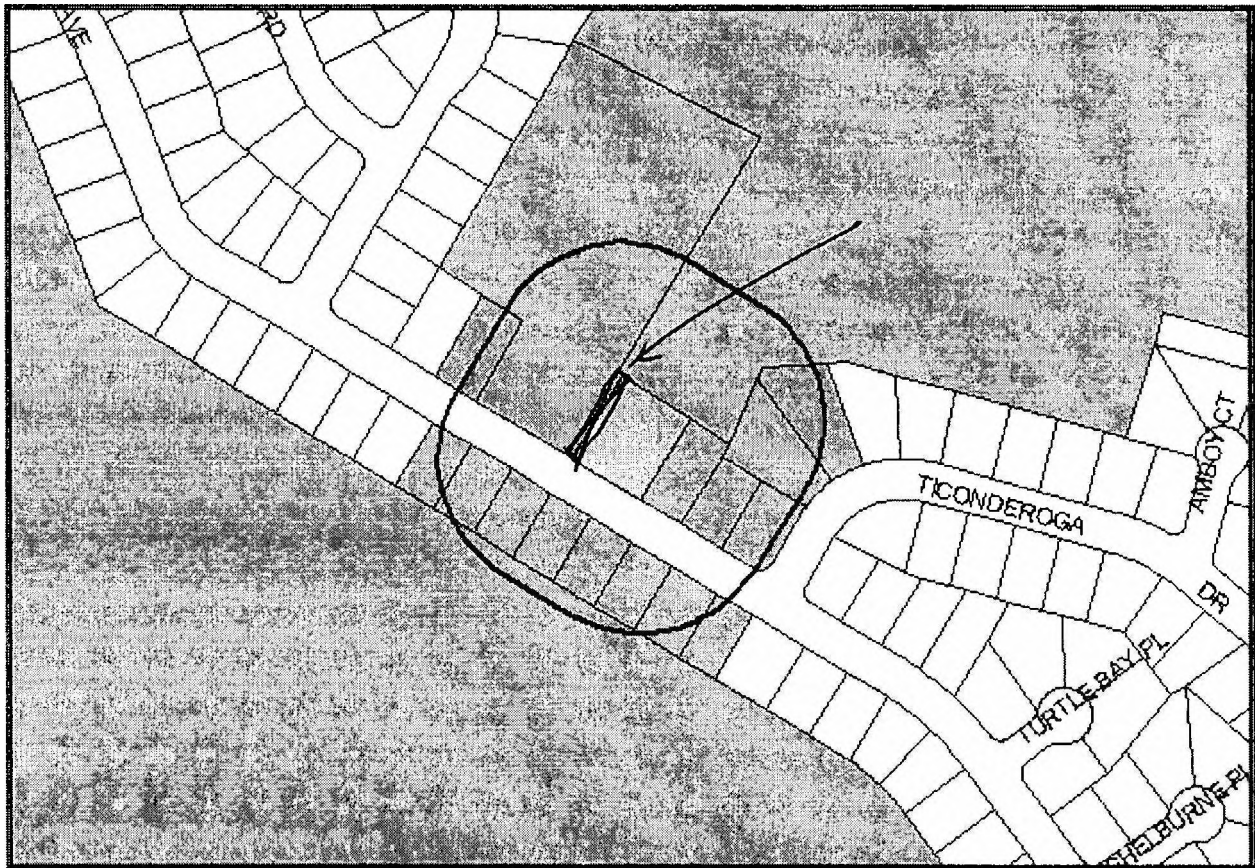
CML:jlh – CMLX0778_WJN.DOCX



Processing... please wait

**SELECTED
PROPERTY**

Situs: 1871 Lexington Ave , San Mateo
Owner: Gutierrez Bob A Tr, 1871 Lexington Ave, San Mateo, CA, 94402--4026
APN: 041133010



Date Created: Tuesday, November 19, 2013

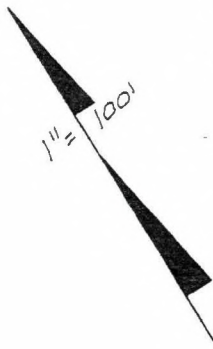
Print

TAX CODE AREA _____

CN

41-13

→ lowdown
→ Patter



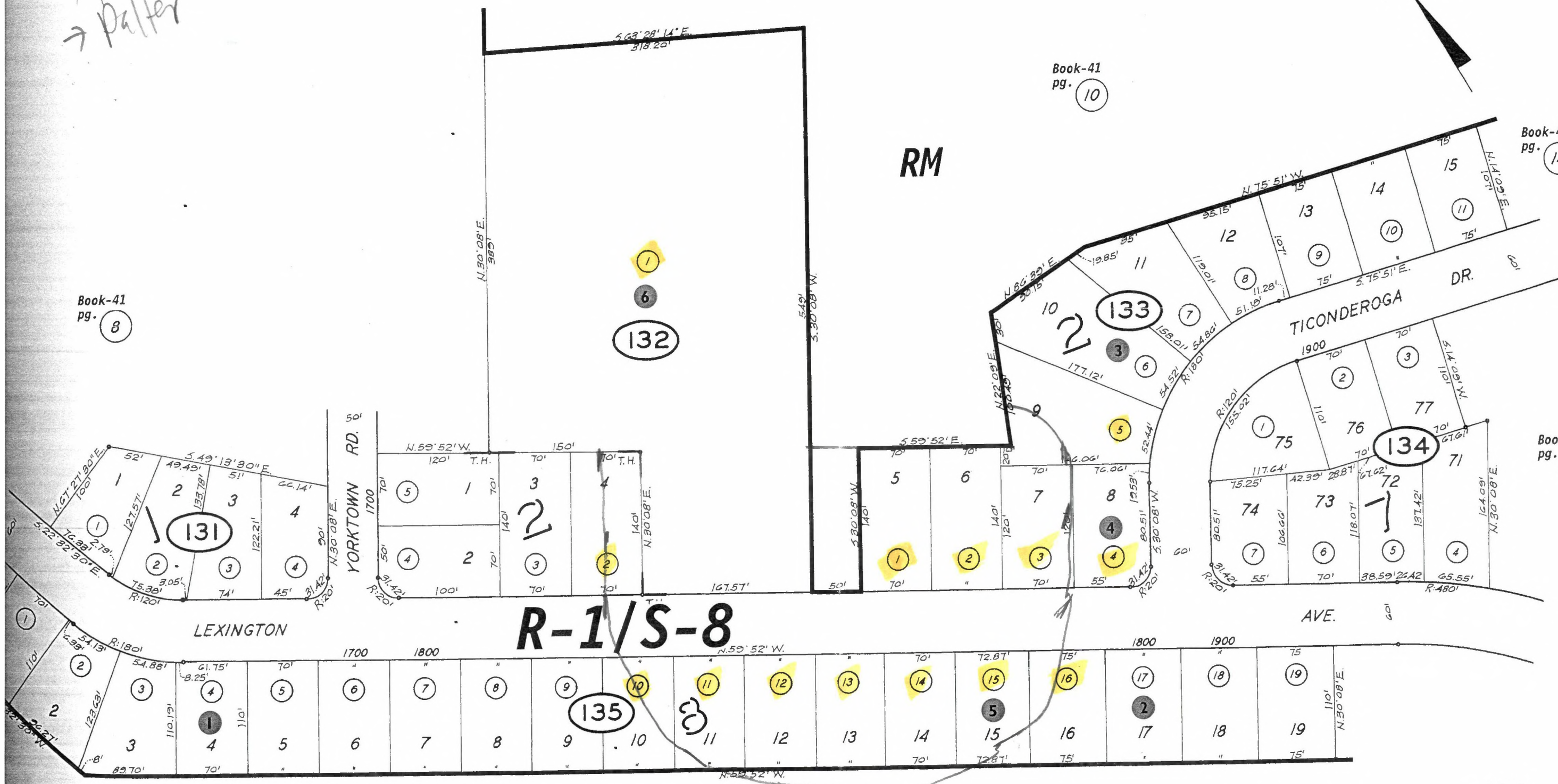
Book-41
pg. 10

Book-41
pg. 14

RM

Book-41
pg. 8

Book-41
pg. 15



R-1/S-8

RM

093-080-180
City + Co of SF

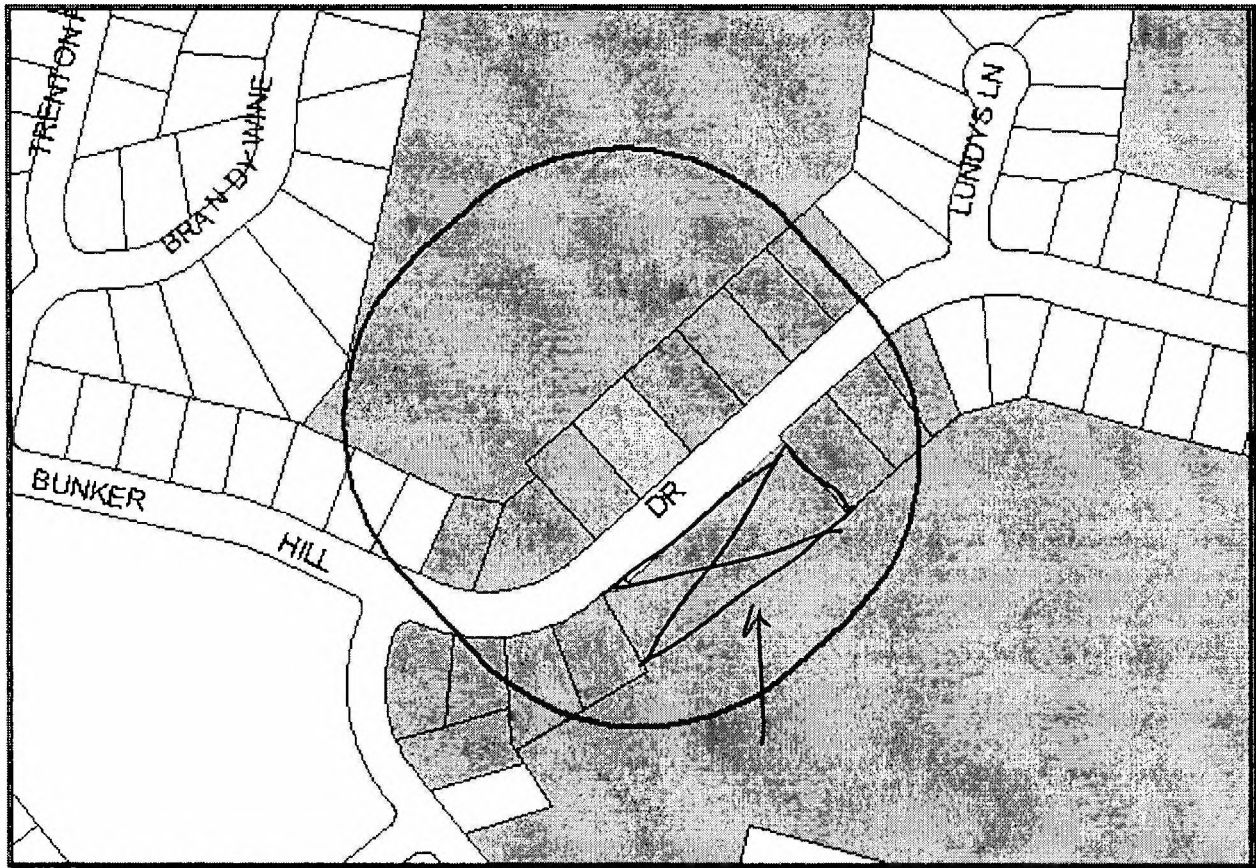
BK. 93
(8)



Processing... please wait

**SELECTED
PROPERTY**

Situs: 2276 Bunker Hill Dr , San Mateo
Owner: Yasuhara Mitsuyo, 2276 Bunker Hill Dr, San Mateo, CA, 94402--3846
APN: 041052060



Date Created: Tuesday, November 19, 2013

Print

CN

41-5

TAX CODE AREA

Book-41
pg. 9

RM

091-060-169
HSD

R-1/S-8

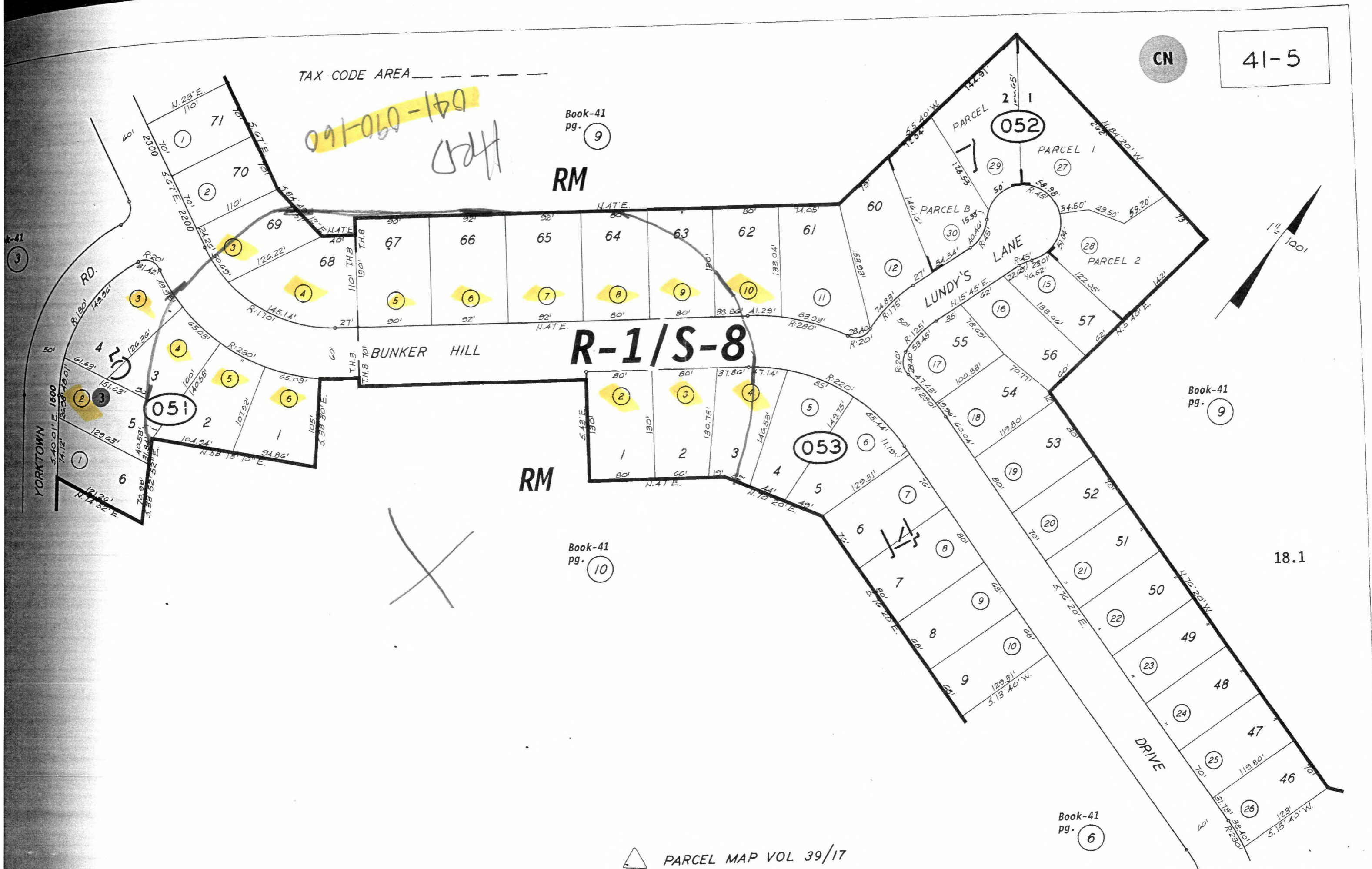
RM

Book-41
pg. 10

Book-41
pg. 9

18.1

Book-41
pg. 6





County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

NOTICE TO PROPERTY OWNERS OF PROPERTY WITHIN 200 FEET OF PLANNED CONSTRUCTION

November 25, 2013

This letter is to notify you that construction of the following project will begin shortly:

Applicant: Ticonderoga Partners, LLC
Addresses: 2265, 2271, 2275, 2279 Bunker Hill Drive (Lots 1-4)
Building Permit Nos.: BLD 2013-01792, BLD 2013-01793, BLD 2013-01794 and BLD 2013-01795
Project Description: Construction of a Single-Family Residence on Each of Four Lots on Bunker Hill Drive

This notice has been sent to you to comply with a condition of the approval of the Highlands Estates Major Subdivision (Condition No. 4.t, PLN 2006-00357), whereby written notice of project construction (including a construction schedule) to residential property owners within 200 feet of planned construction areas, prior to construction, is required.

Construction Schedule: Removal of seven protected trees (and approximately 57 unprotected trees) anticipated to start in November/December 2013; Rough Grading and Construction of homes anticipated to start in December 2013/January 2014. Landscaping to occur after construction of homes, prior to final approval of permits.

The applicant is required to designate a "disturbance coordinator" who is responsible for responding to any local complaints regarding construction noise. The coordinator (who may be employed by the applicant) shall determine the cause of the complaint and shall require the implementation of reasonable measures to correct the problem. The telephone number of the disturbance coordinator is required to be conspicuously posted at the construction site fence.

Disturbance Coordinator: Ralph Osterling, Registered Professional Engineer
Ralph Osterling Consultants, Inc.
1650 Borel Place, #204
San Mateo, CA 94402
Office: 650/573-8733; Cell: 415/860-1557
Fax: 650/345 7890
Email: ralph@ralphosterling.com

County Contact: Camille M. Leung
San Mateo Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Office: 650/363-1826
Email: cleung@smcgov.org

Enclosure: Site Map

CL:pac - CMLX0799_WPP.DOC

• Call Doherty / Contact Info

• @ Autumn / Barbara

• MOY?

how long?

✓ contract

✓ Notice ~~to~~ email path

- free removal (BIO's)

→ ~~file~~ plans

- grading COA's

- Email: OFM Agreement

Bio Surveys

• woodrat nest (30 days)

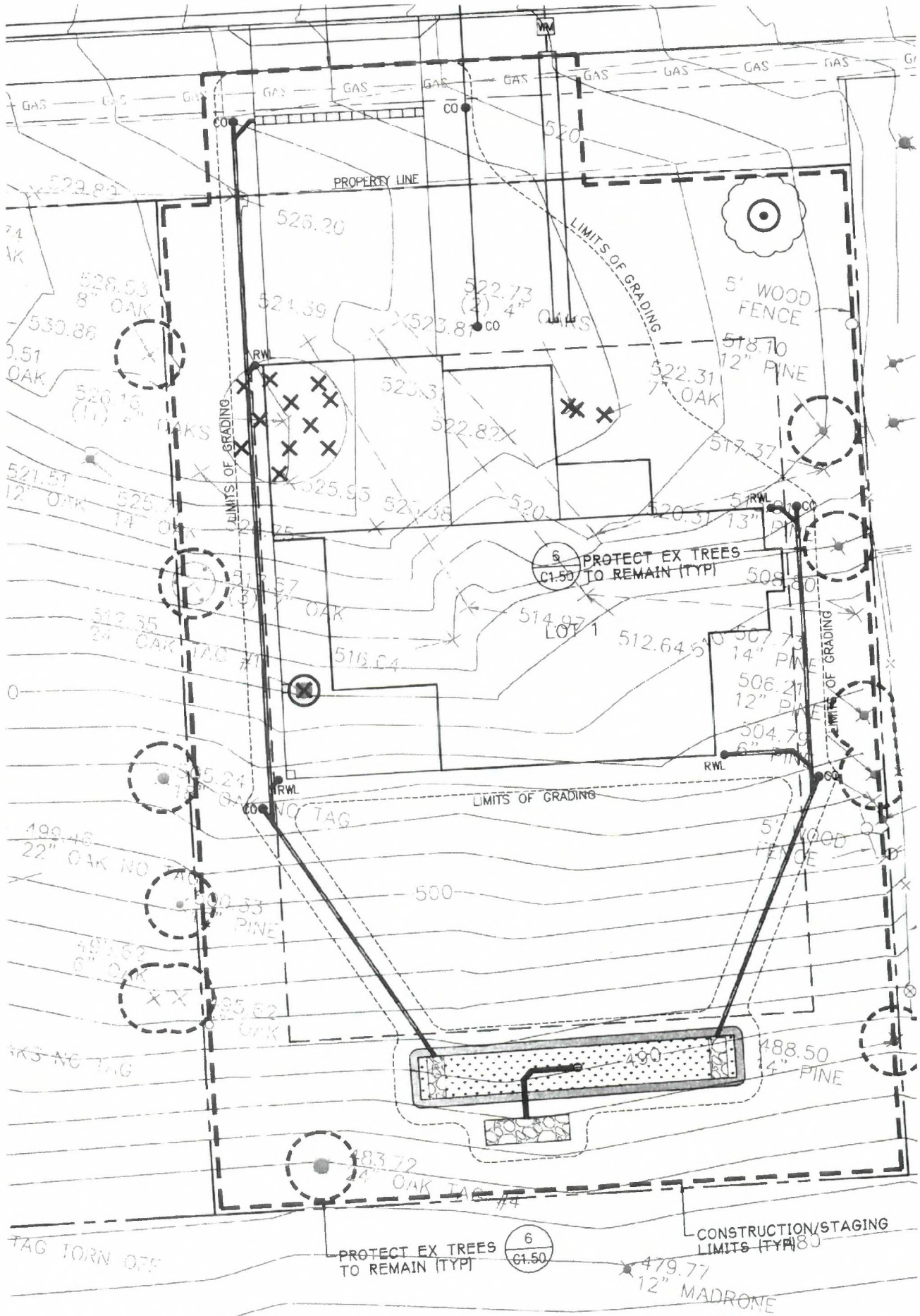
* Bird (if Feb - August)
(2 wks)

* Bat (if April → Aug)

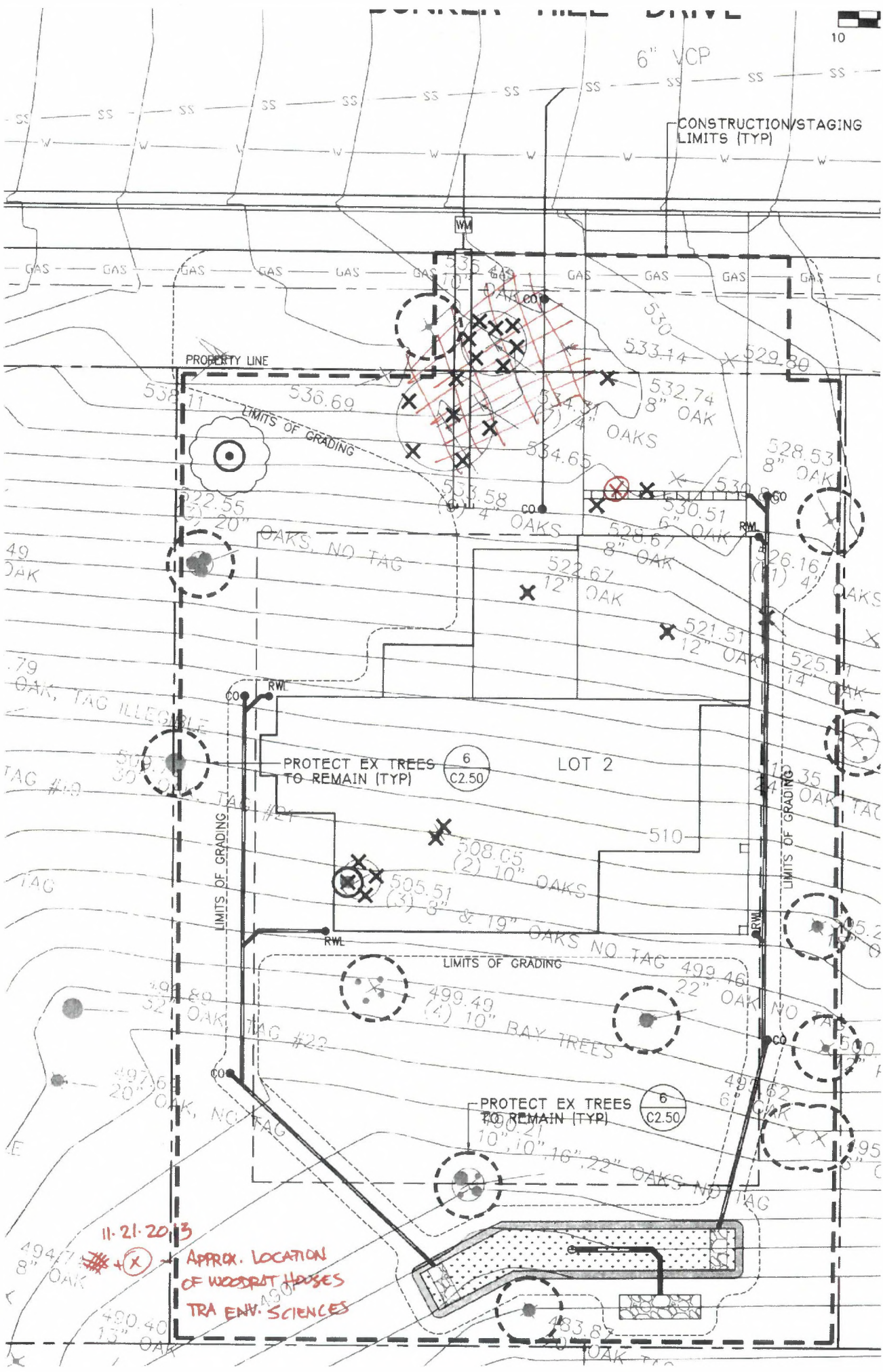
follow construction

Notice - 200

dist. coord ? weekly



**LOT 1
CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN**
SCALE: 1"=10'



49 OAK

79 OAK, TAG ILLEGIBLE

TAG #19

TAG

497.80 32" OAK

497.66 20" OAK, NO TAG

494.71 8" OAK

480.40 13" OAK

PROPERTY LINE

LIMITS OF GRADING

OAKS, NO TAG

PROTECT EX TREES TO REMAIN (TYP)

6 C2.50

LOT 2

508.65 (2) 10" OAKS

505.51 (3) 3" & 19" OAKS NO TAG

LIMITS OF GRADING

499.49 (4) 10" BAY TREES

PROTECT EX TREES TO REMAIN (TYP)

6 C2.50

10", 10", 16", 22" OAKS NO TAG

11-21-2013 APPROX. LOCATION OF WOODRAT HOUSES TRA ENV. SCIENCES

CONSTRUCTION/STAGING LIMITS (TYP)

6" VCP

GAS GAS GAS GAS GAS GAS GAS GAS GAS GAS GAS GAS

530

533.14

532.74 8" OAK

OAKS

534.65

533.58 4" OAKS

528.67 8" OAK

522.67 12" OAK

521.51 12" OAK

526.16 (1) 4" OAKS

525.17 14" OAK

510

508.65 (2) 10" OAKS

505.51 (3) 3" & 19" OAKS NO TAG

510

499.46 22" OAK NO TAG

499.49 (4) 10" BAY TREES

499.62 6" OAK

495.27 8" OAK

490.21 10", 10", 16", 22" OAKS NO TAG

483.87 10" OAK TAG

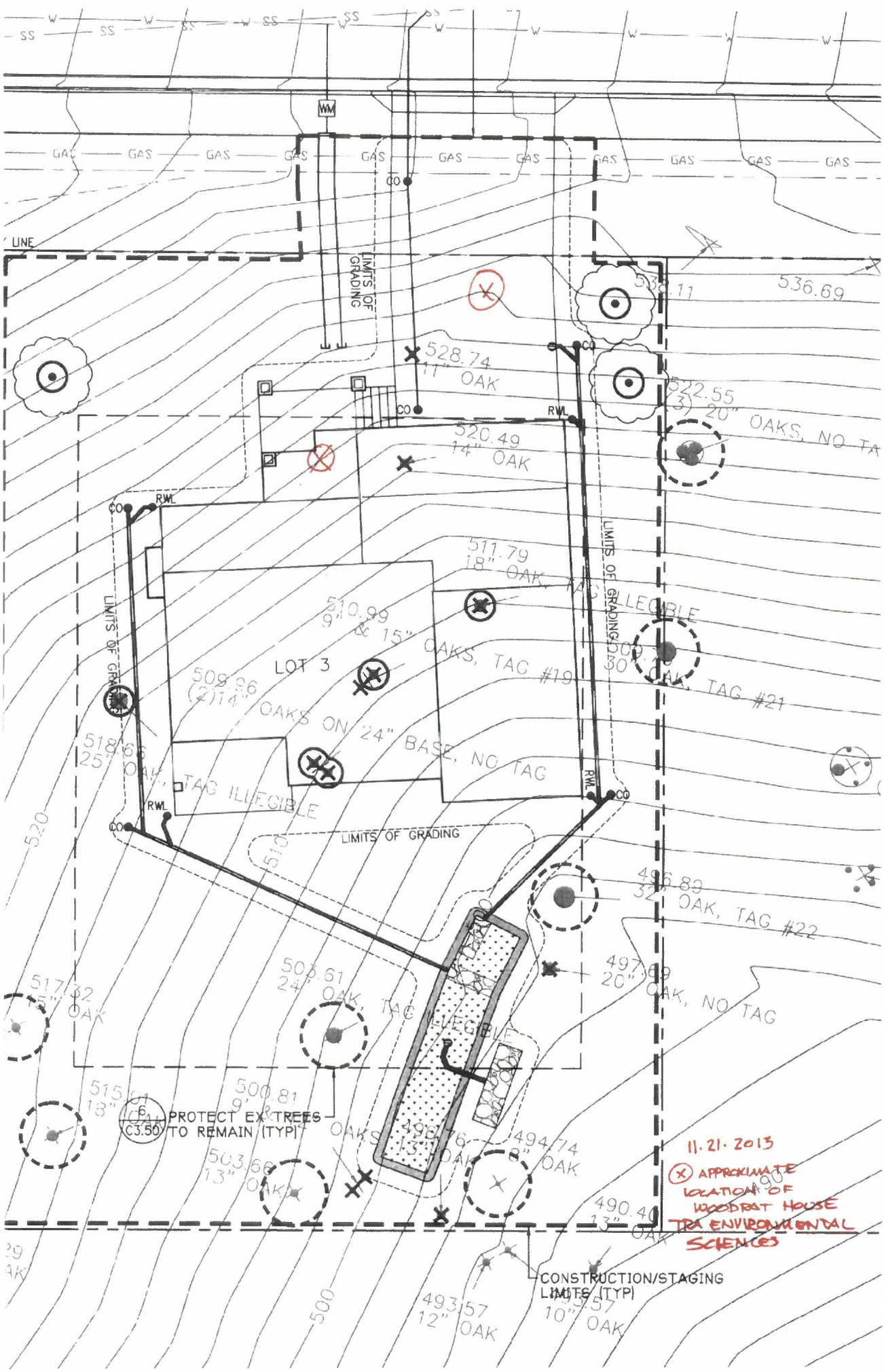
480.40 13" OAK

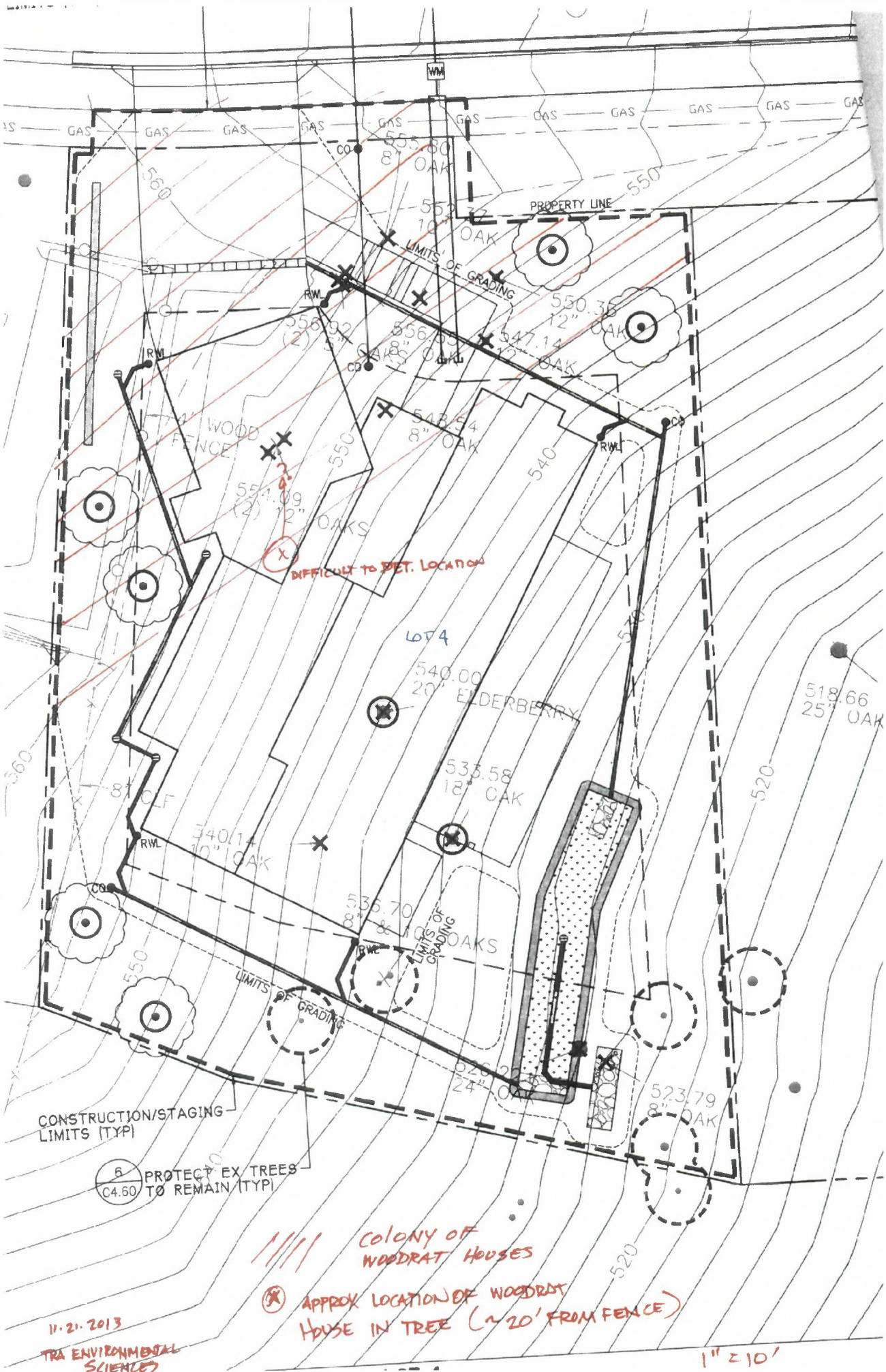
480.40 13" OAK

480.40 13" OAK

480.40 13" OAK

480.40 13" OAK





DIFFICULT TO DET. LOCATION

LOT 4

540.00
20" ELDERBERRY

535.58
12" OAK

540.17
10" OAK

535.70
8" OAKS

523.79
8" OAK

518.66
25" OAK

CONSTRUCTION/STAGING
LIMITS (TYP)

PROTECT EX TREES
TO REMAIN (TYP)

COLONY OF
WOODRAT HOUSES

APPROX LOCATION OF WOODRAT
HOUSE IN TREE (~20' FROM FENCE)

11.21.2013

TRA ENVIRONMENTAL
SCIENCES

1" = 10'

Quiet till → March until CDFW approval

From: Camille Leung
To: Barbara Beard
CC: AutumnMeisel; Jim Eggemeyer; Tay Peterson; jtuttlec@aol.com; noel ch...
Date: 11/26/2013 11:32 AM
Subject: RE: Woodrat Survey for Bunker Hill Lots

Thanks Barbara for the update. Please let me know if AND when nests will be dismantled and who will be doing the work.

Ralph, before work starts, please tell me the exact date the trees will get removed.

1) Please send photo of posted sign at site.

2) Please restrict ALL activity to these hours:

The grading and construction activity would be kept to the hours of 7:00 AM to 7:00 PM, Monday through Friday. Saturday hours (8:00 AM to 5:00 PM) are permitted upon the discretion of County approval based on input from nearby residents and businesses. Saturday construction (8:00 AM to 5:00 PM) would be allowed once the buildings are fully enclosed. Noise generating grading and construction activities shall not occur at any time on Sundays, Thanksgiving and Christmas.

3) Please utilize adequate erosion control (fiber rolls, jute netting) during tree removals, should you remove tree stumps or disturb any soil.

4) Per Condition No. 7, retain non-conflicting vegetation that borders 2285 Bunker Hill (on the side on and rear of Lot 4).

MY SCHEDULE: Please note that I will be out of the office starting tomorrow (Wednesday) for the rest of the week. I'm also off Christmas week. However, I will be available on my cell phone at 650-248-4148.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Barbara Beard <beard@traenviro.com> 11/26/2013 9:32 AM >>>
Hi Camille,

Just wanted to give you a quick up-date on this project before the holiday.

We now have a signed contract for the work we have described and we will be coordinating with the arborist who will be doing the tree removal. BKF is going to stake the house lots before any of the work

begins (which will be very helpful to us). I am not sure what their schedule is. Once the staking is done our biologist will meet the arborist crews in the field to mark and protect woodrat houses and conduct a short "tailgate" training for the crews. We will have biological monitors that check work on a daily basis and make appropriate documentation.

If work doesn't begin until after December 1, we will write a short letter reconfirming the findings of our original woodrat survey (or we can re-issue the report with a new date, whichever you prefer).

Hope everyone has a Happy Thanksgiving.

Regards,

Barbara

Barbara Beard,
Director of Environmental Analysis
TRA Environmental Sciences
Office: 650-327-0429
Direct Line: 650-464-5217

-----Original Message-----

From: Barbara Beard
Sent: Friday, November 22, 2013 12:15 PM
To: 'Camille Leung'
Cc: jtuttlec@aol.com; noel chamberlain; Tay Peterson
Subject: RE: Woodrat Survey for Bunker Hill Lots

Hi Camille,

Because this is a project that may be closely watched by the neighbors and because the woodrat protection measures we implement now will be part of the report to CDFW, a TRA biologist has to be present during fencing.

With our schedule constraints because of the Thanksgiving holiday and our work at the Edgewood Canyon site next week, it seems like the easiest way to address the schedule problem is for TRA to either write a letter to the County stating that we have been out to the site (Tay went yesterday) and that our original field report is still accurate or we could reissue our original letter report with a new date on it. As Tay was out at the site yesterday and re-confirmed Autumn's original findings, we feel comfortable with either approach.

You and Jack and let us know which way you would like to proceed.

Barbara

Barbara Beard,
Director of Environmental Analysis
TRA Environmental Sciences
Office: 650-327-0429
Direct Line: 650-464-5217

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]
Sent: Friday, November 22, 2013 9:36 AM
To: Barbara Beard
Cc: jtuttlec@aol.com; noel chamberlain; Tay Peterson

Subject: RE: Woodrat Survey for Bunker Hill Lots
Importance: High

**** High Priority ****

Hi Barbara,

Autumn's survey is only good till Dec. 1st. IF Jack wants to proceed now, is there any way to perform fencing earlier? Noel says he's performed this kind of fencing in the past. IF you are too busy, would that be wise for this project, considering the sensitivity of the neighbors?

Jack/Noel ----- I have to send out the notice if you want to do any tree removals before Dec 1st. Please let me know so I can send out the notice.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Barbara Beard <beard@traenviro.com> 11/21/2013 8:48 PM >>>
Hi Camille,

You are correct that some tree removal, although not all, can proceed once woodrat areas are protected. We can probably be out in the field the week after Thanksgiving, which would be Dec. 2nd. We will have to juggle our monitoring commitments at Edgewood Canyon with these at San Mateo Highlands.

I have attached a picture of the tree with the woodrat house in it.

Barbara Beard,
Director of Environmental Analysis
TRA Environmental Sciences
Office: 650-327-0429
Direct Line: 650-464-5217

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]
Sent: Thursday, November 21, 2013 4:49 PM
To: Barbara Beard
Cc: jtuttlec@aol.com
Subject: Re: FW: Woodrat Survey for Bunker Hill Lots

Hi Barbara,

It appears to me that some tree removal (although not all) can proceed, so long as woodrat areas are fenced. Barbara, how soon could fencing be put up?

Jack, do you want to proceed with a partial tree removal now and later, have another survey done within 30 days of the 2nd half of the tree removal after CDFW has approved the dismantling of woodrat houses? Or do you just want to do it all at once later?

Let us know :)

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Barbara Beard <beard@traenviro.com> 11/21/2013 3:34 PM >>>
Camille,

I tried to send you an email with attachments. I have removed 2 of them and am resending the message

Barbara Beard,
Director of Environmental Analysis
TRA Environmental Sciences
Office: 650-327-0429
Direct Line: 650-464-5217

-----Original Message-----
From: Barbara Beard
Sent: Thursday, November 21, 2013 3:29 PM
To: 'Camille Leung'
Cc: jtuttlec@aol.com; Tay Peterson
Subject: RE: Woodrat Survey for Bunker Hill Lots

Hi Camille,

Attached are site plans marking the approximate location of the tree in Lot 4 which contains the woodrat house, as well as areas in other lots where there is a concentration of woodrat houses. I have also attached pictures of the house in the Lot 4 tree.

We are only able to provide the approximate location of the tree in Lot 4 because there aren't any field markings for the lots (that we were able to notice in the field), trees in the field don't all have tags on them, and there are trees in the field not shown on the plan set. Additionally we noted that there is a cluster of woodrat houses in Lot 2 that will make it extremely difficult to remove trees in this area without impacting

the woodrat houses. It is our opinion at this time that these trees will also have to be left in place until the woodrat removal occurs in March. The exact number of trees that can be removed (and likewise the exact number of trees that will have to be left in place for now) will be determined in the field with the arborist.

We have not received a signed contract for this work so we aren't sure when the tree removal work will commence. Because of our woodrat monitoring commitments at the Edgewood Canyon site next week, it will be difficult for us to staff the monitoring for this project next week considering it is a holiday week. If we start to bump-up against the 30-day time period we should be able to write a simple letter stating that field conditions have not changed since the time of our original survey.

Please let me know if there is any additional information you need.

Regards,

Barbara

Barbara Beard,
Director of Environmental Analysis
TRA Environmental Sciences
Office: 650-327-0429
Direct Line: 650-464-5217

-----Original Message-----

From: Camille Leung [mailto:cleung@smcgov.org]
Sent: Wednesday, November 20, 2013 2:36 PM
To: Barbara Beard
Cc: jtuttlec@aol.com
Subject: RE: Woodrat Survey for Bunker Hill Lots

Hi Barbara,

This is the mitigation measure regarding the 30 days. Report from Autumn was dated November 1st.

Mitigation Measure BIO-2a: No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Camille Leung 11/20/2013 2:32 PM >>>
Hi Barbara,

Per our conversation, please confirm which tree has a nest in it :) If its a small tree it may not be on the map. Just try to approximate the location. Thanks

=====

Hi Autumn,

From reading your Bio Survey dated November 4, 2013, it sounds like there is only 1 tree with nest(s). This tree is on Lot 4 right? Please indicate using the attached tree removal plan for Lot 4, which tree has the nest. Does that tree have an "x" on it? If so, it will need to be removed. Should it need to be removed and the nest dismantled, how long does it take to do the MOU with CDFW?

Please let me know at your earliest convenience :)

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Camille Leung 11/18/2013 11:51 AM >>>

Great thank you. Jack will get in touch with you and Barbara to determine if any nests need to be dismantled for tree removal. Either way, I will wait for TRA's ok before the County gives the ok to Jack/Ralph Osterling to remove trees.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Autumn Meisel <meisel@traenviro.com> 11/18/2013 11:39 AM >>>
Hi Camille,

I am hard to reach this week and have limited availability as my 2-year old was hospitalized over the weekend and will be at Lucille Packard all week, as will I. A full recovery is expected.

The tree cannot be removed with the nest in it. I understand the applicant was interested to proceed with tree removal now for trees that do not support a wood rat nest, leaving those trees that do untouched. I cannot tell what tree it is on the attachment. Hard to tell as the trees are clustered and do not have tags. It is in the corner of the property where there are a cluster of oaks and poison oak, near Bunker Road and the neighboring, existing home.

We work with a consultant that already has an MOU to dismantle nests. If the applicant wants to move forward with this now, I would need to first enter a contract with him for this work. I could then discuss with our consultant timing and his process for working in an area with so much poison oak.

Best,

Autumn Meisel
Senior Biologist
TRA Environmental Sciences, Inc.
545 Middlefield Road, Suite 200
Menlo Park, CA 94025
(415) 254-0805

From: Camille Leung [cleung@smcgov.org]
Sent: Monday, November 18, 2013 10:53 AM
To: Autumn Meisel
Cc: jtuttlec@aol.com
Subject: Re: Woodrat Survey for Bunker Hill Lots

Hi Autumn,

Trying again to reach you. Please respond to this email. I will be hard to reach by phone today.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Camille Leung 11/14/2013 3:02 PM >>>
Hi Autumn,

From reading your Bio Survey dated November 4, 2013, it sounds like there is only 1 tree with nest(s). This tree is on Lot 4 right? Please indicate using the attached tree removal plan for Lot 4, which tree has the nest. Does that tree have an "x" on it? If so, it will need to be removed. Should it need to be removed and the nest dismantled, how long does it take to do the MOU with CDFW?

Please let me know at your earliest convenience :)

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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Request for Information or Review

Name: Jonathan Horton Date: 12/3/2013
 Address: 2230 Sheraton Place City: San Mateo Zip: 94402
 Email Address: hortonj@vision.ucsf.edu Telephone: 650-288-8736
 Address of Subject Property: 2230 Sheraton Place, S.M. Highlands
 APN(s): 041-142-280

Please describe the information you seek as clearly and completely as possible. Attach any documents which you believe will be helpful. A planner will be assigned to investigate your inquiry and respond to you. Please note that as of October 9, 2009, all research time in excess of 1/2 hour is charged; the current rate is \$100.00 per hour. Please initial that you agree to pay this fee if required: JA

I wish to purchase a piece of property (about 50' x 130') along the western edge of my property. The land is owned by Jack Chamberlain and is RM zoned. I have spoken to him and he is willing in principle.

I do not want to re-zone the property or develop it. I simply want to own it.

My question is: what is the legal pathway to acquiring this property?

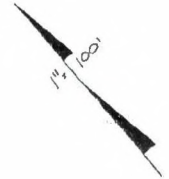
Thank you,
Jonathan Horton

STAFF USE ONLY

Received by: James C. Cornell Date: 12/3/2013
 Referred to: Cornell Date: 12/3/13
 Time/Cost estimate if over 1/2 hour: 0
 Inquirer contacted by: Chery Date: 12/4/13
 Research fee paid: 0 Date: _____

This map is for information only
 and is not a survey of the land, nor
 is it a part of the report or policy to
 which it may be attached.

41-14



J.H.

ASSESSOR'S MAP COUNTY OF SAN MATEO CALIF.

△ THE HIGHLANDS RSM 43/23-25
 SAN MATEO SCHOOL DISTRICT

7-23-78

From: Camille Leung
To: hortonj@vision.ucsf.edu
CC: Dave Holbrook
Date: 12/4/2013 4:32 PM
Subject: Emailing: Recorded Grant of Conservation Easement_Chamberlain
Attachments: Recorded Grant of Conservation Easement_Chamberlain.pdf

Hi Jonathan,

Per #8 under "Covenants" of the attached recorded Conservation Easement, dividing and subdividing of the property is prohibited. This includes lot line adjustments.

Sorry about the bad news. Thanks

Your message is ready to be sent with the following file or link attachments:

Recorded Grant of Conservation Easement_Chamberlain

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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545 Middlefield Road, Suite 200
Menlo Park, CA 94025-3472
Tel: (650) 327-0429
Fax: (650) 327-4024
www.TRAenviro.com

Highland Estates Development I, LLC
Jack T. Chamberlain, Member
655 Skyway Road
Suite 230
San Carlos, CA 94070

December 3, 2013

Re: Biological Survey Report- Implementation of Biological Mitigation Measures prior to Tree Removal at San Mateo Highlands

Dear Mr. Chamberlain:

This letter reports on the status of implementation of mitigation measures for the protection of biological resources prior to tree removal within four parcels (approximately 1 acre) in the San Mateo Highlands on Bunker Hill Road in San Mateo County, California. Tree removal that is planned to occur this month affects two of the biological mitigation measures.

The following mitigation measures are addressed:

Mitigation Measure BIO-2a: *No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.*

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

Mitigation Measure BIO-2b: *No earlier than two weeks prior to commencement of construction activities that would occur during the nesting/breeding season of native bird species potentially nesting/roosting on the site (typically February through August in the project region), a survey for nesting birds shall be conducted by a qualified biologist experienced with the nesting behavior of bird species of the region. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present in the construction zone or within 500 feet of the construction zone. The surveys shall be timed such that the last survey is*

concluded no more than two weeks prior to initiation of construction or tree removal work. If ground disturbance activities are delayed, then an additional pre-construction survey shall be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c: *Prior to the commencement of construction activities during the breeding season of native bat species in California (generally occurs from April 1 through August 31), a focused survey shall be conducted by a qualified bat biologist to determine if active maternity roosts of special-status bats are present within any of the trees proposed for removal. Should an active maternity roost of a special-status bat species be identified, the roost shall not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, then the tree may be removed. Species-appropriate replacement roosting habitat (e.g., bat boxes) shall be provided should the project require the removal of a tree actively used as a maternity roost. The replacement roosting habitat shall be subject to the approval of the CDFG.*

Our findings with respect to these three mitigation measures are discussed below.

Mitigation Measure BIO-2a

Dusky-footed woodrats breed from December to September, with the majority of litters born in mid-spring. Therefore, no nests would be "active with young" at this time. Outside of the active breeding season, the mitigation measure for woodrats calls for the dismantling of woodrat nests to allow individuals to relocate to suitable habitat within the adjacent open space.

On Tuesday, October 22, 2013, a survey for San Francisco dusky-footed woodrat stickhouses (houses) in the four parcels was performed. The results of the survey were confirmed on December 2, 2013. A total of nine woodrat houses were found on site. All of the houses are in close proximity to the northern boundary of the site, and many can be seen from the top of slope. Five of the houses are in a cluster on lot 4. Of these 5, four are on the ground and one is in an oak tree. This cluster is within a large thicket of poison oak, and one of the houses is on the boundary with Lot 3.

The other four houses are also near the northern property boundary and visible from the top of slope. They are located on Lot 2.

In order to reduce habitat for nesting birds it is generally recommended to remove trees outside of the nesting season, which is between the end of August and the middle of February. Although Bio Measure 2a allows for dismantling of SFDW houses at this time of year, that is not a currently acceptable method, and a biologist with an MOU from the California Department of Fish and Wildlife (CDFW) (also required in the measure) would not be able to use this method. In order to remove the SFDW houses it is necessary to have a plan approved by CDFW, and the best time to move the houses would be early spring. Ideally the plan would be prepared now and submitted to CDFW so that SFDW house removal could be scheduled for late February/early March.

Tree removal can proceed on the project site now as long as it does not affect SFDW houses. This requires a meeting between a biologist knowledgeable in SFDW ecology with the tree removal team on site to identify woodrat house locations and aid in determining what trees cannot be removed in order to protect the houses. It is important that the houses are well marked with either orange construction fencing or flagging tape so that it is easy for the tree removal team to see and avoid impact to houses. We do not believe that construction fencing has to be

TRA Environmental Sciences

installed as long as the crew is well trained and the sites are flagged; the installation of construction fencing can result in unnecessary disturbance to the area around the SFDW house. The tree removal team must have a tailgate training session.

The removal of SFDW houses would then proceed in early spring after the CDFW approves a plan.

Mitigation Measure BIO-2b

Fall is outside of the bird nesting season and no surveys for nesting birds are needed if trees are removed this fall.

If other project activities, including grading and construction, begin prior to February 1 and carry on into the bird nesting season with no break in activity, no nesting bird survey will be needed. However, if activities begin during the nesting season (Feb. 1 to Aug. 31), a survey for tree, shrub, and ground nesting birds will be required. No more than two weeks shall elapse between the survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c

The breeding season for bats generally occurs from April 1 through August 31. If tree removal is conducted this fall, no survey for roosting bats is required per mitigation measure BIO-2c. If tree removal is delayed until after April 1, a survey for roosting bats will be required as described under the mitigation measure above.

Thank you for calling on TRA, and please let me know if you have any questions.

Sincerely,

A handwritten signature in cursive script that reads "Taylor Peterson". The signature is written in black ink and is positioned above the typed name.

Taylor Peterson
Senior Project Manager

Mail From: Camille Leung

File Edit View Actions Tools Window Help

Close Reply Reply All Forward

Mail Properties Personalize Discussion Thread

From: Camille Li
 To: Tav Peter
 CC: Barbara Beard; Jack Chamberlain
 Subject: Re: Highlands I

12/4/2013 3:38

Hi All,

I just talked to Barbara Beard. Just to be clear, after this selective tree removal operation, all activities will be halted at the site until CDFW approves proposed nest dismantling. Nest dismantling needs to occur prior to any additional tree removals, grading, or construction, so all activities at the site are halted till the approval is received (likely in March). Therefore, I will make a note in all BLD permits that no permits are to be issued until the approval is received and applicable mitigation measures are in place.

Ralph -- when will this tree removal operation be completed? If tree removal will cause sedimentation or erosion, please install necessary erosion control measures to keep sediment from entering the street (disturbance of nests for this activity is not allowed).

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

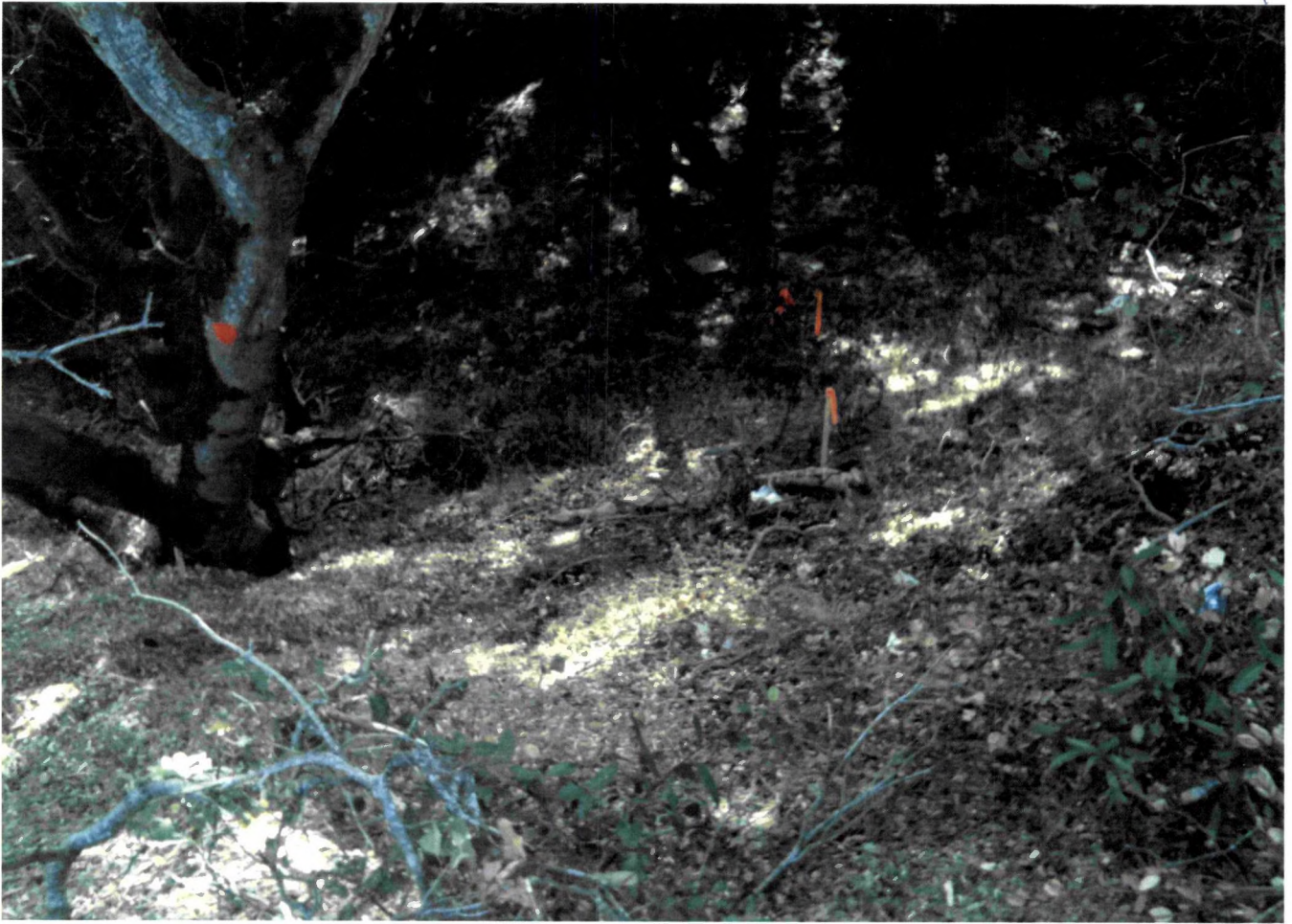
Pending Requests

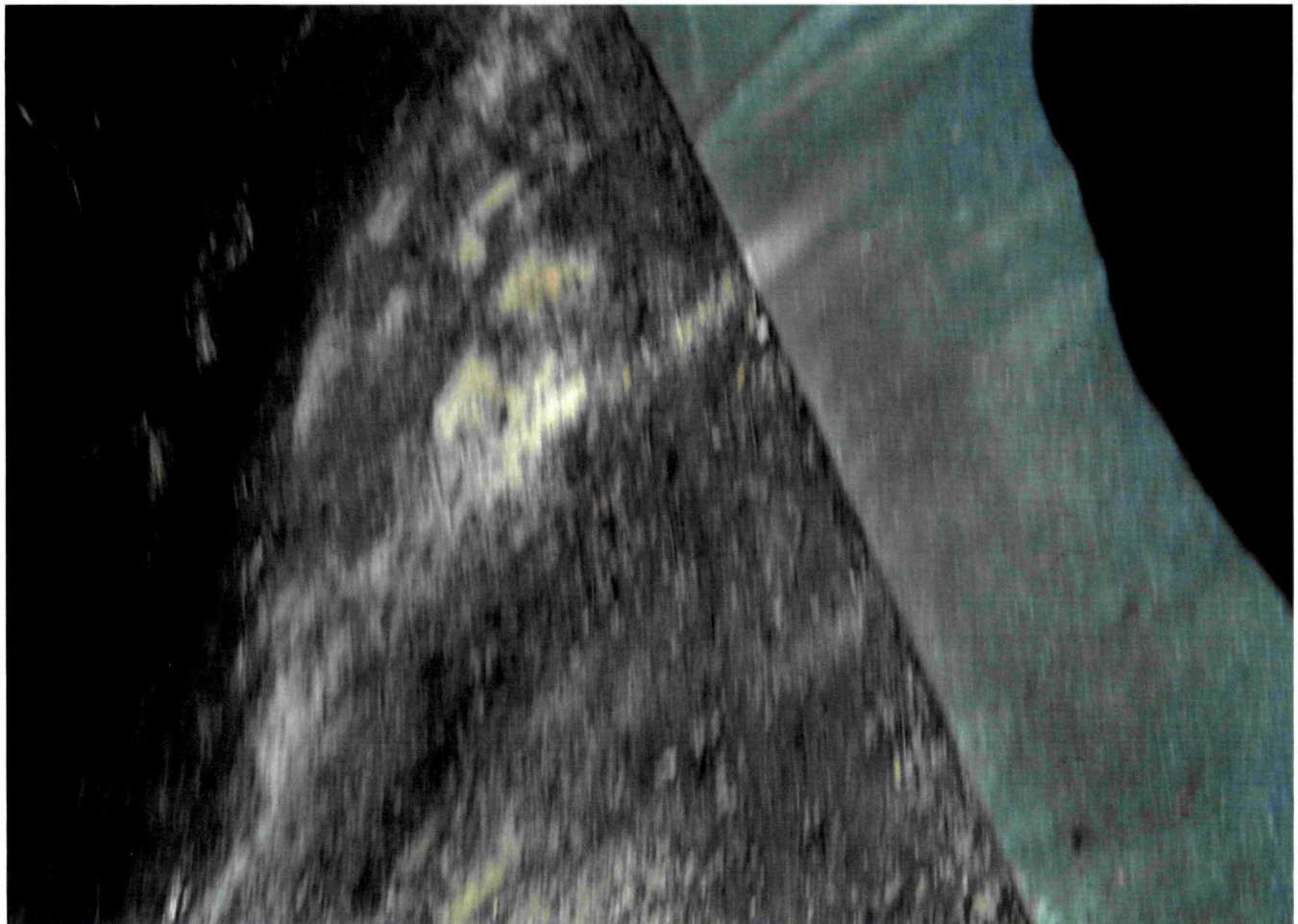
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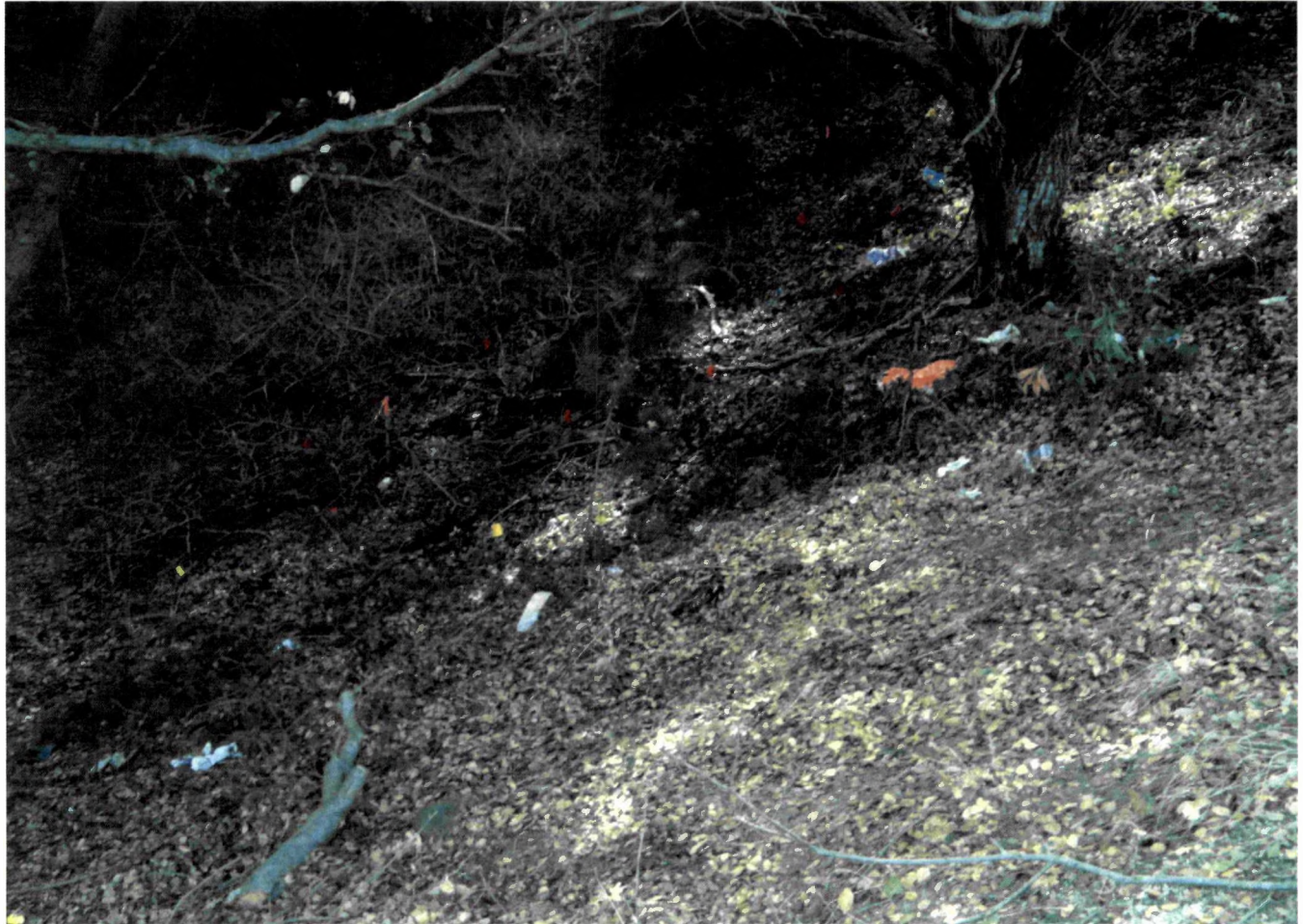
Subject
Re: Highlands Update
Operation and Maintenance Agree
RE: Highlands Update
Fwd: Feedback on the Operation &
Re: Fwd: Resend: M&O docs
Fwd: RE: Study Website Address
Re: Erosion control photos from Ear
Re: Fwd: SMCWPPP NDS - Decemb
RE: 1750 Cordilleras - Notice to Con
Re: 265 Allen Rd
Re: Highlands Update
Re: La Costanera
Re: Christmas Eve party
Fwd: Emailing: 057201060.PDF
Fwd: RE: Submittal
Re: Fwd: Airport Plan
RE: FW: Annual Report for Extra Spa
Re: 265 Allen Rd
Re: Highlands Update
Re: Fwd: Airport Plan
Re: Erosion control photos from Ear
1750 Cordilleras - Notice to Comply
EC Ride Along!!!!
Re: Emailing: 057201060.PDF (Out o
Re: we are on for Monday field trip
Re: Please Consider the Children's F

12/5/13
 Site Visit
 Tree Removal

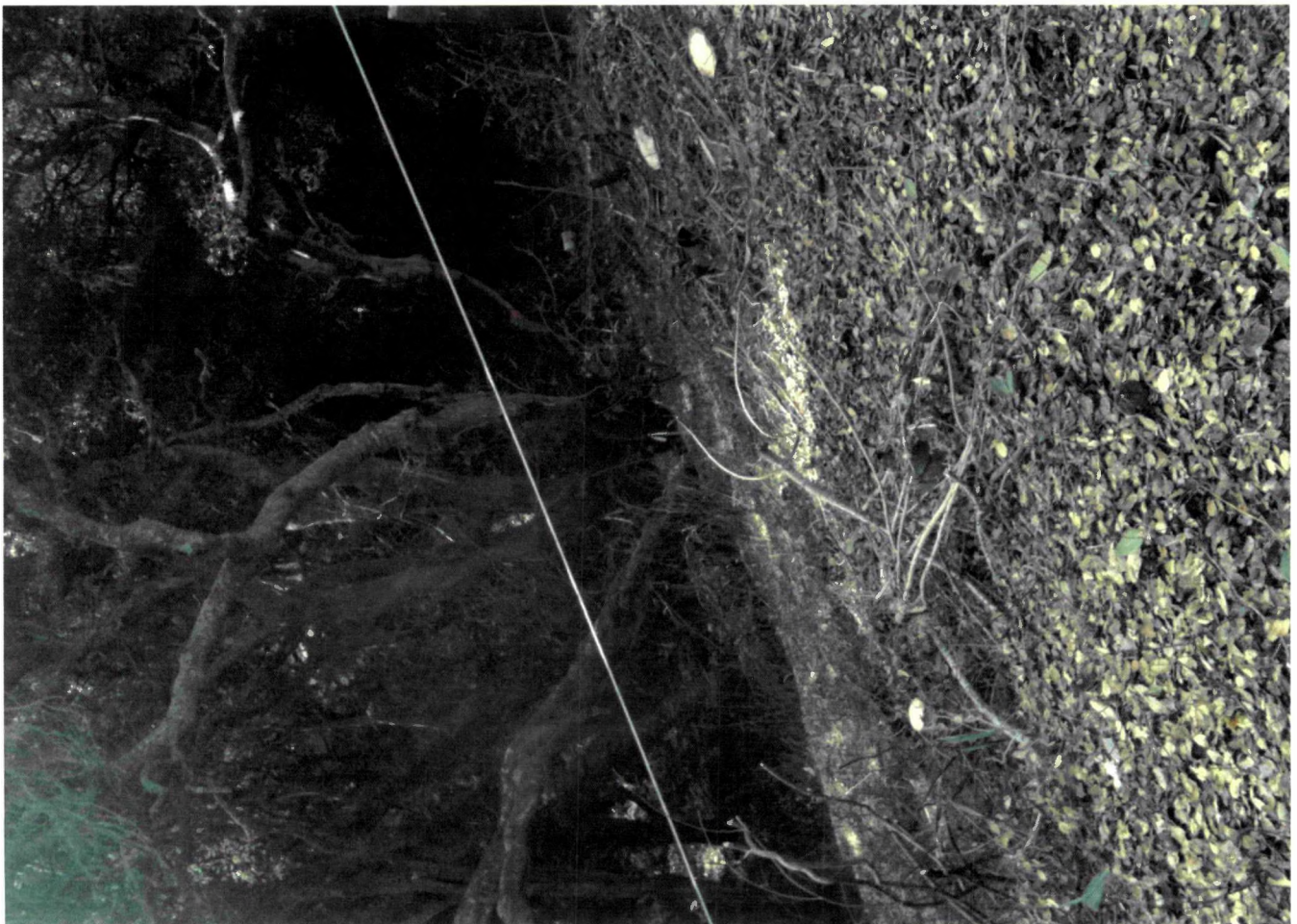
12/5/13













Cornell-

In case anything comes
of this, could you add
a Parcel Tax to Mr. Horton's
property? That way we
don't lose benefit of your
wise counsel.

Dave

From: Camille Leung
To: Dave Holbrook; Jonathan Horton
CC: jtuttlec@aol.com
Date: 12/9/2013 1:45 PM
Subject: RE: Emailing: Recorded Grant of Conservation Easement_Chamberlain

Hi Jonathan,

As for #1, please seek advice from an attorney (you can start by googling "prescriptive right" and related issues).

As for #2, see Covenant #11. If the case can be made that you are extending your residential use onto the property, it may be a violation of #11.

These are mostly questions that you should ask your own lawyer about or you can ask Dave Byers, who is Jack Chamberlain's lawyer. The arrangement is between 2 private parties. Mr. Byers should be well versed in the easement can advise his client accordingly.

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

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<http://www.co.sanmateo.ca.us/planning/survey>

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>>> "Horton, Jonathan" <hortonj@vision.ucsf.edu> 12/9/2013 1:04 PM >>>
 Dear Camille,

I promise not to engage you in an endless email conversation about this matter, but can I pose two more questions?:

- 1) I've heard that if someone encroaches on a piece of land for more than a year, putting up fences and structures, etc, that the person then acquires some legal right to it if the proper owner knows about the encroachment and does nothing. Is this true?
- 2) Could Chamberlain and I strike a formal, legal agreement that would give me the right to enter his RM-zoned property within a specified zone adjacent to my property and allow me exclusive use of the land as I see fit (with the understanding that all uses would be consistent with the conservation easement). I'm thinking this might be a creative solution to the encroachment problem, given that Chamberlain isn't interested in taking any action, nor is SM County.

Sincerely,

Jonathan Horton

Jonathan C. Horton MD PhD
William F. Hoyt Professor of Ophthalmology
Beckman Vision Center, UCSF
10 Koret Way, Box 0730
San Francisco, California 94143
Phone: 415-476-7176
Fax: 415-476-8309
Laboratory Website: www.ucsf.edu/hortonlab

-----Original Message-----

From: Camille Leung [<mailto:cleung@smcgov.org>]
Sent: Friday, December 06, 2013 8:33 AM
To: Dave Holbrook; Horton, Jonathan
Cc: jtuttlec@aol.com
Subject: RE: Emailing: Recorded Grant of Conservation Easement_Chamberlain

Hi Jonathan,

The property owner is responsible for all construction and other activities on his property. Its possible that, if an encroachment presents a substantial violation to the conservation easement, the County may initiate legal action against the property owner. However, the County determines this and the owner has some protection under Section 13 (acts beyond his control). The encroachment existed prior to the execution of the easement, so I'm not sure what position the County would take on this.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
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>>> "Horton, Jonathan" <hortonj@vision.ucsf.edu> 12/5/2013 6:07 PM >>>

Dear Dave, Camille,

The pool is located entirely within the current owner's property, but to make up for the fact that much of his backyard is occupied by a pool, he (or perhaps the previous owner) has created a large encroachment onto the RM-zoned Chamberlain land.

I understand the County's position that encroachment's are a civil matter between the civil parties, and recognize you do not have a direct role here. However, Chamberlain doesn't care much about this land because it is inaccessible and of no commercial value. Who will protect it? Some of the encroachments along the canyon rim have become pretty bold, involving terracing, retaining walls, and even wooden structures.

What if I decided to clear cut 50 feet behind my house, fence it in, and call it part of my domain (this is not a threat, just an example!!!). Chamberlain would not even know about it, and if told about it, probably wouldn't do much. Wouldn't the County have some objection, and get involved if a neighbor complained? Sincerely,

Jonathan Horton

Jonathan C. Horton MD PhD
William F. Hoyt Professor of Ophthalmology Beckman Vision Center, UCSF
10 Koret Way, Box 0730
San Francisco, California 94143
Phone: 415-476-7176
Fax: 415-476-8309
Laboratory Website: www.ucsf.edu/hortonlab<<http://www.ucsf.edu/hortonlab>>

From: Dave Holbrook [<mailto:dholbrook@smcgov.org>]
Sent: Thursday, December 05, 2013 4:35 PM
To: Camille Leung; Horton, Jonathan
Cc: jtuttlec@aol.com
Subject: RE: Emailing: Recorded Grant of Conservation Easement_Chamberlain

I'll just add that the permit for the pool was issued & constructed legally in 1970. The permit includes no plans, except a note that read: "Rear yard setback: 3 ft". While we've no idea from that microfilmed permit whether a plan was submitted or not - all Building inspection would have confirmed was that the pool edge was at least 3' from a rear property line (whatever that was assumed to be); it may have been a greater distance. And we have no permits for any other improvements. Again, I agree with Camille's position.

David Holbrook>>> Camille Leung 12/5/2013 4:00 PM >>> Hi Jonathan,

We checked our records and the neighbor's pool was built with a permit. Encroachments (where someone builds on another's land) are civil matters handled between civil parties. The County does not get involved in these matters. However, you can encourage Mr. Chamberlain to act on his rights as the property owner and request the removal of the encroachment from his land. I have included his email in the CC: of this email.

Best of luck :)

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> "Horton, Jonathan" <hortonj@vision.ucsf.edu<<mailto:hortonj@vision.ucsf.edu>>> 12/5/2013 2:45 PM
>>>

Dear Camille,

Thank you for sending me the Grant of Conservation Easement agreed upon by Chamberlain and SM County. It looks quite clear that it makes it impossible for me to enlarge my property. I called Chamberlain a month ago and proposed the idea to him and he was quite agreeable. I wonder if he understands that it can't be done.

At any rate, the main reason I wanted to buy a strip of Chamberlain land behind my property (2230 Sheraton Place) is that some years ago a neighbor at 2250 Sheraton Place put in a swimming pool and extended his backyard a sizeable distance northward into the Chamberlain RM-zoned land, leveling it, putting in grass, and building a fence. As a result, instead of having natural canyon land along a portion of my western property border, I have a neighbor's backyard. I find it rather annoying because it detracts from the privacy and peacefulness of my backyard.

If I decided to make an issue of this matter, what would be the mechanism to reverse this encroachment? I am not sure I want to, because it would vex my neighbor, but I am thinking about it because this seems like a good time to address the issue, as Chamberlain is in the process of relinquishing control of this land.

Sincerely,
Jonathan Horton

Jonathan C. Horton MD PhD
William F. Hoyt Professor of Ophthalmology
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Laboratory Website:
www.ucsf.edu/hortonlab<<http://www.ucsf.edu/hortonlab>><<http://www.ucsf.edu/hortonlab>>

From: Camille Leung [<mailto:cleung@smcgov.org>]<[mailto:\[mailto:cleung@smcgov.org\]](mailto:[mailto:cleung@smcgov.org])>
Sent: Wednesday, December 04, 2013 4:32 PM
To: Horton, Jonathan
Cc: Dave Holbrook
Subject: Emailing: Recorded Grant of Conservation Easement_Chamberlain

Hi Jonathan,

Per #8 under "Covenants" of the attached recorded Conservation Easement, dividing and subdividing of the property is prohibited. This includes lot line adjustments.

Sorry about the bad news. Thanks

Your message is ready to be sent with the following file or link attachments:

Recorded Grant of Conservation Easement_Chamberlain

Note: To protect against computer viruses, e-mail programs may prevent sending or receiving certain types of file attachments. Check your e-mail security settings to determine how attachments are handled.

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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From: Lisa Ring <lisa@ringcal.com>
To: Camille Leung <cleung@smcgov.org>
Date: 12/10/2013 10:21 AM
Subject: Re: Your Email

Camille,

Here is the info in email I had sent previously. Thanks for following up.
Are you available to chat briefly on this late this afternoon? at around 4:30 or if not, tomorrow morning?

As I mentioned on the phone, I have been contacted by the Highlands Community Association to help them review the upcoming construction of the homes included in the Chaimberlain project. At this point I am not working for them, but helping them to formulate a scope of work for what is needed to meet their interests.

I have spoken with Catherine Palter and Sam Naifeh regarding the project and they have been very helpful in giving me a good overview of the project and it's history. They have also provided me with some current building elevations for the four homes that are proposed to be constructed at this time, as well as COA for the project and some other associated documents.

In order to best assist the association, I would like to get copies of the following documents:

- ✓ The Mitigation Monitoring and Reporting Program from the Certified EIR
- ① - Complete building permit plan sets for the four proposed homes
- Any updated reports as required by the COA, such as the biotic surveys.
- ✓ Tentative/Final Map filed for the project
- Any other relevant information regarding the construction of the homes

If any of these documents are available electronically, I would greatly appreciate it if you could forward them to me. I know that some of these documents may not be available electronically or may be in review with other departments, so if it is better for me to go to the County offices to get the information please let me know.

I recognize that monitoring of the project in conformance with the COA and MMRP is the purview of the County and that you will be working on this specifically. My goal is to help the Association keep informed of the status of the project and also provide them information about the implementation of the COA

Best,
Lisa

Lisa Ring
LOR Planning & Environmental Consulting
650-678-5588
lisa@ringcal.com

This message contains information which may be confidential and privileged. Unless you are the addressee (or authorized to receive for the addressee),

The Chamberlain Group
655 Skyway #230
San Carlos, CA. 94070
650 595-5582 fax 650 595-5066

facsimile transmittal

To: CAMILLE MRS. LEUNG Fax: 650 767 4849

From: JOCK CHAMBERLAIN Date: 12-11-13

Re: 4 COPY PUNISH HRC DA Pages: 1+1

CC:

- Urgent For Review Please Comment Please Reply Please Recycle

CAMILLE,
FOR YOUR JOB PLEASE FIND PROHIBITED
CHANGING PERMIT DATA

JOCK

BUD2013-01792

Grading Permit

Department of Environmental Management
Planning and Building Division • San Mateo County
County Government Center • Redwood City • California 94063

Grading Permit # PLN2006-00357

Plan Check # PLN2006-00357

Site Address 2265, 2271, 2275 AND 2279 BUNKER HILL DRIVE

APN LOTS 1-4 OF PARCEL MAP 1094 Parcel/Lot Size
Acres _____ Feet 38827

Owners Name TICONDEROGA PARTNERS LLC Cut: 350 cy Fill: 40 cy

Address 655 SKYWAY ROAD SUITE 220 Total Cubic Yards Charged
SAN CARLOS, CA (Greater of cut or fill) _____

ZIP 94070 Tel 650 595 5582 Fees (detailed)

Developer TICONDEROGA PARTNERS LLC Grading Permit = \$5,333.00

Address 655 SKYWAY ROAD SUITE 220

ZIP 94070 Tel 650 595 5582 Other Permits Required Grading Approved

Calif. Lic. # _____ but can't start until after BLDs issued

Grading Operator/Contractor NEXT GEN BUILDERS

325 DEMETER ST
Address EAST PALO ALTO, CA 94303

License # 9074224

Tel 650 922 5800 Fax 650 922 5806

Civil Engineer BKE

Address 255 SHORELINE DR, SUITE 200
REDWOOD CITY, CA 94065

License CO 43971

Tel 650 482 6200 Fax 650 482 6399

Geotechnical Consultant LEWIS STONE EARTH GROUP

Address 1259 OAK MEAD PARKWAY
SUNNYVALE, CA 94085

License PE 2379 CEG 2275

Tel 408 245 4600 FAX 408 245 4610

Detailed Description of Work GRADING FOR FOUNDATION CONSTRUCTION
FOR FOUR SINGLE FAMILY DETACHED HOMES

Other _____
Address _____
License _____
Tel _____ FAX _____

Section 8604.8 - Duration of permit. If a substantial amount of work is not commenced within (8) months of the date of issuance or as otherwise indicated on the face of this permit, or if the said work is not completed within (1) one year of commencement, the permit shall become void.

Section 8604.9 - Renewal. The renewal of the permit may be administratively approved by the Planning Director providing no changes to the plans have been made. Application for such renewal must be made in writing no later than (1) month prior to the expiration date.

I hereby acknowledge that I have read this application and state that the information provided is true and correct and agree to comply with all applicable ordinances and regulations pertaining to this permit.

Agent for Next Gen Builders Inc
Signed [Signature] Date 9-21-14

Total Fees Paid/Date
5333.00, 8-22-06
Receipt # 91902

Plans Received by
Chung
Date 10.18.13

Planner in Charge
Camille Leung

Planning Approval/Date
3.9.11, OML

DPW (Roads) Approval/Date
L. Ekers, 11/22/06

Environmental Health Approval/Date
S. Low, 9/05/06

Grading Permit Issued by
Chung
Signature Camille Leung Date 12/2/13

Building Inspection Approval/Date
W. Cameron, 8/28/06

DPW (Geotechnical) Approval/Date
J. Denbouth, 2/8/10

Fire Department Approval/Date
M. Colbert, 4/25/08

Notes: 12-12-13 sent to J. Chamberlain for Print. Not Issued.
4/24/14 Issued to J. Schneider after issuance of BUD2013-01792.



Planning and Building Department

County of San Mateo

Mail Drop PLN 122 • 455 County Center, 2nd Floor • Redwood City
California 94063 • www.co.sanmateo.ca.us/planning • plngbldg@co.sanmateo.ca.us

Board of Supervisors

Mark Church
Richard S. Gordon
Carole Groom
Rose Jacobs Gibson
Addrienne J. Tissier

Jim Eggemeyer
Director

650/363-4161
FAX 650/363-4849

Email
~~Facsimile~~ Transmittal Sheet

Date sent: 12-12-13

To be delivered to: J. Chamberlain via Email

Facsimile number:

Sent by: C. Leung

Number of pages to follow Cover Sheet: 1

Message or Special Instructions:

Jack - all done :) P.S. sign in
Box on left Bottom corner
Fax or email Back.

Thanks! Camille

Our facsimile number is (650) 363-4849.

Please call (650) 363-4161 immediately if there is any problem with this transmission.

Thank you.



ENGINEERS
SURVEYORS
PLANNERS

December 19, 2013

Ms. Camille Leung
County of San Mateo
Planning and Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063

Subject: Improvement Plans for Highland Estates – Bunker Hill Drive
Plan Review Comments dated November 7, 2013 & Supplemental Comments
Response to Review Comments

Dear Ms. Leung,

The following are BKF's responses to your Erosion Control Plan Comment Letter, dated November 7, 2013, and your supplemental comments. We have addressed the issues brought to our attention and made the necessary corrections to our plans based on comments received. The following are BKF's responses, indicated in **bold** text, to the comments in the three review letters:

Erosion Control Plan Comment Letter Dated November 7, 2013

A. Make the Following Changes on the Project EC Plan (difficult projects only):

✓ *1. Delineation of Area of Work*

a) Separate erosion and sediment control plans are required to show the measures to be implemented at the grading stage (e.g., grading, foundation/retaining walls) and at the construction stage of the project.

Additional plan sheets are required for each of the following phases (difficult projects only):

- Grading and retaining wall(s) phase.

- Foundation(s) and construction phase.

- If the piece of land on Lexington will be used for staging, provide an Erosion Control Plan for this site (include proposed screening, construction entrance, etc.).

Erosion and sediment control plans have been separated to show the measures to be implemented at the grading stage and at the construction stage of the project. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

✓ *b) Protect Storm Drains Inlets*

Are there storm drain inlets on Bunker Hill? If so, show inlets and proposed protection for storm drain inlets with fiber rolls, rock sacks, or other measures that keep sediment from entering the drain. Do not install filter fabric or filter baskets in the drain. Indicate the measures to be used and their location.

255 Shoreline Drive
Suite 200
Redwood City
California 94065
phone 650.482.6300
fax 650.482.6399

A note to provide sediment barrier at the downstream storm drain inlet and detail have been added to the plans. Refer to Revised Sheet CX.50 Erosion Control Plan and Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

c) Protect Undisturbed Areas

Use silt fence or orange fencing along the "limit of grading" to protect areas that will not be disturbed during grading.

For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.

Silt fences have been placed along the side and rear property lines of the respective Lots. Additionally, the limits of construction staging for Lot 4 have been revised to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

d) Tree Protection

On the EC Plan, show which trees will not be removed and show proposed protection measures to be used (e.g., orange barrier fence). Tree protection shall be provided at the driplines. Do not locate any other uses within the tree driplines.

Protect existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.

Trees which are not to be removed have been shown with proposed protection measures. All existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. will be protected. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans. *Need fence barrier*

2. Prevent Erosion of Unstable or Denuded Areas

a) Show new contour lines for fill on Lot 1. Show all proposed retaining walls on the EC Plan, including areas that will be used for stockpiling earth and storing construction materials.

New contour lines for fill on Lot 1 have been shown. All proposed retaining walls have shown on the erosion control plan. Areas that will be used for stockpiling and storing construction materials have been shown on the logistics plan. Refer to Revised Sheet CX.50 Erosion Control Plan and Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

b) Direct water from construction areas to designated temporary filtration/detention areas.

Water from construction areas drains down the existing slope and will be intercepted by proposed erosion control measures including Fiber Rolls and Silt Fence. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

3. Show Locations of Logistics Areas

I don't see stockpile location or detail

need silt fence

during construction

- ✓ b) Show location of office trailer(s), storage sheds, temporary power pole, scaffold footprint, and other temporary installations on the plans. Show how they will be accessed and show protection of the access routes.

Location of job site trailer, materials storage, debris box location, and tool storage locker have been shown on the Logistics Plan. Temporary power pole, scaffold footprint and other temporary installations will be coordinated during construction. Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- b) On Erosion Control Plan, show Location of utility trenches, indicate utility types, and identify timing of installation.

Erosion Control Plans have been revised to show location of utility trenches. Refer to X.80 Logistics Plan for timing of installation. Refer to Revised Sheet X.50 Erosion Control Plan and Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

4. Construction Access Routes

- ✓ a) Provide designated area for parking of construction vehicles, using aggregate over geotextile fabric.

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- b) Show haul roads or access points used by excavation equipment, trucks or forklifts etc., on the plans. For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the plans. Materials for this purpose are required to be stored on-site.

onsite
(i.e. side yards)

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

5. Containment of Construction Materials and Waste

- a) Show location, installation and maintenance of a concrete/stucco mixer, washout, and pits. No concrete, mortar or stucco washout is allowed on the soil/ground. Specify the method used to contain the washout and the location.

Need wash out detail.

Location of wash out pit has been shown on the Logistics Plan. Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- ✓ b) Locate portable toilets away from surface water locations and storm drain inlets.

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- ✓ c) Show storage location and containment (as necessary) of construction materials during work, as well as afterhours/ weekends). Show the location of lumber, gravel, and materials storage areas on the plans. Show how they will be accessed and show protection of the access routes.

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

d) Show areas and proposed protection of temporary stockpiles using anchored-down plastic sheeting in dry weather. In wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

✓ e) Indicate the location of refuse piles and debris boxes on the plans. Show how they will be accessed and show protection of the access routes.

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

6. Construction Schedule

a) Include anticipated construction schedule and/or construction duration (in weeks or months).

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

b) An inspection to verify the installation of erosion control measures is required prior to Building Permit issuance. Please schedule an erosion control inspection with Camille Leung (phone number: 650-363-1826).

To be coordinated by Owner/Owner's Representative during construction.

B. Add the Following Standard Comments on the Project EC Plan:

a) Erosion Control Point of Contact: Please provide an Erosion Control Point of Contact including name, title/qualifications, email, and two phone numbers. This person will be responsible for erosion control at the site and will be the County's main point of contact if corrections are required.

Refer to Note 46 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

✓ b) The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."

Refer Note 48 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

✓ c) Construction sites are required to have erosion control materials on-site during the "off-season."

Refer Note 49 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

✓ d) Dust control is required year-round.

Refer Note 50 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

✓ e) Erosion control materials shall be stored on-site.

Refer Note 51 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

grading
erosion control
Oct 1 - April 30

pls.
add to
EC page or
title
page.

Improvement Plans.

- ✓f) Use of plastic sheeting between October 1st and April 30th is not acceptable, unless for use on stockpiles where the stockpile is also protected with fiber rolls containing the base of the stockpile.

Refer Note 52 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

- ✓g) The tree protection shall be in place before any grading, excavating or grubbing is started.

Refer Note 53 on Revised Sheet CX.60 Erosion Control Details and Notes of the Lot Improvement Plans.

C. *Suggestions to Consider to Avoid Erosion Control Violations and Delays in Construction:*

1. Installation of Utilities Before Winter is Highly Recommended

When utilities are located within a new paved driveway (e.g., Lot 3), it is HIGHLY recommended this utility be installed and covered as soon as possible and prior to the winter season (October 1 – April 30). The area could then be paved and used as a stabilized construction entrance during the wet season.

- a) Please provide an anticipated timeframe for paving of the new driveway. Lot 3

Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- ✓b) If the driveway will remain unpaved throughout the wet season, the applicant will be required to implement erosion controls in addition to the stabilized construction entrance(s). If any measures are found to be deficient, the project construction will be delayed until measures are found to be adequate by the building inspector.

Noted. Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

✓D. *For Your Reference Only – Erosion Control Policies for Construction Sites:*

Project erosion and sediment control measures shall be maintained as necessary throughout the duration of the permit to be effective. If significant field changes are made, revised plans must be submitted for approval. The building inspector has the authority to require additional measures at any time, and may cancel any requested inspection if any measures are found to be deficient. A Stop Work Notice may be issued pursuant to the County's Stormwater Enforcement Response Plan until corrections have been made and applicable fees paid for staff enforcement time. The property owner shall demonstrate via building inspection, that the site is stabilized either with adequate erosion control or landscaping, prior to issuance of the Certificate of Occupancy.

Noted.

Supplemental Comments

- ✓ 1. *Landscaping: A total of 14 replacement trees are required. Only 11 are provided. Please indicate that the replacement trees must be at least 15-gallon size.*

Refer to Landscape Lot Improvement Plans for replacement tree locations.

2. *Landscaping: Please provide an estimate of total new landscaping. If the amount exceeds 2500 sq. ft., all landscaping must comply with the County Water Efficient Landscape Ordinance. Please demonstrate compliance with the requirements of this Ordinance.*

Refer to Landscape Lot Improvement Plans for estimate of total new landscaping.

- ✓ 3. *Construction/Staging Limit: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.*

The limits of construction staging for Lot 4 have been revised to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. Refer to Revised Sheet C4.50 Erosion Control Plans of the Lot Improvement Plans.

4. *See Comments on Erosion Control (in a separate comment letter)*

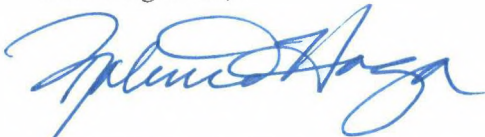
Noted.

- ✓ 5. *Grading Plan: Where is fill being deposited on Lot 1 (40 cy)? Show location and finished contours. Provide cross section per Condition 18.*

New contour lines for fill on Lot 1 have been shown. Additionally, a cross section has been provided. Refer to Sheet C1.40 Grading & Utility Plan and Cross Section and Revised Sheet C1.50 Erosion Control Plans of the Lot Improvement Plans.

Should you have any questions, comments or need further clarification regarding the responses to the plan check comments in this letter, please contact me at (650) 482-6407 or Michael DeLeon at (650) 482-6417.

Sincerely,
BKF Engineers,



Roland Haga, P.E., LEED® AP
Associate/Project Manager



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

COUNTY OF SAN MATEO PLANNING AND BUILDING DEPARTMENT

2nd Erosion Control Plan Comment Letter

Comment Letter Date: January 2, 2014	
Project EC Point of Contact: Noel Chamberlain, Nex Gen Builders Civil Engineer: Roland Haga, BKF	
Case No.: BLD2013-0192 - 1795	EC Plan Reviewer: C. Leung
EC Plan Date: December 19, 2013	EC Plan 2nd Reviewer: ---

The County Planning and Building Department's Planning Erosion Control Team (EC Team) has reviewed your re-submittal (including revised civil plans and accompanying letter dated December 19, 2013) to address the EC Team's letter dated November 7, 2013 for this project.

The items described in this letter are items that have not yet been addressed from the EC Team's letter dated November 7, 2013 in the re-submitted plans for this project. Please revise your plans to address the comments in this letter and re-submit two copies of the revised plans to the Building Inspection Section Counter. Your permit will not be issued until these comments, as well as comments from other review agencies, are addressed.

COMMENTS ON THE EROSION AND SEDIMENT CONTROL PLAN (EC PLAN):

A. Make the Following Changes on the Project EC Plan:

Unless as otherwise noted, all comments apply to all Lots 1 through 4:

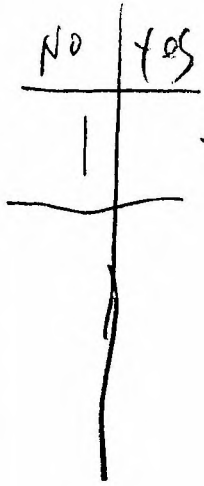
1. Delineation of Area of Work

e. Protect Undisturbed Areas

Grading Phase: For all lots, use silt fence or orange fencing along the "limit of grading" to protect areas that will not be disturbed during grading. County staff will want to see a physical barrier during this phase.

✓ **Construction Phase:** For all lots, please use silt fence along side and rear property lines. Please add legend to show fiber rolls or silt fence symbols.

Construction Phase: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared



Silt fence is at PL not limit of grading

property line with 2285 Bunker Hill Dr. per Condition 7. Page C4.30 needs to be updated to reflect the new grading and clearing limit.

2. **Prevent Erosion of Unstable or Denuded Areas** *w detail*

- No* | *Yes*
1
- a. Show areas that will be used for stockpiling earth (the word "stockpile" should be used). Please include stockpile protection detail. For protection of temporary stockpiles, use anchored-down plastic sheeting in dry weather. In wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.

3. **Show Locations of Logistics Areas**

- 1
- b. On Erosion Control Plan, show location of utility trenches, indicate utility types, and sediment control measures to be used while trenches are open.

4. **Construction Access Routes**

- X*
N | *Y*
- b. Show haul roads or access points used by excavation equipment, trucks or forklifts etc., on the plans (e.g., in side yards of houses). For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the plans. No fiber rolls should be placed in these areas of heavy traffic.

5. **Containment of Construction Materials and Waste**

- a. Specify the method used to contain the concrete washout and include a detail.

6. **Construction Schedule**

- a. Please correct the construction schedule to address: 1) Actual anticipated grading and construction dates and 2) Grading moratorium from October 1 – April 30 of every year. For Lot 3, please add anticipated date of driveway paving.

B. Add the Following Standard Comments on the Project EC Plan:

- ✓
- Erosion Control Point of Contact: Thank you for adding the contact information. Please put this information in a more prominent location on the plans (e.g., on title sheet or on erosion control plan page).

1/2/14

BLD Comments on Lots 1-4 (Comments apply to all lots, unless otherwise stated):

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Architectural

- 1. Provide Ridge Elevations
- 2. Heights: Approved Height is 32-feet (Lot 1 and 2 exceed 32-feet)
- 3. Stories: Houses were approved at 2 stories (Lot 3 is 3 stories)
- 4. Coverage: Please provide Lot Coverage amounts on title sheet (40% is max.)
- 5. FAR: Please provide FAR calcs on title sheet. All lots appear to exceed approved FARs (Approved FAR: 1) 2679, 2) 2679, 3) 2726, 4) 2726)
- 6. Elevation: Lot 1 does not comply with approved elevation (where roof over garage slopes down towards front)

Lot	Lot	Lot	Lot
1	2	3	4
✓	✓	✗	✗
✗	✗	✓	✗
✓	✓	✓	✓
✓	✓	over 586	over 710
✓	✗	✗	✗

7. Elevation: Please provide color rendering and samples, with notes on materials used *lighter Roof Color (lea) Med. Tone / Lot 2+4 → darker color*

8. Show decks on site plan w/ dimensioned setbacks.

○	○		
---	---	--	--

Civil

- 1. Landscaping: A total of ~~18~~ 14 replacement trees are required. Only 11 are provided. Please indicate that the replacement trees must be at least 15-gallon size.
- 2. Landscaping: Please provide an estimate of total new landscaping. If the amount exceeds 2500 sq. ft., all landscaping must comply with the County Water Efficient Landscape Ordinance. Please demonstrate compliance with the requirements of this Ordinance.
- 3. Construction/Staging Limit: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.
- 4. See Comments on Erosion Control (in a separate comment letter)
- 5. Grading Plan: Where is fill being deposited on Lot 1 (40 cy)? Show location and finished contours. Provide cross section per Condition 18.

✓	✓	✓	✓
✓	✓	✓	✓
✗	✗	✗	✓
○	✗	✗	✗
✓	✗	✗	✗

Remove lightning rods elev. of Lot 4

certified Statement of Compliance
Guarantee covers 1 year
Dana to replace up to 3 years or area?

See letter

6. MM: NOI + TRANS-1



ENGINEERS
SURVEYORS
PLANNERS

January 16, 2014

Ms. Camille Leung
County of San Mateo
Planning and Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063

Subject: Improvement Plans for Highland Estates – Bunker Hill Drive
Plan Review Comments, dated January 2, 2014, Supplemental Comments, and
DPW Comments, dated December 19, 2013
Response to Review Comments

Dear Ms. Leung,

The following are BKF's responses to your Erosion Control Plan Comment Letter, dated January 2, 2014, your supplemental comments, and Department of Public Works Comments, dated December 19, 2013. We have addressed the issues brought to our attention and made the necessary corrections to our plans based on comments received. The following are BKF's responses, indicated in **bold** text, to the comments in the three review letters:

Erosion Control Plan Comment Letter Dated November 7, 2013 (Comments by Camille Leung)

A. Make the Following Changes on the Project EC Plan (difficult projects only):

1. Delineation of Area of Work

a) Protect Undisturbed Areas

Grading Phase: For all lots, use silt fence or orange fencing along the "limit of grading" to protect areas that will not be disturbed during grading. County staff will want to see a physical barrier during this phase.

Silt fences have been placed along the side and rear property lines of the respective Lots for the grading phase. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

Construction Phase: For all lots, please use silt fence along side and rear property lines. Please add legend to show fiber rolls or silt fence symbols.

Silt fences have been placed along the side and rear property lines of the respective Lots for the construction phase. A legend showing the erosion control measure symbols has been added to the plan. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

255 Shoreline Drive
Suite 200
Redwood City
California 94065
phone 650.482.6300
fax 650.482.6399

Page 1 of 4

Construction Phase: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7. Page C4.30 needs to be updated to reflect the new grading and clearing limit.

The limits of construction staging for Lot 4 have been revised to the extent feasible in order to allow for the construction of the required retaining wall and to protect existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. Refer to Revised Sheet C4.30 Site & Clearing, Construction and Grading Limits Plan and C4.50 Erosion Control Plan of the Lot 4 Improvement Plans.

2. Prevent Erosion of Unstable or Denuded Areas

- a) Show areas that will be used for stockpiling earth (the word "stockpile" should be used). Please include stockpile protection detail. For protection of temporary stockpiles, use anchored-down plastic sheeting in dry weather. In wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.

Contractor will determine area for stockpiling in the field and these stockpile areas may move as necessary for construction of homes. Reference to California Stormwater Quality Association (CASQA) Standard Details, including WM-3 Stockpile Management, have been added to the plans for contractor to use in selecting appropriate BMPs when necessary to meet field conditions. Refer to Revised Sheet CX.60 Erosion Control Details and Notes.

3. Show Locations of Logistics Areas

- a) On Erosion Control Plan, show Location of utility trenches, indicate utility types, and sediment control measures to be used while trenches are open.

Contractor will use means and methods in accordance with Best Management Practices to prevent any sediment from entering into the open trenches. Specific erosion control measures have been indicated on the plan; however, it is intended for the contractor to apply appropriate BMPs when necessary to meet field conditions. Refer to Revised Sheet X.50 Erosion Control Plan of the Lot Improvement Plans.

4. Construction Access Routes

- a) Show haul roads or access points used by excavation equipment, trucks or forklifts etc., on the plans. For unpaved routes, use ridges running diagonally across the road that run to a stabilized outlet. The type of materials used for stabilization and their locations shall be indicated on the plans. Materials for this purpose are required to be stored on-site.

The lot areas are small and there is no room for haul roads on the lots themselves. The contractor will use means and methods as necessary for grading which is no different than building on any other hillside lot within the County. Construction entrances are shown and referenced on the Erosion Control Plan. Refer to Revised Sheet CX.50 Erosion Control Plan of the Lot Improvement Plans.

5. Containment of Construction Materials and Waste

- a) *Specify the method used to contain the concrete washout and include a detail.*

Reference to California Stormwater Quality Association (CASQA) Standard Details, including WM-8 Concrete Waste Management, have been added to the plans for contractor to use in selecting appropriate BMPs when necessary to meet field conditions. Refer to Revised Sheet CX.60 Erosion Control Details and Notes.

6. Construction Schedule

- a) *Please correct the construction schedule to address: 1) Actual anticipated grading and construction dates and 2) Grading moratorium from October 1 – April 30 of every year. For Lot 3, please add anticipated date of driveway paving.*

Construction Schedule has been revised to address 1) anticipated grading and construction dates and 2) grading moratorium from October 1 – April 30. Additionally, anticipated dates of driveway paving have been added to the construction schedule. Refer to Revised Sheet CX.80 Logistics Plan of the Lot Improvement Plans.

- B. *Add the Following Standard Comments on the Project EC Plan:*

Erosion Control Point of Contact: *Thank you for adding the contact information. Please put this information in a more prominent location on the plans (e.g., on title sheet or on erosion control plan page).*

Erosion Control Point of Contact information has been added to the Title Sheet. Refer to Revised Sheet CX.10 Title Sheet of the Lot Improvement Plans.

Supplemental Comments (Comments by Camille Leung)

1. *(Comment Addressed) Landscaping: A total of 14 replacement trees are required. Only 11 are provided. Please indicate that the replacement trees must be at least 15-gallon size.*

Noted.

2. *New Landscaping Comments:*

- a) *The Elderberry to be removed on Lot 4 should be replaced with an Elderberry if elderberry is a native species (from my research, it is a native species), per Condition 4.H.*
b) *Guarantee from Landscape Architect seems only to last for 1 year (Note 13 on Page L5.0). Per Condition 4.H., replacement trees will need to last 3 years minimum. Please indicate who will be responsible for tree maintenance for 3 years and what is involved in tree maintenance activities.*

Refer to Landscape Lot Improvement Plans for replacement tree locations.

3. *Landscaping: Please provide an estimate of total new landscaping. If the amount exceeds 2500 sq. ft., all landscaping must comply with the County Water Efficient Landscape Ordinance. Please demonstrate compliance with the requirements of this Ordinance.*

Refer to Landscape Lot Improvement Plans for estimate of total new landscaping.

4. *(Included in Comment 4) Construction/Staging Limit: For Lot 4, shrink limits of construction staging, such that there is barrier to protect all existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. per Condition 7.*

The limits of construction staging for Lot 4 have been revised to the extent feasible in order to protect existing vegetation along full length of shared property line with 2285 Bunker Hill Dr. Refer to Revised Sheet C4.50 Erosion Control Plans of the Lot Improvement Plans.

5. *See Comments on Erosion Control (in a separate comment letter dated 1/2/14)*

Noted.

6. *(Comment Addressed) Grading Plan: Where is fill being deposited on Lot 1 (40 cy)? Show location and finished contours. Provide cross section per Condition 18.*

Noted.

Department of Public Works Comments Dated December 19, 2013 (Comments by Richard Lee)

1. *Any T-Fitting (at storm drainage outlets into bioretention basin) for Steep Slope?*

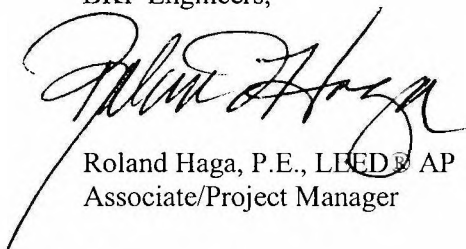
The bioretention basin utilizes a strip of rock protection (consisting of 2" to 4" diameter rock), approximately 2' by the length of the basin, at the points where storm drainage collected from the roof and driveway discharge into the bioretention basin in order to eliminate erosion of the bioretention basin soil layers. The stormwater collected from the roof and driveway will result in minimal discharge flows that will be more than adequately handled by the rock protection. Refer to Detail 1, Sheet X.70 Bioretention Basin Detail.

2. *Comments regarding bioretention basin material depths and location of orifice.*

Bioretention Basin Detail has been revised to provide clarity with regards to elevations and depths of materials. Additionally, the Storm Drainage Report has been revised as the 2" diameter orifices are not required for the Bioretention Basins as bioretention soil media decreases the stormwater runoff for the ranges of flows from 10% of the 2-year storm event to the 10-year storm event, to match the pre-development stormwater runoff rates. Refer to revised Detail 1, Sheet X.70 Bioretention Basin Detail.

Should you have any questions, comments or need further clarification regarding the responses to the plan check comments in this letter, please contact me at (650) 482-6407 or Michael DeLeon at (650) 482-6417.

Sincerely,
BKF Engineers,



Roland Haga, P.E., LEED® AP
Associate/Project Manager



255 Shoreline Drive, Suite 200
 Redwood City, CA 94065
 (650) 482-6300, Fax (650) 482-6399

TRANSMITTAL

Date: January 23, 2014 **BKF No.:** 19950168-14

To: Camille M. Leung **Copies To:** Jack Chamberlain
 Planning and Building Department (Transmittal Only)
 455 County Center, Second Floor
 Redwood City, CA 94063

From: Roland Haga, PE, LEED® AP
 Associate/Project Manager

Subject: **Highland Estates, San Mateo County**
Lots 1-4 Sheet X.10, X.30, X.50, X.60, X.70 and X.80 of the Lot Improvement Plans

We Are Sending You Attached **Via** **Hand Deliver**
 Under separate cover

The Following Items:

Photocopies Prints Plan originals Report Proposal
 Specifications Shop drawings Change order Other:

Copies	Date	No.	Description
2	01/17/14	-	Full Size Highland Estates Lots 1-4 Sheet X.10, X.30, X.50, X.60, X.70 and X.80 of the Lot Improvement Plans (J:\Eng95\950168\dwg\Xarc-plt\2014-01-17 Improvement Plan 2nd Submittal)
1	01/17/14	-	Storm Drainage Report
1	01/17/14	-	Response to Comments Letter

These Are Transmitted As Checked Below:

For signature For review and comment No exception taken
 For approval Returned after loan to us Returned for resubmittal
 For your use Response to proposal request With corrections noted
 As requested Other

Remarks:

If you have any questions or comments, feel free to contact me at (650) 482-6407, thanks.

2271 Bunker Hill Drive, Lot 2, San Mateo

Case Number: BLD2013-01793

Planning Department Comments
Delta 1 - Planning Revisions



Mark Gross & Assoc.
MGA J.N. 4106

February 10, 2014

Item	Revision	Sheet
Architectural Comments		
1	Ridge Heights Noted on the Building Sections and Elevations.	
2	See Building Sections for 32'-0" height offset from grade. They show the Structure under the height limit.	2-4, 2-5, 2-6 & 2-7
3	Structure is a 2 Story. See project data on the Cover Sheet.	
4	Per meeting with County and Builder, Residence on Lot 2 was to be reduced 26 square feet	A2
	See Cover Sheet for Lot Coverage Tabulation. Residence was reduced 30 square feet.	A2
	4" was taken out of the depth of the house. Floor and Foundation Plans have been revised.	
5	30 sq. ft. has been taken out of the Residence on Lot 2.	
6	Refers to Lot 1 only	
7	Colors and samples to be included.	
	Landscaping comments to be addressed by other.	

2275 Bunker Hill Drive, Lot 3, San Mateo

Case Number: BLD2013-01794

Planning Department Comments
Delta 1 - Planning Revisions



Mark Gross & Assoc.
MGA J.N. 4106

February 10, 2014

Item	Revision	Sheet
Architectural Comments		
1	Ridge Heights Noted on the Building Sections and Elevations.	3-4, 3-5, 3-6, 3-7 & 3-8
2	Refers to Lots 1 and 2 only	
3	Structure is a 3 Story, but per the meeting with County and Builder this was approved as is.	
4	Per meeting with County and Builder, Residence square footage on Lot 3 is OK.	A3
	See Cover Sheet for Lot Coverage Note.	
5	No changes made to the Residence on Lot 3.	
6	Refers to Lot 1 only	
7	Colors and samples to be included.	
	Landscaping comments to be addressed by other.	

From: Camille Leung
To: jtuttlec@aol.com
CC: markg@markgrossinc.com
Date: 2/11/2014 10:37 AM
Subject: Minor Modification to allow a 3-story home on Lot 3 has been Approved by the Community Development Director

Minor Modification to allow a 3-story home on Lot 3 has been Approved by the Community Development Director

In reviewing the building plans submitted for a building permit for a new home on Lot 3 on Bunker Hill Drive, County staff noted a discrepancy between the Project as described in the staff report (dated April 27, 2010) to the Board of Supervisors and Project Draft Environmental Impact Report (DEIR) and the Project as represented on the building plans. The staff report and DEIR describe all homes being 2 stories. The project plans show a 3-story home on Lot 3 to span the distance between the garage and the declining grade, with 2-story homes on the other Bunker Hill Drive lots. It should be noted that the only discrepancy discussed here involves the number of stories, not height nor home size.

The Community Development Director has determined that the applicant's request for a 3-story home on Lot 3 is considered a modification to the project approved by the Board of Supervisors. The modification requested would not result in new significant impacts under the California Environmental Quality Act, as height would not change and significance thresholds would not be exceeded. The applicable significance threshold for analyzing the aesthetic impact of the modification is whether the project would exceed 3 stories or 36 feet in height, as stated on page 4.1-26 of the Project DEIR. As modified, the project would continue to result in a less than significant impact in this area, as the home would be 3-stories and 32-feet in height (as approved by the Board of Supervisors) and would not exceed 3 stories or 36 feet in height. Condition No. 6b of the project conditions of approval (dated March 9, 2011) relates to the number of stories in the residences, stating that "Lots 1, 2, 3, 4 and 11: Homes shall be no more than one-story high on the front curbside. Home design will be compatible with the area's contemporary, mid-20th century modern style. Rear facades of homes on Lots 9 through 11 shall have details to reduce the massing of the structure, specifically architectural articulation to break up the vertical facade, color variation, and brick or stone treatment for retaining walls supporting the residences." As modified, the home on Lot 3 is one-story high on the front curbside. Based on the above factors, the Community Development Director has determined the modification to be minor in nature and has approved the modification as described above.

Please feel free to call or email me if you have any questions. Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Please help us to serve you better and take a moment to complete our survey, just click on the link below:
<http://www.co.sanmateo.ca.us/planning/survey>

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February 27, 2014

County of San Mateo
Planning and Building Department
Camille Leung, Project Planner
455 County Center, Second Floor
Redwood City, CA 94063

Dear Camille,

SUBJECT: County File No. 2006-00357, Highlands Estates Project

Highlands Estates has applied to your office for building permits to construct residences on four lots. This letter calls your attention to the fact that the developer has not yet met several conditions of approval, nor implemented several key environmental-mitigation measures imposed by the County as conditions of approval. No building permits should be issued until those deficiencies have been cured.

The following comments are based on County File No. 2006-00357 approved on April 27, 2010, conditionally approving a Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on the subject property.

Based on review of the Highlands Estates Improvement Plans Lots 1-4 dated December 2013, Landscape Improvement Plans dated December 16, 2013 and Architectural Plans submitted November 7, 2013, it appears there are conditions and mitigations that have not been met. **Please confirm that the Planning Office will not sign off on Building Permits until the Conditions of Approval have been fulfilled.** This letter itemizes the outstanding conditions below.

Comments:

BIO-3: The Tree Replacement plan does not specify the location of planting sites; site preparation and planting procedures; a schedule and action plan to maintain and monitor the tree replacement sites; a list of criteria and performance standards by which to measure success of the tree replacement and contingency measures in the event that the tree replacement efforts are not successful. Please provide documentation that a revised Tree Replacement Plan has been submitted meeting the mitigation measure.

BIO-4: The applicant needs to provide a Lighting Plan. The Lighting Plan needs to be approved prior to the issuance of the first building permit for any of the 11 homes.

GEO-1 and 2b: Please provide documentation that a design level geotechnical investigation has been approved by the San Mateo County Geotechnical Engineer. The geotechnical investigation needs to be approved prior to project grading. The HCA requests a copy of the geotechnical investigation and a hard-copy of the latest plans for review by Cotton Shires, the HCA contract geotechnical expert who was involved in the development of the conditions of approval.

Please provide:

GEO-3: documentation that a SWPPP in compliance NPDES have been filed with the State Water Resources Control Board (CWRCB).

NOI-1: documentation that construction documents include BAAQMD recommendations and noise reduction practices have been met.

TRANS-1: documentation that a Construction Management Plan has been approved by the Public Works Department.

TRANS-2: documentation that Public Works has made a determination that a fee for the installation of advisory traffic signals on Ticonderoga Drive is determined necessary.

COA #10- documentation that a Storm Drainage Plan has been approved by the Public Works Department.

COA #11- The applicant has not fulfilled agreed on procedure for replacement of Final Map with an imperfect legal description, a title insurance policy and subordination of all loans to the conservation easement.”

Please provide a copy of the County Title Insurance policy on the conservation easement and documentation of subordination of the three loans on the property to the conservation easement.

The applicant has cut trees and has left logs and branches on the site and apparently inside the conservation easement, which appear to constitute a fire hazard for the conservation easement and adjacent homes. Please provide documentation of determination as to whether dumping of cut trees occurred on the conservation easement land (i.e., off the parcel)

COA #20- Note no grading can occur during the Winter Season (October 15 to April 15).

We request the following:

COA #25- documentation that a Notice of Intent (NOI) has been filed with the State Water Resources Board to obtain coverage under the State General Construction Activity NPDES Permit.

COA#30- documentation that the color and materials of the bio-retention areas for all homes shall match the surrounding native landscaping.

COA#35- documentation that a revised geotechnical report that includes detailed recommendation for grading, erosion control, and foundation design have been reviewed and approved by the County Geologist.

COA #42- documentation that all the new residences comply with the current Green Building Ordinance.

February 27, 2014
Case No. BLD2013-0192-1795

COA #47- documentation that a Permanent Storm Water Management Plan in compliance with the County's Storm Drainage Policy (NPDES and C.3 requirements) has been approved.

COA #49- documentation that the applicant complied with Final Map conditions to either construct all improvements for shared access or entered into a written agreement with the County for future construction of the improvements. Also provide documentation that a Subdivision Agreement has been submitted to Public Works.

Final Map Comments: documentation demonstrating if a deed restriction was recorded showing that Lot 12 the open space parcel, is subject to perpetuity. Also, was the deed restriction recorded showing the donation to the park service meeting the requirements of the County Subdivision requirements? The "No Build" areas were supposed to be shown on the Final Map - please confirm that this was done. The applicant was supposed to install a crosswalk and ADA ramp at the intersection of Ticonderoga Drive and Allegheny Way prior to recordation of the Final Map. Provide documentation that this condition was met.


COA #55- documentation that a written certification from the appropriate Water District stating that their requirement to provide water service and connection to the parcels have been met.

COA #59- documentation that a driveway "Plan and Profile" has been submitted to Public Works showing the driveway access to the parcel meets County standards.

COA #66- The project is located in the wildland urban interface area. The materials (roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection) shall be installed to meet CBC Chapter 7A requirements. Please provide documentation that the materials meet the requirements.

We appreciate the opportunity to provide comments on the project. We look forward to your response. Please let me know if you have any questions in this regard. I can be reached at 650 796 5828.

Sincerely,



Margaret Netto
Principal Planner

cc: Jim Eggemeyer
Rick Priola
Liesje Nicolas

February 27, 2014

County of San Mateo
Planning and Building Department
Camille Leung, Project Planner
455 County Center, Second Floor
Redwood City, CA 94063

Dear Camille,

SUBJECT: County File No. 2006-00357, Highlands Estates Project

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The following comments are based on County File No. 2006-00357 approved on April 27, 2010, conditionally approving a Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on the subject property.

Based on review of the Highlands Estates Improvement Plans Lots 1-4 dated December 2013, Landscape Improvement Plans dated December 16, 2013 and Architectural Plans submitted November 7, 2013, it appears there are conditions and mitigations that have not been met. **Please confirm that the Planning Office will not sign off on Building Permits until the Conditions of Approval have been fulfilled.** This letter itemizes the outstanding conditions below.

Comments:

BIO-3: The Tree Replacement plan does not specify the location of planting sites; site preparation and planting procedures; a schedule and action plan to maintain and monitor the tree replacement sites; a list of criteria and performance standards by which to measure success of the tree replacement and contingency measures in the event that the tree replacement efforts are not successful. Please provide documentation that a revised Tree Replacement Plan has been submitted meeting the mitigation measure.

BIO-4: The applicant needs to provide a Lighting Plan. The Lighting Plan needs to be approved prior to the issuance of the first building permit for any of the 11 homes.

GEO-1 and 2b: Please provide documentation that a design level geotechnical investigation has been approved by the San Mateo County Geotechnical Engineer. The geotechnical investigation needs to be approved prior to project grading. The HCA requests a copy of the geotechnical investigation and a hard-copy of the latest plans for review by Cotton Shires, the HCA contract geotechnical expert who was involved in the development of the conditions of approval.

Please provide:

- 2x **GEO-3:** documentation that a SWPPP in compliance NPDES have been filed with the State Water Resources Control Board (CWRCB). N/A
- 5 **NOI-1:** documentation that construction documents include BAAQMD recommendations and noise reduction practices have been met.
- 6 **TRANS-1:** documentation that a Construction Management Plan has been approved by the Public Works Department.
- 7 **TRANS-2:** documentation that Public Works has made a determination that a fee for the installation of advisory traffic signals on Ticonderoga Drive is determined necessary.
- 8 **COA #10-** documentation that a Storm Drainage Plan has been approved by the Public Works Department.
- 9 **COA #11-** The applicant has not fulfilled agreed on procedure for replacement of Final Map with an imperfect legal description, a title insurance policy and subordination of all loans to the conservation easement."

Please provide a copy of the County Title Insurance policy on the conservation easement and documentation of subordination of the three loans on the property to the conservation easement.

The applicant has cut trees and has left logs and branches on the site and apparently inside the conservation easement, which appear to constitute a fire hazard for the conservation easement and adjacent homes. Please provide documentation of determination as to whether dumping of cut trees occurred on the conservation easement land (i.e., off the parcel)

- 10 **COA #20-** Note no grading can occur during the Winter Season (October 15 to April 15).

We request the following:

- 11 **COA #25-** documentation that a Notice of Intent (NOI) has been filed with the State Water Resources Board to obtain coverage under the State General Construction Activity NPDES Permit. N/A
- 12 **COA#30-** documentation that the color and materials of the bio-retention areas for all homes shall match the surrounding native landscaping. see plans
- 13 **COA#35-** documentation that a revised geotechnical report that includes detailed recommendation for grading, erosion control, and foundation design have been reviewed and approved by the County Geologist.
- 14 **COA #42-** documentation that all the new residences comply with the current Green Building Ordinance. repealed

February 27, 2014
Case No. BLD2013-0192-1795

see plan

15 COA #47- documentation that a Permanent Storm Water Management Plan in compliance with the County's Storm Drainage Policy (NPDES and C.3 requirements) has been approved.

16 COA #49- documentation that the applicant complied with Final Map conditions to either construct all improvements for shared access or entered into a written agreement with the County for future construction of the improvements. Also provide documentation that a Subdivision Agreement has been submitted to Public Works.

DPW

lots 112

17 **Final Map Comments:** documentation demonstrating if a deed restriction was recorded showing that Lot 12 the open space parcel, is subject to perpetuity. Also, was the deed restriction recorded showing the donation to the park service meeting the requirements of the County Subdivision requirements? The "No Build" areas were supposed to be shown on the Final Map - please confirm that this was done. The applicant was supposed to install a crosswalk and ADA ramp at the intersection of Ticonderoga Drive and Allegheny Way prior to recordation of the Final Map. Provide documentation that this condition was met.

Corner easement

18 COA #55- documentation that a written certification from the appropriate Water District stating that their requirement to provide water service and connection to the parcels have been met.

See P4P

19 COA #59- documentation that a driveway "Plan and Profile" has been submitted to Public Works showing the driveway access to the parcel meets County standards.

page =

20 COA #66- The project is located in the wildland urban interface area. The materials (roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and underfloor protection) shall be installed to meet CBC Chapter 7A requirements. Please provide documentation that the materials meet the requirements.

Fire Sign 70 =

We appreciate the opportunity to provide comments on the project. We look forward to your response. Please let me know if you have any questions in this regard. I can be reached at 650 796 5828.

Sincerely,

M. Netto

Margaret Netto
Principal Planner

cc: Jim Eggemeyer
Rick Priola
Liesje Nicolas

From: Camille Leung
To: jtuttlec@aol.com
CC: RHAGA@BKF.com; dbyers@landuselaw.net; markg@markgrossinc.com
Date: 2/28/2014 4:57 PM
Subject: Lots 1-4: Plan Check Comments

Hi Jack,

I had a chance to get through Lot 1 and part of Lot 2 today. Here are my preliminary comments. I will try to finish the plan checks on Monday.

Architectural:

1) Lot Coverage: Unclear what lot coverage is. Please clearly put this on the title sheet for all lots (include footprint and decks). With decks, Lot 1 looks like its around 42% (where 40% is max). Check all lots.

2) Max. Floor Area as presented on the title sheet is not correct. Lot 1 exceeds Floor Area. All decks covered by a waterproof roof where the roof extends more than 4-feet from the wall are counted towards FAR. I saw this problem on Lot 2 as well. Please have Ron or Mark Gross call me.

3) Heights looks fine.

4) Elevation of Lot 1 looks fine.

Civil comment:

3) Site Plan needs to show dimensioned setbacks from decks (which are considered structures as they over 18" in height from grade and subject to setbacks).

4) Erosion Control Comments that have not been addressed:

- Item 1.e, Grading Phase
- Item 2.a - show detail
- Item 3.b
- Item 5.a - Show detail
- Item 6.a - Grading needs to start after April 30, please correct schedule

Landscaping Plan Comments:

1) Please indicate which replacements are oak trees. Some are agrifolia (oak) and some are "mexican". But unclear which is which.

Thats it for now. I'll add to this list on Monday.

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

From: Camille Leung
To: markg@markgrossinc.com; rons@markgrossinc.com
CC: jtuttlec@aol.com; noel chamberlain
Date: 3/3/2014 5:14 PM
Subject: Floor Area Definition

Hi Mark and Ron,

This email adds to my comments of Last Friday.

Sorry for the delay. I had to check with the Director. Please use this definition of Floor Area:

SECTION 6102.34.5. FLOOR AREA OF DWELLING UNIT. The area included within the walls enclosing each dwelling unit. The floor area shall be measured from the inside face of the walls enclosing each dwelling unit including all closet space and storage areas contained within the unit, but shall not include unenclosed porches or balconies.

Notice that it does NOT include covered patios that extend 4 or more feet from the wall. Using this definition, Lot 1 appears to be about 400 sq. ft. over FAR of 2679 sq. ft.

Im still doing the plan checks for the others.

More to come.....

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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Mail From: Camille Leung

File Edit View Actions Tools Window Help

Close Reply Reply All Forward

Mail Properties Personalize Discussion Thread

From: Camille Leung 3/5/2014 12:43:50 PM

To: David Byers; Jack Chamberlain

CC: Jim Eggemeyer; markg@markgrossinc.com; ions@markgrossinc.com

Subject: Re: far ratio

Hi Jack,

Spoke with Jim Eggemeyer. The minor modification letter says "home sizes" and talks about garages in the next sentence (as two separate elements). I'll exclude the garage from FAR (so long as all the garages are 2 car max.).

More comments to come.

Thanks

Camille M. Leung
 Planning and Building Department
 455 County Center, Second Floor
 Redwood City, CA 94063
 Phone: (650) 363-1826
 Fax: (650) 363-4849

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Microsoft Word

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	Recipi...	Open...	Deleted#	Accept...	Comp...	Rec
	5	0	0			0
	4	0	0			0
	4	0	0			0
3-story home on Lot 3 has been Approved	2	0	0			0

Mailbox Size: 75% Selected: 1 Total: 4

1:39 PM 3/5/2014

From: Camille Leung
To: Margaret Netto
Date: 3/5/2014 6:22 PM
Subject: Lots 1- 4 Plan Check comments

April 1

Lots 1+2
- DPW
- Fire
- BLD
- PLW
- Wood rats
- surveys

Hi Margaret--- These are the comments I had on the latest submittals for Lots 1 -4:

Architectural:

- Minor mod*
- * Lot coverages are all fine.
 - 1. Floor Area for Lot 3 is over limit by 580 s.f. (not counting garages or decks or 2nd story stairs)
 - 2. Floor Area for Lot 4 is over limit by 70 s.f. (not counting garages or decks or 2nd story stairs)
 - 3. Colors:
 - a) Lighten all roof colors such that they are medium toned (per Condition 6.a).
 - b) Darken body color of house on Lots 2 and 4 as they must be dark toned (per Condition 6.a).
 - c) Remove exterior lighting fixtures on the rear elevation of Lot 4 (per Condition 5.c)

Civil:

- 1. Site Plan needs to show dimensioned setbacks from decks (which are considered structures as they over 18" in height from grade and subject to setbacks).
- 2. Erosion Control Comments that have not been addressed:
 - Item 1.e, Grading Phase
 - Item 2.a - show detail
 - Item 3.b
 - Item 5.a - Show detail
 - Item 6.a - Grading needs to start after April 30, please correct schedule

Lot 1: Missing rear deck + side deck
Lot 2: Missing rear + right side deck

Landscaping Plan looks fine.

Mitigations:

- 1. Please provide documentation of compliance with:
 - ✓ Mitigation Measure BIO-2A: Approval to relocate rat nests (TRA) (1 week)
 - ✓ Mitigation Measure BIO-2B
 - ✓ Mitigation Measure BIO-2C > 2 wks
 - ✓ Mitigation Measure AQ-1
 - ✓ Mitigation Measure NOI-1
 - ✓ Mitigation Measure TRANS-1
 - Condition 7 - When you demo neighbor's encroachments, please keep all vegetation along that property line
 - Condition 22- All erosion control shall be implemented prior to issuance of grading permit hard card (which allows start of grading). Please call me to schedule inspection.
 - ✓ Condition 38- Field inspection by Project Geo Tech required prior to BLD permit issuance

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063



Subj: RE: BLD Plan Check Comments
Date: 3/6/2014 11:24:03 A.M. Pacific Daylight Time
From: beard@traenviro.com
To: JTUTTLEC@aol.com
CC: peterston@traenviro.com

Good Morning Jack,

Thanks for keeping TRA in the loop on your project status. I see that Camille has asked for documentation for the biology mitigation measures. I have attached Autumn's original report which addresses BIO-2A, BIO-2B and BIO-2C. We are obviously still working on BIO-2A (woodrats). BIO-2B (nesting bird surveys) may need to be done before grading starts depending on surrounding vegetation. BIO-2C (bats) is complete and is discussed in the letter report.

Barbara

Barbara Beard,
 Director of Environmental Analysis
 TRA Environmental Sciences
 Office: 650-327-0429
 Direct Line: 650-464-5217

From: JTUTTLEC@aol.com [mailto:JTUTTLEC@aol.com]
Sent: Thursday, March 06, 2014 9:32 AM
To: Barbara Beard
Subject: Fwd: BLD Plan Check Comments

From: cleung@smcgov.org
 To: jtuttlec@aol.com
 CC: markg@markgrossinc.com, rons@markgrossinc.com, JEggemeyer@smcgov.org
 Sent: 3/5/2014 6:20:38 P.M. Pacific Standard Time
 Subj: BLD Plan Check Comments

Hi Jack,

I have finished my plan check review. Thank you for your patience. The following are my comments on plans submitted 2/19/14:

Architectural:

* Lot coverages are all fine.

1. Floor Area for Lot 3 is over limit by 580 s.f. (not counting garages or decks or 2nd story stairs)
2. Floor Area for Lot 4 is over limit by 70 s.f. (not counting garages or decks or 2nd story stairs)
3. Colors:
 - a) Lighten all roof colors such that they are medium toned (per Condition 6.a).
 - b) Darken body color of house on Lots 2 and 4 as they must be dark toned (per Condition 6.a).
 - c) Remove exterior lighting fixtures on the rear elevation of Lot 4 (per Condition 5.c)

Civil:

1. Site Plan needs to show dimensioned setbacks from decks (which are considered structures as they over 18" in height from grade and subject to setbacks).
2. Erosion Control Comments that have not been addressed:
 - Item 1.e, Grading Phase
 - Item 2.a - show detail

Monday, March 10, 2014 AOL: JTUTTLEC

- Item 3.b
- Item 5.a - Show detail
- Item 6.a - Grading needs to start after April 30, please correct schedule

Landscaping Plan looks fine.

Mitigations:

1. Please provide documentation of compliance with:

- Mitigation Measure BIO-2A: Approval to relocate rat nests (TRA)
- Mitigation Measure BIO-2B
- Mitigation Measure BIO-2C
- Mitigation Measure AQ-1
- Mitigation Measure NOI-1
- Mitigation Measure TRANS-1
- Condition 7 - When you demo neighbor's encroachments, please keep all vegetation along that property line
- Condition 22- All erosion control shall be implemented prior to issuance of grading permit hard card (which allows start of grading). Please call me to schedule inspection.
- Condition 38- Field inspection by Project Geo Tech required prior to BLD permit issuance

Thanks

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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>>> Camille Leung 3/5/2014 12:43 PM >>>
Hi Jack,

Spoke with Jim Eggemeyer. The minor modification letter says "home sizes" and talks about garages in the next sentence (as two separate elements). I'll exclude the garage from FAR (so long as all the garages are 2 car max.).

More comments to come.

Thanks

Camille M. Leung
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Fax: (650) 363-4849

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>>> David Byers <DByers@landuselaw.net> 3/5/2014 12:18 PM >>>

Camille, Jack Chamberlain says a FAR ratio is preventing the issuance of building permits. There is no FAR ratio in the RM ordinance. Dave

Yours,

David J. Byers, Esq.
BYERS / RICHARDSON
LAWYERS
259 W. 3rd Avenue
San Mateo, CA 94402-1551
Telephone No. (650) 759-3375
Facsimile No. (650) 389-7157
Email: dbyers@landuselaw.net<<mailto:dbyers@landuselaw.net>>

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545 Middlefield Road, Suite 200
Menlo Park, CA 94025-3472
Tel: (650) 327-0429
Fax: (650) 327-4024
www.TRAenviro.com

Highland Estates Development I, LLC
Jack T. Chamberlain, Member
655 Skyway Road
Suite 230
San Carlos, CA 94070

November 1, 2013

Re: Biological Survey Report- Implementation of Biological Mitigation Measures prior to Tree Removal at San Mateo Highlands

Dear Mr. Chamberlain:

This letter reports on the status of implementation of mitigation measures for the protection of biological resources prior to tree removal within four parcels (approximately 1 acre) in the San Mateo Highlands on Bunker Hill Road. Tree removal is planned for this fall, 2013.

The following mitigation measures are addressed:

Mitigation Measure BIO-2a: *No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.*

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

Mitigation Measure BIO-2b: *No earlier than two weeks prior to commencement of construction activities that would occur during the nesting/breeding season of native bird species potentially nesting/roosting on the site (typically February through August in the project region), a survey for nesting birds shall be conducted by a qualified biologist experienced with the nesting behavior of bird species of the region. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present in the construction zone or within 500 feet of the construction zone. The surveys shall be timed such that the last survey is concluded no more than two weeks prior to initiation of construction or tree removal work. If*

ground disturbance activities are delayed, then an additional pre-construction survey shall be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c: *Prior to the commencement of construction activities during the breeding season of native bat species in California (generally occurs from April 1 through August 31), a focused survey shall be conducted by a qualified bat biologist to determine if active maternity roosts of special-status bats are present within any of the trees proposed for removal. Should an active maternity roost of a special-status bat species be identified, the roost shall not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, then the tree may be removed. Species-appropriate replacement roosting habitat (e.g., bat boxes) shall be provided should the project require the removal of a tree actively used as a maternity roost. The replacement roosting habitat shall be subject to the approval of the CDFG.*

Our findings with respect to these three mitigation measures are discussed below.

Mitigation Measure BIO-2a

Fall is outside of the birthing season for dusky-footed woodrats. Dusky-footed woodrats breed from December to September, with the majority of litters born in mid-spring. Therefore, no nests would be "active with young" in the fall. Outside of the active breeding season, the mitigation measure for woodrats calls for the dismantling of woodrat nests to allow individuals to relocate to suitable habitat within the adjacent open space.

On Tuesday, October 22, 2013, a survey for San Francisco dusky-footed woodrat stickhouses (houses) in the four parcels was performed. A total of nine woodrat houses were found on site. All of the houses are in close proximity to the northern boundary of the site, and many can be seen from the top of slope. Five of the houses are in a cluster on lot 4. Of these 5, four are on the ground and one is in an oak tree. This cluster is within a large thicket of poison oak.

The other four houses are also near the northern property boundary and visible from the top of slope. Lot lines were not marked in the field, but it was estimated that two of the houses are on lot 1 and two on lot 2.

Tree removal can proceed in either of two ways. If you wish to proceed with tree removal without disturbance to the houses, TRA could meet your tree removal team on site to identify woodrat house locations and aid in determining what trees cannot be removed in order to protect the houses. As only 9 houses were found, and 5 of these are in a cluster, the majority of tree removal could proceed without disturbance to the houses. It is important that the houses are well marked with either orange construction fencing or flagging tape so that it is easy for the tree removal team to see and avoid impact to houses.

It is assumed that all of the woodrat houses will eventually need to be dismantled to make way for grading. An alternative to having tree removal work avoid the houses is to dismantle the houses now, prior to tree work. As woodrat houses will need to be dismantled regardless, it may be prudent to dismantle them now, prior to tree removal. Then tree removal can proceed in full without the need to take care for woodrat house avoidance. Dismantling a woodrat house requires a Memorandum of Understanding (MOU) with the California Department of Fish and Wildlife, and TRA could assist with this effort.

Mitigation Measure BIO-2b

Fall is outside of the bird nesting season and no surveys for nesting birds are needed if trees are removed this fall.

If other project activities, including grading and construction, begin prior to February 1 and carry on into the bird nesting season with no break in activity, no nesting bird survey will be needed. However, if activities begin during the nesting season (Feb. 1 to Aug. 31), a survey for tree, shrub, and ground nesting birds will be required. No more than two weeks shall elapse between the survey and the commencement of ground disturbance activities.

Mitigation Measure BIO-2c

The breeding season for bats generally occurs from April 1 through August 31. If tree removal is conducted this fall, no survey for roosting bats is required per mitigation measure BIO-2c. If tree removal is delayed until after April 1, a survey for roosting bats will be required as described under the mitigation measure above.

Thank you for calling on TRA, and please let me know if you have any questions.

Sincerely,



Autumn Meisel
Senior Biologist

March 10, 2014

Margaret Netto, Principal Planner
32 Clifton Avenue
San Carlos, CA 94070

Subject: County Response to Your Letter, dated February 27, 2014, regarding County File No. PLN 2006-00357, Highland Estates Project

Dear Ms. Netto,

Thank you for your letter dated February 27, 2014. The County will not issue building permits for Lots 1 through 4 on Bunker Hill (BLD2013-01792, 1793, 1794, 1795) until all of the applicable mitigation measures and conditions of approval have been met to the County's satisfaction. Please find the County's responses to the concerns raised in your letter, as they pertain to the mitigation measures of the Highland Estates Project, below.

1. BIO-3: The landscape plans submitted to the County on January 16, 2014 show the planting locations of the 14 required replacement trees, as well as notes for the maintenance and monitoring of existing and replacement trees. Plans are available for review at the Building Inspection Section counter.

2. BIO-4: Exterior lighting is shown on building elevations for residences on Lots 1 through 4 submitted to the County on February 19, 2014. With the exception of the residence proposed on Lot 4, no lighting is proposed on the rear elevations of the residences. In a comment letter to the applicant, dated March 5, 2014, the County requests the removal of exterior lighting fixtures on the rear elevation of the residence on Lot 4.

3. GEO-1 and 2b: Please see the enclosed documentation (Exhibit 1).

4. GEO-3: The area of disturbance associated with grading and construction activities on Lots 1 through 4 are under 1 acre and, therefore, the project does not require a Notice of Intent with the State Water Resources Control Board (SWRCB), nor the associated SWPPP.

5. NOI-1: In a comment letter to the applicant, dated March 5, 2014, the County requests the applicant to provide a description of equipment used for project grading and construction to comply with this mitigation measure.

6. TRANS-1: The County's comment letter to the applicant, dated March 5, 2014, requests the applicant provide a Construction Management Plan that will require all

3/5/14
Email
This letter answers requests to items pertaining to the BLD


and conditions of approval

50.

truck movement associated with project construction to occur outside the commute peak hours.

7. TRANS-2: The mitigation measure is not applicable at this time as no construction on Ticonderoga Drive is proposed at this time.

8. COA No.10: The condition requires the project to be implemented according to the approved Storm Drainage Plan. Compliance with this condition must be demonstrated prior to the County's issuance of the Certificate of Occupancy for each residence. Civil plans submitted to the County on January 23, 2014 are still under review by the Department of Public Works and are available for review at the Building Inspection Section counter.

9. COA No. 11: Per Section 19.d of the Conservation Easement, the Grantor is required to maintain liability insurance. The applicant has informed the County that the logs and branches left over from the tree removal operation will be removed at the commencement of grading operations. 

10. COA No. 20: The applicant has been notified that the grading moratorium is now from October 1 to April 30, per the NPDES Municipal Regional Permit.

11. COA No. 25: See Item 4, above.

12. COA No. 30: Compliance with this condition must be demonstrated prior to the County's issuance of the Certificate of Occupancy for each residence.

13. COA No. 35: See Item 3, above.

14. COA No. 42: The Green Building Ordinance has been repealed. Buildings are required to comply with the State's CalGreen regulations. Please see the enclosed documentation (Exhibit 2). 

15. COA No. 47: Civil plans submitted to the County on January 23, 2014 are still under review by the Department of Public Works and are available for review at the Building Inspection Section counter.

16. COA No. 49: Lots 1 through 4 do not involve any shared access. The condition of approval is not applicable at this time.

17. Parcel Map Comments: The County accepted the Grant of Conservation Easement, recorded on March 15, 2013. Parcel Map No. 1094 pertains only to Lots 1 through 4. Parcel or Final Map requirements pertaining to other lots will be addressed at the time the Parcel or Final Map is recorded for those parcels.

18. COA No 55: Water district review of the building permit applications is pending and is required for issuance of building permits.

19. COA No. 59: Civil plans submitted to the County on January 23, 2014 are under review by the Department of Public Works and are available for review at the Building Inspection Section counter.

20. COA No. 66: Fire district review of the building permit applications is pending and is required for issuance of building permits.

Please feel free to contact me at 650/363-1861 or Camille Leung, Project Planner, at 650/363-1826 if you have any questions.

Sincerely,

Jim Eggemeyer
Community Development Director

cc: John Nibbelin, Chief Deputy County Counsel
Camille Leung, Project Planner
Applicant

David Fine

Exhibit 1: Geotechnical Consultant Approval

Exhibit 2: Documentation of Compliance with State's CalGreen regulations

Subj: **San Mateo Highlands - Woodrat Removal**
Date: 3/11/2014 11:58:20 A.M. Pacific Daylight Time
From: beard@traenviro.com
To: jtuttlec@aol.com, cleung@smcgov.org
CC: peterson@traenviro.com, dakin@traenviro.com

Hi Jack and Camille,

We have finally gotten a response from the CDFW Biologist reviewing our removal plan and she is asking us when actual construction will begin on the four house lots. The reason she is asking is that she is concerned with woodrats moving back into the site after we have removed the original nests. We will explain that vegetation removal has already occurred and that it is unlikely that woodrats would reestablish nests on the site but if you have a general idea of when construction will start on the site we could provide that information as well. If construction isn't expected to begin for a while we will recommend that we conduct a quick survey before construction begins.

We are responding to comments on the removal plan and are hoping that we will be able to schedule the woodrat house removal as early as next week. We will keep you informed as the schedule develops.

Regards,

Barbara

Barbara Beard
Director of Environmental Analysis
TRA Environmental Sciences, Inc
545 Middlefield Road, Suite 200
Menlo Park, CA 94025
General #:650-327-0429
Direct Line: 650-464-5217
Fax: 650-327-4024
beard@traenviro.com

=

Tuesday, March 11, 2014 AOL: JTUTTLEC

From: "Ron Stubblefield" <rons@markgrossinc.com>
To: markg@markgrossinc.com; CLeung@smcgov.org
CC: jtuttlec@aol.com
Date: 3/12/2014 10:47 AM
Subject: RE: Floor Area Definition

Good Morning Camille, Jack Chamberlain asked me to contact you about the square footages for the four lots at Highland Estates.
All square footage tabulations were done in Autocad by drawing a polyline around each floor. This polyline computes the square footage and is the most accurate way I know to calculate areas.
If you have any questions please let me know.

Ron Stubblefield
Mark Gross & Associates, Inc | Architecture + Planning
8881 Research Drive, Irvine CA 92618
T (949)387-3800 Ext. 214 | F (949)387-7800
rons@markgrossinc.com | www.markgrossinc.com

-----Original Message-----

From: Camille Leung [mailto:cleung@smcgov.org]
Sent: Monday, March 03, 2014 5:15 PM
To: markg@markgrossinc.com; rons@markgrossinc.com
Cc: jtuttlec@aol.com; noel chamberlain
Subject: Floor Area Definition

Hi Mark and Ron,

This email adds to my comments of Last Friday.

Sorry for the delay. I had to check with the Director. Please use this definition of Floor Area:

SECTION 6102.34.5. FLOOR AREA OF DWELLING UNIT. The area included within the walls enclosing each dwelling unit. The floor area shall be measured from the inside face of the walls enclosing each dwelling unit including all closet space and storage areas contained within the unit, but shall not include unenclosed porches or balconies.

Notice that it does NOT include covered patios that extend 4 or more feet from the wall. Using this definition, Lot 1 appears to be about 400 sq. ft. over FAR of 2679 sq. ft.

Im still doing the plan checks for the others.

More to come.....

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

Subj: **Letter for Lots 1 to 4 Highland Estates**
Date: 3/17/2014 2:57:16 P.M. Pacific Daylight Time
From: sfitinghoff@cornerstoneearth.com
To: HJSC@earthlink.net, noel@nexgenbuilders.com
CC: JTUTTLEC@aol.com

RECEIVED

MAR 18 2014

San Mateo County
Planning Division

Hi Jack, Noel, Jack,

Attached is the letter I prepared back in December 2013. It addresses the comment on the performance of the water discharge outlets for the bio swales. Actually, Jay Mazetta, GE, the County Geotechnical Engineer raised a similar issue during their review and has already reviewed our responses and signed off on them. Anyways, look at the response for Comment #4 which says we did a recent site visit, one of the items I checked was the areas that will be subject to discharge. Response to Comment #8 addresses the stability of the slopes due to the water discharge. This should be enough for them to release this issue. Let me know if you have any questions.

Scott

Sincerely,

Scott E. Fitinghoff, P.E., G.E.
Principal Engineer
408-747-7503 (cell)



1259 Oakmead Parkway
Sunnyvale | California 94085
T 408-245-4600 Ext. 103 | F 408-245-4620

www.cornerstoneearth.com

Date: December 13, 2013
Project No.: 230-1-3

Prepared For: Mr. Jack and Noel Chamberlain
TICONDEROGA PARTNERS, LLC
655 Skyway, Suite 230
San Carlos, California 94070

Re: Response to County of San Mateo
Geotechnical Review Comments
San Mateo Highlands (Lots 1 to 4)
APN No. 041-101-290
Bunker Hill Drive
San Mateo, California

Dear Mr. Chamberlain:

As requested, this letter presents the our response to the County of San Mateo, Planning and Building Department comments for the above referenced project dated October 25, 2013. Our services were performed in accordance with our supplemental agreement dated November 11, 2013. As you know, our firm prepared a report for this project titled "Design-Level Geotechnical Investigation, Highland Estates Lots 1 through 4, Bunker Hill Drive, San Mateo County, California" dated July 22, 2011.

Response to Comments

Comment #1: *As requested by the Environmental Health Department, please submit a copy of the Geotechnical drilling permit or the annual Geotechnical notification form for this site.*

Response: A copy of the permit is attached to this letter.

Comment #2: *The geologic site plan (Figure 2) shows areas underlain by artificial fill. If this is fill present prior to grading, was it completely removed by the grading? Please discuss.*

Response: As discussed in the report, grading was performed for the Highland Estates subdivision in 1956. The grading on Lots 1 to 4 was performed decades ago before The Chamberlain Group had purchased the property, presumably as part of the subdivision work in the mid to late 1950's. No recent grading has been performed on the project site. Any fills that are encountered in the development area will either be removed by cut or over-excavated and re-compacted as engineered fill as recommended in the design-level geotechnical investigation report. A representative of Cornerstone Earth Group will be on-site during construction to verify the fill removal and/or re-compaction.

Comment #3: Please provide a map of all four lots, showing the present, post-grading topography. This can be page sized.

Response: We have included the Grading Plans from BKF dated September 9, 2011 showing the present and post-grading topography.

Comment #4: The report submitted is over two years old. Have any changes occurred to these lots since then? Please discuss and include the dates of grading.

Response: We performed a site reconnaissance on November 14, 2013. No grading or earthwork operations have occurred at the site, the site has not changed since our investigation. The report is still valid for the site.

Comment #5: The revised Findings for County-Proposed Resource Management Zoning District Text Amendment was sent out on March 9, 2011. Please respond in writing to the Geotechnical Conditions of Approval that are contained in the attached section of that document. These include GEO-1 (page 13), GEO-2a,b (page 14), GEO-3 (page 15), GEO-4, updated to include the 2010 UBC (page 15), and GEO-5 (page 16).

Response: The revised "Geotechnical related Conditions of Approval" are listed below with our responses to each item.

m. **Mitigation Measure GEO-1:** A design-level geotechnical investigation of the site shall be performed prior to any project grading including static and seismic slope stability analysis of the areas of the project site to be graded and developed. The specific mitigation measures to be utilized in order to stabilize existing landslides and areas of potential seismically induced landslides shall be presented in the report. The specific mitigation measures shall include some of the following measures or measures comparable to these:

- Landslide debris on Lots 7 and 8 shall be excavated and replaced with a fully drained conventional buttress fill that is founded in the underlying Franciscan mélange, as recommended by the project geotechnical engineer. (Lots 7-8)

Response: This condition of approval does not apply to Lots 1 through 4.

- Retaining walls shall be designed to withstand high lateral earth pressure from adjoining natural materials and/or backfill shall be installed at the rear of Lots 5 through 8. In addition, retaining walls shall be built in the front of Lots 5 and 6 to aid in maintaining the slopes behind the lots and the more extensive cut required for Lots 5 and 6. (Lots 5-8).

Response: This condition of approval does not apply to Lots 1 through 4.

- A surface drainage system shall be installed for each lot to mitigate new landslides developing within the thin veneer of soil mantling the bedrock on the slope below Lots 1 through 4. (Lots 1-4).

Response: Our recommendations for surface drainage are presented in Section 6.10 (page 18) of the Design-Level Geotechnical Investigation report and incorporated into the project Grading and Utility Plans by BKF attached to this letter.

- Subsurface drainage galleries may be installed to control the flow of groundwater and reduce the potential for slope instabilities from occurring in the future. (All lots)

Response: Our recommendations for subsurface drainage are presented in Section 9.2 (page 22) of the Design-Level Geotechnical Investigation report. This item includes placing drainage pipes behind retaining walls for the residences which are included in the project plans. No other subdrains are anticipated at this time for Lots 1 through 4.

- Over-steepening of slopes shall be avoided. Horizontal benches shall be constructed on all reconstructed slopes at an interval of 25 to 30 feet. New fill shall be compacted to at least 90 percent relative compaction (as determined by ASTM test method D1557). (All lots)

Response: Our recommendations for permanent cut and fill slopes are presented in Section 6.8 (page 15) of the Design-Level Geotechnical Investigation report. As shown on the project grading plans, no significant unretained cuts and fills are proposed for Lots 1 through 4. Our recommendations for compaction are presented in Section 6.6 (page 14) of the Design-Level Geotechnical Investigation. The minimum degree of compaction is 90 percent relative compaction for this project.

- Drilled piers and grade-beam foundations shall be used to support foundations in accordance with recommendations of the project geotechnical engineer. (All lots).

Response: Our recommendations for foundations are presented in Section 9.4 (page 23) of the Design-Level Geotechnical Investigation report. All residences should be supported on drilled piers. As shown on the project foundation plans, drilled piers are proposed for Lots 1 through 4.

- n. **Mitigation Measure GE0-2a:** Materials used to construct the buttress fill should have effective strength parameters equal to or better than the parameters used in the Treadwell and Rollo 2009 study. (Lots 7 and 8)

Response: This condition of approval does not apply to Lots 1 through 4.

o. **Mitigation Measure GE0-2b:** The following mitigation measures shall be implemented to ensure the stability of proposed structures that are located on deep fill soils:

- A site-specific, design-level geotechnical investigation shall be completed during the design phase of the proposed project, and prior to approval of new building construction within the site for specific foundation design, slope configuration, and drainage design. (All lots)

Response: The design-level geotechnical investigation for Lots 1 through 4 was prepared and submitted to the building department.

- The geotechnical investigation shall provide recommendations to prevent Water from ponding in pavement areas and adjacent to the foundation of the proposed residences, and to prevent collected water from being discharged freely onto the ground surface adjacent to the residences, site retaining walls, or artificial slopes. The project geotechnical engineer shall identify on site areas downslope of the homes where the collected water may be discharged utilizing properly designed energy dissipaters. (All lots)

Response: The design-level geotechnical investigation for Lots 1 through 4 addresses these issues.

- Fills used at the project site shall be properly placed with keyways and subsurface drainage, and adequately compacted following the recommendations of the final geotechnical report and Geotechnical Engineer, in order to significantly reduce fill settlement. (All lots)

Response: The design-level geotechnical investigation for Lots 1 through 4 addresses these issues.

- Underground utilities shall be designed and constructed using flexible connection points to allow for differential settlement. (All lots)

Response: Refer to the project plumbing and civil plans.

- Foundation plans shall be submitted to the County for review prior to issuance of a building permit. All foundation excavations shall be observed during construction by the project Geotechnical Engineer to insure that subsurface conditions encountered are as anticipated. As-built documentation shall be submitted to the County. (All lots)

Response: The project will follow this process.

- Drilled pier and grade-beam foundations or other appropriate foundations per the recommendations of the design-level geotechnical investigation shall be developed for lots that are determined to likely experience soil creep. (All lots)

Response: The design-level geotechnical report addresses this issue.

All work shall be completed in accordance with requirements of the 2007 California Building Code and the San Mateo County Building Code. (All lots)

Response: The most recent building code in effect (2007 or newer) has been used on this project.

p. Improvement Measure GE0-3: In compliance with the NPDES regulations, the Project Applicant shall file a Notice of Intent with the State Water Resources Control Board (SWRCB) prior to the start of grading and prepare a SWPPP.

The SWPPP shall include specific best management practices to reduce soil erosion. The SWPPP shall include locations and specifications of recommended soil stabilization techniques, such as placement of straw wattles, silt fence, berms, and storm drain inlet protection. The SWPPP shall also depict staging and mobilization areas with access routes to and from the site for heavy equipment. The SWPPP shall include temporary measures to reduce erosion to be implemented during construction, as well as permanent measures.

County staff and/or representatives shall review the SWPPP to ensure adequate compliance with State and County standards.

County staff and/or representatives shall visit the site during grading and construction to ensure compliance with the SWPPP, as well as note any violations, which shall be corrected immediately. A final inspection shall be completed prior to occupancy.

Response: These items are addressed in the project civil plans and specifications.

q. Mitigation Measure GE0-4: The Project Applicant shall be required to use the seismic design criteria listed below to design structures and foundations to withstand expected seismic sources in accordance with the California Building Code (2007) as adopted by the County of San Mateo.

Site Class: C

Soil Profile Name: Very Dense Soil and Soft Rock

Occupancy Category: II Seismic

Design Category: E

Mapped Spectral Response for Short Periods- 0.2 Sec (S_s): 2.226 g

Mapped Spectral Response for Long Periods- 1 Sec (S_l): 1.273 g

Site Coefficient- F_a, based on the mapped spectral response for short periods: 1.0

Site Coefficient- F_v, based on the mapped spectral response for long periods: 1.3

Adjusted Maximum Considered EQ Spectral Response for Short Periods (SMS):
2.226

Adjusted Maximum Considered EQ Spectral Response for Long Periods (SMI):
1.655

Design (5-percent damped) Spectral Response Acceleration Parameters at short periods (SDS): 1.484

Design (5-percent damped) Spectral Response Acceleration Parameters at long periods (SD1): 1.103

Response: These parameters are listed in the geotechnical report and were used to design the foundations.

r. **Mitigation Measure GEO-5:** During site grading, soils in each lot shall be observed and tested by the project Geotechnical Engineer to determine if expansive soils are exposed. Should expansive soils be encountered in planned building or pavement locations, the following measures shall be implemented under the direction of the Geotechnical Engineer in order to mitigate the impact of expansive soils:

- Expansive soils in foundation areas shall be excavated and replaced with non-expansive fill to the specifications of the geotechnical engineer.
- A layer of non-expansive fill soils 12 to 24 inches in thickness shall be placed over the expansive materials and prior to the placement of pavements or foundations
- Moisture conditioning of expansive soil shall be applied to a degree that is several percent above the optimum moisture content or lime treating of the expansive soil.
- Foundations shall be constructed to be below the zone of seasonal moisture fluctuation or to be capable of withstanding the effects of seasonal moisture fluctuations.
- Specific control of surface drainage and subsurface drainage measures shall be provided.
- Low water demand landscaping shall be used,

Response: These items are addressed in the project report and project plans. It is noted that soils on Lots 1 to 4 have low expansion potential (i.e. PI's of 10 or less).

Comment #6: *The submitted plans shown piers of both 8 feet and 15 foot depths. The report recommends that all piers be at least 10 feet deep. Please discuss and provide revisions as necessary.*

Response: The project foundation plans dated October 28, 2013 for each lot are attached to this letter. The piers schedule table shows the minimum depth that each type of pier needs to be embedded into the bedrock to achieve the required skin friction. The "Piers" note below the table indicates that each pier should be at least 10 feet in length where the depth into bedrock is included in the total length. This is consistent with our recommendations in Section 7.3 of our design-level geotechnical investigation report for the project. No revisions of the foundation plans are needed.

Comment #7: Please provide a detailed drainage plan for each of these four lots. This should include roof gutters, downspouts, surface and subsurface drains, including those associated with foundations and retaining walls, and the location and design of outfalls.

Response: We have included the Grading Plans from BKF dated September 9, 2011 showing the proposed drainage for each lot.

Comment #8: The consultant must provide data to show that the introduction of water into the areas identified for drain outfalls will not cause accelerated erosion or slope failure there or downslope.

Response: This issue was addressed in the geotechnical report and the project civil plans which are attached to this letter. The rainfall water will be collected from the roofs and piped to a concrete lined bio-retention basin where the water will be filtered. Then the water will be conveyed through a solid pipe to a dissipater/spreader outlet structure. The project civil engineer estimates that the velocity of the water discharged from the dissipater/spreader will be about 0.2 feet/sec (very low). For the soil types at the site, a maximum permissible velocity of 2 to 4 feet/sec is considered by the Corps of Engineers as a velocity that will not cause significant erosion. Therefore, the anticipated velocity is not expected to cause erosion of the soils below the dissipater/spreader structure.

The water will be discharged on an existing 2:1 to 3:1 slope that is not impacted by slope stability issues. For the infinite slope case with saturation, we estimate the factor of safety to range from 2 to 3. Therefore, slope stability issues are not anticipated for the soils below the dissipater/spreader structure consistent with the observations of the current slope performance in this area.


Closure

We hope this provides the information you need at this time. Recommendations presented in this letter have been prepared for the sole use of Ticonderoga Partners, LLC specifically for the property at Ticonderoga/Bunker Hill Drive in San Mateo, California. Our professional services were performed, our findings obtained, and our recommendations prepared in accordance with generally accepted geotechnical engineering principles and practices at this time and location. No warranties are either expressed or implied.

If you have any questions or need any additional information from us, please call and we will be glad to discuss them with you.

Sincerely,

Cornerstone Earth Group, Inc.


Scott E. Fitinghoff, P.E., G.E.
Principal Engineer





**CORNERSTONE
EARTH GROUP**

SEF:pnc

Attachments: San Mateo County Environmental Health Department Annual Drilling Permit/Notification Form
Grading and Utility Plans for Lots 1 through 4 by BKF dated September 11, 2011.
Foundations Plans for Lots 1 through 4 by ESI/FME, Inc. dated October 28, 2013.

Addressee (1 by email)

Copies: Addressee (1 by email)

Subj: **Letter for Lots 1 to 4 Highland Estates**
Date: 3/17/2014 2:57:16 P.M. Pacific Daylight Time
From: sfitinghoff@cornerstoneearth.com
To: HJSC@earthlink.net, noel@nexgenbuilders.com
CC: JTUTTLEC@aol.com

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MAR 18 2014

San Mateo County
Planning Division

Transportation plan for Highland Estates Phase 1 Bunker Hill Drive

All delivery, dump, or concrete trucks will leave the site by going down Bunker Hill Drive to Polhemus, traveling to the 92 Freeway to Highway 101. They will arrive on the same route in reverse.

Any trucking activities will be scheduled after the peak traffic hours of 7:30 am to 8:30 am and before the peak evening hours of 5:00 pm to 6:00 pm. Peak traffic hours were determined by the Highland Estates Administrative Draft Transportation impact study done in Sept. 2008.

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BUILDERS, INC.

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MAR 18 2014

San Mateo County
Planning Division

Noise control for Highland Estates Phase 1 Bunker Hill Drive.

We expect to use the following equipment with average noise ratings listed from the Highway Traffic Noise Handbook, Section 9.0 Construction equipment.

Excavator	85dba
Backhoe	80dba
Front end loader	80dba

Most of the work done by this equipment will be below street level which will also reduce noise to neighboring properties. Excavation and grading should not take more than a few days.

Concrete mixer truck	85dba
Concrete pump	82dba
Dump truck	84dba

These items will only be on the site for 3 or 4 trips and only for two or three hours each trip.

We will avoid the use of pneumatic tools.

NEXGEN

BUILDERS, INC.

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MAR 18 2014

San Mateo County
Planning Division

Air Quality Control Plan for Highland Estates Phase 1 Bunker Hill Drive

Phase 1 will exceed the 30% Tier 1 equipment requirement. Most of the excavation will be done by a Caterpillar 325 excavator. We have verified with caterpillar that this is a Tier 1 machine.

We will do the remaining work with a Caterpillar 420F backhoe which is Tier 4 compliant.

Miscellaneous work will be done with Bobcat rental equipment. Bay Area Bobcat has verified that all of their rental equipment is Tier 2 or 3.

We have verified with our major suppliers that their trucks will be Carb compliant. This includes White Cap, Ida-pac Lumber, and our concrete supplier.

We will not allow excavation or grading whenever winds exceed 25 mph gusts.

We will minimize the amount of time spoils are on site and cover or keep them wet.

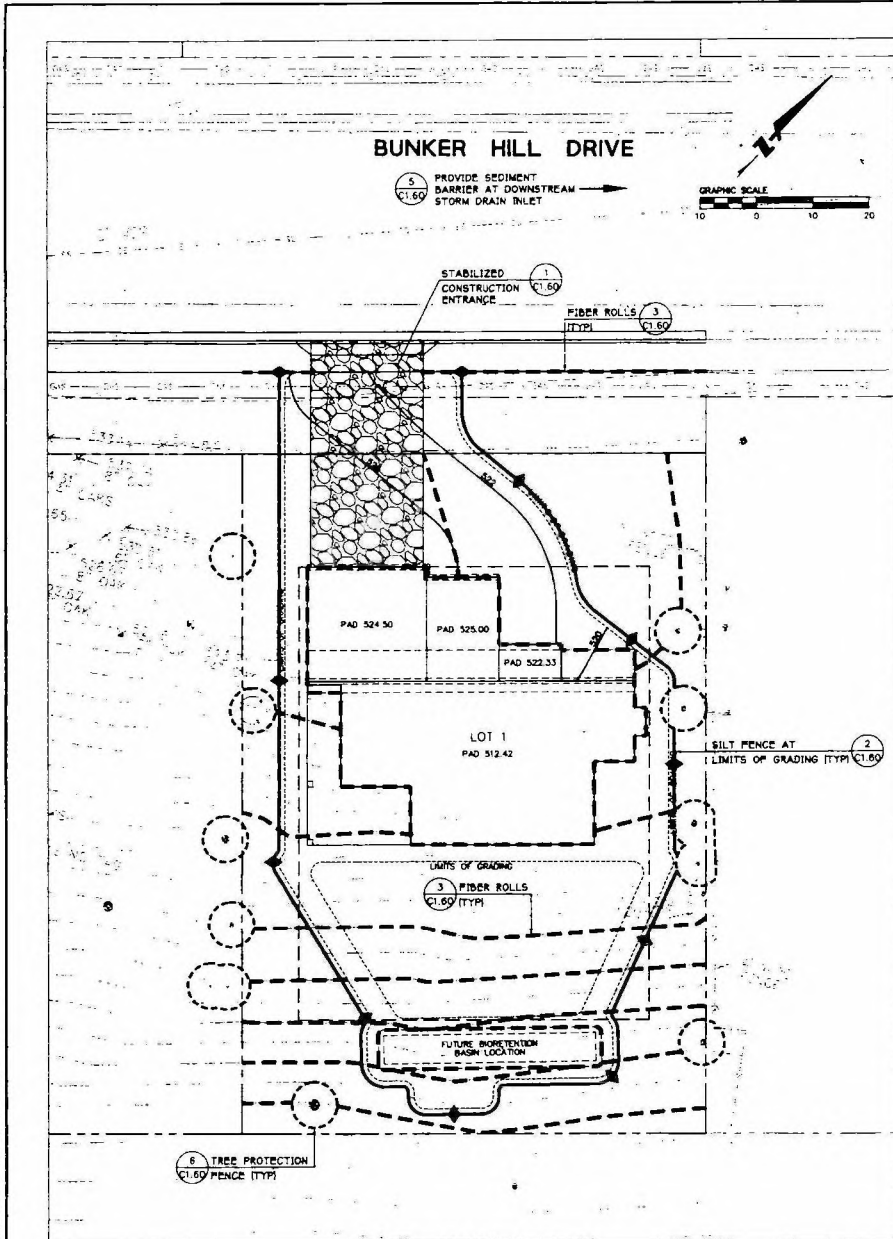
Dump trucks will be covered or maintain 2 feet of freeboard.

We will water active work areas twice daily.

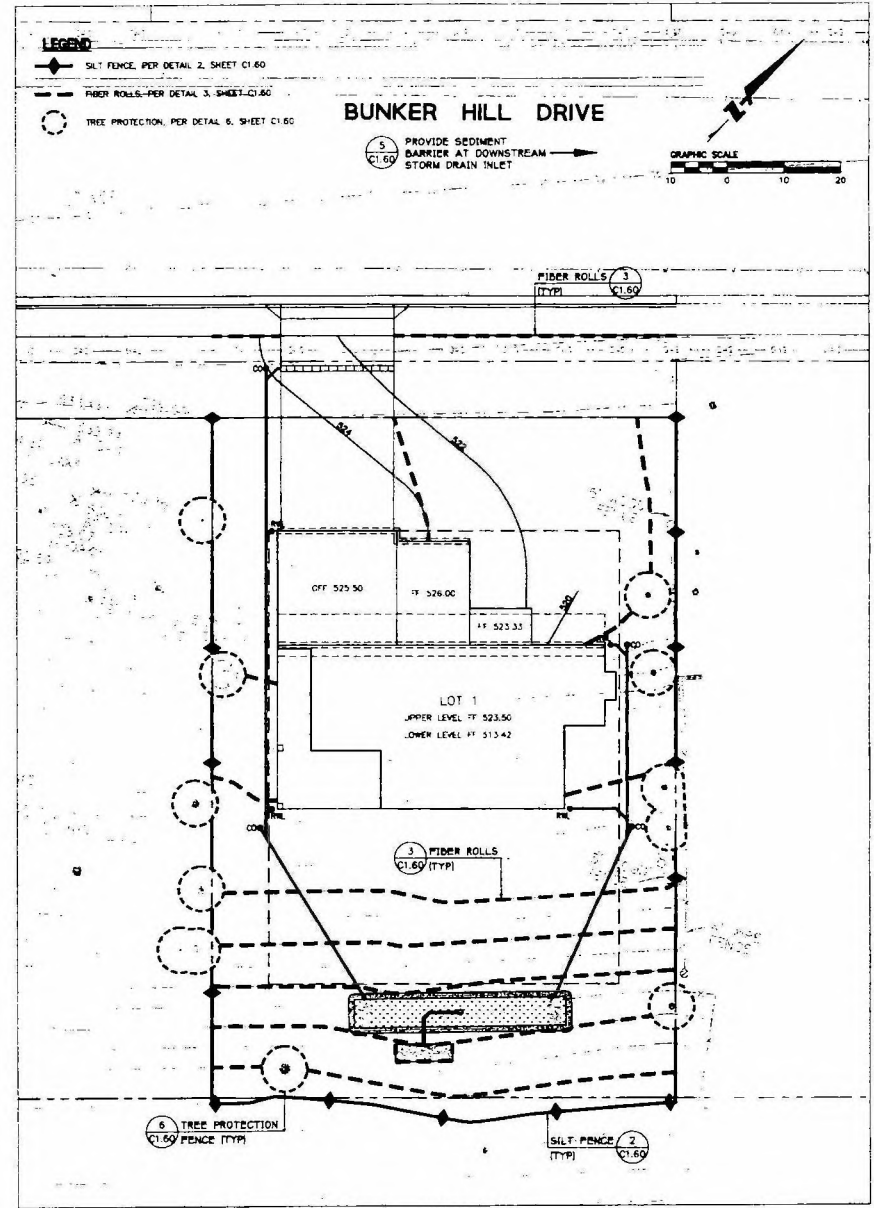
We will sweep twice daily all paved staging and truck parking areas.

We will be vigilant about cleaning any dirt on public streets.

We will take whatever remedial action necessary if we see airborne dust.



**LOT 1
GRADING AND RETAINING WALL EROSION CONTROL PLAN**
SCALE: 1"=10'



**LOT 1
FOUNDATION AND CONSTRUCTION EROSION CONTROL PLAN**
SCALE: 1"=10'

DRAWING MADE BY: J. V. SANCHEZ (950) 486-4646 (CELL) or (916) 35-4625 (OFF)
 PLOT NO: 03-12-14 PLOTTED BY: JAV

235 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 TEL: (650) 462-6390
 FAX: (650) 462-6392



CALIFORNIA

**HIGHLAND ESTATES
 LOT 1 IMPROVEMENT PLANS
 EROSION CONTROL PLANS**

CITY OF SAN MATEO
 SAN MATEO COUNTY

Date	By	No.	Revisions
03/17/14	JV		
03/17/14	JV		
	JV		
	JV		
	JV		

C150

2455 S. BURNBANK DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 TEL: (650) 422-2288
 FAX: (650) 422-2289



HIGHLAND ESTATES
 LOT 1 IMPROVEMENT PLANS
 EROSION CONTROL DETAILS AND NOTES
 CALIFORNIA
 CITY OF SAN MATEO COUNTY

CITY OF SAN MATEO

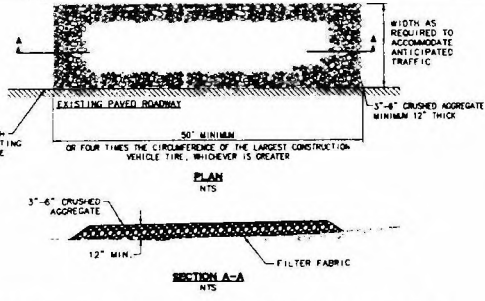
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DATE	02/17/14	NO.	
DESIGN	AS SHOWN	BY	
CHECKED		DATE	
APPROVED		BY	

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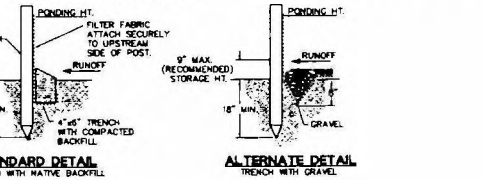
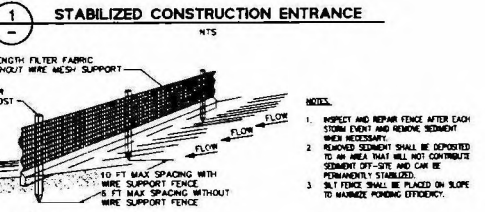
EROSION CONTROL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. ALTHOUGH SPECIFIC LOCATIONS FOR SEDIMENT CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS RECOGNIZED THIS EROSION CONTROL PLAN IS HEAVILY HAND-NECESSARY TO MEET FIELD CONDITIONS. BASIN AND TRAP SIZES AND ELEVATIONS MAY BE ADJUSTED AS LONG AS THE GENERAL AREAS AND DEPTHS FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE INITIAL CONCEPT FOR INTERIM EROSION CONTROL. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GEOTECHNICAL SURVEY DATA. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS UPDATED AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM ENTERING THE DOWNSLOPE DRAINAGE SYSTEM.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. FIBER ROLLS, SAND BAGS, AND SILT FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SILT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. ALL COSTING, TOPOGRAPHY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
5. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATE OWNED AND MAINTAINED ROAD CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE MAIL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
6. BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR AROUND.
7. DURING THE WINTER SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF LEAF LITTER AND DEBRIS. THE SITE IS TO BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LOADS RUNOFF TO ANY STORM DRAIN SYSTEM.
8. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED DAILY DURING THE WINTER SEASON. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
9. THE FIRST PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY. THE REMAINDER OF CONSTRUCTION EQUIPMENT (TO PERCENT), WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL BE REQUIRED TO USE ENCLOSED FUELS.
10. THE SECOND PHASE OF CONSTRUCTION SHALL REQUIRE 50 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 2 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY AND 50 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS. THE REMAINING 50 PERCENT OF CONSTRUCTION EQUIPMENT, WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL USE ENCLOSED FUELS.
11. FOR ALL LARGER VEHICLES, INCLUDING COMBUSTION ENGINES OF OTHER DEVICES THAT MUST BE DELIVERED BY LARGE TRUCKS, VEHICLES SHALL BE EQUIPPED WITH CURB LANE, THREE WHEELED CONTROL DEVICES.
12. WATER ALL TRUCKS CONSTRUCTION AREAS AT LEAST TWICE DAILY.
13. COVER ALL ACTIVE UNLOADING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FRESHMUD.
14. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
15. SWEEP DAILY (WITH WATER SHEDDERS) ALL PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES DAILY.
16. SWEEP PUBLIC STREETS ADJACENT TO CONSTRUCTION SITES DAILY (WITH WATER SHEDDERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THE STREETS.
17. HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO MAINTAIN CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).
18. TEMPORARY AND PERMANENT SLOPES GREATER THAN 3 FEET SHALL BE SEEDED IMMEDIATE ALTERNATIVE MEASURES ARE USED.
19. SEED MIX FOR VEGETATION AND HYDROSEEDING NORTHWEST CALIFORNIA COVER MIX BY AGREEMENT OR EQUAL.
20. USE BLUE WHEATGRASS SEED MESSIAH BALETS, JOE ZIMMO FESCUE, 100 PURPLE HEDDLE GRASS, 100 CALIFORNIA WILD FLOWERS, 100 CALIFORNIA WILD FLOWERS.
21. APPLY AT 40 POUNDS PER ACRE MINIMUM.
22. ENCLOSE COVER WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL BINDERS TO UNPAVED STOODPLES (DIRT, SAND, ETC.) LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MILES PER HOUR.
23. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOCKPILED, IT SHALL BE SURROUNDED BY A SILT FENCE/FIBER ROLLS.
24. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MILES PER HOUR.
25. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
26. REPLANT VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE.
27. INSTALL WHEEL BARBERS FOR ALL MOVING TRUCKS OR MACH ON THE TIRES OF TRUCKS OF ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE.
28. INSTALL WIND BREAKS AT THE BROAD SIDES OF THE CONSTRUCTION AREAS.
29. SUSPEND EXCAVATION AND GRADING ACTIVITIES WHEN WIND (AS INSTANTANEOUS GUSTS) EXCEEDS 25 MILES PER HOUR.
30. NO GRADING SHALL BE ALLOWED DURING THE WINTER SEASON (OCTOBER 15 TO APRIL 30) TO AVOID POTENTIAL SOIL EROSION UNLESS APPROVED IN WRITING, BY THE COUNTY DEVELOPMENT DIRECTOR. THE PROPERTY OWNERS SHALL SUBMIT A LETTER TO THE COUNTY PLANNING SECTION, AT LEAST TWO WEEKS PRIOR TO COMMENCEMENT OF GRADING STAGING. THE DATE WHEN GRADING WILL BEGIN.
31. STABILIZE ALL EXPOSED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 30. STABILIZING SHALL INCLUDE BOTH PROTECTIVE MEASURES, SUCH AS THE PLACEMENT OF STRAW BALES OR CORR METING, AND PASSIVE MEASURES, SUCH AS MINIMIZING VEGETATION REMOVAL, AND REVEGETATING DISTURBED AREAS WITH VEGETATION THAT IS COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.
32. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.

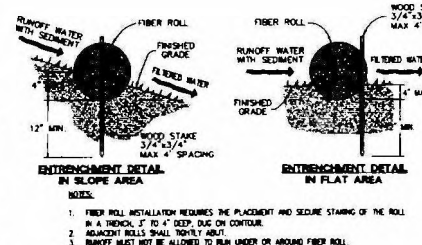
33. CONTROL AND PREVENT THE ESCAPEMENT OF ALL POTENTIAL POLLUTANTS, INCLUDING PAINTS, COLOURS, CHEMICALS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OF SEDIMENT, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
34. USE SEDIMENT CONTROL OR FILTRATION TO REMOVE SEDIMENT WHEN DOWNSLOPE SITE AND OBTAINING ALL NECESSARY PERMITS.
35. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
36. DELINEATE WITH FIELD MARKERS CLEARING LIMITS, SETBACKS, AND DRAINAGE COURSES.
37. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DICES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
38. PERFORM CLEANING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER.
39. LIMIT AND THE APPLICATIONS OF PESTICIDES AND HERBICIDES TO PREVENT POLLUTED RUNOFF.
40. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
41. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, DICATED, OR TRANSPORTED OR STOCKPILED, SHALL BE PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PREVENT ANY SIGNIFICANT RELEASE FROM DUST, OR SPILLAGE UPON ADJACENT WATER BODY, PROPERTY, OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHALL BE COVERED IN SUCH A MANNER AS TO AVOID ESCORTING DUST. A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
42. A SILT PALLIATIVE SHALL BE APPLIED TO THE SOIL WHEN REQUIRED BY THE COUNTY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SOIL ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND BUILDING DEPARTMENTS GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.
43. IF NO WORK HAS PROCEEDED FOR A PERIOD OF 60 DAYS, FILLING AND GRADING CONSTRUCTION IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WATERIZATION PLAN.
44. PADS SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS INCLUDING SUPPLEMENTAL DRAINAGE TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER. ALL SPILLS AND SOIL STOODPLES REMAINING ON SITE SHALL BE ENCLOSED BY SILT FENCES/FIBER ROLLS.
45. STUBBED OUT ENDS OF PARTIALLY COMPLETED SUBURBANS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.
46. HALL ROADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE DRAINAGE RELATED TO HALL ROADS.
47. GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO SAN MATEO COUNTY PUBLIC WORKS BY AUGUST 15.
48. EROSION CONTROL POINT OF CONTACT: NICE CHAMBERLAIN, HENDER BUILDERS INC. 225 CEDAR STREET EAST PALO ALTO, CA 94301 PHONE: 650-322-8800 CELL: 650-444-3098 EMAIL: nice@chamberlainbuilders.com
49. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN, OR ANY OTHER WATER SUBJECT, IS NOT FULLY COMPLETED OR DEVIATED FROM THESE PLANS, THE CONTRACTOR SHALL CONTACT THE BKF PROJECT ENGINEER AT (650) 422-2288 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
50. AREAS DESIGNATED ON PLANS FOR PARKING, CLEANING & GRADING STORAGE, ETC. SHALL NOT BE CHALLENGED OR "TAKEN OVER".
51. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
52. DUST CONTROL IS REQUIRED YEAR-ROUND.
53. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
54. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1ST AND APRIL 30TH IS NOT ACCEPTABLE UNLESS FOR USE ON STOODPLES WHERE THE STOODPLE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOODPLE.
55. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, CLEANING OR GRADING IS STARTED.



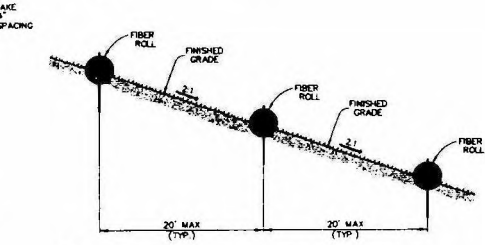
- NOTES:**
1. ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USE TO STOP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
 2. WHEELS SHALL BE CLEAN PRIOR TO EXITING ONTO PUBLIC RIGHT-OF-WAYS WHEN WASHING IS REQUIRED. IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF MELT PROTECTION (E.G. SAND BAGS OR OTHER APPROVED METHODS).
 3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3\"/>



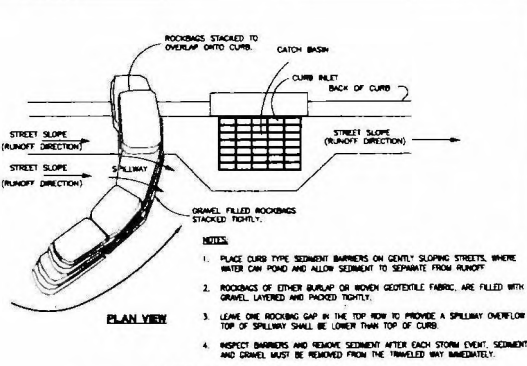
2 SILT FENCE
 NTS
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)



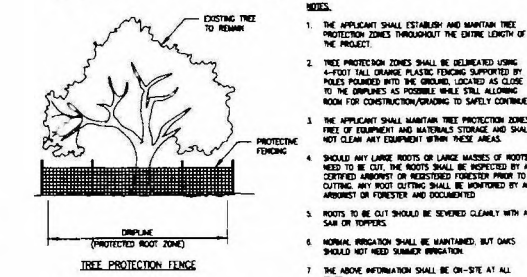
3 FIBER ROLL
 NTS
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)



4 FIBER ROLL INSTALLATION ON SLOPE
 NTS
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)



5 CURB AND GUTTER ROCKBAG SEDIMENT BARRIER ON SLOPE
 NTS
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)



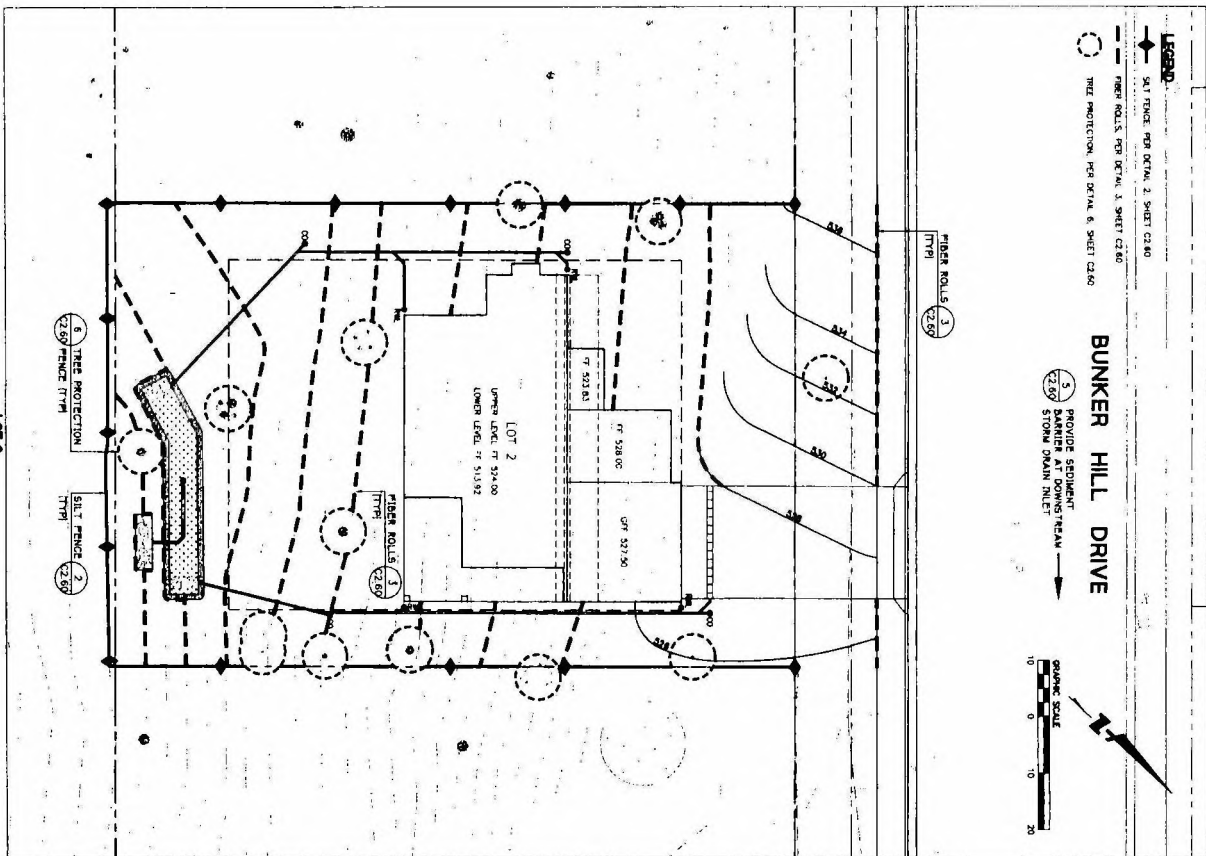
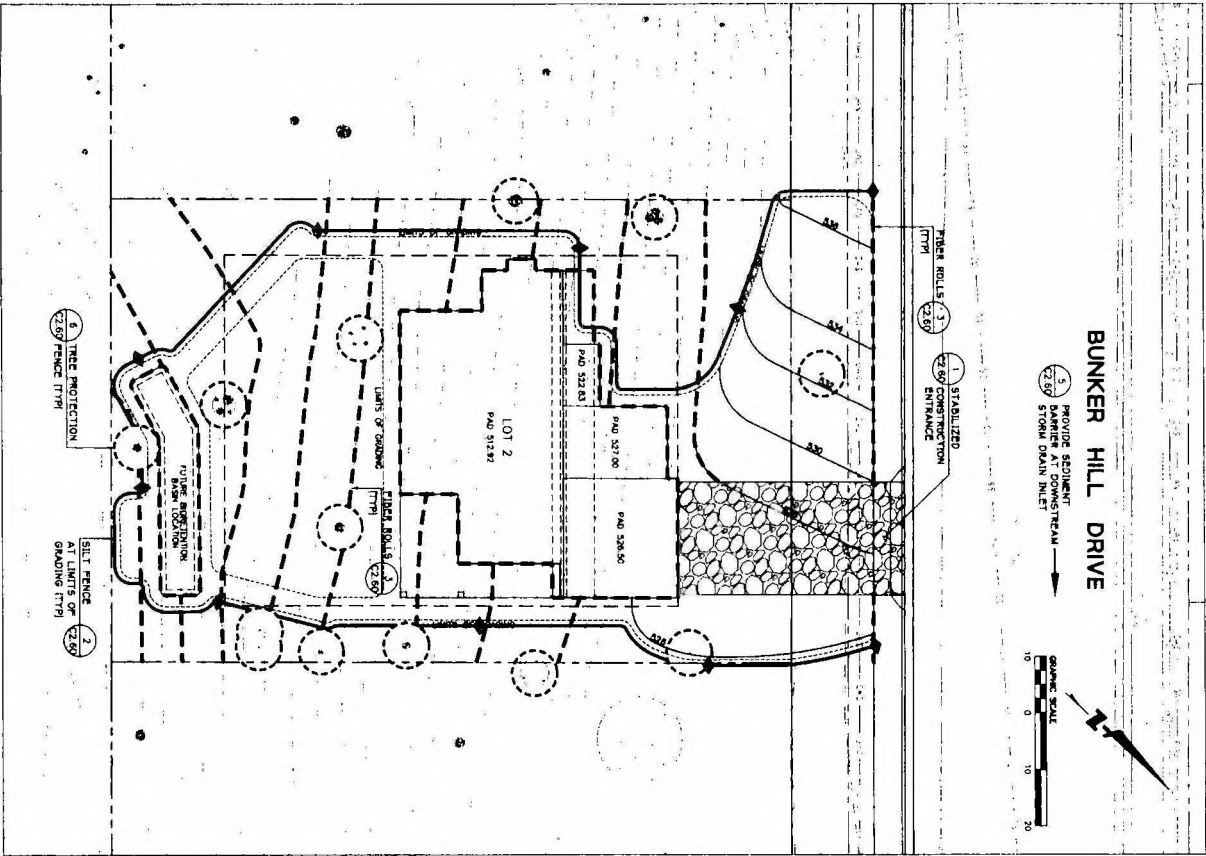
6 TREE PROTECTION FENCE
 NTS

CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) STANDARD DETAIL REFERENCES
 (CALIFORNIA STORMWATER BMP HANDBOOK CONSTRUCTION, DATED NOVEMBER 2008)
 ALTHOUGH SPECIFIC LOCATIONS FOR SPECIFIC BMPs ARE SHOWN ON THESE PLANS, IT IS INTENDED FOR THE CONTRACTOR TO APPLY APPROPRIATE BMPs WHEN NECESSARY TO MEET FIELD CONDITIONS.

EROSION CONTROL BMPs	TEMPORARY TRACKING CONTROL BMPs
EC-1 SOIL BINDING	TC-1 STABILIZED CONSTRUCTION ENTRANCE/DIRT
EC-2 PRESERVATION OF EXISTING VEGETATION	TC-2 STABILIZED CONSTRUCTION ROADWAY
EC-3 HYDRALIC MULCH	TC-3 ENTRANCE/OUTLET TIE WASH
EC-4 HYDROSEEDING	
EC-5 SOIL BINDERS	
EC-6 STRAW MULCH	
EC-7 GEOTEXTILES & MATS	
EC-8 WOOD MULCHING	
EC-9 EARTH DICES AND DRAINAGE SHIELDS	
EC-10 VELOCITY DEGRADATION DEVICES	
EC-11 CLEAR WATER DIVERSION	
EC-12 CLEANSWASH STABILIZATION	
EC-14 COMPOST BLANKETS	
EC-15 SOIL PREPARATION/POLYMERIZING	
EC-18 NON-VEGETATIVE STABILIZATION	
PERMANENT SEDIMENT CONTROL BMPs	WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL BMPs
SE-1 SILT FENCE	WM-1 MATERIAL DELIVERY AND STORAGE
SE-2 SEDIMENT BASIN	WM-2 MATERIAL HANDLING
SE-3 SEDIMENT TRAP	WM-3 STOCKPILE MANAGEMENT
SE-4 CHECK DAM	WM-4 SPILL PREVENTION AND CONTROL
SE-5 FIBER ROLLS	WM-5 SOLID WASTE MANAGEMENT
SE-6 GRAVEL BAG BERM	WM-6 HAZARDOUS WASTE MANAGEMENT
SE-7 STREET SWEEPING AND VACUUMING	WM-7 CONTAMINATED SOIL MANAGEMENT
SE-8 SAND BAG BERM	WM-8 CONCRETE WASTE MANAGEMENT
SE-9 STRAW BALE BARRIER	WM-9 SANITARY/SEPTIC WASTE MANAGEMENT
SE-10 STORM DRAIN INLET PROTECTION	WM-10 LIQUID WASTE MANAGEMENT
SE-11 ACTIVE TREATMENT SYSTEMS	
SE-12 TEMPORARY SILT DICE	
SE-13 COMPOST SOCKS AND BERTS	
SE-14 BROTHER BAGS	

WIND EROSION CONTROL BMPs
 WE-1 WIND EROSION CONTROL

DRAWING NAME: C:\Projects\Highland Estates\Lot 1\14-08-REG-EC-C1.60
 PROJECT NO.: 14-08-REG-EC-C1.60
 DATE: 02/17/14



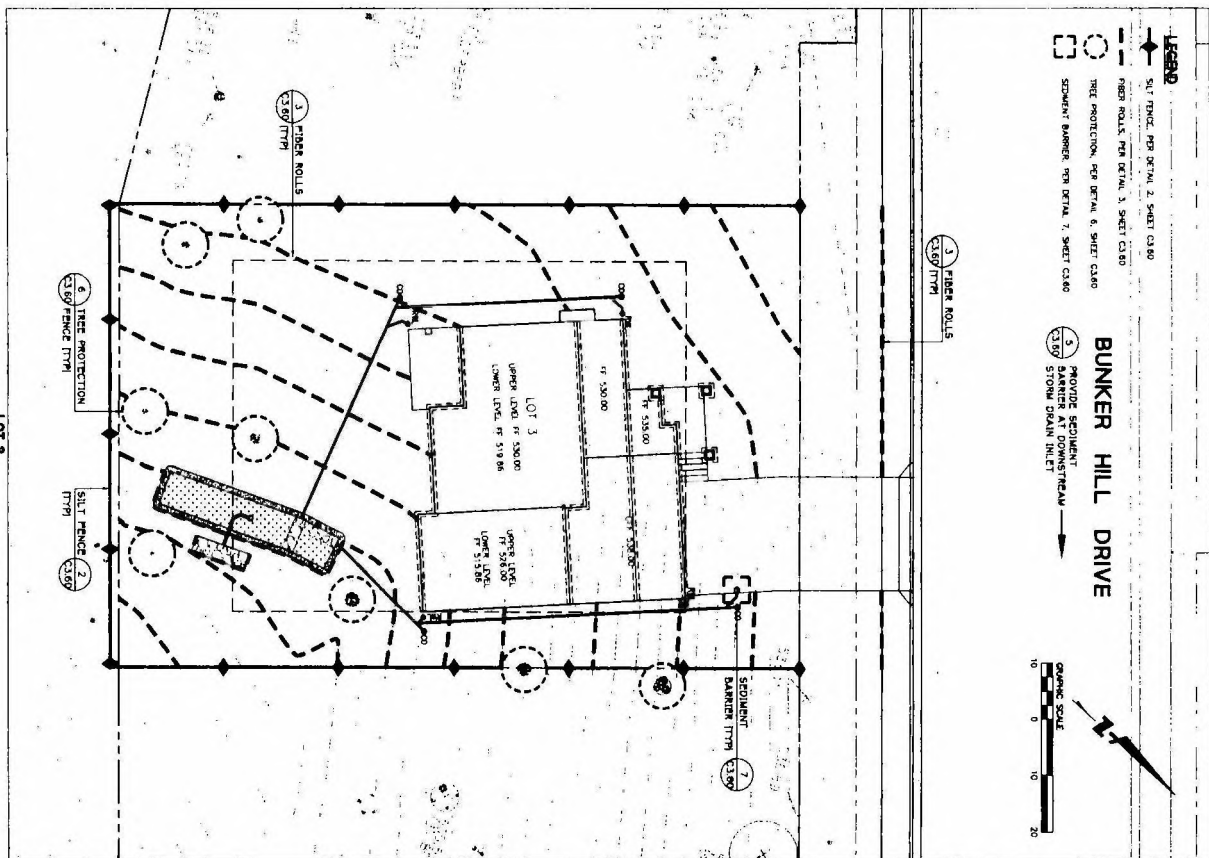
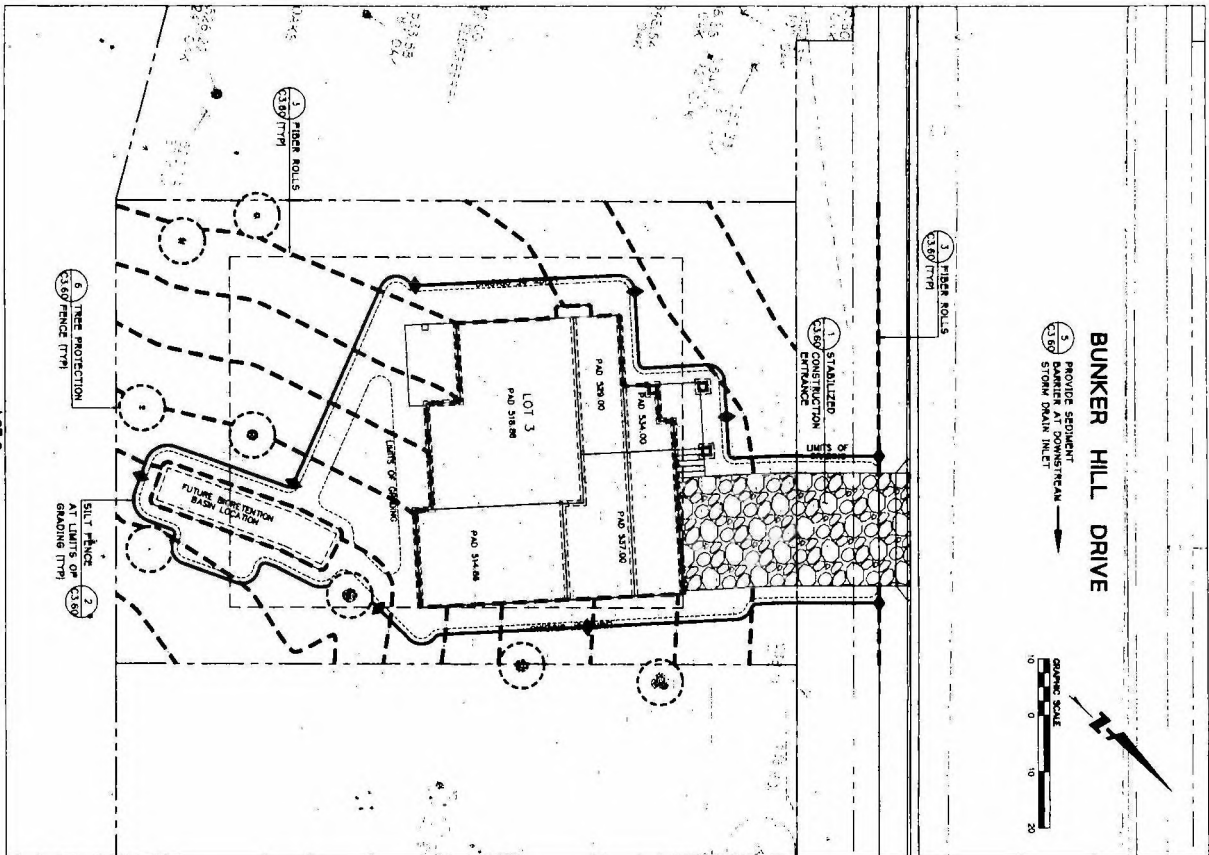
Date	By	Revisions
03/18/04	AS SHOWN	
	JT	
	MC	
	RH	
Job No	88798-14	

HIGHLAND ESTATES
LOT 2 IMPROVEMENT PLANS
EROSION CONTROL PLANS

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

BKF
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 487-6300
 FAX: (650) 487-6398

© BKF ENGINEERS



Date	By	No.	Revisions
03/18/14	AS SHOWN		
	JT		
	MD		
	RM		
Job No.	10000-14		

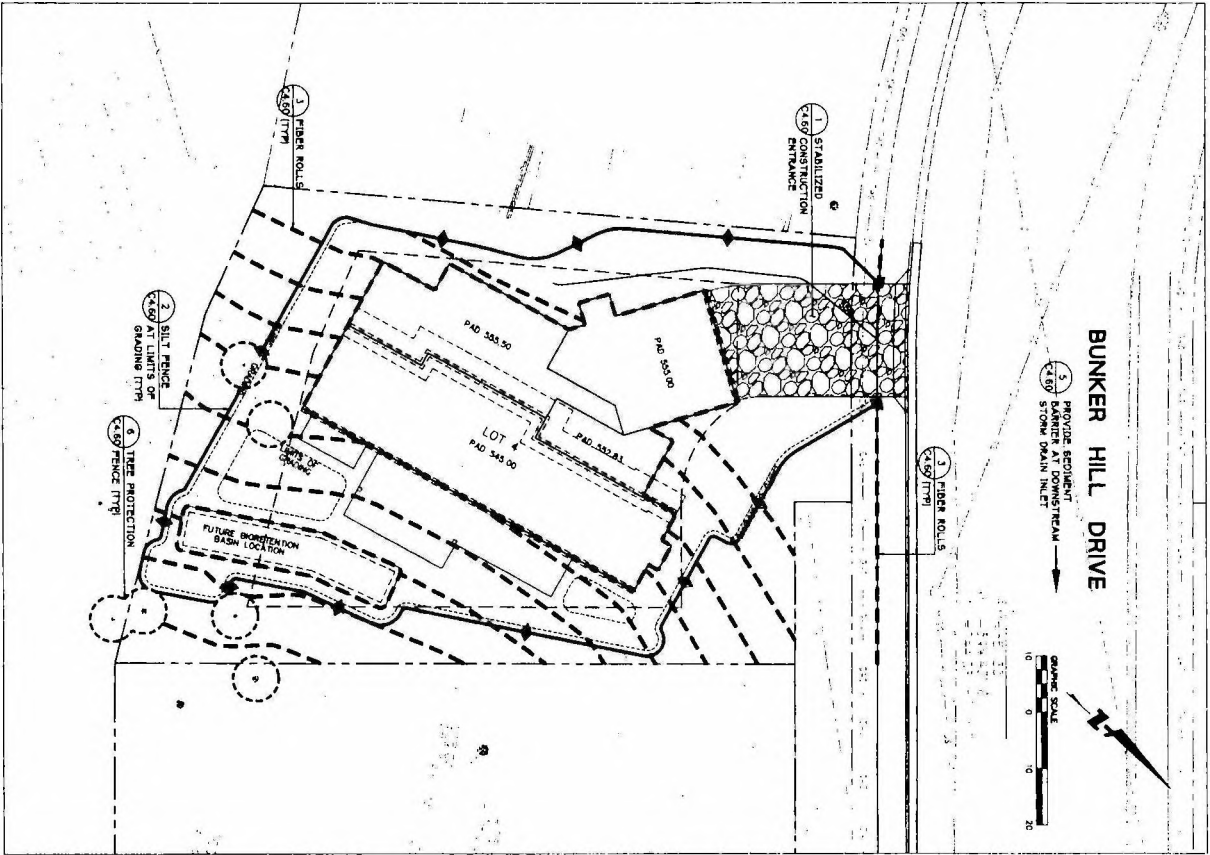
**HIGHLAND ESTATES
 LOT 3 IMPROVEMENT PLANS
 EROSION CONTROL PLANS**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

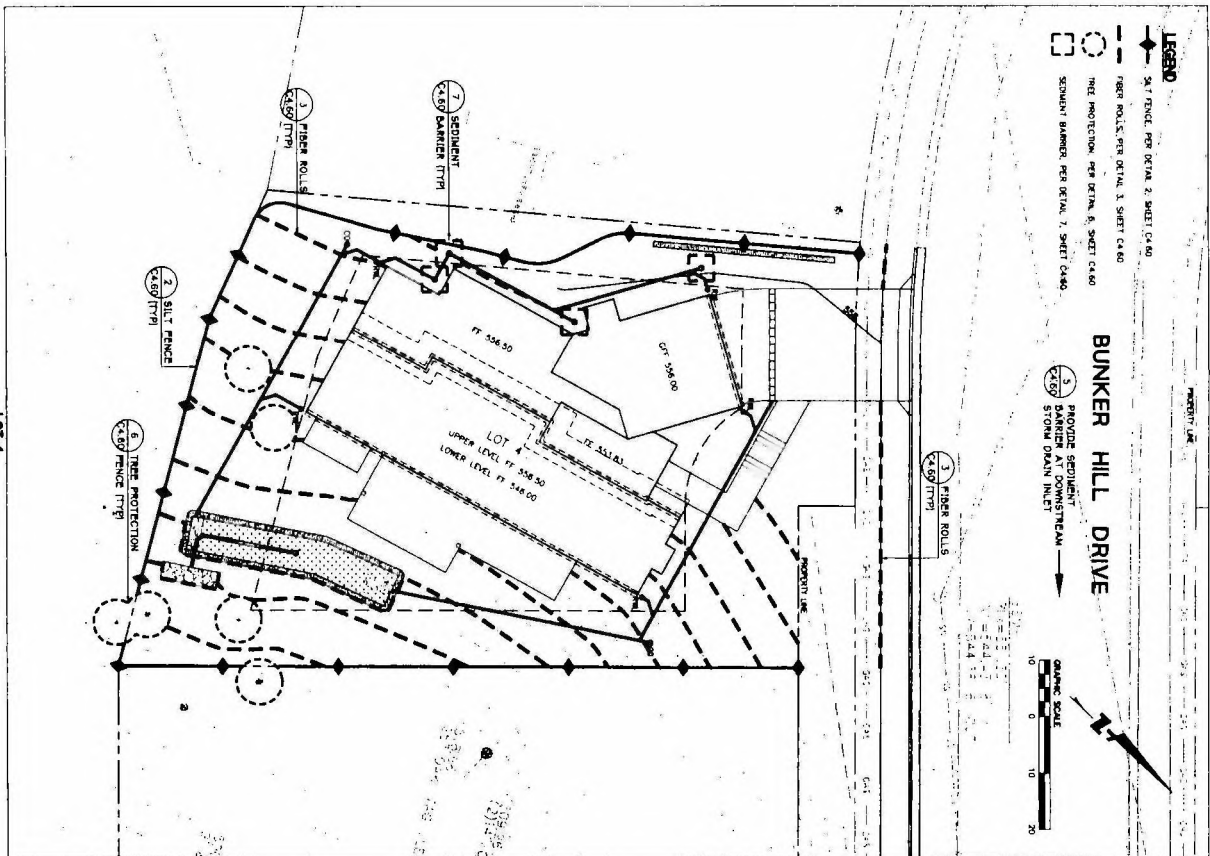


BKF

255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 482-8300
 FAX: (650) 482-8300



LOT 4
 GRADING AND RETAINING WALL EROSION CONTROL PLAN
 SCALE: 1"=20'



LOT 4
 FOUNDATION AND CONSTRUCTION EROSION CONTROL PLAN
 SCALE: 1"=20'

Revisions	
Date	03/19/14
Scale	AS SHOWN
Design	JT
Drawn	MD
Approved	RR
Job No.	185018-14

**HIGHLAND ESTATES
 LOT 4 IMPROVEMENT PLANS
 EROSION CONTROL PLANS**

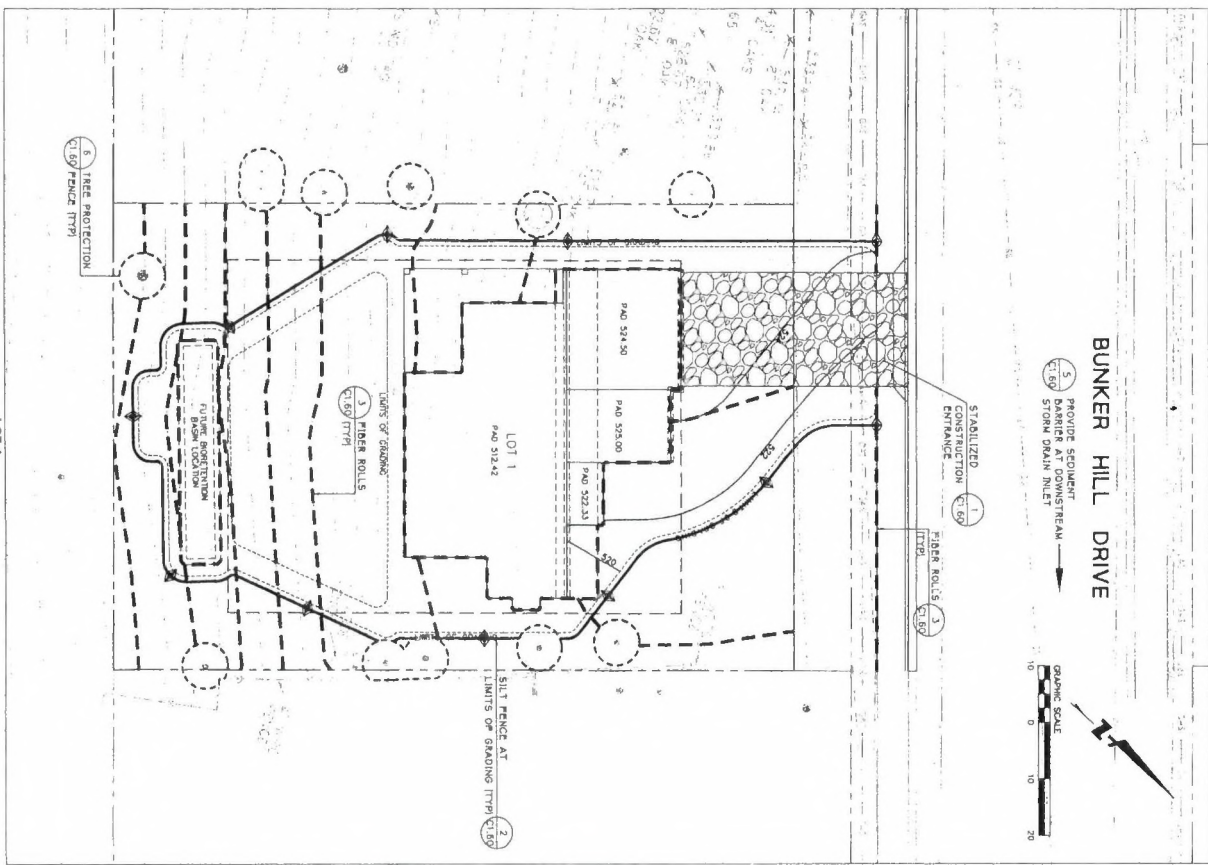
CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA



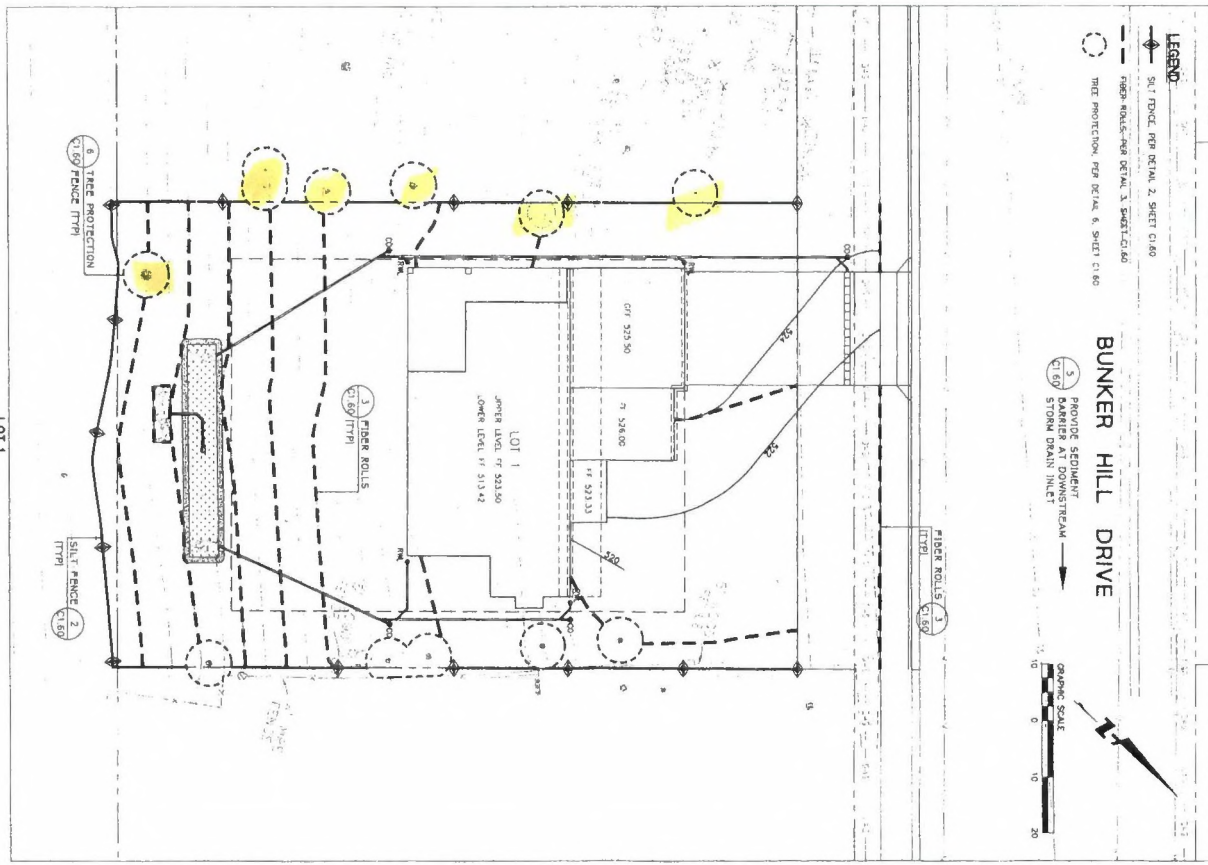
Bkf ENGINEERS / SURVEYORS / PLANNERS

255 SHORLINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 PHONE: (650) 482-8300
 FAX: (650) 482-8399

Missing trees - confirm # / size



LOT 1
 GRADING AND RETAINING WALL EROSION CONTROL PLAN
 SCALE: 1"=10'



LOT 1
 FOUNDATION AND CONSTRUCTION EROSION CONTROL PLAN
 SCALE: 1"=10'

Date	No.	Revisions
03/18/14		
Scale AS SHOWN		
Design	JT	
Drawn	MD	
Approved	DA	
Job No. 15086-11		

HIGHLAND ESTATES
 LOT 1 IMPROVEMENT PLANS
 EROSION CONTROL PLANS
 CITY OF SAN MATEO
 SAN MATEO COUNTY
 CALIFORNIA

BKF
 ENGINEERS | ENVIRONMENTAL | PLANNING
 755 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 487-6300
 FAX: (650) 487-6399

155 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CALIFORNIA 94063
PHONE: (650) 962-2233
FAX: (650) 962-2232



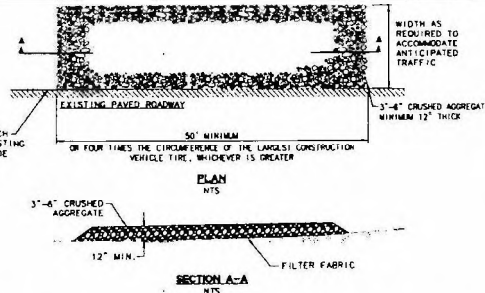
HIGHLAND ESTATES
 LOT 1 IMPROVEMENT PLANS
 EROSION CONTROL DETAILS AND NOTES
 CITY OF SAN MATEO COUNTY
 SAN MATEO COUNTY

Revision	No.	Date	By	Check	Drawn	Approved	Scale	Sheet No.	Total
		03/18/14					AS SHOWN	11	11

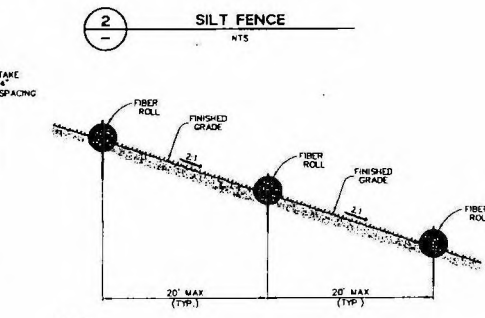
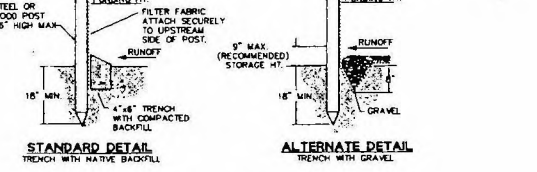
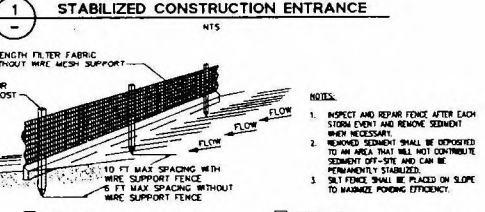
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of

EROSION CONTROL NOTES

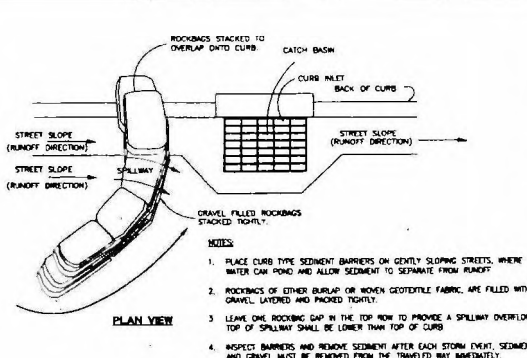
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. ALTHOUGH SPECIFIC LOCATIONS FOR EROSION CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS INTENDED THAT EROSION CONTROL PLAN BE MODIFIED WHEN NECESSARY TO MEET FIELD CONDITIONS. EARTH AND ROCK CUTS AND ELEVATIONS MAY BE ADJUSTED AS LONG AS THE VOLUMEN AREAS AND DEPTHS FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE INITIAL CONCEPT FOR EROSION CONTROL MEASURES. THE CONTRACTOR SHALL VERIFY THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GENERAL SURVEY DATA, EROSION CONTROL EFFECTIVENESS MONITORING, AND THE PLANS UPDATES AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM ENTERING THE DOWNSTREAM DRAINAGE SYSTEM.
4. THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. FIBER ROLLS, SAND BAGS, AND SILT FENCES SHALL BE USED BY THE CONTRACTOR TO PREVENT EROSION. THE CONTRACTOR SHALL MAINTAIN AND OPERATE THE STORM DRAIN SYSTEM. ALL EXISTING, TEMPORARY, OR PERMANENT CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
5. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATE OWNED AND MAINTAINED ROAD CAUSED BY THE CONTRACTOR'S DRIVING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE MAJOR ROUTE. ADVISORY PUBLIC ROADS SHALL BE CLEARED AT THE END OF EACH WORKING DAY.
6. BEST MANAGEMENT PRACTICES SHALL BE OPERABLE YEAR AROUND.
7. DURING THE EARLY STAGES, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE IS TO BE MAINTAINED AS TO MINIMIZE SEDIMENT-LADEN RUNOFF TO ANY STORM DRAIN SYSTEM.
8. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED DAILY DURING THE RAINY SEASON. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
9. THE FIRST PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY. THE REMAINDER OF CONSTRUCTION EQUIPMENT (70 PERCENT) WHICH SHALL CONSIST OF OLDER TECHNOLOGIES, SHALL BE REQUIRED TO USE EMULSIFIED FUELS.
10. THE SECOND PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 2 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY AND 50 PERCENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS. THE REMAINING 20 PERCENT OF CONSTRUCTION EQUIPMENT, WHICH SHALL CONSIST OF OLDER TECHNOLOGIES, SHALL USE EMULSIFIED FUELS.
11. FOR ALL LARGER VEHICLES, INCLUDING CONCRETE MIXERS OR OTHER DEVICES THAT MUST BE DELIVERED BY LARGE TRUCKS, VEHICLES SHALL BE EQUIPPED WITH CAB LEVEL THREE VERIFIED CONTROL DEVICES.
12. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
13. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FRESH GRAD.
14. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STORAGE AREAS AT THE CONSTRUCTION SITES.
15. SHEEP DAILY WITH WATER SHEEPERS. ALL PAVED AREAS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
16. SHEEP PUBLIC STREETS ADJACENT TO CONSTRUCTION SITES DAILY WITH WATER SHEEPERS IF MOBILE SOIL MATERIAL IS CARRIED ONTO THE STREETS.
17. HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OF MORE).
18. TEMPORARY AND PERMANENT SLOPES GREATER THAN 3 FEET SHALL BE SEEDED UNLESS ALTERNATIVE MEASURES ARE USED.
19. SEED USE FOR REVEGETATION AND HYDROSEEDING: NORTHERN CALIFORNIA COVER MIX BY AGRICULTOR OR EQUAL:
 50% BLUE BUREDO
 30% MEADOW BARLEY
 10% JOINT PINE
 10% PURPLE NEEDLE GRASS
 10% CALIFORNIA NATIVE MIXTURE
 APPLY AT 40 POUNDS PER ACRE MINIMUM
20. ENVELOPE, COVER, WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOOPPLES (DIRT, SAND, ETC.) LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MPH PER HOUR.
21. DISPAAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOOPPLED, IT SHALL BE SURROUNDED BY A SILT FENCE/FIBER ROLLS.
22. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MPH PER HOUR.
23. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
24. REPLANT VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE.
25. INSTALL WHEEL BARBERS FOR ALL EXISTING TRUCKS OR BRUSH OFF THE TRUCKS OR TRACKS OF ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE.
26. INSTALL WIND BREAKS AT THE INBOARD SIDES OF THE CONSTRUCTION AREAS.
27. SUSPEND OPERATIONS AND GRADING ACTIVITIES WHEN WIND (AS INSTANTANEOUS WINDS) EXCEEDS 25 MPH PER HOUR.
28. NO GRADING SHALL BE ALLOWED DURING THE WINTER SEASON (OCTOBER 15 TO APRIL 30) TO AVOID POTENTIAL SOIL EROSION UNLESS APPROVED IN WRITING BY THE COUNTY DEVELOPMENT DIRECTOR. THE PROPERTY OWNERS SHALL SUBMIT A LETTER TO THE CURRENT PLANNING SECTION AT LEAST 10 WEEKS PRIOR TO COMMENCEMENT OF GRADING. STATING THE DATE WHEN GRADING WILL BEGUN.
29. STABILIZE ALL DENuded AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 30. STABILIZING SHALL INCLUDE BOTH PROTECTIVE MEASURES, SUCH AS THE PLACEMENT OF STRAW BALES OR COIR NETTING, AND PASSIVE MEASURES, SUCH AS UNWINDING VEGETATION REMOVAL, AND REVEGETATION OF DENuded AREAS WITH VEGETATION THAT IS COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.
30. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
31. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAINTS, CUTTING FLUIDS, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SOLVENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
32. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DENUDATING SITE AND OBTAINING ALL NECESSARY PERMITS.
33. AVOID CLEANING, FILLING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
34. DEMATERIALIZE WITH FIELD MARKERS, CLEARING LINES, SETBACKS, AND DRAINAGE COURSES.
35. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACTS USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, DUES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.
36. PERFORM CLEANING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER.
37. LIMIT AND THE APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
38. LIMIT CONSTRUCTION ACCESS ROUTES AND STABILIZE DESIGNATED ACCESS POINTS.
39. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, DEGRADED, TEMPORARILY OR STOCKPILED, SHALL BE RETTED, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PREVENT ANY SIGNIFICANT MISCALM FROM DUST, OR SPILLAGE UPON ADJACENT WATER BODIES, PROPERTY, OR STREET'S EQUIPMENT AND MATERIALS ON THE SITE. SHALL BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST. A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
40. A DUST PALMATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE COUNTY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SEALS ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. THE PLANNING AND BUILDING DEPARTMENT'S GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.
41. IF NO WORK HAS PROCEEDED FOR A PERIOD OF 4 WEEKS, FILL, DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED WINTERIZATION PLAN.
42. PADS SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS REQUIRING SUPPLEMENTAL DRAINAGE TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER, ALL SPILLS AND SOIL STOCKPILES REMAINING ON SITE SHALL BE ENCLOSED BY SILT FENCES/FIBER ROLLS.
43. STABLED CUT ENDS OF PARTIALLY COMPLETED SUBURBANS SHALL BE WRAPPED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE STREET.
44. HAIL HEADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE EROSION RELATED TO HAIL HEADS.
45. CHRONIC SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO SAN MATEO COUNTY PUBLIC WORKS BY AUGUST 15.
46. EROSION CONTROL POINT OF CONTACT:
 NOTES: CHAMBERLAIN, HERRON BUILDING INC.
 225 DEWEY STREET
 EAST PALO ALTO, CA 94303
 PHONE # 650-322-5800
 CELL # 650-444-3208
 EMAIL: mherron@chamberlain.com
47. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN, OR ANY OTHER WATER SHEET, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE BEST PROJECT ENGINEER AT (650) 442-4830 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.
48. AREAS DEMARCAED ON PLANS FOR PARKING, CLEARING & GRUBBING, ETC. SHALL NOT BE ENLARGED OR "RUN OVER".
49. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON".
50. DUST CONTROL IS REQUIRED YEAR-ROUND.
51. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
52. USE OF PLASTIC SHEETING BETWEEN OCTOBER 15TH AND APRIL 30TH IS NOT ACCEPTABLE, UNLESS FOR USE ON STOOPPLES WHERE THE STOOPPLE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOOPPLE.
53. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY GRADING, EXCAVATING OR GRUBBING IS STARTED.



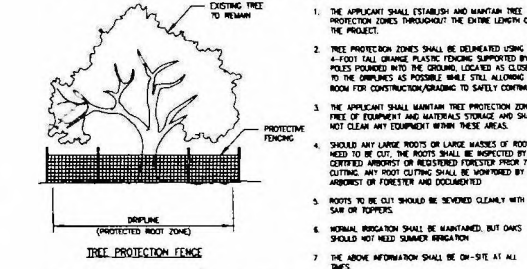
- NOTES:**
1. ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEANUP OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
 2. WHEELS SHALL BE CLEAN PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS WHEN WASHING IS REQUIRED. IF SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF MAINT PROTECTION (E.G. SAND BAGS OR OTHER APPROVED METHODS).
 3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3\"/>



4 FIBER ROLL INSTALLATION ON SLOPE
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)
 NTS



5 CURB AND GUTTER ROCKBAG SEDIMENT BARRIER ON SLOPE
 (TIME FRAME: BETWEEN FINAL PAVING OPERATIONS AND PROJECT COMPLETION)
 NTS



6 TREE PROTECTION FENCE
 NTS

CALIFORNIA STORMWATER QUALITY ASSOCIATION (CASQA) STANDARD DETAIL REFERENCES
 (CALIFORNIA STORMWATER BMP HANDBOOK CONSTRUCTION, DATED NOVEMBER 2008)

NOTE: ALTHOUGH SPECIFIC LOCATIONS FOR SPECIFIC BMP'S ARE SHOWN ON THESE PLANS, IT IS INTENDED FOR THE CONTRACTOR TO APPLY APPROPRIATE BMP'S WHEN NECESSARY TO MEET FIELD CONDITIONS.

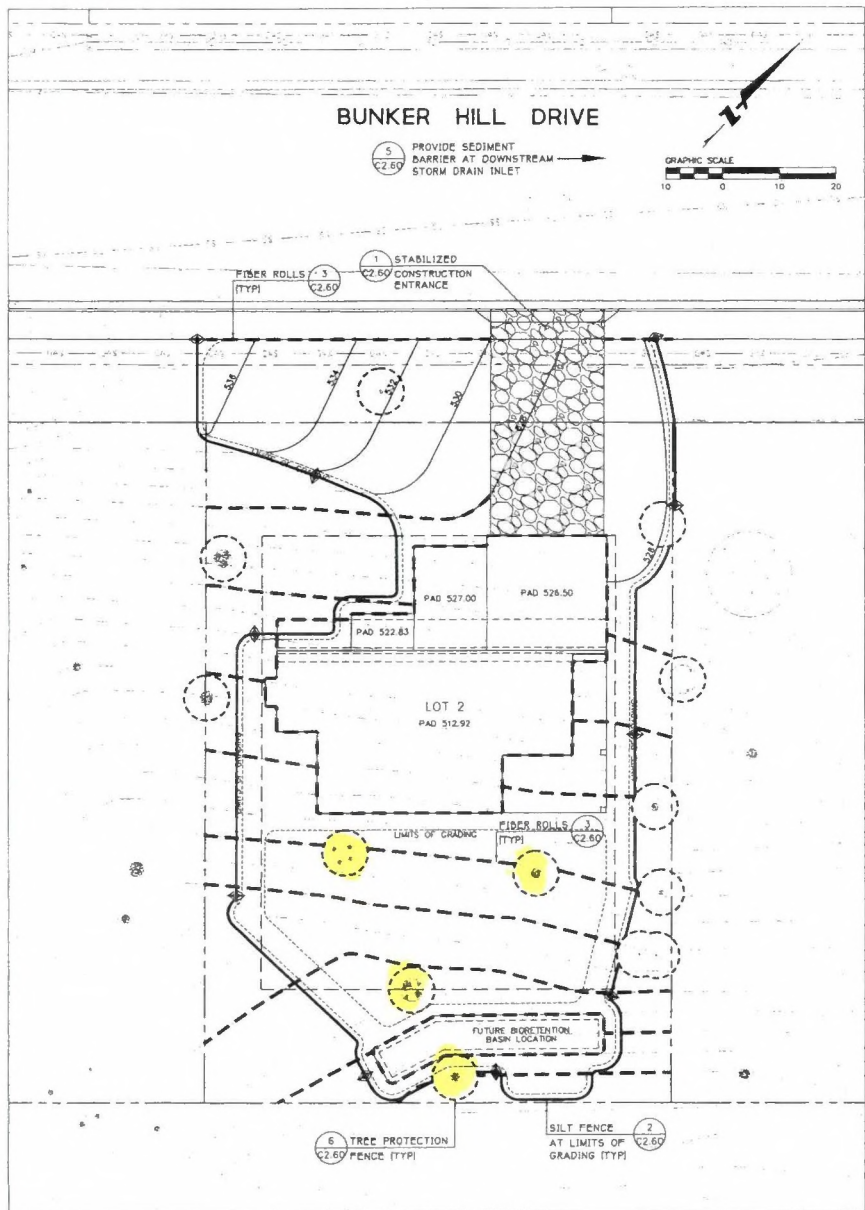
EROSION CONTROL BMP'S	TEMPORARY TRACKING CONTROL BMP'S
EC-1 SOIL BINDING	TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
EC-2 PRESERVATION OF EXISTING VEGETATION	TC-2 STABILIZED CONSTRUCTION ROADWAY
EC-3 HYDRAULIC MULCH	TC-3 ENTRANCE/OUTLET TIRE WASH
EC-4 HYDROSEEDING	TC-4
EC-5 SOIL BINDERS	TC-5
EC-6 STRAW MULCH	TC-6
EC-7 GEOTEXTILES & MATS	TC-7
EC-8 WOOD MULCHING	TC-8
EC-9 EARTH COVERS AND DRAINAGE SHALES	TC-9
EC-10 VELOCITY DISSIPATION DEVICES	TC-10
EC-11 SLOPE DRAPES	TC-11
EC-12 STREAMBANK STABILIZATION	TC-12
EC-13 COMPOST BLENDED MATS	TC-13
EC-14 COMPOST BLENDED MATS	TC-14
EC-15 SOIL PREPARATION/PROOFING	TC-15
EC-16 NON-VEGETATIVE STABILIZATION	TC-16
EROSION CONTROL BMP'S	NON-VEGETATIVE CONTROL BMP'S
SE-1 SILT FENCE	NS-1 WATER CONSERVATION PRACTICES
SE-2 SEDIMENT BASIN	NS-2 DENUDATING OPERATIONS
SE-3 SEDIMENT TRAP	NS-3 PAVING AND GRUBBING OPERATIONS
SE-4 CHECK DAM	NS-4 TEMPORARY STREAM CROSSING
SE-5 FIBER ROLLS	NS-5 CLEAR WATER DIVERSION
SE-6 GRAVEL BAG BERM	NS-6 EROSION CONTROL/STABILIZATION
SE-7 STREET SWEEPING AND VACUATING	NS-7 POTABLE WATER/APPLICATION
SE-8 STRAW BALE BARRIER	NS-8 VEHICLE AND EQUIPMENT CLEANING
SE-9 STEEP BANK INLET PROTECTION	NS-9 MATERIAL AND EQUIPMENT WASHING
SE-10 ACTIVE TREATMENT SYSTEMS	NS-10 VEHICLE AND EQUIPMENT MAINTENANCE
SE-11 COMPOST SOCS AND BERMS	NS-11 FILL DRIVING OPERATIONS
SE-12 BOLLER BARS	NS-12 CONCRETE CURING
EROSION CONTROL BMP'S	WASTE MANAGEMENT & MATERIALS POLLUTION CONTROL BMP'S
WE-1 WIND EROSION CONTROL	WM-1 MATERIAL DELIVERY AND STORAGE
	WM-2 MATERIAL USE
	WM-3 STOCKPILE MANAGEMENT
	WM-4 SPILL PREVENTION AND CONTROL
	WM-5 SOLID WASTE MANAGEMENT
	WM-6 HAZARDOUS WASTE MANAGEMENT
	WM-7 CONTAMINATED SOIL MANAGEMENT
	WM-8 CONCRETE WASTE MANAGEMENT
	WM-9 SANITARY/SOLID WASTE MANAGEMENT
	WM-10 LIQUID WASTE MANAGEMENT

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15 AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

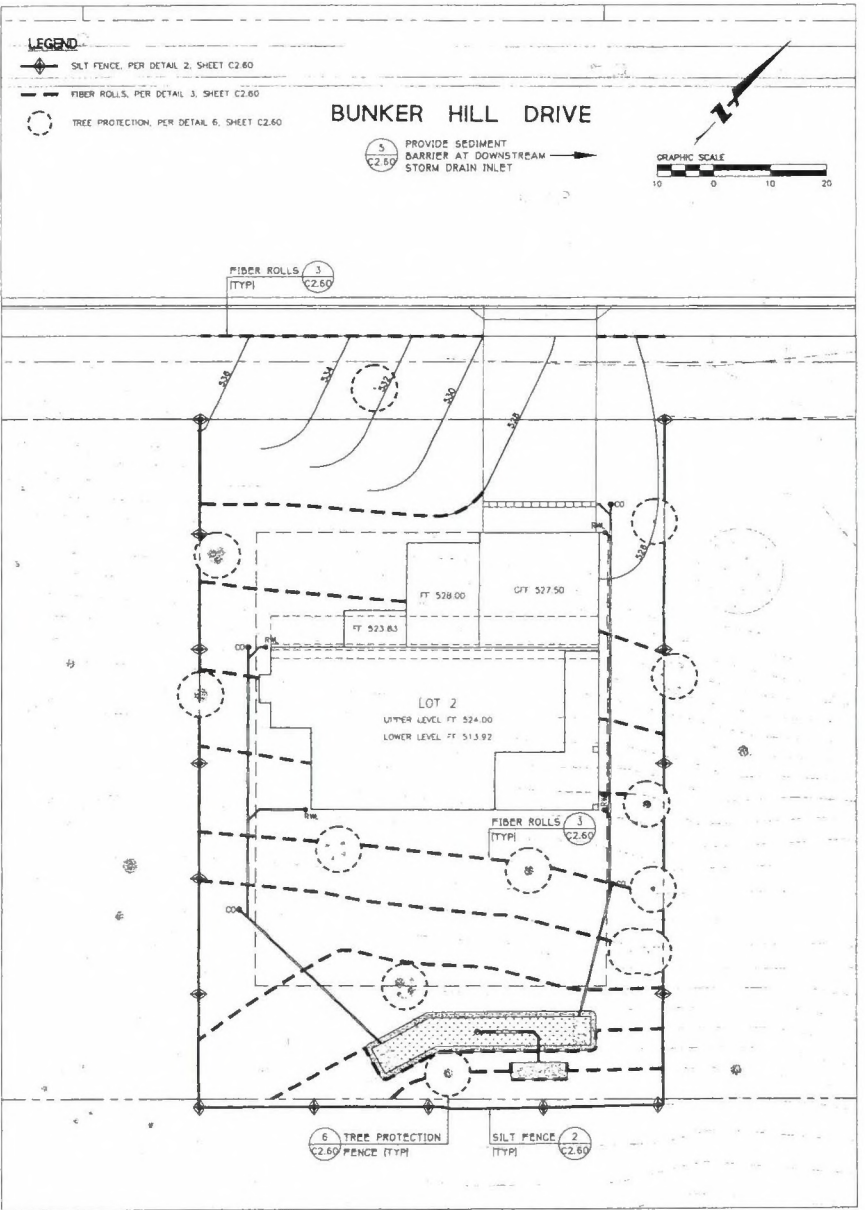
DRAWING NAME: C160-EROSION CONTROL
 SCALE: AS SHOWN
 DATE: 03/18/14
 DESIGNED BY: [Name]
 CHECKED BY: [Name]
 DRAWN BY: [Name]
 APPROVED BY: [Name]



Revisions	
No.	Date
	03/18/14
	Scale AS SHOWN
	Drawn JF
	Approved: Rn
	Job No. 10006-11



**LOT 2
 GRADING AND RETAINING WALL EROSION CONTROL PLAN**
 SCALE: 1"=10'



**LOT 2
 FOUNDATION AND CONSTRUCTION EROSION CONTROL PLAN**
 SCALE: 1"=10'

DRAWING NAME: J:\Projects\0501\BKF\CD\Lot2\CD\2103-10-4-CCOP.dwg
 PLOT DATE: 03-18-14 PLOTTER: B7: 6x11

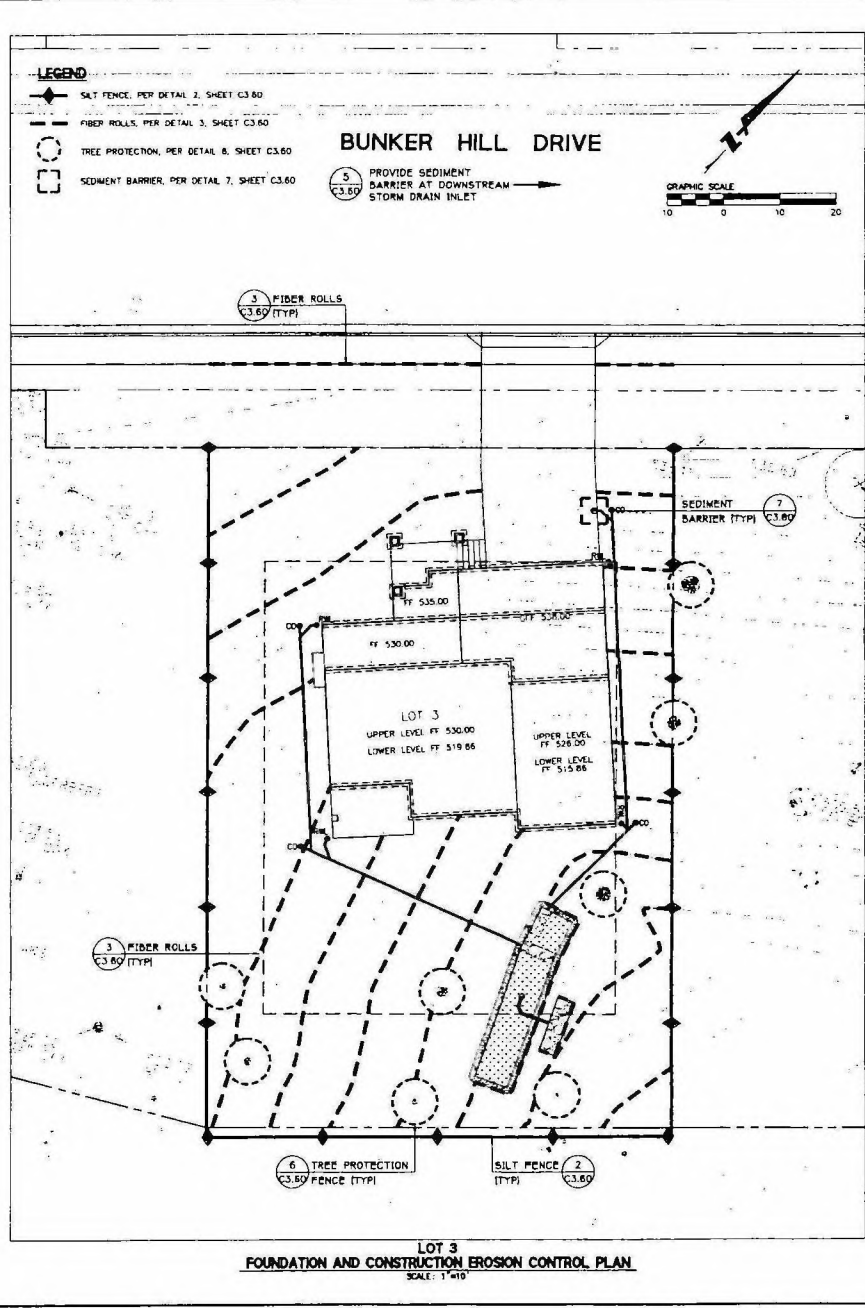
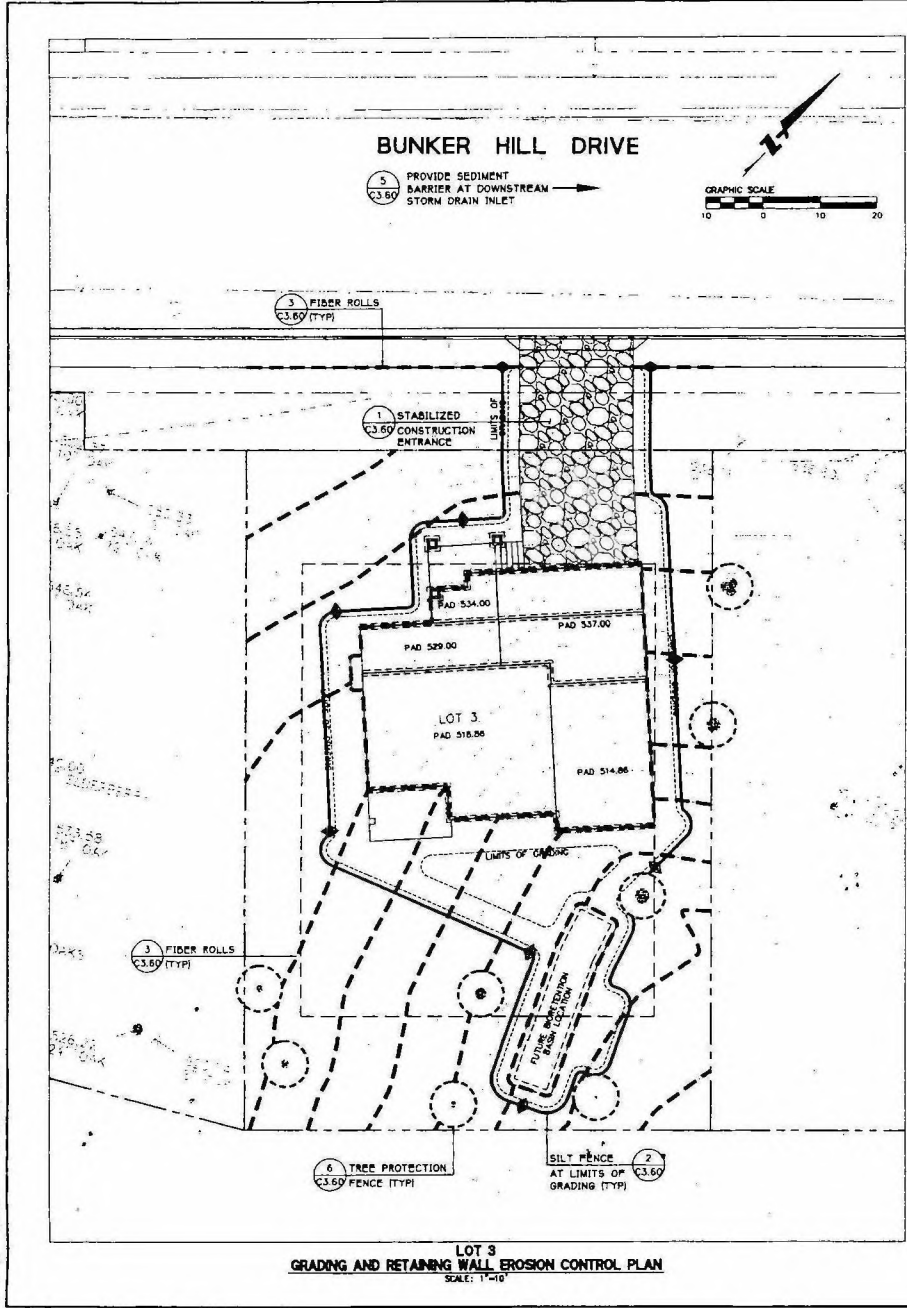
233 SERRANO DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 FAX: (650) 487-2439



HIGHLAND ESTATES
 LOT 3 IMPROVEMENT PLANS
 EROSION CONTROL PLANS
 CITY OF SAN MATEO
 SAN MATEO COUNTY
 CALIFORNIA

Date	By	No.	Revision
03/19/14	JT	1	
03/19/14	GD	2	
03/19/14	BT	3	
03/19/14	BT	4	

Sheet No. **C3.50**



DRAWING NAME: J:\PROJECTS\148\EROSION\DRAWING\C3.50-HELOSP.dwg
 PLOT DATE: 03-19-14 PLOTTED BY: gsk



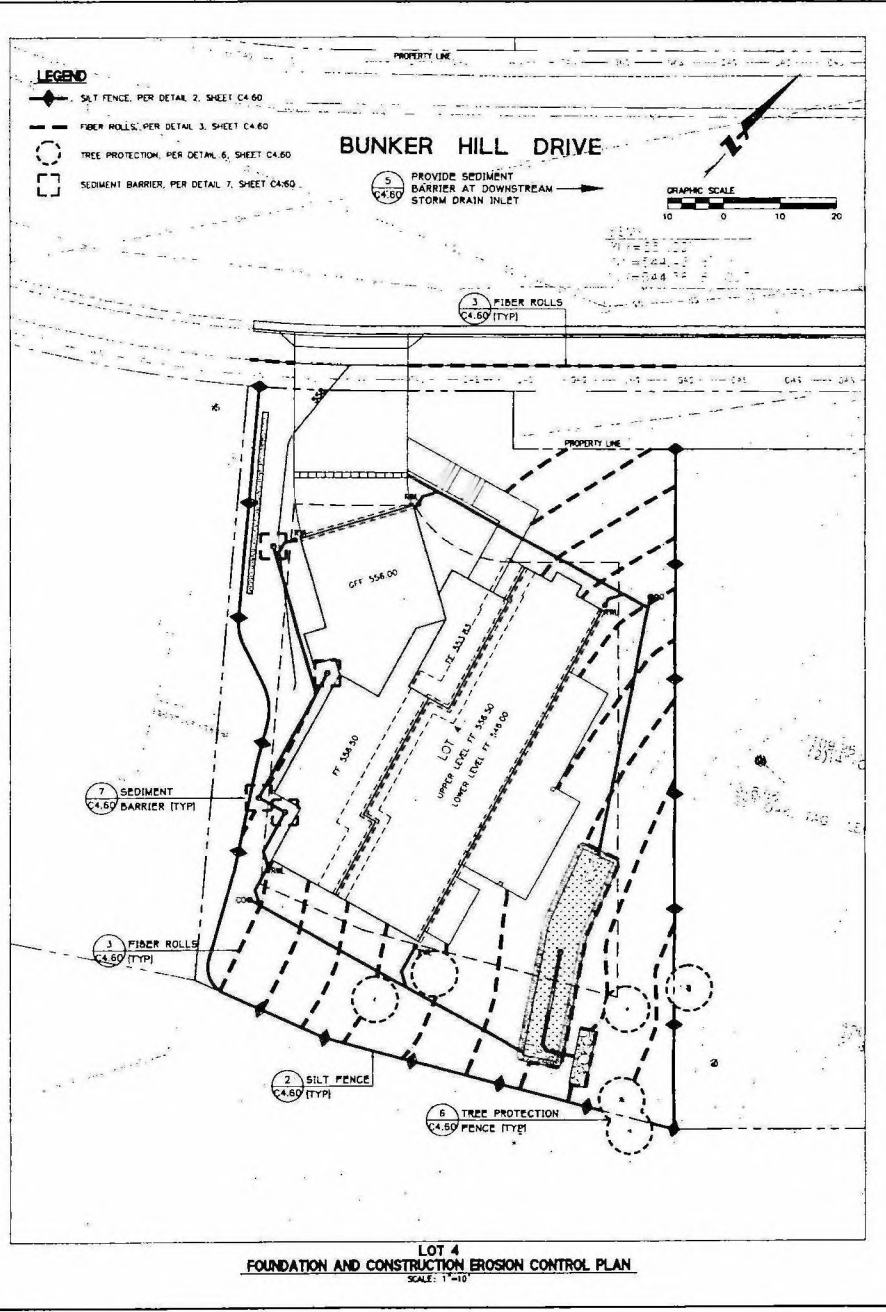
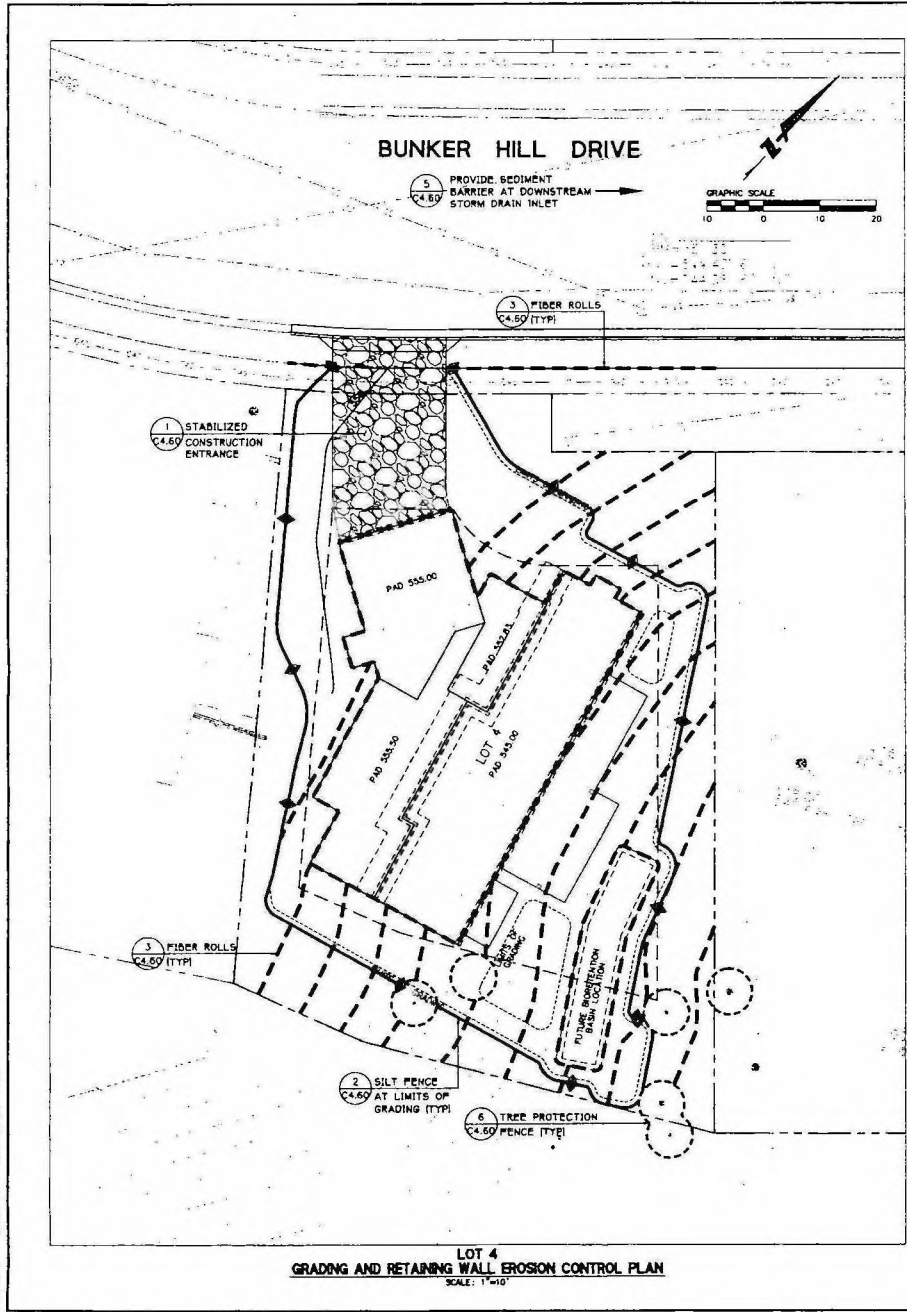
CALIFORNIA

HIGHLAND ESTATES
 LOT 4 IMPROVEMENT PLANS
 EROSION CONTROL PLANS

CITY OF SAN MATEO
 SAN MATEO COUNTY

Revision	No.	Date	By	Check	Appr.
	1	03/19/14	JT	MS	BR

Sheet Number: **C4.50**



DRAWING NAME: 2:\Projects\1001\EROSION\CD\PLAN\ANG_30-14C05P.dwg
 PLOT DATE: 03-19-14 PLOTTED BY: erik



ENGINEERS
SURVEYORS
PLANNERS

March 20, 2014

Ms. Camille Leung
County of San Mateo
Planning and Building Department
455 County Center, 2nd Floor
Redwood City, CA 94063

Subject: Improvement Plans for Highland Estates – Bunker Hill Drive
Plan Review Comments Email, dated February 28, 2014
Response to Review Comments

Dear Ms. Leung,

The following are BKF's responses to your Erosion Control Plan Comment Email, dated February 28, 2014. We have addressed the issues brought to our attention and made the necessary corrections to our plans based on comments received. The following are BKF's responses, indicated in **bold** text, to the comments in the three review letters:

Erosion Control Plan Comment Email Dated February 28, 2014 (Comments by Camille Leung)

Make the Following Changes on the Project EC Plan (difficult projects only):

3. *Site Plan needs to show dimensioned setbacks from decks (which are considered structures as they are over 18" in height from grade and subject to setbacks).*

Dimensioned setbacks from decks have been added to the plans. Refer to Revised Sheet CX.30 Site & Clearing, Construction and Grading Limits Plans for each of the Lots 1, 2, 3 and 4 Improvement Plans.

4. *Delineation of Area of Work*

e. Protect Undisturbed Areas

Grading Phase: *For all lots, use silt fence or orange fencing along the "limit of grading" to protect areas that will not be disturbed during grading. County staff will want to see a physical barrier during this phase.*

Silt fences have been placed along the limits of grading of the respective Lots for the grading phase. Refer to Revised Sheet CX.50 Erosion Control Plan for each of the Lots 1, 2, 3, 4 Improvement Plans.

255 Shoreline Drive
Suite 200
Redwood City
California 94065
phone 650.482.6300
fax 650.482.6399

Page 1 of 2

2. Prevent Erosion of Unstable or Denuded Areas

- a. Show areas that will be used for stockpiling earth (the word "stockpile" should be used). Please include stockpile protection detail. For protection of temporary stockpiles, use anchored-down plastic sheeting in dry weather. In wet weather, or for longer storage, use seeding and mulching, soil blankets or mats.

Stockpile Covering detail has been added to the plans. Refer to Revised Sheet CX.90 CASQA Standard Details for each lot 1, 2, 3, 4.

3. Show Locations of Logistics Areas

- b. On Erosion Control Plan, show Location of utility trenches, indicate utility types, and sediment control measures to be used while trenches are open.

Fiber roll has been added to the back of walk to prevent erosion as a result of trenching from leaving the site per our conversation with you the week of 3/3/2014. Refer to Revised Sheet X.50 Erosion Control Plan of the Lot Improvement Plans for each lot 1, 2, 3, and 4.

5. Containment of Construction Materials and Waste

- a. Specify the method used to contain the concrete washout and include a detail.

Temporary Washout Pit detail has been added to the plans. Refer to Revised Sheet CX.90 CASQA Standard Details.


6. Construction Schedule

- a. Please correct the construction schedule to address: 1) Actual anticipated grading and construction dates and 2) Grading moratorium from October 1 – April 30 of every year. For Lot 3, please add anticipated date of driveway paving.

Construction Schedule has been revised to address 1) anticipated grading and construction dates and 2) grading moratorium from October 1 – April 30. Additionally, anticipated dates of driveway paving have been added to the construction schedule. Refer to Revised Sheet CX.80 Logistics Plan of the Lots 1, 2, 3, and 4 Improvement Plans.

Should you have any questions, comments or need further clarification regarding the responses to the plan check comments in this letter, please contact me at (650) 482-6407 or Michael DeLeon at (650) 482-6417.

Sincerely,
BKF Engineers,



Roland Haga, P.E., LEED® AP
Associate/Project Manager

From: Tay Peterson <peterson@traenviro.com>
To: "jtuttlec@aol.com" <jtuttlec@aol.com>, "noel chamberlain(noel@nexgenbuil...
Date: 3/24/2014 12:30 PM
Subject: Highland Estates Woodrat Update

Hello,

We started the woodrat removal process last night. We set over 40 live traps; 4 at each woodrat house except for one house where we set 6. The traps were set at dusk and checked at 7 this morning. We caught 4 woodrats at houses in the poison oak area. 4 new structures were placed off-property within 200 feet of the location where each woodrat was caught. The woodrats were placed within the structure with nest materials and food. The woodrat houses where woodrats were caught were dismantled. Traps are still in place on the property and will be set again tonight, in compliance with CDFW's request for two trap nights. We will be at the site again tomorrow morning to determine if any additional woodrats were captured and need to be moved. Then all of the houses on the lots will be dismantled, except one that is up in a tree. Nothing will be done with that one, which CDFW agreed with. We will complete the nesting bird survey tomorrow.

I spoke with Jack Schneider this morning and he indicated that the fire department is requiring brush clearing within 100 feet of the structures. This will extend into the adjoining property and the area where we have placed the woodrats. We are planning to meet tomorrow morning so I can show him where the new woodrat houses are so that they will not be disturbed during brush clearing. It would be best to wait at least a few days before clearing the brush in the area of the new woodrat houses. Ralph, it would be good to show you as well, so let me know what is convenient.

Tay

Taylor Peterson
Senior Project Manager
TRA Environmental Sciences, Inc.
545 Middlefield Road, Suite 200
Menlo Park, California 94025
(650) 327-0429; direct line: (650) 400-5767

www.traenviro.com<<http://www.traenviro.com>>

CHAMBERLAIN GROUP

RECEIVED

2014 MAR 26 P 2:28

SAN MATEO COUNTY
PLANNING AND BUILDING
DEPARTMENT

March 25, 2014

County of San Mateo
Planning Department
455 County Center, 2nd Floor
Redwood City, CA 94063

Attn: Camille Leung

Re: Lot 3, Highlands Estates

Camille,

On April 27, 2010 Ticonderoga Partners, LLC/ Chamberlain Group received approval for an 11 lot subdivision. At that time, condition number 5 required that the home sizes that could be built on the parcels were as follows: Lots 1 and 2: 3727 sq. ft., lots 3 and 4: 3874 sq. ft. Subsequently, we requested a reduction in house size. By this letter, we are requesting that the house size on on lot 3 be increased in size but would still be less than what was approved bu the Board of Supervisors on April 27, 2010. As such, it should be a minor modification to be permitted at staff level.

In 2011, the single family houses to be constructed on the subject lots 1 thru 4 were, at our request, reduced in size to reflect the market conditions at that time.

House sizes were reduced from the subdivision approved size, lots 1 and 2 by 1048, 3 and 4 by 1148 square feet. All, 3 car garages were reduced to 2, and buildings from 3 stories, as approved to 2 stories. Please refer to the attached documents.

We were, in fact, able to design the homes for lots 1, 2 and 4 to the revised square footages.

However, lot 3 was a problem. The topography of the lot has prevented us from designing the 2 story house for the site as envisioned in the 2011 modification. When we discovered the problem, we elected to use the original house plan, modified with a 2 car garage in lieu of a 3 car garage, as approved with the subdivision.

We submitted all 4 of are house plans with the appropriate number of green points to facilitate accelerated plan checking last fall. We were notified in November that the houses had been plan checked with the drawings approved as submitted with the

exception of 1 detail on one plan subsequently modified as we have responded to comments from other departments including Planning.

The Planning Department, in its review, questioned the 3 story structure as approved and with our explanation we were able, with their help, to obtain approval for the building.

Planning had other dimension issues with the other 3 buildings 26 square feet with lots 1 and 2 and 18 square feet with lot 4 and asked us to reduce the buildings size accordingly. We agreed to, and did, modify the 3 plans to comply with her request.

On March 5, 2014, The Planning Department notified us that Lot 4 had to be reduced in size by another 70 square feet and lot 3 by a total 580 square feet. We protested the additional dimension reduction on lot 4 in as much as the additional square footage is in the garage and lot 3 because we were lead to believe that the prior approval, granting us the ability to construct a 3 story structure included the substitution of the building that was originally approved as part of the subdivision approval, and planned checked, for the project. In spite of our protest, we have reduced the size of Lot 3 as you have requested.

In view of the above and everything that has happened in the past 27 years on the project, we feel that denying us the ability to construct this house as submitted, plan checked, priorly approved with the subdivision approval and with our belief that we had obtainted the necessary current approval several months ago for a 3 story structure will be a severe hardship to us and, if needed, a minor modification should be granted to us for the subject building.

If needed, as part of the modification process, you need any more information, we will respond immediatly with the information that you might needed.

Cordially,

A handwritten signature in black ink, appearing to read "Jack Chamberlain". The signature is fluid and cursive, with a large initial "J" and "C".

Jack Chamberlain
Ticonderoga Partners LLC.



CONSTRUCTION SITE INSPECTION REPORT (BLD ONLY)

1. Inspection Date: 4/11/14 1a. Current weather conditions: dry 1b. Rainfall with runoff since last inspection? Yes No

2. Name of Project: Bunker Hill Lots 1-4 2a. Project No./Permit No. BLD2013-01792-95

3. Project Address: _____

4. Inspection Type: Routine Follow-up Other

5. Permit Type: Building Permit Grading Permit Site Development CIP Project

6. Project disturb \geq 1 acre? (Y/N - If Yes, inspect monthly during wet season.) NOI Required: N (Y/N) SWPPP dated / /
 Project covered under statewide Construction General Permit? (Y/N) SWPPP on site? (Y/N)

7. High Priority Site (significant threat to water quality)? (Y/N - If Yes, inspect monthly during wet season.)

8. Project Type: Residential Commercial/Industrial Institutional Landscaping
 Utility (water, sewer, PG&E) Grading Demolition Street Improvement Other: _____

9. Erosion Control Measures:	Inspection Finding (A / NM / P / NA)*	Location on site/Comments
<input type="checkbox"/> Jute Netting/Fiber Blankets		
<input type="checkbox"/> Mulch		
<input type="checkbox"/> Hydroseed/Soil binder/Compost blanket		
<input type="checkbox"/> Mark Areas to be Preserved		
<input checked="" type="checkbox"/> Tree Protection Fencing	*NM	
<input type="checkbox"/> Riparian Area Barrier		
10. Sediment Control Measures	*NM	
<input checked="" type="checkbox"/> Stabilized construction entrance		
<input checked="" type="checkbox"/> Street Sweeping	P	Sweep @ end of day
<input type="checkbox"/> Dust Control		
<input type="checkbox"/> Wattles / Fiber Rolls / Compost Socks		
<input checked="" type="checkbox"/> Silt Fences / Compost Berms	P	Fence/Fiber Roll along front/disturbed areas
<input type="checkbox"/> Sedimentation Basin		
<input type="checkbox"/> Check Dams		
<input type="checkbox"/> Inlet Filters (Gravel bags)		
<input type="checkbox"/> Earth Dikes / Drainage Swales		
11. Run-on and Runoff Control		
<input type="checkbox"/> Earth Dikes / Drainage Swales		
<input type="checkbox"/> Sampling is conducted, if required		
12. <input type="checkbox"/> Active Treatment System (if any)		
13. Good Site Management		
<input checked="" type="checkbox"/> Soil Stockpiles	P	Cover by end of day per EC Plan
<input type="checkbox"/> Waste Systems Management		
<input type="checkbox"/> Construction Materials (wood, cement, ...)		
<input type="checkbox"/> Hazardous Materials (paint, solvents)		
<input type="checkbox"/> Petroleum Products (oil, fuel)		
<input type="checkbox"/> Vehicle Servicing		
14. Non-Stormwater Management		
<input type="checkbox"/> Concrete/Stucco washout area		
<input type="checkbox"/> Architectural copper rinsewater		
<input type="checkbox"/> Other: <u>Contact Info Sign</u>		<u>To be posted ASAP</u>

* A=Adequate, NM=needs maintenance, P=Problem(s), NA=Not Applicable

15. Is there an actual illicit discharge or evidence of illicit discharge to storm drain/discharge point? Yes No

16. Comments: Construction Entrance, Grading Limit barrier, silt Tree Protection Required prior to start of grading.

17. Enforcement/Follow-Up Date problem first identified: 4/11/14 Next follow-up inspection date: _____

Comments: _____

Enforcement (BLD): None/Complies Verbal Warn Reqd FollowUp (Level 1) Notice to Comply (Level 2) SWN (Level 3) SWN + Fine (Level 3)

18. Resolution: Problem Fixed Need More Time (include rationale in comments) Escalate Enforcement Date resolved: / /

Was there rain with runoff after problem identified and before resolution? Yes No Items corrected during inspection (see comments)

Comments: _____

19. Inspector's Signature: Candice Jones Date: 4/11/14 No one or no responsible person on-site

20. Name of Site Contact Person (Print) Jack Sukider Phone No. _____ Left checklist copy at site

Site Contact Signature _____ Job Title: _____ Date: _____ Mailed/Emailed form



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

April 15, 2014

TO: All Interested Parties
FROM: Camille Leung, Project Planner; Phone 650/363-1826
SUBJECT: Consideration of a Proposed Minor Modification to an Approved Resource Management (RM) Permit for the Development of Lot 3 on Bunker Hill Drive (2275 Bunker Hill Drive, BLD 2013-01794)

Background

On April 27, 2010, Ticonderoga Partners, LLC/Chamberlain Group received approval from the San Mateo County Board of Supervisors for a County-proposed Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on APNs 041-101-290 and 041-072-030 in the County unincorporated area of San Mateo Highlands. The approved project includes the creation of a 93.39-acre parcel, which is subject to a recorded conservation easement and is not the subject of the proposed Minor Modification.

On March 9, 2011, the County approved a requested Minor Modification¹ to the approved RM Permit to reduce the home sizes on Lots 1 through 4 on Bunker Hill Drive, as specified below:

Table with 4 columns: Lot Number, Approved House Size (sq. ft.), House Size Under Minor Modification (sq. ft.), Total Size Reduction (sq. ft.). Rows for Lots 1, 2, 3, and 4.

The approved Minor Modification also reduced the size of the attached garages from 3-car to 2-car garages.

Any adjustment to home size is considered a modification to the approved project. Condition No. 1 of the Board of Supervisors' approval for the Highlands Project reads as follows:

This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Board of Supervisors on April 27, 2010. Minor revisions or

1 Public notification of the minor modification was sent on January 25, 2011.

modifications to these projects in compliance with Condition No. 5 may be made subject to the review and approval of the Community Development Director. Revisions or modifications not in compliance with Condition No. 5 shall be deemed a major modification and shall be subject to review and approval by the Planning Commission at a public hearing.

Condition No. 5, as referenced above, reads:

*This project will be implemented as proposed, mitigated, conditioned, and approved by the Board of Supervisors, regarding parcel size and configuration, **home sizes**, home locations, architectural design, style and color, materials, height and foundation design. Prior to the issuance of a Certificate of Occupancy for any residence, the applicant shall provide photographs to the Current Planning Section staff to demonstrate utilization of the approved colors and materials. Materials and colors shall not be highly reflective.*

Current Request for Minor Modification

At this time, the property owner requests a modification to allow a 3,306 sq. ft. home on Lot 3, where 2,726 sq. ft. is currently the maximum floor area size. The downward sloping topography of the parcel necessitates a driveway bridge to the proposed garage, a 3-story structure, and associated floor area, to span the 33-foot vertical distance from the driveway bridge/garage floor to the foundation at the rear of the proposed home. The proposed home includes an upper level floor plan (garage story), a main level floor plan, and a lower level floor plan (floor plans are included in Attachment 2).

Staff Analysis

Staff's preliminary view is that the revision constitutes a "Minor Modification" because the proposed modification is necessitated by the topography. Additionally, the floor area requested is less than that approved by the Board of Supervisors in 2010. Staff, however, seeks and will consider input from interested parties with respect to this matter.

Aside from the matters addressed by the Minor Modification, the proposed residences will be required to meet all other applicable conditions of approval as adopted by the Board of Supervisors on April 27, 2010, and obtain necessary approvals from County agencies including, but not limited to, the Planning and Building Department, the Department of Public Works, and the San Mateo County Fire Department.

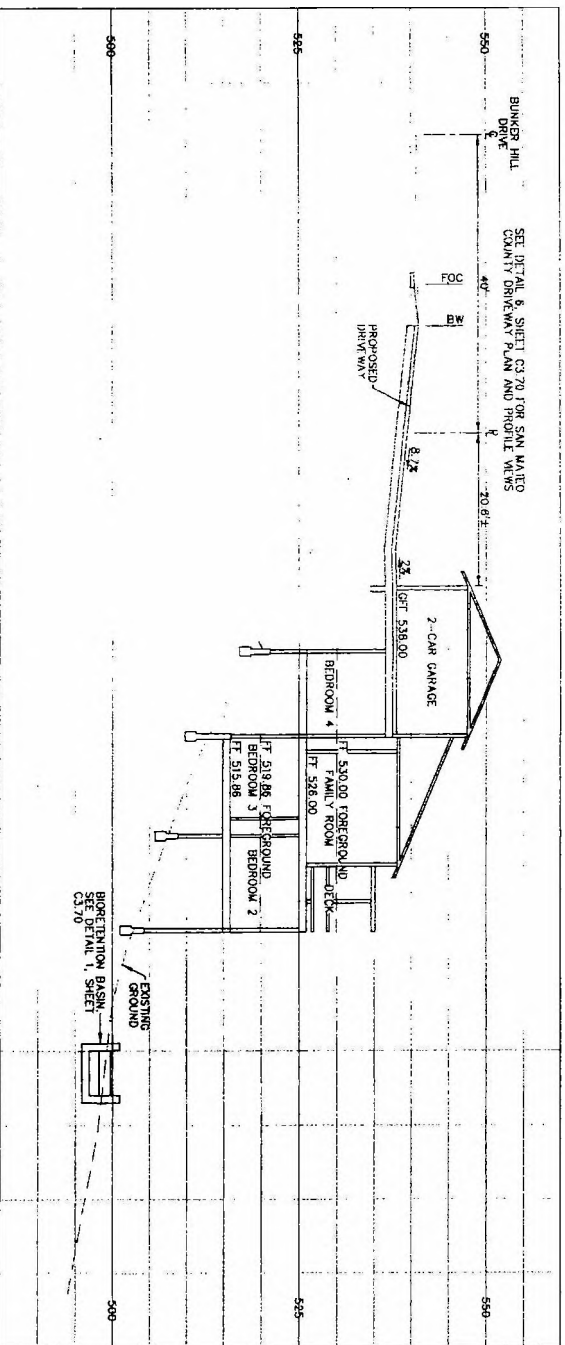
If you have any questions or comments regarding this notice, please contact Camille Leung, Project Planner, at 650/363-1826 (e-mail cleung@smcgov.org), during the 10-day public comment period, **no later than April 28, 2014**. After that date, upon consideration of such comments, the Community Development Director will make a decision regarding this request.

Attachments

- Attachment 1: Cross Section of Proposed Home on Lot 3
- Attachment 2: Floor Plans for Home on Lot 3

CML:fc – CMLY0277_WFN.DOCX

- NOTES:**
1. PER THE GEOTECHNICAL REPORT UNDOCUMENTED FILL WAS MARKED AT LOT 3 AND THE EXISTING FILL IS TO BE REMOVED AND REPLACED AS PROPERLY COMPACTED ENGINEERED FILL.
 2. PER THE GEOTECHNICAL REPORT ALL EXISTING FILL'S SHOULD BE COMPLETED REMOVED FROM WITHIN PROPOSED GARAGE AND DRIVEWAY AREAS AND TO A LATERAL DISTANCE OF AT LEAST 2 FEET BEYOND THE EDGE OF THE IMPROVEMENTS. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LAWFUL MANNER.
 3. PER THE GEOTECHNICAL REPORT ALL EXISTING WALLS AND RETAINING WALLS SHOULD BE SUPPORTED ON DRILLED PILES. THE FOUNDATION SHOWN ON THIS PLAN ARE SCHEMATIC. REFER TO THE PROJECT STRUCTURAL PLANS FOR DETAILS ON THE DRILLED PILES.



LOT 3
CROSS SECTION A-A
SCALE: 1"=10'

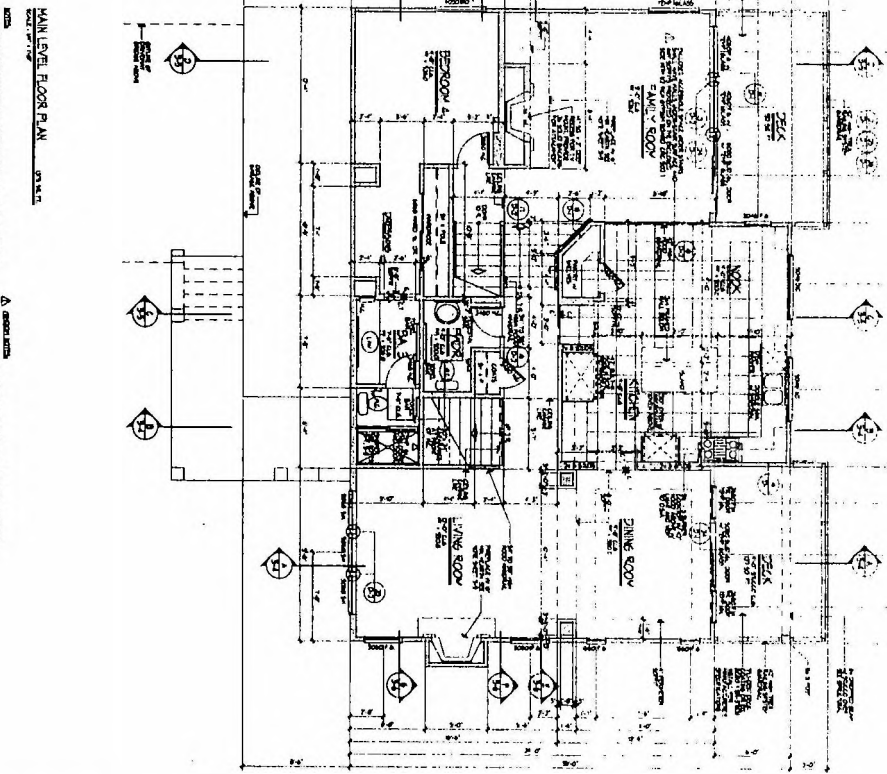
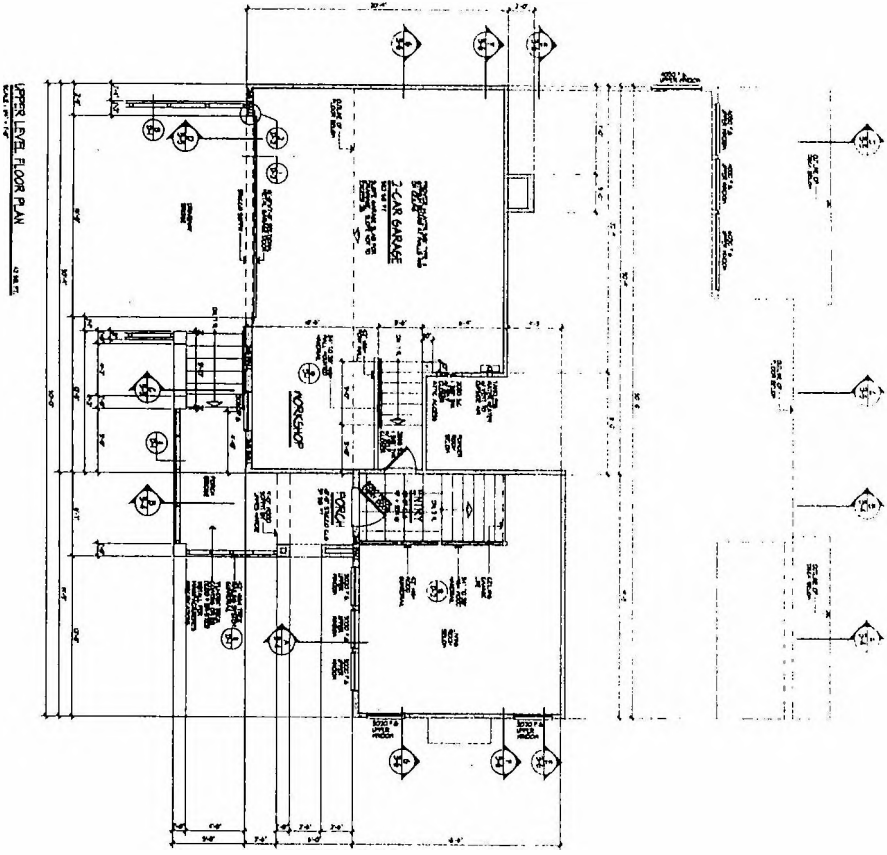
Revisions	
No.	
Date	03/19/14
Scale	AS SHOWN
Design	JT
Drawn	MD
Approved	RH
Job No	930166-14

HIGHLAND ESTATES
LOT 3 IMPROVEMENT PLANS
GRADING & UTILITY PLAN AND CROSS SECTION

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA



255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
PHONE: (650) 482-6300
FAX: (650) 482-6399



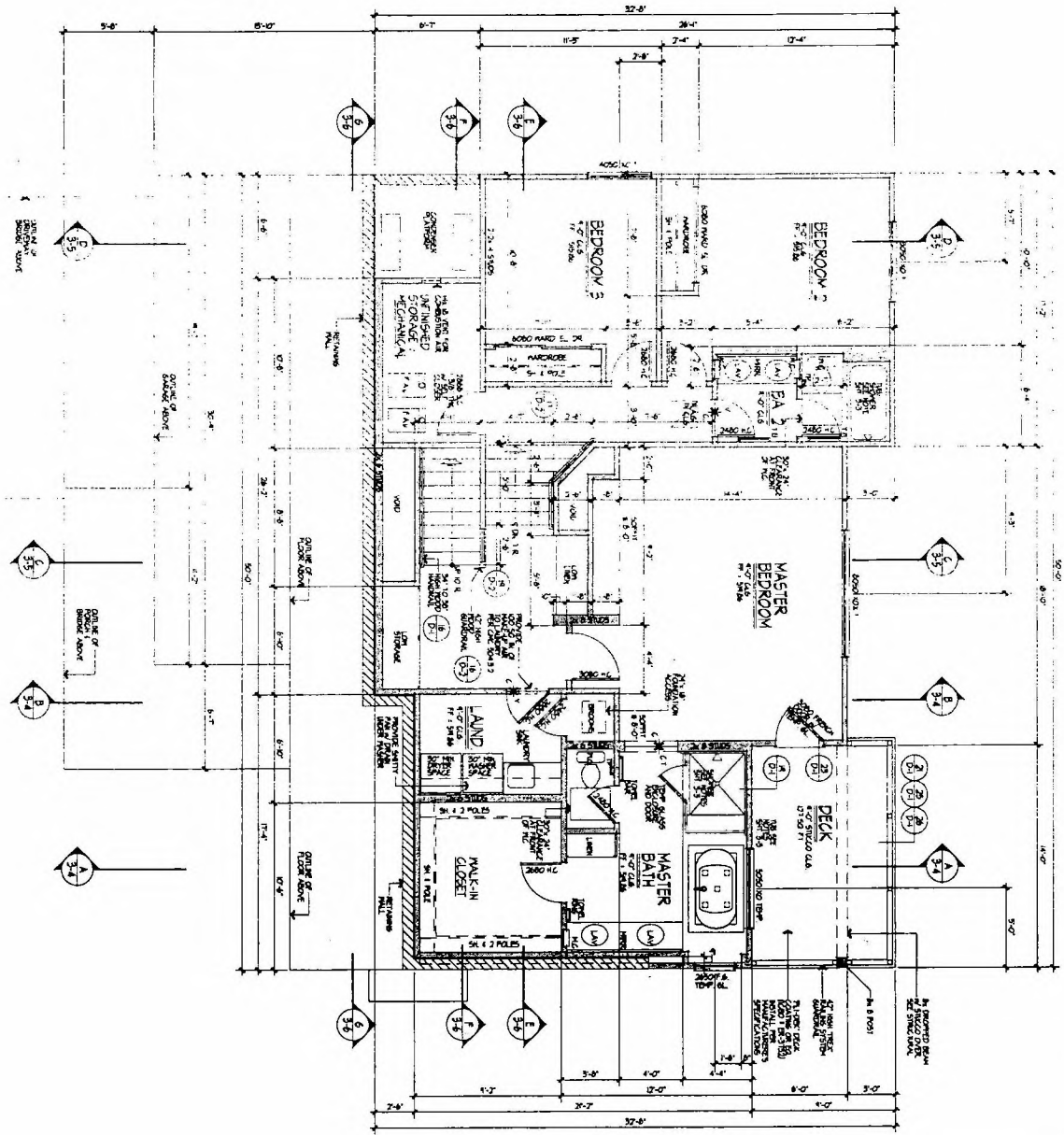
1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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LOT No. 3
2,015 SQ. FT.
MAIN FLOOR &
UPPER FLOOR PLANS

HIGHLAND ESTATES
SAN MATEO COUNTY, CA.
THE CHAMBERLAIN GROUP

Mark Gross & Associates, Inc.
Architectural Planning
MGA

NOT TO SCALE. THESE PLANS AND THE INFORMATION CONTAINED THEREIN ARE TO BE CONSIDERED OFFERS ONLY. THE OFFEROR MAKES NO WARRANTY, REPRESENTATION OR GUARANTEE OF ANY KIND.



LOWER LEVEL FLOOR PLAN

- NOTES**
1. SEE TITLE OF DRAWING FOR SECTION. ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS FOR WALLS, CEILING, FLOOR, DOOR AND WINDOW HEIGHTS, ALSO WINDOW SIZES AND WINDOW AND DOOR WEIGHTS, SHALL BE AS SHOWN ON THESE DRAWINGS UNLESS OTHERWISE NOTED.
 2. FOR OPEN BUILDING STANDARDS SEE SHEET 04.3
 3. FOR ELECTRICAL NOTES SEE GENERAL NOTE SHEET 04.2
 4. FOR MECHANICAL NOTES SEE GENERAL NOTE SHEET 04.2
 5. FOR PLUMBING NOTES SEE GENERAL NOTE SHEET 04.2
 6. FOR SPECIAL CONSTRUCTION NOTES SEE GENERAL NOTE SHEET 04.1 (04.2)
- DOOR NOTES**
1. DOORS WITH AN "X" INDICATES THAT DOOR MUST MEET THE EXCESS WEIGHT REQUIREMENTS OF THE 2000 CALIFORNIA BUILDING CODE, SECTION 0701
 2. ALL WINDOWS AND GLASS DOORS SHALL BE FLOOR FINISH TO FINISH WITH A MINIMUM CLEARANCE OF 36" OR LESS WITH LOW GLASS
 3. EXTERIOR WINDOWS AND EXTERIOR GLASS DOOR ASSEMBLIES SHALL BE REINFORCED TO MEET THE REQUIREMENTS OF SECTION 0701 WITH ONE OF THE FOLLOWING:
 - a. EXTERIOR WINDOWS SHALL HAVE A REINFORCING BARS OF NOT LESS THAN 1/2" DIAMETER WITH 12" SPACING TO PROVIDE A MINIMUM CLEARANCE OF 36" OR LESS WITH LOW GLASS
 - b. EXTERIOR WINDOWS SHALL HAVE A REINFORCING BARS OF NOT LESS THAN 1/2" DIAMETER WITH 12" SPACING TO PROVIDE A MINIMUM CLEARANCE OF 36" OR LESS WITH LOW GLASS
 - c. EXTERIOR WINDOWS SHALL HAVE A REINFORCING BARS OF NOT LESS THAN 1/2" DIAMETER WITH 12" SPACING TO PROVIDE A MINIMUM CLEARANCE OF 36" OR LESS WITH LOW GLASS
 4. ALL GLASS DOOR ASSEMBLIES TO BE 2000 CALIFORNIA BUILDING CODE WITH A MINIMUM CLEARANCE OF 36" OR LESS WITH LOW GLASS



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LOT No. 3
2,915 SQ. FT.
LOWER LEVEL FLOOR & FOUND. DIM. PLANS

"HIGHLAND ESTATES"
SAN MATEO COUNTY, CA.
THE CHAMBERLAIN GROUP

866 SHY BAY, SUITE 200
SAN CARLOS, CALIFORNIA 94070
PHONE (415) 590-5400 FAX (415) 590-5388

Mark Gross & Associates, Inc.
8881 Research Blvd
Irvine, California 92618
(714) 967-3800 Fax (714) 967-7000



3-1



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

April 15, 2014

TO: All Interested Parties

FROM: Camille Leung, Project Planner; Phone 650/363-1826

SUBJECT: **Consideration of a Proposed Minor Modification to an Approved Resource Management (RM) Permit for the Development of Lot 3 on Bunker Hill Drive (2275 Bunker Hill Drive, BLD 2013-01794)**

Background

On April 27, 2010, Ticonderoga Partners, LLC/Chamberlain Group received approval from the San Mateo County Board of Supervisors for a County-proposed Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on APNs 041-101-290 and 041-072-030 in the County unincorporated area of San Mateo Highlands. The approved project includes the creation of a 93.39-acre parcel, which is subject to a recorded conservation easement and is not the subject of the proposed Minor Modification.

On March 9, 2011, the County approved a requested Minor Modification¹ to the approved RM Permit to reduce the home sizes on Lots 1 through 4 on Bunker Hill Drive, as specified below:

2011 Requested Modification to Reduce Home Sizes			
<i>Lot Number</i>	<i>Approved House Size (sq. ft.)</i>	<i>House Size Under Minor Modification (sq. ft.)</i>	<i>Total Size Reduction (sq. ft.)</i>
1	3,727	2,679	-1,048
2	3,727	2,679	-1,048
3	3,874	2,726	-1,148
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The approved Minor Modification also reduced the size of the attached garages from 3-car to 2-car garages.

Any adjustment to home size is considered a modification to the approved project. Condition No. 1 of the Board of Supervisors' approval for the Highlands Project reads as follows:

This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Board of Supervisors on April 27, 2010. Minor revisions or

¹ Public notification of the minor modification was sent on January 25, 2011.

modifications to these projects in compliance with Condition No. 5 may be made subject to the review and approval of the Community Development Director. Revisions or modifications not in compliance with Condition No. 5 shall be deemed a major modification and shall be subject to review and approval by the Planning Commission at a public hearing.

Condition No. 5, as referenced above, reads:

*This project will be implemented as proposed, mitigated, conditioned, and approved by the Board of Supervisors, regarding parcel size and configuration, **home sizes**, home locations, architectural design, style and color, materials, height and foundation design. Prior to the issuance of a Certificate of Occupancy for any residence, the applicant shall provide photographs to the Current Planning Section staff to demonstrate utilization of the approved colors and materials. Materials and colors shall not be highly reflective.*

Current Request for Minor Modification

At this time, the property owner requests a modification to allow a 3,306 sq. ft. home on Lot 3, where 2,726 sq. ft. is currently the maximum floor area size. The downward sloping topography of the parcel necessitates a driveway bridge to the proposed garage, a 3-story structure, and associated floor area, to span the 33-foot vertical distance from the driveway bridge/garage floor to the foundation at the rear of the proposed home. The proposed home includes an upper level floor plan (garage story), a main level floor plan, and a lower level floor plan (floor plans are included in Attachment 2).

Staff Analysis

Staff's preliminary view is that the revision constitutes a "Minor Modification" because the proposed modification is necessitated by the topography. Additionally, the floor area requested is less than that approved by the Board of Supervisors in 2010. Staff, however, seeks and will consider input from interested parties with respect to this matter.

Aside from the matters addressed by the Minor Modification, the proposed residences will be required to meet all other applicable conditions of approval as adopted by the Board of Supervisors on April 27, 2010, and obtain necessary approvals from County agencies including, but not limited to, the Planning and Building Department, the Department of Public Works, and the San Mateo County Fire Department.

If you have any questions or comments regarding this notice, please contact Camille Leung, Project Planner, at 650/363-1826 (e-mail cleung@smcgov.org), during the 10-day public comment period, **no later than April 28, 2014**. After that date, upon consideration of such comments, the Community Development Director will make a decision regarding this request.

Attachments

- Attachment 1: Cross Section of Proposed Home on Lot 3
- Attachment 2: Floor Plans for Home on Lot 3

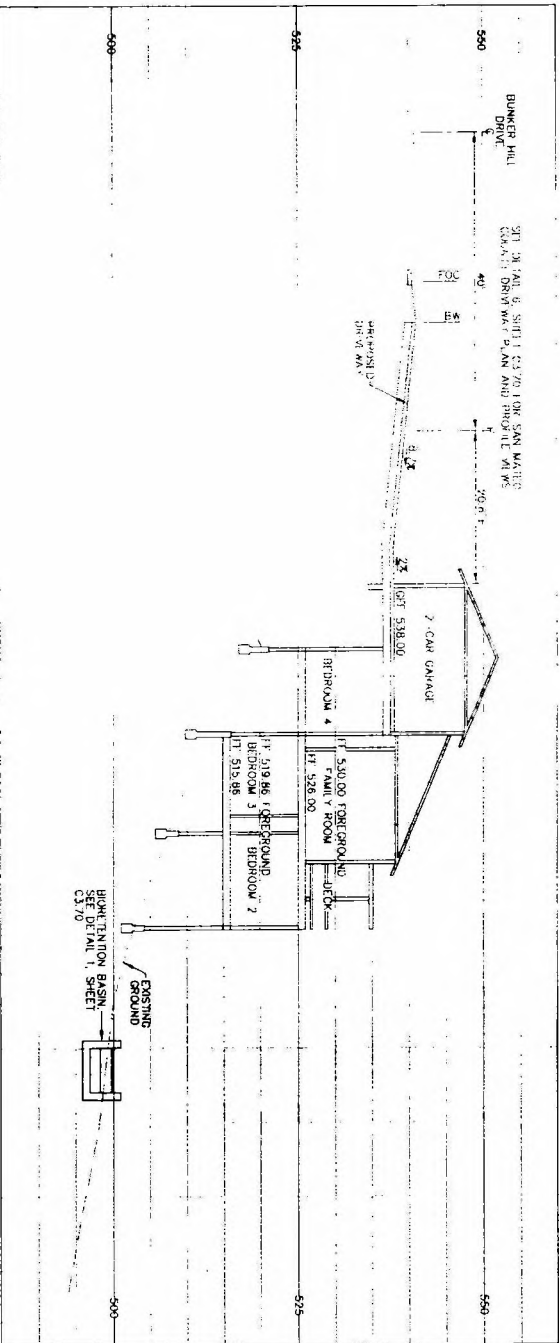
CML:fc – CMLY0277_WFN.DOCX

255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 482-6300
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**HIGHLAND ESTATES
 LOT 3 IMPROVEMENT PLANS
 GRADING & UTILITY PLAN AND CROSS SECTION**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

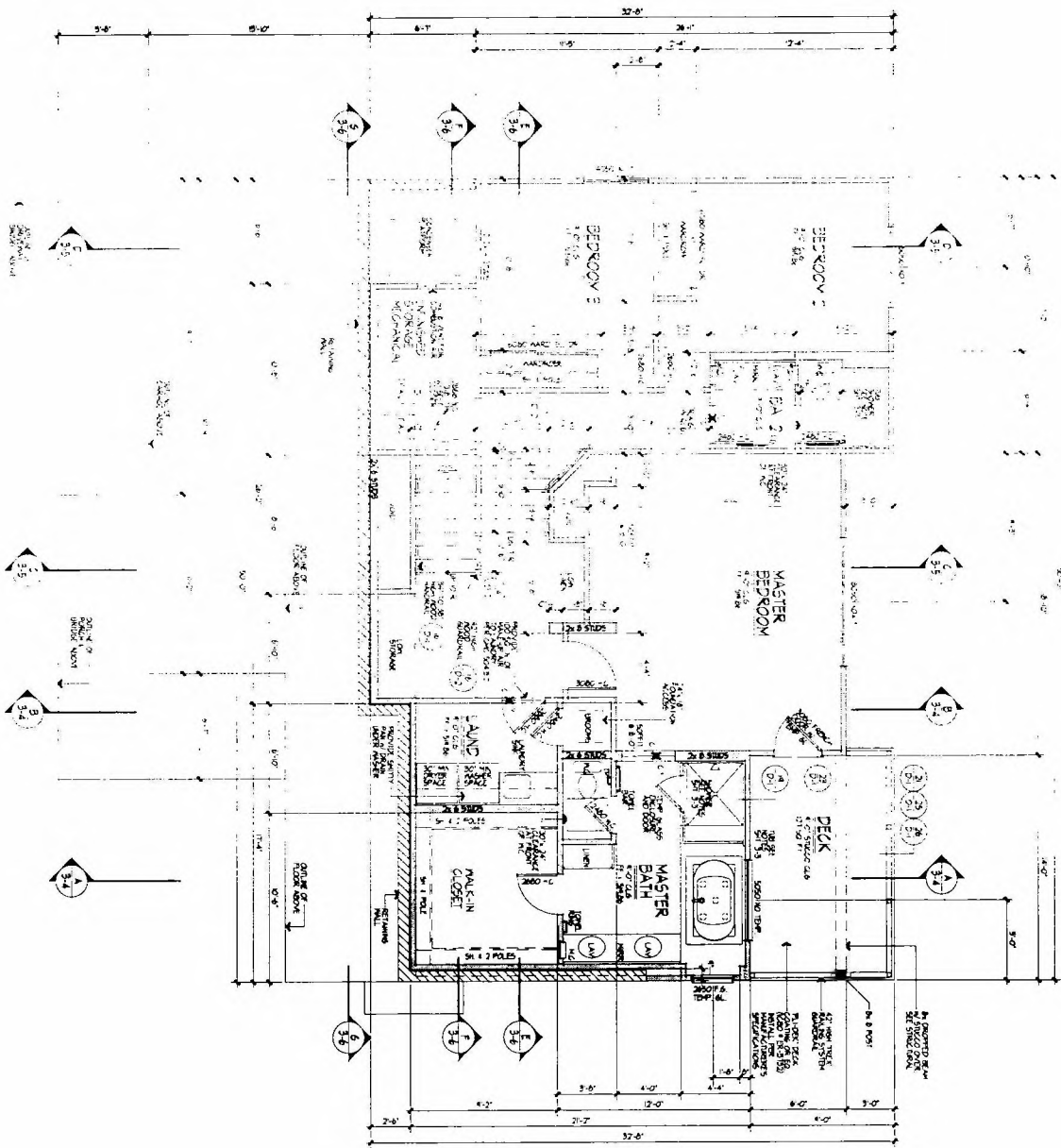


**LOT 3
 CROSS SECTION A-A
 SCALE: 1"=10'**

- NOTES:**
1. PER THE GEOTECHNICAL REPORT, UNRECOMMENDED THE "WAY MARKED" AT LOT 3 AND IF THIS FILE IS TO BE SET IN PLACE (WORKING DRIVEWAY GRADING, IT SHOULD BE REMOVED AND REPLACED AS PROPOSED - COMPACTED ENGINEERED FILL.
 2. PER THE GEOTECHNICAL REPORT, ALL EXISTING FILLS SHOULD BE COMPLETELY REMOVED FROM WITHIN PROPOSED GARAGE AND DRIVEWAY AREAS AND TO APPROXIMATE DISTANCE OF AT LEAST 7 FEET BEFORE THE EXISTING FILL IS RE-APPLIED TO THE EXISTING DRIVEWAY. SHALL BE DISPOSED OF OFF-SITE IN A FILL-BANK VARIANTE.
 3. PER THE GEOTECHNICAL REPORT, ALL FOUNDING AND RETAINING WALLS SHOULD BE CONSTRUCTED TO THE PROPOSED STRUCTURAL PLANS FOR DETAILS ON THE DRUITE SHEETS.

Revisions	
No.	Date
	03/19/14
	AS SHOWN
	JT
	MS
	RS
	350168-14

Sheet Number: **C3.40**
 of



LOWER LEVEL FLOOR PLAN

- NOTES:
1. THE FINISHES ARE TO BE DETERMINED BY THE OWNER IN CONSULTATION WITH THE ARCHITECT. THE FINISHES TO BE USED SHOULD BE SPECIFIED IN THE CONTRACT DOCUMENTS OF THE PROJECT.
 2. FOR FINISHES, SEE THE ARCHITECT'S SPECIFICATIONS.
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 4. FOR FINISHES, SEE THE ARCHITECT'S SPECIFICATIONS.
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 6. FOR FINISHES, SEE THE ARCHITECT'S SPECIFICATIONS.



MARK GROSS & ASSOCIATES, INC.
 REGISTERED ARCHITECTS
 2001 Research Drive
 San Carlos, California 95050
 (415) 351-3800 Fax (415) 351-3808

LOT No. 3
 2,915 SQ. FT.
 LOWER LEVEL FLOOR &
 FOUND. DIM. PLANS

"HIGHLAND ESTATES"
 SAN MATEO COUNTY, CA.
 THE CHAMBERLAIN GROUP
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4/10/14

OK TO FINAL

Need edits if possible, by Monday Noon

Jim,
Please review this Notice for Minor Mod on lot 3 for Bunker Hill (Chamberlain) ...
Thx!
Camille

15
April 14, 2014

TO: All Interested Parties
FROM: Camille Leung, Project Planner; Phone 650/363-1826
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If you have any questions or comments regarding this notice, please contact Camille Leung, Project Planner at 650/363-1826 (e-mail: cleung@smcgov.org) ~~no later than April 25, 2014.~~ ²⁸ After that date, upon consideration of such comments, the Community Development Director will make a decision regarding this request.

Attachments:

- Attachment 1: Cross Section of Proposed Home on Lot 3
- Attachment 2: Floor Plans for Home on Lot 3

*during the 10-day
public comment period*

Quicklinks

- Clear Cache
- CSLB Site

My Navigation

- Record Summary
- Parcel
- Address
- Owner
- Contacts
- Details
- Docs
- Parent
- Related Records
- Conditions
- Workflow
- Workflow History
- Inspections
- Fees
- Fee History
- Payment
- Payment History

Reports

- My Reports
- Accounting
- Building**
 - AdHoc User Count
 - Application Routing For SLD Permit Review - At Building Cases
 - Building Permit
 - Building Permit Aging R
 - Building Permit Revisor
 - Certificate (Temporary)
 - Expired Building Permit
 - Expired Permit Summar

Record ID: SWN2013-00075

This record was LOCKED on 2014-04-03.
 Condition: Recordation : See Recordation of Notice of Violation of Building Code 2014-024947 CONF Severity: Lock
 Total conditions: 1 (Lock: 1)
[Learn more about this lock and how to resolve it](#)

Go To	Record	Summary	Valuation (0)	Details	Fee (0)	Payment	Workflow	WF History (12)	Inspections (2)	Related
	Task	Status		Status Date		Action By		Record Date/Time		Comments
	Enforcement	Notice of Violation Recorded		03/26/2014		Madeleine...		03/26/2014 15:55:08		
	Enforcement	Notice of Intent Recorded		02/26/2014		Madeleine...		02/26/2014 11:02:45		
	Enforcement					Madeleine...		02/26/2014 11:02:21		
	Complaint Received					Madeleine...		02/26/2014 11:00:28		
	Complaint Received					Madeleine...		02/26/2014 11:00:14		
	Stop Work Notice Issued	DONE		06/18/2013		Michael J...		12/07/2013 00:43:20		
	(F) Notice of Intent to Record	DONE		08/23/2013		Michael O...		08/23/2013 00:00:00		8/23/13moc. NITR to file.
	(F) SWN Letter	DONE		06/19/2013		Madeleine ...		06/19/2013 14:02:22		
	Follow-Up Inspection	No Disp		01/01/1900		HISTORICAL		06/18/2013 00:00:00		6/18/2013 MJG No Demo Permit = Elevate.
	(F) Build Without Permit	DONE		05/29/2013		Madeleine ...		05/29/2013 00:00:00		
	Information Notice Issued	DONE		05/28/2013		Michael O...		05/28/2013 10:50:26		
	Follow-Up Inspection	DONE		06/18/2013		Michael J...		05/28/2013 00:00:00		5/28/13moc Elevate to post/mail SWN if no

*how found?
 who complained?*

**SELECTED
PROPERTY**

Situs: , San Mateo
Owner: Ticonderoga Partner Llc, 655 Skyway Ste 230, San Carlos, CA, 94070-
APN: 041053200



Date Created: Tuesday, April 15, 2014

Print

310



CONSTRUCTION SITE INSPECTION REPORT

1. Inspection Date: 4/17/14 1a. Current weather conditions: Dry 1b. Rainfall with runoff since last inspection? Yes No

2. Name of Project: Bunker Hill Lots 1-4 2a. Project No./Permit No. BD2013-01792-1795

3. Project Address: _____
 4. Inspection Type: Routine Follow-up Other
 5. Permit Type: Building Permit Grading Permit Site Development CIP Project

6. Project disturb ≥ 1 acre?: (Y/N - If Yes, inspect monthly during wet season.) NOI Required: (Y/N) SWPPP dated / /
 Project covered under statewide Construction General Permit? (Y/N) SWPPP on site? (Y/N) N/A

7. High Priority Site (significant threat to water quality)? (Y/N - If Yes, inspect monthly during wet season.)
 8. Project Type: Residential Commercial/Industrial Institutional Landscaping
 Utility (water, sewer, PG&E) Grading Demolition Street Improvement Other: _____

9. **Erosion Control Measures:** Inspection Finding (A/NM/P/NA)* Location on site/Comments

<input type="checkbox"/> Jute Netting/Fiber Blankets		
<input checked="" type="checkbox"/> Mulch	A	Mulch stock pile
<input type="checkbox"/> Hydroseed/Soil binder/Compost blanket		
<input checked="" type="checkbox"/> Mark Areas to be Preserved	A	
<input checked="" type="checkbox"/> Tree Protection Fencing	A	
<input type="checkbox"/> Riparian Area Barrier		

10. **Sediment Control Measures**

<input type="checkbox"/> Stabilized construction entrance	A	
<input type="checkbox"/> Street Sweeping		
<input type="checkbox"/> Dust Control		
<input checked="" type="checkbox"/> Wattles / Fiber Rolls / Compost Socks	A	Stake Rolls
<input checked="" type="checkbox"/> Silt Fences / Compost Berms	A	
<input type="checkbox"/> Sedimentation Basin		
<input type="checkbox"/> Check Dams		
<input type="checkbox"/> Inlet Filters (Gravel bags)		
<input type="checkbox"/> Earth Dikes / Drainage Swales		

11. **Run-on and Runoff Control**

Earth Dikes / Drainage Swales
 Sampling is conducted, if required

12. **Active Treatment System (if any)**

13. **Good Site Management**

Soil Stockpiles
 Waste Systems Management
 Construction Materials (wood, cement,...)
 Hazardous Materials (paint, solvents)
 Petroleum Products (oil, fuel)
 Vehicle Servicing

14. **Non-Stormwater Management**

Concrete/Stucco washout area
 Architectural copper rinsewater
 Other: Put trash behind wattle

* A=Adequate, NM=needs maintenance, P=Problem(s), NA=Not Applicable
 15. Is there an actual illicit discharge or evidence of illicit discharge to storm drain/discharge point? Yes No

16. Comments: Street look good

17. **Enforcement/Follow-Up** Date problem first identified: _____ Next follow-up inspection date: _____
 Comments: _____
 Enforcement: None/In compliance Verbal Warning Notice of Violation Notice to Comply Stop Work Administrative Fine

18. **Resolution:** Problem Fixed Need More Time (include rationale in comments) Escalate Enforcement Date resolved: / /
 Was there rain with runoff after problem identified and before resolution? Yes No Items corrected during inspection (see comments)

Comments: _____

19. Inspector's Signature: Charles Lee Date: 4/17/14 No one on site or no responsible person present

20. Name of Site Contact Person (Print) Jack Schneider Phone No. _____
 Site Contact Signature _____ Job Title: _____ Date: _____ Left checklist copy at site

emailed

NOTES AND DEFINITIONS OF TERMS USED IN THE
CONSTRUCTION SITE INSPECTION REPORT

NOTES:

PENALTIES. Agency staff are required to verify correction of any stormwater violations within 10 business days or before the next rainfall with runoff. If a violation is not corrected within this time frame, enforcement will escalate per the Enforcement Response Plan. This may result in the jurisdiction taking one or all of the following actions: 1) Issuance of a Stop Work Notice (such that inspections on all permits will be stopped until all violation(s) have been corrected); 2) Application of fines/re-inspection fees of \$_____ per day; 3) and/or Referral of the violation(s) to the Regional Water Quality Control Board. Erosion control measures, or other best management practices, in addition to those shown on the plans may be required by agency staff to ensure effective stormwater management.

Stormwater Inspection Requirement - Agency staff are required to inspect the following categories of sites at least once per month: sites that disturb 1 acre of land or more, and High Priority Sites (see definition below).

Construction General Permit Compliance - Projects that disturb 1 acre or more of land are required to obtain coverage under the statewide Construction General Permit (see http://www.swrcb.ca.gov/water_issues/programs/stormwater/constpermits.shtml for information and to download the permit). To obtain coverage under the Construction General Permit, file a Notice of Intent using the SMARTS database, at <https://smarts.waterboards.ca.gov/smarts/faces/SwSmartsLogin.jsp>.

Requirement to Verify Construction General Permit Coverage - Agency staff must verify that projects disturbing one acre or more of land have obtained coverage under the statewide Construction General Permit.

Where to Find Information on Construction BMPs - Detailed information on construction best management practices (BMPs) is available at the California Stormwater Quality Association's online Construction BMP Portal, at www.casqa.org/LeftNavigation/ConstructionBMPHandbookPortalSWPPPTemplate/tabid/200/Default.aspx. A subscription fee is required to access the portal. For information on access to the portal, inspectors should contact their agency's representative to the Countywide Program's New Development Subcommittee.

DEFINITIONS:

Active Treatment System - Active Treatment Systems (ATS) reduce turbidity of construction site runoff by collecting runoff in a tank and introducing chemicals through direct dosing or an electrical current to enhance flocculation, coagulation, and settling of the suspended sediment. The increased flocculation aids in sedimentation and ability to remove fine suspended sediments, thus reducing stormwater runoff turbidity and improving water quality.

Check Dam - a small barrier constructed of rock, gravel bags, sandbags, fiber rolls, or other proprietary products, placed across a constructed swale or drainage ditch. Check dams reduce the effective slope of the channel, thereby reducing scour and channel erosion by reducing flow velocity and increasing residence time within the channel, allowing sediment to settle.

High Priority Site - A site that has a steep slope or is adjacent to a creek or other water body, or a site that the agency or the Regional Water Quality Control Board (Water Board) has determined to have significant threat to water quality based on site-specific evaluation of the following additional factors: soil erosion potential or soil type, project size and type, sensitivity of receiving water bodies, proximity to receiving water bodies, non-stormwater discharge, or any other relevant factors as determined by the local agency or Water Board.

Illicit Discharge - Any discharge to a municipal storm drain system that is prohibited under local, state, or federal law, including all non-stormwater discharges not composed entirely of stormwater and discharges prohibited under the Municipal Regional Stormwater Permit (MRP).

From: Camille Leung
To: jack@nexgenbuilders.com
CC: jtuttlec@aol.com
Date: 4/16/2014 5:12 PM
Subject: Lot 4, Next Steps

Hi Jack,

I signed off on Lot 4 today!

Status of BLDs:

- Lot 1 is ready to pick up
- Lot 2 (needs to be collated)
- Lot 3 - waiting for minor mod (comment period ends 4/28/14)
- Lot 4 - Building and Waste Management reviews are outstanding.

To break ground need:

- ✓ sign off on Erosion Control (scheduled for tomorrow morning)
- I'll issue hard card after BLD permit is issued and Erosion Control inspection is passed. I'm off on Friday!
- I hope to issue this tomorrow. When are you coming in to pick up Lot 1?

Reminders:

- Dont use De Anza in your truck routes
- After grading and before construction, please stabilize disturbed areas outside of construction areas and call me for another Erosion Control inspection

Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063
Phone: (650) 363-1826
Fax: (650) 363-4849

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April 15 2014

~~Minor Mod letter~~

~~COAS~~

~~Lot 4~~

~~Wello~~

ETC passed

hard card

I after BLD

cant lose De Anza

Lot	Fire	SEA	WMA	APR 15	CB
1	✓	✓	✓	✓	✓
2	✓	✓	✓	✓	✓
3	✓	✓	✓	✓	✓
4	✓	✓	✓	✓	✓

○ E after grading



County of San Mateo

Planning & Building Department

455 County Center, 2nd Floor
Redwood City, California 94063
650/363-4161 Fax: 650/363-4849

Mail Drop PLN122
plngbldg@smcgov.org
www.co.sanmateo.ca.us/planning

April 30, 2014

Mr. Jack Chamberlain
Chamberlain Group
655 Skyway, Suite #230
San Carlos, CA 94070

Dear Mr. Chamberlain:

SUBJECT: County File Number PLN 2006-00357
Bunker Hill Drive, San Mateo Highlands
APN 041-101-290

On April 27, 2010, Ticonderoga Partners, LLC/Chamberlain Group received approval from the San Mateo County Board of Supervisors for a County-proposed Zoning Text Amendment, a Rezoning, a Lot Line Adjustment, a Major Subdivision, a Resource Management (RM) Permit, and a Grading Permit, for the development of eleven residential lots on APNs 041-101-290 and 041-072-030 in the County unincorporated area of San Mateo Highlands. The approved project includes the creation of a 93.39-acre parcel, which is subject to a recorded conservation easement and is not the subject of the proposed Minor Modification.

On March 9, 2011, the County approved a requested Minor Modification¹ to the approved RM Permit to reduce the home sizes on Lots 1 through 4 on Bunker Hill Drive, as specified below:

2011 Requested Modification to Reduce Home Sizes			
<i>Lot Number</i>	<i>Approved House Size (sq. ft.)</i>	<i>House Size Under Minor Modification (sq. ft.)</i>	<i>Total Size Reduction (sq. ft.)</i>
1	3,727	2,679	-1,048
2	3,727	2,679	-1,048
3	3,874	2,726	-1,148
4	3,874	2,726	-1,148

The approved Minor Modification also reduced the size of the attached garages from 3-car to 2-car garages.

¹ Public notification of the minor modification was sent on January 25, 2011.

Any adjustment to home size is considered a modification to the approved project. Condition No. 1 of the Board of Supervisors' approval for the Highlands Project reads as follows:

This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Board of Supervisors on April 27, 2010. Minor revisions or modifications to these projects in compliance with Condition No. 5 may be made subject to the review and approval of the Community Development Director. Revisions or modifications not in compliance with Condition No. 5 shall be deemed a major modification and shall be subject to review and approval by the Planning Commission at a public hearing.

Condition No. 5, as referenced above, reads:

*This project will be implemented as proposed, mitigated, conditioned, and approved by the Board of Supervisors, regarding parcel size and configuration, **home sizes**, home locations, architectural design, style and color, materials, height and foundation design. Prior to the issuance of a Certificate of Occupancy for any residence, the applicant shall provide photographs to the Current Planning Section staff to demonstrate utilization of the approved colors and materials. Materials and colors shall not be highly reflective.*

Current Request for Minor Modification

On March 25, 2014, the property owner requested a modification to allow a 3,306 sq. ft. home on Lot 3, where 2,726 sq. ft. is currently the maximum floor area size. The downward sloping topography of the parcel necessitates a driveway bridge to the proposed garage, a 3-story structure, and associated floor area, to span the 33-foot vertical distance from the driveway bridge/garage floor to the foundation at the rear of the proposed home. The proposed home includes an upper level floor plan (garage story), a main level floor plan, and a lower level floor plan.

Public notification of the minor modification of this project was sent on April 15, 2014. Comments were due by April 28, 2014. Staff received one general inquiry and a statement from a representative of the Highlands Community Association (HCA) stating no comment regarding this request. No objections were received.

I am able to approve the proposed revision as a "minor modification" because the proposed modification is necessitated by the topography. Additionally, the floor area requested is less than that approved by the Board of Supervisors in 2010.

Aside from the matters addressed by the Minor Modification, the proposed residences will be required to meet all other applicable conditions of approval as adopted by the Board of Supervisors on April 27, 2010, and obtain necessary approvals from County agencies including, but not limited to, the Planning and Building Department, the Department of Public

Mr. Jack Chamberlain
Chamberlain Group


- 3 -

April 30, 2014

Works, and the San Mateo County Fire Department. The conditions of approval for this project have been revised to reflect the approved modification.

If you have questions regarding this matter, please feel free to contact me at 650/363-1861.

Sincerely,



Jim Eggemeyer
Community Development Director

JKE:CML:fc - CMLY0365_WFN.DOC

cc: Department of Public Works
Building Inspection Section
Lennie Roberts, Committee for Green Foothills
Margaret Netto, Representative of the Highlands Community Association
Catherine Palter

COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

REVISED
FINDINGS FOR COUNTY-PROPOSED
RESOURCE MANAGEMENT (RM) ZONING DISTRICT TEXT AMENDMENT

Permit File Number: PLN 2006-00357

Board Meeting Date: April 27, 2010

Prepared By: Camille Leung, Project Planner

Adopted By: Board of Supervisors

FINDINGS

Regarding the Environmental Review, Found:

1. That the re-circulated Draft Environmental Impact Report (EIR) and Final EIR, as clarified by the Planning Commission at its meeting of February 10, 2010, are complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act and applicable State and County Guidelines. The public review period for the Draft EIR was September 14, 2009 to November 9, 2009. The public review period for the Final EIR was January 4, 2010 to January 14, 2010.
2. That, on the basis of the Draft and Final EIR, no substantial evidence exists that the project, as proposed, mitigated, and conditioned, will have a significant effect on the environment. The prepared Draft and Final EIR reveal that the project may only result in impacts considered "less than significant."
3. That no mitigation measures were included in the Draft and Final EIR for the Zoning Text Amendment, as the proposed amendment would not have a significant effect on the environment.
4. That the Draft and Final EIR reflects the independent judgment of San Mateo County.

Regarding the Zoning Text Amendment to the Resource Management (RM) District Regulations, Found:

5. That the Board of Supervisors has reviewed and considered the information contained in the Draft and Final EIR prior to approving the project.
6. That the amendment is required by public necessity, convenience, and general welfare, and that the amendment has followed the procedure specified in Chapter 27 (*Amendments*) of the San Mateo County Zoning Regulations. The proposed amendment would allow setback reductions in other urban RM-zoned properties, in order to promote the preservation of open space, reduce associated land disturbance and

grading, and allow the location of homes in a manner conforming to the existing pattern of development within an urban residential neighborhood.

Regarding the Zoning Text Amendment to the Resource Management (RM) District Regulations:

7. Adopted the ordinance included as Attachment X of the staff report amending the RM District Regulations by adding a provision that would allow a reduction in existing setbacks and accessory building setbacks for properties that meet specific criteria for preservation of open space, project conformance to existing development, minimization of grading, and compliance with development standards.

COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT

REVISED
FINDINGS AND CONDITIONS OF APPROVAL
FOR THE HIGHLANDS ESTATES PROJECT

Permit File Number: PLN 2006-00357

Board Meeting Date: April 27, 2010

Prepared By: Camille Leung, Project Planner

Adopted By: Board of Supervisors

FINDINGS

Regarding the Environmental Review, Found:

1. That the re-circulated Draft Environmental Impact Report (EIR) and Final EIR, as clarified by the Planning Commission at its meeting of February 10, 2010, are complete, correct and adequate, and prepared in accordance with the California Environmental Quality Act and applicable State and County Guidelines. The public review period for the Final EIR was January 4, 2010 to January 14, 2010.
2. That, on the basis of the Draft and Final EIR, no substantial evidence exists that the project, as proposed, mitigated, and conditioned, will have a significant effect on the environment. The prepared Draft and Final EIR reveal that the project, as mitigated, would only result in impacts considered "less than significant."
3. That the Mitigation Monitoring and Reporting Program incorporated within the Final EIR, which monitors compliance with mitigation measures intended to avoid or substantially lessen environmental effects that would be significant absent such mitigation, has been adopted. Compliance with the conditions of approval listed below shall be monitored and confirmed according to implementation deadlines as specified within each condition.
4. That the Draft and Final EIR reflects the independent judgment of San Mateo County.

Regarding the Major Subdivision and Lot Line Adjustment, Found:

5. That, in accordance with Section 7013.3.b of the County Subdivision Regulations, this tentative map, together with the provisions for its design and improvement, is consistent with the San Mateo County General Plan, specifically, Policies 8.14 (*Land Use Compatibility*) and 8.35 (*Uses*), requiring consistency of proposed parcels with surrounding residential land uses, and Policy 8.29 (*Infilling*) which encourages the infilling of urban areas where infrastructure and services are available. As proposed and conditioned, the Lot Line Adjustment and Subdivision would result in home sites

compatible with surrounding home sites which are zoned R-1/S-8 (minimum parcel size of 7,500 sq. ft.). Also, each of the eleven proposed residential lots would adjoin existing homes and be served by existing roads and utilities.

6. That the site is physically suitable for the type, and proposed density of, development. As described in Sections A.1 and A.2 of the staff report, the project complies with both the General Plan land use density designation and the Resource Management (RM) Zoning District Maximum Density of Development. As discussed in the re-circulated Draft EIR and Final EIR, the project, as proposed and mitigated, would not result in any significant impacts to the environment.
7. That the design of the subdivision and the proposed improvements are not likely to cause serious public health problems, substantial environmental damage, or substantially and avoidably injure fish or wildlife or their habitat. Implementation of mitigation measures in the re-circulated Draft EIR and Final EIR would reduce project environmental impacts to less than significant levels.
8. That the design of the subdivision and the proposed improvements will not conflict with easements acquired by the public at large for access through or use of property within the proposed subdivision. Existing easements include an access easement along Bunker Hill Drive to benefit an adjacent parcel (not owned by the applicant), water line easements from the two California Water Service Company parcels surrounded by the larger project parcel, storm drain easements from Yorktown Road and New Brunswick Drive, and a 120-foot sanitary sewer easement from Ticonderoga Drive. The project would not change the boundaries of or impede access to these existing easements.
9. That future development on the parcels could make use of passive heating and cooling to the extent practicable because parcels have unobstructed solar access to the southwest, thereby allowing morning sun to passively or actively (using rooftop solar panels) heat the proposed houses.
10. That, subject to the mitigation measures contained in the DEIR and FEIR, the discharge of waste from the proposed subdivision into an existing community sewer system would not result in violation of existing requirements prescribed by a State Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the State Water Code. Sanitary sewer service would be provided to the project site by the Crystal Springs County Sanitation District (District).
11. That the land is not subject to a contract entered into pursuant to the California Land Conservation Act of 1965 ("the Williamson Act") nor does the property currently contain any agricultural land uses.
12. That, pursuant to Section 7005 of the San Mateo County Subdivision Regulations, the proposed subdivision would not result in a significant negative effect on the housing needs of the region. The project would result in the construction of eleven (11) new single-family residences where only vacant land currently exists.

Regarding the Rezoning Map Amendments, Found:

13. That the Board of Supervisors has reviewed and considered the information contained in the Draft and Final EIR prior to approving the project.
14. That the amendments are required by public necessity, convenience, and general welfare, and that the amendments have followed the procedure specified in Chapter 27 (*Amendments*) of the San Mateo County Zoning Regulations. The proposed amendments would facilitate the preservation of an urban-zoned parcel which should be reserved for open space use due to on-site sensitive habitat (APN 041-072-030) and the development of an RM-zoned area (portion of APN 041-101-290) that is adjacent to urban residential uses and does not contain any sensitive habitat. The proposed action would result in increased preservation of on-site sensitive habitat and in uses that are more compatible with the surrounding environment.

Regarding the Rezoning Map Amendments:

15. Adopted the ordinance included as Attachment V to the staff report to rezone a portion of APN 041-101-290, shown within the boundaries on the map identified as Exhibit "A" to Attachment V from "Resource Management (RM)" to an "R-1/S-81" zoning designation.
16. Adopted the ordinance included as Attachment W to the staff report, to rezone a 2,178 sq. ft. area (formerly APN 041-072-030) shown within the boundaries on the map identified as Exhibit "A" to Attachment W from "R-1/S-8" to "Resource Management (RM)."

Regarding the Resource Management (RM) Permit, Found:

17. That this project has been reviewed under, and found to comply with, zoning regulations applicable to the Resource Management (RM) District, including Chapter 20.A (*Resource Management District*), Section 6324 (*General Review Criteria for RM District*), and Section 6451.3 of Chapter 23 (*Development Review Procedure*). Specifically, as proposed, mitigated, and conditioned, the project complies with the maximum density credits (plus requested bonus credits), requirement for a conservation easement over the remainder parcel, as well as applicable Environmental Quality Criteria and Site Design Criteria requiring minimization of grading and an RM Permit for tree removal.

Regarding the Grading Permit, Found:

18. That the project will not have a significant adverse effect on the environment. The proposed grading has the potential to result in air quality impacts, substantial soil erosion and impacts to special-status plants and wildlife species. However, as discussed in the re-circulated Draft EIR and Final EIR, implementation of proposed mitigation measures would reduce these project impacts to less than significant levels.

19. That the project conforms to the criteria of Chapter 8, Division VII, San Mateo County Ordinance Code (*Grading Regulations*), including the grading standards referenced in Section 8605. The applicant has submitted Grading and Detention Plans as well as Erosion Control Plans for the eleven (11) residential lots. As discussed in Section 4.3 of the re-circulated Draft EIR (Geology and Soils), the EIR geotechnical consultant has concluded that the proposed development is feasible with the implementation of proposed mitigation measures. These include (1) the stabilization of existing landslides on the project site, (2) the use of appropriate foundations, (3) compliance with the State's National Pollution Discharge Elimination System (NPDES) General Permit, including preparation of a Stormwater Pollution Prevention Plan (SWPPP), and (4) implementation of the Bay Area Air Quality Management District's (BAAQMD) Particulate Matter (PM) reduction practices during grading and construction. In addition, staff is recommending a condition of approval that prohibits grading within the wet season (October 15 through April 15) unless approved by the Community Development Director.
20. That the project is consistent with the General Plan. As proposed, mitigated, and conditioned, the project complies with the policies of the Soil Resources Chapter of the General Plan, including policies requiring the minimization of erosion.

CONDITIONS OF APPROVAL

A. PLANNING AND BUILDING DEPARTMENT

1. This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Board of Supervisors on April 27, 2010. Minor revisions or modifications to these projects in compliance with Condition No. 5 may be made subject to the review and approval of the Community Development Director. The Community Development Director determined that request to reduce the home sizes on Lots 1 through 4 by approximately 1,000 sq. ft. to 2,679 sq. ft. for Lots 1 and 2 and 2,726 sq. ft. for Lots 3 and 4 is a minor modification and approved the request on February 18, 2011. Additionally, the Community Development Director determined that the request to increase the size of the home on Lot 3 from 2,726 sq. ft. to 3,306 sq. ft., where the floor area requested is less than that approved by the Board of Supervisors in 2010, is a minor modification and approved the request on April 30, 2014. Revisions or modifications not in compliance with Condition No. 5 shall be deemed a major modification and shall be subject to review and approval by the Planning Commission at a public hearing.
2. This subdivision approval is valid for two years, during which time a Final Map shall be filed and recorded. An extension to this time period in accordance with Section 7013.5.c of the Subdivision Regulations may be issued by the Planning and Building Department upon written request and payment of any applicable extension fees (if required).
3. The Final Map shall be recorded pursuant to the plans approved by the Board of Supervisors; any deviation from the approved plans shall be reviewed and approved by

the Community Development Director. Revisions or modifications not in compliance with parcel size and configuration as approved by the Board of Supervisors and applicable conditions of approval (including but not limited to) Condition Nos. 8, 9 and 11 shall be deemed a major modification and shall be subject to review and approval by the Planning Commission at a public hearing.

4. The property owner shall comply with all mitigation measures as revised and listed below (based on the Mitigation Monitoring and Reporting Program (MMRP) incorporated within the Final EIR and made available to the public on January 4, 2010). When timing has not been specified below, then mitigation timing and monitoring shall be as specified in the MMRP. The applicant shall enter into a contract with the San Mateo County Planning and Building Department for all mitigation monitoring for this project prior to the issuance of any grading permit "hard card" for the project. The fee shall be staff's cost, plus 10 percent, as required in the current Planning Service Fee Schedule. Planning staff may, at their discretion, contract these services to an independent contractor at cost, plus an additional 10 percent for contract administration.
 - a. **Improvement Measure AES-1a:** The Project Applicant shall provide "finished floor verification" to certify that the structures are actually constructed at the height shown on the approved plans. The Project Applicant shall have a licensed land surveyor or engineer establish a baseline elevation datum point in the vicinity of the construction site. Prior to the below floor framing inspection or the pouring of concrete slab for the lowest floors, the land surveyor shall certify that the lowest floor height as constructed is equal to the elevation of that floor specified by the approved plans. Similarly, certifications of the garage slab and the topmost elevation of the roof are required. The applicant shall provide the certification letter from the licensed land surveyor to the Building Inspection Section.
 - b. **Improvement Measure AES-1b:** The Project Applicant shall plant a total of eight (8) native trees (minimum 24-gallon each), two directly in front of each home on Lots 5 through 8 to soften and screen views of the new homes from off-site locations. These trees will be in addition to the fourteen (14) required replacement trees (15-gallon size). Of the 14 replacement trees, three (3) trees shall be planted at the back of each of the homes on Cowpens Way and Cobblehill Place (three homes, nine (9) trees total). The applicant shall plant the remaining five (5) trees in the right side yard of Lot 8 in order to provide screening of this residence and other residences on Ticonderoga Drive as viewed from Lakewood Circle. All trees or replacement trees required by this condition shall be maintained in perpetuity by the respective property owner in order to maintain screening of the project.
 - c. **Improvement Measure AES-2:** Construction contractors shall minimize the use of on-site storage and when necessary store building materials and equipment away from public view and shall keep activity within the project site and construction equipment laydown areas.

- d. **Mitigation Measure BIO-2a:** No earlier than 30 days prior to the commencement of construction activities, a survey shall be conducted to determine if active woodrat nests (stickhouses) with young are present within the disturbance zone or within 100 feet of the disturbance zone. If active woodrat nests (stickhouses) with young are identified, a fence shall be erected around the nest site adequate to provide the woodrat sufficient foraging habitat at the discretion of a qualified biologist and based on consultation with the CDFG. At the discretion of the monitoring biologist, clearing and construction within the fenced area would be postponed or halted until young have left the nest. The biologist shall serve as a construction monitor during those periods when disturbance activities will occur near active nest areas to ensure that no inadvertent impacts on these nests will occur.

If woodrats are observed within the disturbance footprint outside of the breeding period, individuals shall be relocated to a suitable location within the open space by a qualified biologist in possession of a scientific collecting permit. This will be accomplished by dismantling woodrat nests (outside of the breeding period), to allow individuals to relocate to suitable habitat within the adjacent open space.

- e. **Mitigation Measure BIO-2b:** No earlier than two weeks prior to commencement of construction activities that would occur during the nesting/breeding season of native bird species potentially nesting/roosting on the site (typically February through August in the project region), a survey for nesting birds shall be conducted by a qualified biologist experienced with the nesting behavior of bird species of the region. The intent of the survey would be to determine if active nests of special-status bird species or other species protected by the Migratory Bird Treaty Act and/or the California Fish and Game Code are present in the construction zone or within 500 feet of the construction zone. The surveys shall be timed such that the last survey is concluded no more than two weeks prior to initiation of construction or tree removal work. If ground disturbance activities are delayed, then an additional pre-construction survey shall be conducted such that no more than two weeks will have elapsed between the last survey and the commencement of ground disturbance activities.

no more
nest in
400 or
less

If active nests are found in areas that could be directly affected or subject to prolonged construction-related noise, a no-disturbance buffer zone shall be created around active nests during the breeding season or until a qualified biologist determines that all young have fledged. The size of the buffer zones and types of construction activities restricted within them will be determined through consultation with the CDFG, taking into account factors such as the following:

- Noise and human disturbance levels at the construction site at the time of the survey and the noise and disturbance expected during the construction activity;

- Distance and amount of vegetation or other screening between the construction site and the nest; and
- Sensitivity of individual nesting species and behaviors of the nesting birds.

Limits of construction to avoid an active nest shall be established in the field with flagging, fencing, or other appropriate barriers and construction personnel shall be instructed on the sensitivity of nest areas. A qualified biologist shall serve as a construction monitor during those periods when construction activities would occur near active nest areas of special-status bird species and all birds covered by the Migratory Bird Act to ensure that no impacts on these nests occur.

- f. **Mitigation Measure BIO-2c:** Prior to the commencement of construction activities during the breeding season of native bat species in California (generally occurs from April 1 through August 31), a focused survey shall be conducted by a qualified bat biologist to determine if active maternity roosts of special-status bats are present within any of the trees proposed for removal. Should an active maternity roost of a special-status bat species be identified, the roost shall not be disturbed until the roost is vacated and juveniles have fledged, as determined by the biologist. Once all young have fledged, then the tree may be removed. Species-appropriate replacement roosting habitat (e.g., bat boxes) shall be provided should the project require the removal of a tree actively used as a maternity roost. The replacement roosting habitat shall be subject to the approval of the CDFG.
- g. **Mitigation Measure BIO-2d:** Immediately preceding initial ground disturbance activities on Lot 11, a pre-construction clearance survey shall be conducted by a qualified biologist for California red-legged frogs. The survey shall be conducted to determine whether individual California red-legged frogs are present within the disturbance boundary. Should a California red-legged frog be observed during the clearance survey, all construction activities on Lot 11 shall be immediately halted and the USFWS shall be immediately contacted. Under no circumstances shall a California red-legged frog be collected or relocated, unless USFWS personnel or their agents implement the measure. Construction-related activities may resume once the frog has naturally left the lot or has been relocated by a permitted biologist (authorized by the USFWS).
- h. **Mitigation Measure BIO-3:** Tree replacement shall occur at a minimum 2:1 ratio for all protected trees removed with a circumference of or exceeding 55 inches (17.5 inches diameter at breast height). Therefore, the seven (7) trees proposed for removal shall be replaced with fourteen (14) trees. The replacement of indigenous trees shall be in kind (i.e., live oaks removed shall be replaced by live oaks) and exotic trees to be removed shall be replaced with an appropriate native species on the tree list maintained by the County of San Mateo Planning Department. Replacement trees shall also be maintained for a minimum of three years.

To facilitate the successful replacement of trees, a tree replacement plan shall be prepared and shall meet the following standards:

- Where possible, the plan shall identify suitable areas for tree replacement to occur such that the existing native woodlands in the open space are enhanced and/or expanded.
- The plan shall specify, at a minimum, the following:
 - The location of planting sites;
 - Site preparation and planting procedures;
 - A schedule and action plan to maintain and monitor the tree replacement sites;
 - A list of criteria and performance standards by which to measure success of the tree replacement; and
 - Contingency measures in the event that tree replacement efforts are not successful.
- i. **Mitigation Measure BIO-5a:** Prior to the commencement of construction activities on Lot 11, the outer edge of the willow scrub habitat (facing Lot 11) shall be delineated by a qualified biologist. Temporary fencing shall be installed that clearly identifies the outer edge of the willow habitat and that identifies the willow scrub as an “Environmentally Sensitive Area.” Signs shall be installed indicating that the fenced area is “restricted” and that all construction activities, personnel, and operational disturbances are prohibited.
- j. **Mitigation Measure BIO-5b:** Prior to the issuance of a grading permit, the Project Applicant shall develop an erosion control plan. The plan shall include measures such as silt fencing to prevent project-related erosion and sedimentation from adversely affecting the creek zone and other habitats on and near Lots 1-11. The erosion control plan shall be subject to approval by the County of San Mateo Planning Department.
- k. **Mitigation Measure BIO-5c:** Prior to the issuance of the first building permit for any of the eleven (11) homes, the Project Applicant shall develop a lighting plan. The lighting plan shall require that all lighting be directed and shielded as to minimize light spillage into nearby willow scrub habitat, as well as adjacent oak woodland habitats. The lighting plan shall be subject to approval by the County of San Mateo Planning Department.
- l. **Mitigation Measure BIO-6:** Prior to the commencement of construction on Lot 8, the occurrence of purple needlegrass shall be mapped, including all stands on the lot with 20 percent or greater cover of native grasses and having a diameter greater than 10 feet. The area of purple needlegrass to be lost due to development of the lot shall then be calculated.

As part of the proposed project, approximately 92 acres of open space would be maintained as open space under a conservation easement. This open space contains a serpentine grassland (on the slope west of the water tanks) that is dominated by native grasses (including purple needlegrass) and other native plant species. These native grasses, including purple needlegrass, would be permanently protected by the conservation easement. In addition, non-native plant areas adjacent to the serpentine grassland shall be restored to support native grasses over an area twice the acreage (2:1) of the stands of purple needlegrass to be lost on Lot 8.

- m. **Mitigation Measure GEO-1:** A design-level geotechnical investigation of the site shall be performed prior to any project grading including static and seismic slope stability analysis of the areas of the project site to be graded and developed. The specific mitigation measures to be utilized in order to stabilize existing landslides and areas of potential seismically induced landslides shall be presented in the report. The specific mitigation measures shall include some of the following measures or measures comparable to these:
- Landslide debris on Lots 7 and 8 shall be excavated and replaced with a fully drained conventional buttress fill that is founded in the underlying Franciscan mélange, as recommended by the project geotechnical engineer. (Lots 7-8)
 - Retaining walls shall be designed to withstand high lateral earth pressure from adjoining natural materials and/or backfill shall be installed at the rear of Lots 5 through 8. In addition, retaining walls shall be built in the front of Lots 5 and 6 to aid in maintaining the slopes behind the lots and the more extensive cut required for Lots 5 and 6. (Lots 5-8)
 - A surface drainage system shall be installed for each lot to mitigate new landslides developing within the thin veneer of soil mantling the bedrock on the slope below Lots 1 through 4. (Lots 1-4)
 - Subsurface drainage galleries may be installed to control the flow of groundwater and reduce the potential for slope instabilities from occurring in the future. (All lots)
 - Over-steepening of slopes shall be avoided. Horizontal benches shall be constructed on all reconstructed slopes at an interval of 25 to 30 feet. New fill shall be compacted to at least 90 percent relative compaction (as determined by ASTM test method D1557). (All lots)
 - Drilled piers and grade-beam foundations shall be used to support foundations in accordance with recommendations of the project geotechnical engineer. (All lots)

- n. **Mitigation Measure GEO-2a:** Materials used to construct the buttress fill should have effective strength parameters equal to or better than the parameters used in the Treadwell and Rollo 2009 study. (Lots 7 and 8)
- o. **Mitigation Measure GEO-2b:** The following mitigation measures shall be implemented to ensure the stability of proposed structures that are located on deep fill soils:
- A site-specific, design-level geotechnical investigation shall be completed during the design phase of the proposed project, and prior to approval of new building construction within the site for specific foundation design, slope configuration, and drainage design. (All lots)
 - The geotechnical investigation shall provide recommendations to prevent water from ponding in pavement areas and adjacent to the foundation of the proposed residences, and to prevent collected water from being discharged freely onto the ground surface adjacent to the residences, site retaining walls, or artificial slopes. The project geotechnical engineer shall identify on site areas downslope of the homes where the collected water may be discharged utilizing properly designed energy dissipaters. (All lots)
 - Fills used at the project site shall be properly placed with keyways and subsurface drainage, and adequately compacted following the recommendations of the final geotechnical report and Geotechnical Engineer, in order to significantly reduce fill settlement. (All lots)
 - Underground utilities shall be designed and constructed using flexible connection points to allow for differential settlement. (All lots)
 - Foundation plans shall be submitted to the County for review prior to issuance of a building permit. All foundation excavations shall be observed during construction by the project Geotechnical Engineer to insure that subsurface conditions encountered are as anticipated. As-built documentation shall be submitted to the County. (All lots)
 - Drilled pier and grade-beam foundations or other appropriate foundations per the recommendations of the design-level geotechnical investigation shall be developed for lots that are determined to likely experience soil creep. (All lots)

All work shall be completed in accordance with requirements of the 2007 California Building Code and the San Mateo County Building Code. (All lots)

- p. **Improvement Measure GEO-3:** In compliance with the NPDES regulations, the Project Applicant shall file a Notice of Intent with the State Water Resources Control Board (SWRCB) prior to the start of grading and prepare a SWPPP.

The SWPPP shall include specific best management practices to reduce soil erosion. The SWPPP shall include locations and specifications of recommended soil stabilization techniques, such as placement of straw wattles, silt fence, berms, and storm drain inlet protection. The SWPPP shall also depict staging and mobilization areas with access routes to and from the site for heavy equipment. The SWPPP shall include temporary measures to reduce erosion to be implemented during construction, as well as permanent measures.

County staff and/or representatives shall review the SWPPP to ensure adequate compliance with State and County standards.

County staff and/or representatives shall visit the site during grading and construction to ensure compliance with the SWPPP, as well as note any violations, which shall be corrected immediately. A final inspection shall be completed prior to occupancy.

- q. **Mitigation Measure GEO-4:** The Project Applicant shall be required to use the seismic design criteria listed below to design structures and foundations to withstand expected seismic sources in accordance with the California Building Code (2007) as adopted by the County of San Mateo.

Site Class: C

Soil Profile Name: Very Dense Soil and Soft Rock

Occupancy Category: II

Seismic Design Category: E

Mapped Spectral Response for Short Periods- 0.2 Sec (S_s): 2.226 g

Mapped Spectral Response for Long Periods- 1 Sec (S_1): 1.273 g

Site Coefficient - F_a , based on the mapped spectral response for short periods: 1.0

Site Coefficient - F_v , based on the mapped spectral response for long periods: 1.3

Adjusted Maximum Considered EQ Spectral Response for Short Periods (SMS): 2.226

Adjusted Maximum Considered EQ Spectral Response for Long Periods (SM1): 1.655

Design (5-percent damped) Spectral Response Acceleration Parameters at short periods (SDS): 1.484

Design (5-percent damped) Spectral Response Acceleration Parameters at long periods (SD1): 1.103

- r. **Mitigation Measure GEO-5:** During site grading, soils in each lot shall be observed and tested by the project Geotechnical Engineer to determine if expansive soils are exposed. Should expansive soils be encountered in planned building or pavement locations, the following measures shall be implemented under the direction of the Geotechnical Engineer in order to mitigate the impact of expansive soils:

- Expansive soils in foundation areas shall be excavated and replaced with non-expansive fill to the specifications of the geotechnical engineer.
 - A layer of non-expansive fill soils 12 to 24 inches in thickness shall be placed over the expansive materials and prior to the placement of pavements or foundations.
 - Moisture conditioning of expansive soil shall be applied to a degree that is several percent above the optimum moisture content or lime treating of the expansive soil.
 - Foundations shall be constructed to be below the zone of seasonal moisture fluctuation or to be capable of withstanding the effects of seasonal moisture fluctuations.
 - Specific control of surface drainage and subsurface drainage measures shall be provided.
 - Low water demand landscaping shall be used.
- s. **Mitigation Measure AQ-1:** The Project Applicant shall require that the following BAAQMD recommended and additional PM₁₀ reduction practices be implemented by including them in the contractor construction documents:

The first phase of construction shall require 30 percent of construction equipment to meet Tier 1 EPA certification standards for clean technology. The remainder of construction equipment (70 percent), which would consist of older technologies, shall be required to use emulsified fuels.

- The second phase of construction shall require 30 percent of construction equipment to meet Tier 2 EPA certification standards for clean technology and 50 percent to meet Tier 1 EPA certification standards. The remaining 20 percent of construction equipment, which would consist of older technologies, shall use emulsified fuels.
- For all larger vehicles, including cement mixers or other devices that must be delivered by large trucks, vehicles shall be equipped with CARB level three verified control devices.
- Water all active construction areas at least twice daily.
- Cover all trucks hauling soil, sand, and other loose materials or require all trucks to maintain at least two feet of freeboard.
- Pave, apply water three times daily, or apply non-toxic soil stabilizers on all unpaved access roads, parking areas, and staging areas at the construction sites.

- Sweep daily (with water sweepers) all paved access roads, parking areas, and staging areas at the construction sites.
 - Sweep public streets adjacent to construction sites daily (with water sweepers) if visible soil material is carried onto the streets.
 - Hydroseed or apply non-toxic soil stabilizers to inactive construction areas (previously graded areas inactive for ten days or more).
 - Enclose, cover, water twice daily, or apply non-toxic soil binders to exposed stockpiles (dirt, sand, etc.). Limit traffic speeds on unpaved roads to 15 miles per hour.
 - Limit traffic speeds on unpaved roads to 15 miles per hour.
 - Install sandbags or other erosion control measures to prevent silt runoff to public roadways.
 - Replant vegetation in disturbed areas as soon as possible.
 - Install wheel washers for all exiting trucks or wash off the tires or tracks of all trucks and equipment leaving the construction site.
 - Install wind breaks at the windward sides of the construction areas.
 - Suspend excavation and grading activities when wind (as instantaneous gusts) exceeds 25 miles per hour.
- t. **Mitigation Measure NOI-1:** The Project Applicant shall require that the following noise reduction practices be implemented by including them in the contractor construction documents:
- Equipment and trucks used for project grading and construction would utilize the best available noise control techniques (e.g., improved exhaust mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically-attenuating shields or shrouds) in order to minimize construction noise impacts.
 - Equipment used for project grading and construction would be hydraulically or electrically powered impact tools (e.g., jack hammers and pavement breakers) wherever possible to avoid noise associated with compressed air exhaust from pneumatically-powered tools. Compressed air exhaust silencers would be used on other equipment. Other quieter procedures would be used such as drilling rather than impact equipment whenever feasible.

- The grading and construction activity would be kept to the hours of 7:00 AM to 7:00 PM, Monday through Friday. Saturday hours (8:00 AM to 5:00 PM) are permitted upon the discretion of County approval based on input from nearby residents and businesses. Saturday construction (8:00 AM to 5:00 PM) would be allowed once the buildings are fully enclosed. Noise generating grading and construction activities shall not occur at any time on Sundays, Thanksgiving and Christmas.
 - Residential property owners within 200 feet of planned construction areas shall be notified of the construction schedule in writing, prior to construction; the project sponsor shall designate a "disturbance coordinator" who shall be responsible for responding to any local complaints regarding construction noise; the coordinator (who may be an employee of the developer or general contractor) shall determine the cause of the complaint and shall require that reasonable measures warranted to correct the problem be implemented; a telephone number of the noise disturbance coordinator shall be conspicuously posted at the construction site fence and on the notification sent to neighbors adjacent to the site.
- u. **Mitigation Measures HAZMAT-2:** As required by the San Mateo County Fire Protection Ordinance, Section 3.84.100, individual property owners for Lots 1-4 and 9, 10, and 11 shall be responsible for maintaining a fuel break by removing all hazardous flammable materials or growth from the ground around each home for a distance of up to 100 feet from its exterior circumference, for the life of the project. Property owners of lots listed above shall arrange with the property owner of the open space parcel to obtain legal access to the open space parcel for the purpose of vegetation clearance. This would not include the authorization of tree removal for trees protected by the RM zoning regulations or "major removal" of vegetation requiring an RM Permit. For the twelve parcels that constitute the project site, the removal of trees or other vegetation providing screening of the eleven residences such that the residences are made significantly more visible from public viewing location(s) shall constitute a "major removal" requiring an RM Permit. This requirement shall be recorded as a deed restriction on Lots 1 through 4, and 9, 10, and 11 when the lots are sold.
- v. **Mitigation Measure HAZMAT-3:** During the design level geotechnical investigation, representative soil samples shall be obtained for each lot proposed on an area underlain or potentially underlain by serpentine bedrock. These samples shall be tested for the presence of naturally occurring asbestos by a state certified testing laboratory in accordance with requirements of the CARB and the BAAQMD and the results shall be provided to the County Planning Department.

If naturally occurring asbestos is identified at the site, a site health and safety (H&S) plan including methods for control of airborne dust shall be prepared. This plan shall be reviewed and approved by the County of San Mateo prior to grading in areas underlain by serpentine-bearing soils or bedrock and naturally occurring asbestos. The H&S plan shall strictly control dust-generating excavation and

compaction of material containing naturally occurring asbestos. The plan shall also identify site-monitoring activities deemed necessary during construction (e.g., air monitoring). Worker monitoring shall also be performed as appropriate.

The plan shall define personal protection methods to be used by construction workers. All worker protection and monitoring shall comply with provisions of the Mining Safety and Health Administration (MSHA) Guidelines, California Division of Occupational Safety and Health (DOSH), and the Federal Occupational Safety and Health Administration (OSHA).

If naturally occurring asbestos is found at the site, a Soil Management Plan shall be developed and approved by the County Planning Department to provide detailed descriptions of the control and disposition of soils containing naturally occurring asbestos. Serpentine material placed as fill shall be sufficiently buried in order to prevent erosion by wind or surface water runoff, or exposure to future human activities, such as landscaping or shallow trenches. Additionally, the BAAQMD shall be notified prior to the start of any excavation in areas containing naturally occurring asbestos.

- w. **Improvement Measure TRANS-1:** The Project Applicant shall prepare and submit a Construction Management Plan that will, among other things, require that all truck movement associated with project construction occur outside the commute peak hours.
- x. **Mitigation Measure TRANS-2:** The Project Applicant shall be required to pay for the installation of advisory traffic signs on Ticonderoga Drive in the vicinity of the proposed homes if determined necessary by the County of San Mateo Department of Public Works.
- y. **Mitigation Measure UTIL-1:** The Project Applicant shall mitigate the project-generated increase in sewer flow such that there is a "zero net increase" in flow during wet weather events, by reducing the amount of existing Inflow and Infiltration (INI) into the Crystal Springs County Sanitation District (District) sewer system. This shall be achieved through the construction of improvements to impacted areas of the sewer system, with construction plans subject to District approval. Construction of improvements, as approved by the District, shall be completed prior to the start of the construction of the residences. In addition, as project sewage will be treated by the City of San Mateo's Wastewater Treatment Plant, the Project Applicant shall submit payment of the City of San Mateo Wastewater Treatment Plant Expansion development impact fee to the City of San Mateo. This fee is based on the number of bedrooms in each residential unit and is calculated at the time of the final plans, using the City's fee schedule in effect at the time of the building permit application.

The following conditions of approval document points of discussion among the County, the applicant and neighborhood groups:

5. This project will be implemented as proposed, mitigated, conditioned, and approved by the Board of Supervisors, regarding parcel size and configuration, home sizes, home locations, architectural design, style and color, materials, height and foundation design. Prior to the issuance of a Certificate of Occupancy for any residence, the applicant shall provide photographs to the Current Planning Section staff to demonstrate utilization of the approved colors and materials. Materials and colors shall not be highly reflective.
6. Colors and Materials: The following language shall be recorded as a deed restriction on the applicable parcels when they are sold:
 - a. Lots 1 through 11: Development shall employ colors and materials which blend in with, rather than contrast with, the surrounding soil and vegetative cover of the open space parcel. All exterior construction materials shall be of deep earth hues such as dark browns, greens, and rusts. The applicant shall utilize roof materials that perform as a "cool roof." Roof colors shall be of a medium tone, subject to the approval of the Community Development Director. Exterior lighting shall be minimized and earth-tone colors of lights used.
 - b. Lots 1, 2, 3, 4 and 11: Homes shall be no more than one-story high on the front curbside. Home design will be compatible with the area's contemporary, mid-20th century modern style. Rear facades of homes on Lots 9 through 11 shall have details to reduce the massing of the structure, specifically architectural articulation to break up the vertical facade, color variation, and brick or stone treatment for retaining walls supporting the residences.
7. Grading and Construction Staging Limits: Grading and construction activities shall be limited to the grading and staging limits presented in the approved Clearing, Construction, and Grading Limits Plan. The property owner shall maintain non-conflicting vegetation in the side and rear yard areas adjoining 2285 Bunker Hill Dr. until the foundation is installed. The construction drawings associated with the subdivision improvement plans and the individual site development plans for Lots 1 through 11 shall include a Clearing, Construction and Grading Limits Plan (Limits Plan). The Limits Plan and all associated documents must utilize **current topographic data (2009)** for all parcels, as mapped by Chris Hundemer at Treadwell and Rollo. The Limits Plan shall depict the fencing and protection of the adjacent open space parcel in conformance with the approved Vesting Tentative Map. This plan shall be subject to review and approval of the County Planning and Building Department and the Department of Public Works. The applicant shall install orange fencing, staked securely at intervals, along all staging limits prior to the issuance of any Grading Permit "hard card."

8. Development Restriction Over Lot 8: Only a portion of Lot 8 is developable. The rest of the parcel (shown as hatched on Attachment L) is in a "No-Build Zone." The "No-Build Zone" shall be shown on the Final Map for the subdivision. All setbacks shall be measured from the limits of the buildable portion of the parcel (i.e., excluding any "No-Build" areas on the Final Map). For the purpose of calculating the Maximum Building Site Coverage Ratio of 40%, the Building Site Area shall exclude any "No-Build" areas as shown on the Final Map for the subject property.
9. Development Restriction Over Lot 11: All areas of Lot 11 are developable as allowed by the County Zoning Regulations, with the exception of a "No-Build Zone" on the right side of the parcel, as illustrated in the approved Clearing, Construction, and Grading Limits Plan. The "No-Build Zone" shall be shown on the Final Map for the subdivision. All setbacks shall be measured from the limits of the buildable portion of the parcel (i.e., excluding any "No-Build" areas on the Final Map). For the purpose of calculating the Maximum Building Site Coverage Ratio of 40%, the Building Site Area shall exclude any "No-Build" areas as shown on the Final Map for the subject property.
10. Storm Drainage Plan: Project implementation shall comply with the approved Storm Drainage Plan.
11. Conservation Easement: Lot 12, the open-space parcel, will be subject to a conservation easement in perpetuity, and to a deed restriction, each in forms to be approved by County Counsel and the County Board of Supervisors. The easement will be noted on the Vesting Tentative Map and on the Final Map. Recordation of the Final Map and conservation easement shall be handled by the Department of Public Works (DPW) working cooperatively with Planning staff to ensure the proper order and timing of the recordation of both documents. DPW and Planning staff shall ensure that the Final Map is recorded and ensure recordation of the approved conservation easement immediately following (allowing no other documents to be recorded on the project parcels between the recordings of the Final Map and the conservation easement).
12. The Final Map will include a note stating that "any development of the project parcels must comply with the conditions of approval, as approved by the Board of Supervisors on April 27, 2010."

Conditions of Approval for Certification of Draft and Final EIR

13. Per CEQA Section 15095, the applicant shall provide a copy of the final certified Final EIR to all responsible agencies. **The applicant must complete this requirement within fourteen (14) days of the final approval of this project.**
14. **The applicant shall coordinate with the project planner to record the Notice of Completion and pay an environmental filing fee of \$2,792.25 (or current fee), as required under Fish and Game Code Section 711.4(d), plus a \$50 recording fee to the San Mateo County within four (4) working days of the final approval date of this project.**

Conditions of Approval for Major Subdivision and Lot Line Adjustment

- ✓ 15. The applicant shall record the conservation easement, as approved by the Board of Supervisors, according to the process described in Condition 11.
16. Prior to the recordation of the Final Map, the property owner shall either produce a deed showing the donation of the land to a park service provider or pay an in-lieu fee, meeting the requirements of Section 7055.3 of the County Subdivision Regulations. A worksheet showing the prescribed calculation appears as Attachment U of the staff report for the January 13, 2010 hearing. As of the date of this report, the in-lieu fee for this subdivision is \$236.50. The fee shall be re-calculated at the time of Final Map recording as indicated in the County Subdivision Regulations.

Conditions of Approval for Grading Permit and Tree Removals

17. Twelve (12) separate Grading Permit hard cards are required, one for the subdivision improvements and one for each of the eleven homes. "Hard cards" shall be issued according to the following schedule:
- a. The "hard card" for grading of improvements related to the subdivision (including a sidewalk for Lots 5-8 and all shared access ways) may be issued after the final approval of this project, subject to the approval of the Planning and Building Department's Geotechnical Engineer, Department of Public Works and the Current Planning Section, **and subject to the conditions below.**
 - b. The "hard card" for grading of improvements related to the residences (the preparation of building sites and yard areas) can only be issued simultaneously or after the issuance of a building permit for the construction of each new residence, subject to the approval of the Planning and Building Department's Geotechnical Engineer, Department of Public Works and the Current Planning Section.
- ✓ 18. Lots 1-4: Prior to issuance of grading permits, BKF shall prepare cross sections through each lot illustrating existing slopes, proposed final slopes, areas of fill placement and the stepping of houses across the slope. No fill placement will be permitted downslope of proposed residences (with the exception of fill as shown on the grading plans as approved by the Board of Supervisors).
19. Per the mitigation measures in the MMRP, tree removals and grading shall proceed as specified:
- a. Grading Permit hard card cannot be issued until a design-level geotechnical investigation of the site has been performed and submitted to the Planning and Building Department's Geotechnical Section and evidence of completion of Mitigation Measures GEO-3; TRANS-1; BIO-2a through 2d, 5b and 5c; and HAZMAT-3 has been submitted and approved by the project planner.

- b. Grading Permit hard card cannot be issued for Lot 8 until evidence of completion of Mitigation Measures BIO-6 has been submitted and approved by the project planner.
 - c. Grading Permit hard card cannot be issued for Lot 11 until evidence of completion of Mitigation Measures BIO-2d and 5a has been submitted and approved by the project planner.
 - d. Trees shall not be removed until evidence of implementation of Mitigation Measure BIO-2c has been submitted and approved by the project planner and the Grading Permit hard card has been issued.
20. No grading shall be allowed during the winter season (October 15 to April 15) to avoid potential soil erosion unless approved, in writing, by the Community Development Director. The property owners shall submit a letter to the Current Planning Section, at least two weeks prior to commencement of grading, stating the date when grading will begin.
21. This permit does not authorize the removal of any additional trees with trunk circumference of more than 55 inches beyond those approved by the Board of Supervisors. Such activity would require application for and issuance of a separate Resource Management (RM) Permit. All trees not approved for removal under this permit shall be protected during grading operations. Prior to the issuance of the Grading Permit hard card, the applicant shall implement the following tree protection plan:
- The applicant shall establish and maintain tree protection zones throughout the entire length of the project. Tree protection zones shall be delineated using 4-foot tall orange plastic fencing supported by poles pounded into the ground, located as close to the driplines as possible while still allowing room for construction/grading to safely continue. The applicant shall maintain tree protection zones free of equipment and materials storage and shall not clean any equipment within these areas. Should any large roots or large masses of roots need to be cut, the roots shall be inspected by a certified arborist or registered forester prior to cutting. Any root cutting shall be monitored by an arborist or forester and documented. Roots to be cut should be severed cleanly with a saw or topers. Normal irrigation shall be maintained, but oaks should not need summer irrigation. The above information shall be on-site at all times.
22. Prior to the issuance of the grading permit "hard card," the applicant shall schedule an erosion control inspection by Current Planning Section staff to demonstrate that the approved erosion control plan has been implemented. The applicant is responsible for ensuring that all contractors minimize the transport and discharge of pollutants from the project site into local drainage systems and water bodies by adhering to the San Mateo Countywide Water Pollution Prevention Program's (SMCWPPP) "General Construction and Site Supervision Guidelines," including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 15 and April 15. Stabilizing shall include both proactive measures, such as the placement of straw bales or coir netting, and passive measures, such as minimizing vegetation removal and revegetating disturbed areas with vegetation that is compatible with the surrounding environment.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, setbacks, and drainage courses, per Condition 6.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth-moving activities only during dry weather.
 - i. Limiting and timing applications of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
23. While the applicant must adhere to the approved erosion and sediment control plan during grading and construction, it is the responsibility of the civil engineer and/or construction manager to implement the Best Management Practices (BMPs) that are best suited for this project site. If site conditions require additional measures in order to comply with the SMCWPPP and prevent erosion and sediment discharges, said measures shall be installed immediately under the direction of the project engineer. If additional measures are necessary, the erosion and sediment control plan shall be updated to reflect those changes and shall be resubmitted to the Planning and Building Department for review. The County reserves the right to require additional (or entirely different) erosion and sediment control measures during grading and/or construction if the approved plan proves to be inadequate for the unique characteristics of each job site.

24. Prior to the issuance of a Grading Permit "hard card," the applicant shall submit a schedule of grading operations, subject to review and approval by the Department of Public Works and the Current Planning Section. The submitted schedule shall include a schedule for winterizing the area and details of the off-site haul operations, including, but not limited to: export site(s), size of trucks, haul route(s), time and frequency of haul trips, and dust and debris control measures. Per the City of San Mateo Department of Public Works, use of De Anza Boulevard is prohibited, as De Anza Boulevard is not a designated truck route. The submitted schedule shall represent the work in detail and project grading operations through to the landscaping and/or restoration of all disturbed areas. As part of the review of the submitted schedule, the County may place such restrictions on the hauling operation, as it deems necessary. During periods of active grading, the applicant shall submit monthly updates of the schedule to the Department of Public Works and the Current Planning Section.
25. The applicant shall file a Notice of Intent (NOI) with the State Water Resources Board to obtain coverage under the State General Construction Activity NPDES Permit. A copy of the project's NOI and Stormwater Pollution Prevention Plan (SWPPP) shall be submitted to the Current Planning Section, prior to the issuance of any Grading Permit "hard card."
26. Replacement of vegetation removed in areas within the parcels during grading and construction activities:
 - a. Vegetation removed in areas outside of building footprints, driveways, and construction access areas shall be replaced with drought-tolerant, non-invasive plants, immediately after grading is complete in that area. Prior to the issuance of any building permits, the applicant shall submit photographs demonstrating compliance with this condition to the Current Planning Section, subject to review and approval by the Community Development Director.
 - b. The applicant shall replace all vegetation removed in all areas not covered by construction with drought-tolerant, non-invasive plants, once construction is completed. Prior to the Current Planning Section's final approval of any building permit, the applicant shall submit photographs demonstrating compliance with this condition, subject to review and approval by the Community Development Director.
27. The provision of the San Mateo County Grading Regulations shall govern all grading on and adjacent to this site. Per San Mateo County Ordinance Code Section 8605.5, all equipment used in grading operations shall meet spark arrester and fire-fighting tool requirements, as specified in the California Public Resources Code.
28. Upon the start of grading activities and through to the completion of the project, the applicant shall be responsible for ensuring that the following dust control guidelines are implemented:

- a. All graded surfaces and materials, whether filled, excavated, transported or stockpiled, shall be wetted, protected or contained in such a manner as to prevent any significant nuisance from dust, or spillage upon adjoining water body, property, or streets. Equipment and materials on the site shall be used in such a manner as to avoid excessive dust. A dust control plan may be required at any time during the course of the project.
 - b. A dust palliative shall be applied to the site when required by the County. The type and rate of application shall be recommended by the soils engineer and approved by the Department of Public Works, the Planning and Building Department's Geotechnical Section, and the Regional Water Quality Control Board.
29. Final approval of all Grading Permits is required. For final approval of the Grading Permits, the applicant shall ensure the performance of the following activities within thirty (30) days of the completion of grading at the project site:
- a. The engineer shall submit written certification that all grading has been completed in conformance with the approved plans, conditions of approval/ mitigation measures, and the Grading Regulations, to the Department of Public Works and the Planning and Building Department's Geotechnical Section.
 - b. The geotechnical consultant shall observe and approve all applicable work during construction and sign Section II of the Geotechnical Consultant Approval form, for submittal to the Planning and Building Department's Geotechnical Engineer and Current Planning Section.

Other Planning and Building Department Project Conditions

30. The color and materials of the bio-retention planters for all homes shall match the surrounding native landscaping, such that planters will blend with the surrounding environment.
31. Building plans for each residence shall demonstrate compliance with the California Water Efficient Landscape Ordinance (AB 1881), prior to the Current Planning Section's approval of the building permit application for each residence.
32. The applicant and contractors must be prepared to carry out the requirements of California State law with regard to the discovery of human remains during construction, whether historic or prehistoric. In the event that any human remains are encountered during site disturbance, all ground-disturbing work shall cease immediately and the County coroner shall be notified immediately. If the coroner determines the remains to be Native American, the Native American Heritage Commission shall be contacted within 24 hours. A qualified archaeologist, in consultation with the Native American Heritage Commission, shall recommend subsequent measures for disposition of the remains.

33. The property owner is responsible for the annexation of the project site to County governed special districts that will provide utility or other service. The project applicant is responsible for application and fees to the San Mateo Local Agency Formation Commission.
34. For Lots 1 through 8 and Lot 11 (lots with the RM Zoning District), all present and future site preparation activity and development shall comply with Section 6319C.2.F (Development Standards) and Section 6319C.2.G (Minimization of Grading). All setbacks shall be measured from the limits of the buildable portion of the parcel (i.e., excluding any "No-Build" areas on the Final Map). For the purpose of calculating the Maximum Building Site Coverage Ratio of 40%, the Building Site Area shall exclude any "No-Build" areas as shown on the Final Map for the subject property. The above statement shall be added as a deed restriction to the respective lots when the lots are sold.

B. PLANNING AND BUILDING DEPARTMENT - GEOTECHNICAL SECTION

35. The grading for this project will require submission of a revised geotechnical report that includes detailed recommendations for grading, erosion control, and foundation design and construction.
36. Building permit applications for Lots 7 and 8 will be required to depict as-built subdrain system alignments for the underlying stabilization buttress on the house foundation plans. The intent is to adjust foundation pier layout (as needed) so that installed subdrain systems are not damaged by foundation construction.
37. Documentation to be submitted for the Lot 10 building permit shall include proposed construction/design measures to provide stable temporary excavations west of the residence so that the stability of an existing fill prism is not adversely impacted during site grading.
38. (All Lots) Prior to issuance of building permits, the Project Geotechnical Consultant shall field inspect (and investigate, as needed) all proposed drainage discharge locations and verify that proposed drainage designs are acceptable from a slope stability/erosion perspective or recommend appropriate modifications.
39. Lots 9 and 10: Future construction in areas outside of the building envelope may require supplemental geotechnical evaluation. Lot 11: Future building construction within the delineated No-Build Zone on the approved Vesting Tentative Map is prohibited. The above statements shall be added as a deed restriction to the respective lots when the lots are sold. Recorded deed restrictions shall be produced prior to the issuance of a Certificate of Occupancy for any residence on these lots.

40. Lot 11: Grading limits, building footprint and building envelope shall be restricted to those boundaries depicted on Lot 11 Exhibit 1 prepared by BKF dated January 27, 2010. These boundaries shall supersede any conflicting boundaries presented on other recently prepared development documents. Construction staging shall not include grading beyond the grading limits.

C. PLANNING AND BUILDING DEPARTMENT - BUILDING INSPECTION SECTION

41. Building permits may be required for all areas of construction. Contact the Building Inspection Section prior to ANY construction for permit requirements.
42. All new residences shall comply with the current Green Building Ordinance, applicable at the time of permit application.
43. Per Section 1404 of the Green Building Ordinance, the applicant is encouraged to incorporate green building features in the construction of the eleven homes, such that the project achieves 75 points or higher or LEED for Homes Certified. Such projects will receive expedited building permit processing.

D. PACIFIC GAS AND ELECTRIC COMPANY

44. Developers will be responsible for the costs associated with the relocation of existing PG&E facilities to accommodate the project.

E. DEPARTMENT OF PUBLIC WORKS

Conditions of Approval for Major Subdivision and Lot Line Adjustment

45. The applicant shall install a sidewalk along the front of Lots 5 through 8 on Ticonderoga Drive, subject to review and approval by the Department of Public Works (DPW) and the issuance of an encroachment permit by DPW.
46. The applicant shall install a crosswalk and ADA ramp at the intersection of Ticonderoga Drive and Allegheny Way prior to recordation of the Final Map.
47. The applicant shall submit a permanent stormwater management plan in compliance with the County's Drainage Policy (including stormwater detention requirements) and applicable NPDES requirements (particularly Provision C.3) for review and approval by the Department of Public Works, prior to the Current Planning Section's approval of any building permit for residences. Individual operation and maintenance agreements for each residence to include all permanent stormwater treatment measures, as approved by the Community Development Director and the Department of Public Works, shall be executed prior to the Current Planning Section's final approval of any building permit for residences.
48. The applicant shall submit a Final Map to the Department of Public Works for review and recording.

49. Prior to recordation of the Final Map, the subdivider shall either construct all improvements required for shared access or enter into a written agreement with the County for future construction of the improvements. Prior to recording the Final Map, the applicant will be required to submit to the Department of Public Works a complete set of improvement plans including all provisions for roadways, driveways, utilities, storm drainage, and stormwater treatment, all in accordance with the County Subdivision Regulations, County Standard Details, County Drainage Policy and NPDES Permit, plus applicable plan review fee.

Upon the Department of Public Works' approval of the improvement plans, the applicant may be required to execute a Subdivision Improvement Agreement and post securities with the Department of Public Works, if applicable, as follows:

- a. Faithful Performance - 100% on the estimated cost of constructing the improvements;
- b. Labor and Materials - 50% of the estimated cost of constructing the improvements.

Other Department of Public Works Project Conditions

50. The access easement on Lot 8 shall meet the access requirements of the Crystal Springs County Sanitation District, prior to the final approval of the Final Map by the Department of Public Works.
51. For Lots 7 and 8: A maintenance agreement is required for the stairs, subject to San Mateo County Fire Department and Department of Public Works approval.
52. The applicant shall record documents which address future maintenance responsibilities of any private drainage, stormwater treatment or other common facilities which may be constructed. For example, documents would address maintenance of all shared access easements (i.e., Lots 5 through 8, and Lots 9 and 10), as well as shared maintenance of the bio-retention planter on Lot 8 (for the benefit of Lots 7 and 8) and the storm drainage outfall on Lot 9 (for the benefit of Lots 9 and 10). Prior to recording these documents, they shall be submitted to the Department of Public Works for review and prior to the issuance of a Certificate of Occupancy for the applicable parcel (Lots 5 through 10).
53. "As-Built" plans of all construction required by these conditions shall be prepared and signed by the subdivider's engineer upon completion of all work. The "As-Built" plans shall be accompanied by a written certification from the engineer that all private facilities have been completed in conformance with the approved plans.

54. The applicant shall prepare a plan indicating the proposed method of sewerage for these properties. This plan should be included on the improvement plans and submitted to the Department of Public Works for review. Upon completion of this review, the applicant or his engineer shall have these approved plans signed by the appropriate County Sewer District.
55. The applicant shall submit, to both the Department of Public Works and the Planning Department, written certification from the appropriate Water District stating that their requirements to provide water service connections to the proposed parcels of this subdivision have been met.
56. Any potable water system work required by the appropriate district within the County right-of-way shall not be commenced until County requirements for the issuance of an encroachment permit have been met. Plans for such work shall be reviewed by the Department of Public Works prior to the issuance of the permit.
57. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued.
58. Prior to the issuance of any building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance No. 3277.
59. The applicant shall submit a driveway "Plan and Profile" to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County standards for driveway slopes (not to exceed 20 percent) and to County standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
60. Plans, with specific construction details, shall be stamped and signed by the registered civil engineer and submitted to the Department of Public Works for review and approval prior to construction.

F. SAN MATEO COUNTY FIRE DEPARTMENT

- 80'
T provided
61. All dead-end roadways shall be terminated by a turnaround bulb of not less than 96 feet in diameter. For Lots 7, 8, 9, and 10: Lots 9 and 10 shall meet Hammerhead T requirements. The Hammerhead T shall provide a lane that is a minimum width of 20 feet throughout with a minimum inside curve radius of 26 feet and a top of T length of 120 feet minimum. Lots 7 and 8 shall mitigate fire engine access with a higher fire sprinkler flow and coverage and non-combustible exterior siding and decking. Alternate methods and material requests may be applied for at the time of building permit application submittal.

62. The required fire flow shall be available from a County Standard 6" Wet Barrel Fire Hydrant; the configuration of the hydrant shall have a minimum of one each 4 1/2" outlet and one each 2 1/2" outlet located not more than 250 feet from the building, measured by way of approved drivable access to the project site.
63. All new public water systems, extensions from a public water system or replacement of any main or line of an existing public water system shall have a minimum diameter of six inches (6"). If the pipes are not linked in grid or if individual legs are over 600 feet in length, then the minimum diameter shall be eight inches (8").
64. When receiving water service for fire protection (hydrants, fire sprinkler systems) from a public or municipal water purveyor, written certification from the water company that hydrants will be installed or that the existing water system is capable of meeting the project conditions is required to be presented to the San Mateo County Fire Department for verification to show that required upgrades to the system will be installed and that existing fire flows will meet the project requirements.
65. County Fire Department access shall be to within 150 feet of all exterior portions of structures and to all portions of the exterior walls of the first story of buildings, as measured by an approved access route. Should access to a structure exceed the 150 feet criteria, the applicant may have the option of providing exterior fire resistant construction materials to meet this condition, subject to review and approval by the County Fire Department and Planning and Building Department, prior to the issuance of a building permit.
66. This project is located in a wildland urban interface area. Roofing, attic ventilation, exterior walls, windows, exterior doors, decking, floors and under-floor protection shall be installed to meet CBC Chapter 7A requirements. This requirement shall be met at the building permit phase of each residence.
67. A fire flow of 1,000 gpm for two (2) hours with a 20-psi residual operating pressure must be available for a single-family dwelling with up to 3,600 sq. ft. of interior space; 1,300 gpm for a single-family dwelling with up to 4,800 sq. ft.; and 1,500 gpm for a single-family dwelling with up to 6,200 sq. ft. as specified by the 2007 CFC.