

COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF, THAT ALL THE PROVISIONS OF THE CALIFORNIA "SUBDIVISION MAP ACT" AND OF THE "SAN MATEO COUNTY ORDINANCE" APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

DATE: _____
 CHRISTOPHER G. VANDREY, LICENSED LAND SURVEYOR
 L.S. No. 8783

CLERK OF THE BOARD STATEMENT

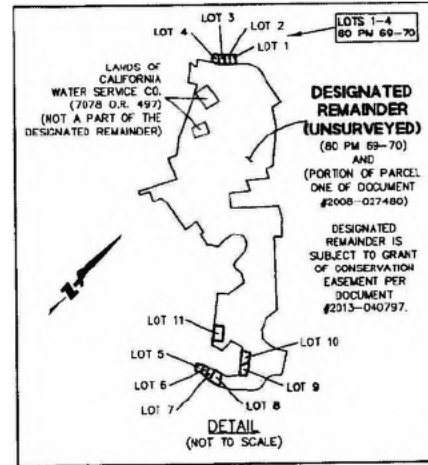
I HEREBY STATE THAT THE BOARD OF SUPERVISORS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTIONS 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA, AND ALSO DID APPROVE THE WITHIN MAP (AND DID ACCEPT ON BEHALF OF THE PUBLIC, ANY REAL PROPERTY OFFERED FOR DESIGNATION SUBJECT TO THE CONDITION THAT THE COUNTY IS NOT RESPONSIBLE OR LIABLE FOR ANY COST OR EXPENSE OF ANY OFFER ACCEPTED UNLESS AUTHORIZED BY SEPARATE ACTION OF THE BOARD OF SUPERVISORS).

DATED: _____ BY: _____
 CLERK OF THE BOARD OF SUPERVISORS
 SAN MATEO COUNTY, STATE OF CALIFORNIA
 BY: _____
 DEPUTY

COUNTY RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____ 20__ AT _____ M. IN
 VOLUME _____ OF MAPS AT PAGES _____ THROUGH _____ AT THE REQUEST
 OF BKF ENGINEERS.
 MARK GURCH, SAN MATEO COUNTY RECORDER

FILE NO. _____ BY: _____
 DEPUTY
 FEE: _____



GEOTECHNICAL REPORT NOTE

THE FOLLOWING GEOTECHNICAL REPORTS HAVE BEEN PREPARED FOR THE HIGHLAND ESTATES PROJECT. COPIES OF THE GEOTECHNICAL REPORTS ARE ON FILE WITH THE SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENTS, REFERENCE FILE NO. PLN2006-00357.

1. PRELIMINARY GEOLOGIC/GEOTECHNICAL INVESTIGATION REPORT HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED SEPTEMBER 1990.
2. GEOTECHNICAL INVESTIGATION REPORT FOR HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED JULY 1993.
3. SUPPLEMENTAL GEOTECHNICAL REPORT RESPONDING TO GEOTECHNICAL REVIEW COMMENTS FOR HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED NOVEMBER 1994.
4. GEOTECHNICAL INVESTIGATION AND GEOLOGIC HAZARDS REVIEW FOUR SINGLE-FAMILY HOMES TICONDEROGA DRIVE, PREPARED BY TRC LOWNEY, DATED FEBRUARY 7, 2006.
5. GEOLOGIC EVALUATION ENVIRONMENTAL IMPACT REPORT HIGHLANDS ESTATES RESIDENTIAL DEVELOPMENT PROJECT, PREPARED BY TREADWELL & ROLLO, DATED 23 SEPTEMBER 2008.

BASIS OF BEARINGS

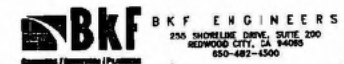
THE BEARING NORTH 78°09'00" EAST OF THE CENTERLINE OF COBBLEHILL PLACE AS SHOWN ON TRACT MAP NO. 723, THE HIGHLANDS, RECORDED ON AUGUST 26, 1955, IN VOLUME 43 OF MAPS AT PAGES 23-25, SAN MATEO COUNTY RECORDS.

NOTES

1. THE DESIGNATED REMAINDER SHOWN HEREIN IS UNSURVEYED AND IS GRAPHICALLY SHOWN BASED ON RECORD DATA ONLY.
2. ANY DEVELOPMENT OF THE PROJECT PARCELS MUST COMPLY WITH THE CONDITIONS OF APPROVAL, AS APPROVED BY THE BOARD OF SUPERVISORS ON APRIL 27, 2010.

**TRACT MAP NO. 944
 HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
 BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
 THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
 DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
 SAN MATEO COUNTY
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SEPTEMBER 2015

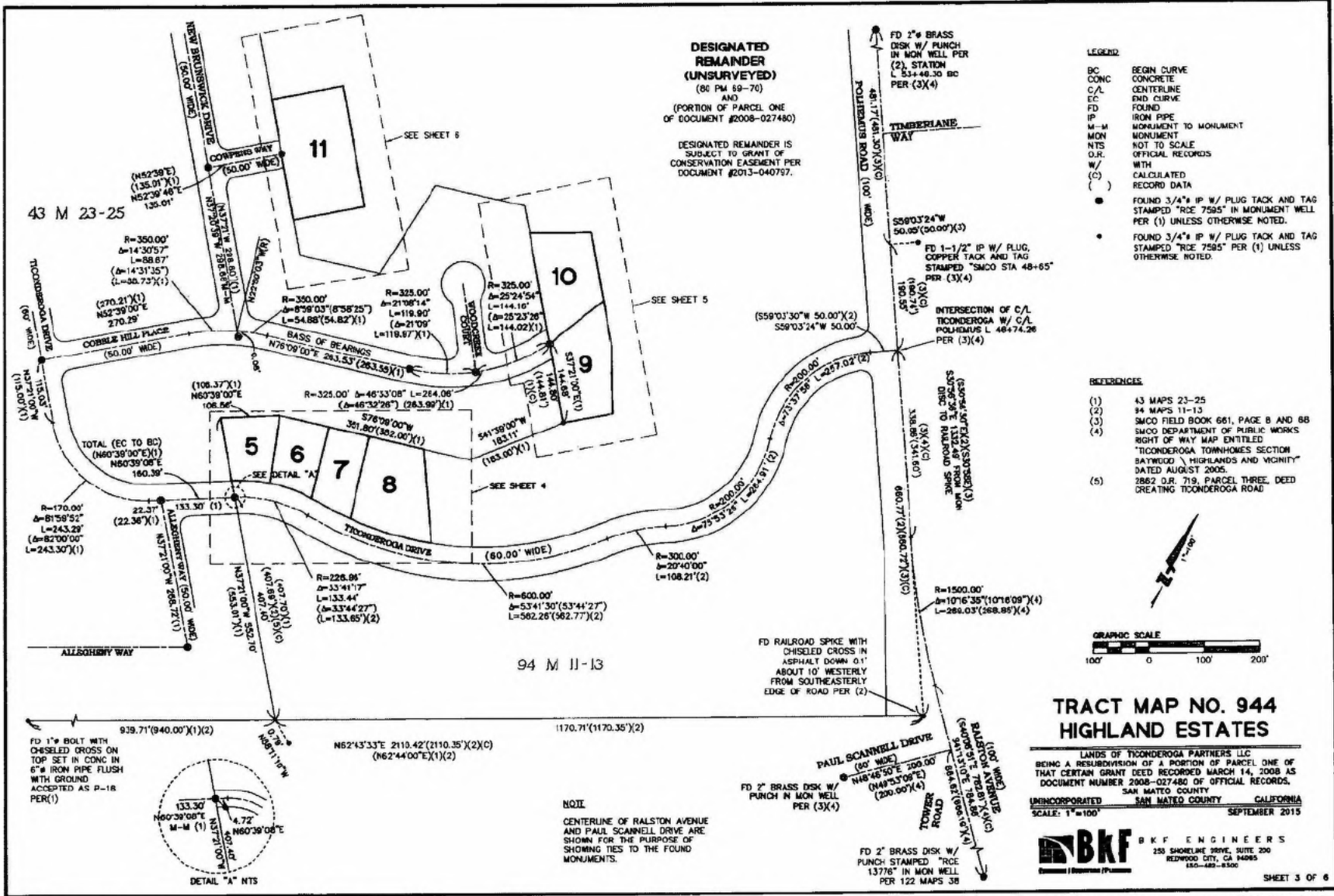


SHEET 2 OF 6

APPROVED 09/23/15 CGV

9/8/15 MAP CHECK SUBMITTAL

I:\s\935101\BKF\Maping\944 Map 944.dwg 9/8/2015 11:19:41 AM PDF-Change for Approval Proj-3



APPROVED 09/23/15 *CBV*

9/8/15 MAP CHECK SUBMITTAL

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**TRACT MAP NO. 944
HIGHLAND ESTATES**

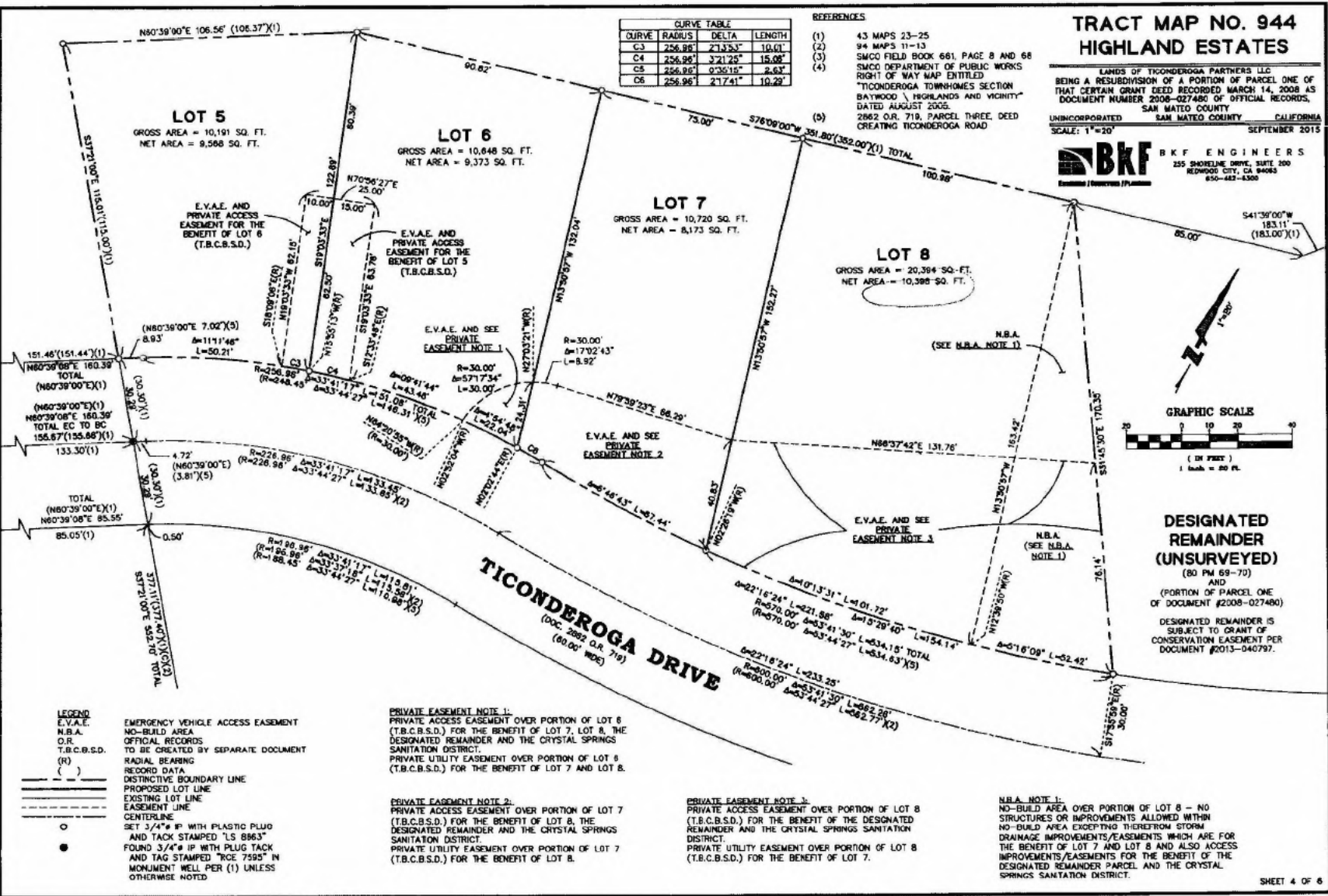
LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20'

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94063
650-483-8300

CURVE	RADIUS	DELTA	LENGTH
C3	256.88'	271.25°	10.61'
C4	256.96'	371.25°	15.08'
C5	256.96'	0°35'15"	2.63'
C6	256.96'	271.741°	10.29'

REFERENCES

- (1) 43 MAPS 23-25
- (2) 94 MAPS 11-13
- (3) SMCO FIELD BOOK 681, PAGE 8 AND 68
- (4) SMCO DEPARTMENT OF PUBLIC WORKS RIGHT OF WAY MAP ENTITLED "TICONDEROGA TOWNHOMES SECTION BAYWOOD \ HIGHLANDS AND VICINITY" DATED AUGUST 2005.
- (5) 2882 O.R. 719, PARCEL THREE, DEED CREATING TICONDEROGA ROAD



LEGEND
 E.V.A.E. EMERGENCY VEHICLE ACCESS EASEMENT
 N.B.A. NO-BUILD AREA
 O.R. OFFICIAL RECORDS
 T.B.C.B.S.D. TO BE CREATED BY SEPARATE DOCUMENT
 (R) RADIAL BEARING
 () RECORD DATA
 --- DISTINCTIVE BOUNDARY LINE
 - - - PROPOSED LOT LINE
 - - - EXISTING LOT LINE
 - - - EASEMENT LINE
 - - - CENTERLINE
 ○ SET 3/4" # 1P WITH PLASTIC PLUG AND TACK STAMPED "LS 8863"
 ● FOUND 3/4" # 1P WITH PLUG TACK AND TAG STAMPED "TCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED

PRIVATE EASEMENT NOTE 1:
 PRIVATE ACCESS EASEMENT OVER PORTION OF LOT 6 (T.B.C.B.S.D.) FOR THE BENEFIT OF LOT 7, LOT 8, THE DESIGNATED REMAINDER AND THE CRYSTAL SPRINGS SANITATION DISTRICT.
 PRIVATE UTILITY EASEMENT OVER PORTION OF LOT 6 (T.B.C.B.S.D.) FOR THE BENEFIT OF LOT 7 AND LOT 8.

PRIVATE EASEMENT NOTE 2:
 PRIVATE ACCESS EASEMENT OVER PORTION OF LOT 7 (T.B.C.B.S.D.) FOR THE BENEFIT OF LOT 8, THE DESIGNATED REMAINDER AND THE CRYSTAL SPRINGS SANITATION DISTRICT.
 PRIVATE UTILITY EASEMENT OVER PORTION OF LOT 7 (T.B.C.B.S.D.) FOR THE BENEFIT OF LOT 8.

PRIVATE EASEMENT NOTE 3:
 PRIVATE ACCESS EASEMENT OVER PORTION OF LOT 8 (T.B.C.B.S.D.) FOR THE BENEFIT OF THE DESIGNATED REMAINDER AND THE CRYSTAL SPRINGS SANITATION DISTRICT.
 PRIVATE UTILITY EASEMENT OVER PORTION OF LOT 8 (T.B.C.B.S.D.) FOR THE BENEFIT OF LOT 7.

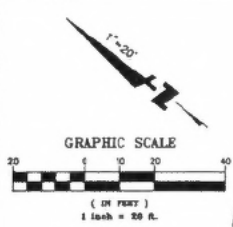
N.B.A. NOTE 1:
 NO-BUILD AREA OVER PORTION OF LOT 8 - NO STRUCTURES OR IMPROVEMENTS ALLOWED WITHIN NO-BUILD AREA EXCEPTING THOSE FROM STORM DRAINAGE IMPROVEMENTS/EASEMENTS WHICH ARE FOR THE BENEFIT OF LOT 7 AND LOT 8 AND ALSO ACCESS IMPROVEMENTS/EASEMENTS FOR THE BENEFIT OF THE DESIGNATED REMAINDER PARCEL AND THE CRYSTAL SPRINGS SANITATION DISTRICT.

DESIGNATED REMAINDER (UNSURVEYED)
 (80 PM 59-70')
 AND
 (PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)
 DESIGNATED REMAINDER IS SUBJECT TO GRANT OF CONSERVATION EASEMENT PER DOCUMENT #2013-046797.

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9/8/15 11:21:13 AM, PDF-Change for Acceptor Proj.p3
 9/8/15 11:21:13 AM, PDF-Change for Acceptor Proj.p3

APPROVED 09/23/15 *COV* 9/8/15 MAP CHECK SUBMITTAL



DESIGNATED REMAINDER (UNSURVEYED)
 (80 PM 59-70)
 AND
 (PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)
 DESIGNATED REMAINDER IS SUBJECT TO GRANT OF CONSERVATION EASEMENT PER DOCUMENT #2013-042797.

LOT 10
 GROSS AREA = 17,994 SQ. FT.
 NET AREA = 15,244 SQ. FT.

LOT 9
 GROSS AREA = 17,997 SQ. FT.
 NET AREA = 11,501 SQ. FT.

43 M 23-25, BLOCK 4

43 M 23-25, BLOCK 5

WOODCREEK COURT
 (43 M 23-25)
 (50.00' WIDE)

NEW BRUNSWICK DRIVE
 (43 M 23-25)
 (50.00' WIDE)

TICONDEROGA DRIVE
 (60.00' WIDE)

- LEGEND**
- E.V.A.E. EMERGENCY VEHICLE ACCESS EASEMENT
 - O.R. OFFICIAL RECORDS
 - P.U.E. PUBLIC UTILITY EASEMENT
 - S.D.E. STORM DRAINAGE EASEMENT
 - S.S.E. SANITARY SEWER EASEMENT
 - T.B.C.B.S.D. TO BE CREATED BY SEPARATE DOCUMENT
 - DISTINCTIVE BOUNDARY LINE
 - PROPOSED LOT LINE
 - EXISTING LOT LINE
 - EASEMENT LINE
 - CENTERLINE
 - SET 3/4" # 10 WITH PLASTIC PLUG AND TAG STAMPED "LS 8863"
 - FOUND 3/4" # 10 WITH PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED
 - FOUND 3/4" # 10 WITH PLUG TACK AND TAG STAMPED "RCE 7595" PER (1) UNLESS OTHERWISE NOTED

**TRACT MAP NO. 944
 HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
 BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS, SAN MATEO COUNTY CALIFORNIA
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1"=20' SEPTEMBER 2015

BKF BKF ENGINEERS
 250 WOODCREEK DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6100

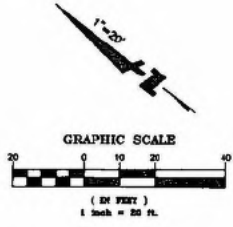
APPROVED 09/23/15 CRV

9/8/15 MAP CHECK SUBMITTAL

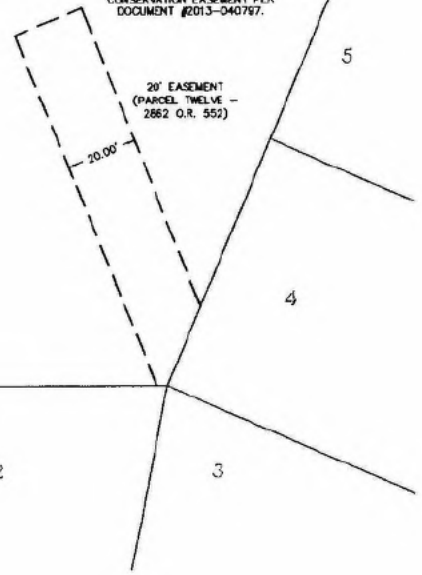
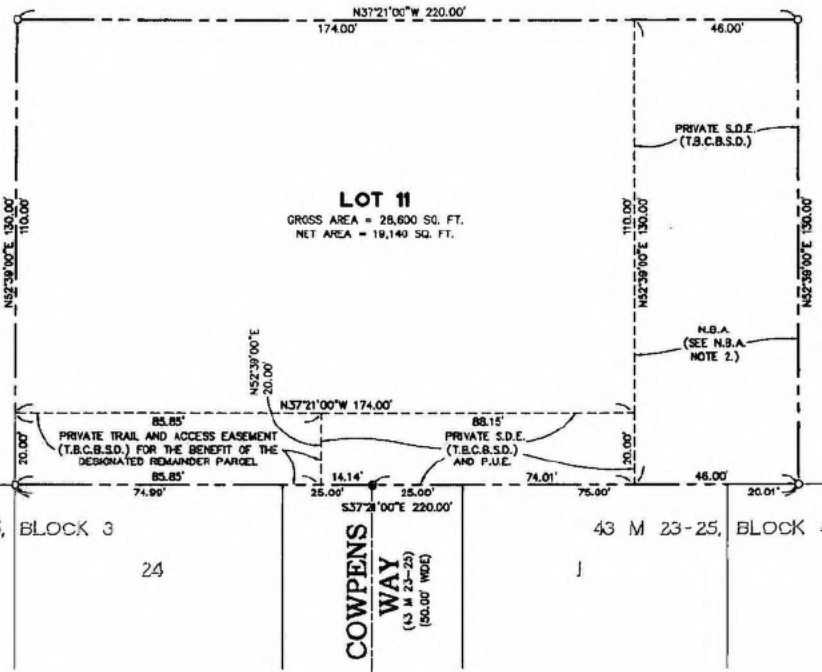
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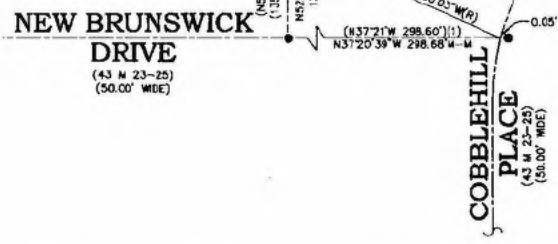


DESIGNATED REMAINDER (UNSURVEYED)
 (60 PM 69-70)
 AND
 (PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)
 DESIGNATED REMAINDER IS SUBJECT TO GRANT OF CONSERVATION EASEMENT PER DOCUMENT #2013-040797.



N.B.A. NOTE 2:
 NO-BUILD AREA OVER PORTION OF LOT 11 - NO STRUCTURES OR IMPROVEMENTS ALLOWED WITHIN NO-BUILD AREA EXCEPTING THEREFROM STORM DRAINAGE IMPROVEMENTS/EASEMENTS.

LEGEND:	
O.R.	OFFICIAL RECORDS
N.B.A.	NO-BUILD AREA
S.D.E.	STORM DRAINAGE EASEMENT
T.B.C.B.S.D.	TO BE CREATED BY SEPARATE DOCUMENT
(R)	RADIAL BEARING
---	DISTINCTIVE BOUNDARY LINE
---	PROPOSED LOT LINE
---	EXISTING LOT LINE
---	EASEMENT LINE
---	CENTERLINE
○	SET 3/4" IP WITH PLASTIC PLUG AND TACK STAMPED "LS 8863"
●	FOUND 3/4" IP WITH PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED



**TRACT MAP NO. 944
 HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
 BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS, SAN MATEO COUNTY, CALIFORNIA
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SCALE: 1"=20' SEPTEMBER 2015

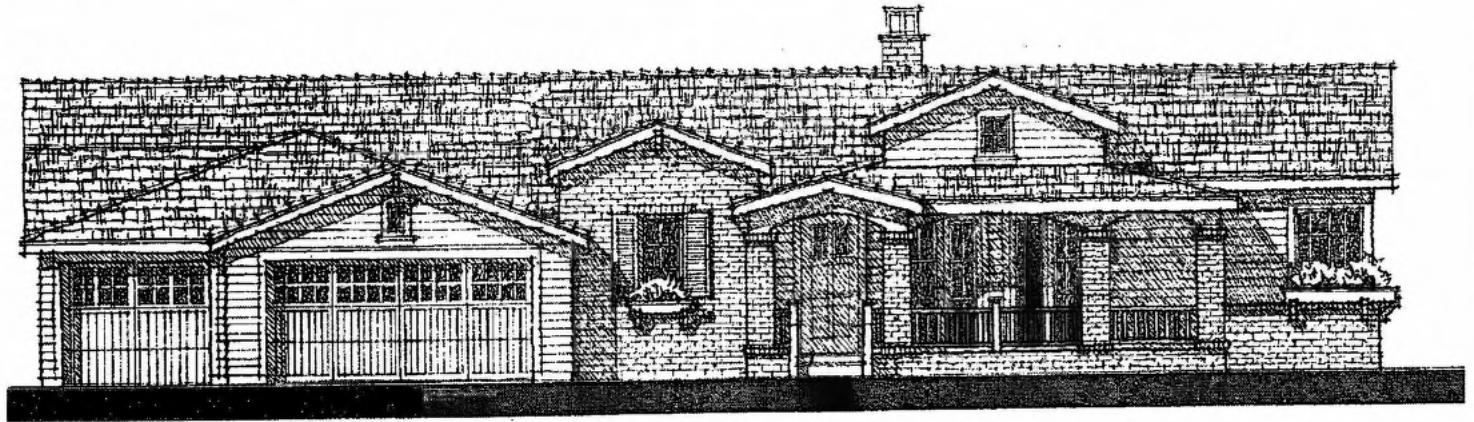
BKF BKF ENGINEERS
 185 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 650-882-8300

APPROVED 09/23/15 CBV

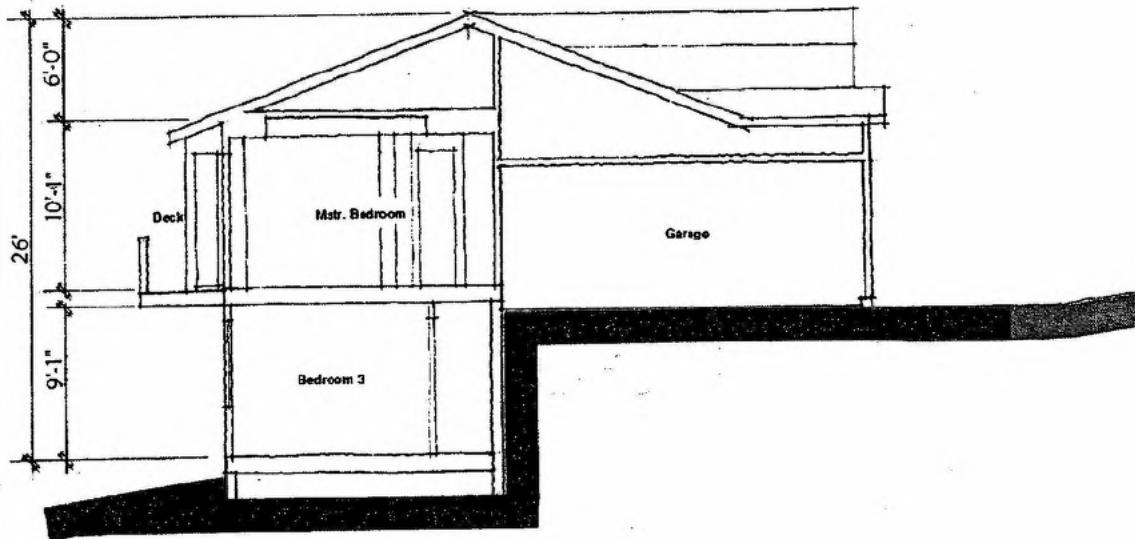
9/8/15 MAP CHECK SUBMITTAL

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FRONT ELEVATION

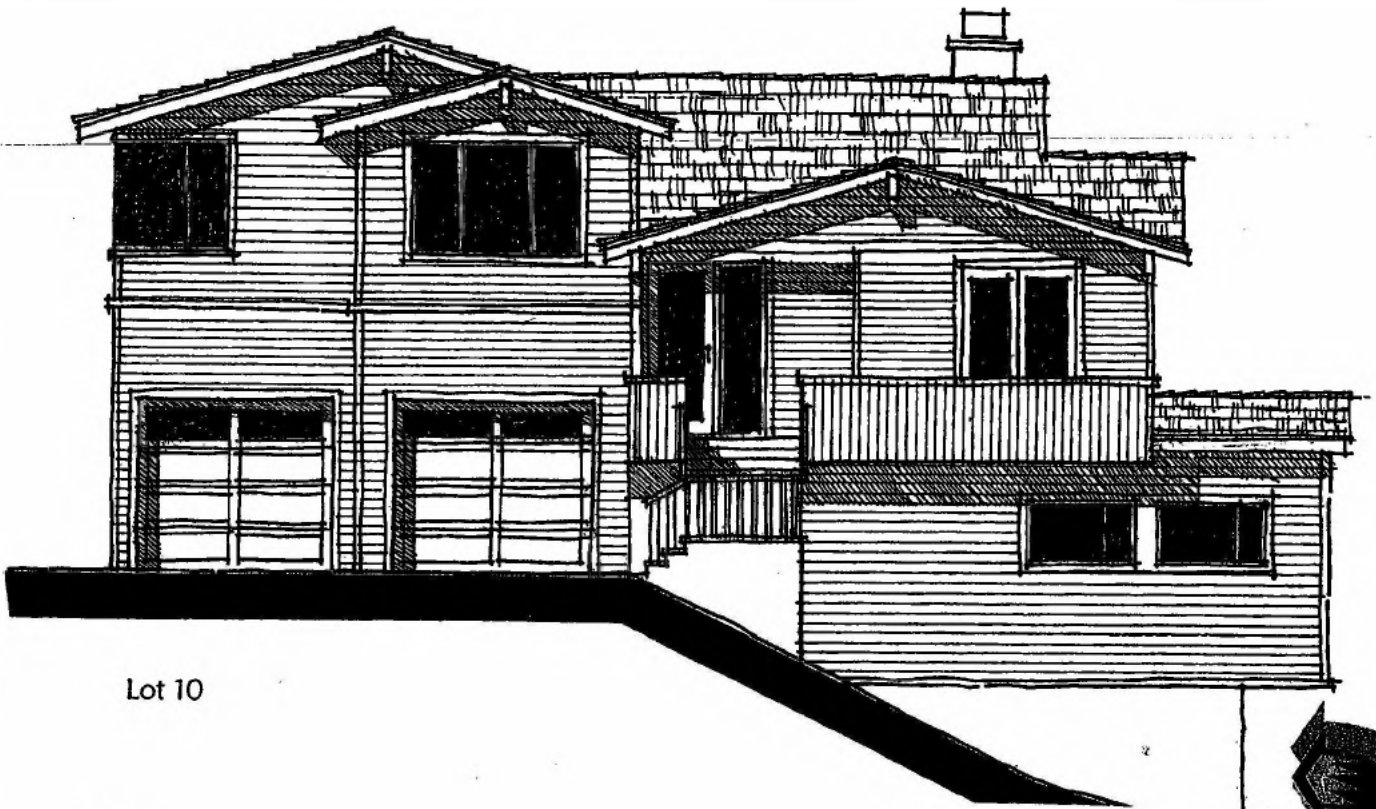


SECTION

SOURCE: Mark Gross & Associates, Inc. - March 2008

FIGURE 3.0-13

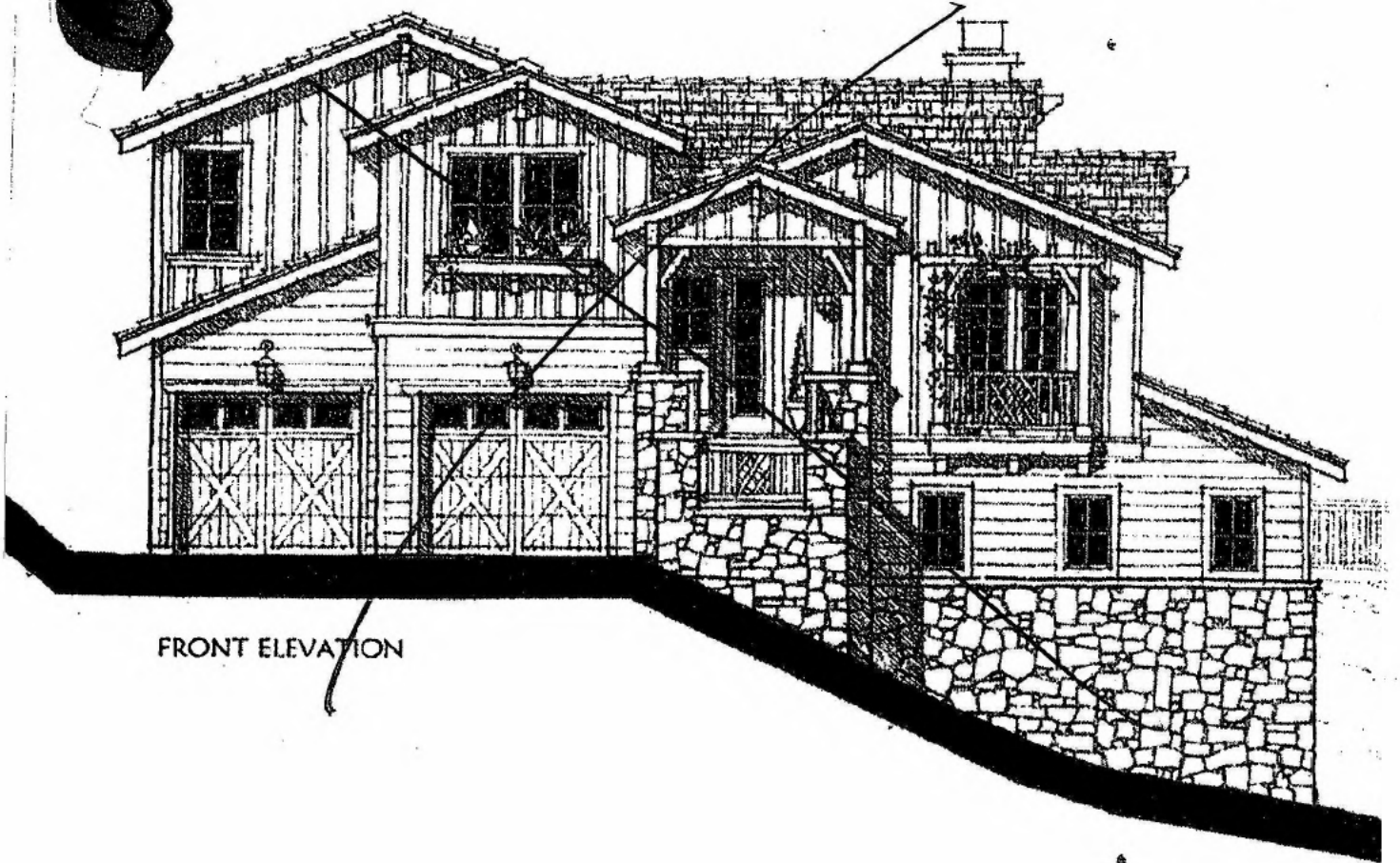
Conceptual Exterior Lot 11



Lot 10

Original Proposal

Revised Design



FRONT ELEVATION

BIO-RETENTION/TREATMENT
PLANTER 210 SQ.FT

GEO NO-BUILD ZONE
EXCEPT FOR STORM
DRAINAGE IMPROVEMENTS

GRADING LIMITS (TYP)
PROPOSED FUTURE HOME

PROPOSED SD OUTFALL W/
ENERGY DISSIPATOR

EX FIRE HYDRANT TO
PROPOSED FACE OF GARAGE
200' (<600' REQ.)

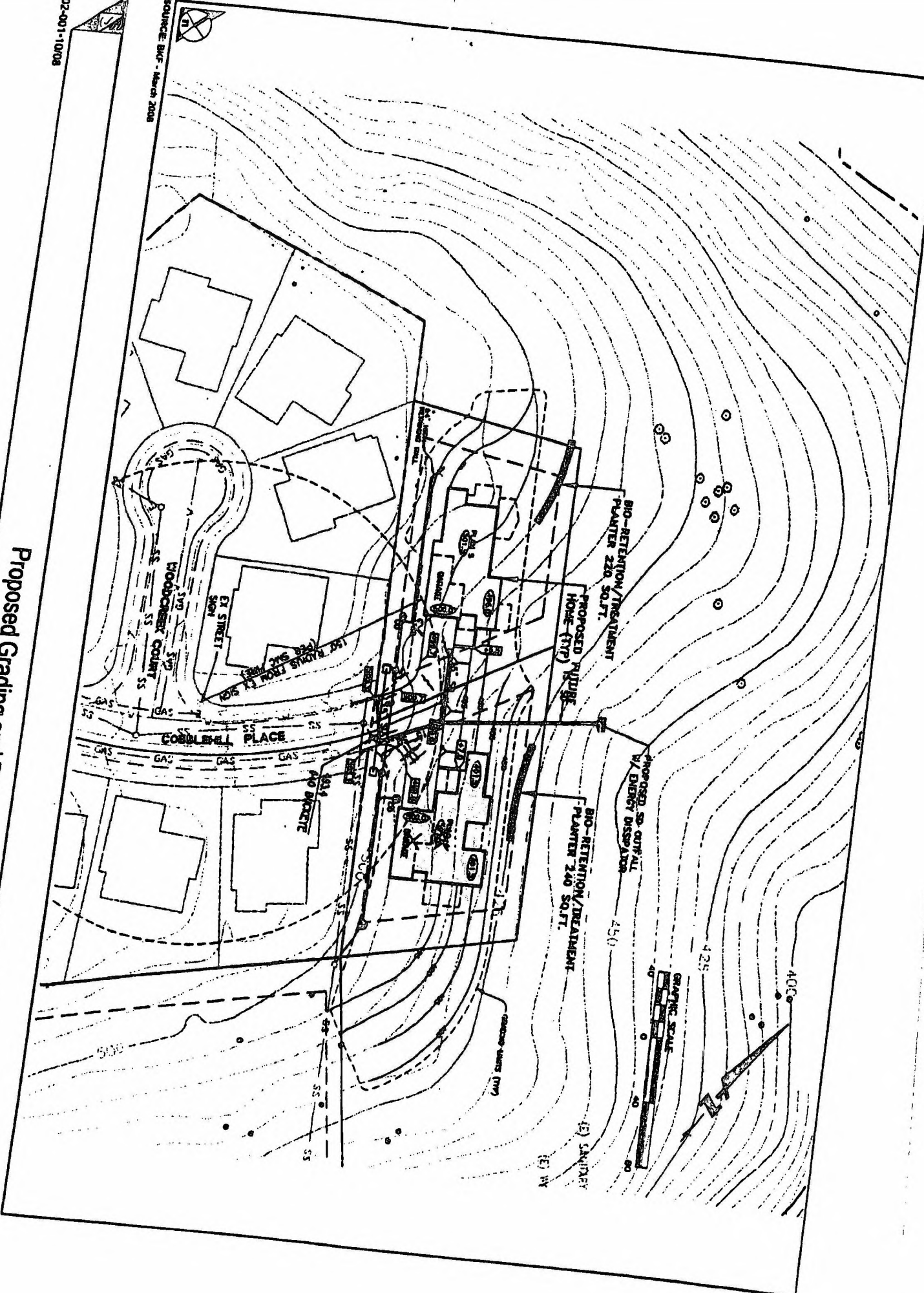
150' RADIUS FROM EX SIGN
(PER SMC FIRE)

LOT 11
PRELIMINARY GRADING & UTILITY PLAN
SCALE: 1"=40'

2)
2024
2021-2022-2023
949-788-7800

02-001-10/08

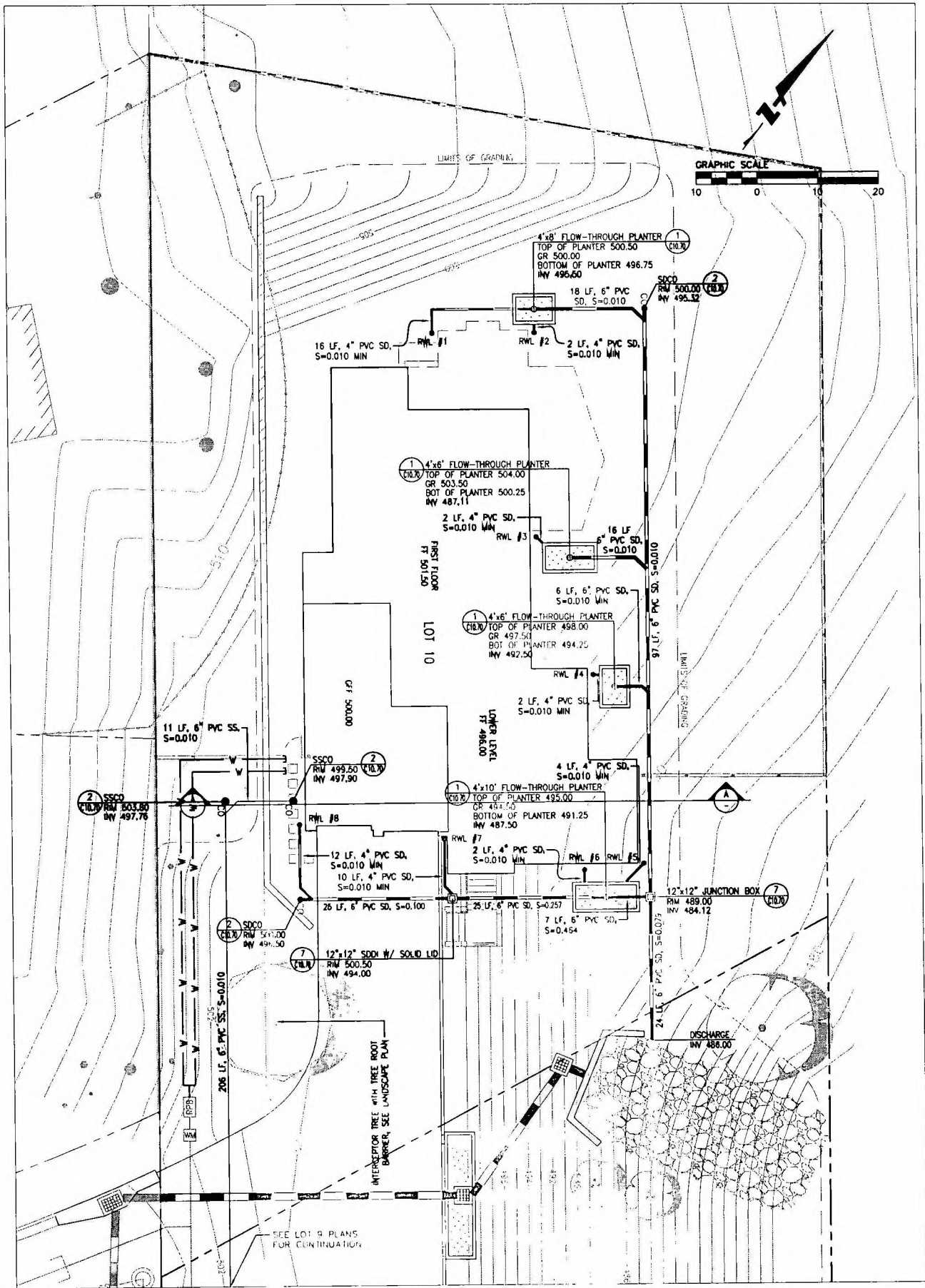
SOURCE: BKF - March 2008



Proposed Grading and Detention Plan, Lots 9 and 10 (Cobblehill Place)

FIGURE 3.0-16

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 PLOTTED BY: tong

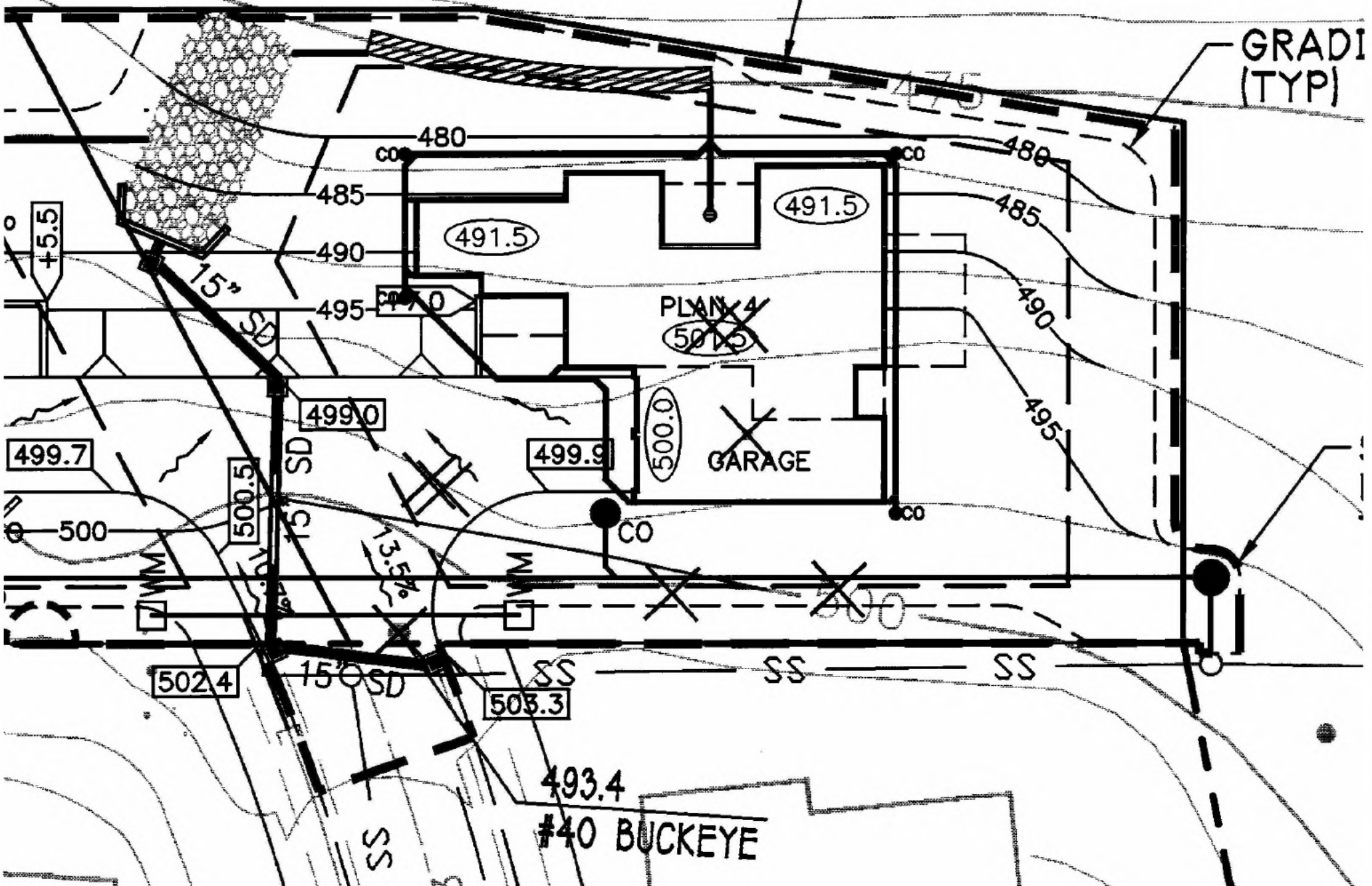


- NOT**
1. PE
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**LOT 10
 UTILITY PLAN**
 SCALE: 1"=10'

CONSTRUCTION/STAGING
AND GEOTECHNICAL BU

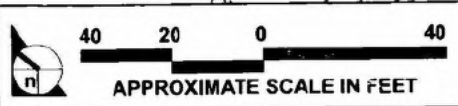
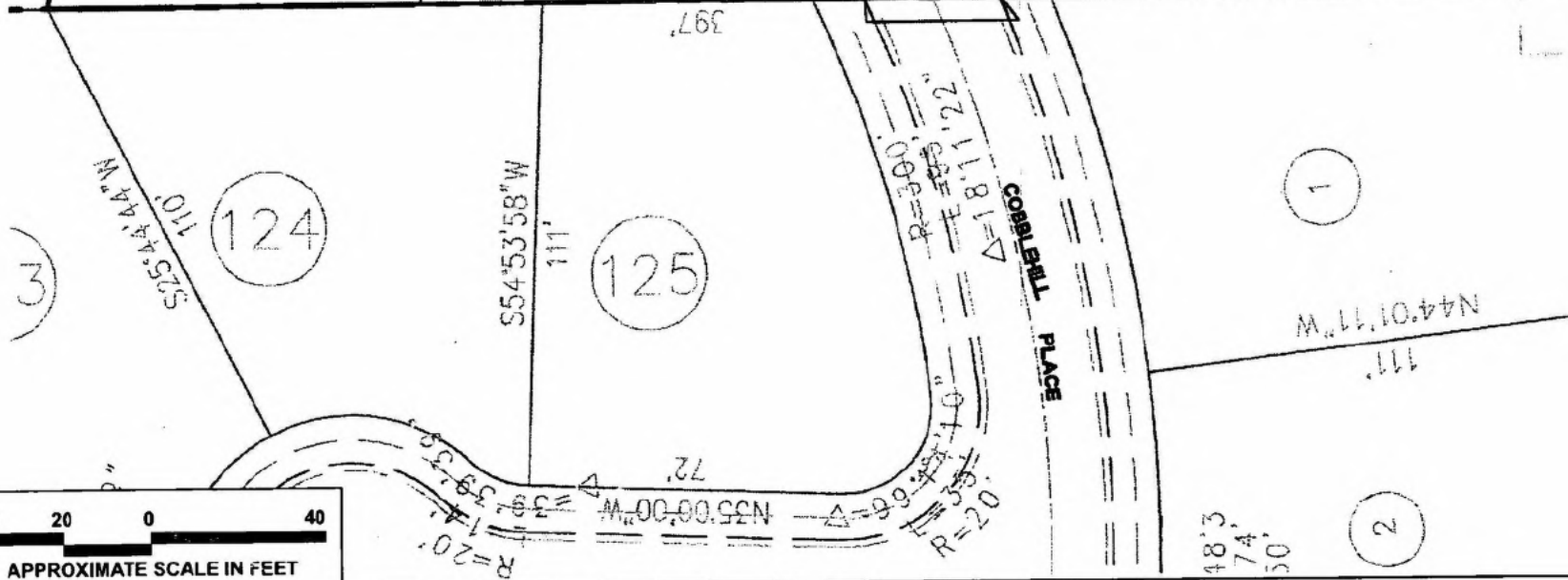
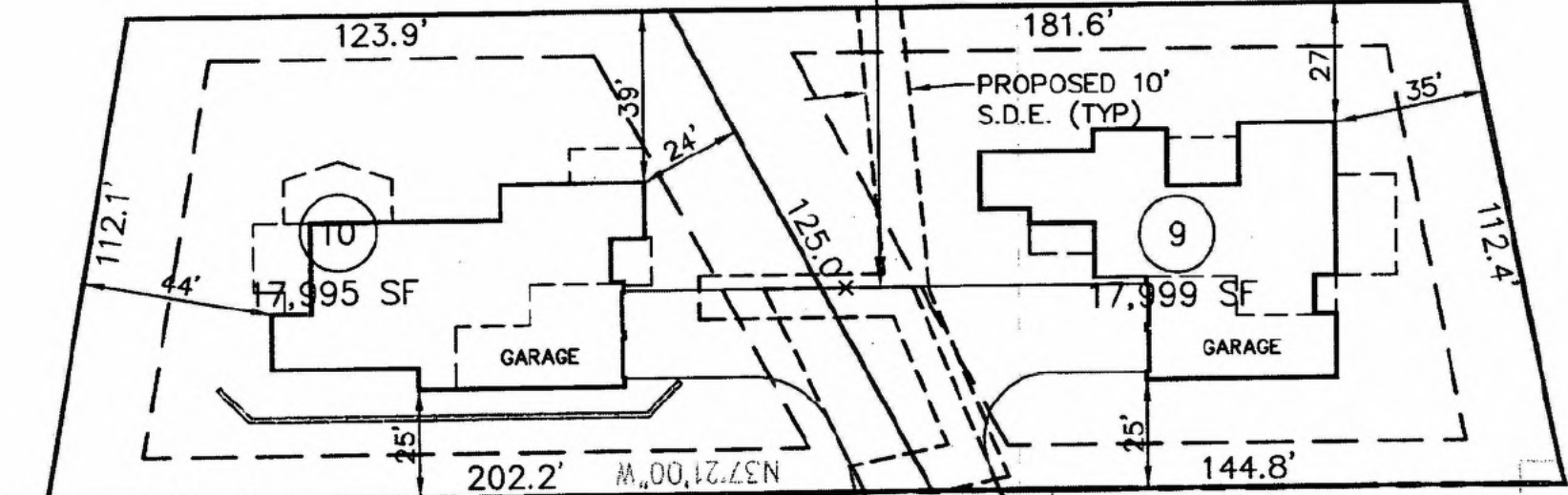
GRADI
(TYP)



493.4
#40 BUCKEYE

PROPOSED PRIVATE ACCESS
(INGRESS/EGRESS) EASEMENT
FOR THE BENEFIT OF LOT 9 & 10

PROPOSED 10'
S.D.E. (TYP)

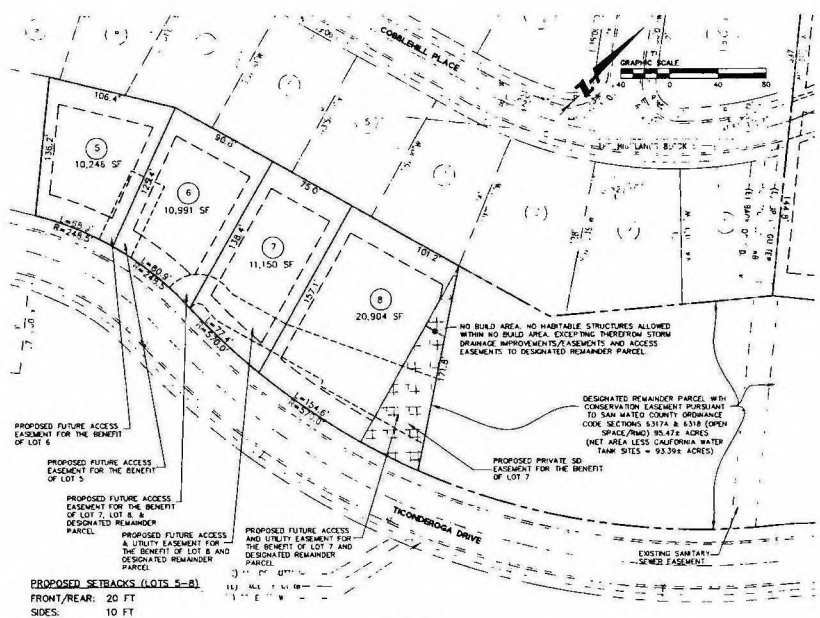


SOURCE: BKF - November 2008

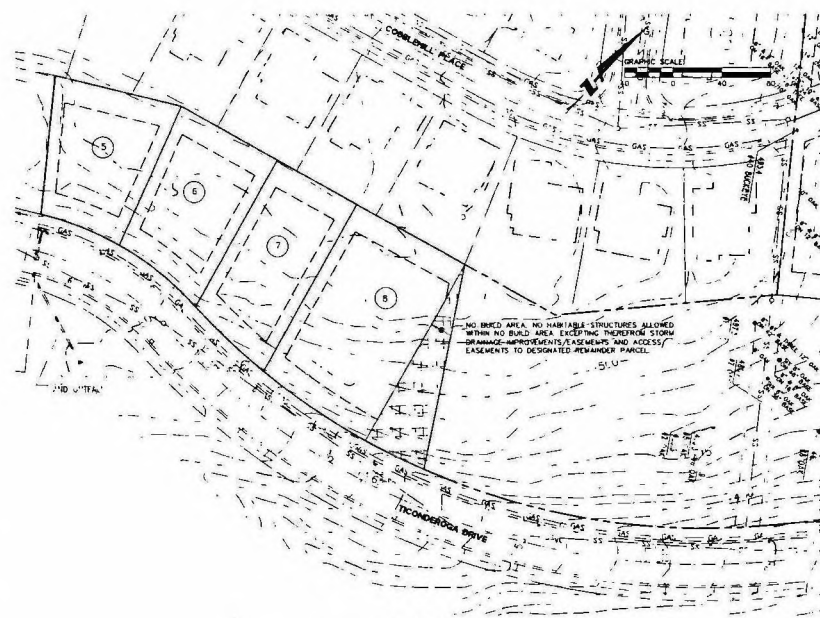
FIGURE 3.0-7

Proposed Lot Plan for Lots 9 and 10 (Cobblehill Place)

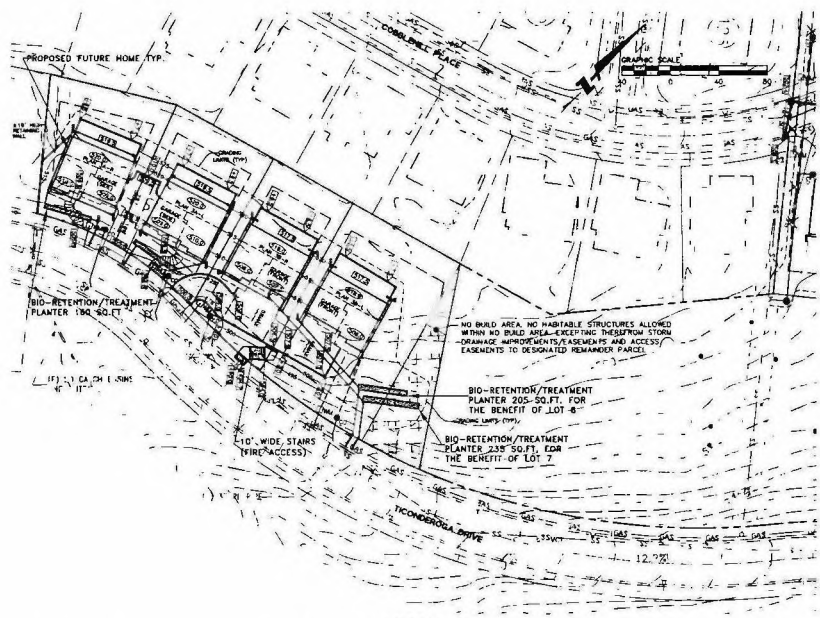
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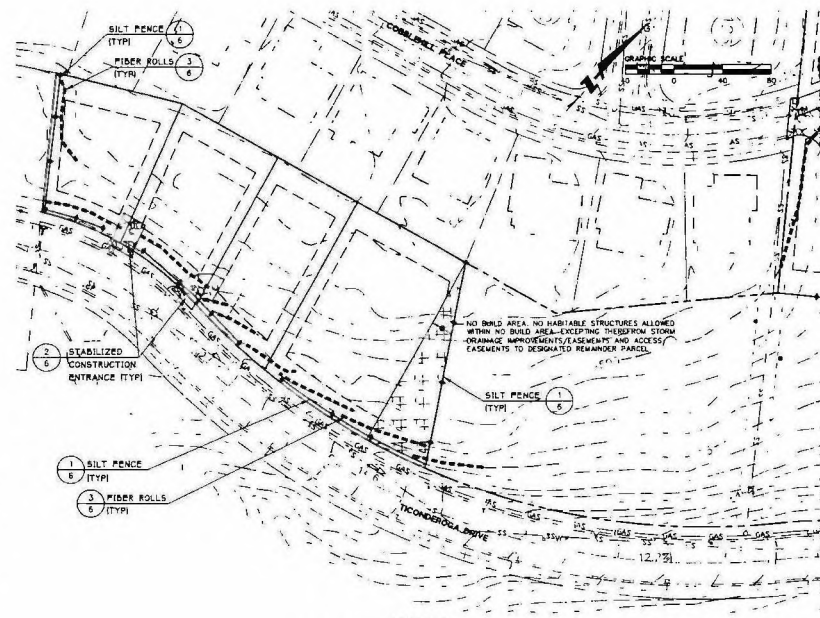
**LOTS 5-8
PROPOSED LOTTING PLAN**
SCALE: 1"=40'



**LOTS 5-8
EXISTING TOPOGRAPHY AND UTILITIES**
SCALE: 1"=40'

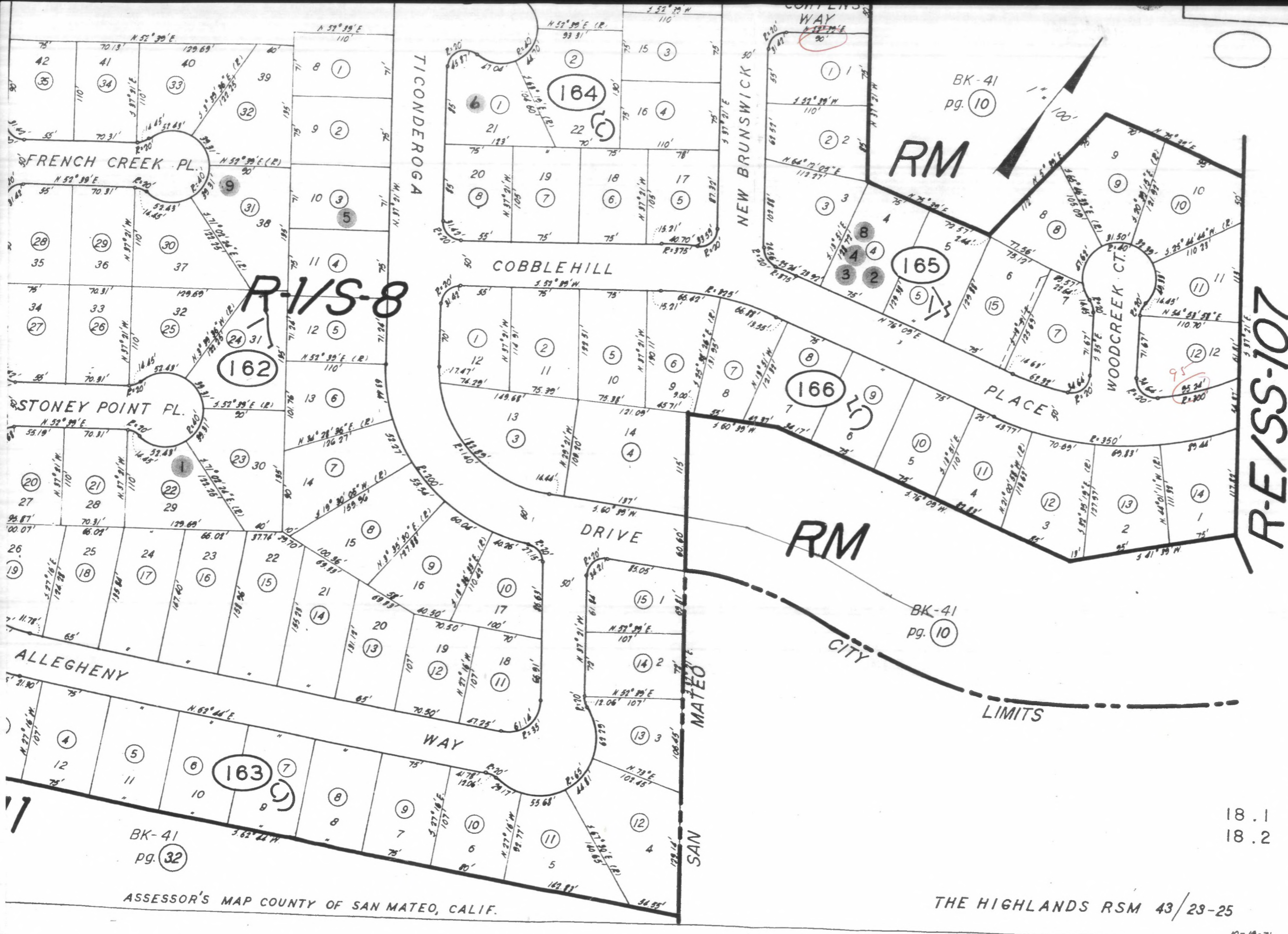


**LOTS 5-8
PRELIMINARY GRADING & UTILITY PLAN**
SCALE: 1"=40'



**LOTS 5-8
PRELIMINARY EROSION CONTROL PLAN**
SCALE: 1"=40'

VERIFY SCALES: SAN SHOWS 1/4" = 1' ON ORIGINAL DRAWING.
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



BK-41
pg. 32

ASSessor's MAP COUNTY OF SAN MATEO, CALIF.

BK-41
pg. 10

RM

RM

R-E/SS-107

BK-41
pg. 10

CITY
LIMITS

18.1
18.2

THE HIGHLANDS RSM 43/23-25

Assessor's Map
10/19/71

Proposed Rezoning of Areas Zoned RM to R-1/S-81, within boundaries of Lots 9 & 10

Proposed Rezoning from R-1/S-8 to RM



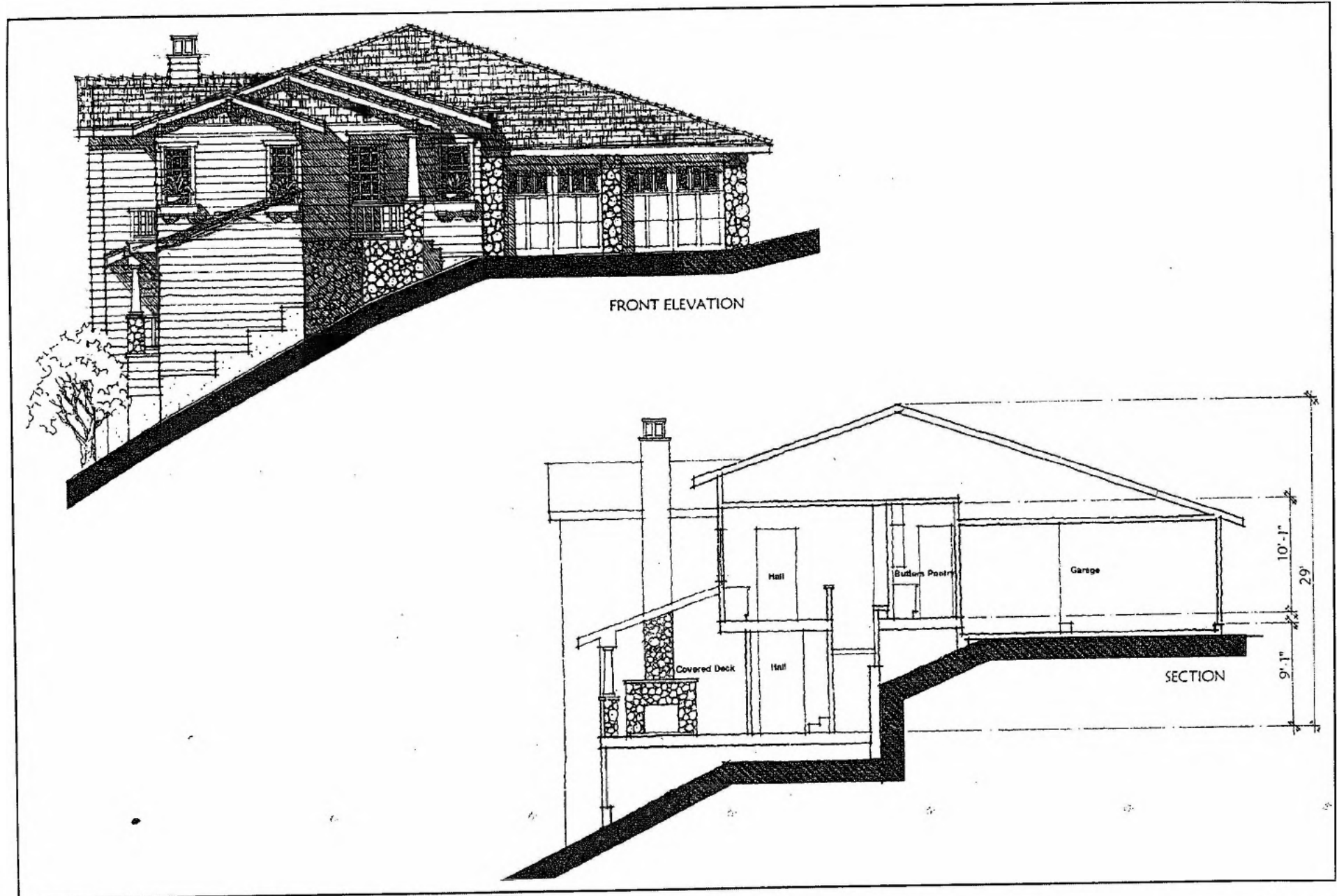
Lotline Adjustment

- Existing Lot line
- New Lot line

Proposed Zoning of Subdivision

- R-1/S-81
- RM
- RM (Open Space Parcel)

Proposed Rezoning, Lot Line Adjustment and Subdivision

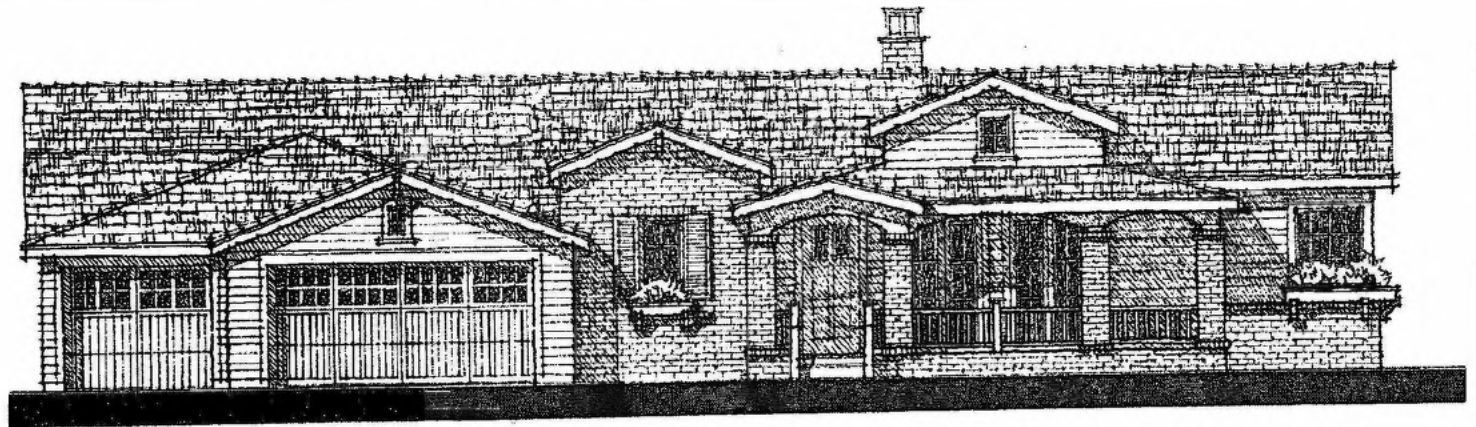


SOURCE: Mark Gross & Associates, Inc. - March 2008

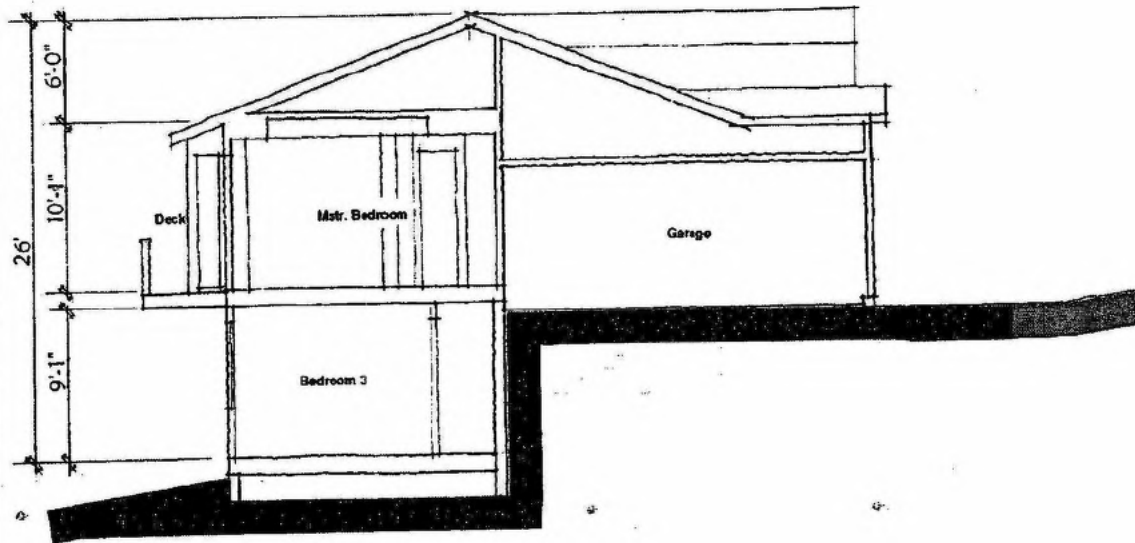
FIGURE 3.0-11

Conceptual Exterior Lot 9





FRONT ELEVATION



SECTION

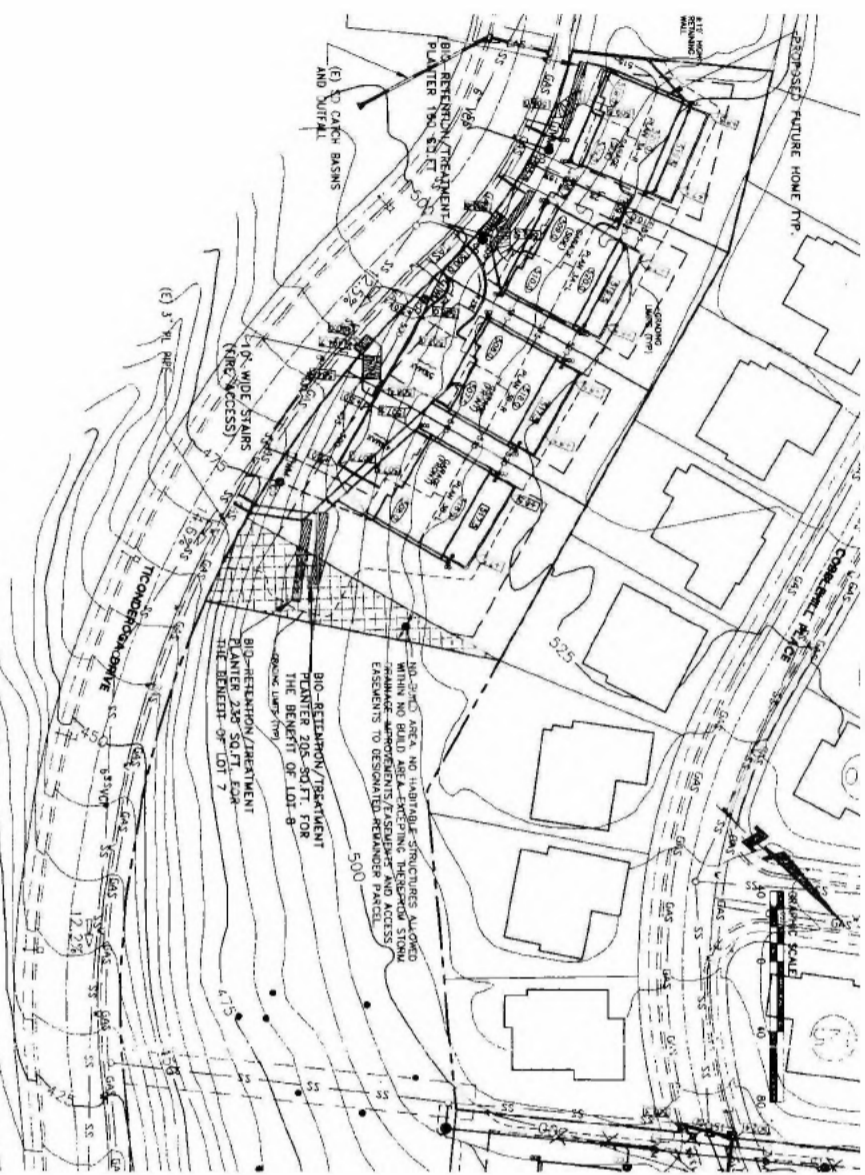
SOURCE: Mark Gross & Associates, Inc. - March 2008

FIGURE 3.0-13

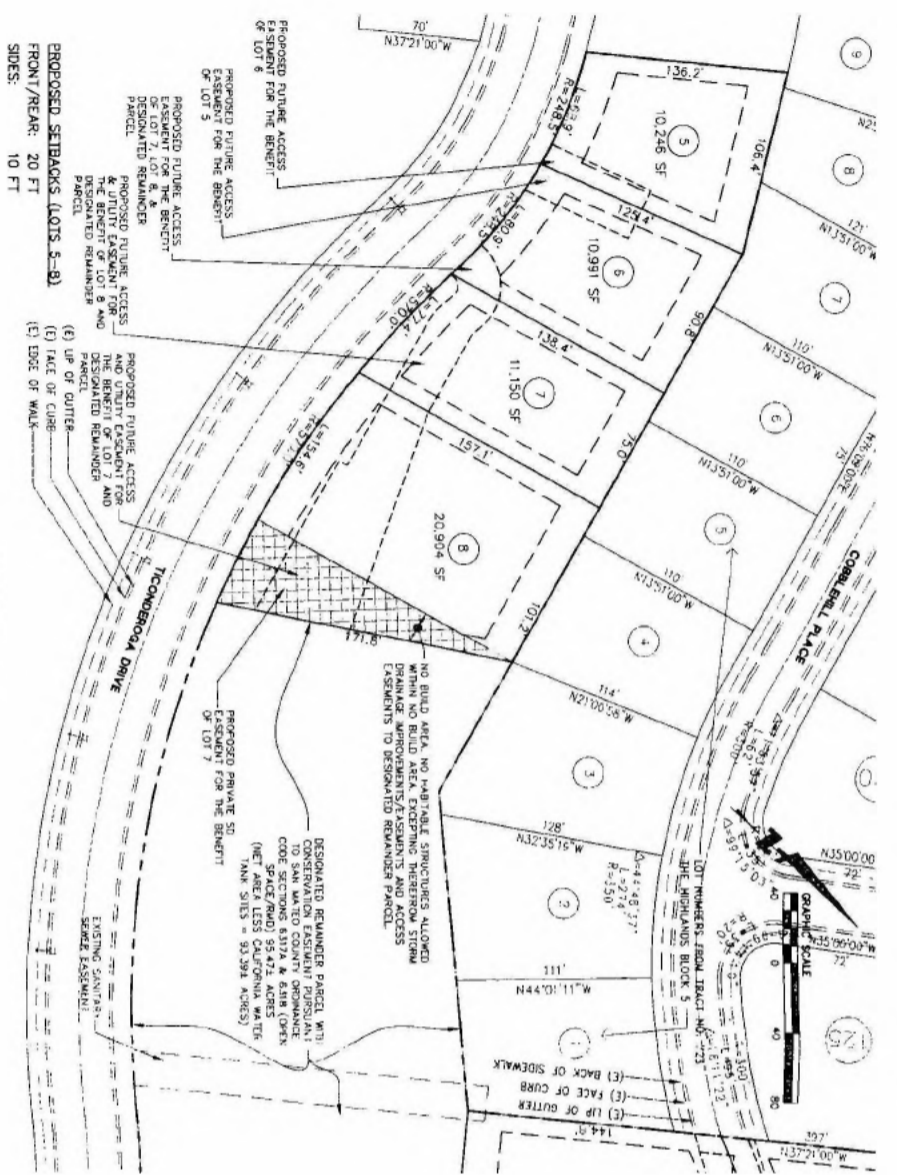
Conceptual Exterior Lot 11

COPY NOTES: THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.
 IT IS THE USER'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS.

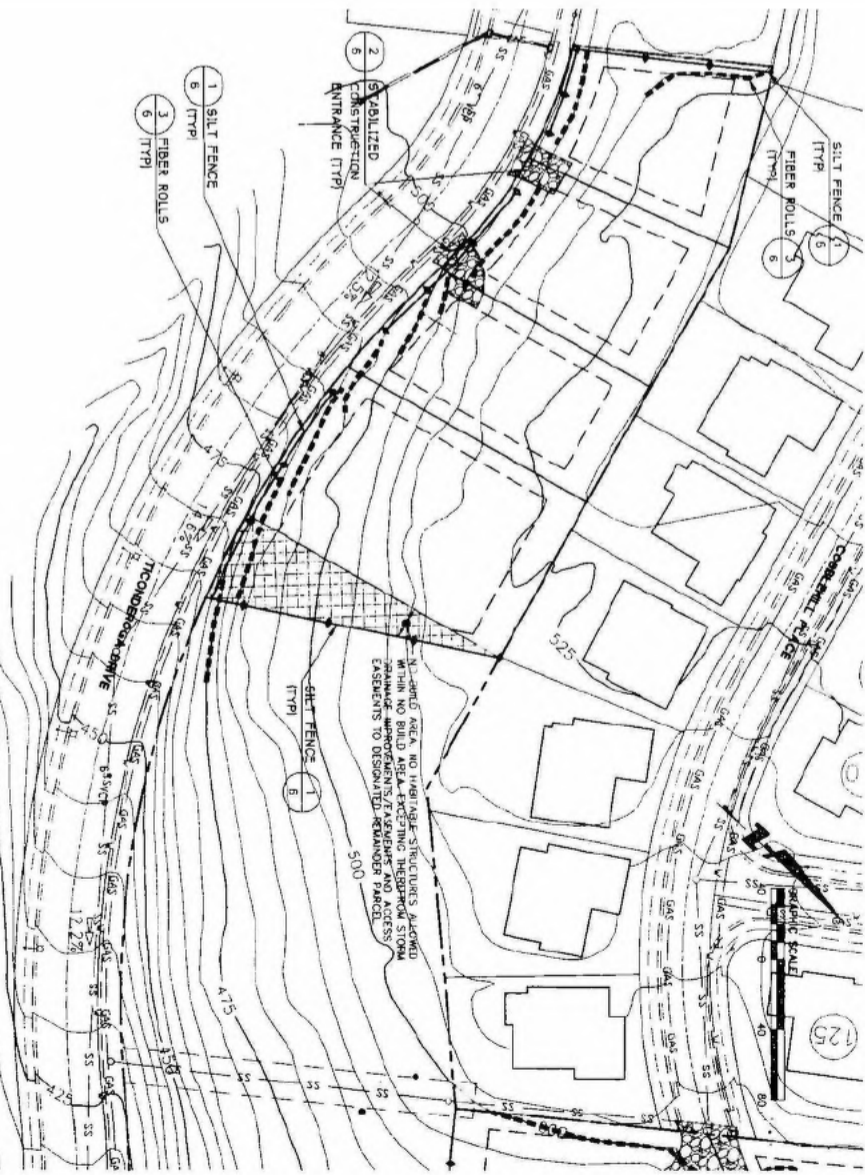
**LOTS 5-8
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



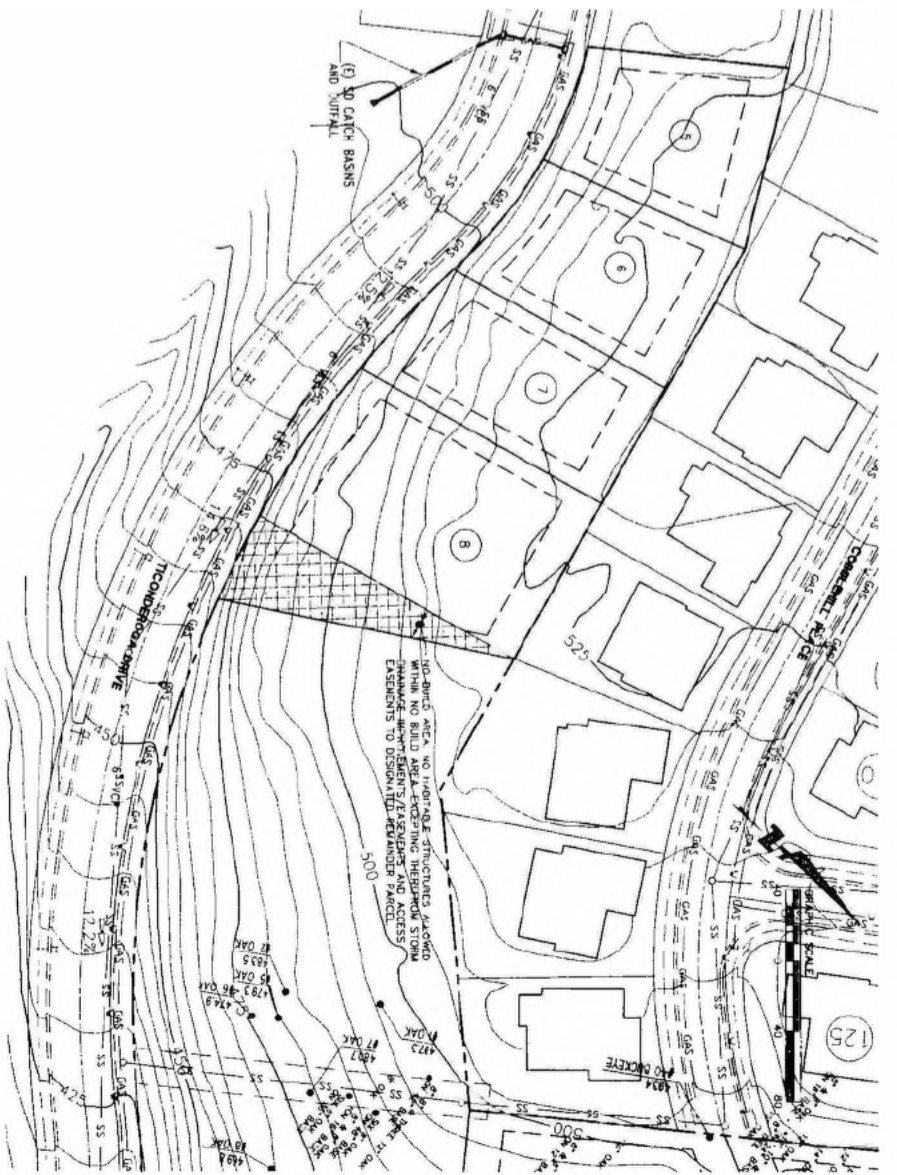
**LOTS 5-8
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'



**LOTS 5-8
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'



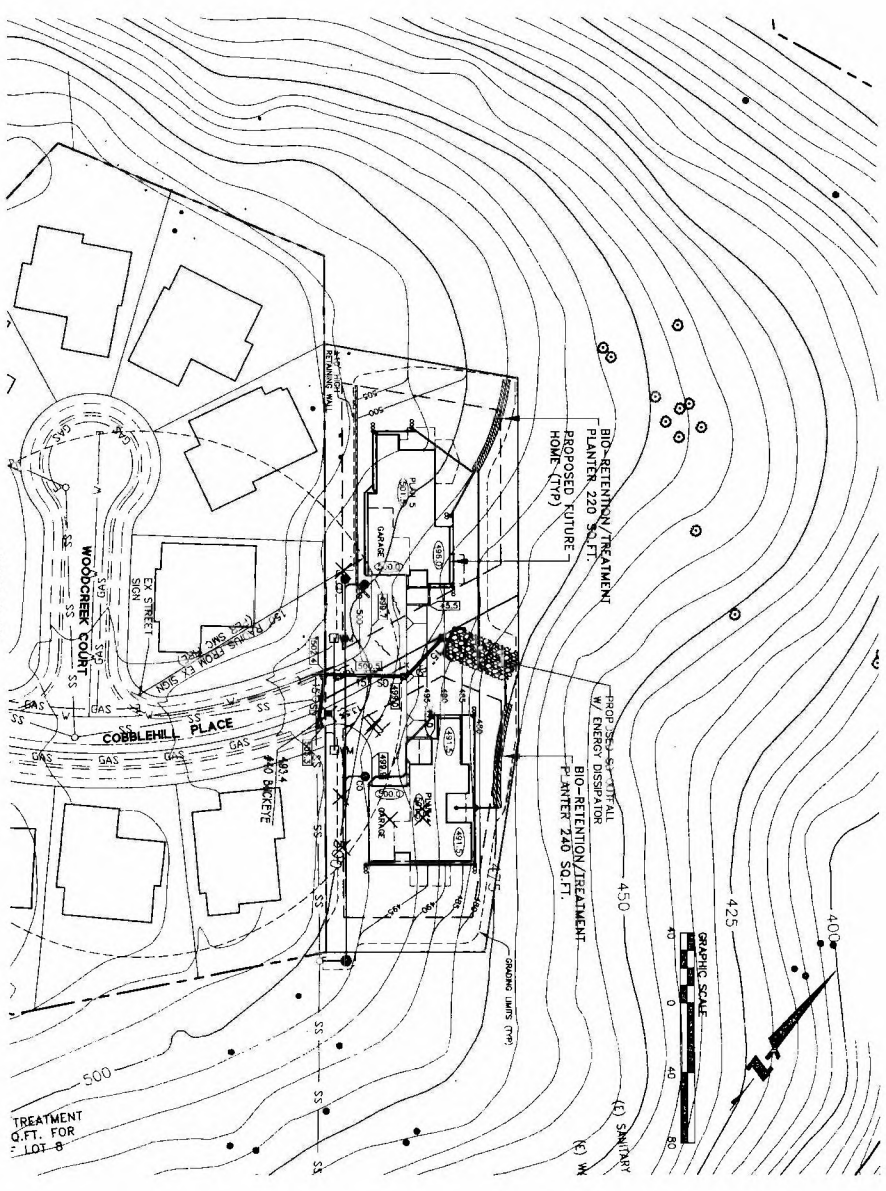
**LOTS 5-8
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'



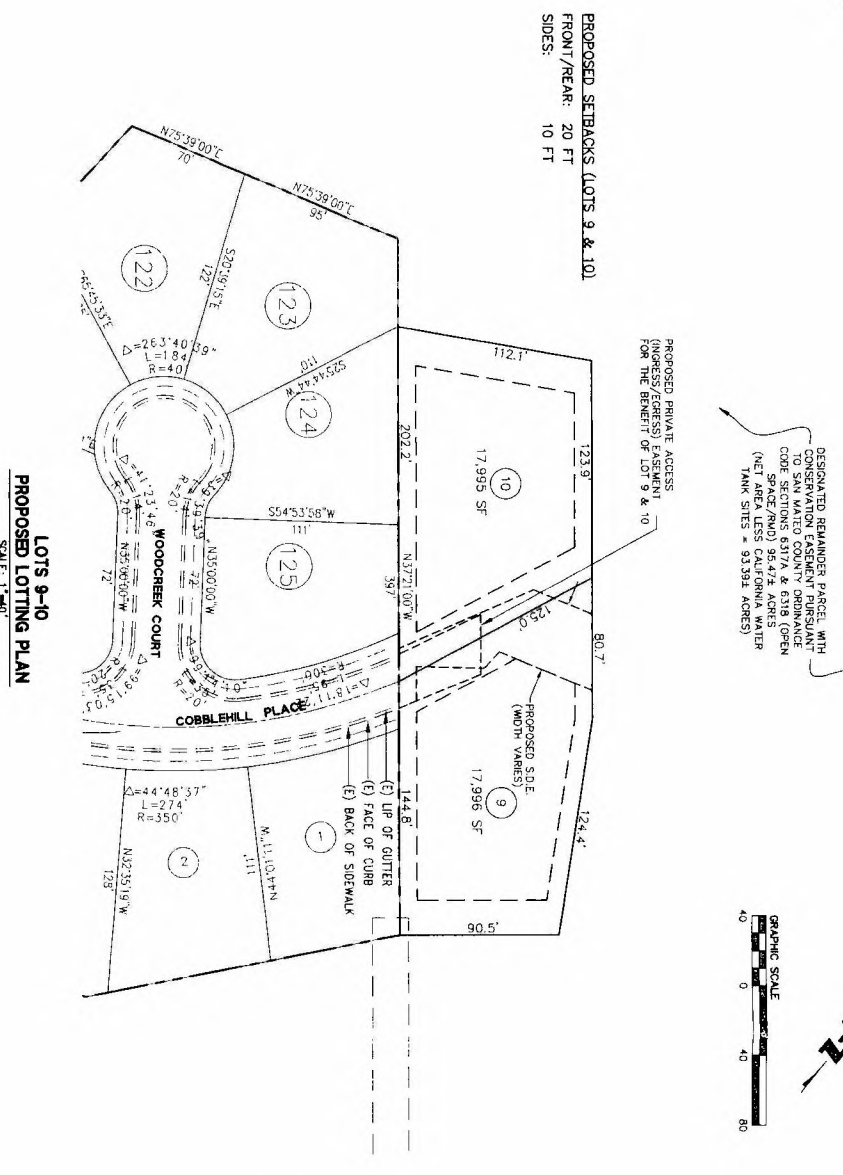
FEBRUARY 2, 2010

Drawn	03/25/10	No.	Revisions
Design	1"=40'		
Drawn	MD		
Approved	PH		
Job No.	950158		

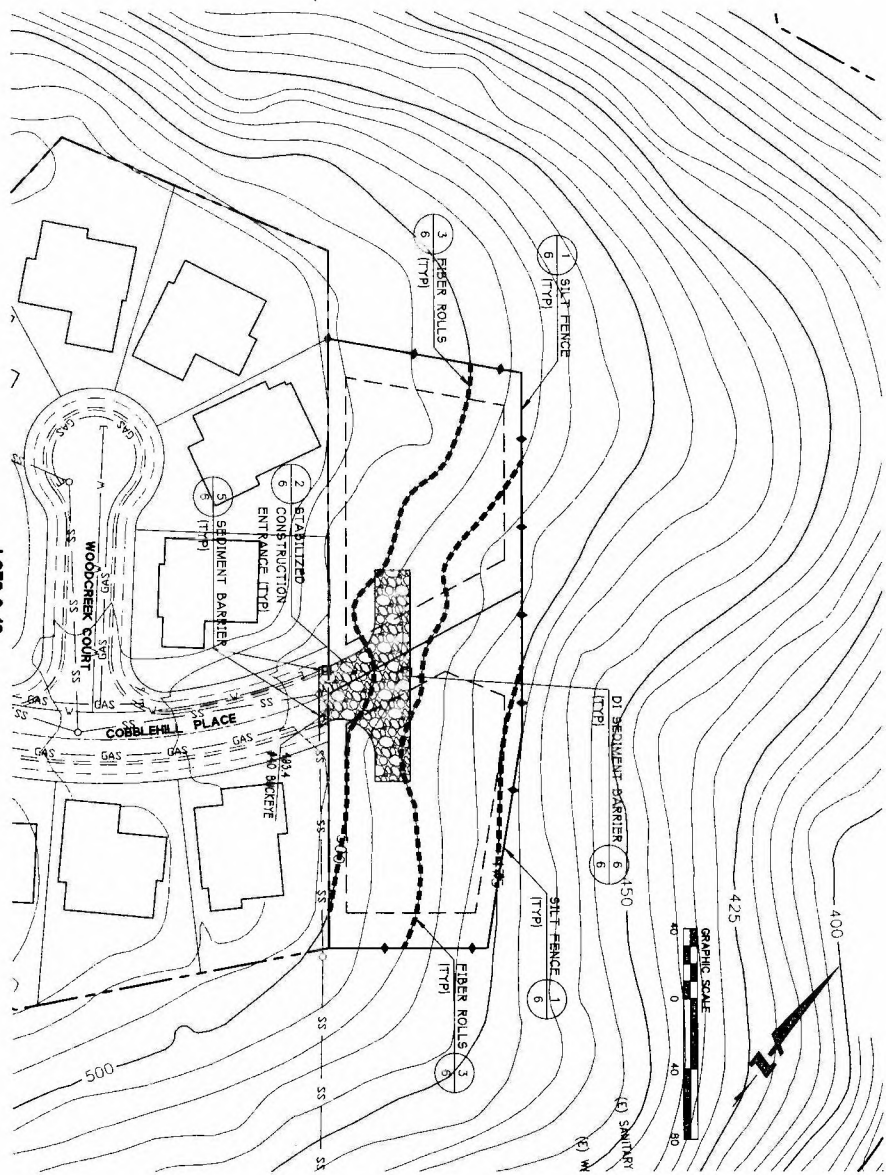
VERIFY SCALES. BAR SHOWN IS ONE INCH ON ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



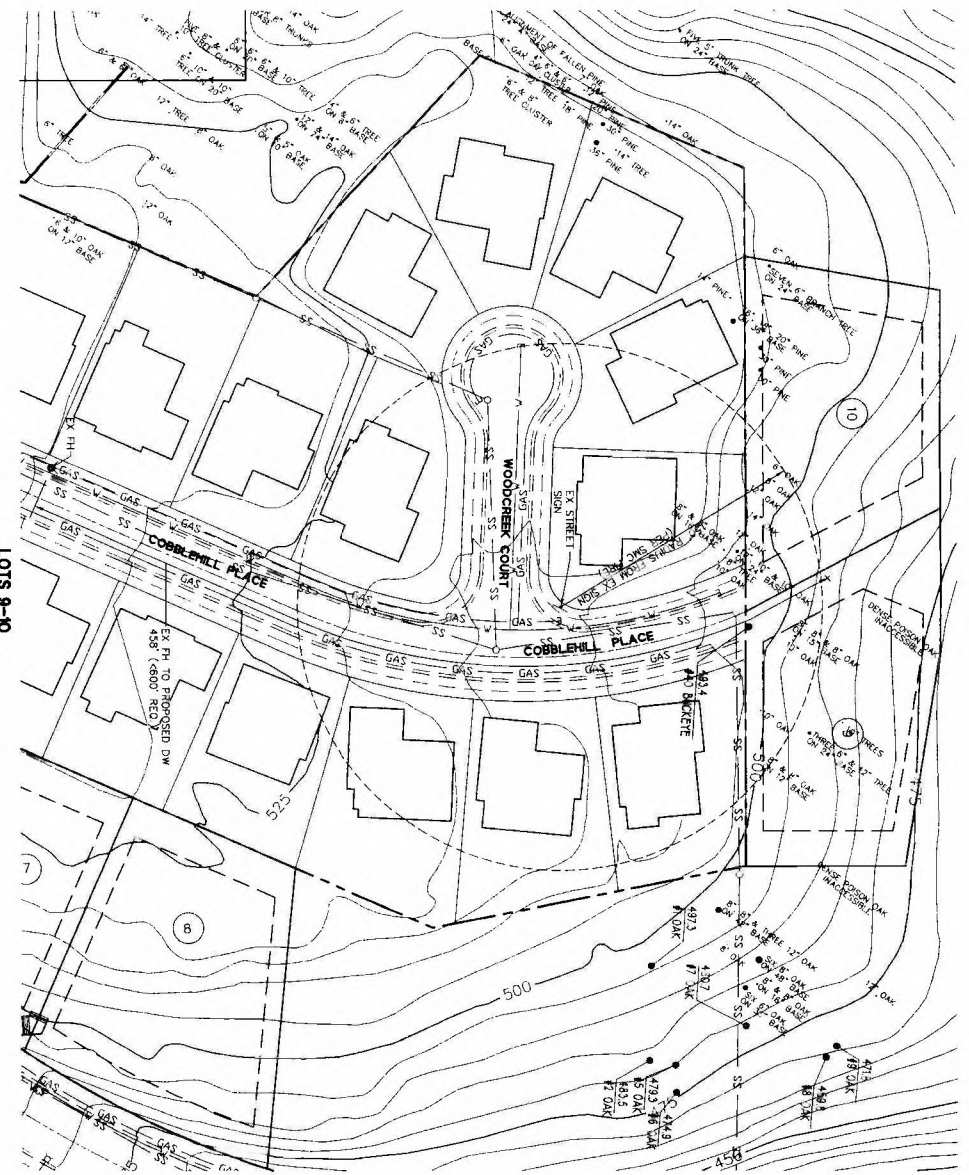
**LOTS 9-10
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



**LOTS 9-10
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'



**LOTS 9-10
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'




**LOTS 9-10
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'

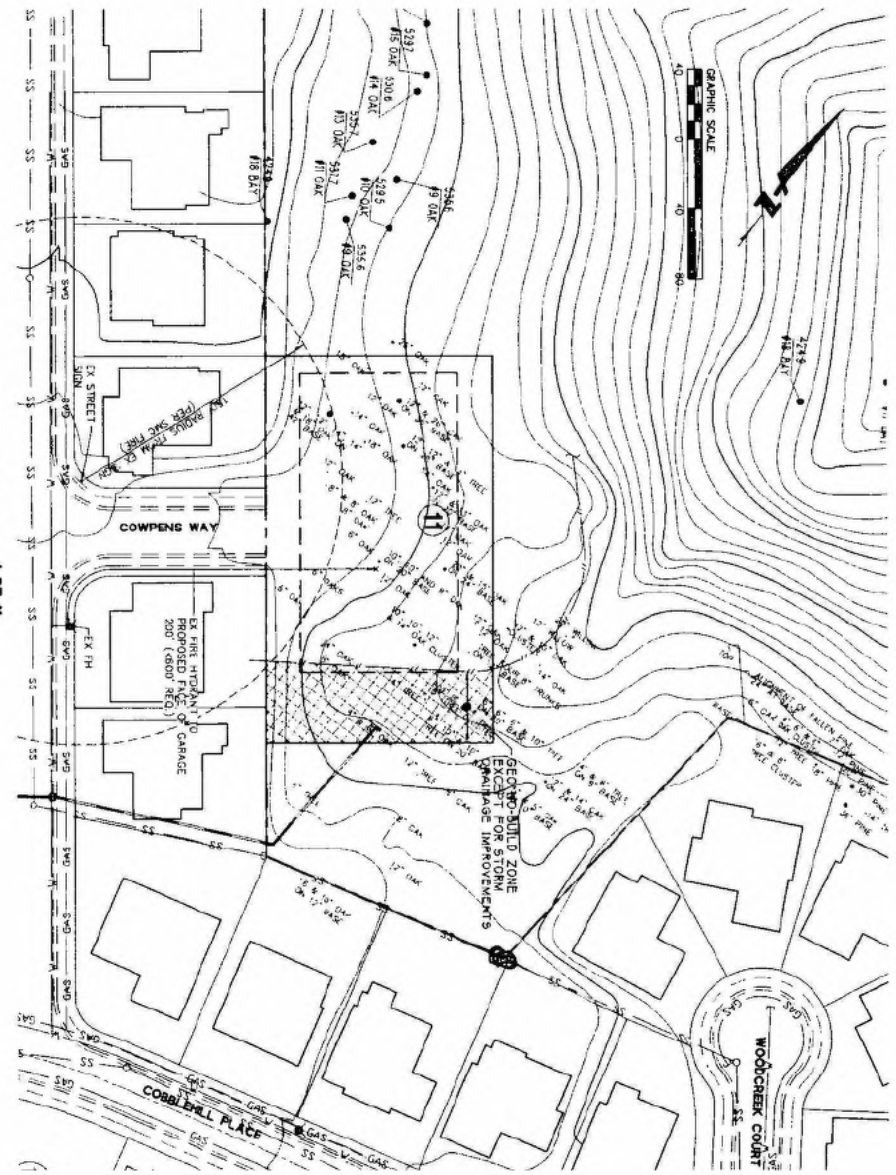
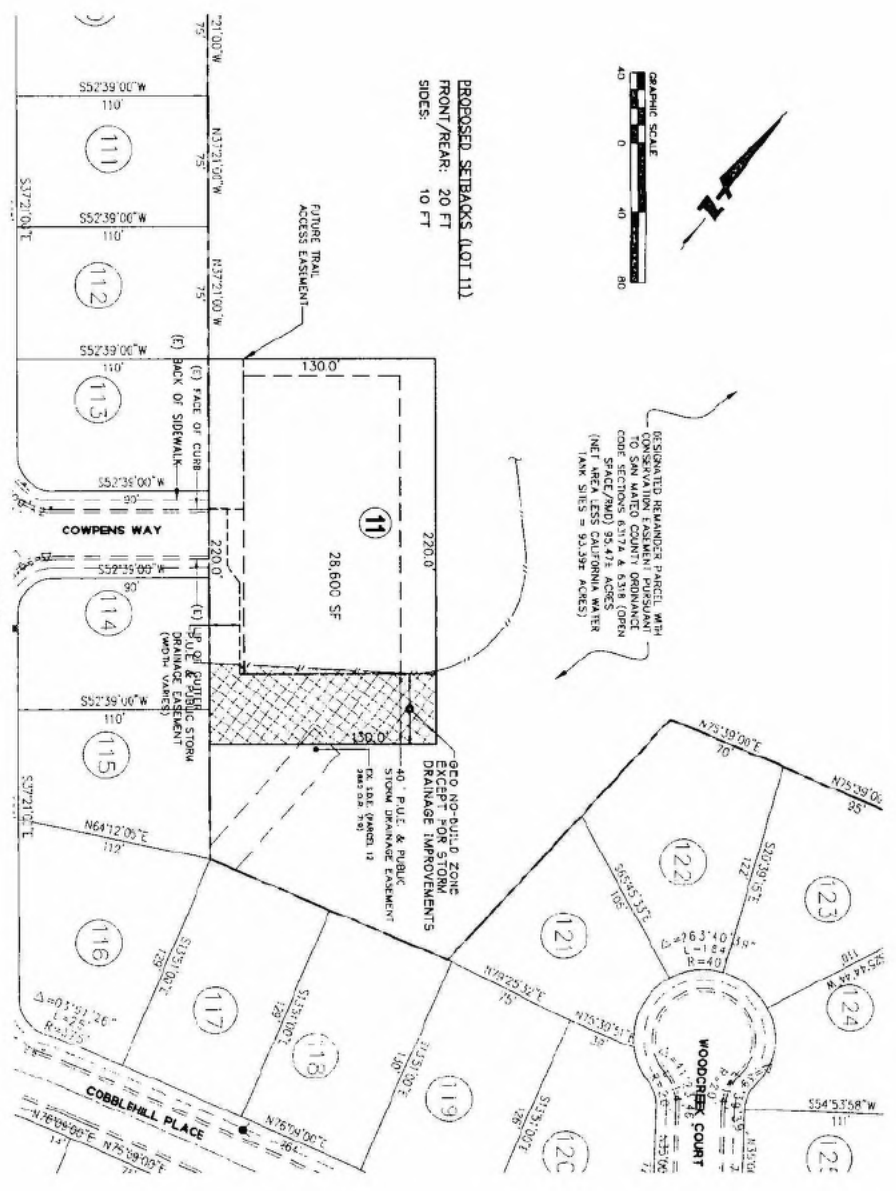
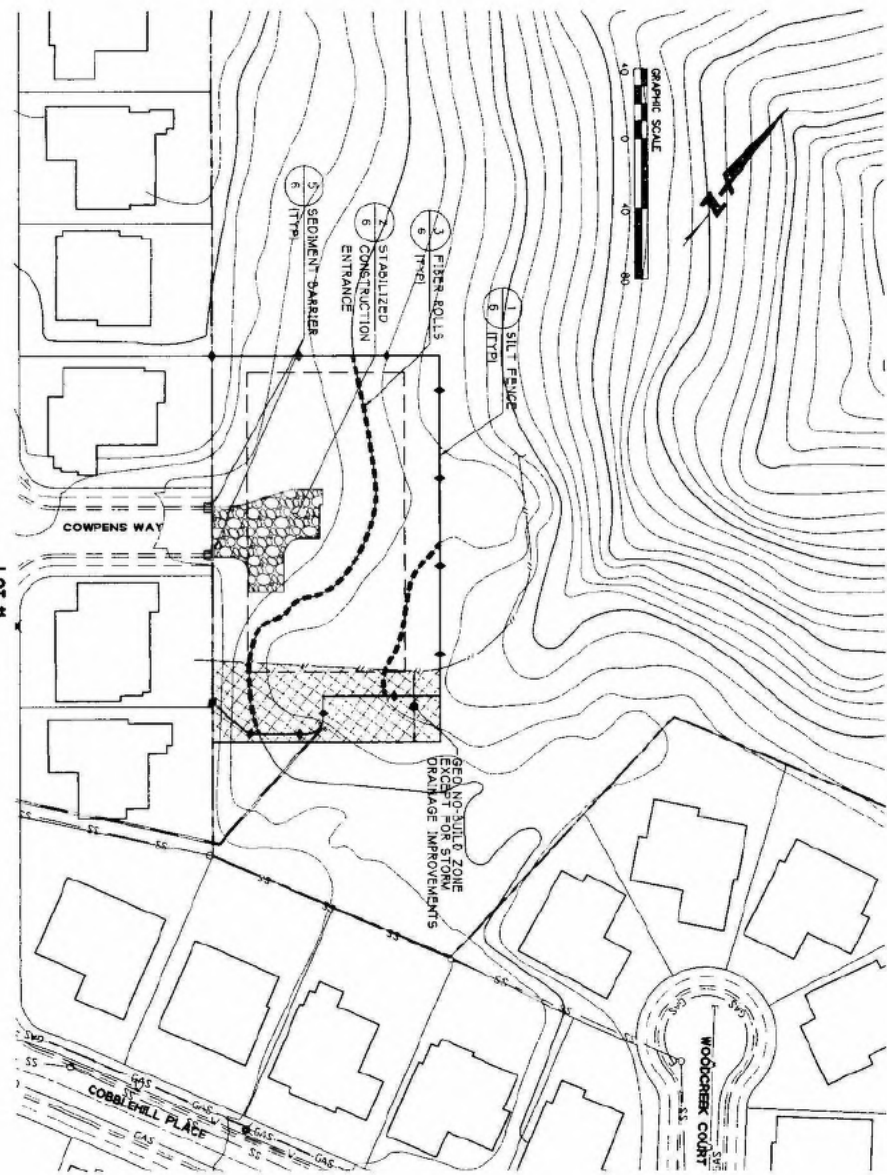
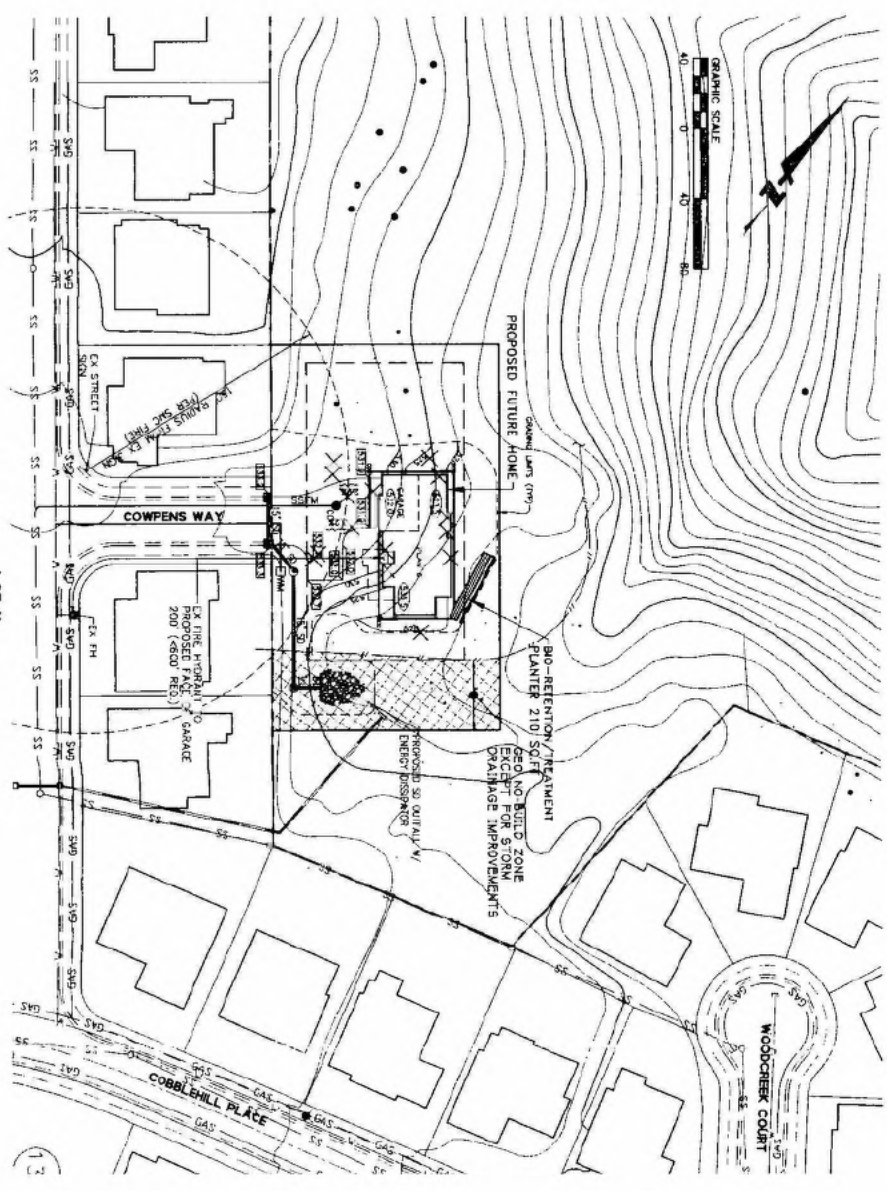
FEBRUARY 2, 2010

Revisions	No.	Date	By	Checked
	1	03/25/08	JT	MD
	2			
	3			
	4			

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 LOTS 9 THROUGH 10
 SAN MATEO COUNTY
 CALIFORNIA**


BKF
 ENGINEERS / SURVEYORS / PLANNERS
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

VERTICAL SCALES: 848 SHOWS 5' ON EACH ORIGINAL DRAWING.
 2 NOT ONE INCH ON THIS SHEET. ADJUST SCALES ACCORDINGLY.



FEBRUARY 2, 2010

No.	Revisions
5	
9	



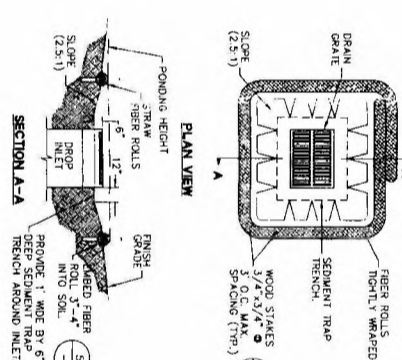
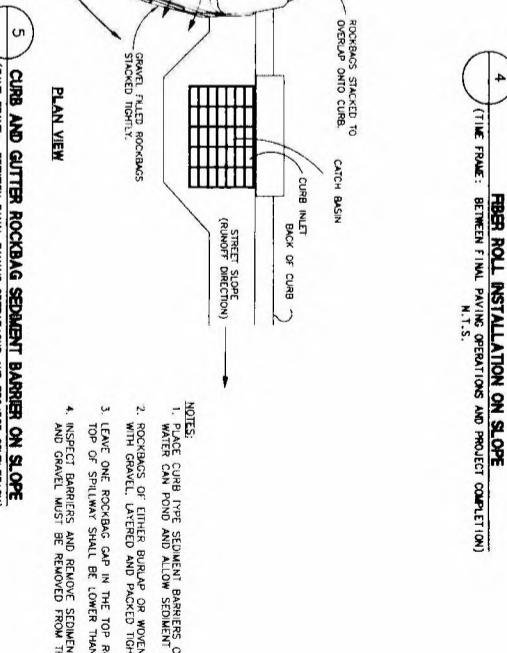
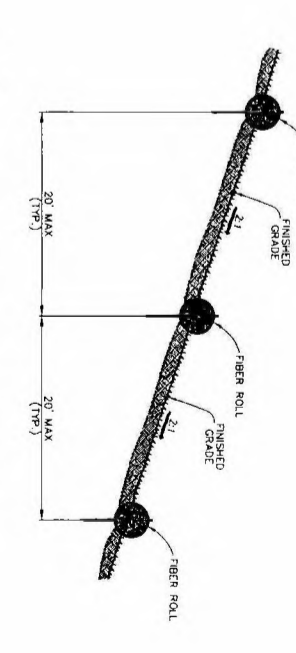
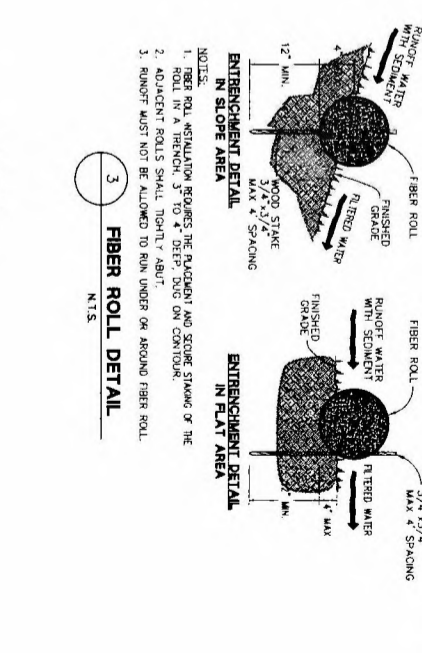
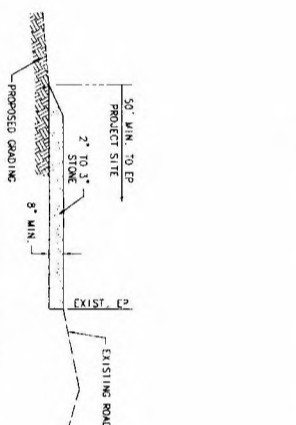
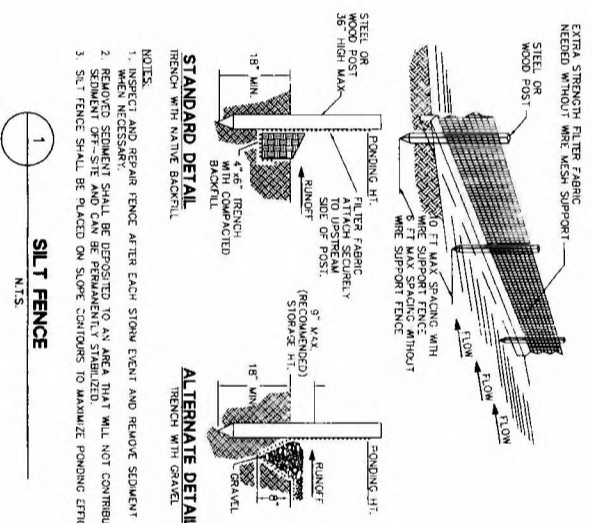
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

VERTICAL SCALE: BAR SCALE IS ONE INCH ON ORIGINAL DRAWING
 HORIZONTAL SCALE: BAR SCALE IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15 AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

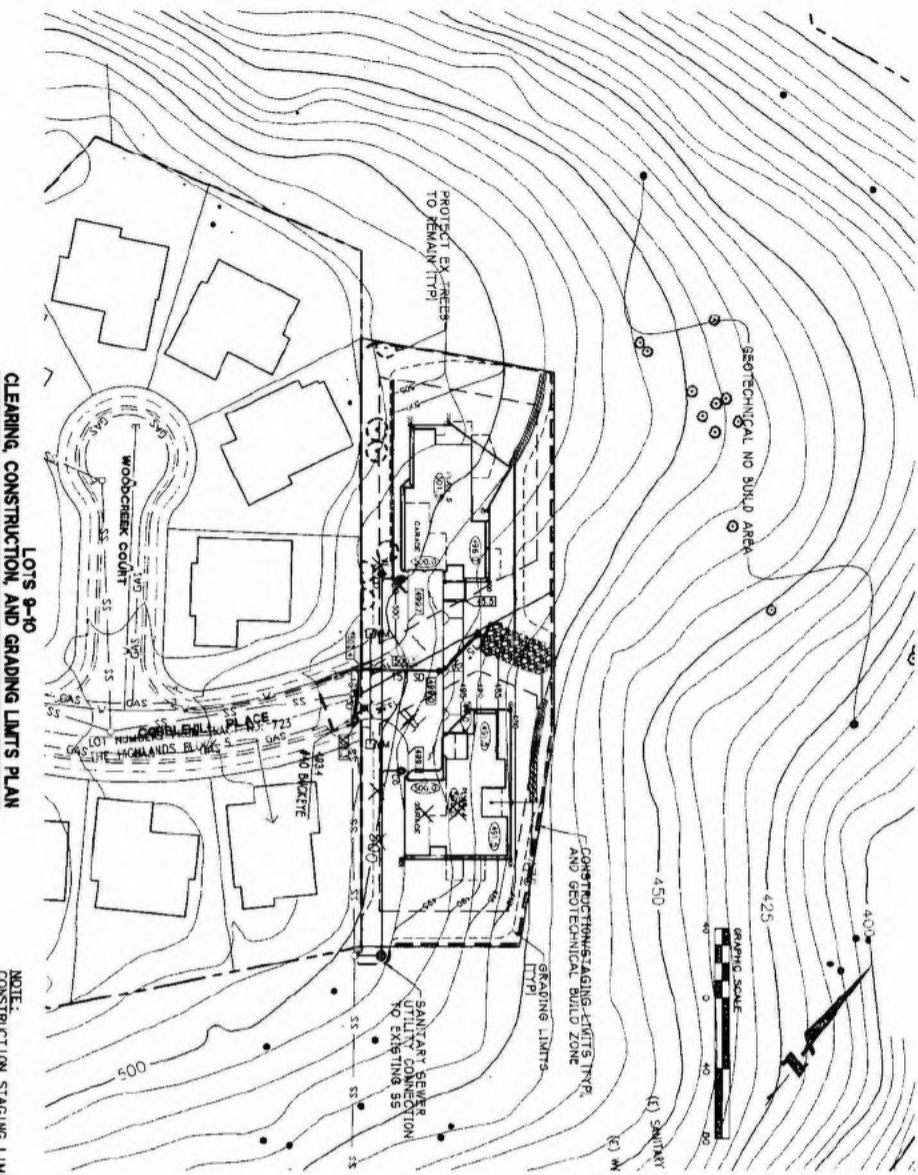
EROSION CONTROL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
2. ALTHOUGH SPECIFIC LOCATIONS FOR SEDIMENT CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS INTENDED THIS EROSION CONTROL PLAN AND THESE PLANS SHALL BE ADJUSTED AS LONG AS THE MINIMUM AREAS AND DEPTHS FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE INITIAL CONCEPT FOR INTERIM EROSION CONTROL. THE CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN AS NECESSARY TO REFLECT THE ACTUAL EFFECTIVENESS OF THE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
4. THIS PLAN WILL COVER ALL THE SITUATIONS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
6. BEST MANAGEMENT PRACTICES AS DEFINED IN THE SWPPP SHALL BE OPERABLE AT ALL TIMES.
7. DURING THE RAIN SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF DEBRIS AND OTHER MATERIALS THAT MAY CAUSE CLOGGING OF DRAINAGE SYSTEMS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
8. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED DURING THE RAIN SEASON. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
9. BARRIERS AND TEMPORARY STOPPLES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES (FIBER ROLLS, SILT FENCES, ETC.) OR COVERED WITH VISCOUS TO ENSURE SLOPES DO NOT LEAVE THE SITE OR ENTER THE STORM DRAIN SYSTEM.
10. ALL TRACK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
11. DURING PERIODS WHEN STORMS ARE FORECAST - (BETWEEN OCT 15 - APR 15)
 - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
 - C. WHERE STORAGE IS NECESSARY, USE A TARPULIN OR SURROUND THE STOCKPILED MATERIAL WITH STRAW BALE SILT FENCE, OR OTHER RUNOFF CONTROL MEASURES (E.G. FILTER MAT) FOR STORM DRAINAGE ADJACENT TO THE STOCKPILED SOIL.
 - D. USE INLET CONTROLS (E.G. FILTER MAT) FOR STORM DRAINAGE ADJACENT TO THE STOCKPILED SOIL.
 - E. TEMPORARY SWEEP ALL PAVED AREAS EXPOSED TO SOIL EXPOSURE AND FRESHEN.
12. IF NO WORK HAS PROCEEDED FOR A PERIOD OF 6 WEEKS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
13. EROSION CONTROL MEASURES SHALL BE INSPECTED AFTER EACH SIGNIFICANT RAINFALL EVENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
14. PAVED AREAS SHALL BE GRADED TO MAINTAIN STANDING WATER TO SPECIFIC ACCEPTABLE DEPTHS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
15. STOCKPILED SOILS SHALL BE COVERED WITH VISCOUS TO PREVENT SOIL FROM ENTERING THE PIPE.
16. HAIL BARRIERS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MAINTAIN EROSION RELATED TO HAIL BARRIERS.
17. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MATERIAL IS STOCKPILED, IT SHALL BE SURROUNDED BY A SILT FENCE/TIER ROLLS.
18. TEMPORARY AND PERMANENT SLOPES GREATER THAN 3 FEET SHALL BE REVEGETATED WITH APPROPRIATE MEASURES AS USED BETWEEN OCTOBER 15 AND APRIL 15. OPEN SPACE AREAS ARE TO BE PLANTED BY SEPTEMBER 15. IF THESE CONDITIONS ARE NOT MET, THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO SAN MATEO COUNTY PUBLIC WORKS FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EROSION CONTROL MEASURES TO PREVENT STORMWATER POLLUTION FROM THE CONSTRUCTION SITE.
20. GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO SAN MATEO COUNTY PUBLIC WORKS BY AUGUST 15.
21. SEED MIX FOR REVEGETATION AND HYDROSEEDING: NORTHERN CALIFORNIA COVER MIX BY AGRIBRIGHT OR EQUAL.
 30% BLUE WILDMIRE
 30% WADLOW BALE
 30% BIRDSEED
 10% PAPERBELLER GRASS
 10% CALIFORNIA NATIVE WILDFLOWERS
 APPLY AT 40 POUNDS PER ACRE MINIMUM
22. THE NAME, ADDRESS, AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
23. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN, OR ANY OTHER WATER THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE CIVIL ENGINEER AT (650) 482-6300 FOR SUFFICIENT EXPLANATIONS AS MAY BE NECESSARY.



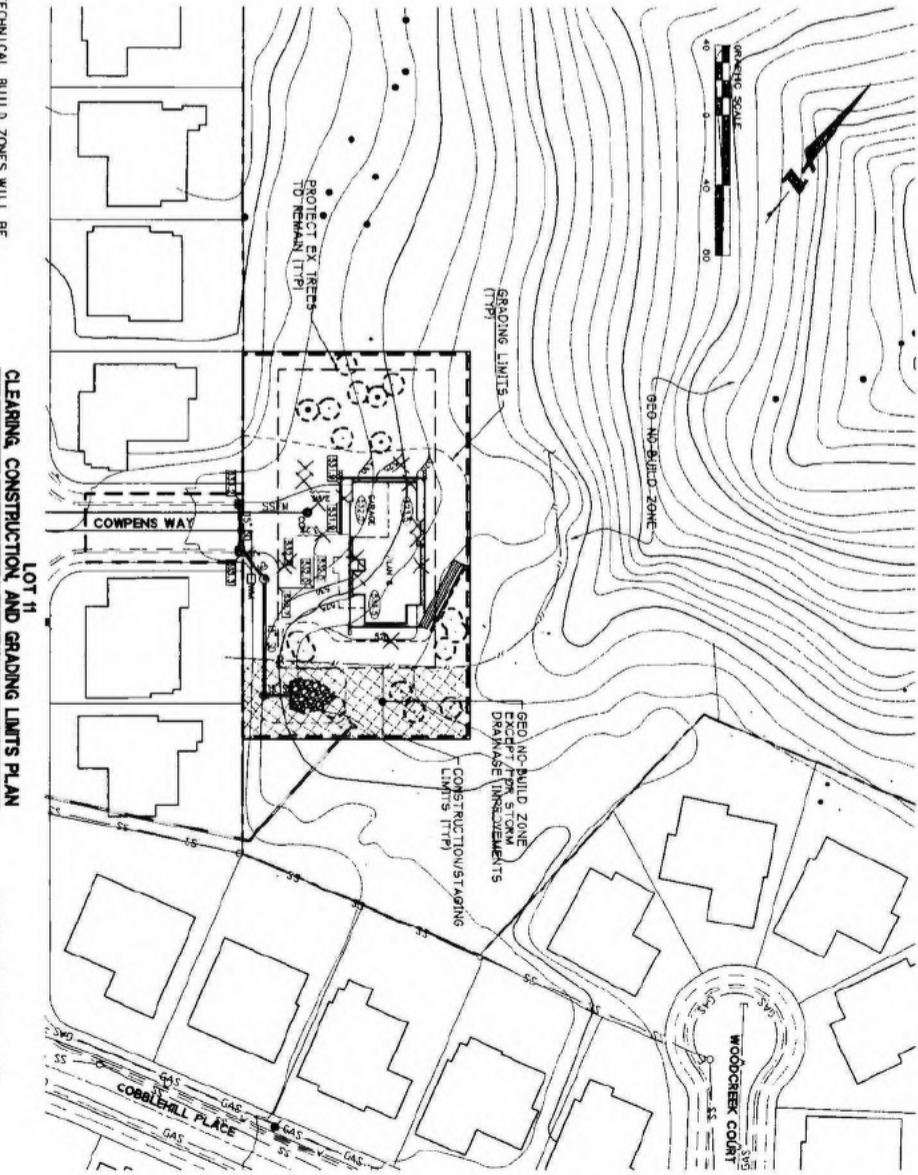
No.	Revisions

DATE: 02/03/10
 SCALE: 1"=40'
 NOT TO BE USED FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER



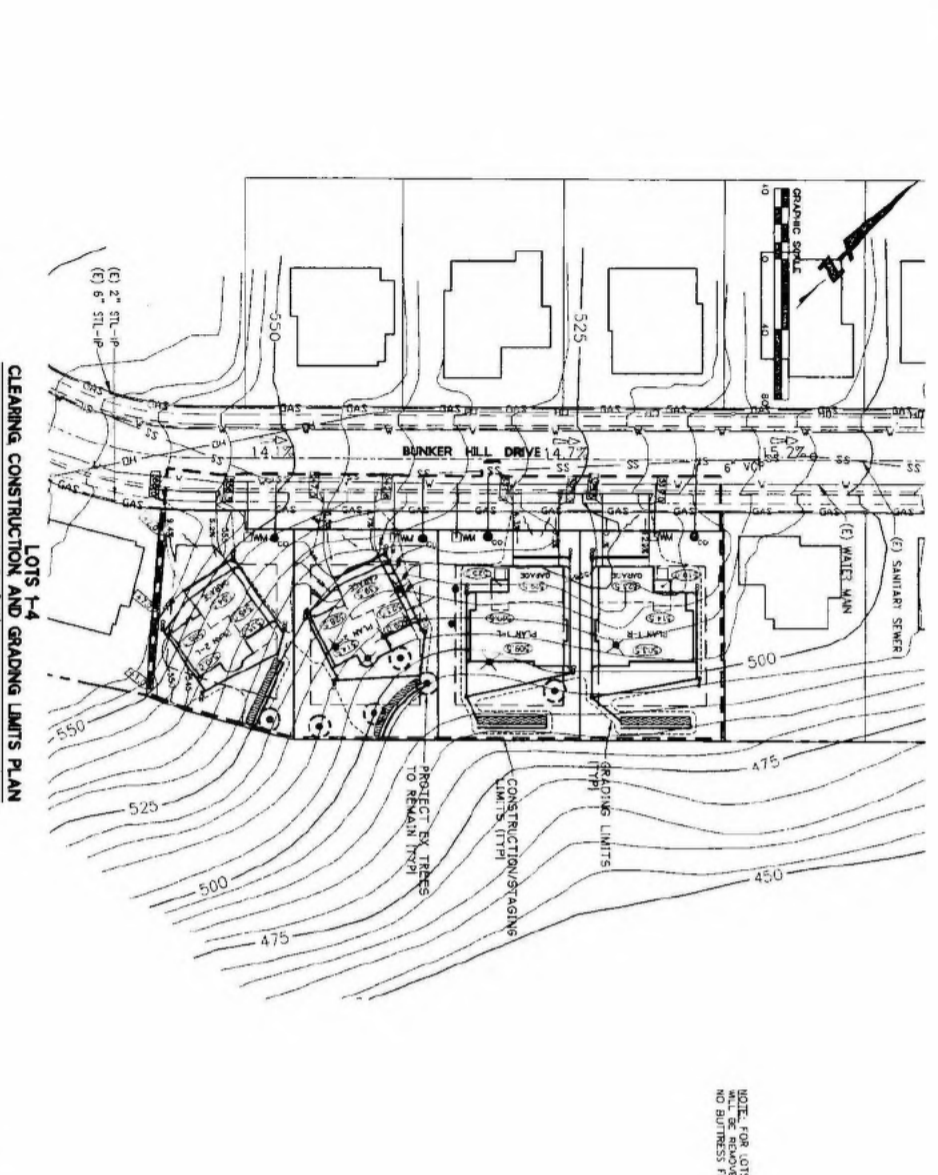
LOTS 9-10
CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN
 SCALE: 1"=40'

NOTE: CONSTRUCTION STAGING LIMITS AND GEOTECHNICAL BUILD ZONES WILL BE DEPENDENT ON FIELD AND GEOTECHNICAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE ZONES/LIMITS SHOWN ON THIS PLAN REPRESENT THE ANTICIPATED AREAS NEEDED FOR CONSTRUCTION AT THIS TIME.



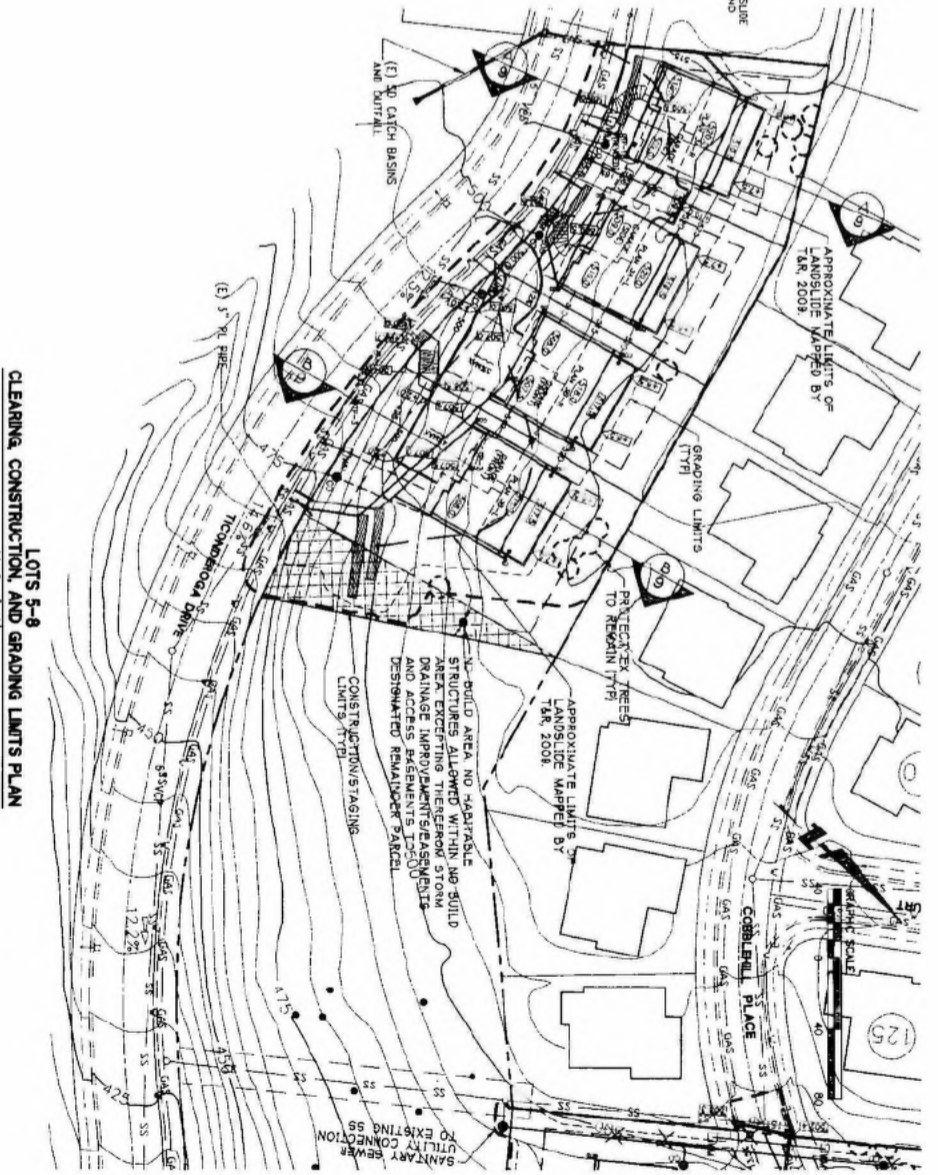
LOT 11
CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN
 SCALE: 1"=40'

Attachment N



LOTS 1-4
CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN
 SCALE: 1"=40'

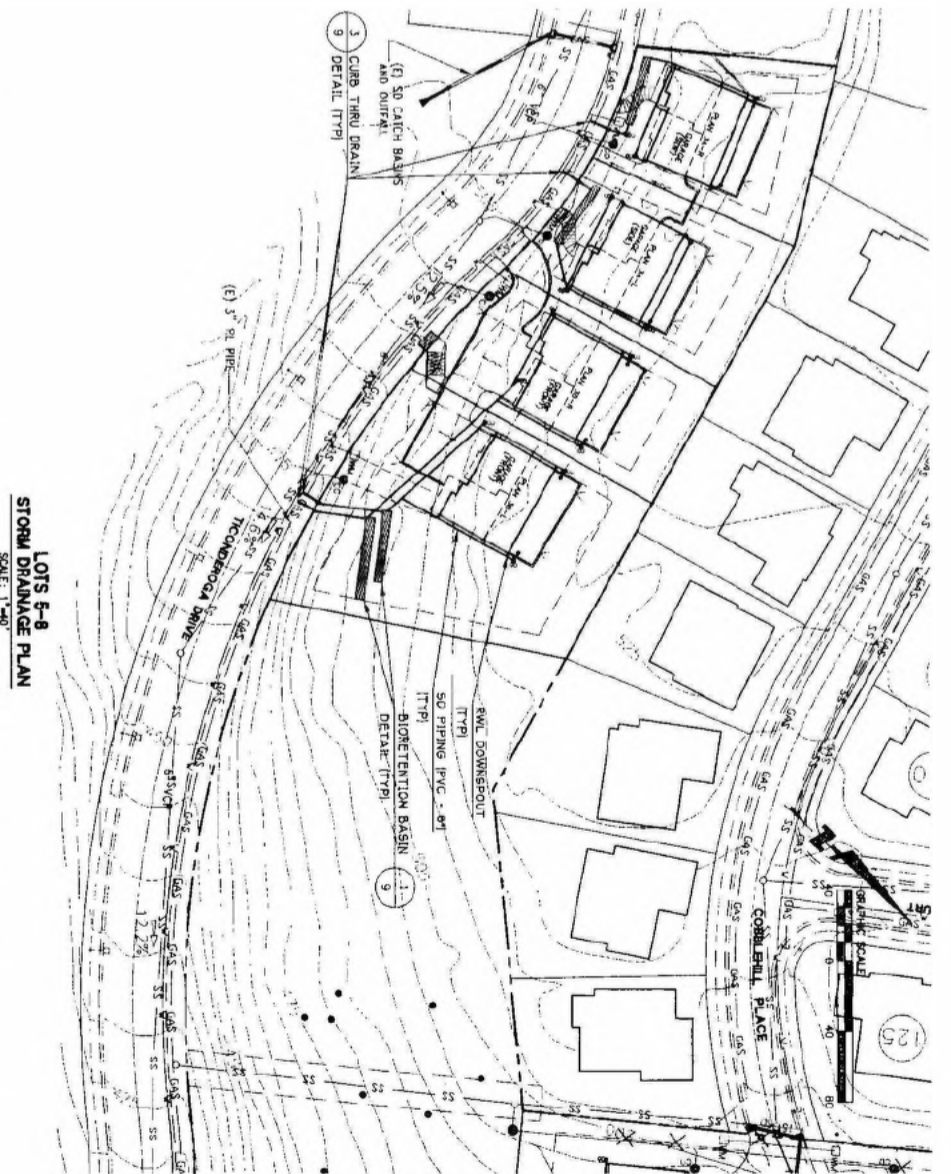
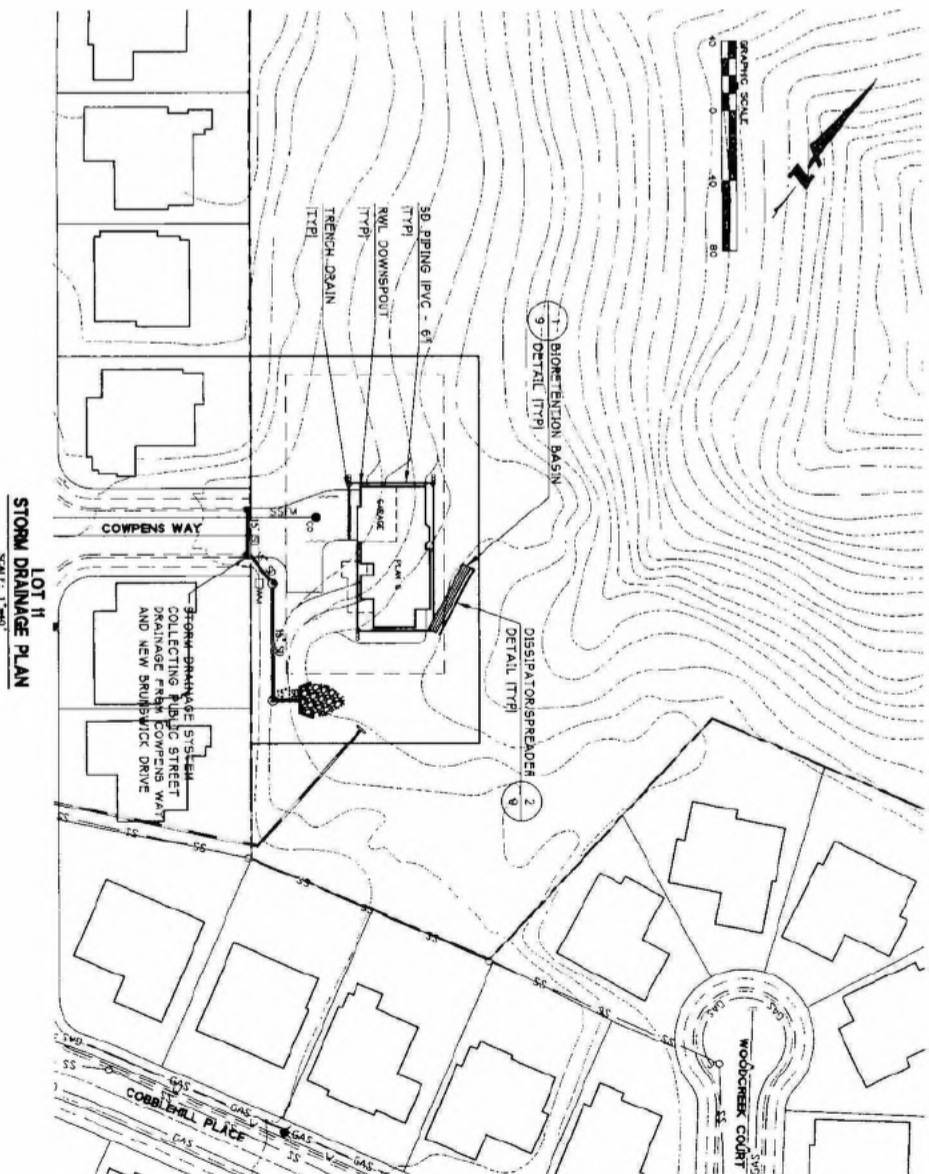
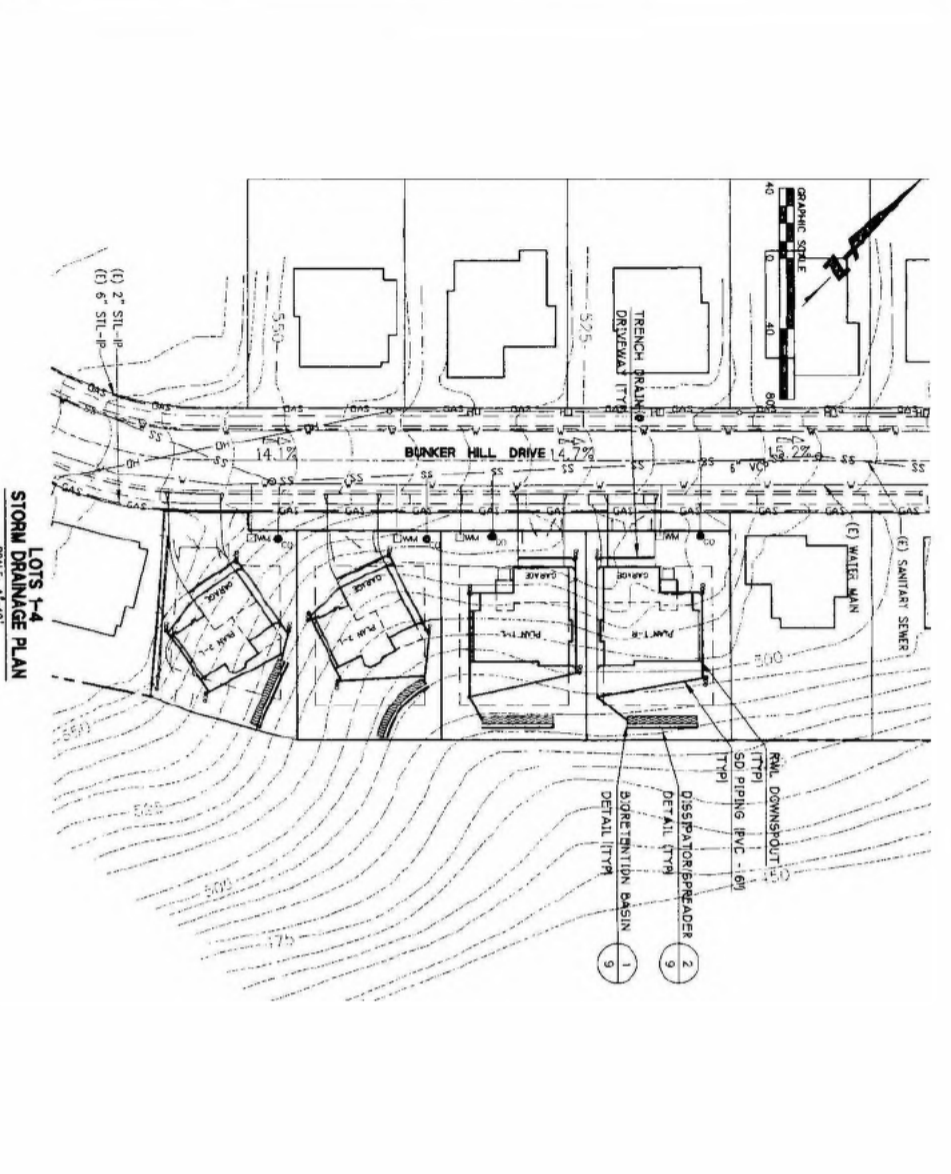
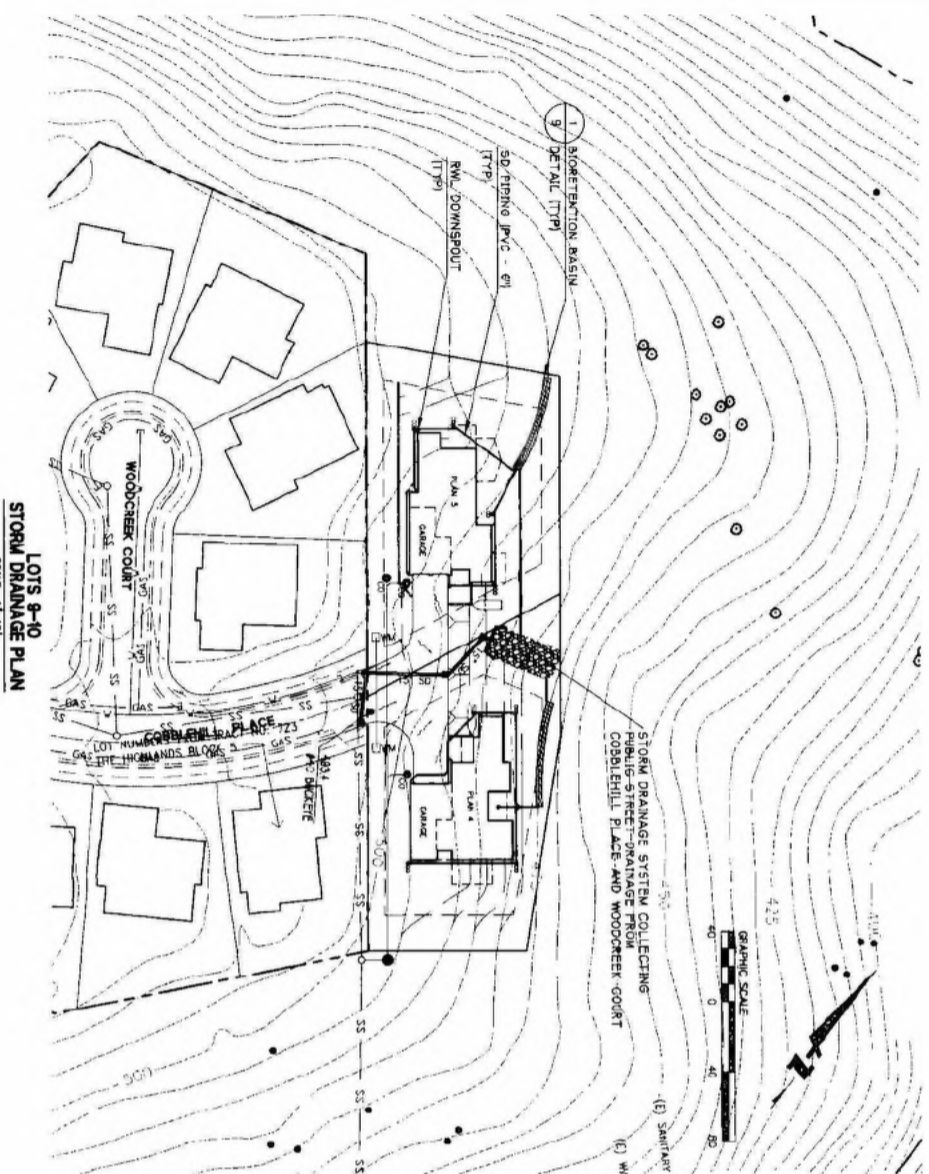
NOTE: FOR LOTS 1 AND 6, LANDSCAPE WILL BE REMOVED BY GRADING AND NO BUSHES WILL BE NEEDED.



LOTS 5-8
CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN
 SCALE: 1"=40'

Revisions	No.	Date
Scale 1"=40'	1	02/03/10
Design	2	
Drawn	3	
Approved	4	
Job to	5	

VERTICAL SCALES: BAR SCALE IS ONE INCH ON ORIGINAL DRAWING
 0 10 20 30 40 50 60 70 80 90 100
 1" = 10' (ON THIS SHEET) ADJUST SCALES ACCORDINGLY



FEBRUARY 2, 2010

No.	Revisions
1	Issue 02/20/10
2	Scale 1"=40'
3	Design JT
4	Drawn MD
5	Approved BH
6	Job No. 1950168

CITY OF SAN MATEO

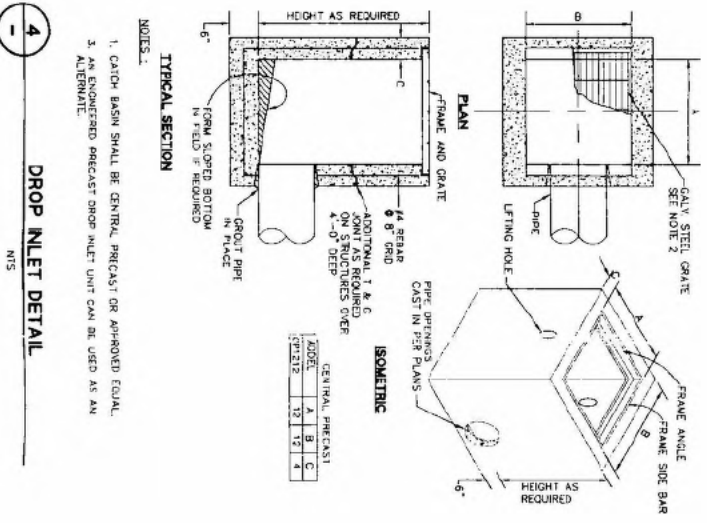
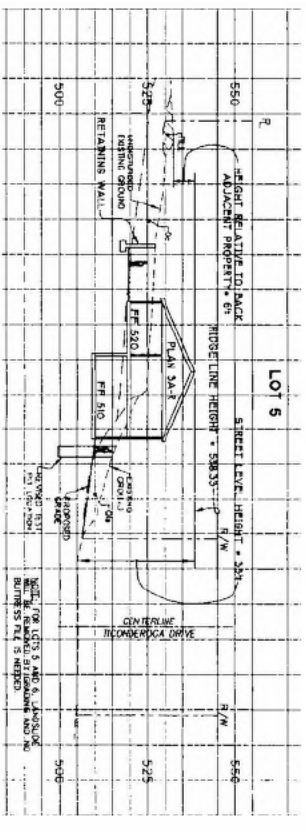
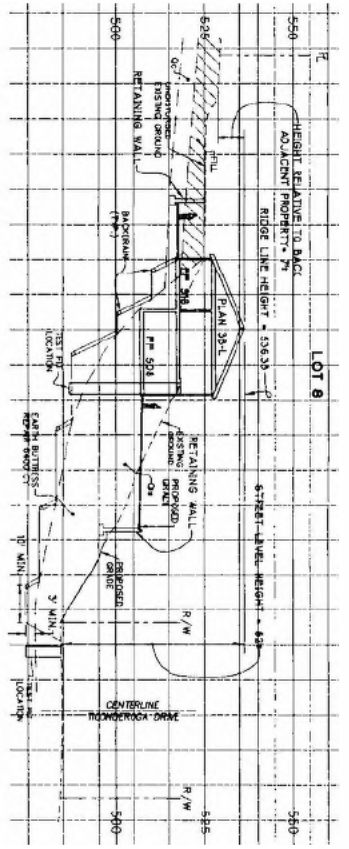
**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 STORM DRAINAGE PLAN
 SAN MATEO COUNTY**

CALIFORNIA



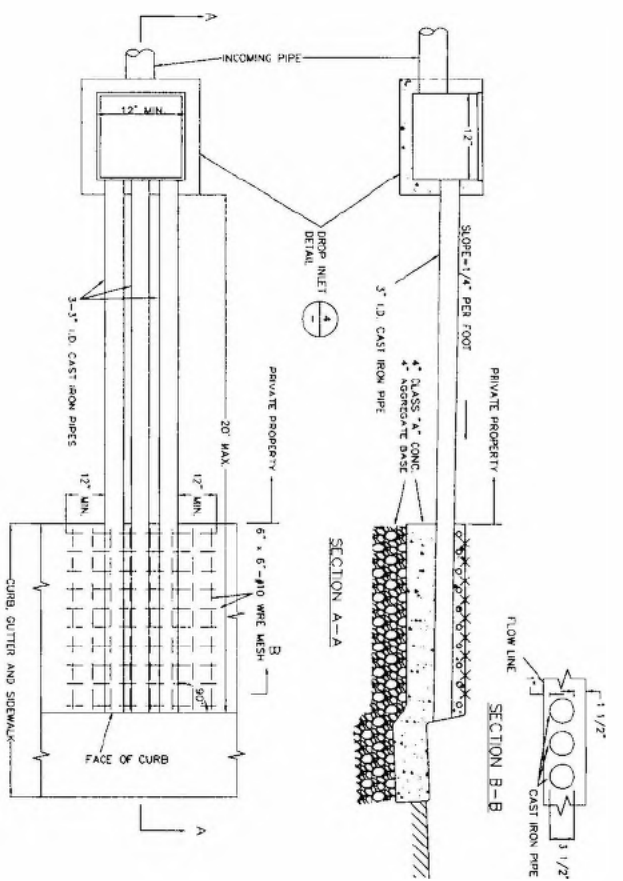
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

VERIFY SCALE: 3/4" EQUAL TO ONE FOOT ON ORIGINAL DRAWING
 IF NOT ONE FOOT TO ONE SHEET, ADJUST SCALES ACCORDINGLY

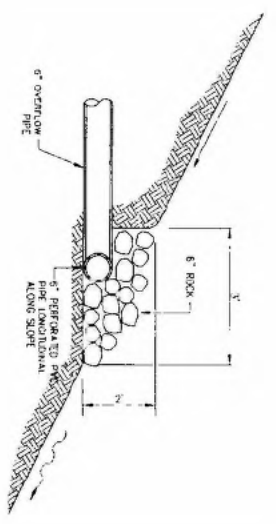


- NOTES:
1. CATCH BASIN SHALL BE CENTRAL PRECAST OR APPROVED EQUAL.
 2. AN ENGINEERED PRECAST DROP INLET UNIT CAN BE USED AS AN ALTERNATE.

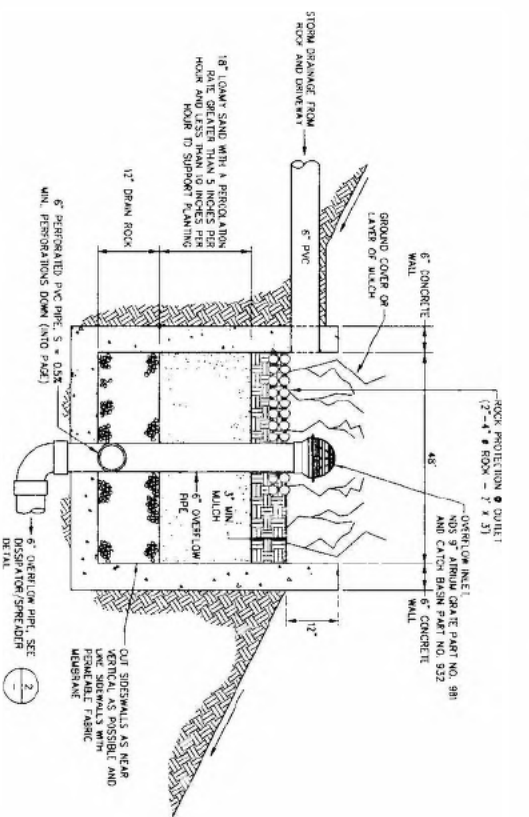
4 DROP INLET DETAIL
NTS



3 CURB THRU DRAIN DETAIL
NTS



2 DISSIPATOR/SPREADER DETAIL
NTS



1 BIORETENTION BASIN DETAIL
NTS

FEBRUARY 2, 2010

No.	Revisions
1	Scale 5/8\"/>
2	Design
3	Drawn
4	Approved
5	Job to notes

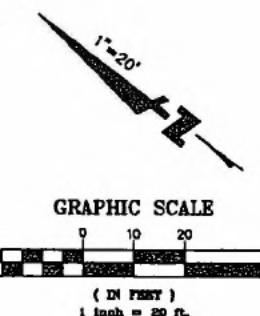
CITY OF SAN MATEO

HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 CONSTRUCTION DETAILS
 SAN MATEO COUNTY

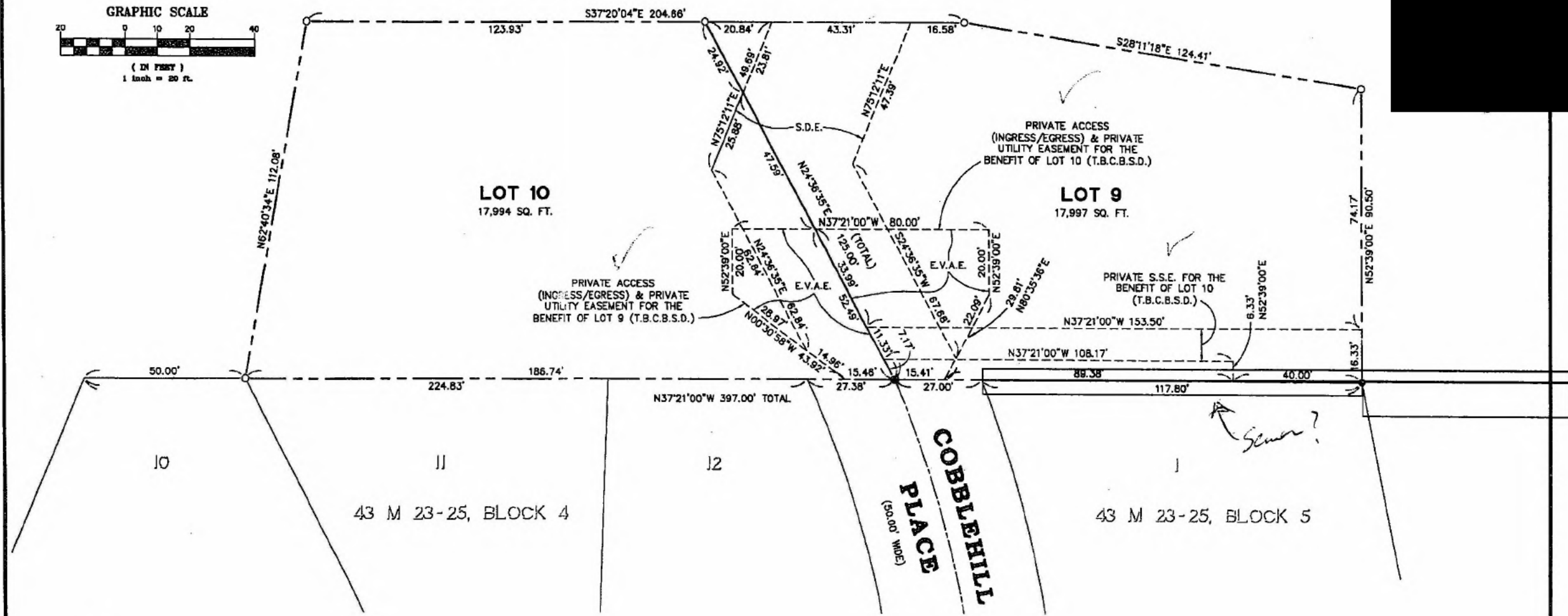
CALIFORNIA



255 SHORELINE DRIVE SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX



DESIGNATED
REMAINDER
(UNSURVEYED)



LEGEND

—	E.V.A.E.	EMERGENCY VEHICLE ACCESS EASEMENT
---	S.D.E.	STORM DRAINAGE EASEMENT
- - -	S.S.E.	SANITARY SEWER EASEMENT
- - - -	T.B.C.B.S.D.	TO BE CREATED BY SEPARATE DOCUMENT
---		DISTINCTIVE BOUNDARY LINE
---		PROPOSED LOT LINE
---		EXISTING LOT LINE
---		EASEMENT LINE
---		CENTERLINE
○		SET 3/4" IP WITH PLASTIC PLUG AND TAG STAMPED "LS 8863"
⊙		FOUND 3/4" IP WITH PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED
●		FOUND 3/4" IP WITH PLUG TACK AND TAG STAMPED "RCE 7595" PER (1) UNLESS OTHERWISE NOTED

FINAL MAP NO. _____

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' FEBRUARY 2014

BKF BKF ENGINEERS
205 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-8300
ENGINEERS / SURVEYORS / PLANNERS

2/18/15
map check
Submitted

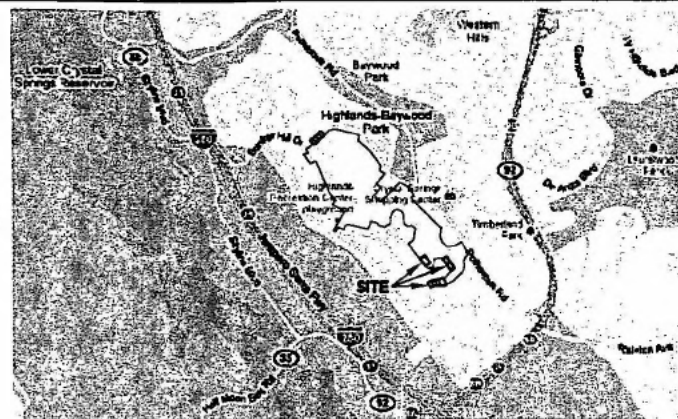
who is accepting these easements? ok pg 3 ✓

OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID REAL PROPERTY; AND THAT WE CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BOUNDARY LINE.

WE HEREBY DEDICATE TO PUBLIC USE THOSE CERTAIN EASEMENTS SHOWN HEREON AS "E.V.A.E." (EMERGENCY VEHICLE ACCESS EASEMENT) AND "P.U.E." (PUBLIC UTILITY EASEMENT) AS SHOWN ON SAID MAP WITHIN SAID SUBDIVISION. SAID EASEMENTS SHALL BE KEPT FREE AND CLEAR OF BUILDINGS AND STRUCTURES, EXCEPT ALL LAWFUL UNSUPPORTED ROOF OVERHANGS.

NO HABITABLE STRUCTURES ARE ALLOWED WITHIN THOSE AREAS SHOWN HEREON AS "N.B.A." (NO-BUILD AREA) ON PORTIONS OF LOT 8 AND LOT 11, EXCEPT AS SHOWN.



VICINITY MAP

AS OWNERS:

TICONDEROGA PARTNERS LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: _____
NAME TITLE

AS TRUSTEE:

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2011-031878

BY: _____
NAME TITLE

AS TRUSTEE:

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2012-116991

BY: _____
NAME TITLE

AS TRUSTEE:

EXCEL FINANCIAL, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2014-087444

BY: _____
NAME TITLE

OWNER'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ BEFORE ME, _____
DATE HERE INSERT NAME AND TITLE OF THE OFFICER
PERSONALLY APPEARED _____

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ BEFORE ME, _____
DATE HERE INSERT NAME AND TITLE OF THE OFFICER
PERSONALLY APPEARED _____

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(ES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

TRUSTEE'S ACKNOWLEDGMENT

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STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ BEFORE ME, _____
DATE HERE INSERT NAME AND TITLE OF THE OFFICER
PERSONALLY APPEARED _____

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ BEFORE ME, _____
DATE HERE INSERT NAME AND TITLE OF THE OFFICER
PERSONALLY APPEARED _____

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

Accept on behalf of ... ok pg 3 ✓

SURVEYOR'S STATEMENT

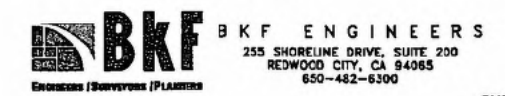
THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TICONDEROGA PARTNERS LLC ON APRIL 2011. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE APRIL 2017, AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: _____ ALEX M. CALDER, P.L.S. 8863



**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
APRIL 2015



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19950168
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PLOT DATE: 04-28-15 10:32am 01a

J:\Surveys\550166\Map\Map (2014)\Final Map Sheets 1-2 (2015-04-28).dwg, 4/28/2015 10:33:32 AM, PDF-XChange for Acrobat Pro.ppt3

COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE CALIFORNIA "SUBDIVISION MAP ACT" AND OF THE "SAN MATEO COUNTY ORDINANCE" APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

DATE: _____
CHRISTOPHER G. VANDREY, LICENSED LAND SURVEYOR
L.S. No. 8783

CLERK OF THE BOARD STATEMENT

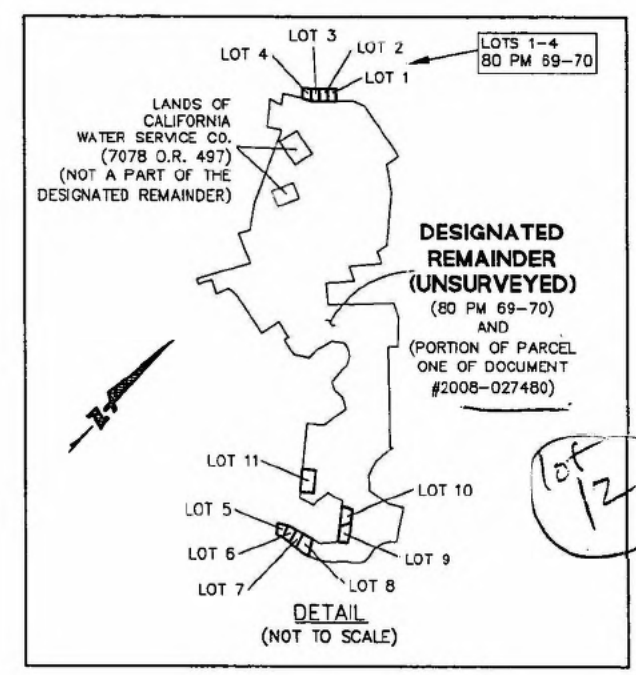
I HEREBY STATE THAT THE BOARD OF SUPERVISORS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, DID APPROVE THE WITHIN MAP (AND DID ACCEPT ON BEHALF OF THE PUBLIC, ANY REAL PROPERTY OFFERED FOR DEDICATION SUBJECT TO THE CONDITION THAT THE COUNTY IS NOT RESPONSIBLE OR LIABLE FOR ANY COST OR EXPENSE OF ANY OFFER ACCEPTED UNLESS AUTHORIZED BY SEPARATE ACTION OF THE BOARD OF SUPERVISORS).

DATED: _____ BY: _____
CLERK OF THE BOARD OF SUPERVISORS
SAN MATEO COUNTY, STATE OF CALIFORNIA
BY: _____
DEPUTY

COUNTY RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 20____ AT _____ M. IN
VOLUME _____ OF MAPS AT PAGES _____ THROUGH _____ AT THE REQUEST
OF BKF ENGINEERS.
MARK CHURCH, SAN MATEO COUNTY RECORDER

FILE NO. _____ BY: _____
DEPUTY
FEE: _____



BASIS OF BEARINGS

THE BEARING NORTH 75°09'00" EAST OF THE CENTERLINE OF COBBLEHILL PLACE AS SHOWN ON TRACT MAP NO. 723, THE HIGHLANDS, RECORDED ON AUGUST 26, 1955, IN VOLUME 43 OF MAPS AT PAGES 23-25, SAN MATEO COUNTY RECORDS.

NOTES

- 1. THE DESIGNATED REMAINDER SHOWN HEREIN IS UNSURVEYED AND IS GRAPHICALLY SHOWN BASED ON RECORD DATA ONLY.
- 2. ANY DEVELOPMENT OF THE PROJECT PARCELS MUST COMPLY WITH THE CONDITIONS OF APPROVAL, AS APPROVED BY THE BOARD OF SUPERVISORS ON APRIL 27, 2010.

**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
APRIL 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6300

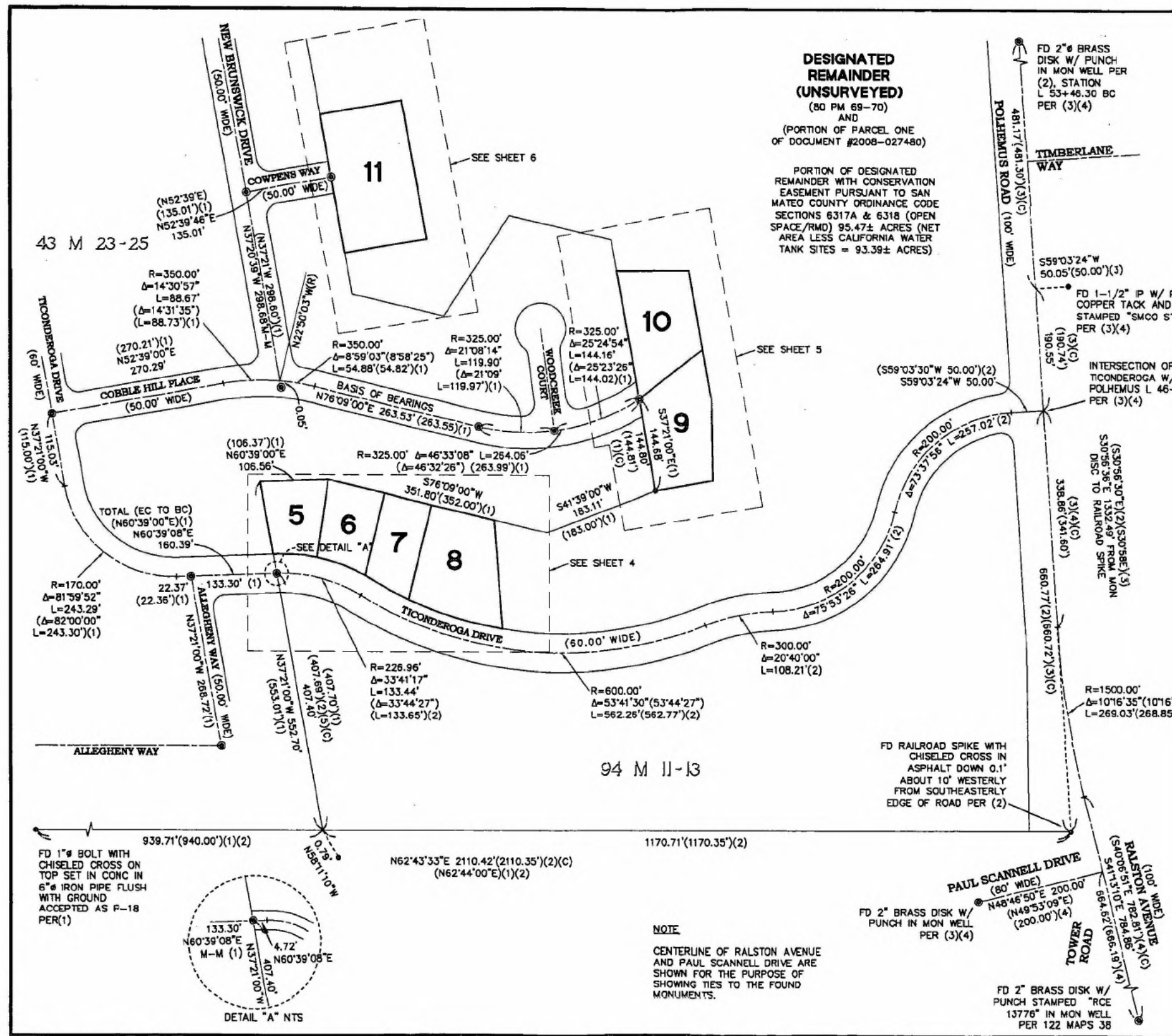
19950168

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PLOT DATE: 04-28-15 10:33am c16

SHEET 2 OF 6

4/28/15 MAP CHECK SUBMITTAL

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4/28/15 MAP CHECK SUBMITTAL

TRACT MAP NO. 944 HIGHLAND ESTATES

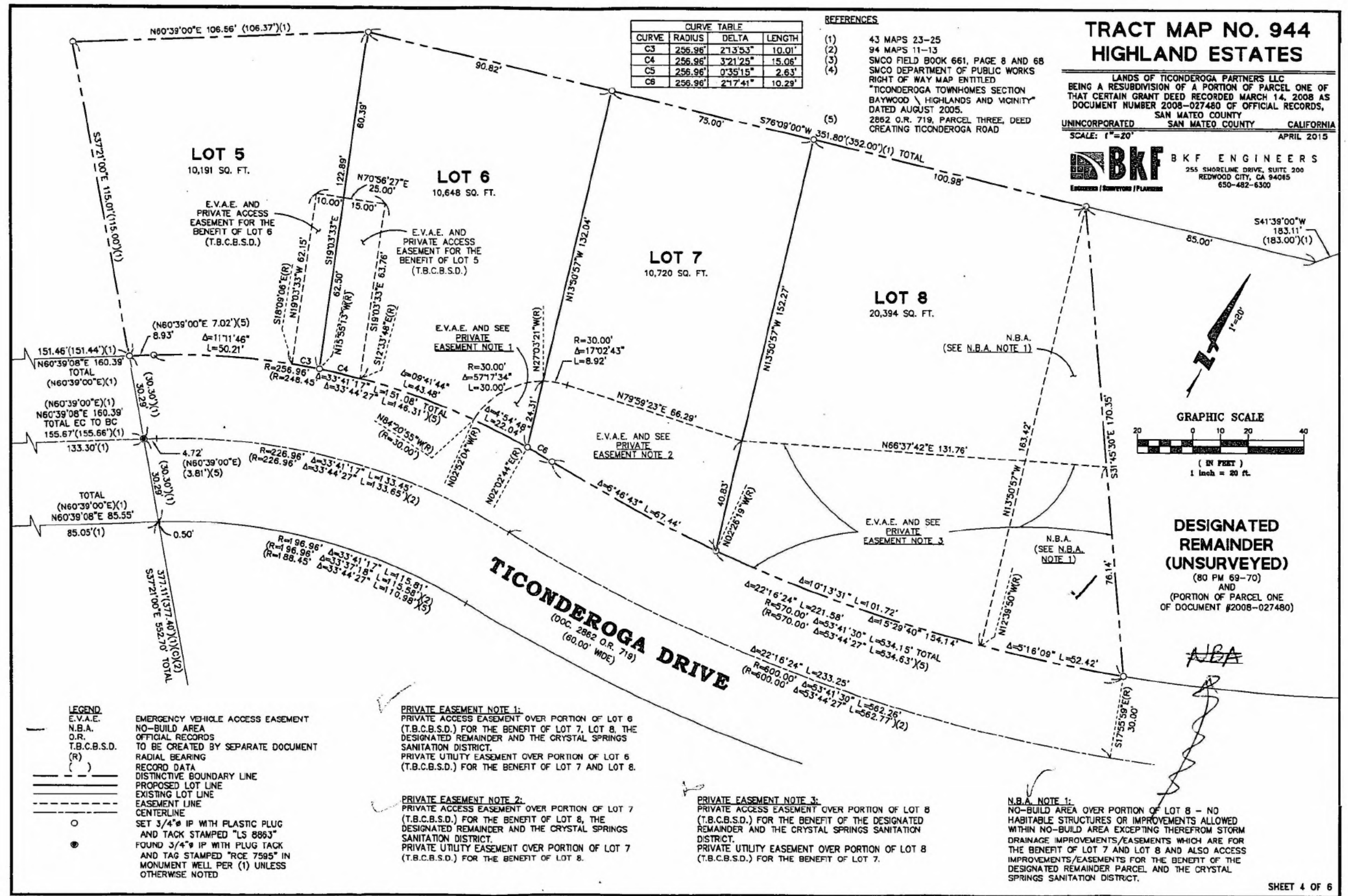
LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' APRIL 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6300

CURVE	RADIUS	DELTA	LENGTH
C3	256.96'	2°13'53"	10.01'
C4	256.96'	3°21'25"	15.06'
C5	256.96'	0°35'15"	2.63'
C6	256.96'	2°17'41"	10.29'

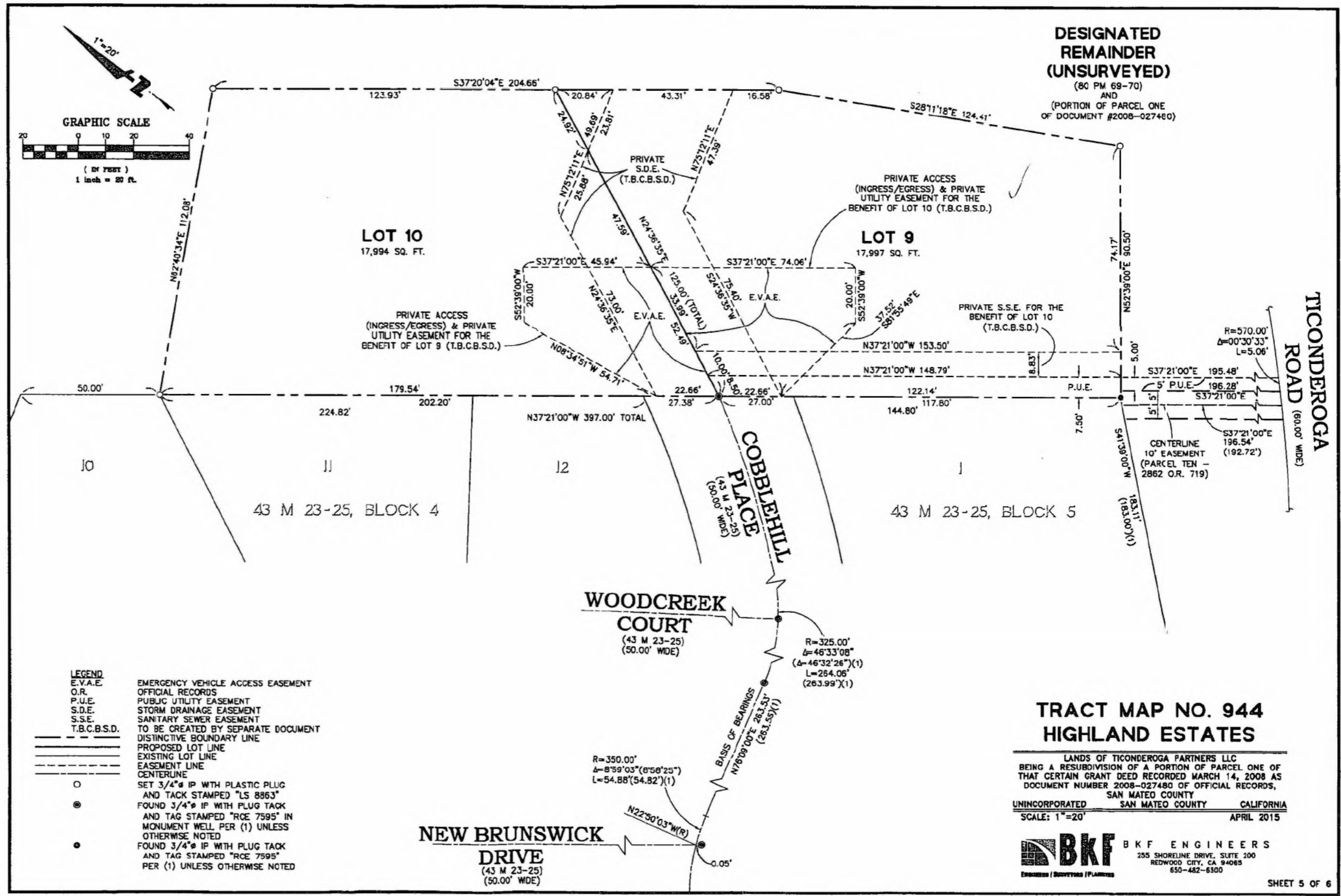
REFERENCES

- (1) 43 MAPS 23-25
- (2) 94 MAPS 11-13
- (3) SMC FIELD BOOK 661, PAGE 8 AND 68
- (4) SMC DEPARTMENT OF PUBLIC WORKS
RIGHT OF WAY MAP ENTITLED
"TICONDEROGA TOWNHOMES SECTION
BAYWOOD \ HIGHLANDS AND VICINITY"
DATED AUGUST 2005.
- (5) 2862 O.R. 719, PARCEL THREE, DEED
CREATING TICONDEROGA ROAD



DRAWING NAME: J:\Users\j50168\My Documents\Map\Map (2014)\Final Map Sheets 4-6 (2015-04-28).dwg
PLOT DATE: 04-28-15 10:37am etc

4/28/15 MAP CHECK SUBMITTAL



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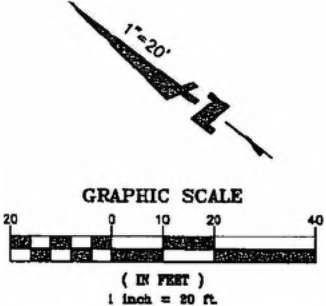
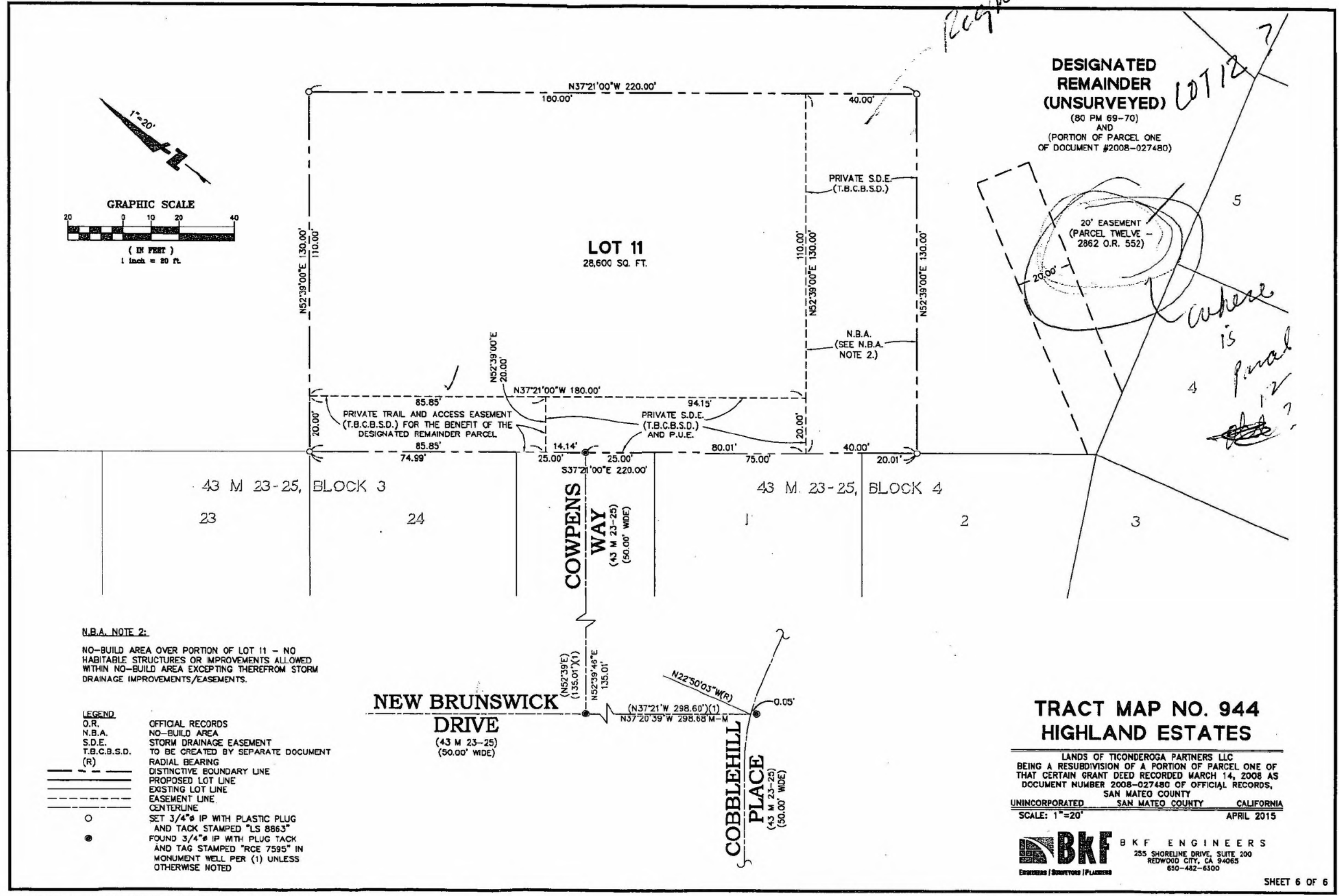
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 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6500

SHEET 5 OF 6

Right side?

LOT 12?

where is parcel 12?



DESIGNATED REMAINDER (UNSURVEYED)
(80 PM 69-70)
AND
(PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)

LOT 11
28,600 SQ. FT.

20' EASEMENT (PARCEL TWELVE - 2862 O.R. 552)

N.B.A. NOTE 2:
NO-BUILD AREA OVER PORTION OF LOT 11 - NO HABITABLE STRUCTURES OR IMPROVEMENTS ALLOWED WITHIN NO-BUILD AREA EXCEPTING THEREFROM STORM DRAINAGE IMPROVEMENTS/EASEMENTS.

LEGEND	OFFICIAL RECORDS
O.R.	NO-BUILD AREA
N.B.A.	STORM DRAINAGE EASEMENT
S.D.E.	TO BE CREATED BY SEPARATE DOCUMENT
T.B.C.B.S.D.	RADIAL BEARING
(R)	DISTINCTIVE BOUNDARY LINE
---	PROPOSED LOT LINE
---	EXISTING LOT LINE
---	EASEMENT LINE
---	CENTERLINE
○	SET 3/4" IP WITH PLASTIC PLUG AND TACK STAMPED "LS 8863"
●	FOUND 3/4" IP WITH PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED

**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS, SAN MATEO COUNTY, CALIFORNIA
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' APRIL 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6500

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VERTICAL SCALE: THIS SHEET IS ONE INCH ON ORIGINAL DRAWING
 HORIZONTAL SCALE: THIS SHEET IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, CHECK SCALE INDICATOR.

- LEGEND**
- EXISTING
 - EXISTING PROPERTY LINE BOUNDARY
 - EXISTING CONVEYANCE BOUNDARY
 - EXISTING STORM DRAIN DRAIN W/ DRAINAGE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING FIRE LINE
 - ALL UTILITIES ARE APPROXIMATELY LOCATED
 - PROPOSED
 - PROPOSED PROPERTY LINE BOUNDARY
 - PROPOSED CONVEYANCE BOUNDARY
 - PROPOSED STORM DRAIN DRAIN W/ DRAINAGE
 - PROPOSED WATER LINE W/ FIRE PROTECTANT
 - PROPOSED GAS LINE
 - PROPOSED FIRE LINE
 - PROPOSED
 - PROPOSED PROPERTY LINE BOUNDARY
 - PROPOSED CONVEYANCE BOUNDARY
 - PROPOSED STORM DRAIN DRAIN W/ DRAINAGE
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 - PROPOSED GAS LINE
 - PROPOSED FIRE LINE
 - PROPOSED
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 - PROPOSED GAS LINE
 - PROPOSED FIRE LINE

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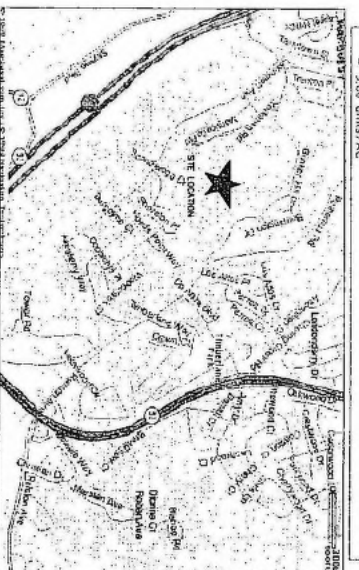
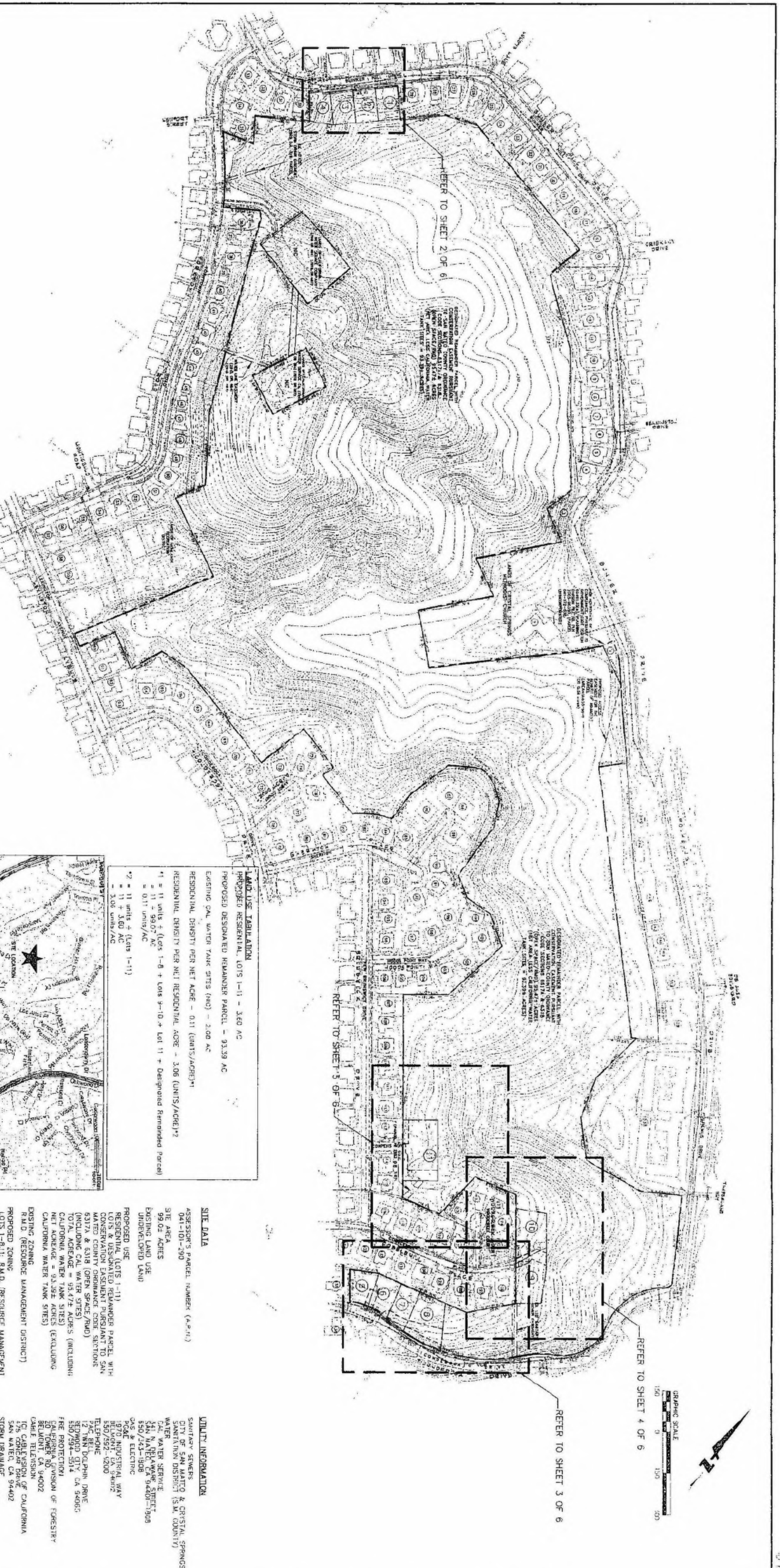
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 - PROPOSED CONVEYANCE BOUNDARY
 - PROPOSED STORM DRAIN DRAIN W/ DRAINAGE
 - PROPOSED WATER LINE W/ FIRE PROTECTANT
 - PROPOSED GAS LINE
 - PROPOSED FIRE LINE

LANDOWNERS ADJACENT TO PROJECT

1. ANTHONY CHERRY ASSOCIATES	31. TERRY L. ANDERSON
2. ANTHONY CHERRY ASSOCIATES	32. TERRY L. ANDERSON
3. ANTHONY CHERRY ASSOCIATES	33. TERRY L. ANDERSON
4. ANTHONY CHERRY ASSOCIATES	34. TERRY L. ANDERSON
5. ANTHONY CHERRY ASSOCIATES	35. TERRY L. ANDERSON
6. ANTHONY CHERRY ASSOCIATES	36. TERRY L. ANDERSON
7. ANTHONY CHERRY ASSOCIATES	37. TERRY L. ANDERSON
8. ANTHONY CHERRY ASSOCIATES	38. TERRY L. ANDERSON
9. ANTHONY CHERRY ASSOCIATES	39. TERRY L. ANDERSON
10. ANTHONY CHERRY ASSOCIATES	40. TERRY L. ANDERSON
11. ANTHONY CHERRY ASSOCIATES	41. TERRY L. ANDERSON
12. ANTHONY CHERRY ASSOCIATES	42. TERRY L. ANDERSON
13. ANTHONY CHERRY ASSOCIATES	43. TERRY L. ANDERSON
14. ANTHONY CHERRY ASSOCIATES	44. TERRY L. ANDERSON
15. ANTHONY CHERRY ASSOCIATES	45. TERRY L. ANDERSON
16. ANTHONY CHERRY ASSOCIATES	46. TERRY L. ANDERSON
17. ANTHONY CHERRY ASSOCIATES	47. TERRY L. ANDERSON
18. ANTHONY CHERRY ASSOCIATES	48. TERRY L. ANDERSON
19. ANTHONY CHERRY ASSOCIATES	49. TERRY L. ANDERSON
20. ANTHONY CHERRY ASSOCIATES	50. TERRY L. ANDERSON
21. ANTHONY CHERRY ASSOCIATES	51. TERRY L. ANDERSON
22. ANTHONY CHERRY ASSOCIATES	52. TERRY L. ANDERSON
23. ANTHONY CHERRY ASSOCIATES	53. TERRY L. ANDERSON
24. ANTHONY CHERRY ASSOCIATES	54. TERRY L. ANDERSON
25. ANTHONY CHERRY ASSOCIATES	55. TERRY L. ANDERSON
26. ANTHONY CHERRY ASSOCIATES	56. TERRY L. ANDERSON
27. ANTHONY CHERRY ASSOCIATES	57. TERRY L. ANDERSON
28. ANTHONY CHERRY ASSOCIATES	58. TERRY L. ANDERSON
29. ANTHONY CHERRY ASSOCIATES	59. TERRY L. ANDERSON
30. ANTHONY CHERRY ASSOCIATES	60. TERRY L. ANDERSON



LAND USE TABULATION

PROPOSED RESIDENTIAL LOTS 1-11 - 360 AC
 PROPOSED DESIGNATED RECREATION PARCEL - 93.39 AC
 EXISTING CAL WATER TANK SITES (IND) - 2.08 AC
 EXISTING CAL WATER TANK SITES (RES) - 2.08 AC
 RESIDENTIAL DENSITY PER NET ACRE - 0.11 (UNITS/ACRE)*1
 RESIDENTIAL DENSITY PER NET ACRE - 3.06 (UNITS/ACRE)*2
 *1 = 11 units / (Lots 1-8 + Lots 9-10 + Lot 11 + Designated Recreation Parcel) = 11 units/AC
 *2 = 11 units / (Lots 1-11) = 3.06 units/AC

VELOCITY MAP

VELOCITY	VELOCITY	VELOCITY	VELOCITY	VELOCITY	VELOCITY
1	2	3	4	5	6
7	8	9	10	11	12
13	14	15	16	17	18
19	20	21	22	23	24
25	26	27	28	29	30
31	32	33	34	35	36
37	38	39	40	41	42
43	44	45	46	47	48
49	50	51	52	53	54
55	56	57	58	59	60
61	62	63	64	65	66
67	68	69	70	71	72
73	74	75	76	77	78
79	80	81	82	83	84
85	86	87	88	89	90
91	92	93	94	95	96
97	98	99	100		

SITE DATA

ASSASSIN'S PARCEL NUMBER (A.P.N.): 961-101-030
 SITE AREA: 99.02 ACRES
 EXISTING LAND USE: UNDERDEVELOPED LAND
 PROPOSED USE: RESIDENTIAL (LOTS 1-11)
 CONSERVATION EASEMENT PURSUANT TO SAN MATEO COUNTY ORDINANCE CODE SECTIONS 6317A & 6318 (OPEN SPACE/RWD) (INCLUDING CAL WATER STRESSES) (INCLUDING CAL WATER TANK SITES) (INCLUDING CALIFORNIA WATER TANK SITES) (INCLUDING CALIFORNIA WATER TANK SITES)

EXISTING ZONING: R1-D (RESOURCE MANAGEMENT DISTRICT)
PROPOSED ZONING: R1-D (RESOURCE MANAGEMENT DISTRICT)
 LOTS 1-8: R1-D (RESOURCE MANAGEMENT DISTRICT)
 LOTS 9-10: R1-D (RESOURCE MANAGEMENT DISTRICT)
 REMAINDER PARCEL: TO REMAIN RWD & OPEN SPACE

DIVERSITY: TONONOGOGA PARTNERS, A CALIFORNIA LIMITED LIABILITY CORPORATION
 C/O THE CHAMBERLAIN GROUP
 555 GAY ST., SUITE 200
 SAN FRANCISCO, CA 94102
 ATTN: JACK CHAMBERLAIN

DEVELOPER: THE CHAMBERLAIN GROUP
 655 SKYWAY, SUITE 230
 SAN CARLOS, CA 94506
 ATTN: JACK CHAMBERLAIN

LEGAL DESCRIPTION: BEING A PORTION OF THE LAND DESCRIBED IN THAT CERTAIN DECLARATION DEED TO MARY MARGARET O'NEILL, TRUSTEE UNDER THE MARY MARGARET O'NEILL TRUST, DATED AND RECORDED IN BOOK NUMBER 5, PAGE 107, OFFICIAL RECORDS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, FOR ADDITIONAL INFORMATION REFER TO THE RECORDS.

UTILITY INFORMATION

SEWER: CITY OF SAN MATEO & CRISTAL SPRINGS
 WATER: SANITARIUM DISTRICT (S.M. COUNTY)
 GAS: SAN MATEO, CA 94060-1908
 FIBER: 1070 INDUSTRIAL WAY, SUITE 100, SAN MATEO, CA 94060
 TELEPHONE: 857/552-1200
 12 N. DELAWARE STREET, REDWOOD CITY, CA 94063
 20 TOWER RD, WILSON OF FORESTRY, BELMONT, CA 94002
 175 CALIFORNIA OF CALIFORNIA, SAN MATEO, CA 94062
 SIGN OFF: JACQUELINE MATTO, CITY OF SAN MATEO

TOPOGRAPHIC BASE MAP: 1:25,000 SCALE, 1985 DATE OF PHOTOGRAPHY 9/18/87

SHEET INDEX

SHEET NO.	DESCRIPTION
1	OVERALL SITE/TITLE SHEET
2	LOTS 1 THROUGH 4
3	LOTS 5 THROUGH 8
4	LOTS 9 THROUGH 10
5	EROSION CONTROL DETAILS
6	CLEARING, CONSTRUCTION, AND GROUND LIMITS PLAN
7	CONSTRUCTION DETAILS

ENGINEER'S STATEMENT

THIS TENTATIVE MAP HAS BEEN PREPARED BY ME OR UNDER MY SUPERVISION AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF CALIFORNIA.

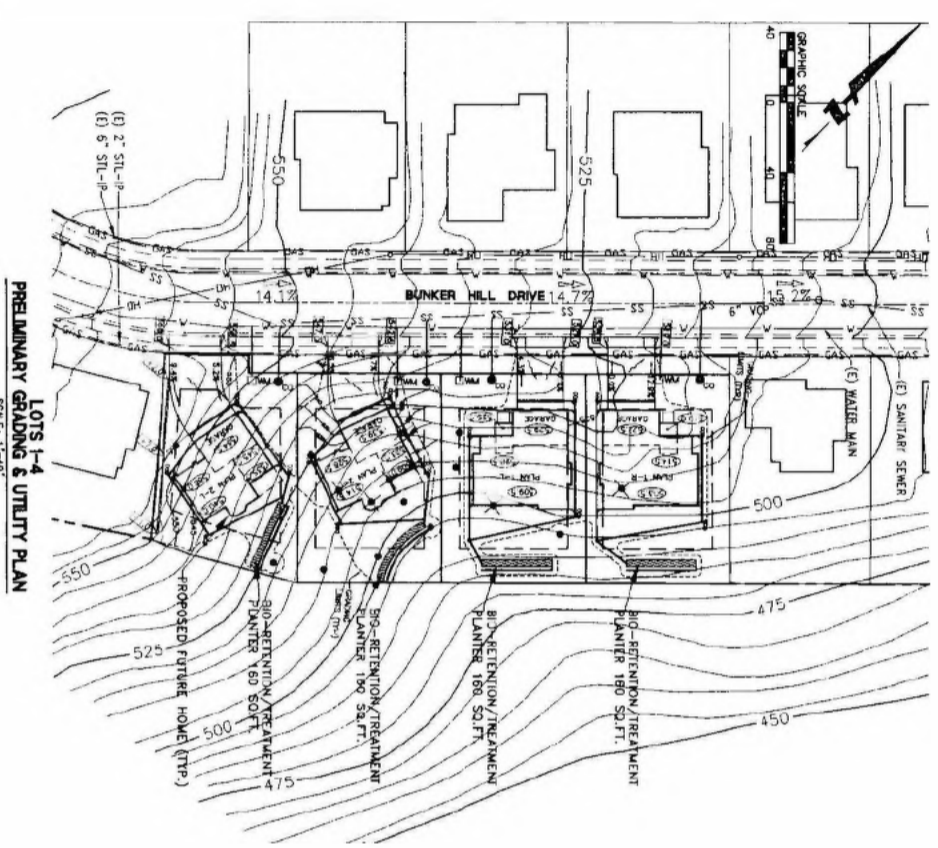
DATE: 02/02/2010

ROBERT N. SHANKS, P.E.
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

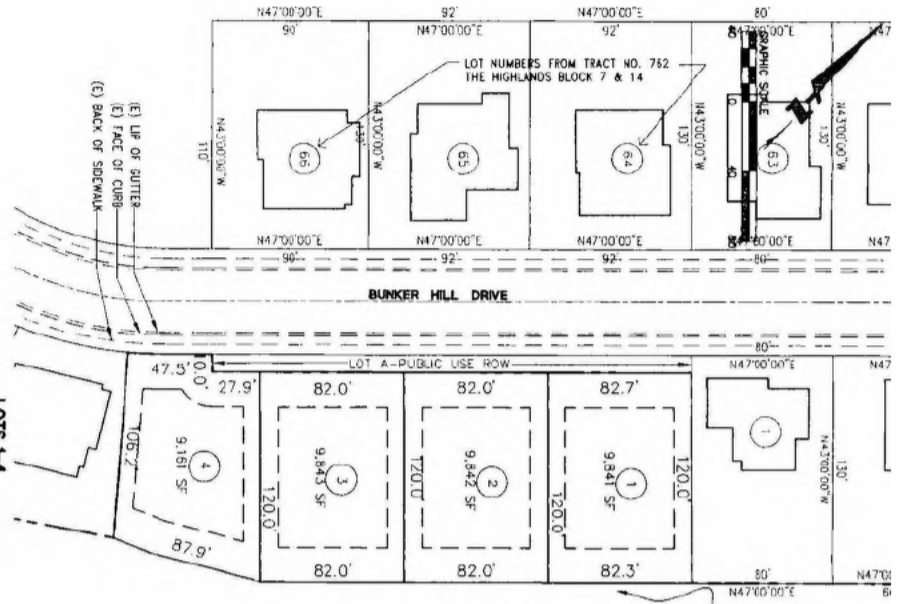
BKF
 ENGINEERS | SURVEYORS | PLANNERS

255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94063
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

CHECK SOURCES: SAN MATEO IS ONE HOUR ON STANDARD TIME
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 ALL RIGHTS RESERVED. THIS DOCUMENT IS THE PROPERTY OF BKF ENGINEERS, SURVEYORS & PLANNERS.



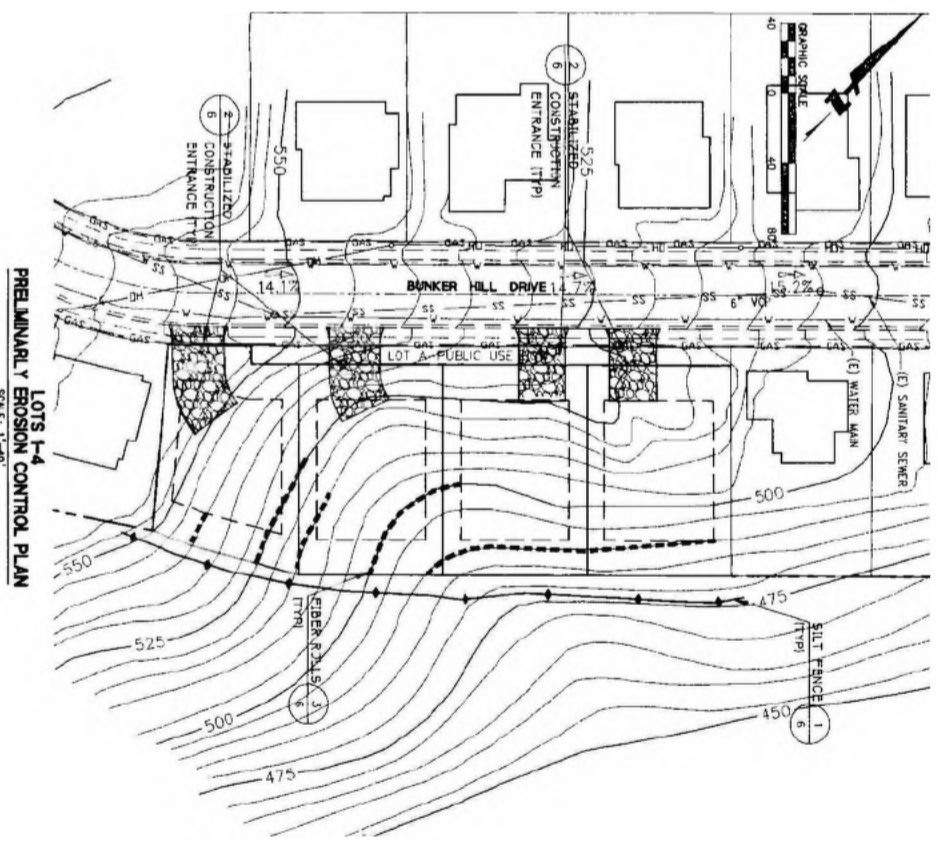
**LOTS 1-4
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



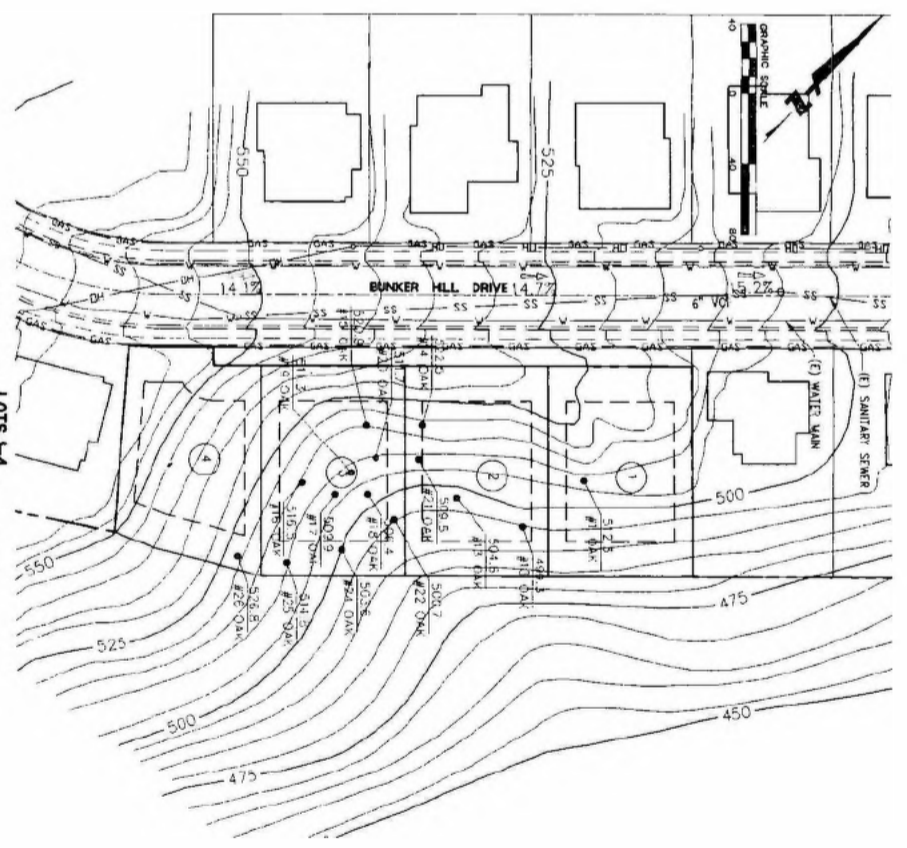
**LOTS 1-4
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'

PROPOSED SETBACKS (LOTS 1-4)
 FRONT/REAR: 20 FT
 SIDES: 10 FT

DESIGNATED RESURFER FACILITY WITH
 CONSERVATION EASMENT PURSUANT
 TO SAN MATEO COUNTY ORDINANCE
 CODE SECTION 65442.008 (OPEN
 SPACE) AND SECTION 65442.009 (OPEN
 SPACE) SHALL BE MAINTAINED AND
 TANK SITES = 9339E (KORE5)



**LOTS 1-4
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'



**LOTS 1-4
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'

LEGEND	
EXISTING	
	EXISTING PROPERTY LINE BOUNDARY
	EXISTING SANITARY SEWER VERTICAL
	EXISTING STORM DRAIN DIA. W/ MANHOLE
	EXISTING WATER LINE
	EXISTING GAS LINE
	EXISTING ELECTRIC LINE
	ALL UTILITIES ARE APPROXIMATELY LOCATED
PROPOSED	
	PROPOSED PROPERTY LINE BOUNDARY
	PROPOSED SANITARY SEWER VERTICAL
	PROPOSED STORM DRAIN DIA. W/ MANHOLE & CATCH BASIN
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	PROPOSED ELECTRIC LINE
	PROPOSED UTILITY LINE
	PROPOSED SILT FENCE
	PROPOSED STABILIZED CONSTRUCTION ENTRANCE
	PROPOSED BIO-RETENTION/TREATMENT PLANTER
	PROPOSED FUTURE HOME

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 LOTS 1 THROUGH 4
 SAN MATEO COUNTY**

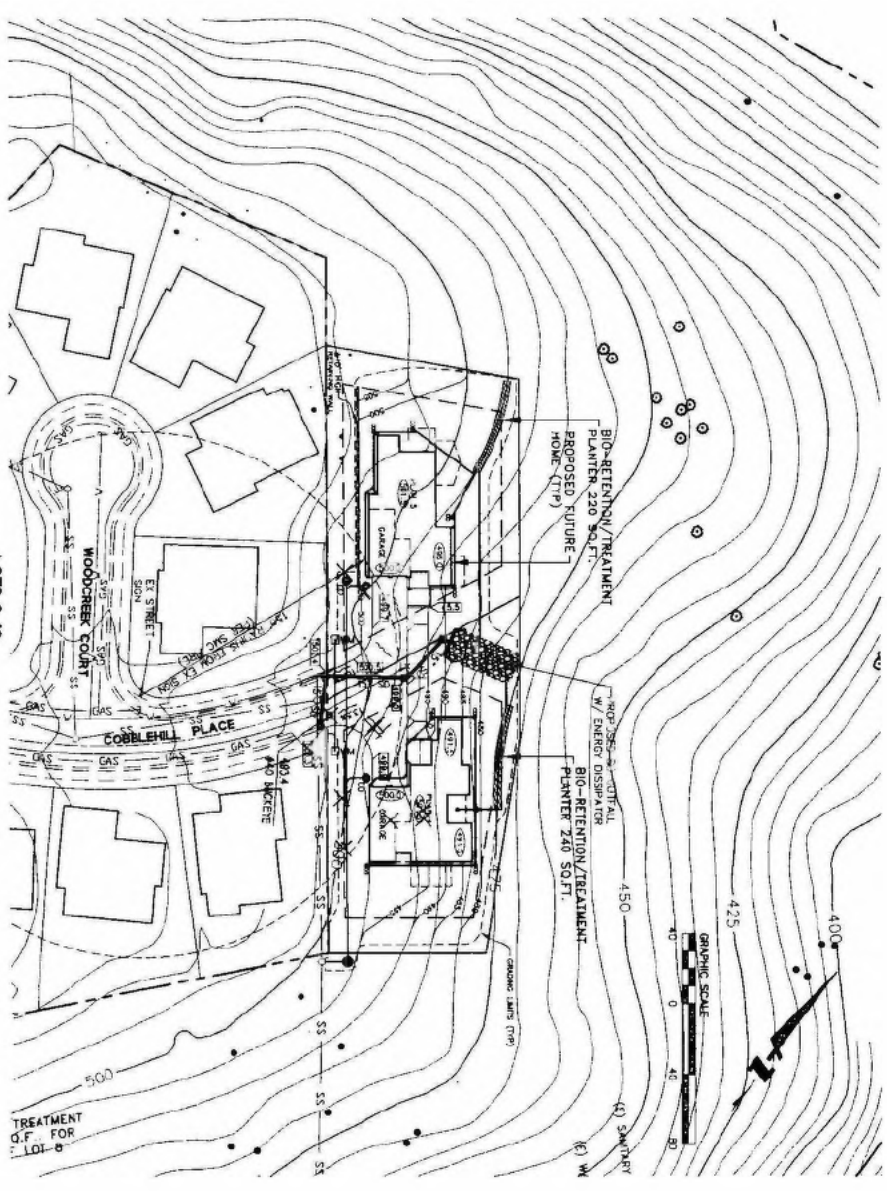
CITY OF SAN MATEO

CALIFORNIA

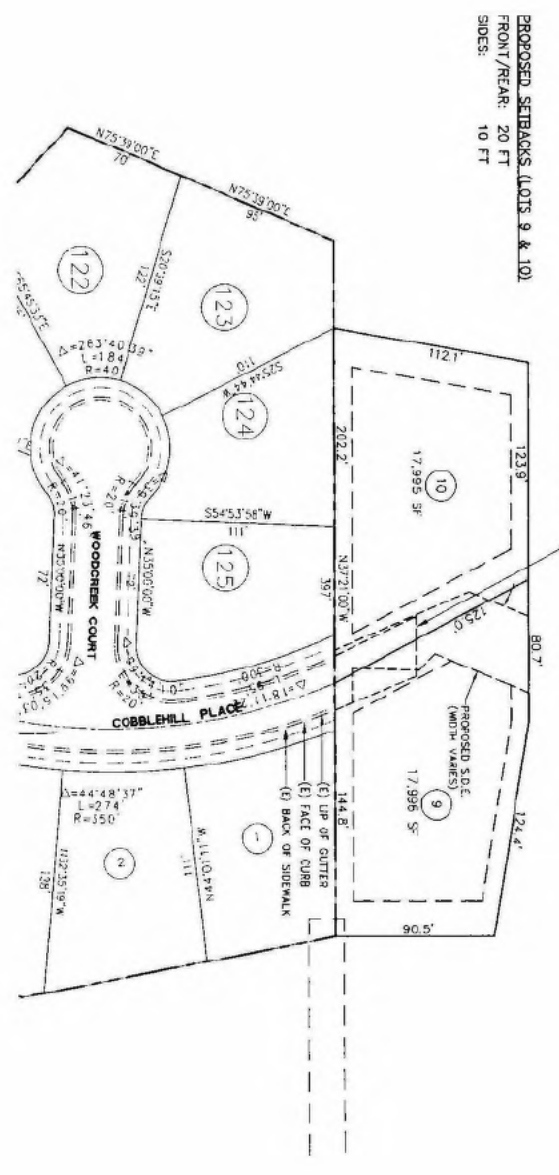


255 SHORELINE DRIVE SUITE 200
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 (650) 482-6399 FAX

VERTICAL SCALES: BARS SHOWN IN 5' INCH ON ORIGINAL DRAWING
 0 10 20 30 40 50 60 70 80 90 100
 1" = 10' (VERTICAL SCALES ACCORDING)

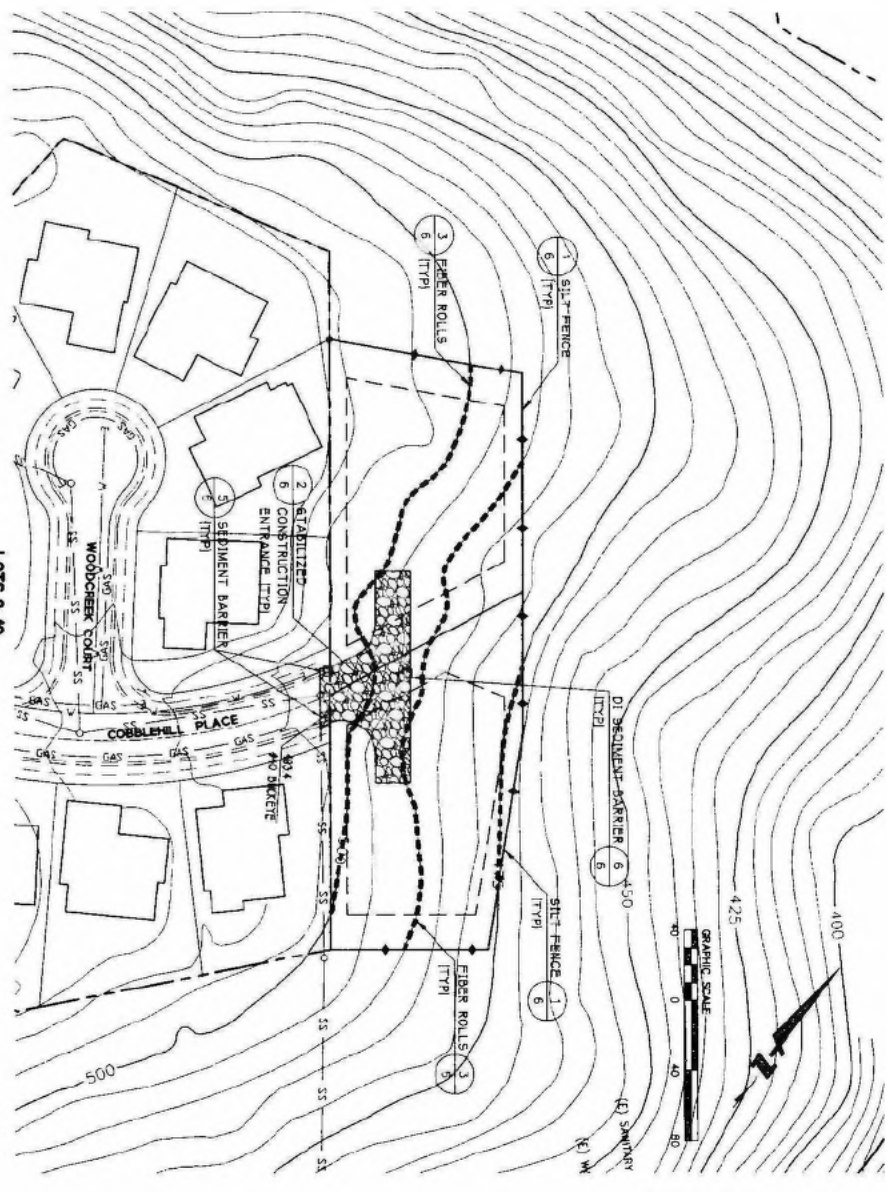


LOTS 9-10
 PRELIMINARY GRADING & UTILITY PLAN
 SCALE: 1"=40'

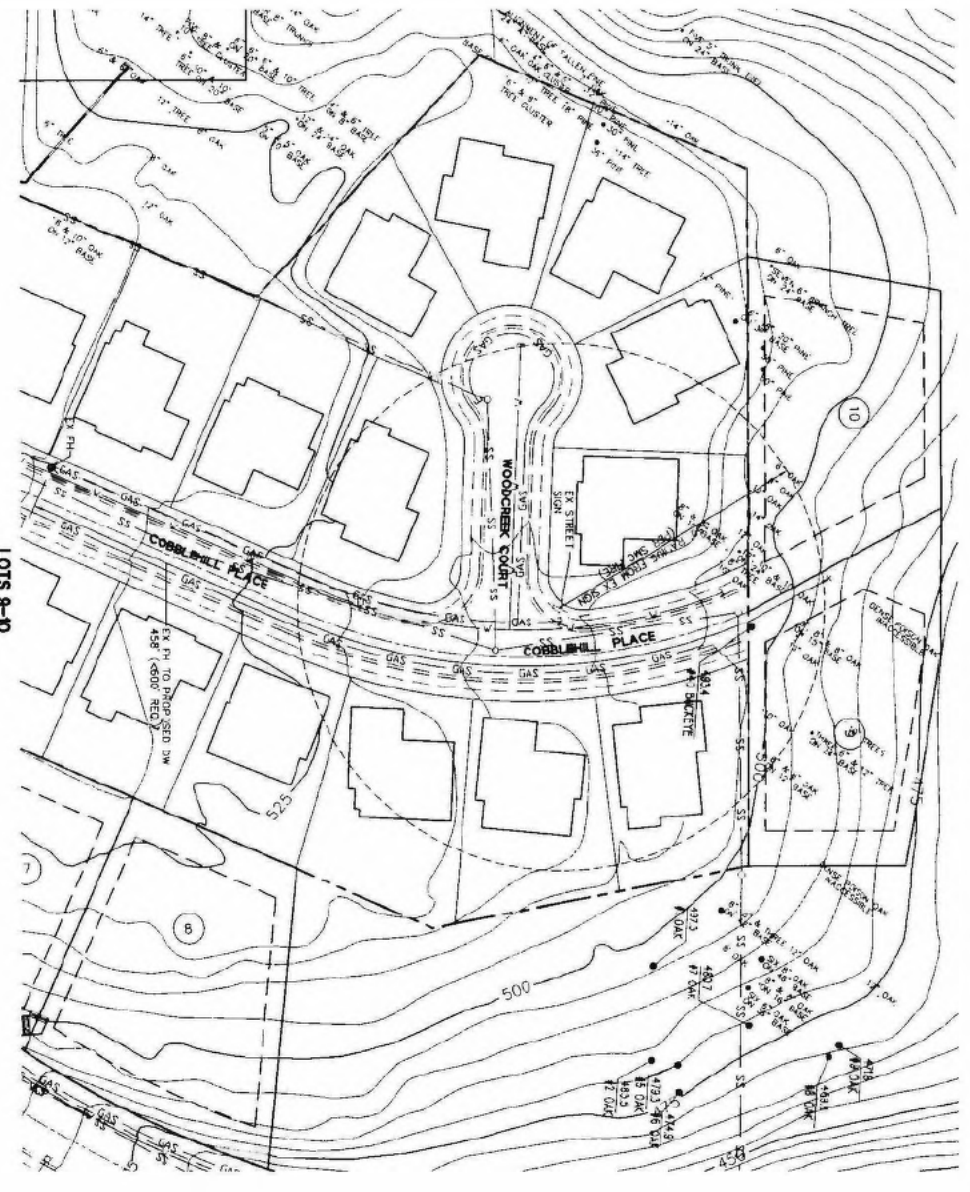


LOTS 9-10
 PROPOSED LOTTING PLAN
 SCALE: 1"=40'

DESIGNATED SWANSON PARCELS WITH EASEMENTS TO SAN MATEO COUNTY JURISDICTION (SEE MAPS) 84,472 ACRES TRP (NET AREA = 81,339 ACRES) TANK SITES = 81,339 ACRES



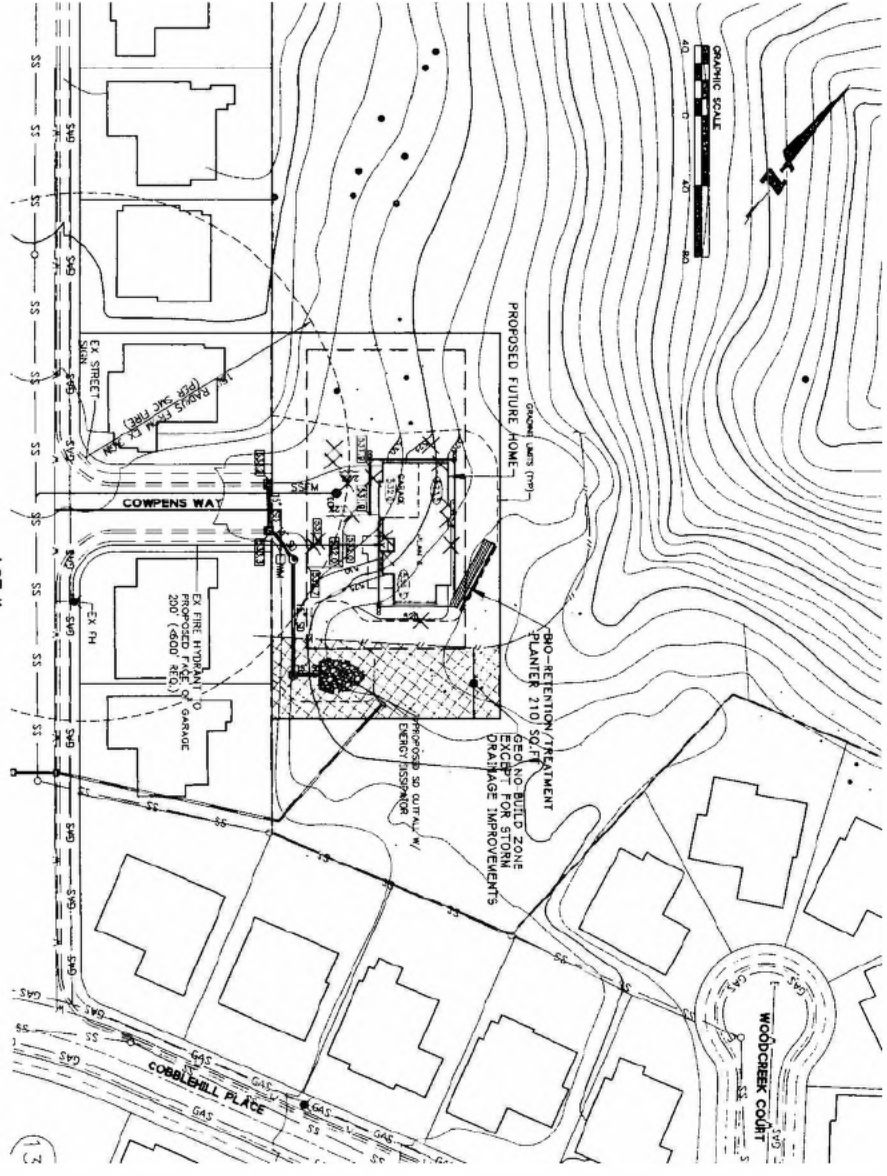
LOTS 9-10
 PRELIMINARY EROSION CONTROL PLAN
 SCALE: 1"=40'



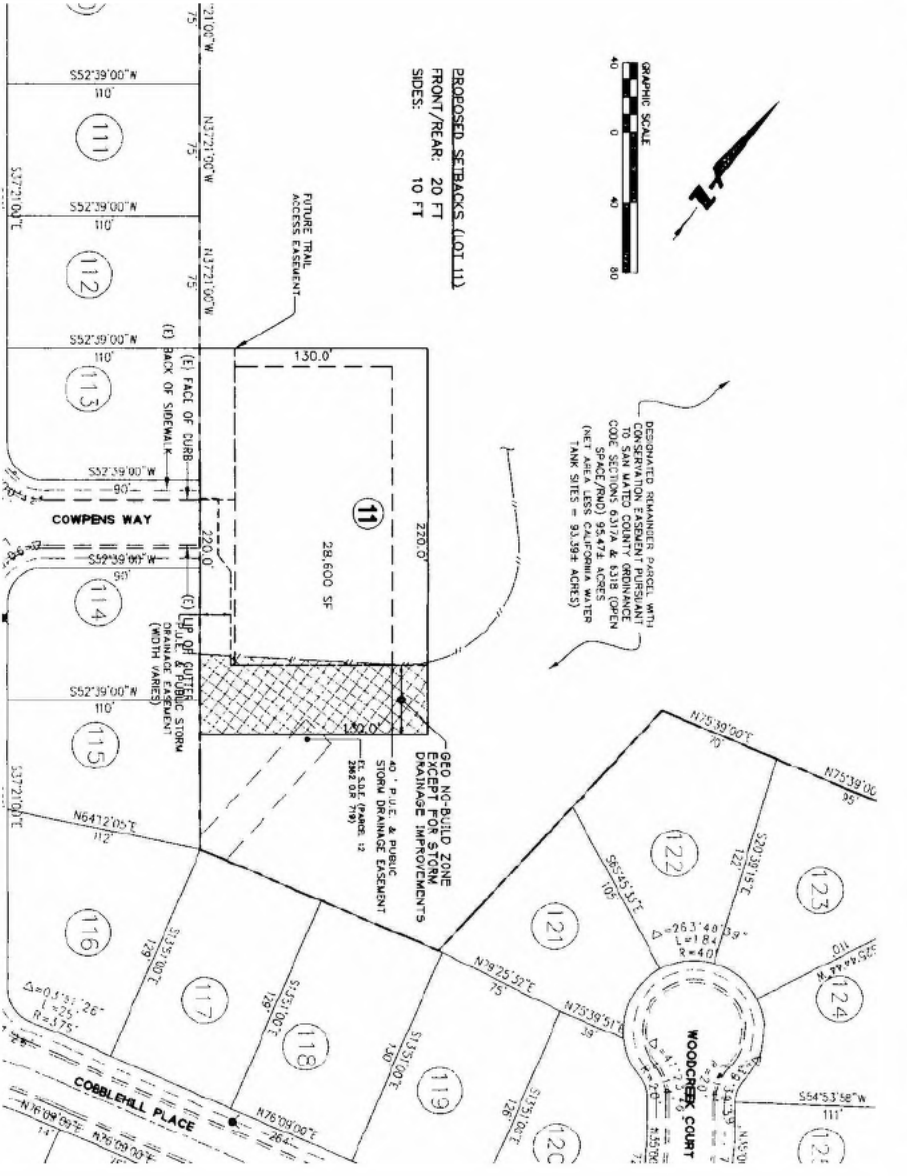
LOTS 9-10
 EXISTING TOPOGRAPHY AND UTILITIES
 SCALE: 1"=40'

Revisions	No.	Date	By
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	2		
	3		
	4		
	5		
	6		
	7		
	8		
	9		

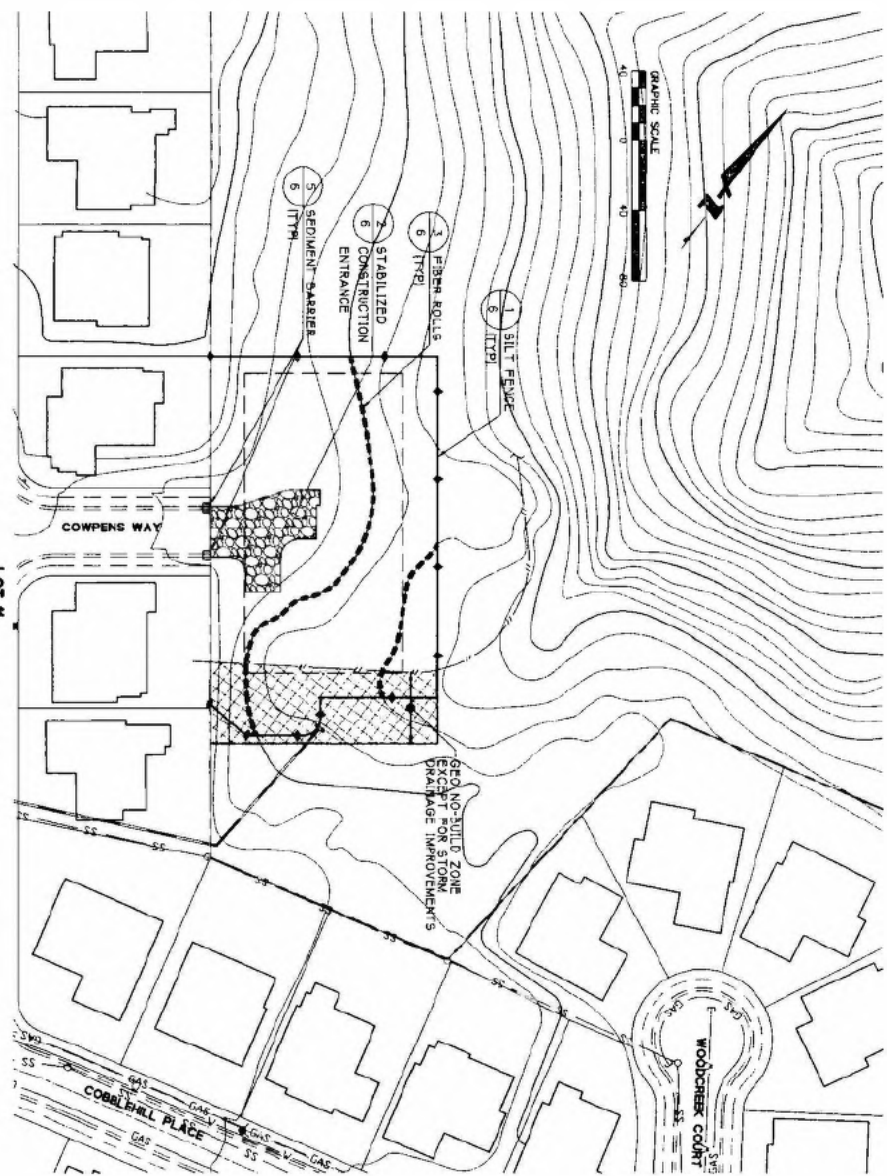
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 IF NOT ONE HOUR OR NEW SHEET, CHECK SOURCE APPROPRIATE



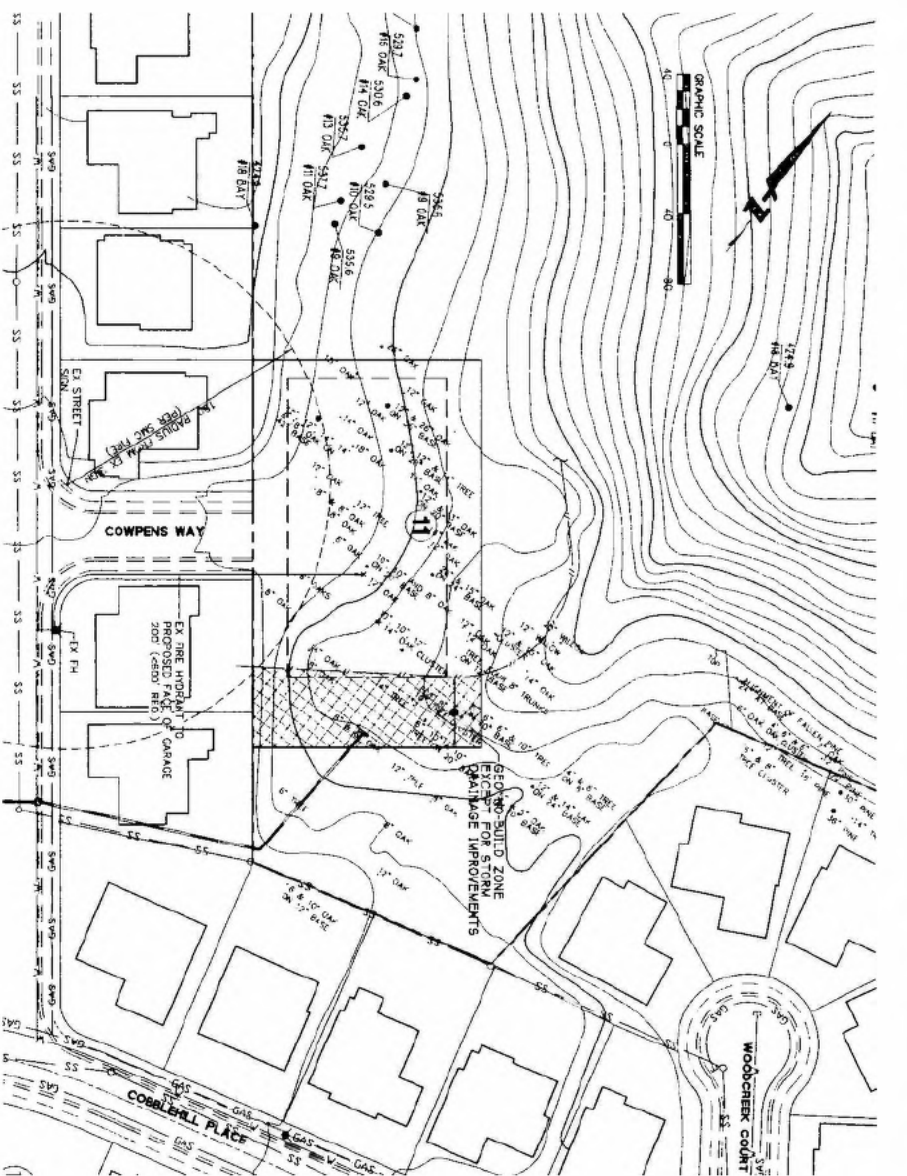
**LOT 11
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



**LOT 11
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'



**LOT 11
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'



**LOT 11
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'

FEBRUARY 2, 2010
 5 OF 9

Date	By	Revisions
02/25/09	det	
	det	
	det	
	det	
	det	
	det	

CITY OF SAN MATEO

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 LOT 11
 SAN MATEO COUNTY**

CALIFORNIA

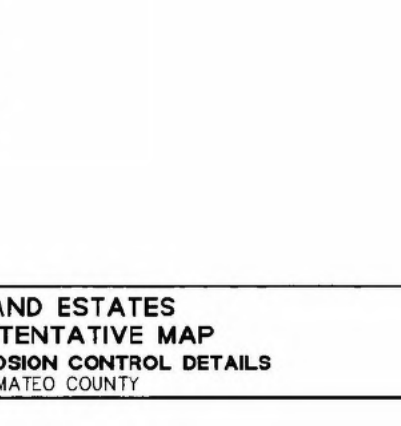
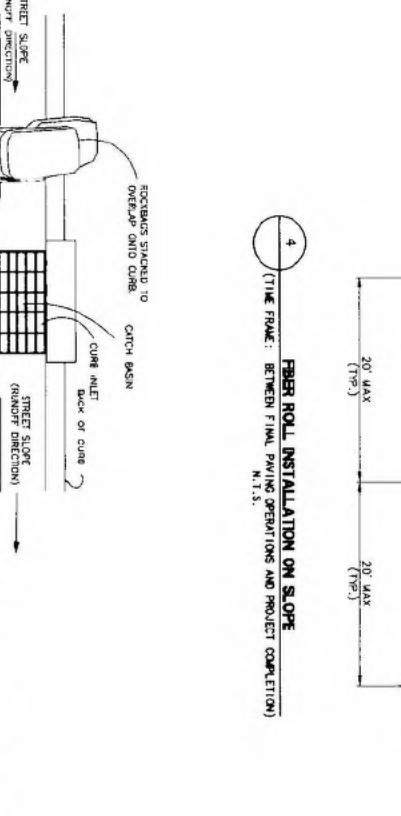
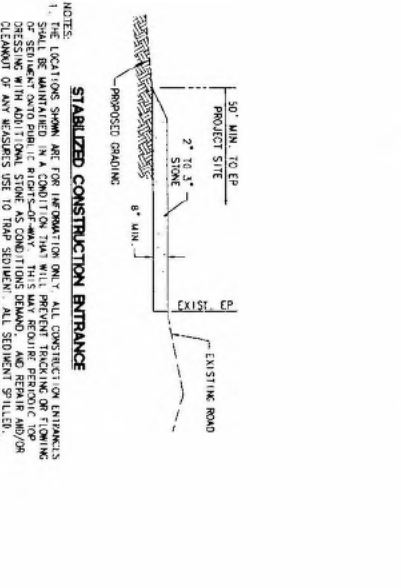
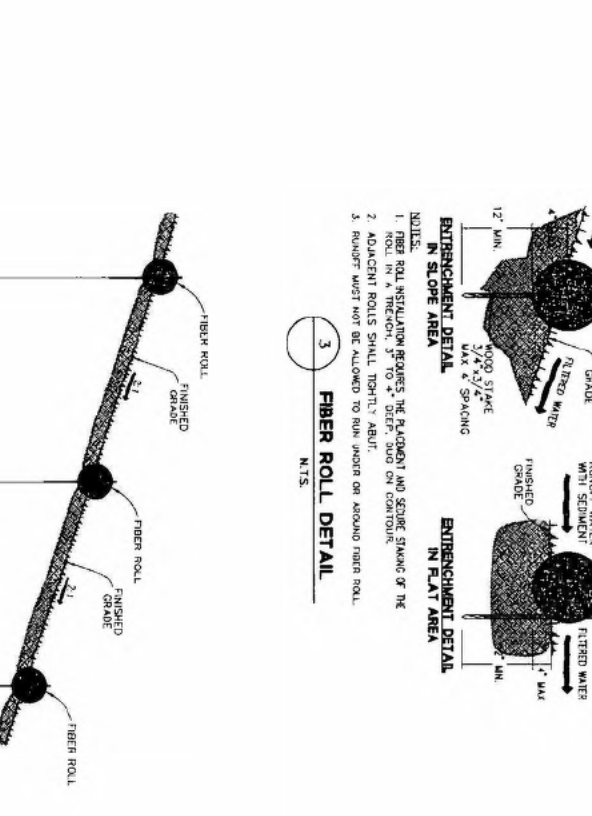
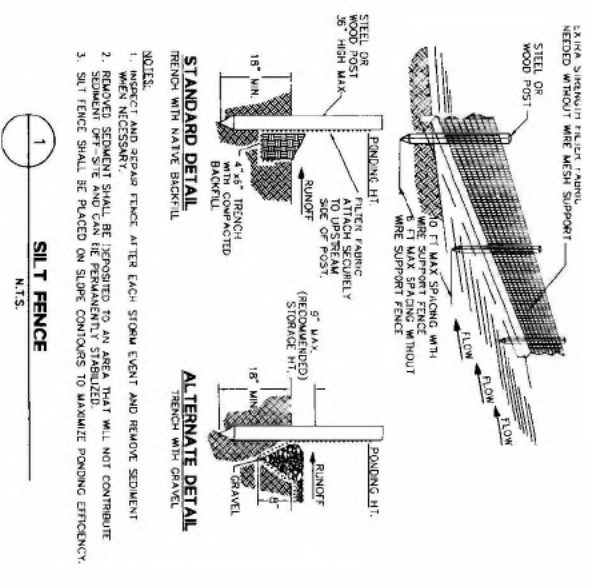


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EROSION CONTROL NOTES

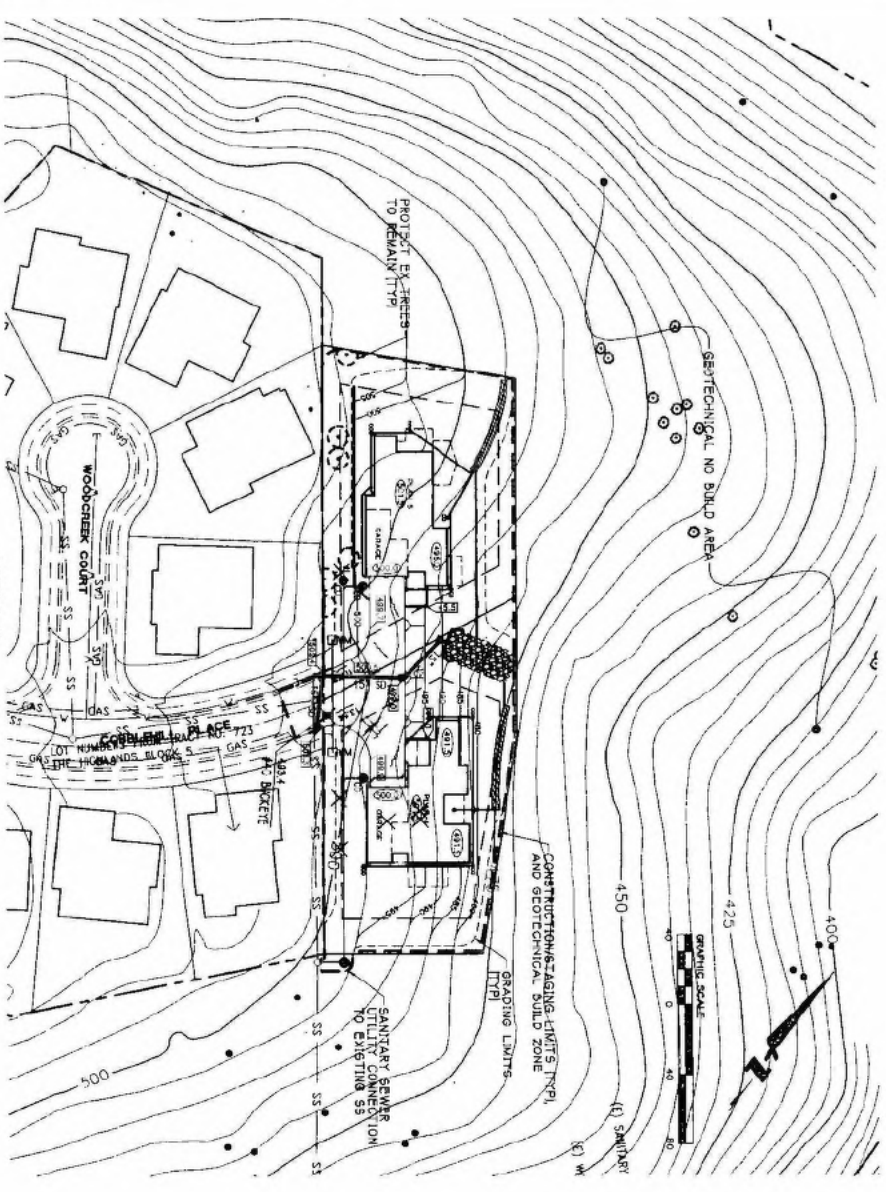
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPP).
2. ALTHOUGH SPECIFIC LOCATIONS FOR SEDIMENT CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS ANTICIPATED THIS EROSION CONTROL PLAN WILL BE ADJUSTED AS NECESSARY TO ACCOMMODATE AS LONG AS THE MINIMUM AREAS AND DEPTHS FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE INITIAL CONCEPT FOR INTERIM EROSION CONTROL. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CONSTRUCTION ACTIVITY AND EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS REVISIONS AS REQUIRED TO MAINTAIN SUFFICIENT QUANTITIES OF SEDIMENT FROM ENTERING THE DRAINAGE DRAINAGE SYSTEM.
4. THIS PLAN WILL COVER ALL THE SITUATIONS THAT MAY OCCUR DURING CONSTRUCTION. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMOVE THEM FROM THE SITE AS THE CONSTRUCTION PROGRESSES TO MAINTAIN SUFFICIENT QUANTITIES OF SEDIMENT FROM ENTERING THE DRAINAGE DRAINAGE SYSTEM.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN, INSTALLATION, MAINTENANCE AND REMOVAL OF ALL EROSION CONTROL MEASURES.
6. BEST MANAGEMENT PRACTICES AS SET FORTH IN THE SWPP SHALL BE OBSERVED.
7. DURING THE RAIN SEASON, ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
9. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
10. ALL TRACK TIRMS SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
11. DURING PERIODS WHEN STORMS ARE FORECAST - (BETWEEN OCT. 15 - APR. 15)
 - A. EXCAVATED SOILS SHOULD NOT BE PLACED IN STREETS OR ON PAVED AREAS.
 - B. ANY EXCAVATED SOILS SHOULD BE REMOVED FROM THE SITE BY THE END OF THE DAY.
 - C. WHERE STORAGE IS NECESSARY, USE A TAMPON IN OR SURROUND THE STORAGE AREA WITH STORM BARRIERS, SILT FENCE, OR OTHER BARRIERS.
 - D. THE STORAGE AREA SHALL BE COVERED WITH A TAMPON OR OTHER BARRIERS.
 - E. THE STORAGE AREA SHALL BE COVERED WITH A TAMPON OR OTHER BARRIERS.
12. IF NO WORK HAS PROCEEDED FOR A PERIOD OF 6 MONTHS, EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
13. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
14. PILES SHALL BE GRADED TO MINIMIZE STANDING WATER. SPECIFIC LOCATIONS FOR STANDING WATER SHALL BE IDENTIFIED AND GRADED TO MINIMIZE STANDING WATER.
15. STUBBED END OF PARTIALLY COMPLETED ROADWAYS SHALL BE PROTECTED WITH A TAMPON OR OTHER BARRIERS.
16. PAVED AREAS SHALL BE MAINTAINED AND REPAIRED AS NECESSARY.
17. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD WHEN MATERIAL IS STOCKPILED. IT SHALL BE SURROUNDED BY A SILT FENCE/FIBER ROLL.
18. TEMPORARY AND PERMANENT STUMPS DEEPER THAN 3 FEET SHALL BE SEED OR MULCH AS APPROPRIATE MEASURES ARE USED.
19. THE EROSION CONTROL PLAN IS FOR CONSTRUCTION BETWEEN OCTOBER 15, 2010 AND APRIL 15, 2011. THE CONTRACTOR SHALL MAINTAIN EROSION CONTROL MEASURES THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL REMOVE THEM FROM THE SITE AS THE CONSTRUCTION PROGRESSES TO MAINTAIN SUFFICIENT QUANTITIES OF SEDIMENT FROM ENTERING THE DRAINAGE DRAINAGE SYSTEM.
20. GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO SAN MATEO COUNTY PUBLIC WORKS BY NOVEMBER 15.
21. SEED MIX FOR REVEGETATION AND HOSSESSORING:
 - 30% BLUE GRASS
 - 30% BROWN BENT
 - 30% RYEGRASS
 - 10% CALIFORNIA NATIVE WILDFLOWERS
 APPLY AT 40 POUNDS PER ACRE MINIMUM
22. THE MAKE, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
23. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN OR ANY OTHER MEASURES ARE NOT BEING MAINTAINED OR REPAIRED AS NECESSARY, THE CONTRACTOR SHALL CONTACT THE BAY AREA REGIONAL WATER TREATMENT DISTRICT AT (650) 482-5350 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15 AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION



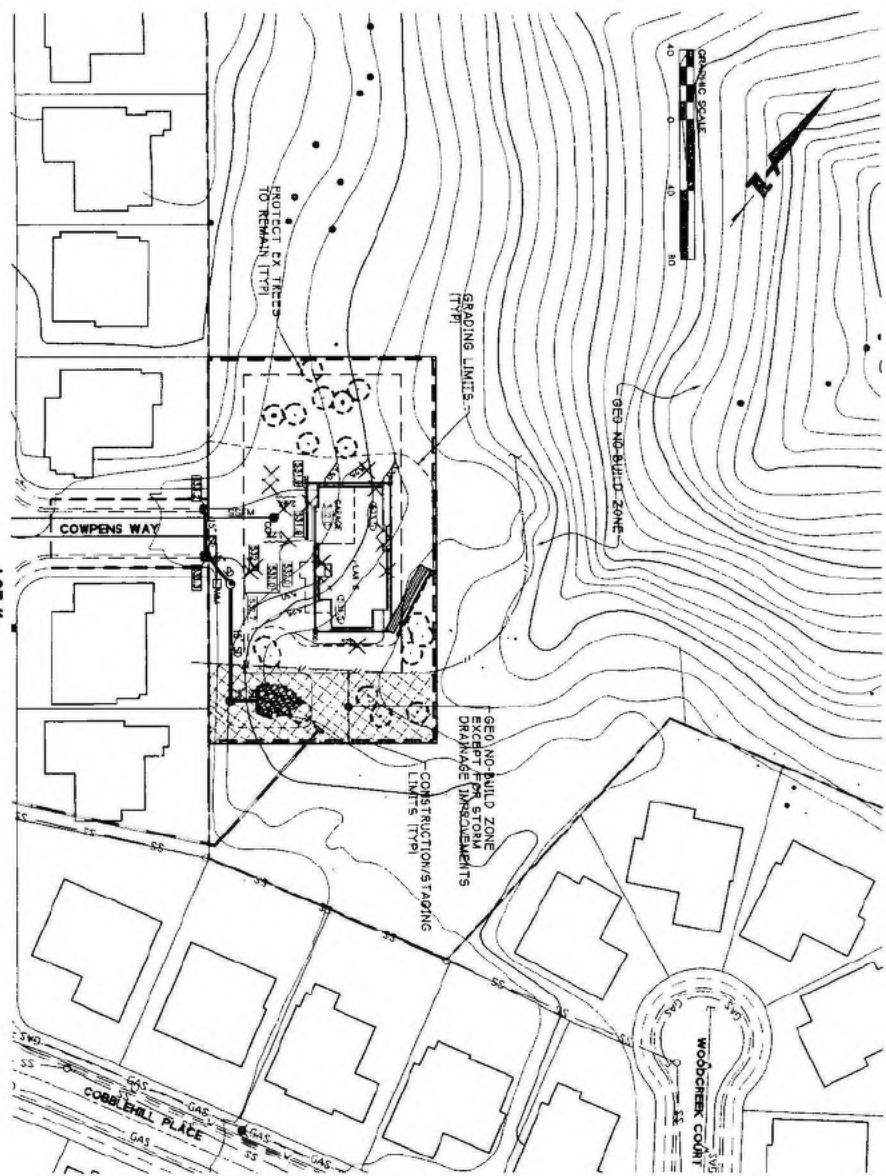
VERTICAL SCALE: SAME AS HORIZONTAL SCALE
 HORIZONTAL SCALE: 1" = 40'

**LOTS 9-10
 CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN**
 SCALE: 1"=40'




NOTE: CONSTRUCTION STAGING LIMITS AND GEOTECHNICAL BUILD ZONES WILL BE DEPENDENT ON FIELD AND GEOTECHNICAL CONDITIONS AT THE TIME OF CONSTRUCTION. THE ZONES/LIMITS SHOWN ON THIS PLAN REPRESENT THE ANTICIPATED AREAS NEEDED FOR CONSTRUCTION AT THIS TIME.

**LOT 11
 CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN**
 SCALE: 1"=40'



FEBRUARY 2, 2010

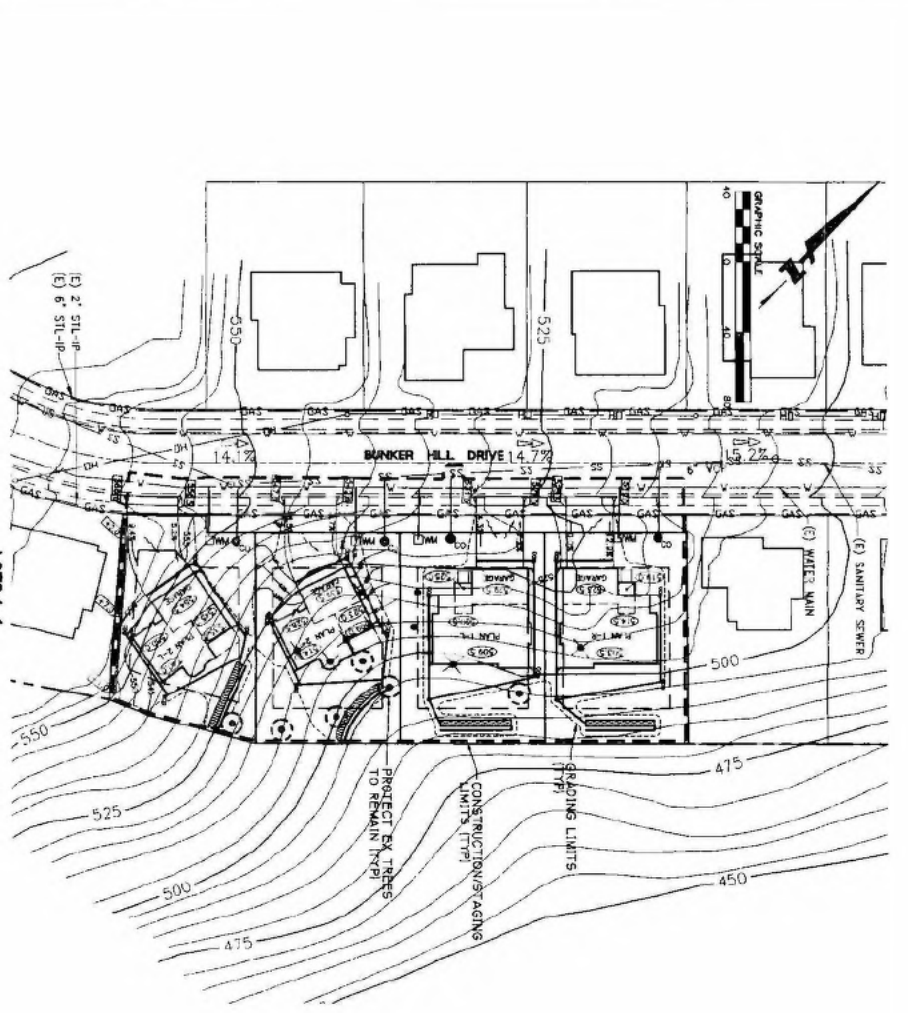
No.	Revisions
1	Issue for Review
2	Issue for Review
3	Issue for Review
4	Issue for Review
5	Issue for Review
6	Issue for Review
7	Issue for Review
8	Issue for Review
9	Issue for Review



BKF
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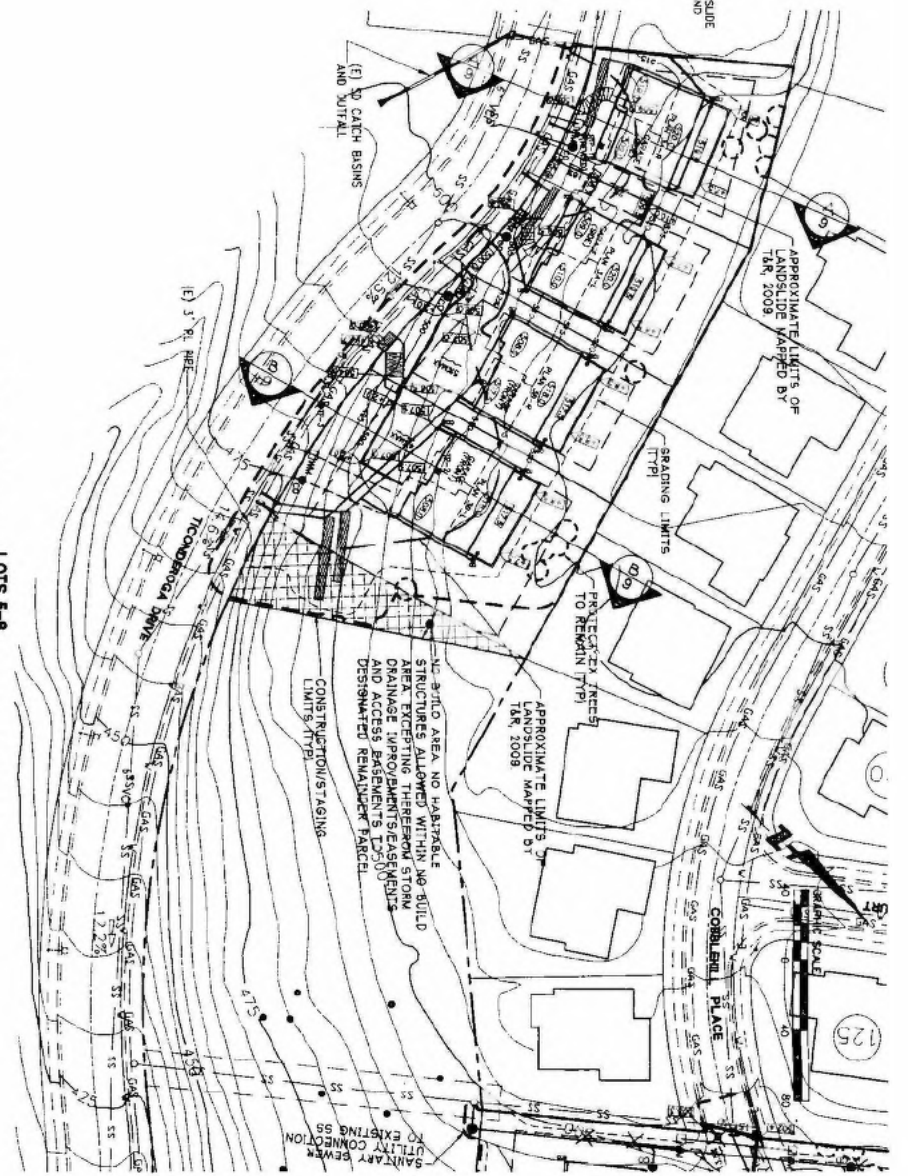
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6300 FAX

**LOTS 1-4
 CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN**
 SCALE: 1"=40'

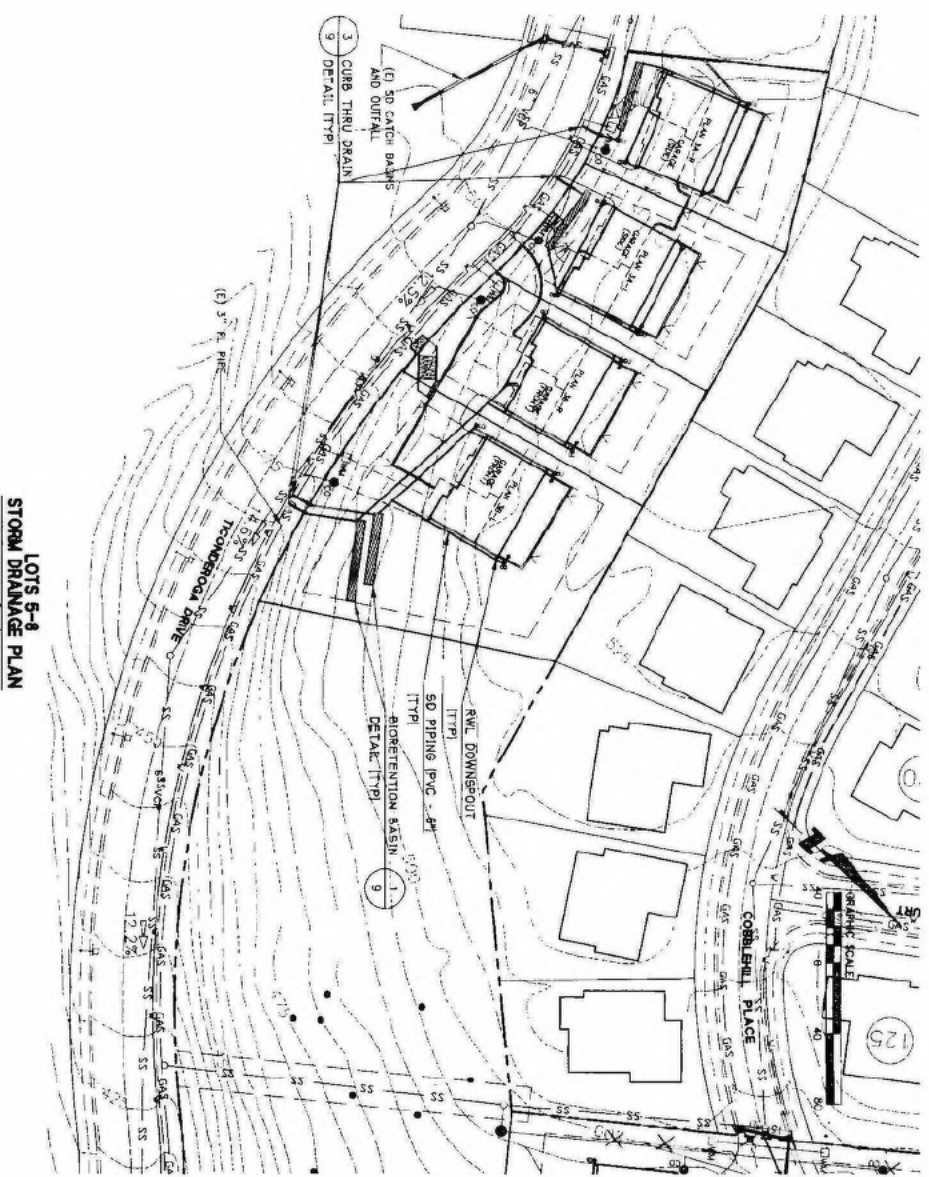
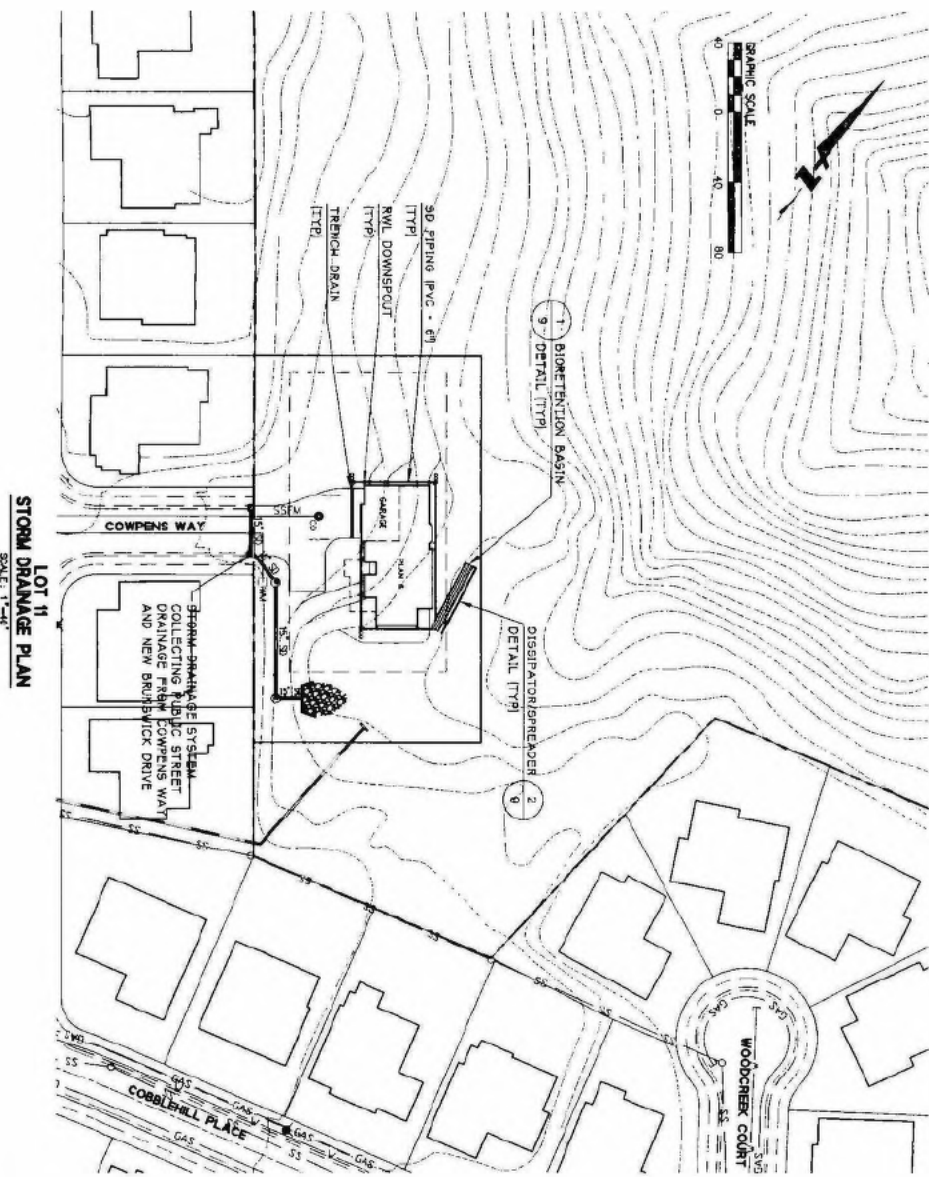
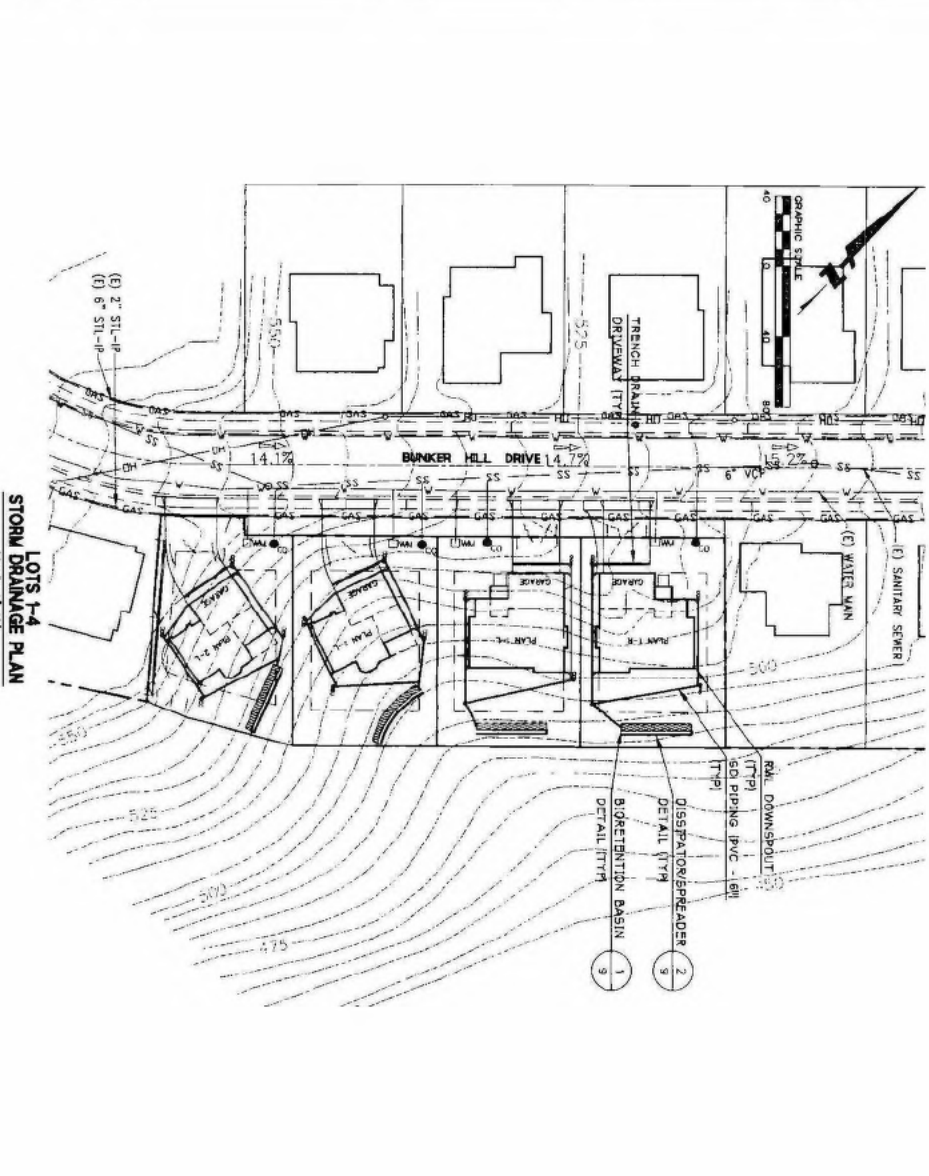
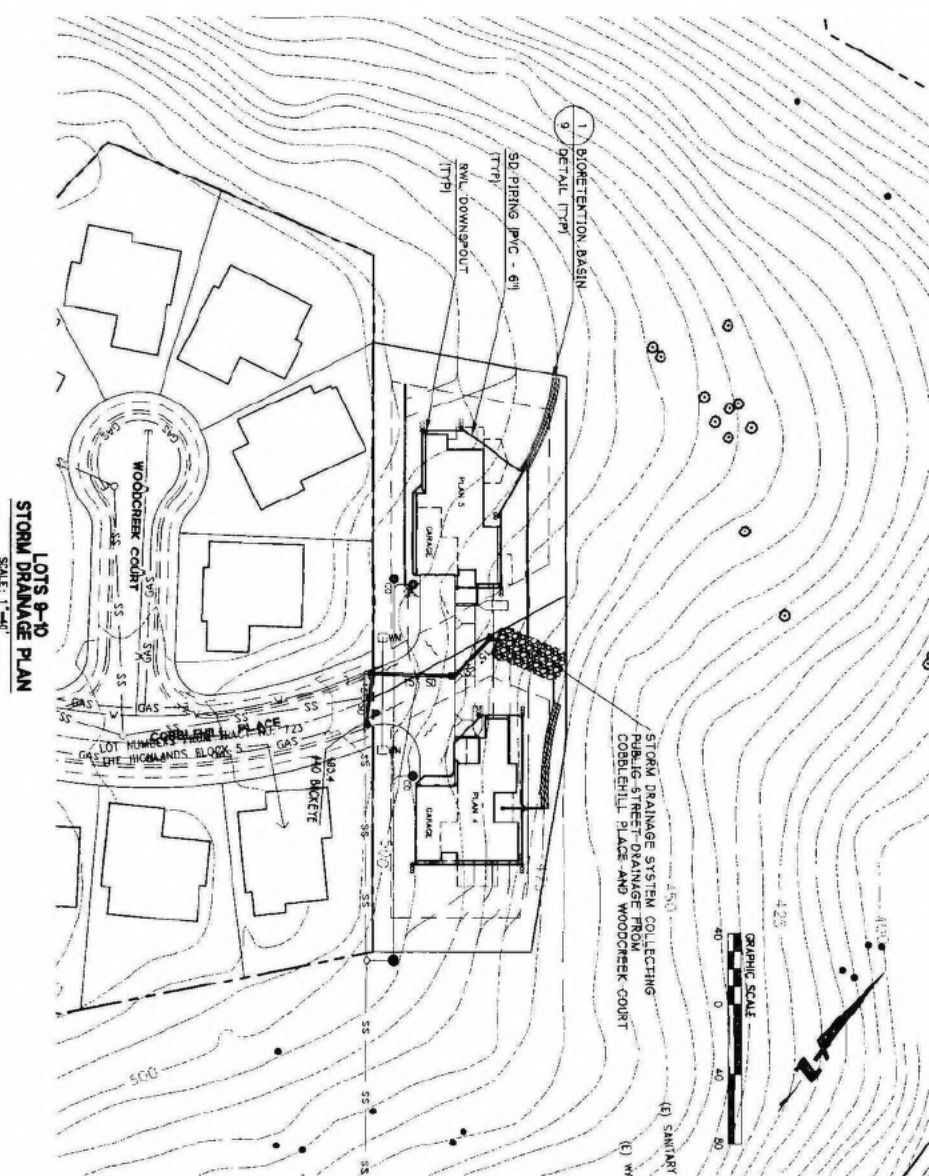


NOTE: FOR LOTS 3 AND 4, LANDSLIDE WILL BE REMOVED BY GRADING AND NO BUTTRESS FILL IS NEEDED.

**LOTS 5-8
 CLEARING, CONSTRUCTION, AND GRADING LIMITS PLAN**
 SCALE: 1"=40'



KEY: SCALES: BAR SHOWS 5' ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



FEBRUARY 2, 2010

No.	Revisions
8	
9	

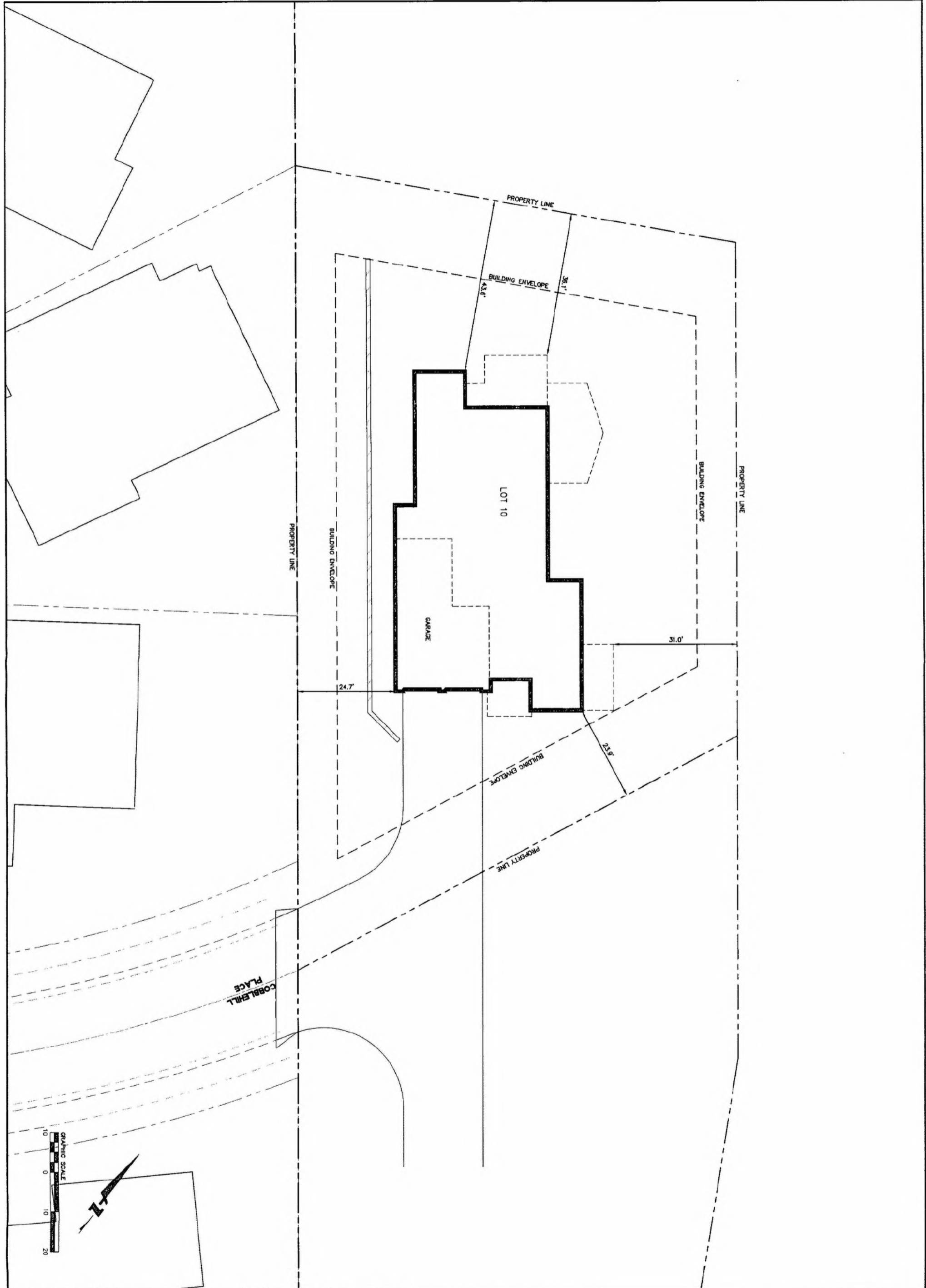
Date	By	Checked	Approved
02/28/09	JT		
02/28/09	JD		
02/28/09	RD		
02/28/09	RD		

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 STORM DRAINAGE PLAN
 SAN MATEO COUNTY**

CITY OF SAN MATEO
 CALIFORNIA



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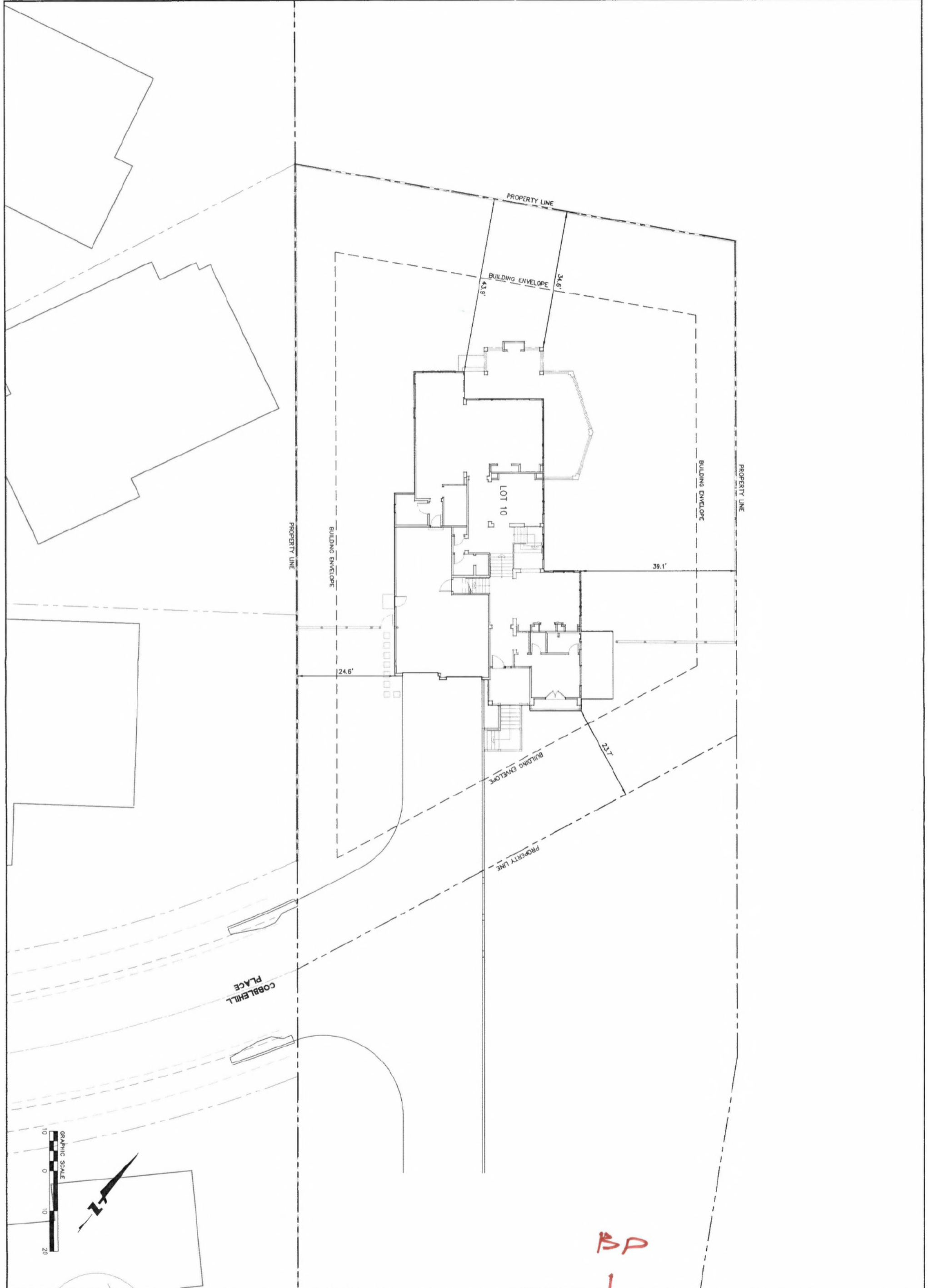
LOT 10	Date	6/30/17	No.	Revisions
	Scale	1" = 10'		
	Design	NH		
	Drawn	NH		
	Approved	JT		
Job No		19950168		

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 APPROVED LOT 10 PLAN**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

BkF 100 YEARS
 ENGINEERS . SURVEYORS . PLANNERS

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 SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300
 www.bkf.com



Revisions	No.	Date
		6/30/17

Date: 6/30/17
 Scale: 1" = 10'
 Design: NH
 Drawn: NH
 Approved: JT
 Job No: 19950168

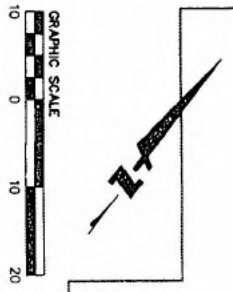
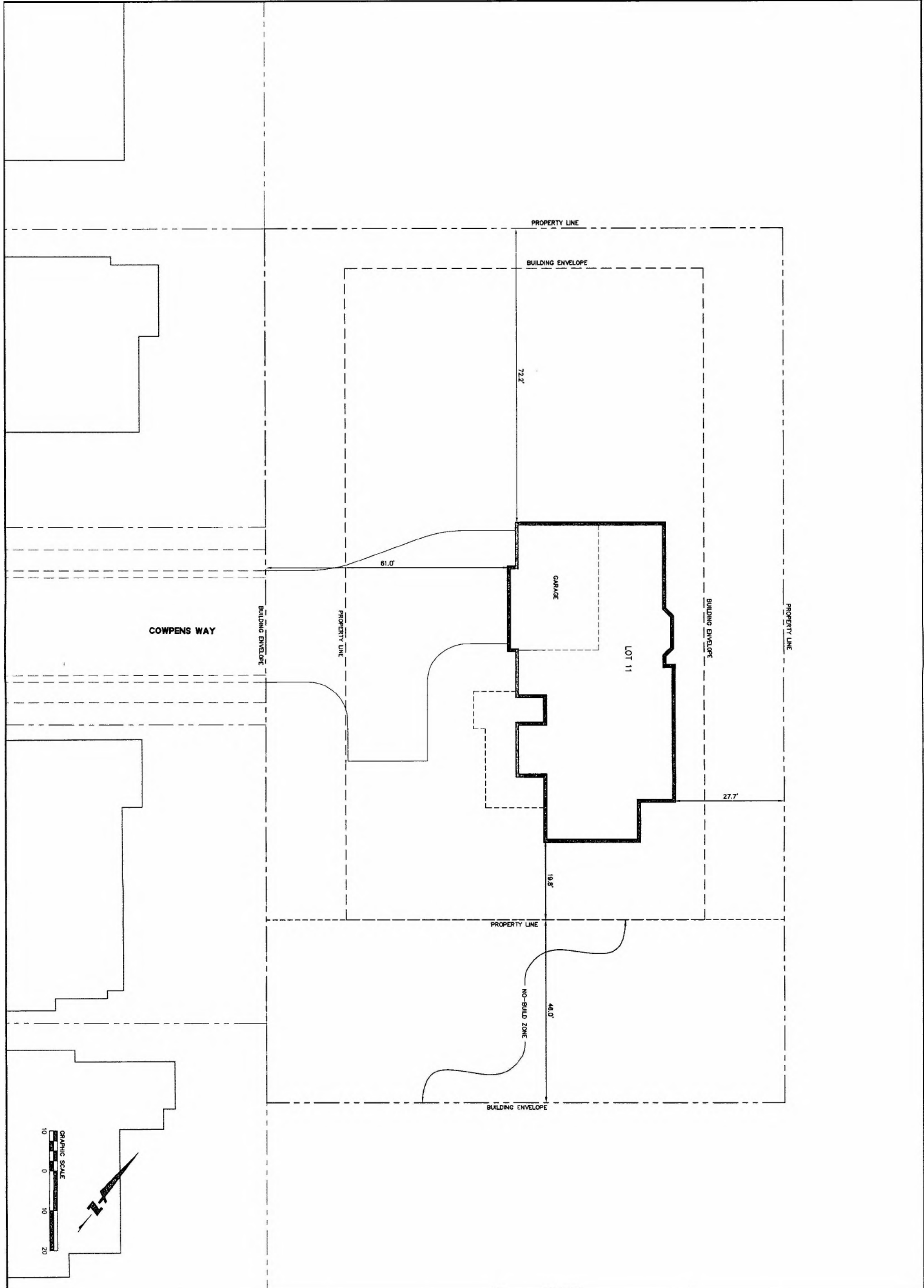
HIGHLAND ESTATES
VESTING TENTATIVE MAP
CURRENT LOT 10 PLAN

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

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LOT 10
 OF



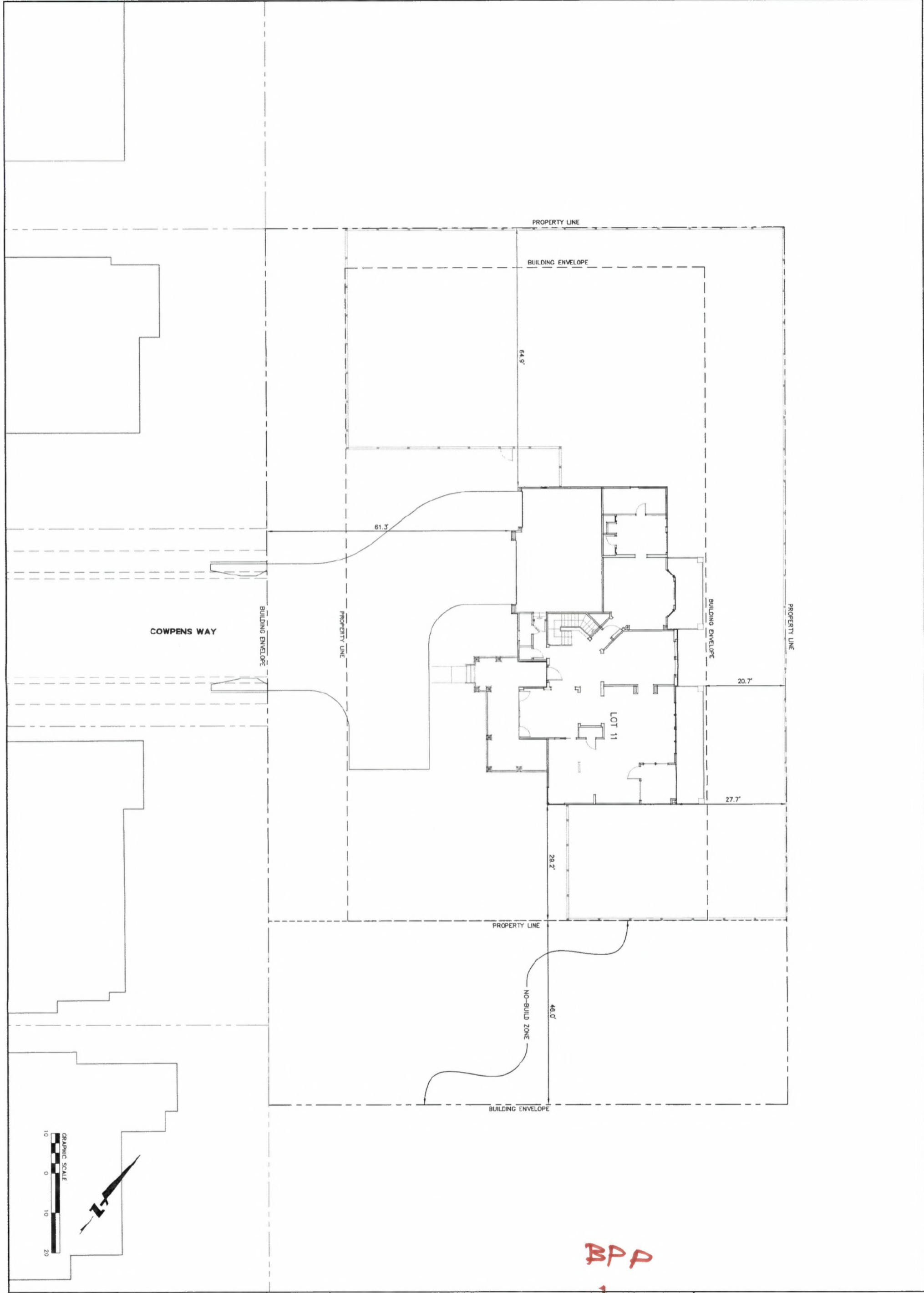
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	Scale	1" = 10'		
	Design	NH		
	Drawn	NH		
	Approved	JT		
	Job No	19950168		

**HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 APPROVED LOT 11 PLAN**

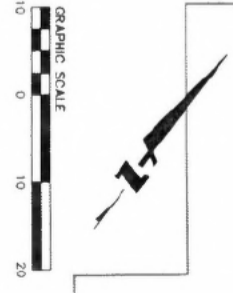
CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

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BPP



LOT 11	Date	6/30/17	No.		Revisions
	Scale	1" = 10'			
	Design	NH			
	Drawn	NH			
	Approved	JT			
Job No		19950168			

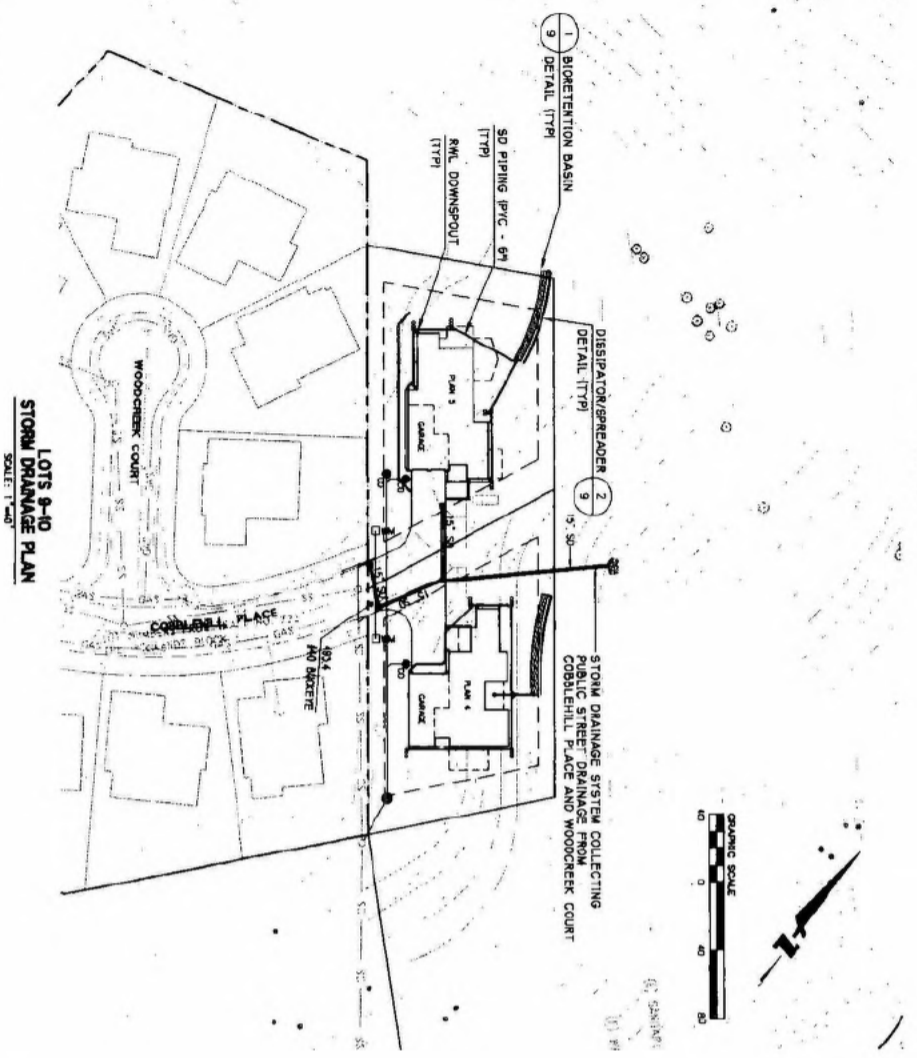
HIGHLAND ESTATES
~~VESTING TENTATIVE MAP~~
CURRENT LOT 11 PLAN

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

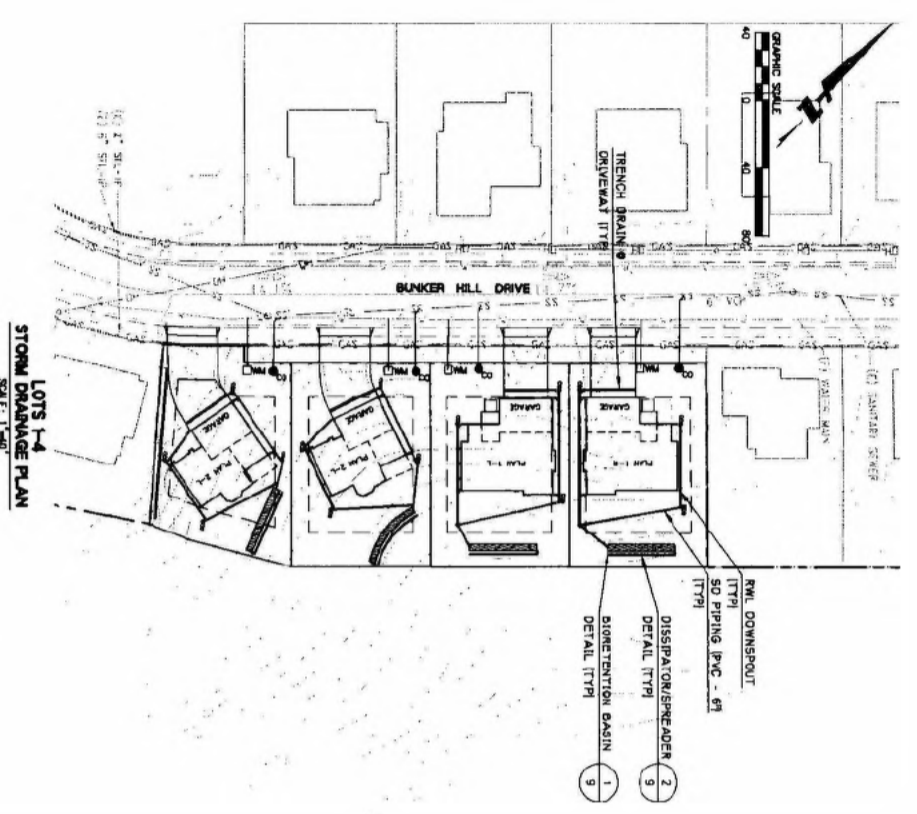
BKF 100 YEARS
 ENGINEERS . SURVEYORS . PLANNERS

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 SUITE 200
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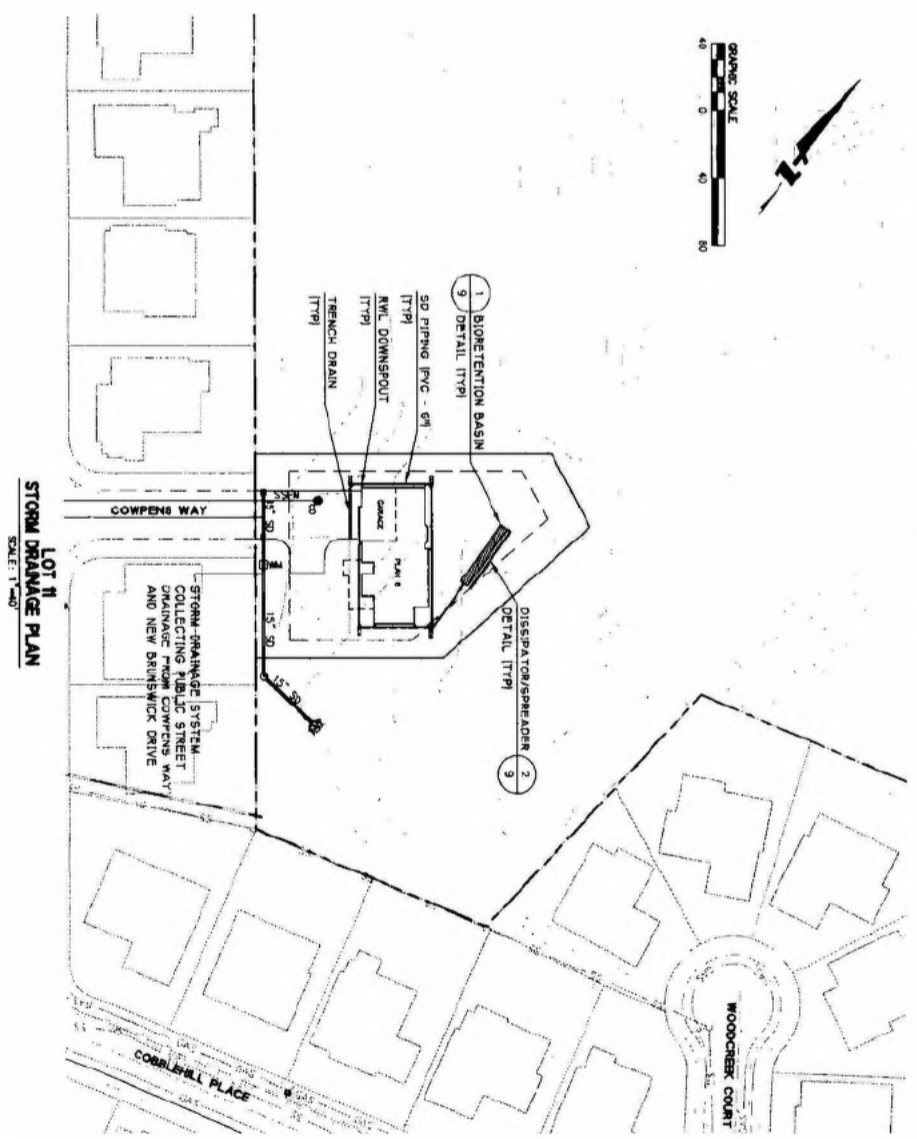
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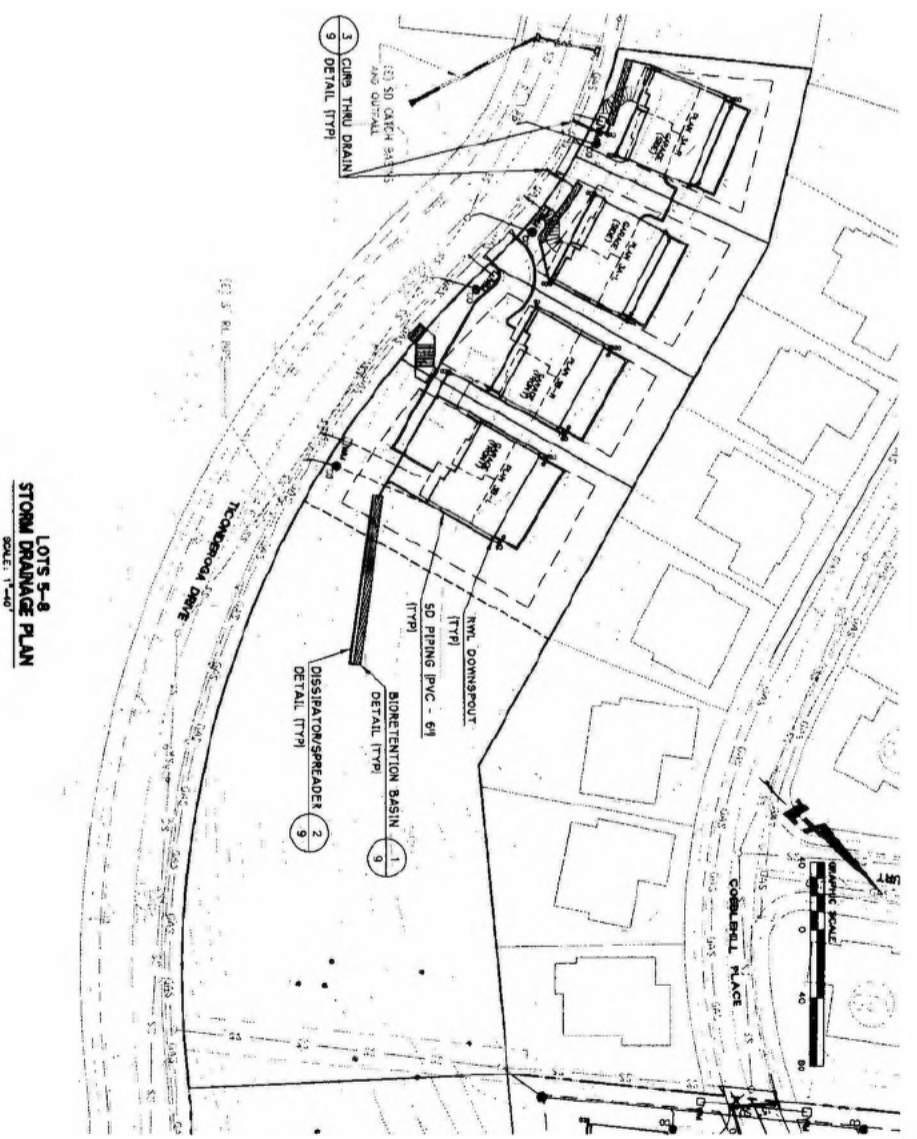
LOTS 3-4
 STORM DRAINAGE PLAN
 SCALE: 1"=40'



LOTS 1-4
 STORM DRAINAGE PLAN
 SCALE: 1"=40'



LOT 11
 STORM DRAINAGE PLAN
 SCALE: 1"=40'



LOTS 5-8
 STORM DRAINAGE PLAN
 SCALE: 1"=40'

DECEMBER 11, 2009

No.	Revisions
8	
9	

CITY OF SAN MATEO

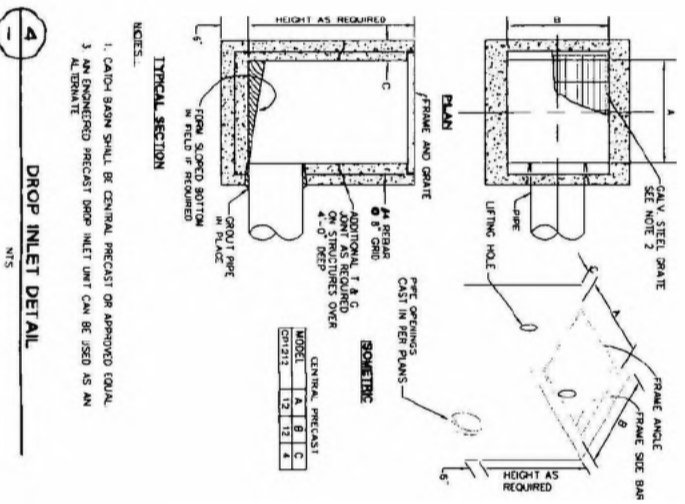
HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 STORM DRAINAGE PLAN
 SAN MATEO COUNTY

CALIFORNIA

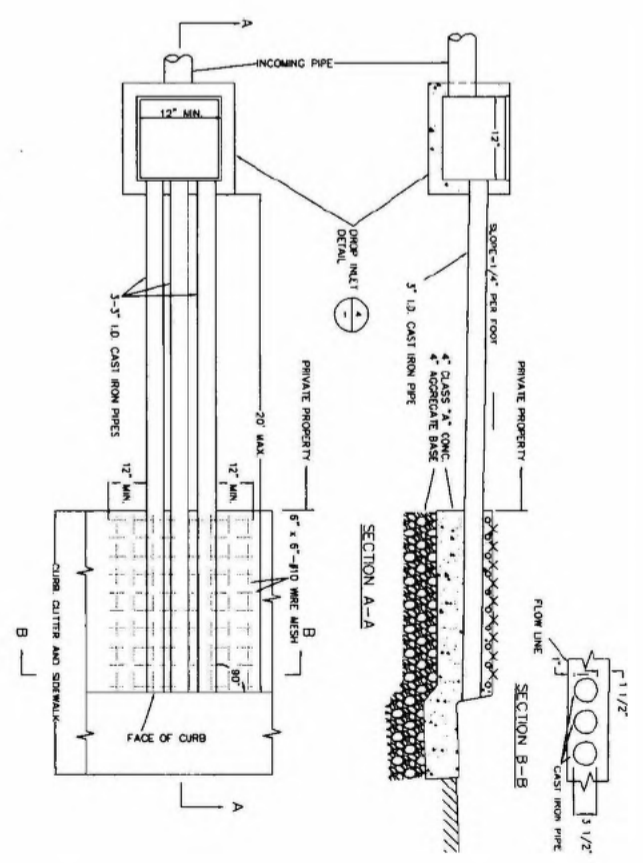


255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-8300 PHONE
 (650) 482-6399 FAX

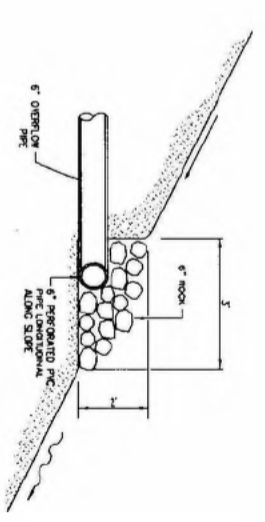
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 HORIZONTAL SCALE: 1" = 1'-0"
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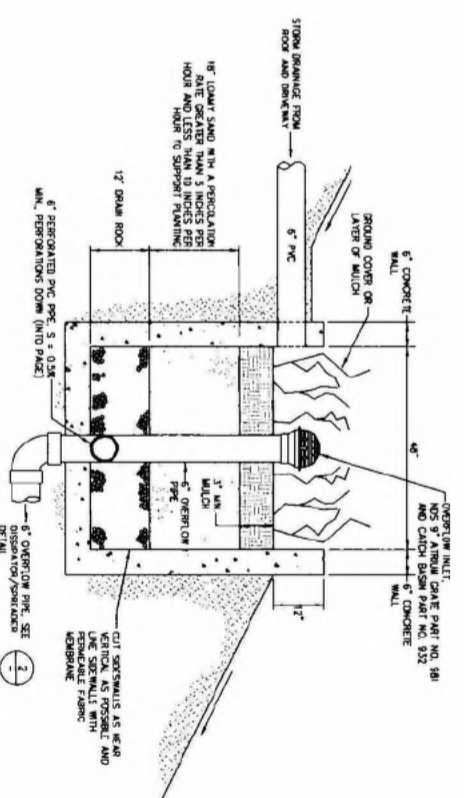
4 DROP INLET DETAIL
NTS



3 CURB THRU DRAIN DETAIL
NTS



2 DISSIPATOR/SPREADER DETAIL
NTS



1 BIORETENTION BASIN DETAIL
NTS

DECEMBER 11, 2009

Revisions	No.	Date
SCHEMATIC	1	02/25/09
DESIGN	2	07/14/09
CONSTRUCTION	3	07/14/09
AS BUILT	4	07/14/09

CITY OF SAN MATEO

HIGHLAND ESTATES
 VESTING TENTATIVE MAP
 CONSTRUCTION DETAILS
 SAN MATEO COUNTY

CALIFORNIA



255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

OWNER'S STATEMENT

WE HEREBY STATE THAT WE ARE THE OWNERS OF OR HAVE SOME RIGHT, TITLE, OR INTEREST IN AND TO THE REAL PROPERTY INCLUDED WITHIN THE SUBDIVISION SHOWN UPON THE HEREIN MAP; THAT WE ARE THE ONLY PERSONS WHOSE CONSENT IS NECESSARY TO PASS CLEAR TITLE TO SAID REAL PROPERTY; AND THAT WE CONSENT TO THE PREPARATION AND RECORDATION OF SAID MAP AND SUBDIVISION AS SHOWN WITHIN THE DISTINCTIVE BOUNDARY LINE.

WE HEREBY DEDICATE TO PUBLIC USE THOSE CERTAIN EASEMENTS SHOWN HEREON AS "E.V.A.E." (EMERGENCY VEHICLE ACCESS EASEMENT) AND "P.U.E." (PUBLIC UTILITY EASEMENT) AS SHOWN ON SAID MAP WITHIN SAID SUBDIVISION. SAID EASEMENTS SHALL BE KEPT FREE AND CLEAR OF BUILDINGS AND STRUCTURES, EXCEPT ALL LAWFUL UNSUPPORTED ROOF OVERHANGS.

NO STRUCTURES ARE ALLOWED WITHIN THOSE AREAS SHOWN HEREON AS "N.B.A." (NO-BUILD AREA) ON PORTIONS OF LOT B AND LOT 11, EXCEPT AS SHOWN.

AS OWNERS:

TICONDEROGA PARTNERS LLC, A CALIFORNIA LIMITED LIABILITY COMPANY

BY: _____
NAME TITLE

AS TRUSTEE:

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2011-031878

BY: _____
NAME TITLE

AS TRUSTEE:

FIRST AMERICAN TITLE INSURANCE COMPANY, A CALIFORNIA CORPORATION, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2012-116991

BY: _____
NAME TITLE

AS TRUSTEE:

EXCEL FINANCIAL, TRUSTEE UNDER DEED OF TRUST, SERIES NO. 2014-087444

BY: _____
NAME TITLE

OWNER'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

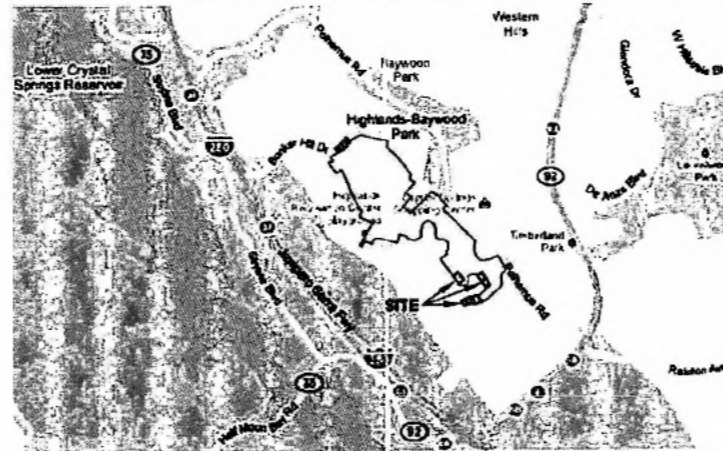
ON _____ DATE BEFORE ME, _____
PERSONALLY APPEARED _____
HERE INSERT NAME AND TITLE OF THE OFFICER

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC



VICINITY MAP

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ DATE BEFORE ME, _____
PERSONALLY APPEARED _____
HERE INSERT NAME AND TITLE OF THE OFFICER

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ DATE BEFORE ME, _____
PERSONALLY APPEARED _____
HERE INSERT NAME AND TITLE OF THE OFFICER

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

TRUSTEE'S ACKNOWLEDGMENT

A NOTARY PUBLIC OR OTHER OFFICER COMPLETING THIS CERTIFICATE VERIFIES ONLY THE IDENTITY OF THE INDIVIDUAL WHO SIGNED THE DOCUMENT TO WHICH THIS CERTIFICATE IS ATTACHED, AND NOT THE TRUTHFULNESS, ACCURACY, OR VALIDITY OF THAT DOCUMENT.

STATE OF CALIFORNIA)
COUNTY OF _____)

ON _____ DATE BEFORE ME, _____
PERSONALLY APPEARED _____
HERE INSERT NAME AND TITLE OF THE OFFICER

NAME(S) OF SIGNER(S)
WHO PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE TO BE THE PERSON(S) WHOSE NAME(S) IS/ARE SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE/SHE/THEY EXECUTED THE SAME IN HIS/HER/THEIR AUTHORIZED CAPACITY(IES) AND BY HIS/HER/THEIR SIGNATURE(S) ON THE INSTRUMENT THE PERSON(S), OR THE ENTITY UPON BEHALF OF WHICH THE PERSON(S) ACTED, EXECUTED THE INSTRUMENT.

I CERTIFY UNDER PENALTY OF PERJURY UNDER THE LAWS OF THE STATE OF CALIFORNIA THAT THE FOREGOING PARAGRAPH IS TRUE AND CORRECT.

WITNESS MY HAND AND OFFICIAL SEAL.

SIGNATURE _____
SIGNATURE OF NOTARY PUBLIC

SURVEYOR'S STATEMENT

THIS MAP WAS PREPARED BY ME OR UNDER MY DIRECTION AND IS BASED UPON A FIELD SURVEY IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AND LOCAL ORDINANCE AT THE REQUEST OF TICONDEROGA PARTNERS LLC ON APRIL 2011. I HEREBY STATE THAT THIS FINAL MAP SUBSTANTIALLY CONFORMS TO THE APPROVED OR CONDITIONALLY APPROVED TENTATIVE MAP, IF ANY, AND THAT ALL MONUMENTS ARE OF THE CHARACTER AND OCCUPY THE POSITIONS INDICATED, OR THAT THEY WILL BE SET IN THOSE POSITIONS BEFORE SEPTEMBER 2017, AND THAT THE MONUMENTS ARE, OR WILL BE, SUFFICIENT TO ENABLE THE SURVEY TO BE RETRACED.

DATE: _____



ALEX M. CALDER, P.L.S. 8863

**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SEPTEMBER 2015



BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6300

APPROVED 09/23/15 *CPV* 9/8/15 MAP CHECK SUBMITTAL

COUNTY SURVEYOR'S STATEMENT

I HEREBY STATE THAT I HAVE EXAMINED THIS MAP AND THAT THE SUBDIVISION AS SHOWN HEREON IS SUBSTANTIALLY THE SAME AS IT APPEARED ON THE TENTATIVE MAP, IF REQUIRED, AND ANY APPROVED ALTERATIONS THEREOF; THAT ALL THE PROVISIONS OF THE CALIFORNIA "SUBDIVISION MAP ACT" AND OF THE "SAN MATEO COUNTY ORDINANCE" APPLICABLE AT THE TIME OF APPROVAL OF THE TENTATIVE MAP, IF REQUIRED, HAVE BEEN COMPLIED WITH; AND THAT I AM SATISFIED THAT THE MAP IS TECHNICALLY CORRECT.

DATE: _____
 CHRISTOPHER G. VANDREY, LICENSED LAND SURVEYOR
 L.S. No. 8783

CLERK OF THE BOARD STATEMENT

I HEREBY STATE THAT THE BOARD OF SUPERVISORS OF SAN MATEO COUNTY, STATE OF CALIFORNIA, DO HEREBY CERTIFY THAT CERTIFICATES HAVE BEEN FILED AND DEPOSITS HAVE BEEN MADE IN CONFORMANCE WITH THE REQUIREMENTS OF SECTIONS 66492 AND 66493 OF THE GOVERNMENT CODE OF THE STATE OF CALIFORNIA AND ALSO DID APPROVE THE WITHIN MAP (AND DID ACCEPT ON BEHALF OF THE PUBLIC, ANY REAL PROPERTY OFFERED FOR DEDICATION SUBJECT TO THE CONDITION THAT THE COUNTY IS NOT RESPONSIBLE OR LIABLE FOR ANY COST OR EXPENSE OF ANY OFFER ACCEPTED UNLESS AUTHORIZED BY SEPARATE ACTION OF THE BOARD OF SUPERVISORS).

DATED: _____ BY: _____
 CLERK OF THE BOARD OF SUPERVISORS
 SAN MATEO COUNTY, STATE OF CALIFORNIA

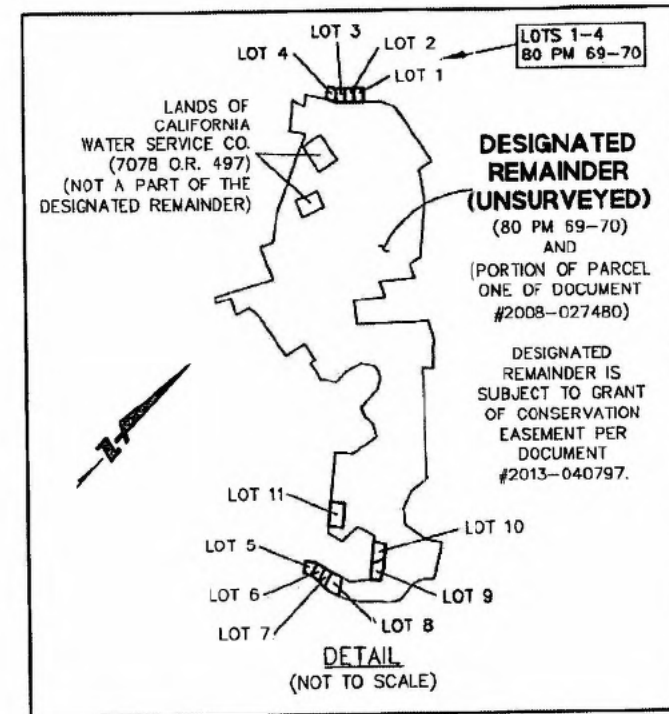
BY: _____
 DEPUTY

COUNTY RECORDER'S STATEMENT

FILED THIS _____ DAY OF _____, 20____, AT _____M. IN
 VOLUME _____ OF MAPS AT PAGES _____ THROUGH _____, AT THE REQUEST
 OF BKF ENGINEERS.
 MARK CHURCH, SAN MATEO COUNTY RECORDER

FILE NO. _____ BY: _____
 DEPUTY

FEE: _____



GEOTECHNICAL REPORT NOTE

THE FOLLOWING GEOTECHNICAL REPORTS HAVE BEEN PREPARED FOR THE HIGHLAND ESTATES PROJECT. COPIES OF THE GEOTECHNICAL REPORTS ARE ON FILE WITH THE SAN MATEO COUNTY PLANNING AND BUILDING DEPARTMENTS, REFERENCE FILE NO. PLN2006-00357.

1. PRELIMINARY GEOLOGIC/GEOTECHNICAL INVESTIGATION REPORT HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED SEPTEMBER 1990.
2. GEOTECHNICAL INVESTIGATION REPORT FOR HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED JULY 1993.
3. SUPPLEMENTAL GEOTECHNICAL REPORT RESPONDING TO GEOTECHNICAL REVIEW COMMENTS FOR HIGHLAND ESTATES, PREPARED BY SOIL FOUNDATION SYSTEMS, INC., DATED NOVEMBER 1994.
4. GEOTECHNICAL INVESTIGATION AND GEOLOGIC HAZARDS REVIEW FOUR SINGLE-FAMILY HOMES TICONDEROGA DRIVE, PREPARED BY TRC LOWNEY, DATED FEBRUARY 7, 2006.
5. GEOLOGIC EVALUATION ENVIRONMENTAL IMPACT REPORT HIGHLANDS ESTATES RESIDENTIAL DEVELOPMENT PROJECT, PREPARED BY TREADWELL & ROLLO, DATED 23 SEPTEMBER 2008.

BASIS OF BEARINGS

THE BEARING NORTH 76°09'00" EAST OF THE CENTERLINE OF COBBLEHILL PLACE AS SHOWN ON TRACT MAP NO. 723, THE HIGHLANDS, RECORDED ON AUGUST 26, 1955, IN VOLUME 43 OF MAPS AT PAGES 23-25, SAN MATEO COUNTY RECORDS.

NOTES

1. THE DESIGNATED REMAINDER SHOWN HEREIN IS UNSURVEYED AND IS GRAPHICALLY SHOWN BASED ON RECORD DATA ONLY.
2. ANY DEVELOPMENT OF THE PROJECT PARCELS MUST COMPLY WITH THE CONDITIONS OF APPROVAL, AS APPROVED BY THE BOARD OF SUPERVISORS ON APRIL 27, 2010.

**TRACT MAP NO. 944
 HIGHLAND ESTATES**

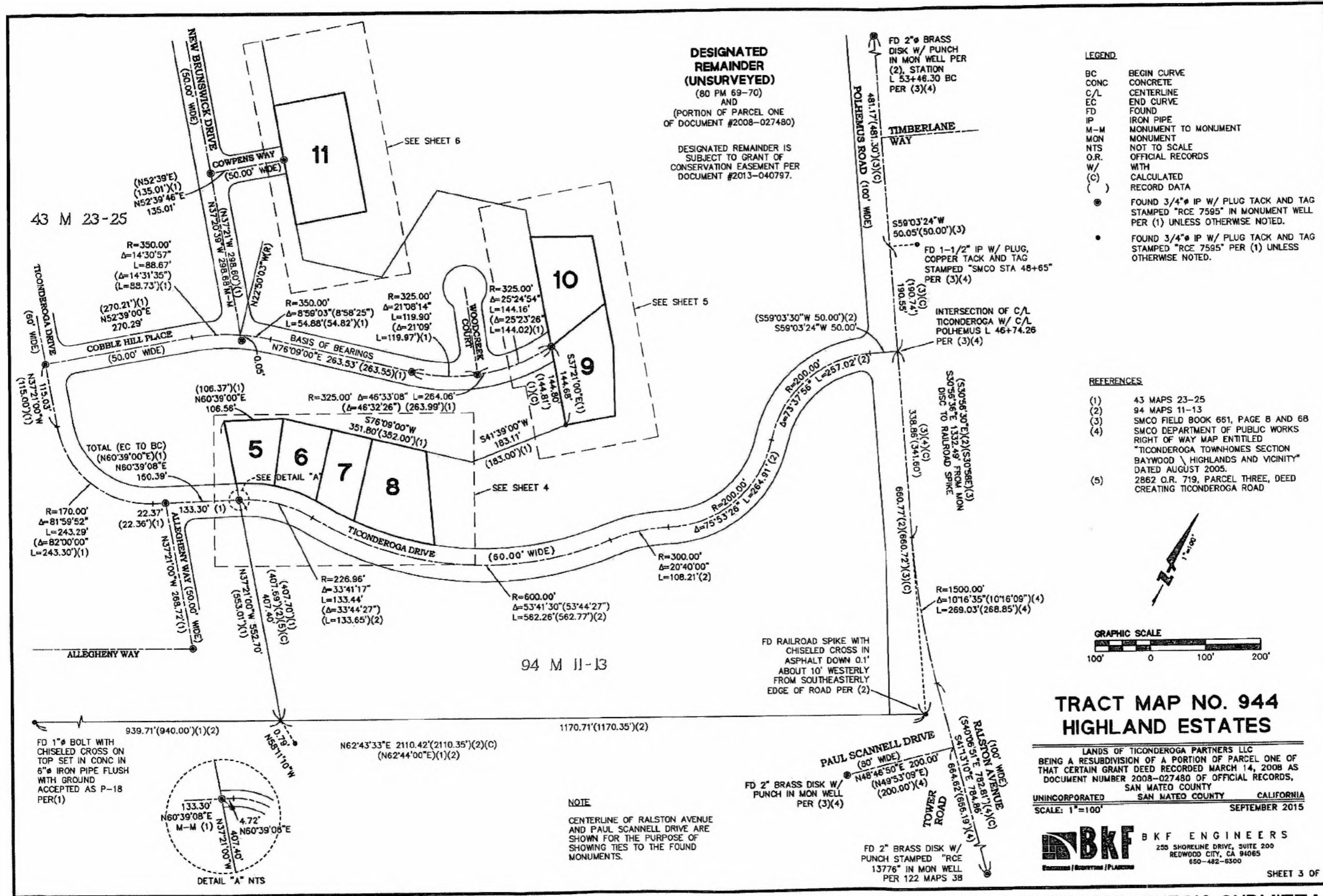
LANDS OF TICONDEROGA PARTNERS LLC
 BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
 THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
 DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
 SAN MATEO COUNTY
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
 SEPTEMBER 2015

BKF ENGINEERS
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 650-482-6300

APPROVED 09/23/15 CGV 9/8/15 MAP CHECK SUBMITTAL

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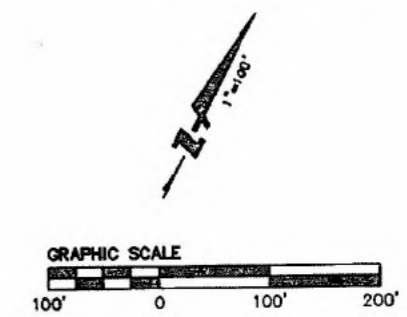


DESIGNATED REMAINDER (UNSURVEYED)
(80 PM 69-70)
AND
(PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)

DESIGNATED REMAINDER IS SUBJECT TO GRANT OF CONSERVATION EASEMENT PER DOCUMENT #2013-040797.

- LEGEND**
- BC BEGIN CURVE
 - CONC CONCRETE
 - C/L CENTERLINE
 - EC END CURVE
 - FD FOUND
 - IP IRON PIPE
 - M-M MONUMENT TO MONUMENT
 - MON MONUMENT
 - NTS NOT TO SCALE
 - O.R. OFFICIAL RECORDS
 - W/ WITH
 - (C) CALCULATED
 - () RECORD DATA
 - FOUND 3/4" IP W/ PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED.
 - FOUND 3/4" IP W/ PLUG TACK AND TAG STAMPED "RCE 7595" PER (1) UNLESS OTHERWISE NOTED.

- REFERENCES**
- (1) 43 MAPS 23-25
 - (2) 94 MAPS 11-13
 - (3) SMCO FIELD BOOK 661, PAGE 8 AND 68
 - (4) SMCO DEPARTMENT OF PUBLIC WORKS RIGHT OF WAY MAP ENTITLED "TICONDEROGA TOWNHOMES SECTION BAYWOOD \ HIGHLANDS AND VICINITY" DATED AUGUST 2005.
 - (5) 2862 O.R. 719, PARCEL THREE, DEED CREATING TICONDEROGA ROAD

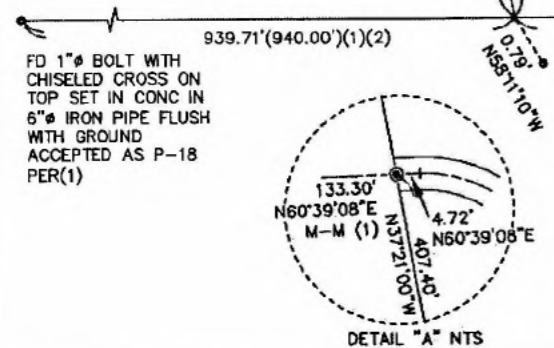


**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=100' SEPTEMBER 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-8500

NOTE
CENTERLINE OF RALSTON AVENUE AND PAUL SCANNELL DRIVE ARE SHOWN FOR THE PURPOSE OF SHOWING TIES TO THE FOUND MONUMENTS.



APPROVED 09/23/15 CBV

9/8/15 MAP CHECK SUBMITTAL

TRACT MAP NO. 944 HIGHLAND ESTATES

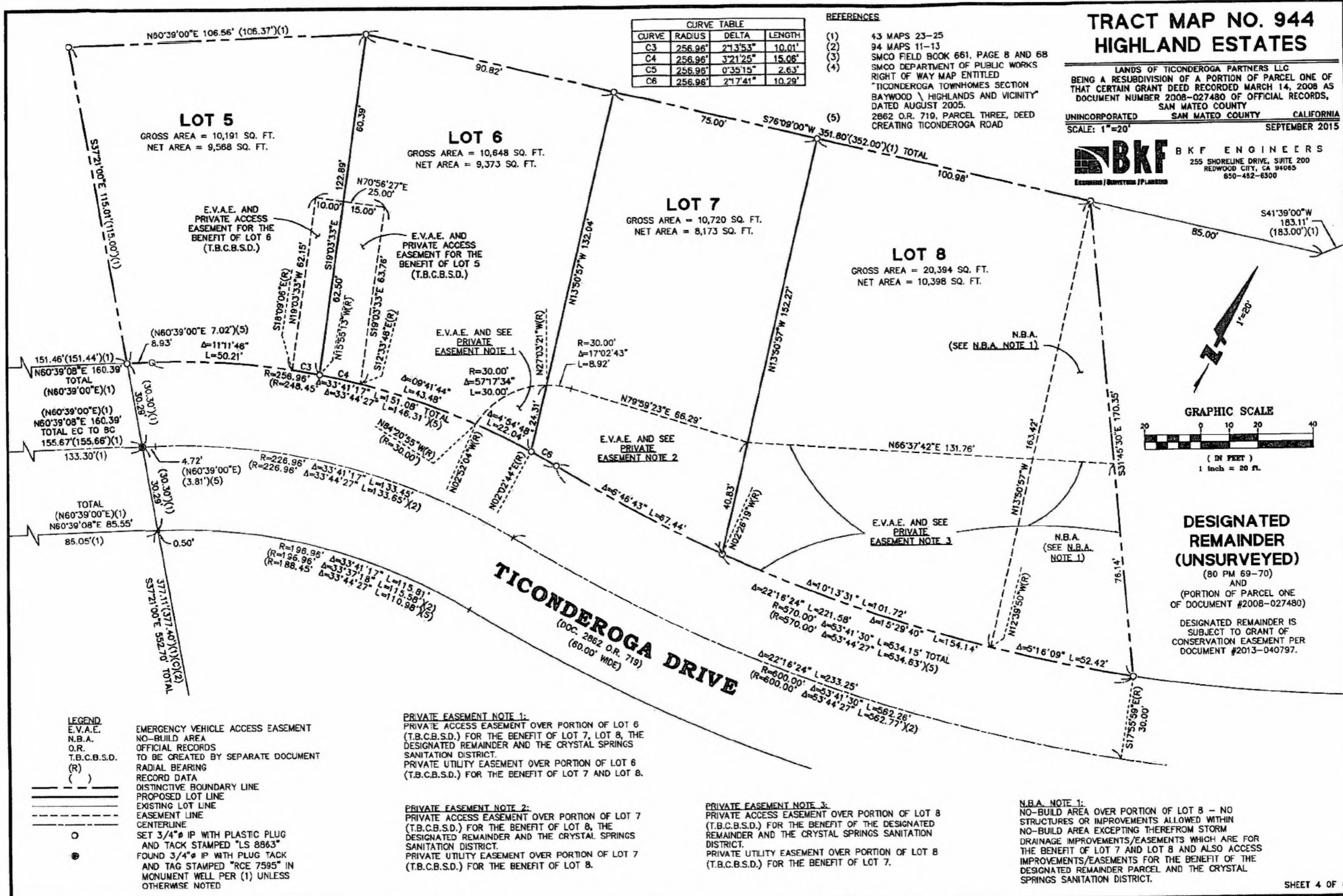
LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' SEPTEMBER 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-452-6500

CURVE	RADIUS	DELTA	LENGTH
C3	256.96'	273°53'	10.01'
C4	256.96'	321°25'	15.06'
C5	256.96'	0°35'15"	2.63'
C6	256.96'	277°41'	10.29'

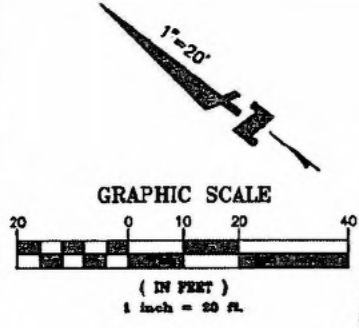
REFERENCES

- 43 MAPS 23-25
- 94 MAPS 11-13
- SMCO FIELD BOOK 661, PAGE 8 AND 68
SMCO DEPARTMENT OF PUBLIC WORKS
RIGHT OF WAY MAP ENTITLED
"TICONDEROGA TOWNHOMES SECTION
BAYWOOD \ HIGHLANDS AND VICINITY"
DATED AUGUST 2005.
- 2862 O.R. 719, PARCEL THREE, DEED
CREATING TICONDEROGA ROAD



APPROVED 09/23/15 *CBV*

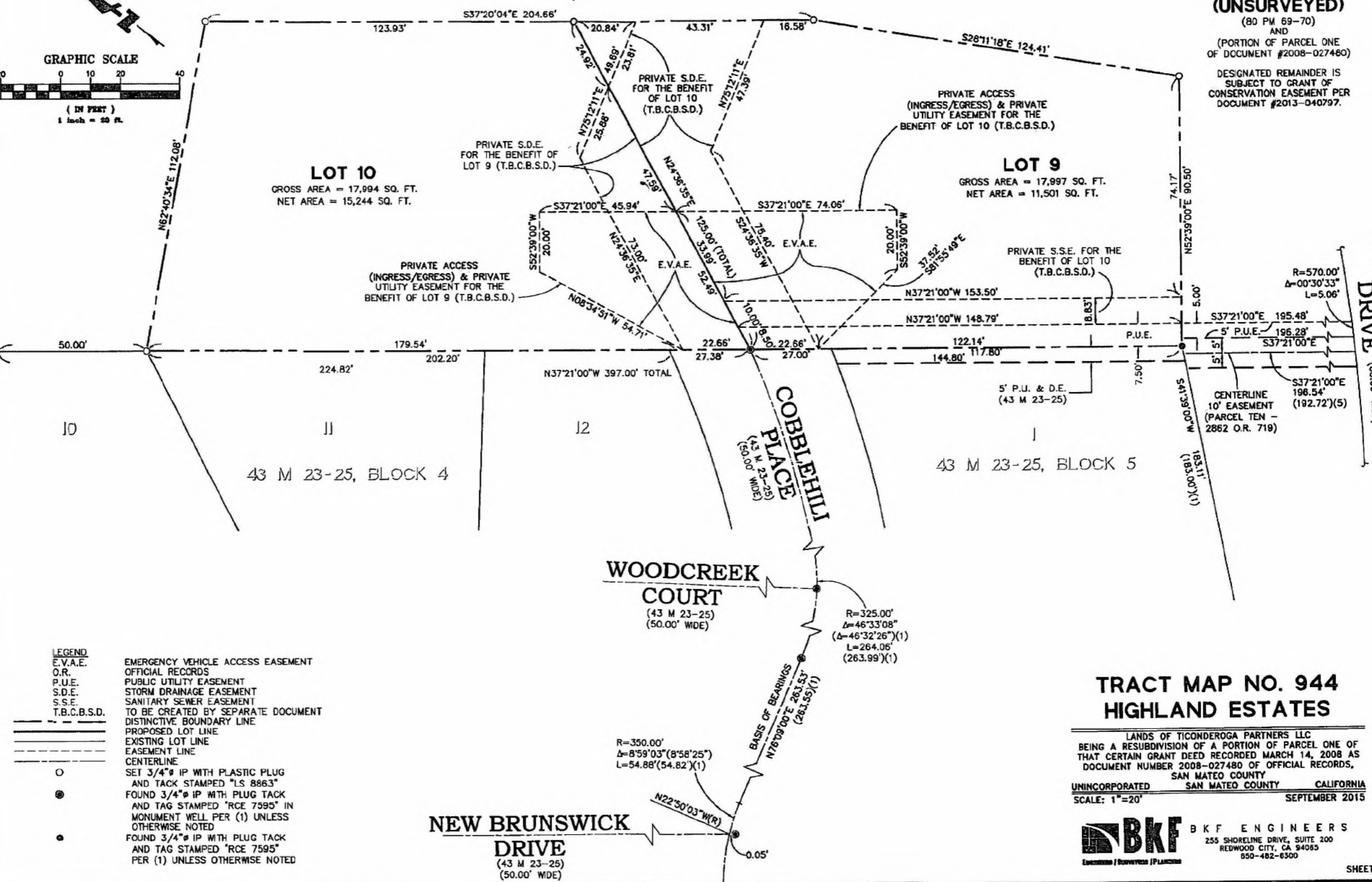
9/8/15 MAP CHECK SUBMITTAL



DESIGNATED REMAINDER (UNSURVEYED)
(80 PM 69-70)
AND
(PORTION OF PARCEL ONE OF DOCUMENT #2008-027480)
DESIGNATED REMAINDER IS SUBJECT TO GRANT OF CONSERVATION EASEMENT PER DOCUMENT #2013-040797.

LOT 10
GROSS AREA = 17,994 SQ. FT.
NET AREA = 15,244 SQ. FT.

LOT 9
GROSS AREA = 17,997 SQ. FT.
NET AREA = 11,501 SQ. FT.



**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS, SAN MATEO COUNTY, CALIFORNIA
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' SEPTEMBER 2015

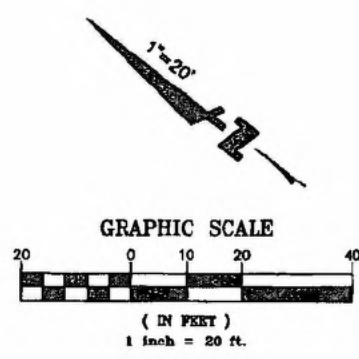
BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6300

APPROVED 09/23/15 CCV

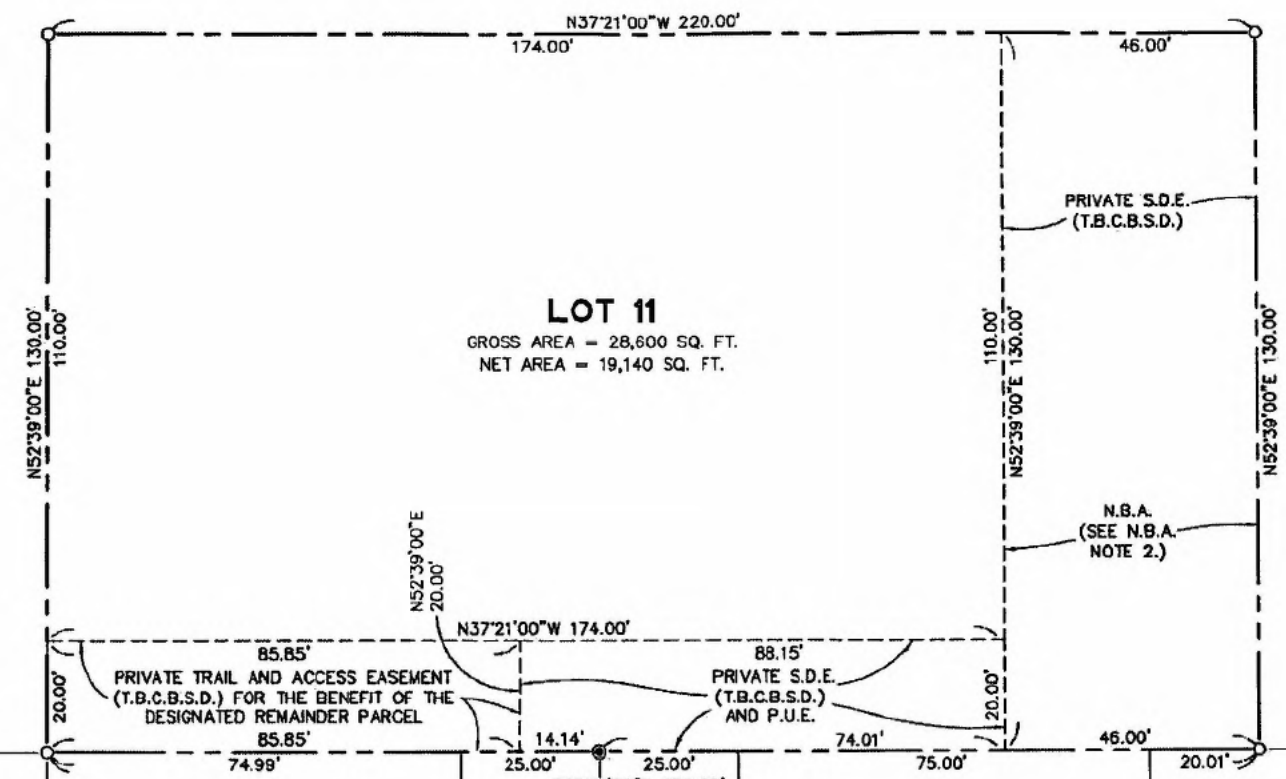
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DRAWING NAME: I:\Surveys\50168\Maping\Final Map (2014)\Final Map Sheets 4-6 (2015-09-04).dwg
PLOT DATE: 09-24-15 11:37am c16



**DESIGNATED
REMAINDER
(UNSURVEYED)**
(80 PM 69-70)
AND
(PORTION OF PARCEL ONE
OF DOCUMENT #2008-027480)
DESIGNATED REMAINDER IS
SUBJECT TO GRANT OF
CONSERVATION EASEMENT PER
DOCUMENT #2013-040797.



43 M 23-25, BLOCK 3
23 24

43 M 23-25, BLOCK 4
1 2 3

**COWPENS
WAY**
(43 M 23-25)
(50.00' WIDE)

**COBBLEHILL
PLACE**
(43 M 23-25)
(50.00' WIDE)

**NEW BRUNSWICK
DRIVE**
(43 M 23-25)
(50.00' WIDE)

N.B.A. NOTE 2:
NO-BUILD AREA OVER PORTION OF LOT 11 - NO
STRUCTURES OR IMPROVEMENTS ALLOWED WITHIN
NO-BUILD AREA EXCEPTING THEREFROM STORM
DRAINAGE IMPROVEMENTS/EASEMENTS.

LEGEND	
OR.	OFFICIAL RECORDS
N.B.A.	NO-BUILD AREA
S.D.E.	STORM DRAINAGE EASEMENT
T.B.C.B.S.D.	TO BE CREATED BY SEPARATE DOCUMENT
(R)	RADIAL BEARING
---	DISTINCTIVE BOUNDARY LINE
---	PROPOSED LOT LINE
---	EXISTING LOT LINE
---	EASEMENT LINE
---	CENTERLINE
○	SET 3/4" IP WITH PLASTIC PLUG AND TACK STAMPED "LS 8863"
●	FOUND 3/4" IP WITH PLUG TACK AND TAG STAMPED "RCE 7595" IN MONUMENT WELL PER (1) UNLESS OTHERWISE NOTED

**TRACT MAP NO. 944
HIGHLAND ESTATES**

LANDS OF TICONDEROGA PARTNERS LLC
BEING A RESUBDIVISION OF A PORTION OF PARCEL ONE OF
THAT CERTAIN GRANT DEED RECORDED MARCH 14, 2008 AS
DOCUMENT NUMBER 2008-027480 OF OFFICIAL RECORDS,
SAN MATEO COUNTY
UNINCORPORATED SAN MATEO COUNTY CALIFORNIA
SCALE: 1"=20' SEPTEMBER 2015

BKF ENGINEERS
255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
650-482-6300

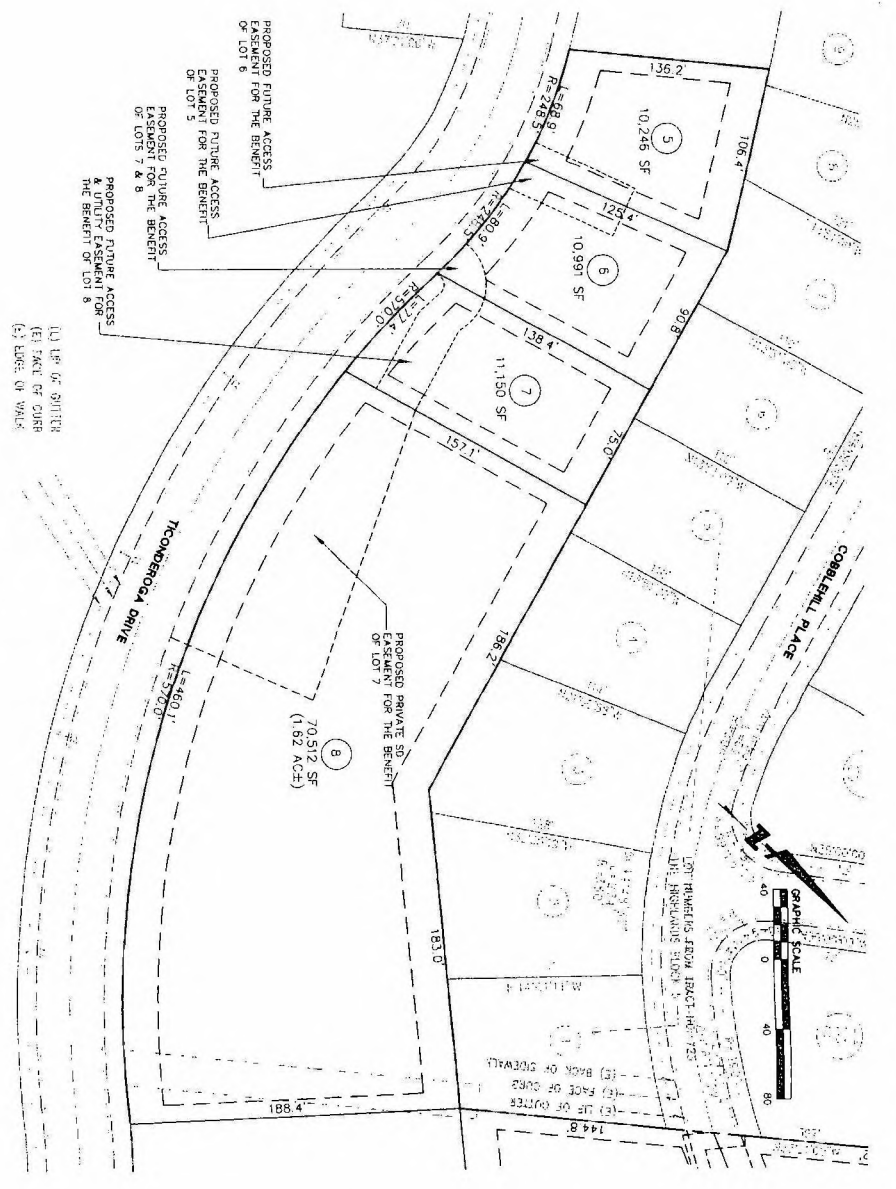
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APPROVED 09/23/15 CBV

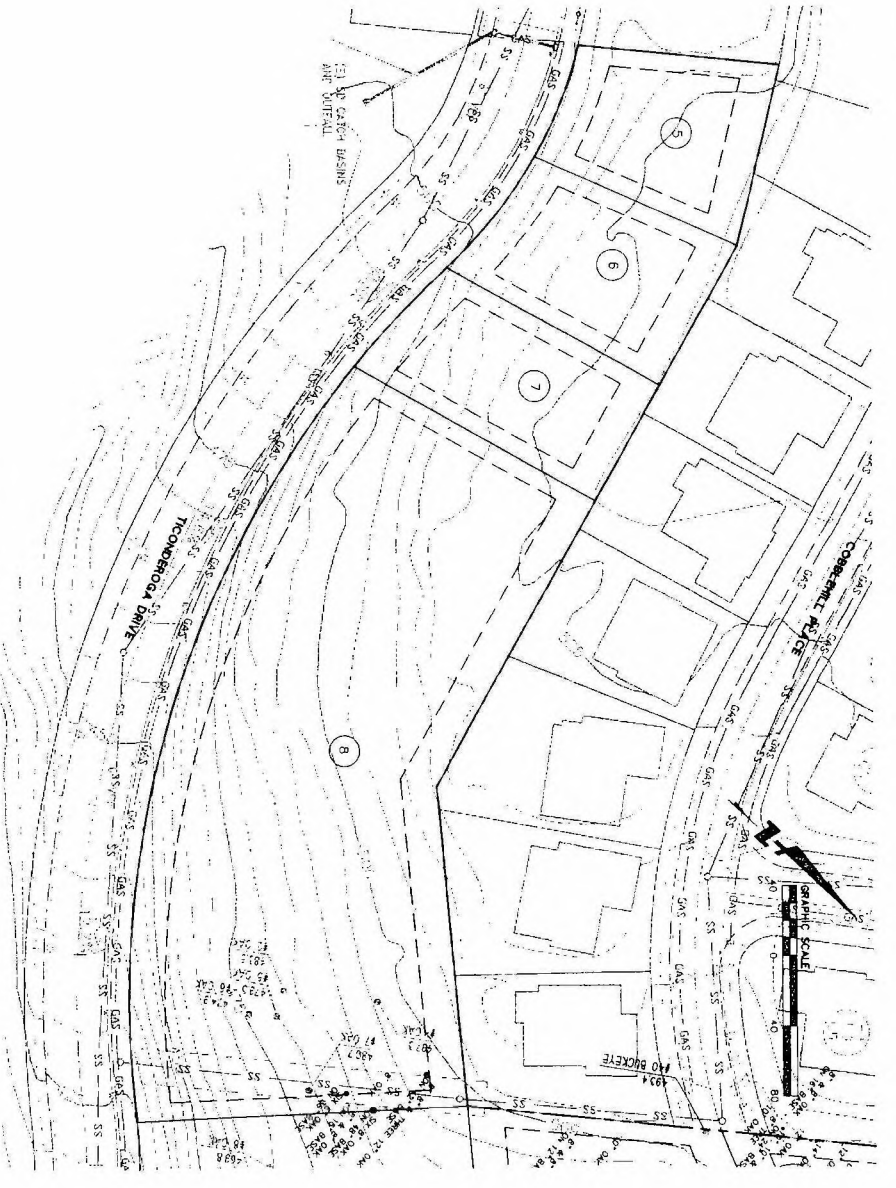
9/8/15 MAP CHECK SUBMITTAL

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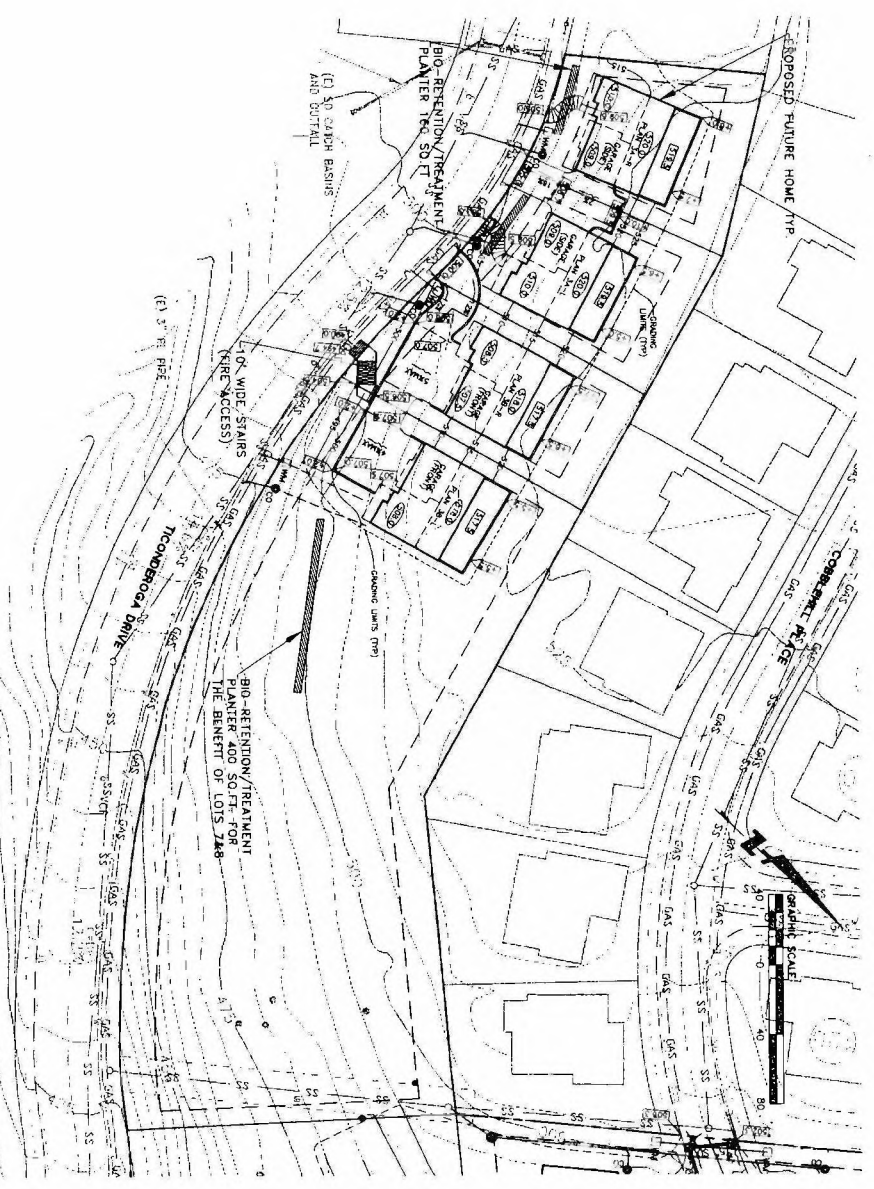
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 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



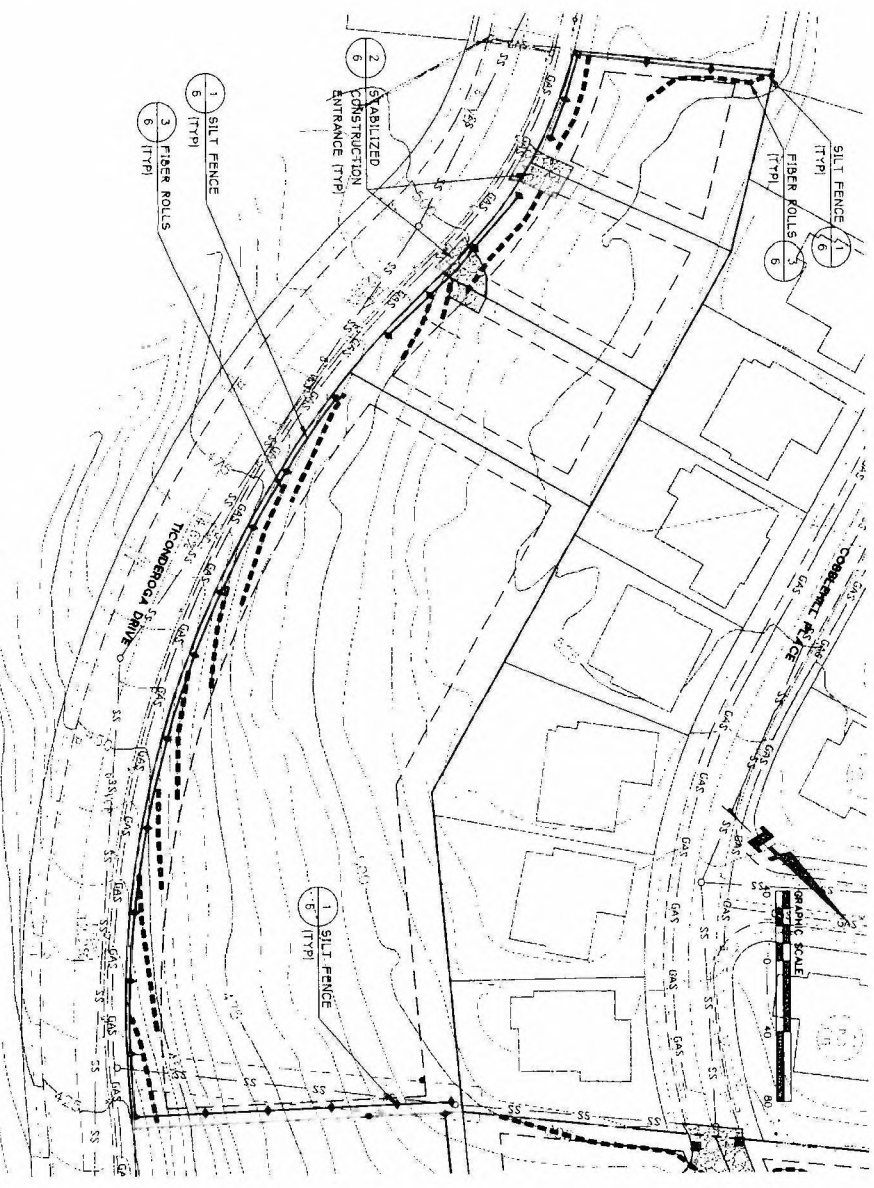
**LOTS 5-8
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'



**LOTS 5-8
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'



**LOTS 5-8
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



**LOTS 5-8
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'

PROGRESS PRINT - REVISED MARCH 25, 2008

**HIGHLAND ESTATES
 MASTER LAND DIVISION PLAN ("MLDP")
 LOTS 5 THROUGH 8
 SAN MATEO COUNTY**

CITY OF SAN MATEO

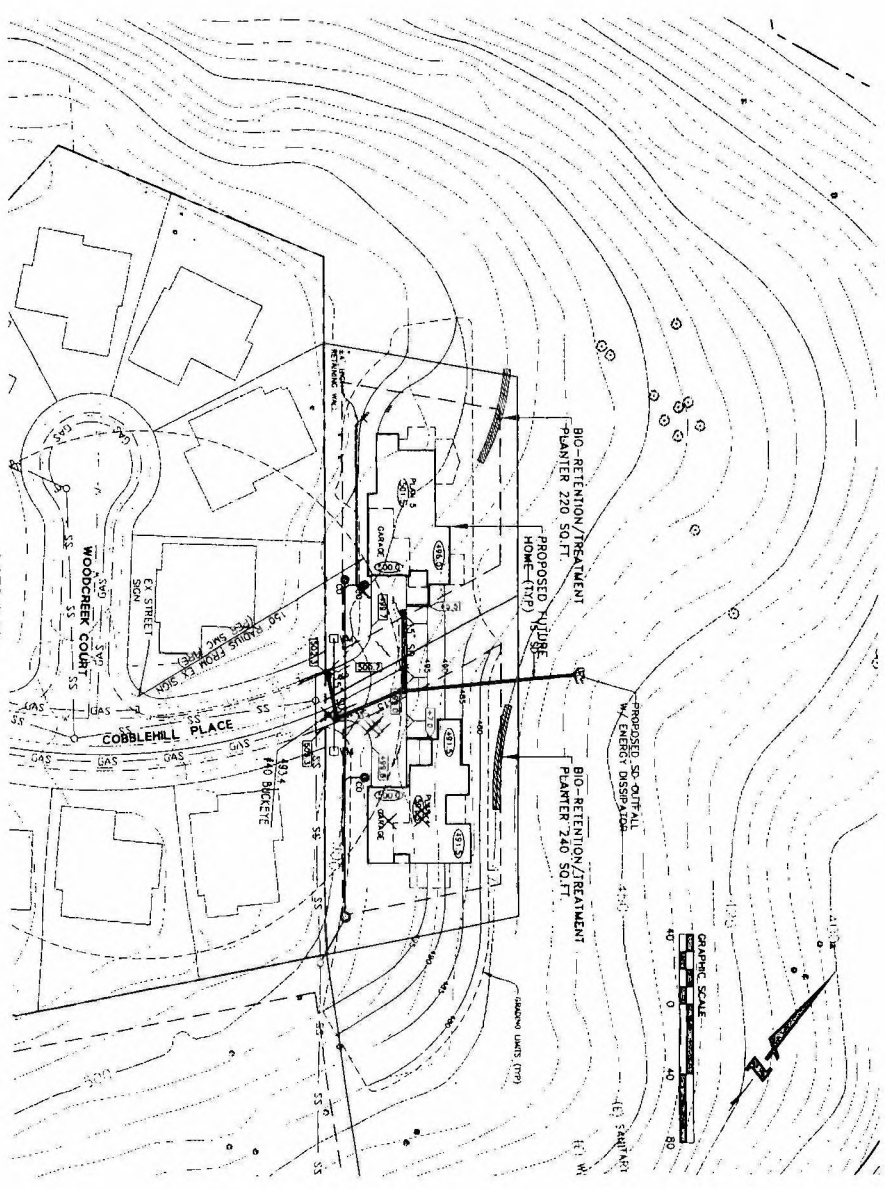
CALIFORNIA



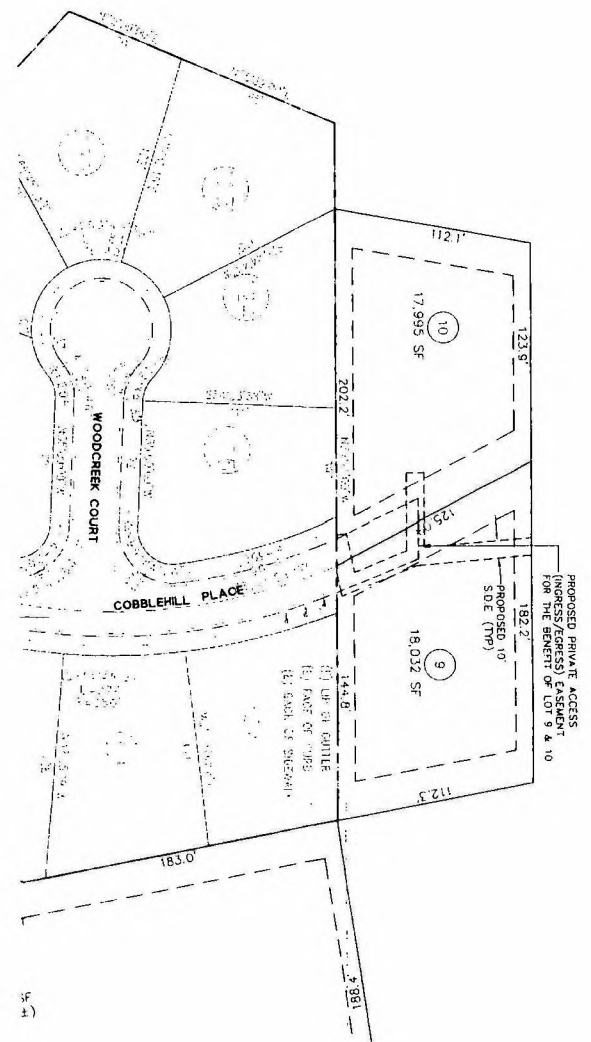
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

GRAPHIC SCALES: EACH SHEET IS THE SIZE OF ORIGINAL DRAWING
 1" = 40' (NOT ONE INCH ON THIS SHEET) ADJUST SCALES ACCORDINGLY

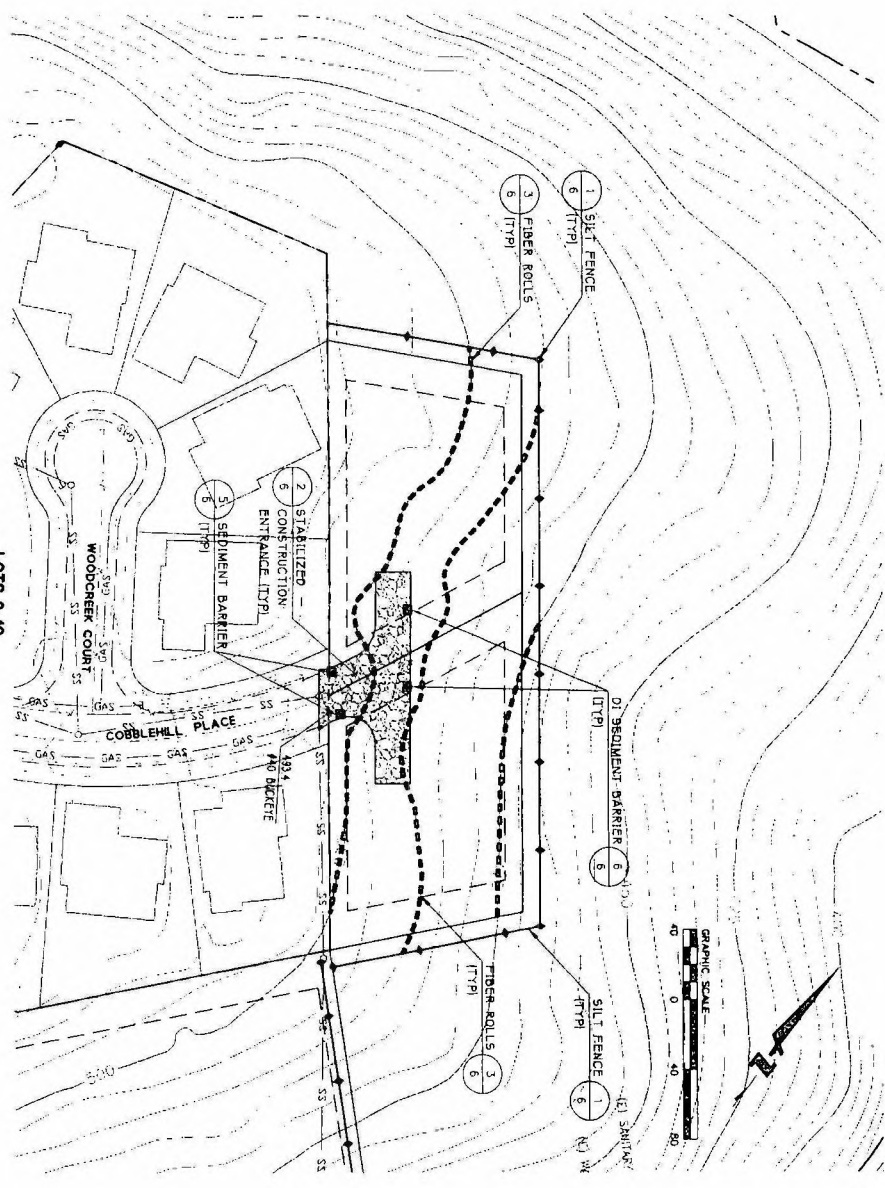
**LOTS 9-10
 PRELIMINARY GRADING & UTILITY PLAN**
 SCALE: 1"=40'



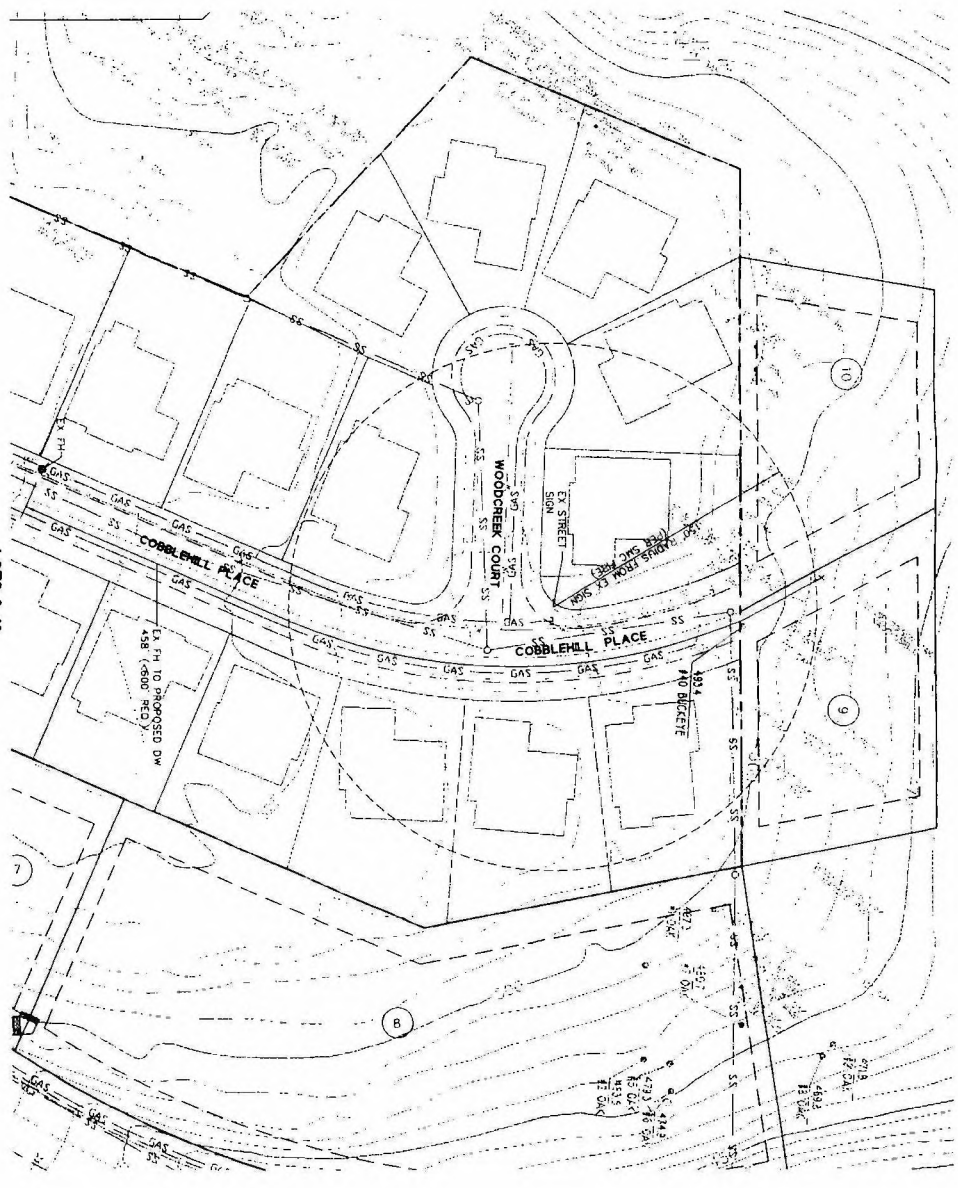
**LOTS 9-10
 PROPOSED LOTTING PLAN**
 SCALE: 1"=40'



**LOTS 9-10
 PRELIMINARY EROSION CONTROL PLAN**
 SCALE: 1"=40'



**LOTS 9-10
 EXISTING TOPOGRAPHY AND UTILITIES**
 SCALE: 1"=40'



PROGRESS PRINT - REVISED MARCH 25, 2008

Date	By	Revisions
03/25/08	JT	Design
	MD	Drawn
	BH	Approved
		Job No. 950168

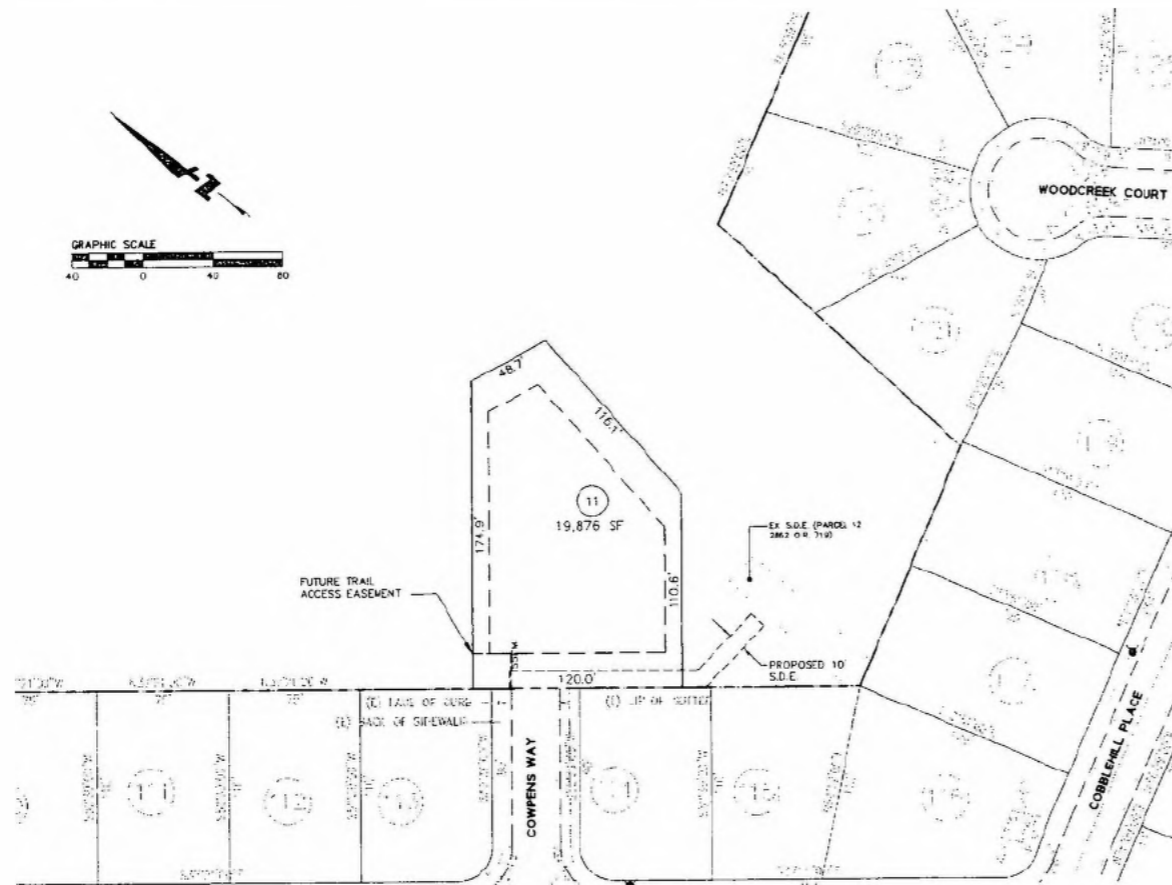
CITY OF SAN MATEO

**HIGHLAND ESTATES
 MASTER LAND DIVISION PLAN ("MLDP")
 LOTS 9 THROUGH 10
 SAN MATEO COUNTY**

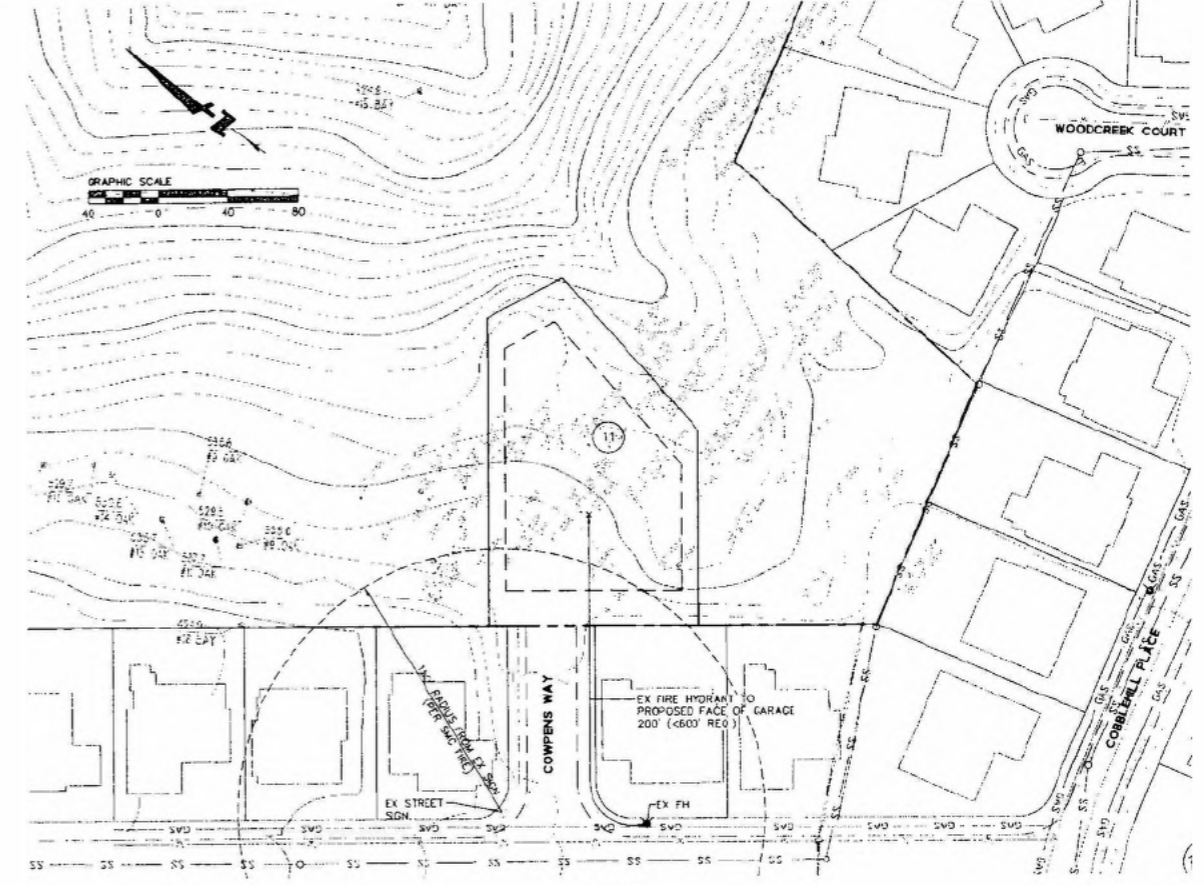
CALIFORNIA



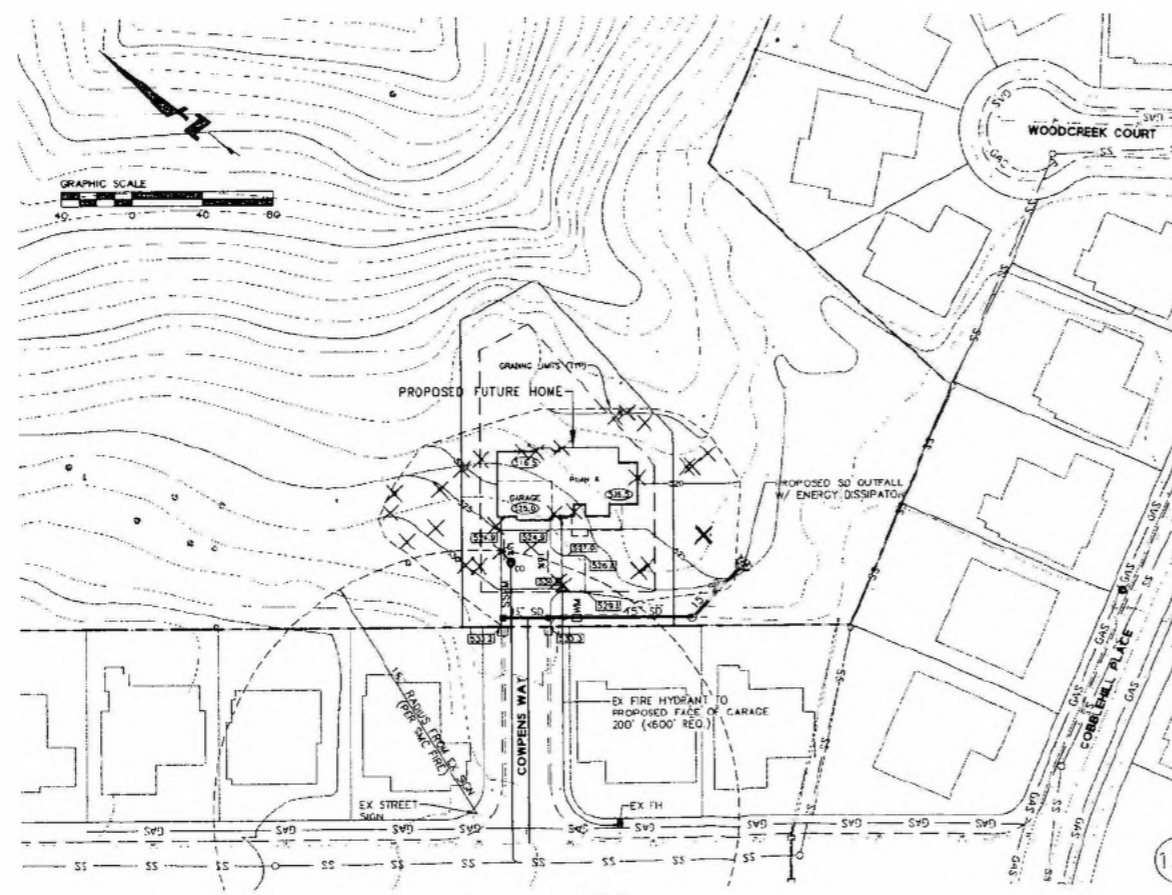
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-4300 PHONE
 (650) 482-6399 FAX



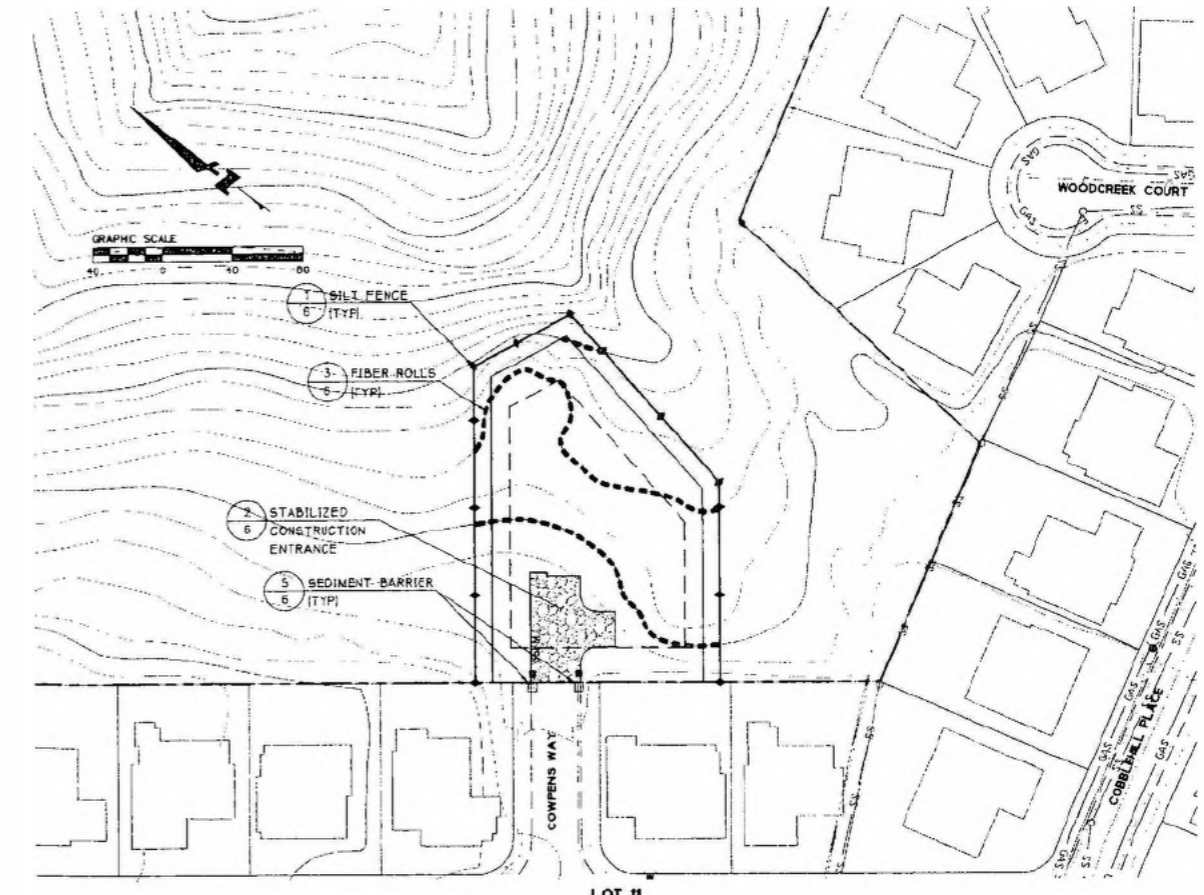
**LOT 11
PROPOSED LOTTING PLAN**
SCALE: 1"=40'



**LOT 11
EXISTING TOPOGRAPHY AND UTILITIES**
SCALE: 1"=40'



**LOT 11
PRELIMINARY GRADING & UTILITY PLAN**
SCALE: 1"=40'



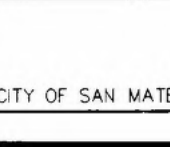
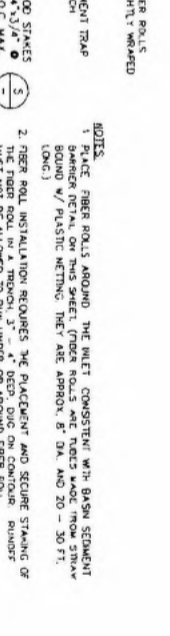
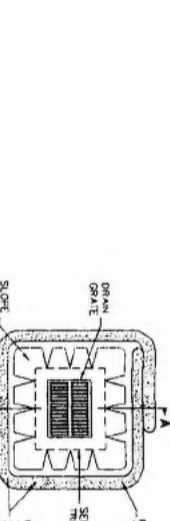
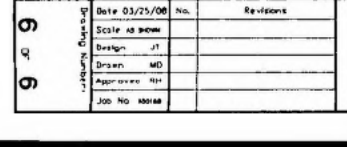
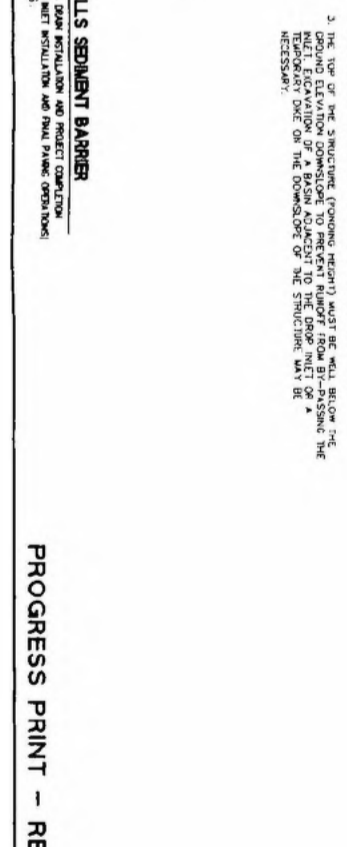
**LOT 11
PRELIMINARY EROSION CONTROL PLAN**
SCALE: 1"=40'

DRAWING NAME: J:\1\1945\2007\EROSION\MLDP\08HE.MXD.dwg
PLOT DATE: 03-25-08 PLOTTED BY: Tony

VERIFY SCALES: BAR SHOWN IS ONE INCH ON ORIGINAL DRAWING
IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15 AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

- ### EROSION CONTROL NOTES
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT PLAN AND SPECIFICATIONS AND PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
 2. ALTHOUGH SPECIFIC LOCATIONS FOR EROSION CONTROL MEASURES ARE INDICATED ON THE PROJECT PLAN, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THESE MEASURES THROUGHOUT THE CONSTRUCTION PERIOD. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL NOT BE REMOVED UNTIL THE CONSTRUCTION IS COMPLETE AND THE SITE IS RESTORED TO ORIGINAL OR BETTER CONDITIONS.
 3. THE INTERIOR OF THESE PANS IS TO PROVIDE THE INITIAL CONCRETE CURING CURB AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE PANS SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL MEASURES SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL NOT BE REMOVED UNTIL THE CONSTRUCTION IS COMPLETE AND THE SITE IS RESTORED TO ORIGINAL OR BETTER CONDITIONS.
 4. THE PANS SHALL BE COVERED ALL THE TIME DURING THE CONSTRUCTION PERIOD. THE PANS SHALL BE COVERED ALL THE TIME DURING THE CONSTRUCTION PERIOD. THE PANS SHALL BE COVERED ALL THE TIME DURING THE CONSTRUCTION PERIOD. THE PANS SHALL BE COVERED ALL THE TIME DURING THE CONSTRUCTION PERIOD.
 5. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATE OWNED AND MAINTAINED ROADS CAUSED BY THE CONTRACTOR'S EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEAN UP OF ALL EROSION CONTROL MEASURES.
 6. BEST MANAGEMENT PRACTICES IS DEFINED IN THE SWPPP SHALL BE DEFERRABLE TO THE SWPPP.
 7. DURING THE RAIN SEASON, ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 8. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 9. STORM AND TEMPORARY STORAGE SHALL BE CONDUCTED WITH APPROPRIATE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 10. ALL TRACK TIRES SHALL BE CLEANED PRIOR TO EXITING THE PROPERTY.
 11. DURING PERIODS WHEN STORMS ARE FORECAST - (BETWEEN OCT 15 - APR 15) A. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 12. IF AND WHEN THE CONTRACTOR IS REQUIRED TO REMOVE OR DISPLACE EROSION CONTROL MEASURES, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 13. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 14. PANS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 15. STORM AND TEMPORARY STORAGE SHALL BE CONDUCTED WITH APPROPRIATE EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 16. MAIN ROADS ARE CURRENTLY NOT OPEN ON THE PROJECT. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 17. DISPOSAL AREAS FOR SEDIMENT TO BE DETERMINED IN FIELD. WHEN MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 18. TEMPORARY AND PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 19. THE EROSION CONTROL PLAN IS FOR CONSTRUCTION BETWEEN OCTOBER 15 AND APRIL 15. OPEN SPACE AREAS ARE TO BE PLANTED BY CONTRACTOR. IF THESE CONDITIONS ARE NOT MET, THE CONTRACTOR SHALL SUBMIT AN EROSION CONTROL PLAN TO THE CITY FOR APPROVAL. SHOULD THE PROPOSED EROSION CONTROL PLAN NOT BE APPROVED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 20. EROSION CONTROL MEASURES SHALL BE MAINTAINED AND OPERATED TO PREVENT EROSION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 21. SEED MIX FOR VEGETATION AND HYDROSEEDING: WESTERN CALIFORNIA COVER MIX BY AGRICULTURE ON LOCAL SOILS.
 22. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES SHALL BE PROVIDED TO THE CITY.
 23. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN ON ANY OTHER WATER THEREON, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED OR THAT THE EROSION CONTROL MEASURES ON ANY OTHER WATER THEREON, AT (503) 482-4300 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.



- NOTES:**
1. THE LOCATION SHALL BE FOR INFORMATION ONLY. ALL OPERATIONS SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY'S EROSION CONTROL ORDINANCES.
 2. WHEN NECESSARY, WEEDS SHALL BE CLEARED TO EXPOSE STORM PIPES TO ENHANCE OVER PUBLIC RIGHTS-OF-WAY. WHEN WEEDING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH GEOTEXTILE FABRIC THAT DRAINS INTO AN APPROVED DRAINAGE SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE AND OPERATIONS OF ALL EROSION CONTROL MEASURES.
 3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 2" TO 3" STONE.
 4. THE THICKNESS OF THE PAD SHALL NOT BE LESS THAN 8" OR MORE THAN 12".
 5. THE LENGTH OF THE PAD SHALL BE AS REQUIRED, BUT NOT LESS THAN 50'.

- NOTES:**
1. PLACE CURB TYPE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS WHERE OTHER CURBS ARE NOT ALLOWED TO DEVELOP FROM THE STREET.
 2. ROCKBAGS OF EITHER BUILDUP OR WOVEN GEOTEXTILE FABRIC ARE FILLED WITH GRAVEL, UNFINISHED AND PACKED TIGHTLY.
 3. LEAVE ONE ROCKBAG CARB AT THE TOP ROW TO PROVIDE A SPILLWAY OVERFLOW. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT SHALL BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.

- NOTES:**
1. PLACE FIBER ROLL AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. (FIBER ROLLS ARE PLACED IN ROWS STRAY BOUND BY PLASTIC NETTING. THEY ARE APPROX. 8' DIA. AND 20' - 30' FT. LONG.)
 2. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE FIBER ROLL TO THE PAVEMENT SURFACE. FIBER ROLLS SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL NOT BE REMOVED UNTIL THE CONSTRUCTION IS COMPLETE AND THE SITE IS RESTORED TO ORIGINAL OR BETTER CONDITIONS.
 3. THE TOP OF THE STRUCTURE (GROUND HEIGHT) MUST BE WELL BELOW THE FINISHED GRADE. THE STRUCTURE SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD AND SHALL NOT BE REMOVED UNTIL THE CONSTRUCTION IS COMPLETE AND THE SITE IS RESTORED TO ORIGINAL OR BETTER CONDITIONS.

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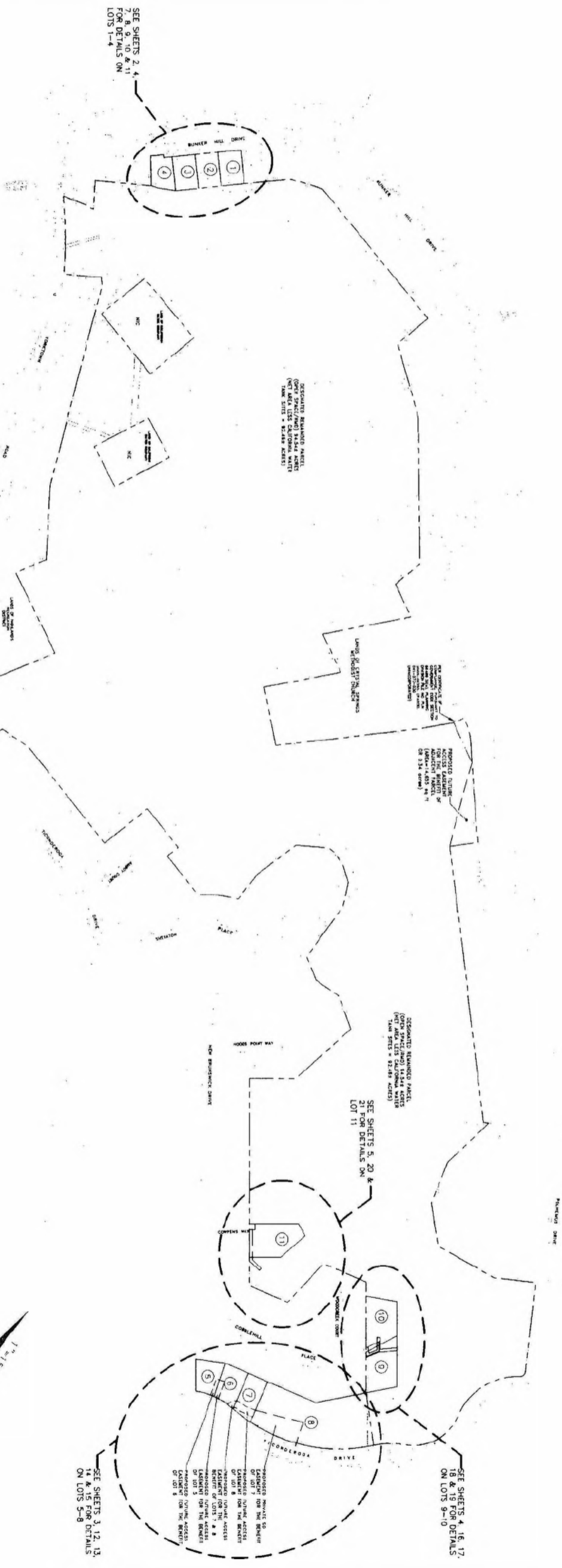
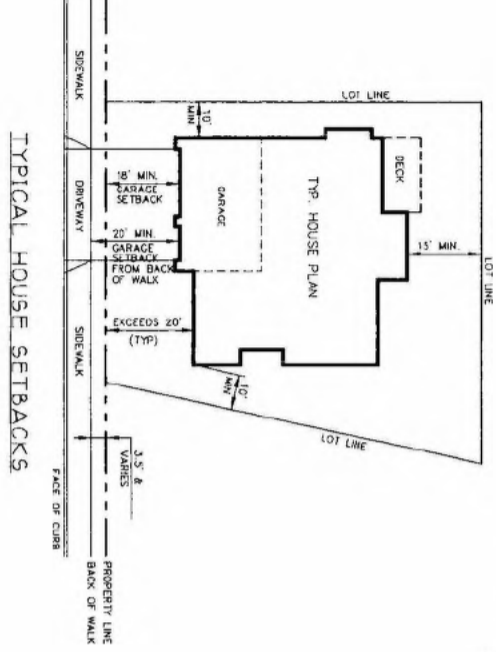
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VERTICAL SCALE: 8/8" SHOWN IS ONE INCH TO ORIGINAL DRAWING
 HORIZONTAL SCALE: 1" = 100' SHOWN IS ONE INCH TO ORIGINAL DRAWING
 * NOT ONE INCH TO ORIGINAL DRAWING *
 * NOT ONE INCH TO ORIGINAL DRAWING *
 * NOT ONE INCH TO ORIGINAL DRAWING *

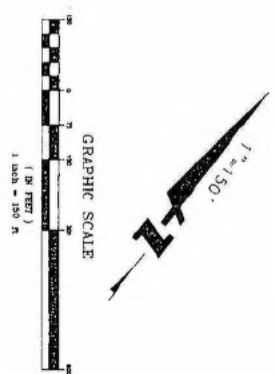
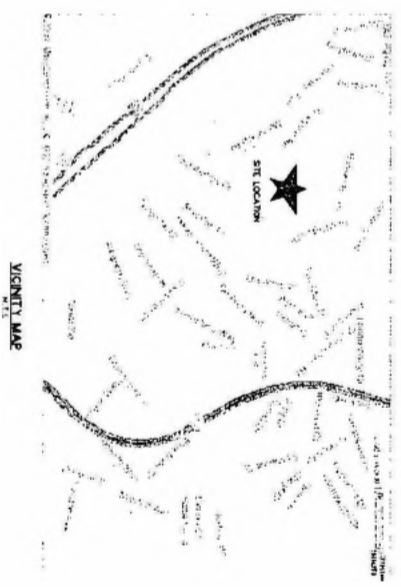
RESIDENTIAL UNIT TYPES & COUNTS

PLAN NO.	NO. OF UNITS	PLAN NO.	NO. OF UNITS	PLAN NO.	NO. OF UNITS
1*	2	2*	2	3A	2
2*	2	3B	2	4	1
3A	2	5	1	6	1
3B	2	TOTAL NO. OF UNITS	11		

* NOTE: PLAN 1 & PLAN 2 ON LOTS 1, 2, 3, 4 INCLUDE ADDITIONAL LIVING AREA BELOW LOWER LEVEL.



- NOTES**
1. PROJECTED RESIDENT POPULATION: ELEVEN HOUSES WITH 3.2 PERSONS PER HOUSEHOLD - 36 RESIDENTS
 2. FOR LOCATION OF UTILITY SERVICES TO EACH PROPERTY LOT
 3. REFER TO MASTER LAND DIVISION PLAN ("MUDP") SHEETS 2, 3 & 4
 4. PER SAN MATEO COUNTY PLANNING PERMIT APPLICATION
 5. APPLICATION FOR SUBDIVISION
 6. APPLICATION FOR GRADING PERMIT
 7. APPLICATION FOR AN RM PERMIT



SHEET INDEX

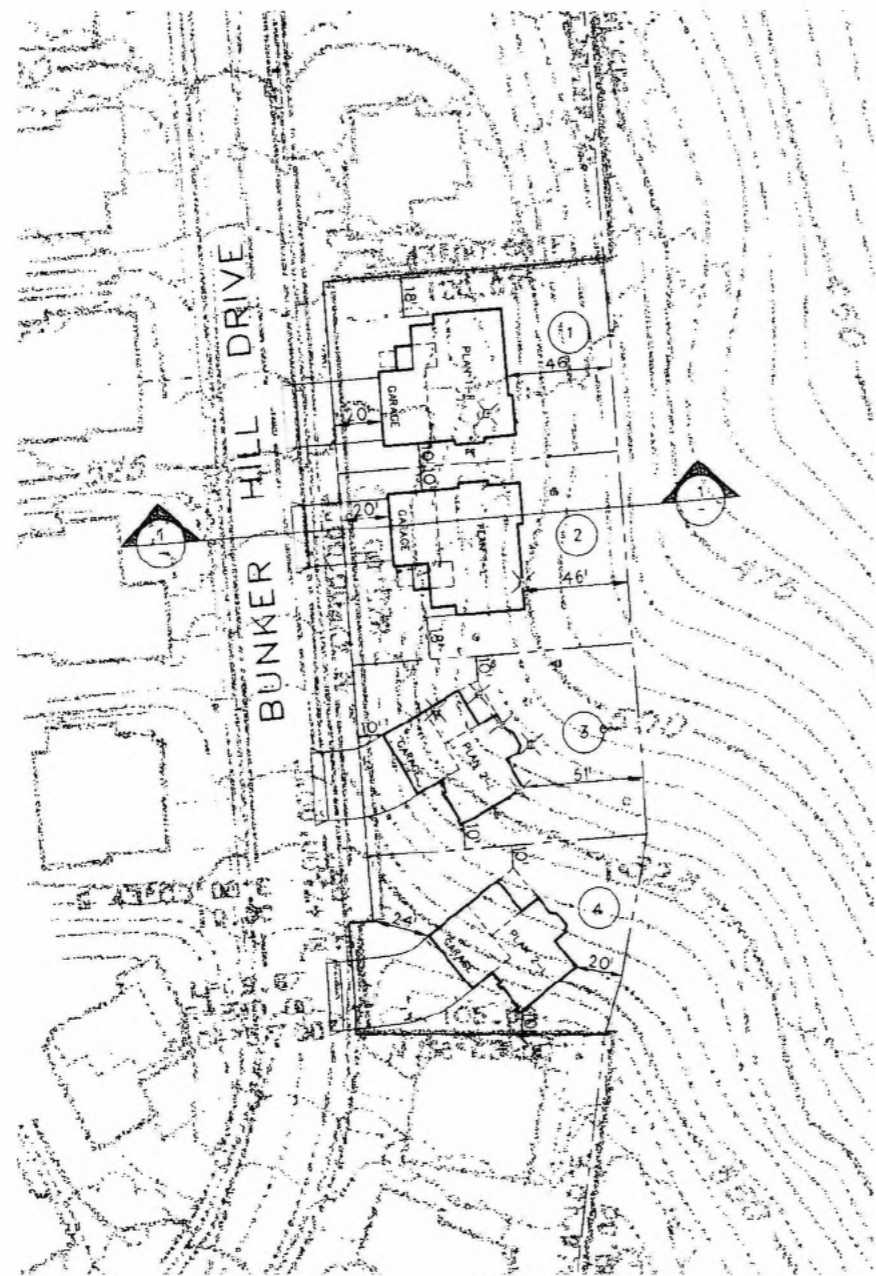
SHEET NO.	DESCRIPTION
1	COVER SHEET PLAN (LOTS 1 THROUGH 11)
2	DEVELOPMENT PLAN (LOTS 1 THROUGH 11)
3	DEVELOPMENT PLAN (LOT 1)
4	DEVELOPMENT PLAN (LOTS 1, 2, 3, 4)
5	DEVELOPMENT PLAN (LOT 5)
6	DEVELOPMENT PLAN (LOT 6)
7	ARCHITECTURAL FLOOR PLANS - PLAN 1 (LOTS 1&2) BY MCA
8	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 1 (LOTS 1&2) BY MCA
9	ARCHITECTURAL FLOOR PLANS - PLAN 2 (LOTS 3&4) BY MCA
10	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 2 (LOTS 3&4) BY MCA
11	ARCHITECTURAL FLOOR PLANS - PLAN 3A (LOT 5) BY MCA
12	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 3A (LOT 5) BY MCA
13	ARCHITECTURAL FLOOR PLANS - PLAN 3B (LOT 6) BY MCA
14	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 3B (LOT 6) BY MCA
15	ARCHITECTURAL FLOOR PLANS - PLAN 4 (LOT 7) BY MCA
16	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 4 (LOT 7) BY MCA
17	ARCHITECTURAL FLOOR PLANS - PLAN 5 (LOTS 8, 9, 10) BY MCA
18	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 5 (LOTS 8, 9, 10) BY MCA
19	ARCHITECTURAL FLOOR PLANS - PLAN 6 (LOT 11) BY MCA
20	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 6 (LOT 11) BY MCA
21	ARCHITECTURAL FLOOR PLANS - PLAN 7 (LOT 11) BY MCA
22	ARCHITECTURAL ELEVATIONS AND SECTIONS - PLAN 7 (LOT 11) BY MCA

OWNERS
 TICUNDUNGA PARTNERS
 A LIMITED PARTNERSHIP
 C/O THE CHAMBERLAIN GROUP
 555 SYCAMORE, SUITE 220
 SAN CARLOS, CA 94065
 ATTN: Jock Chamberlain

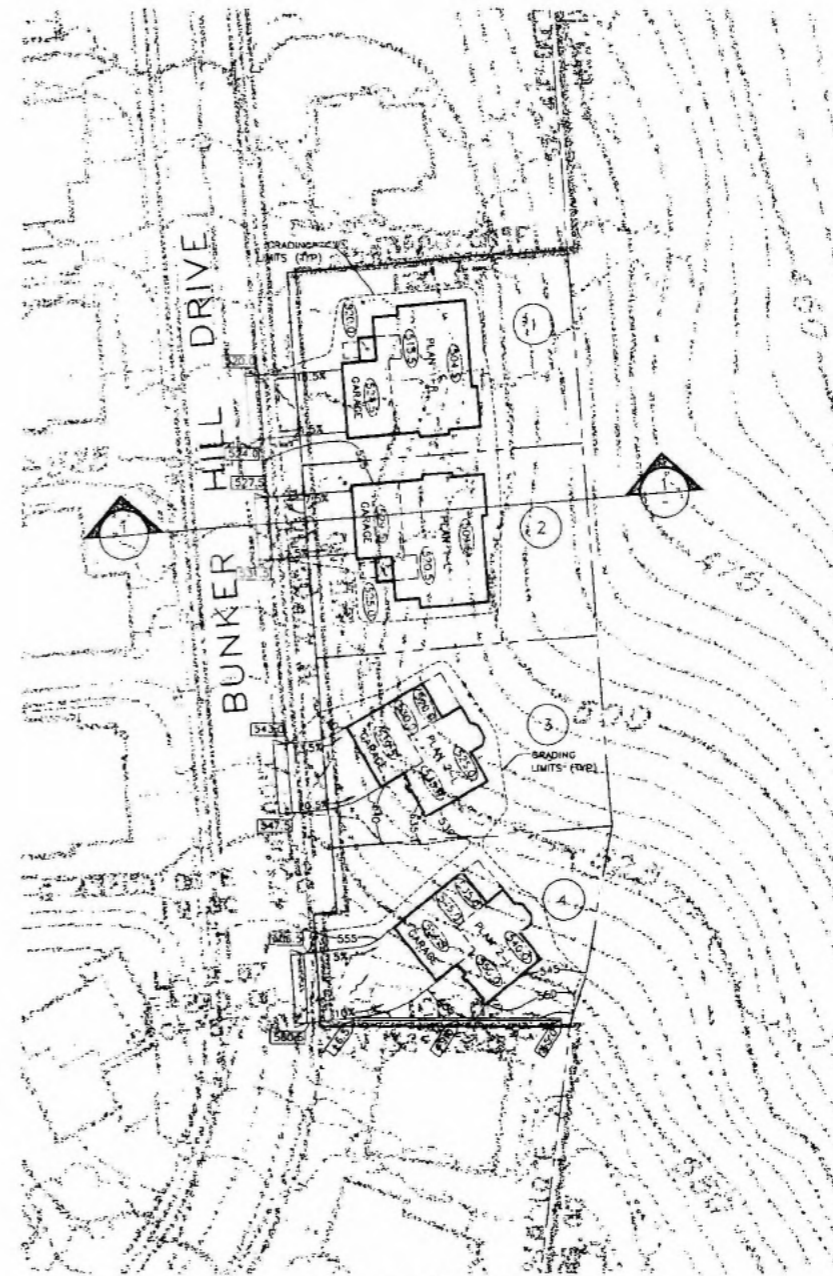
DEVELOPER
 THE CHAMBERLAIN GROUP
 855 EAVEN WAY, SUITE 210
 SAN CARLOS, CA 94070
 (415) 598-5928

ARCHITECT
 MARK GROSS & ASSOCIATES
 ARCHITECT
 1551 NORTH TULSA AVENUE
 SANTA ANA, CA 92705
 ATTN: MARK GROSS
 (714) 550-9777

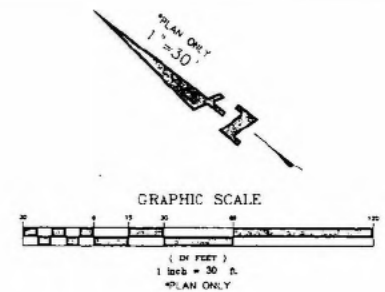
CIVIL ENGINEER
 BOY ENGINEERS
 CIVIL ENGINEERS
 255 SHREVE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (750) 482-5300



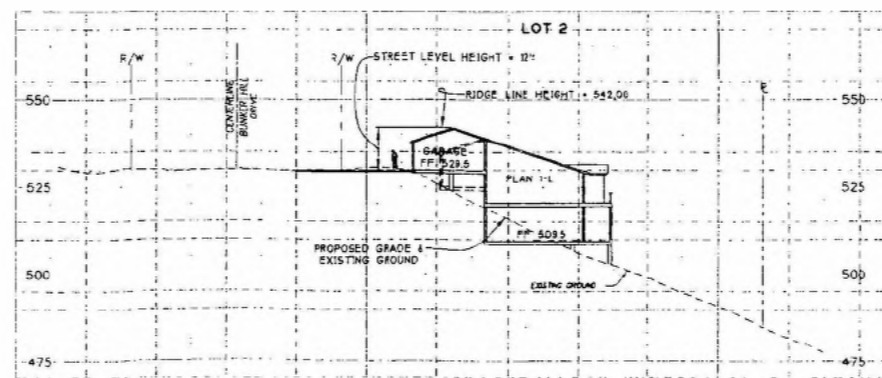
SITE PLAN
SCALE: 1"=30'



ROUGH GRADING PLAN
SCALE: 1"=30'



GRADING LEGEND	
XXX	(P) FINISH GRADE (GENERAL AREA)
XXX	(P) FINISH GRADE (SPOT ELEVATION)
-XX-	(P) FINISH GRADE (CONTOUR)
XXX	(P) DRIVEWAY SLOPE AND DIRECTION
---	FLOW DIRECTION OVER (P) DRIVEWAY
---	(P) FINISH FLOOR ELEVATION
XXX	(P) WALL HEIGHT ABOVE FINISH GRADE
X	(E) TREE TO BE REMOVED



CONCEPTUAL SECTION
LOTS 1-4
SCALE: 1"=20'

DRAWING NAME: J:\141950\141950\141950.dwg
 DATE: 03-25-08
 PLOT DATE: 03-25-08
 PLOT SCALE: 1"=30'
 PLOT DATE: 03-25-08

VERIFY SCALES: BAR SHOWN IS ONE INCH ON ORIGINAL DRAWING
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.

255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 442-6396 PHONE
 (650) 442-6396 FAX



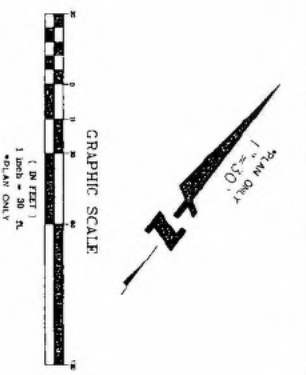
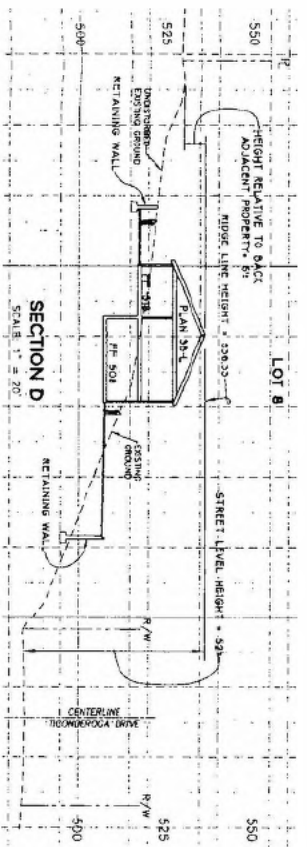
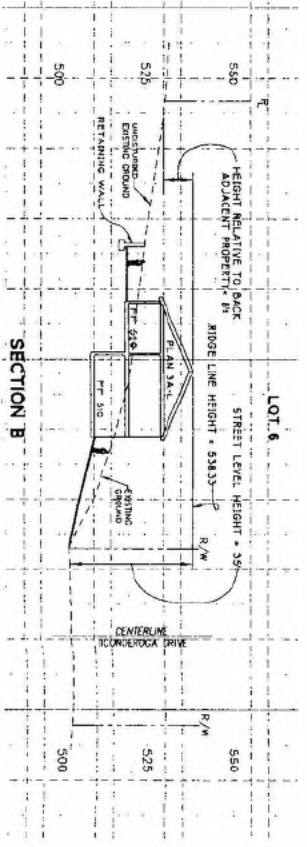
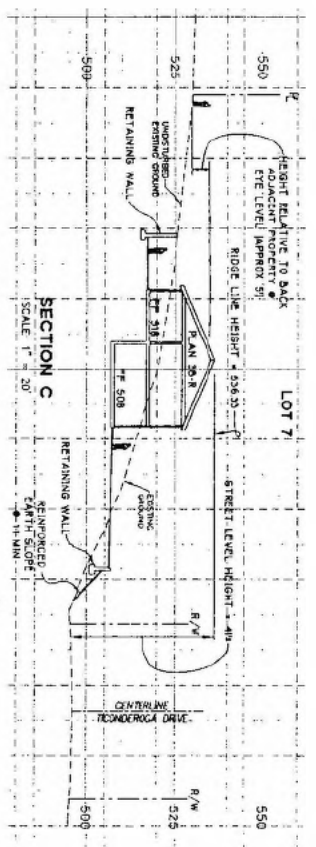
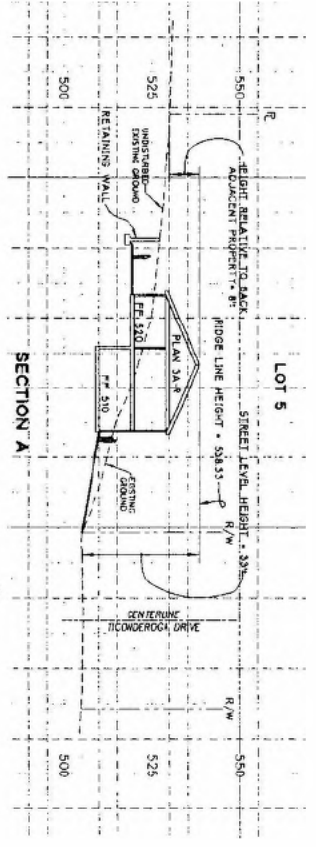
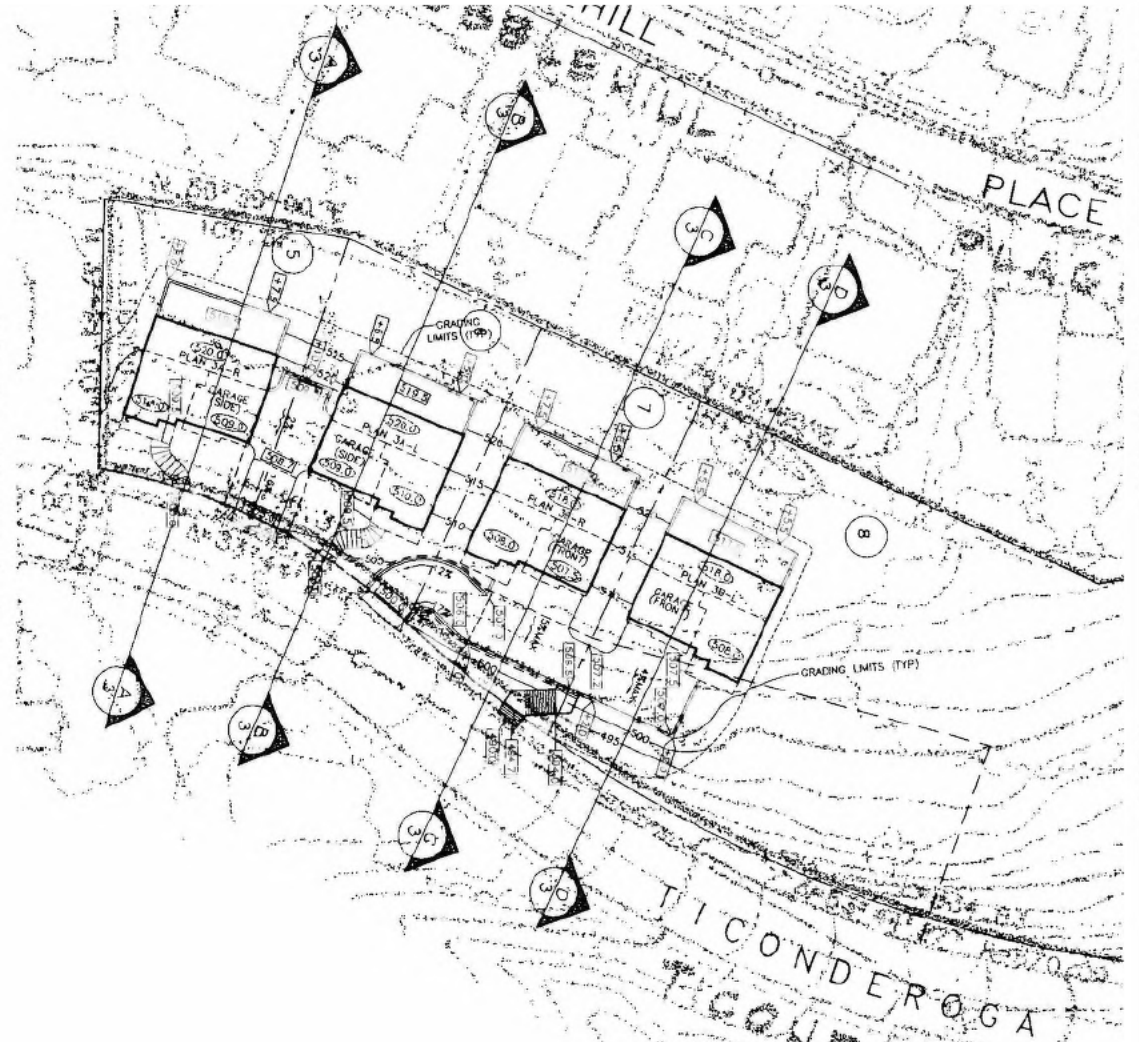
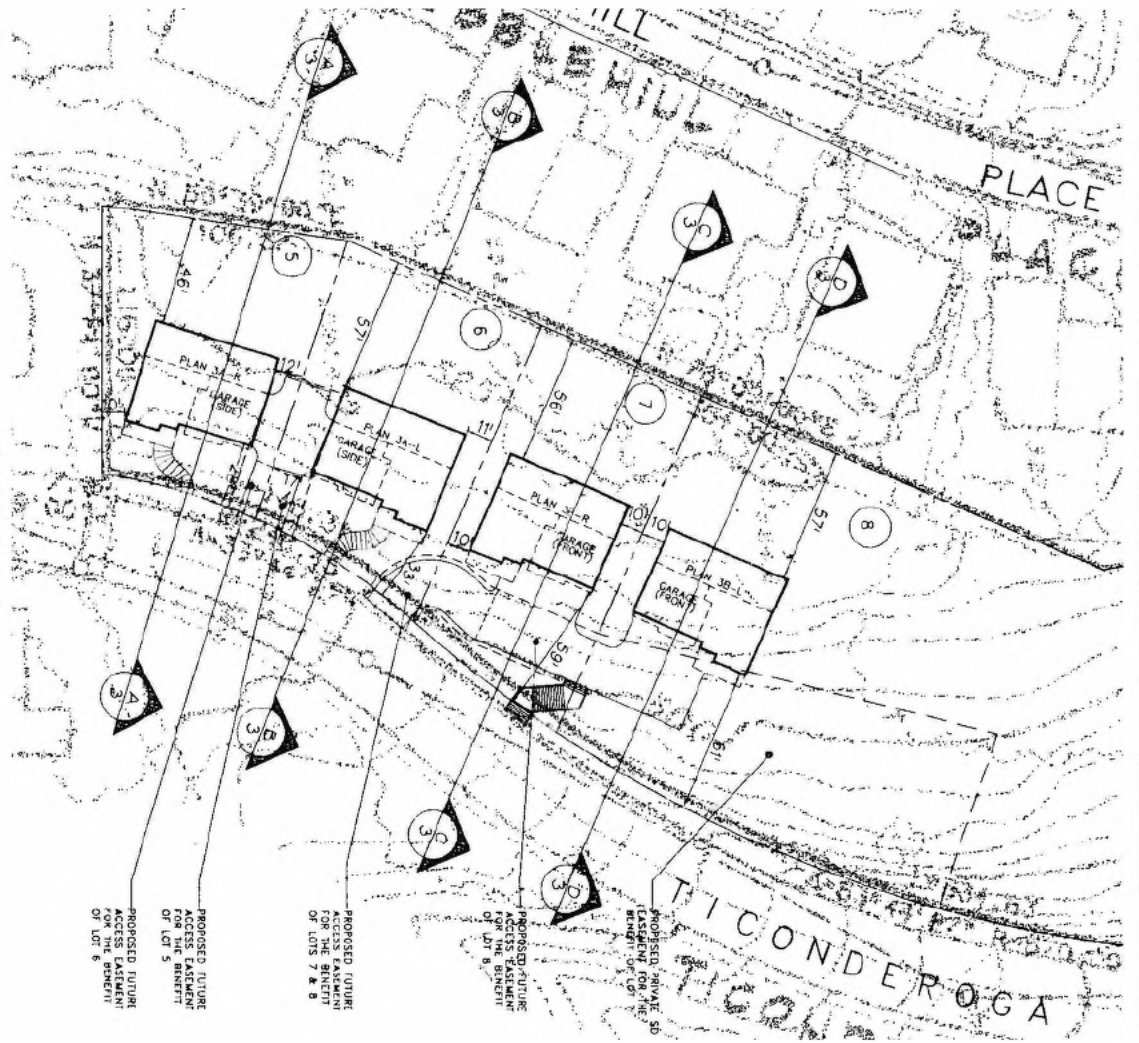
CALIFORNIA

HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ('08')
 LOTS 1 THROUGH 4
 SAN MATEO COUNTY

CITY OF SAN MATEO

DATE	BY	REVISION
03/25/08	JL	1
	JL	2
	JL	3
	JL	4
	JL	5
	JL	6
	JL	7
	JL	8
	JL	9
	JL	10

VERTICAL SCALES: See Section A and Section B for vertical scales.
 HORIZONTAL SCALES: 1" = 30' for Site Plan and Rough Grading Plan; 1" = 20' for Conceptual Sections A, B, C, and D.



GRADING LEGEND

(XXXX)	(2) FINISH GRADE (GENERAL AREA)
(XXXX)	(2) FINISH GRADE (SPOT ELEVATION)
(XXXX)	(2) FINISH GRADE (CONTOUR)
(XXX)	(2) DRIVEWAY SLOPE AND DIRECTION
(XXX)	(2) DRIVEWAY SLOPE AND DIRECTION
(XXX)	(2) FINISH FLOOR ELEVATION
(XXX)	(2) WALL HEIGHT ABOVE FINISH GRADE

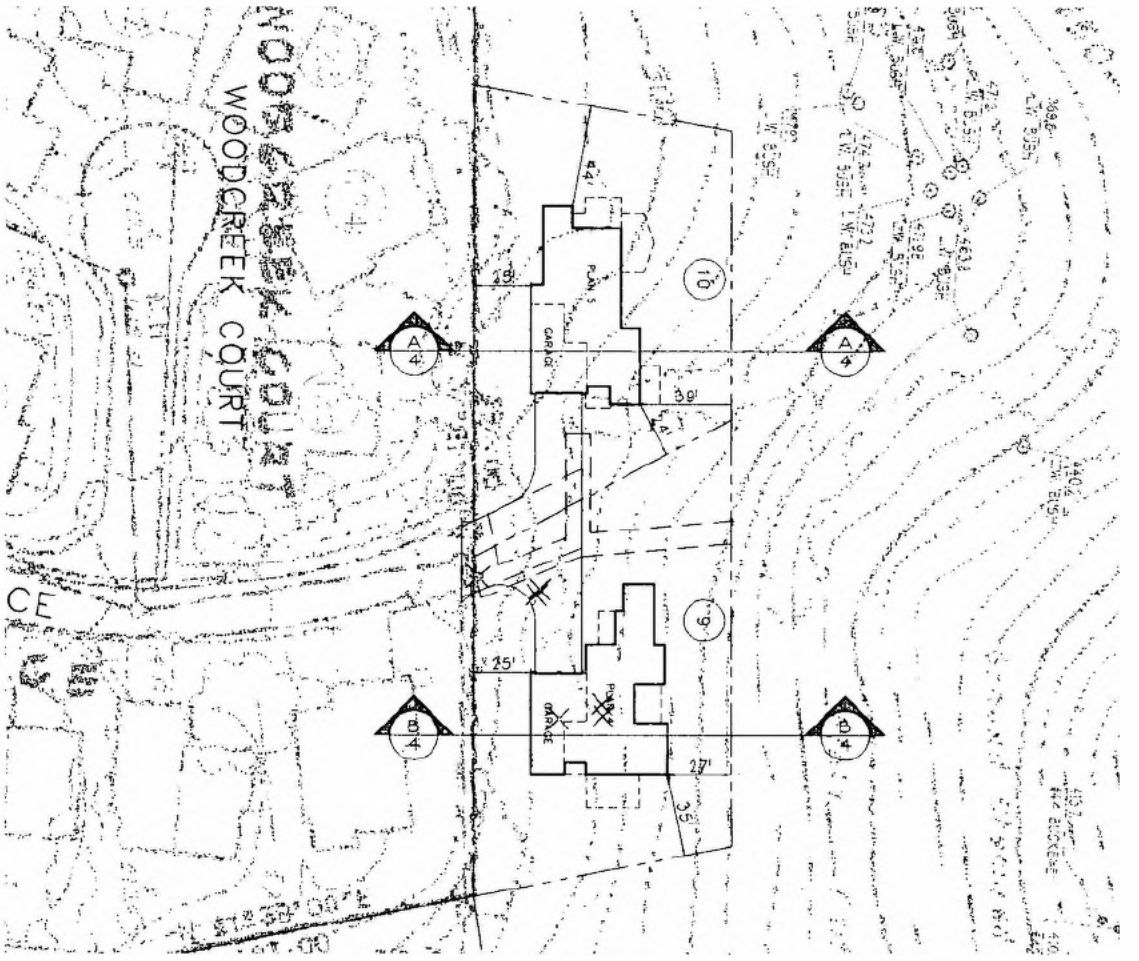
PROGRESS PRINT - REVISED MARCH 25, 2008

Date	No.	Revisions
03/25/08	1	Scale Change
03/25/08	2	Design
03/25/08	3	Drawn
03/25/08	4	Approved
03/25/08	5	Job No

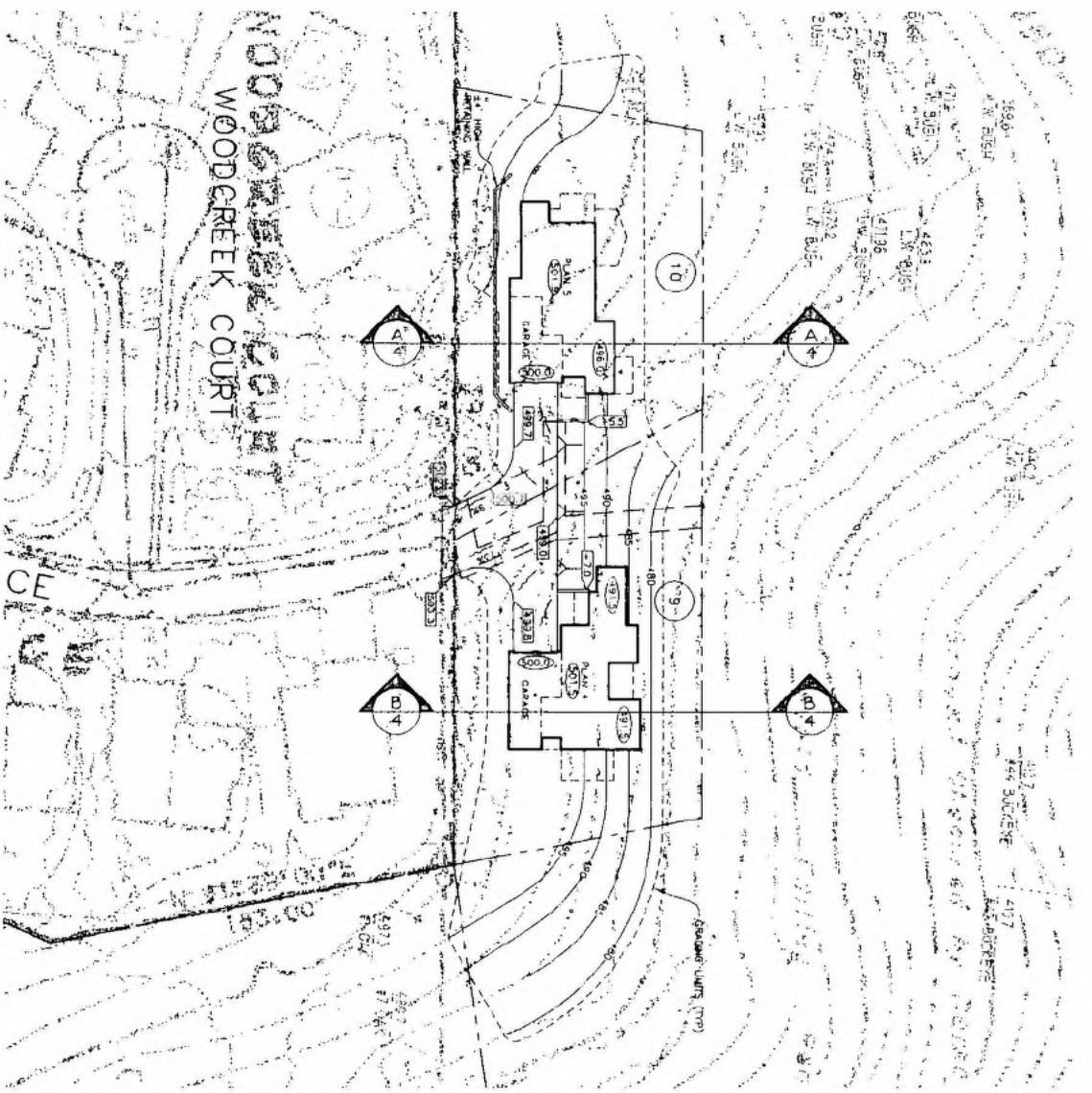


255 SHOPLINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300 PHONE
 (650) 482-6399 FAX

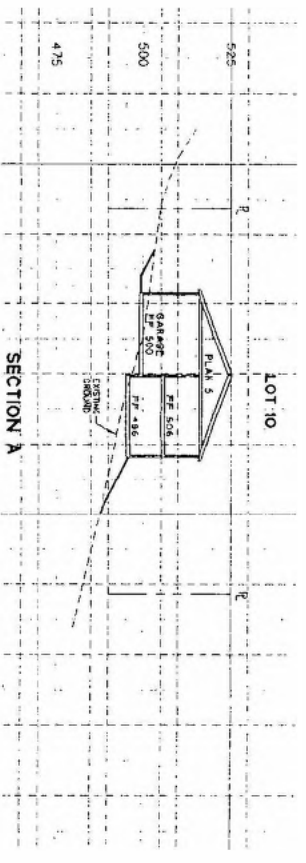
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 * NOT ONE AND ONE HALF SHEET, ADJUST SCALES ACCORDINGLY *



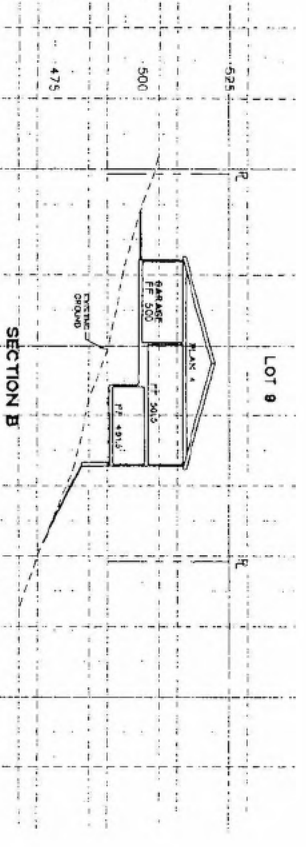
SITE PLAN
 SCALE: 1"=30'



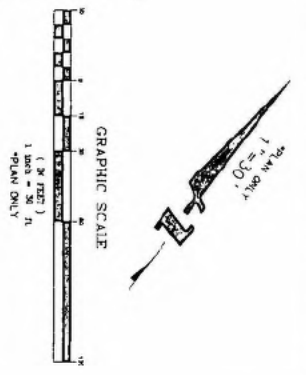
ROUGH GRADING PLAN
 SCALE: 1"=30'



CONCEPTUAL SECTION A
 LOT 10
 SCALE: 1"=20'



CONCEPTUAL SECTION B
 LOT 9
 SCALE: 1"=20'



GRADING LEGEND

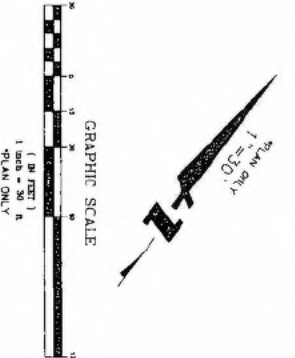
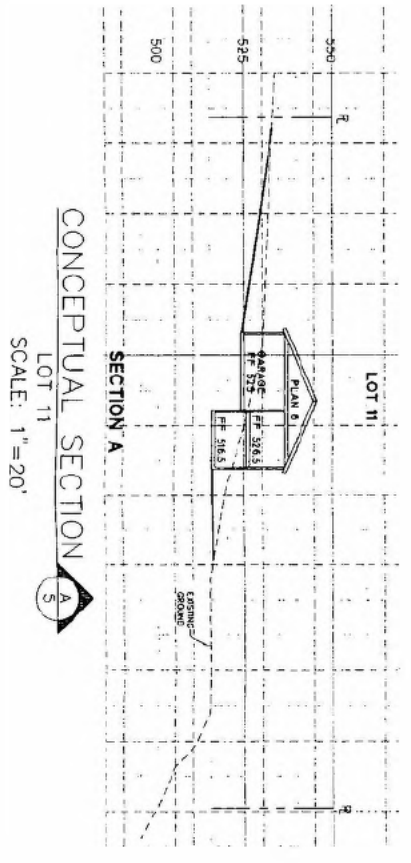
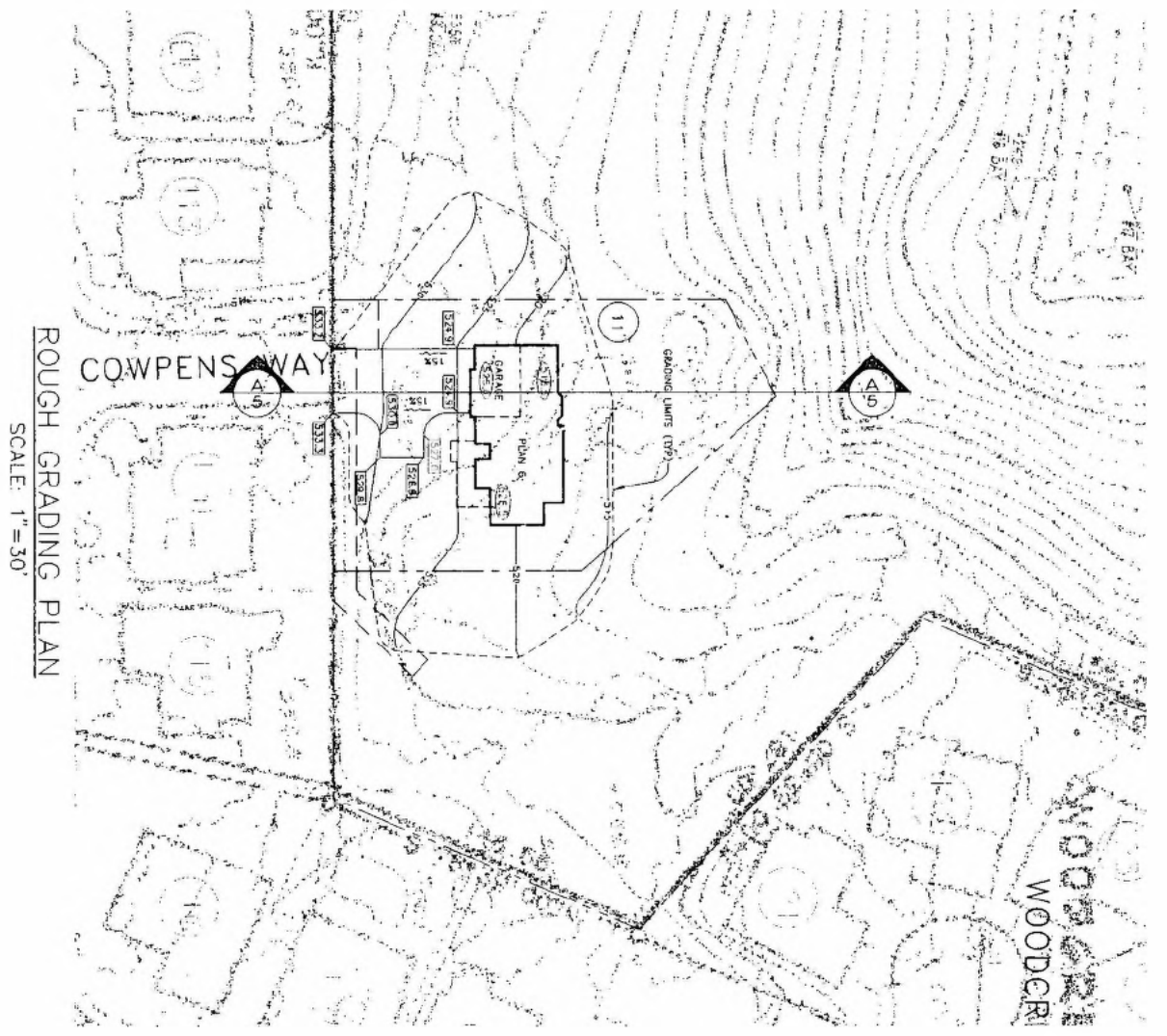
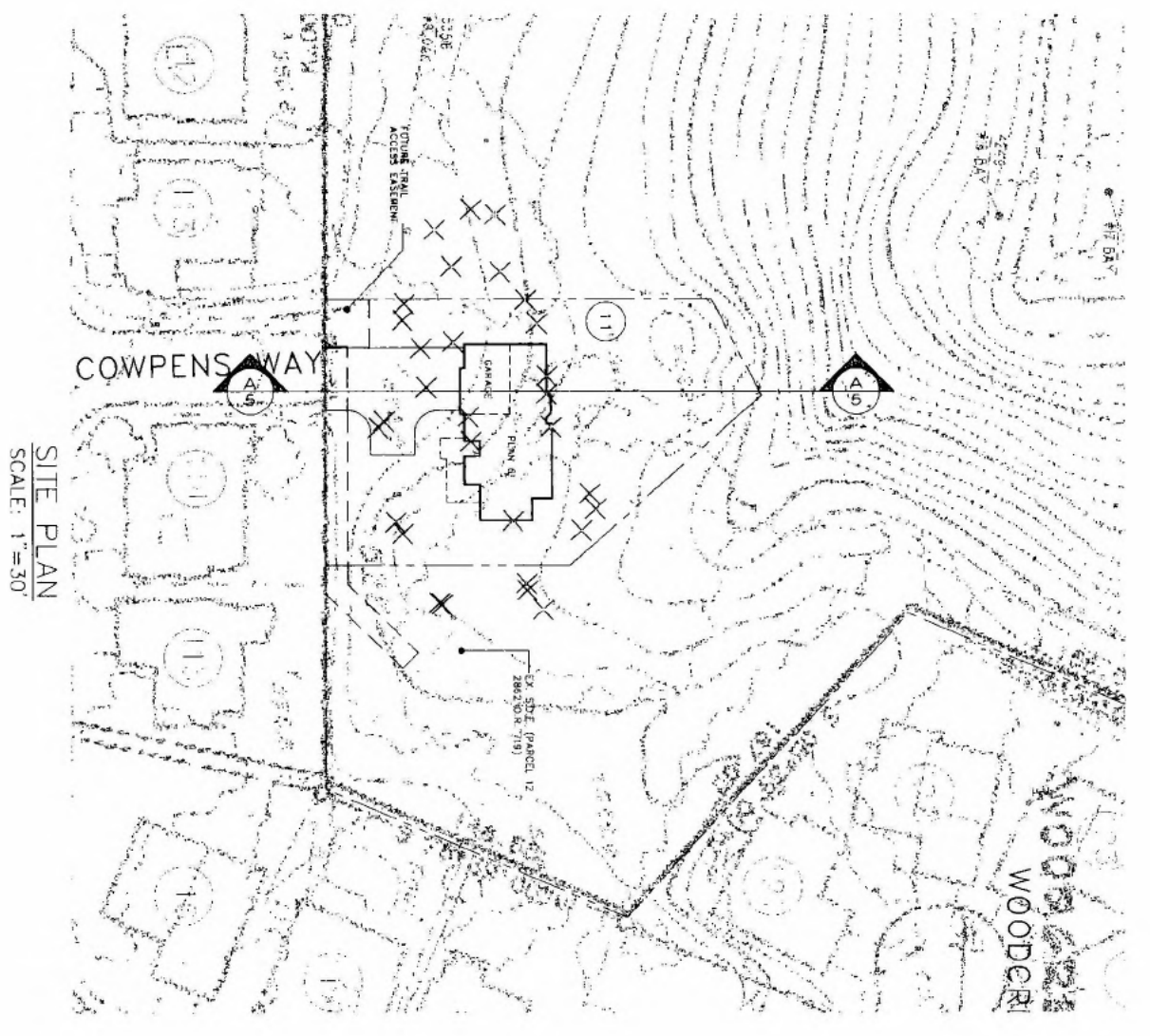
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	(P) FINISH SHADE (SPOT ELEVATION)
	(P) FINISH SHADE (CONTOUR)
	(P) DRIVEWAY SLOPE AND DIRECTION
	(P) DRIVEWAY
	(P) FINISH FLOOR ELEVATION
	(P) WALL HEIGHT ABOVE FINISH SHADE

Date	No.	Revisions
03/25/08		
Scale	1"	
Drawn	MD	
Approved	SH	
Job No	90044	



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 (650) 482-6399 FAX

VERIFY SCALES. BAR SHOWN IS ONE INCH OF ORIGINAL DRAWING.
 IF NOT ONE INCH ON THIS SHEET, ADJUST SCALES ACCORDINGLY.



GRADING LEGEND	
(XXX)	(P) FINISH GRADE (GENERAL AREA)
(XXX)	(P) FINISH GRADE (SPOT ELEVATION)
(XXX)	(P) FINISH GRADE (CONTOUR)
XXX	(P) DRIVEWAY FLOOR AND DIRECTION
XXX	FLOW DIRECTION OVER (P) DRIVEWAY
(XXX)	(P) FINISH FLOOR ELEVATION
(XXX)	(P) WALL HEIGHT ABOVE FINISH GRADE

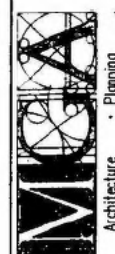
PROGRESS PRINT - REVISED MARCH 25, 2008

Date	By	No.	Revisions
03/25/08	JT		Revised
	MD		Drawn
	BH		Approved
			Job No. 0505

HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 LOT 11
 SAN MATEO COUNTY
 CALIFORNIA



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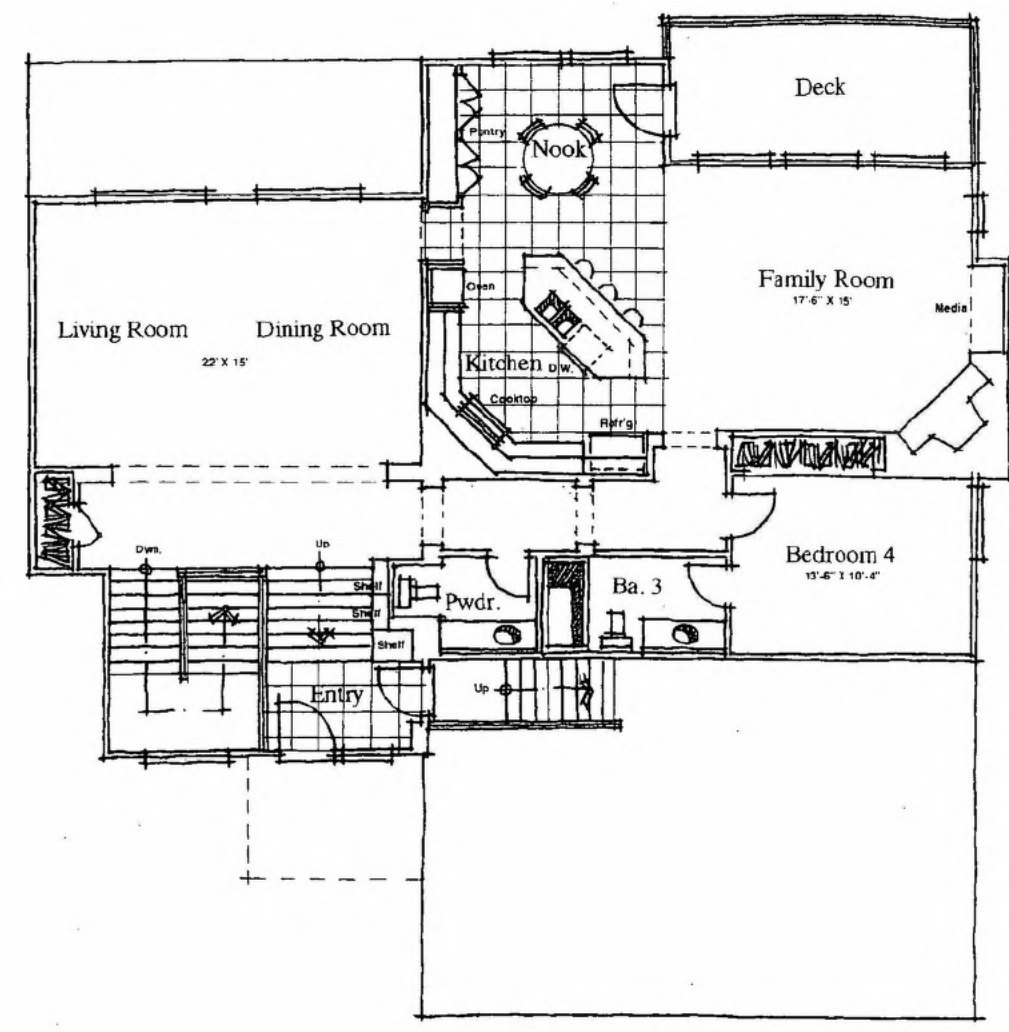


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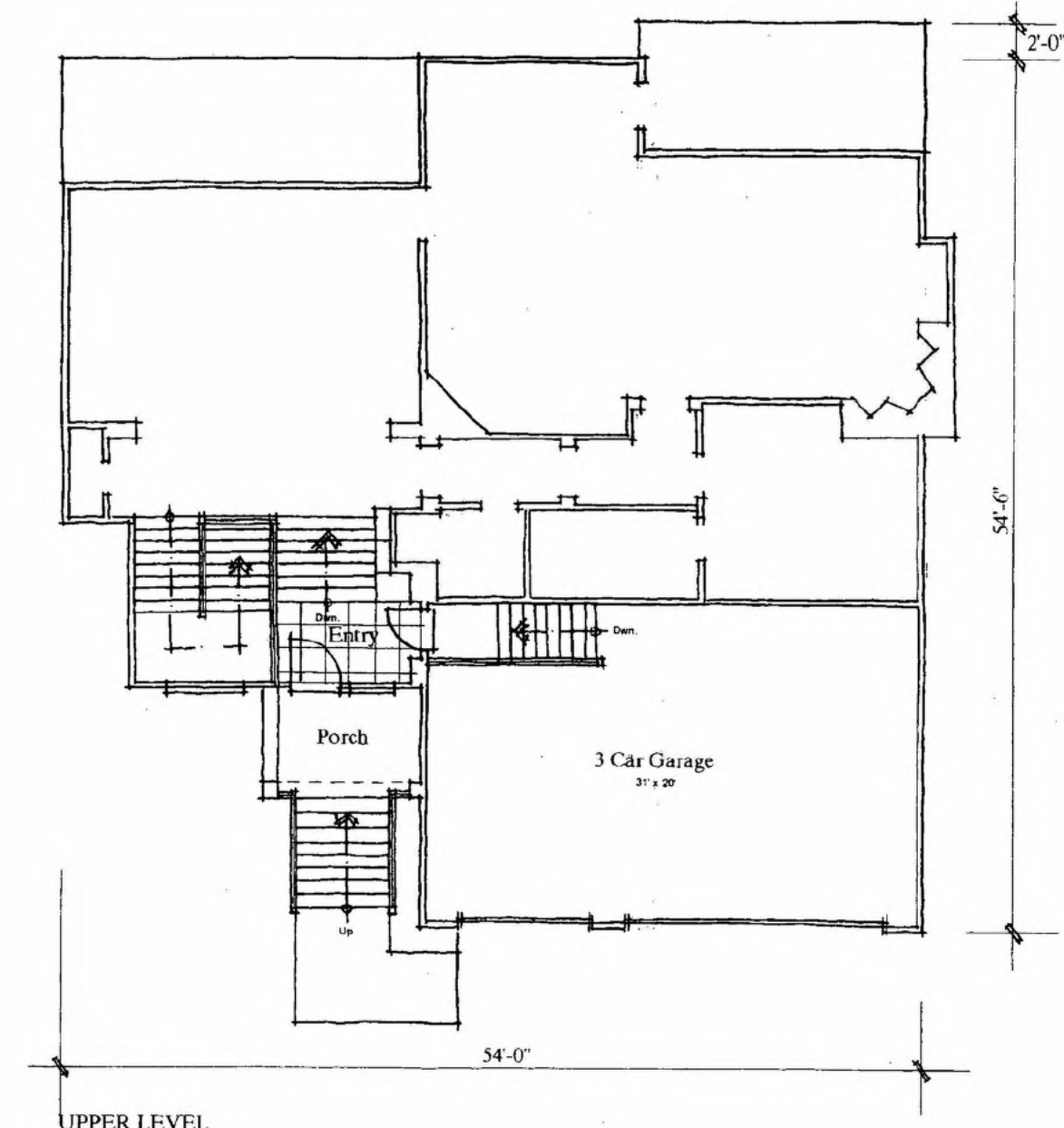
CALIFORNIA

HIGHLAND ESTATES
PROPOSED DEVELOPMENT SCHEME ('OS')
FLOOR PLANS, PLAN 1, LOTS 1 & 2
SAN MATEO COUNTY

SAN MATEO



MID LEVEL
1665 sq.ft.



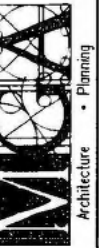
UPPER LEVEL

CHAMBERLAIN GROUP
HIGHLAND ESTATES

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LOTS 1&2
PLAN ONE
Mark Gross & Associates, Inc.

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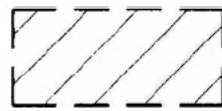


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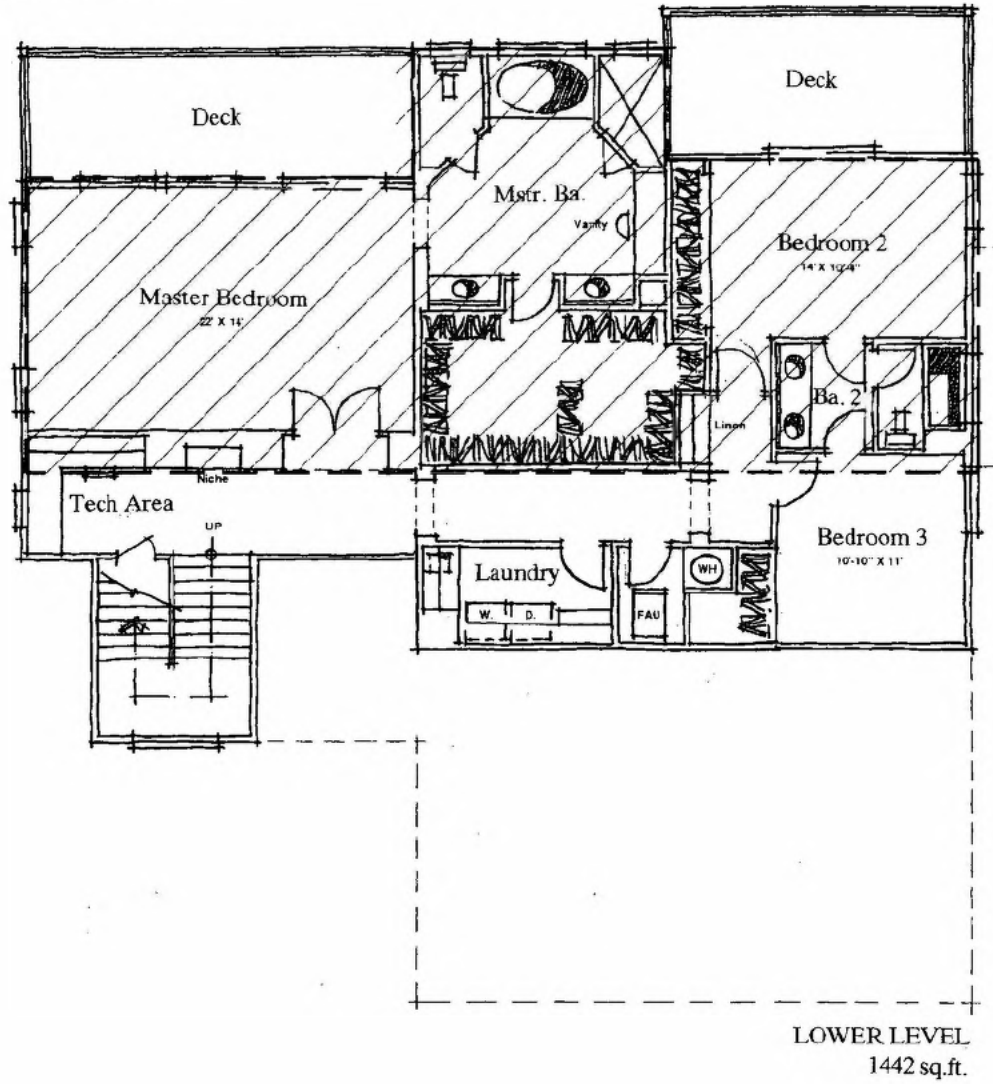
CALIFORNIA

HIGHLAND ESTATES
PROPOSED DEVELOPMENT SCHEME ('OS')
FLOOR PLANS, PLAN 1, LOTS 1 & 2
SAN MATEO COUNTY

SAN MATEO



ADDITIONAL LIVING AREA BELOW LOWER LEVEL FLOOR AS LOT CONDITIONS ALLOW, ADDITIONAL LIVING AREA SIZE WILL VARY PER LOT SLOPE.



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PLAN ONE
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PLOT DATE: 03-18-08 PLOTTED BY: 6814

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No.	
Date	
By	
Check	
Approved	
Job No.	

950168
7 of 22

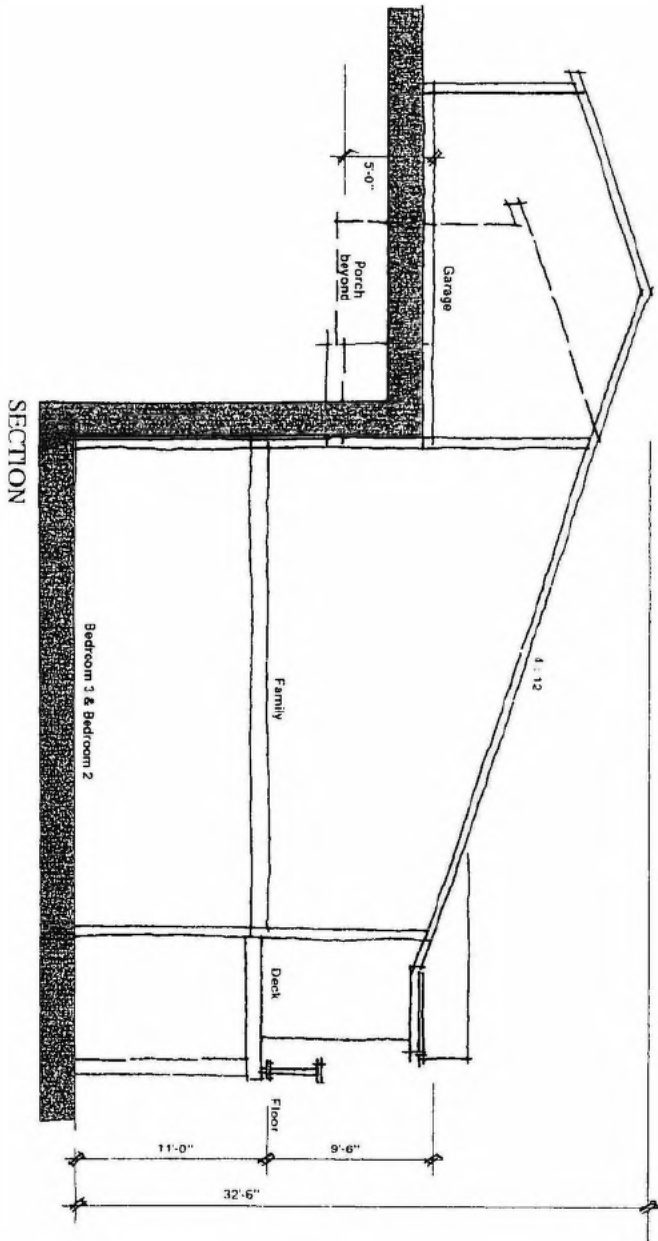
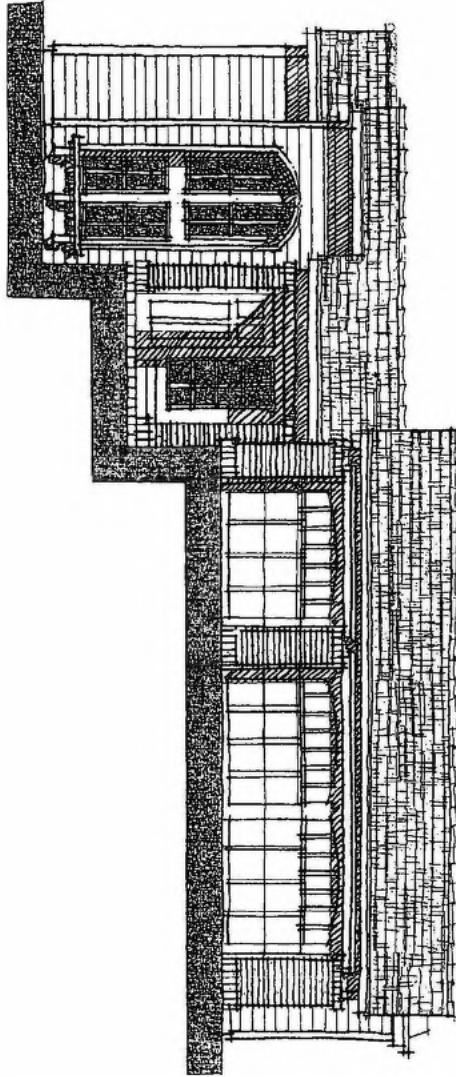
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LOTS 1 & 2
 PLAN ONE



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Revised	Date	By	For

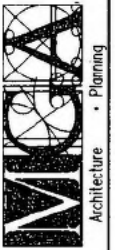
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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 SECTION & ELEVATION, PLAN 1, LOTS 1 & 2
 SAN MATEO COUNTY

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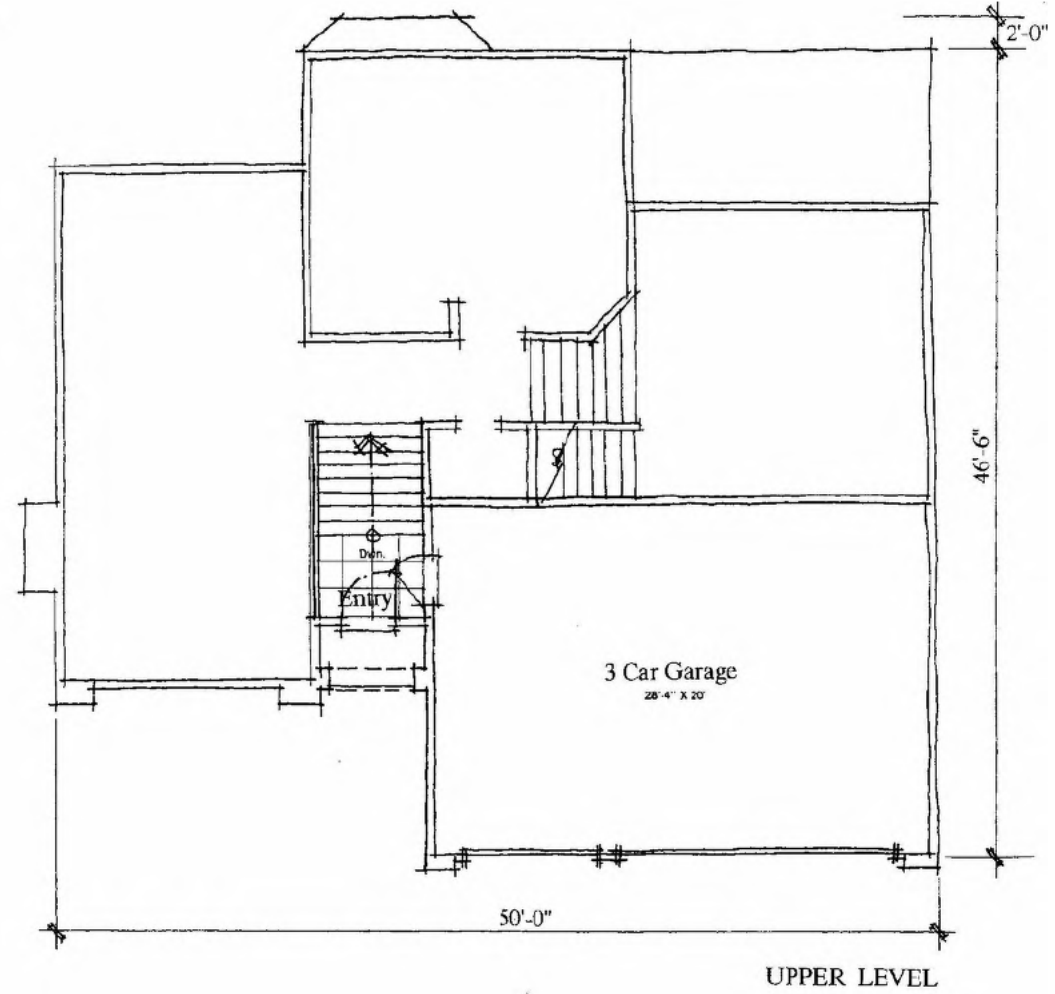
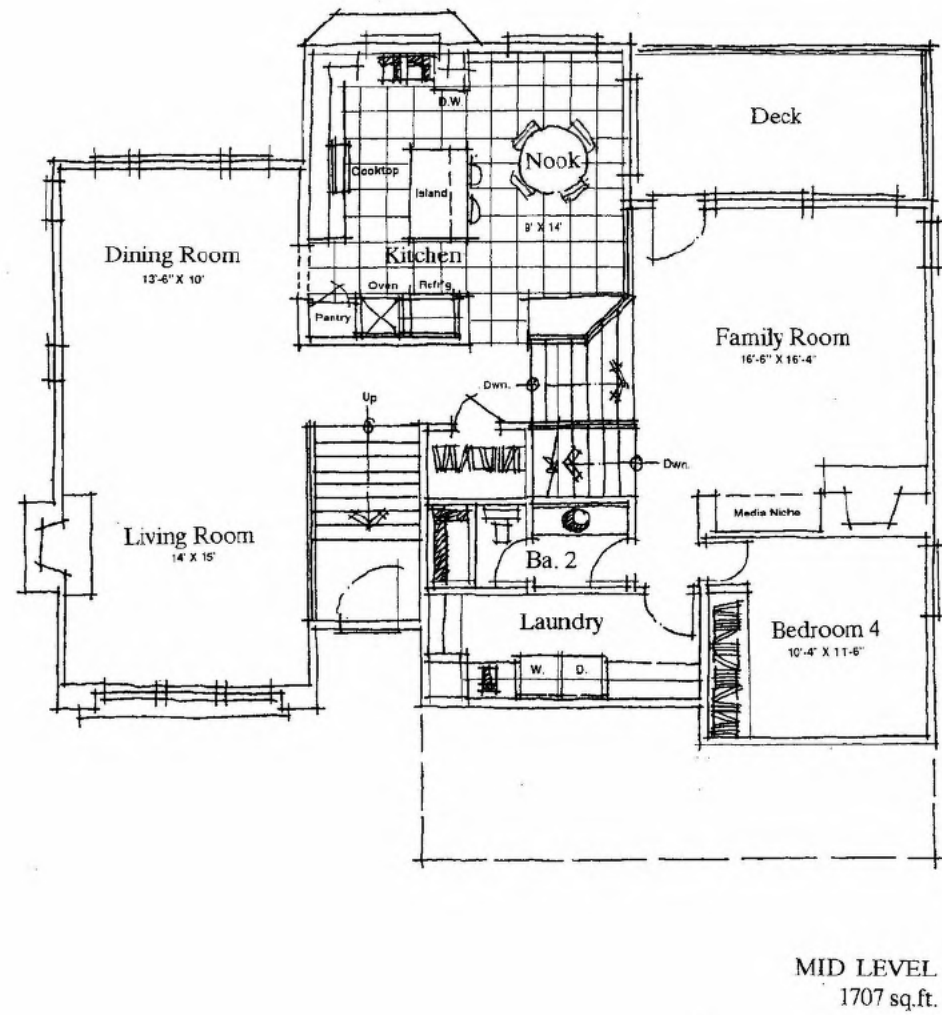


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HIGHLAND ESTATES
PROPOSED DEVELOPMENT SCHEME ("OS")
FLOOR PLANS, PLAN 2, LOTS 3 & 4
SAN MATEO COUNTY

SAN MATEO



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HIGHLAND ESTATES

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LOTS 3&4
PLAN TWO
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DRAWING NAME: J:\Projects\950168\950168.dwg
PLOT DATE: 03-26-08 PLOTTED BY: selt

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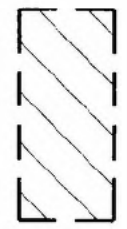
Revisions	Date	By	Description

950168
9 OF 22

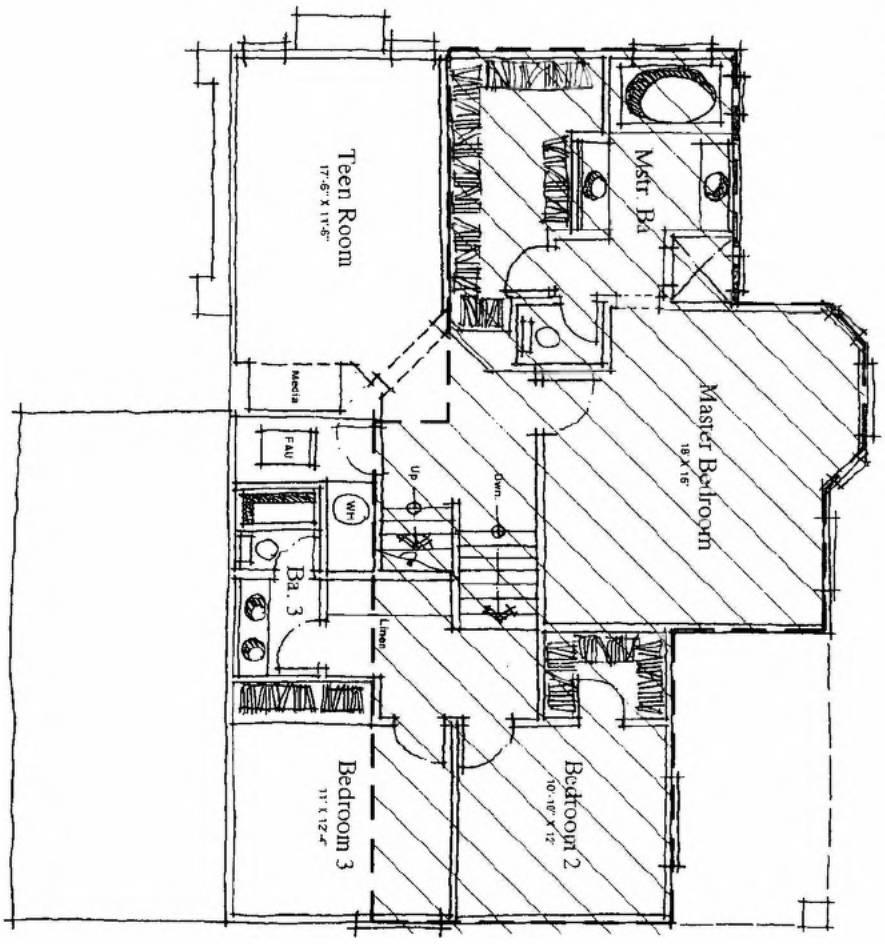
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 HIGHLAND ESTATES

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LOTS 3&4
 PLAN J.W.O
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ADDITIONAL LIVING AREA BELOW
 LOWER LEVEL FLOOR AS LOT
 CONDITIONS ALLOW. ADDITIONAL
 LIVING AREA SIZE WILL VARY
 PER LOT SLOPE.



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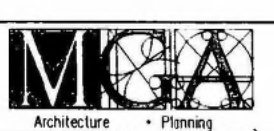
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03/11/08	JL		
03/11/08	MD		
03/11/08	WH		
03/11/08			

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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 FLOOR PLANS, PLAN 2, LOTS 3 & 4
 SAN MATEO COUNTY


CALIFORNIA

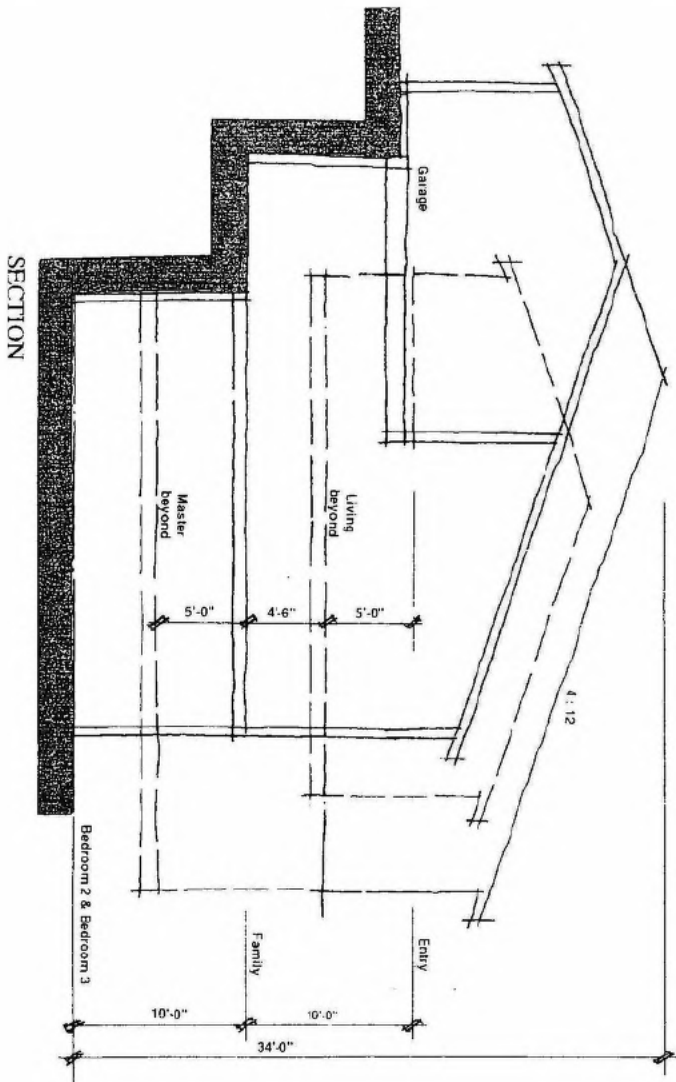
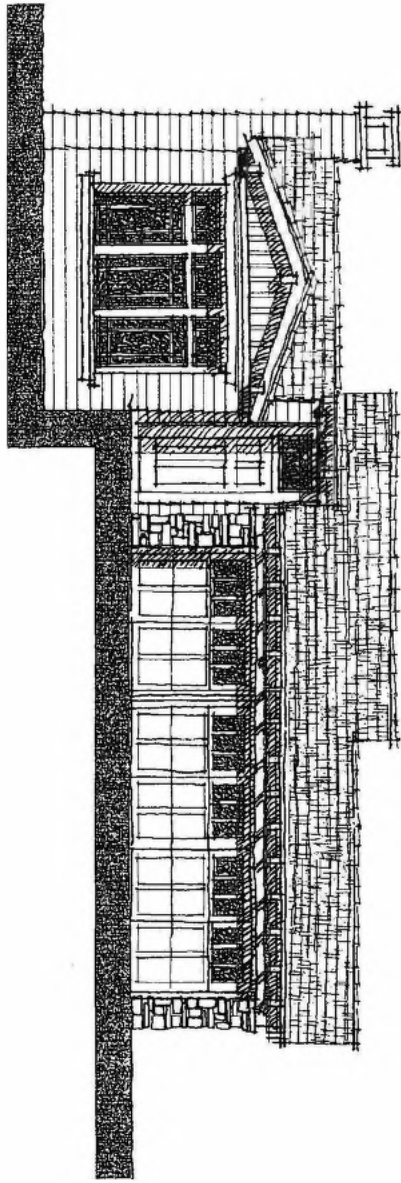
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LOTS 3&4
 PLAN TWO
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Date	Scale	No.	Revisions
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	JT		
	MJ		
	Rt		

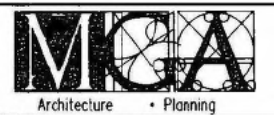
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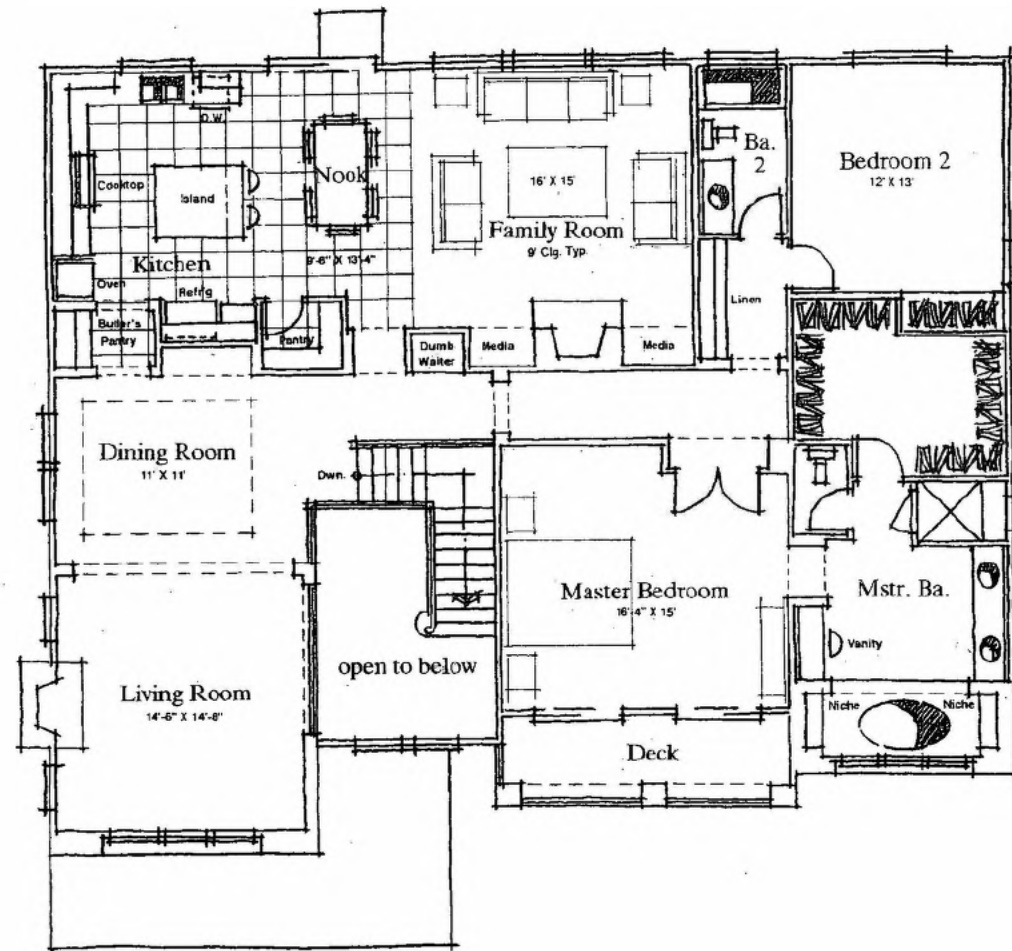
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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 SECTION AND ELEVATION, PLAN 2, LOTS 3 & 4
 SAN MATEO COUNTY

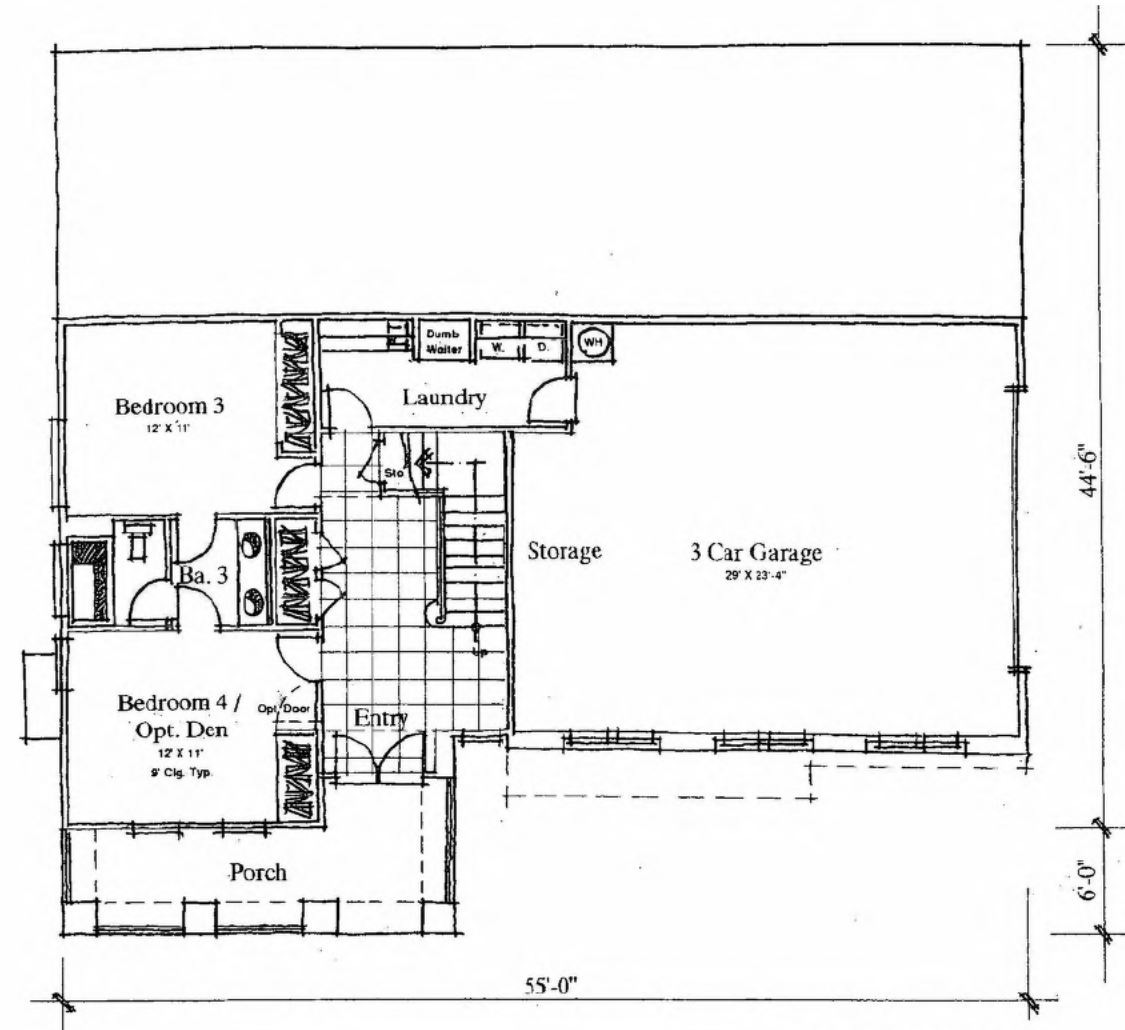
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SECOND FLOOR PLAN
2045 sq.ft.



FIRST FLOOR PLAN
739 sq.ft.
total: 2789 sq.ft.

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HIGHLAND ESTATES-BUNKER HILL

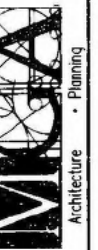
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LOTS 7 & 8
Turn-in Garage
PLAN THREE
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DRAWING NAME: J:\Projects\BUNKER HILL\03-24-08_ARCH\13.dwg

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PROPOSED DEVELOPMENT SCHEME ('OS')
PLAN LAYOUT, PLAN 3B, LOTS 7 & 8
SAN MATEO COUNTY

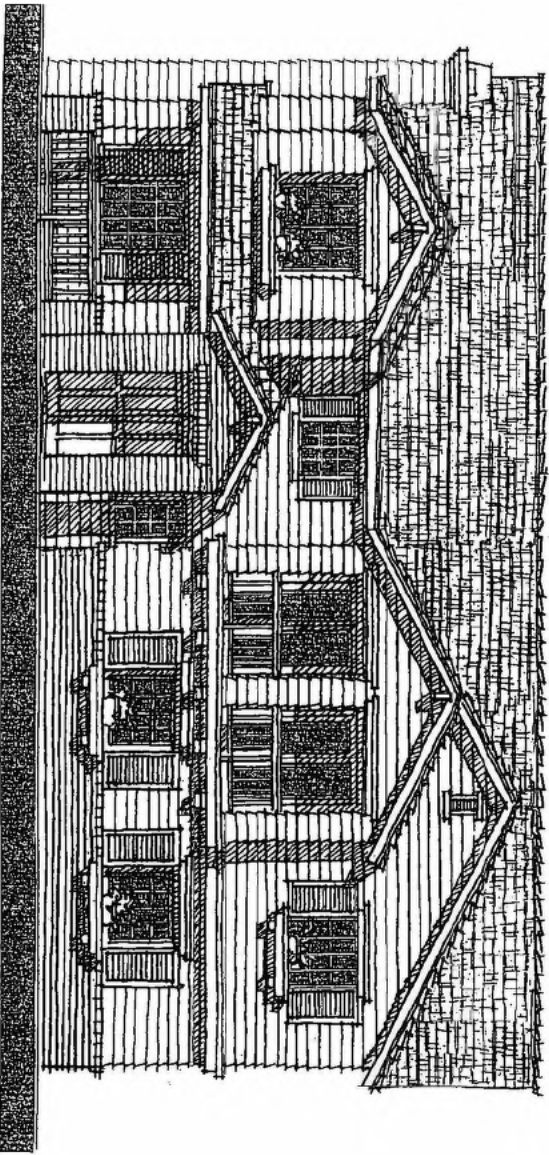
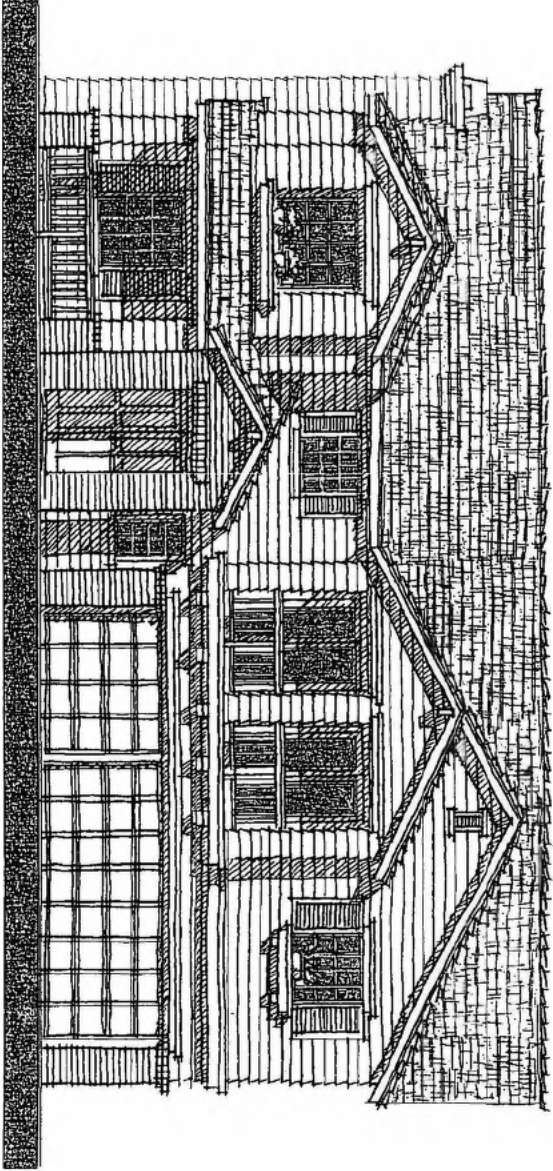
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Revised	By	Date

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 HIGHLAND ESTATES - BUNKER HILL

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LOTS 5, 6, 7 & 8
 PLAN THREE
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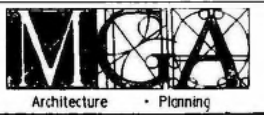
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	MD	Drawn
	SH	Approved
		Job No 850168

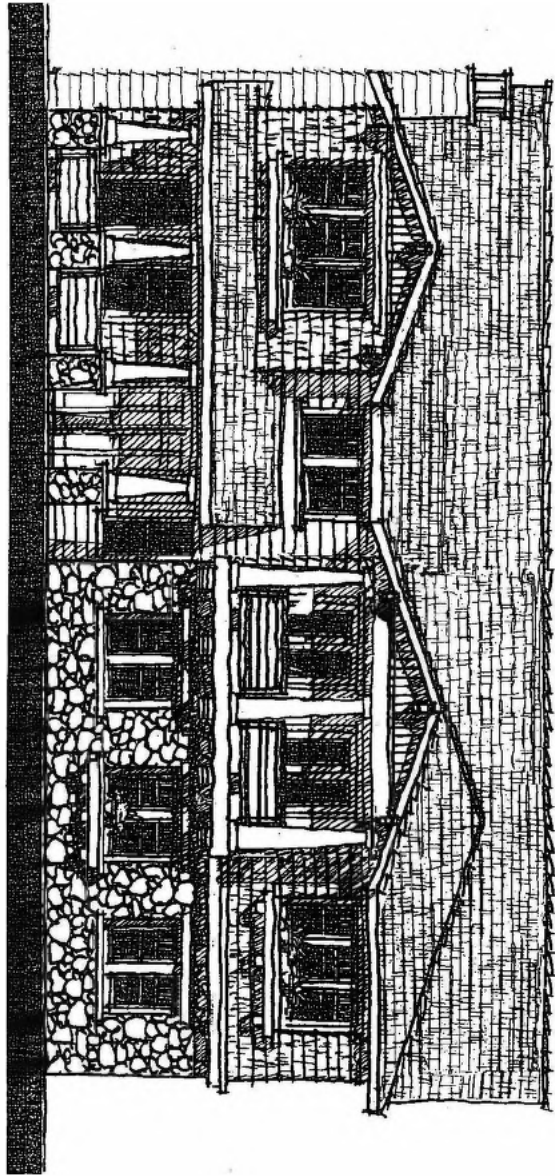
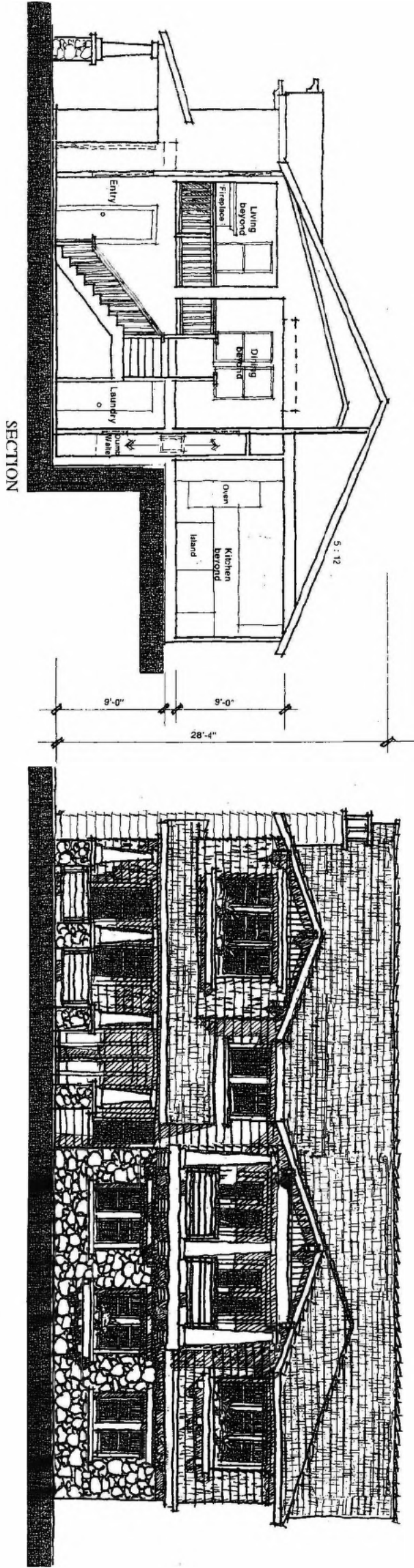
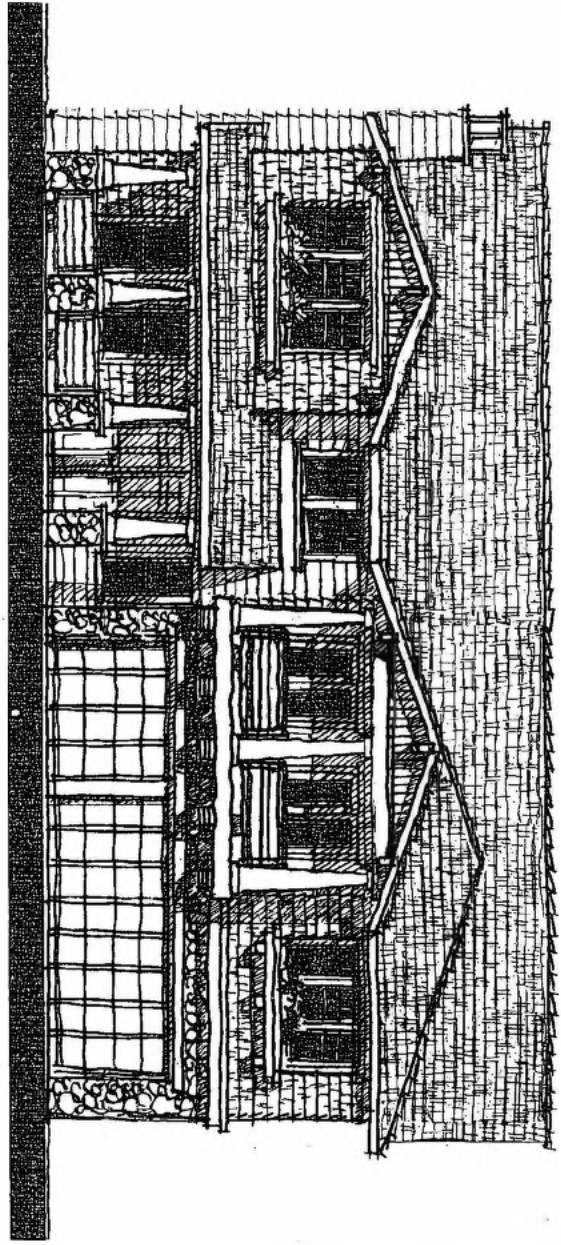
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 PROPOSED DEVELOPMENT SCHEME ("OS")
 ELEVATIONS, PLAN 3, LOTS 5, 6, 7 & 8
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LOTS 5, 6, 7 & 8
PLAN THREE
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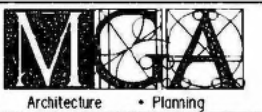
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03/25/08	HTS		
	JT		
	MD		
	RH		

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HIGHLAND ESTATES
PROPOSED DEVELOPMENT SCHEME ("OS")
ELEVATIONS AND SECTION, PLAN 3, LOTS 5, 6, 7 & 8
 SAN MATEO COUNTY

CALIFORNIA

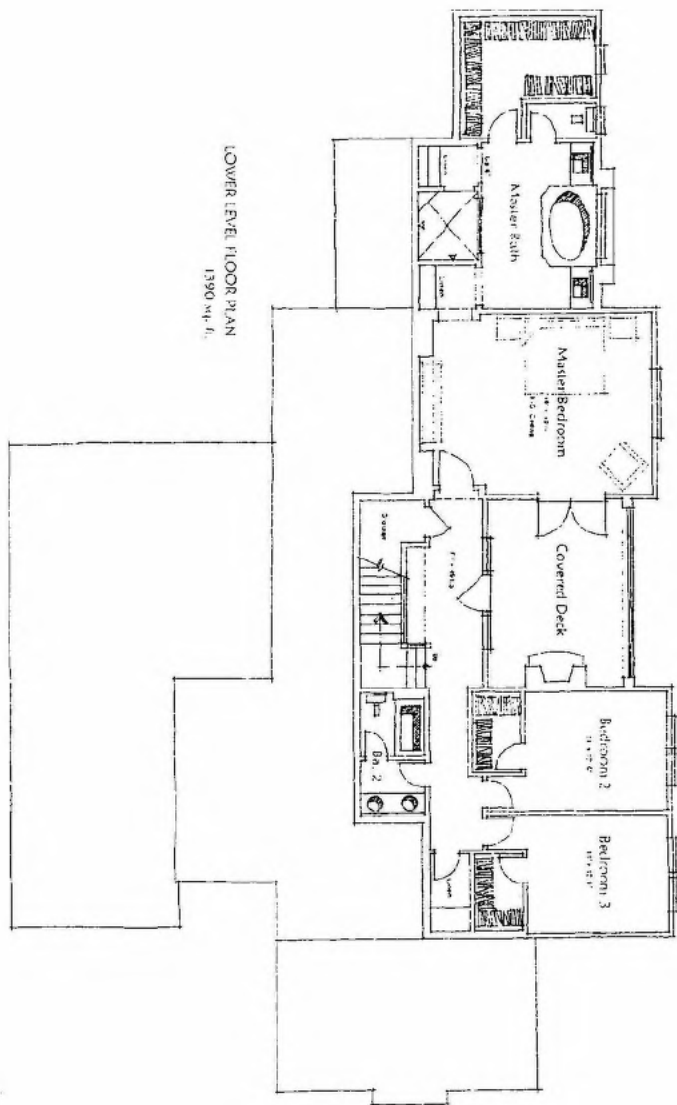
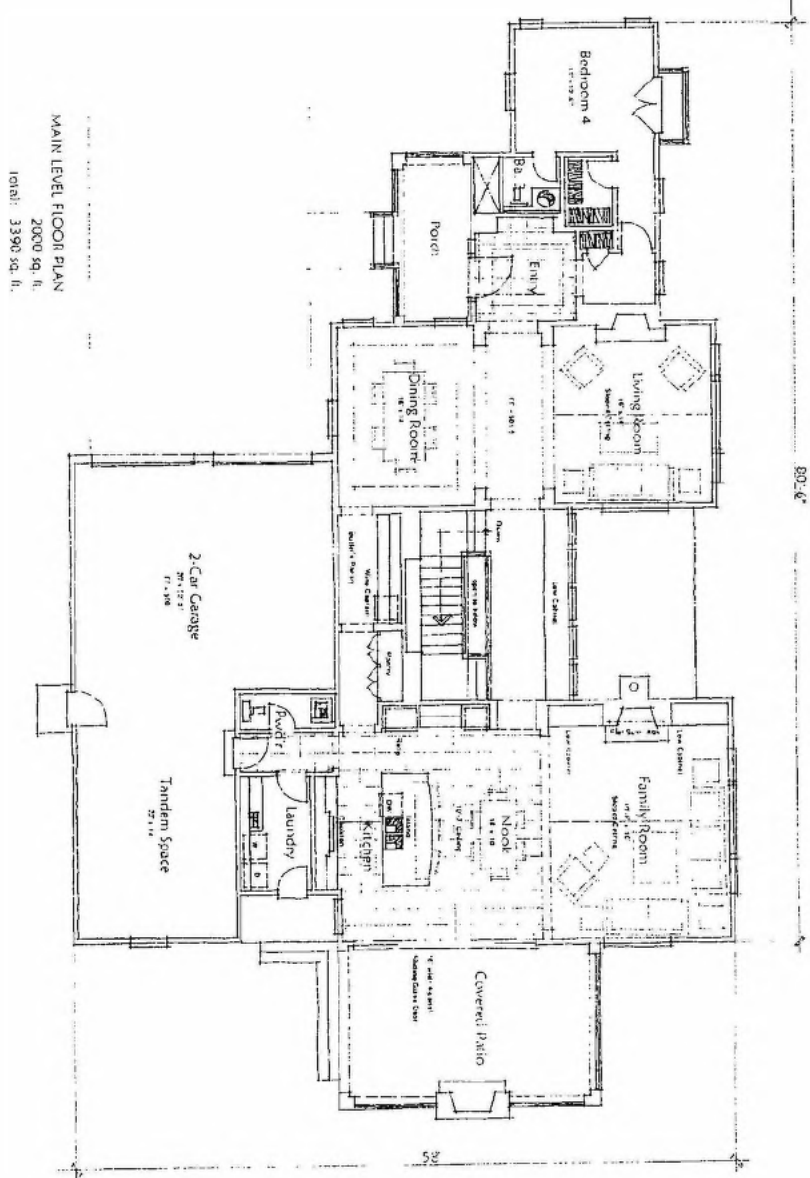
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 HIGHLAND ESTATES

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PLAN FOUR - LOT NINE
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Date	By	No.	Revisions
03/25/08	NTS		
03/25/08	JT		
03/25/08	ME		
03/25/08	ME		
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03/25/08	ME		

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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 PLAN LAYOUT, PLAN 4, LOT 9
 SAN MATEO COUNTY


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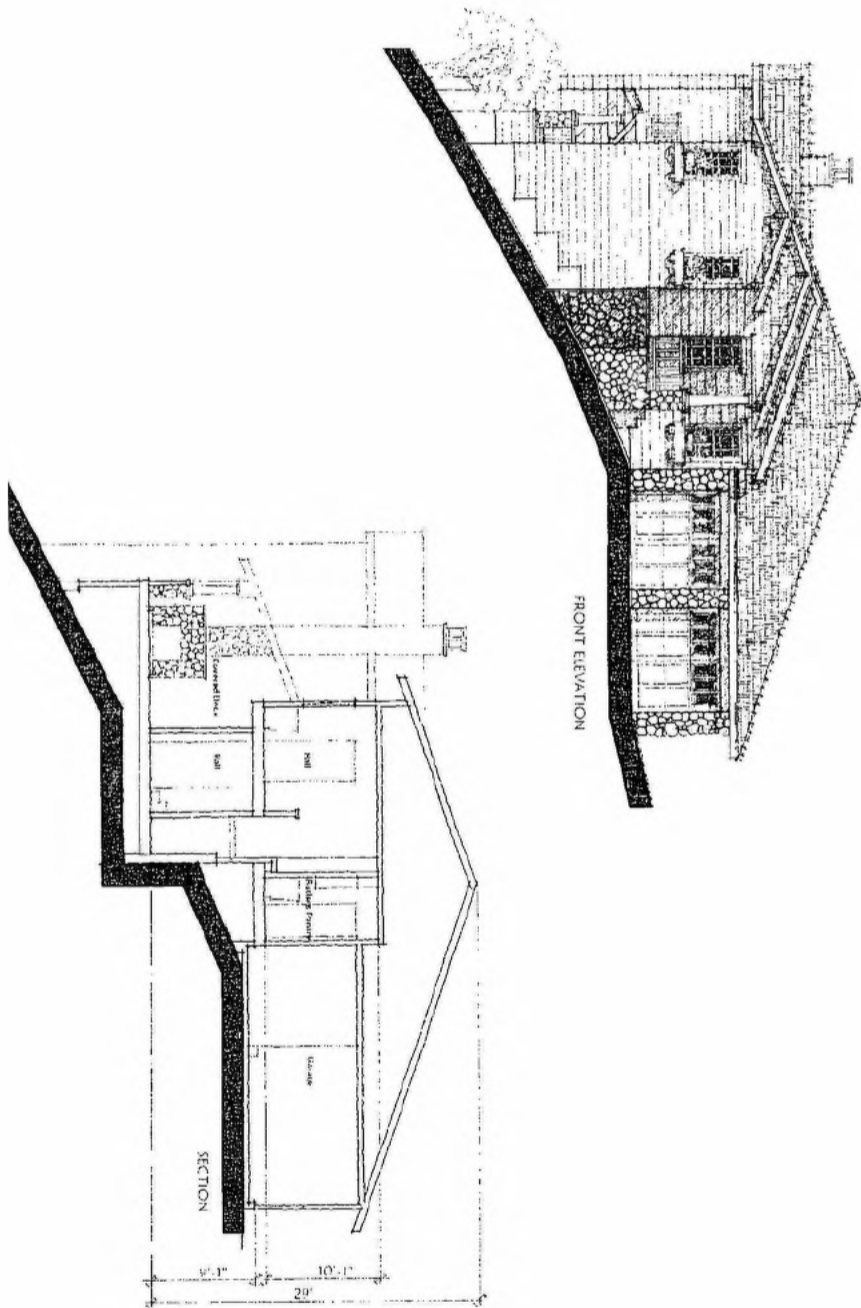
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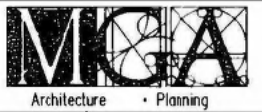
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	MD		
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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ('OS')
 SECTION AND ELEVATION, PLAN 4, LOT 9
 SAN MATEO COUNTY

CALIFORNIA

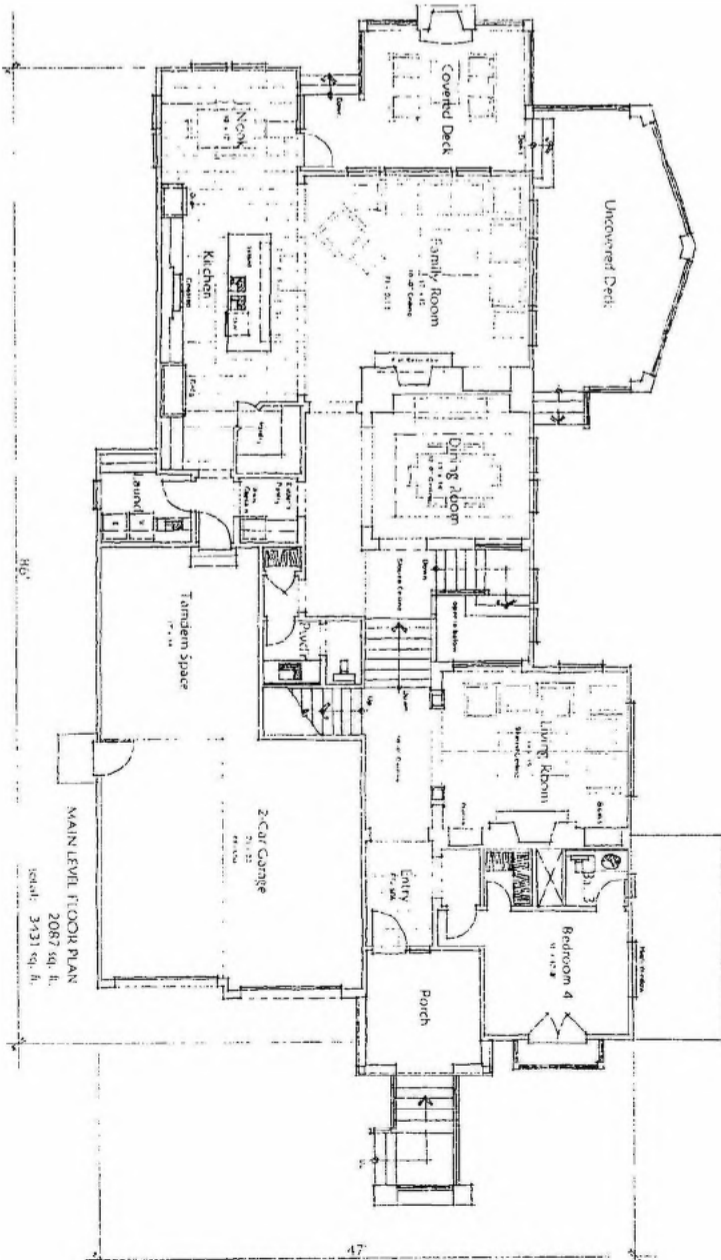
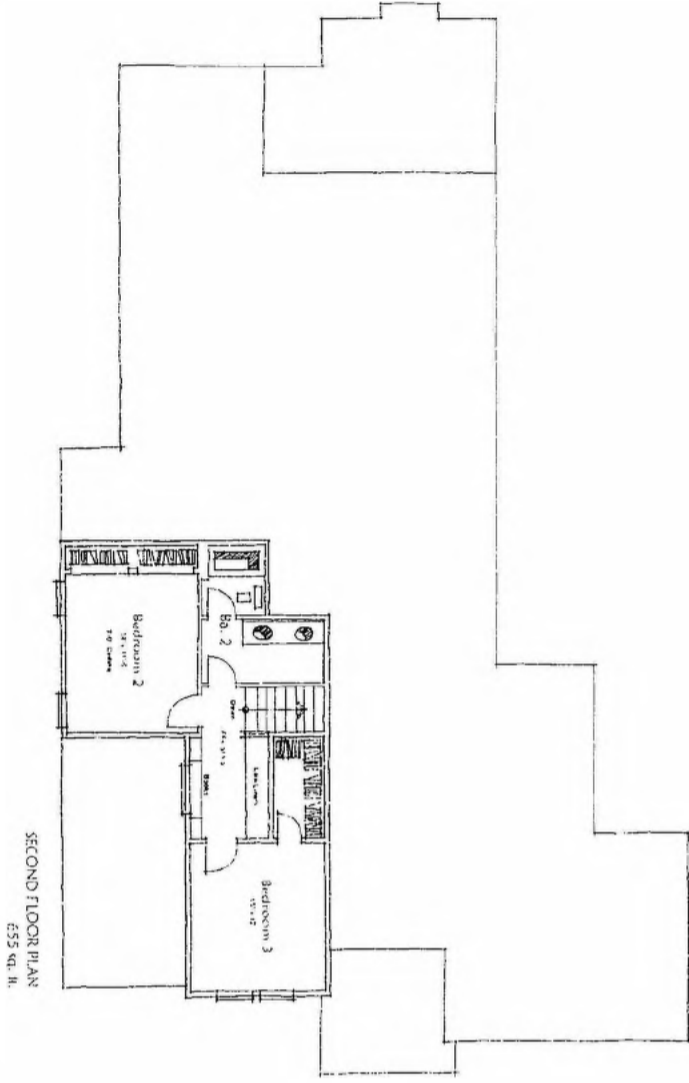
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PLAN FIVE - LOT TEN
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Date	By	No.	Revisions
05/25/08	MTE		
	JT		
	MS		
	BH		
	ESM		

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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ('08)
 PLAN LAYOUT, PLAN 5, LOT 10
 SAN MATEO COUNTY


CALIFORNIA

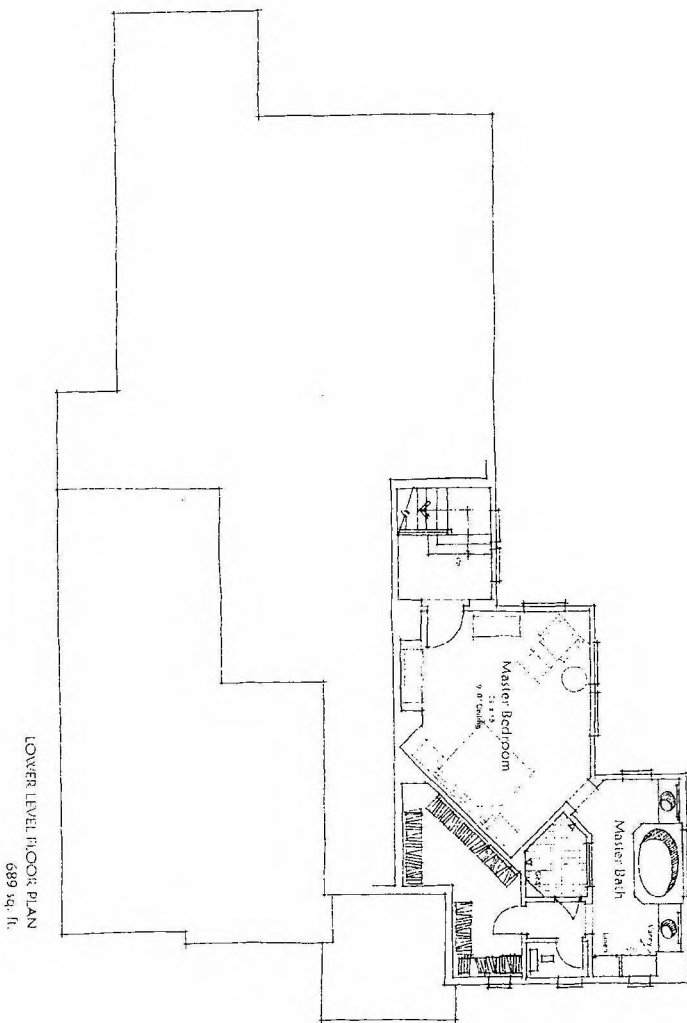
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PLAN FIVE - LOT TEN
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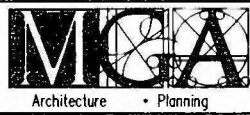
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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 PLAN LAYOUT, PLAN 5, LOT 10
 SAN MATEO COUNTY

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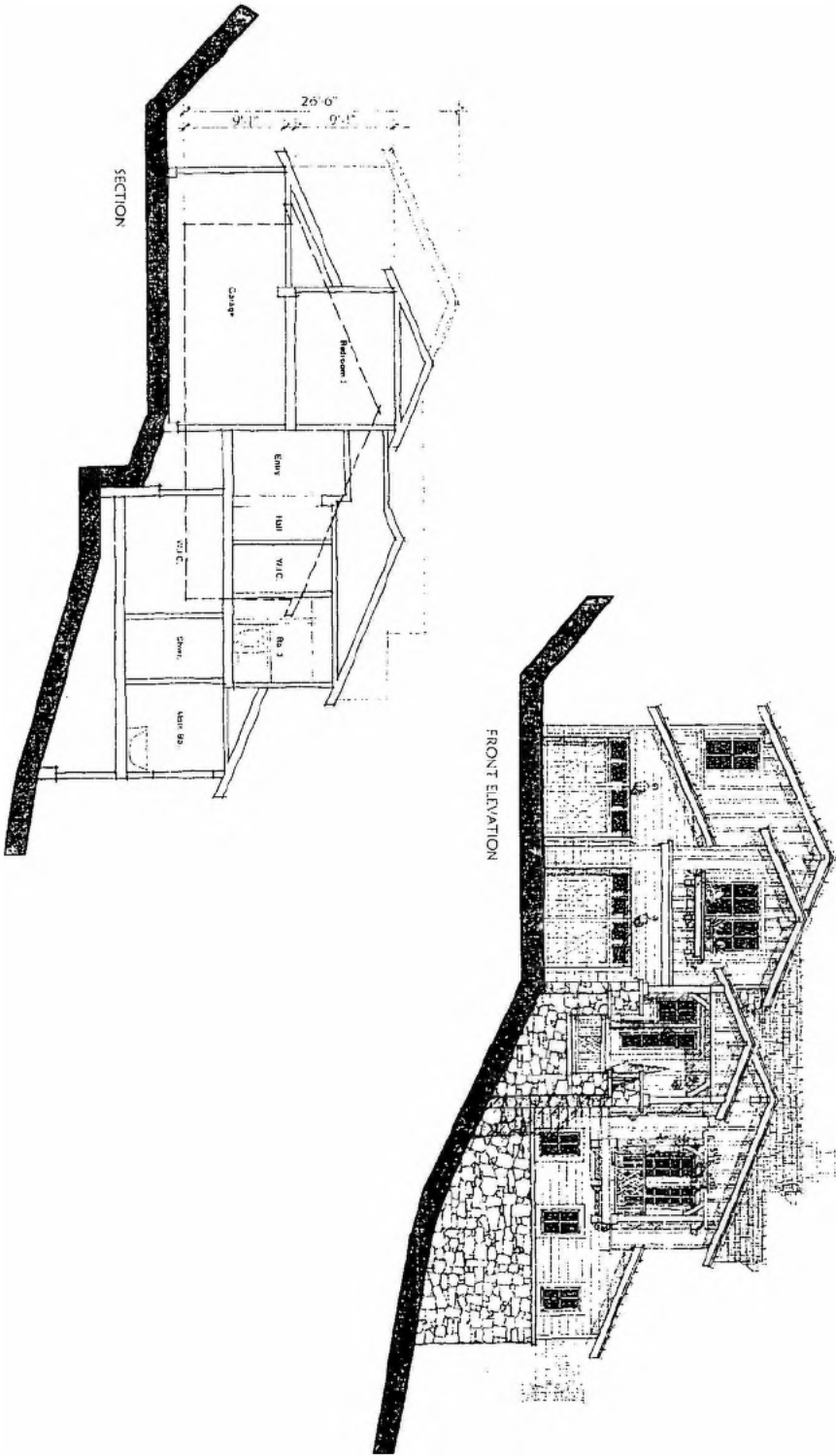
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Date	By	Revisions
01/25/08	JT	
	MD	
	SH	

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 SECTION AND ELEVATION, PLAN 5, LOT 10
 SAN MATEO COUNTY

CALIFORNIA

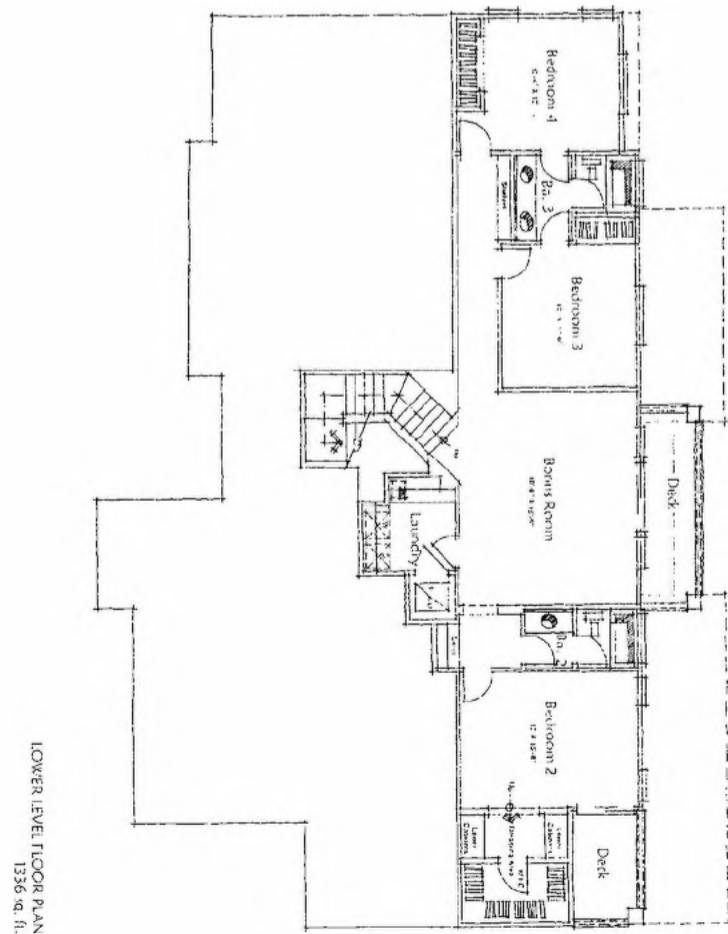
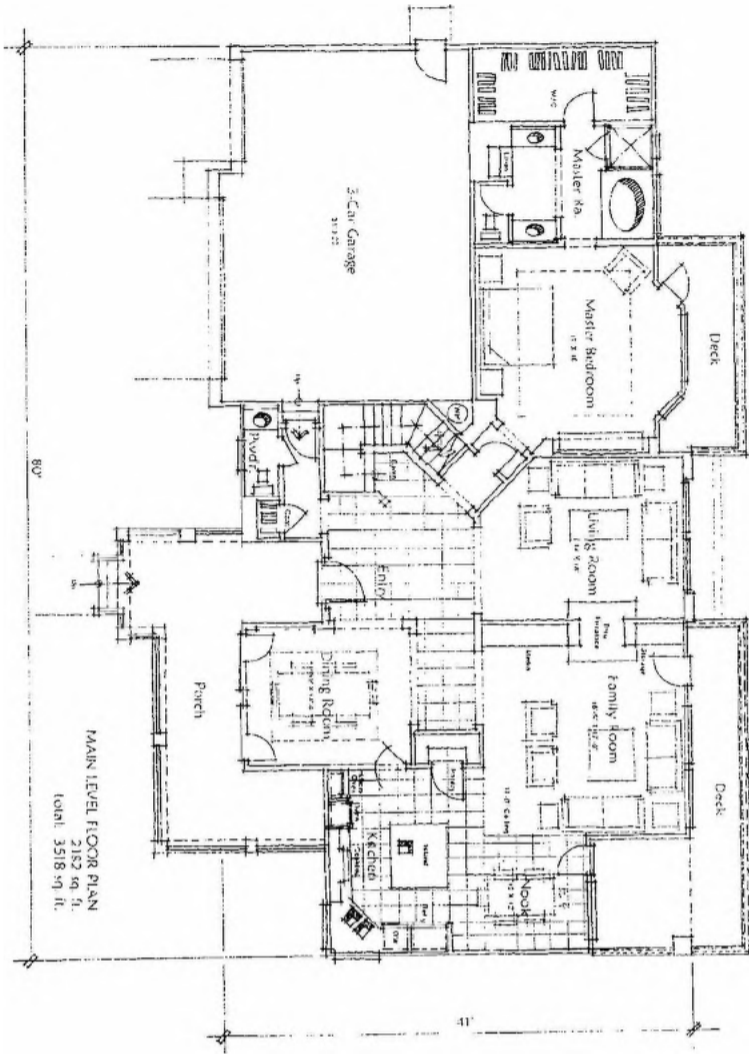
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 HIGHLAND ESTATES

Prepared by: CHAMBERLAIN GROUP
 Date: 05/25/08

PLAN SIX - LOT ELEVEN
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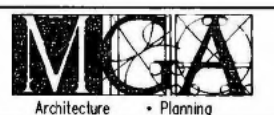
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	MD		
	RH		
	SSM		

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HIGHLAND ESTATES
 PROPOSED DEVELOPMENT SCHEME ("OS")
 PLAN LAYOUT, PLAN 6, LOT 11
 SAN MATEO COUNTY

CALIFORNIA

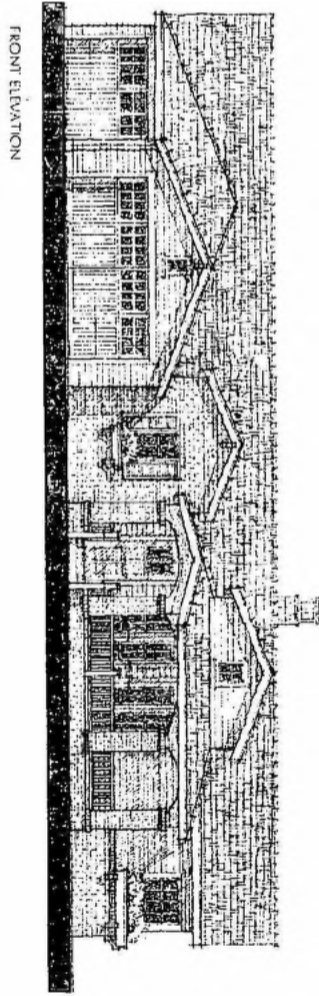
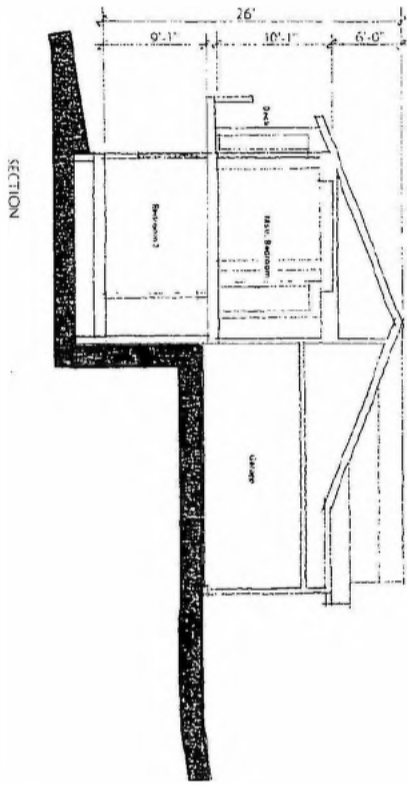
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 HIGHLAND ESTATES

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PLAN SIX - LOT 11
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Date	By	No.	Description
03/25/08	gela	1	Revised
03/25/08	gela	2	Revised
03/25/08	gela	3	Revised
03/25/08	gela	4	Revised
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03/25/08	gela	6	Revised
03/25/08	gela	7	Revised
03/25/08	gela	8	Revised
03/25/08	gela	9	Revised
03/25/08	gela	10	Revised

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 SECTION AND ELEVATION, PLAN 6, LOT 11
 SAN MATEO COUNTY

CALIFORNIA

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Architecture • Planning

IMPROVEMENT PLANS FOR HIGHLAND ESTATES - LOT 10 COBBLEHILL PLACE

COUNTY OF SAN MATEO, CALIFORNIA

255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
PHONE: (650) 482-6300
FAX: (650) 482-6399



CALIFORNIA

HIGHLAND ESTATES
LOT 10 IMPROVEMENT PLANS
TITLE SHEET
SAN MATEO COUNTY
CITY OF SAN MATEO

CITY OF SAN MATEO

No.	Date	Revisions
	11/29/2016	NTS
		JT
		MD
		RH
		Job No. 10188-20

Sheet Number:
C10.10
OF

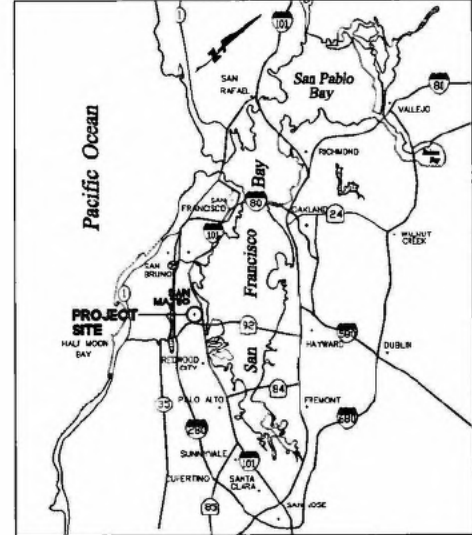
SHEET INDEX

SHEET NO	DESCRIPTION
C10.10	TITLE SHEET
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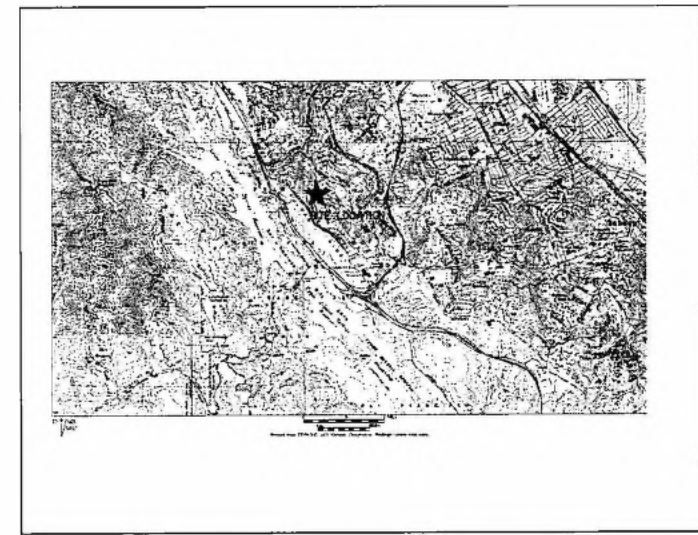
EARTHWORK

CUT	770 CY
FILL	310 CY
NET	460 CY CUT

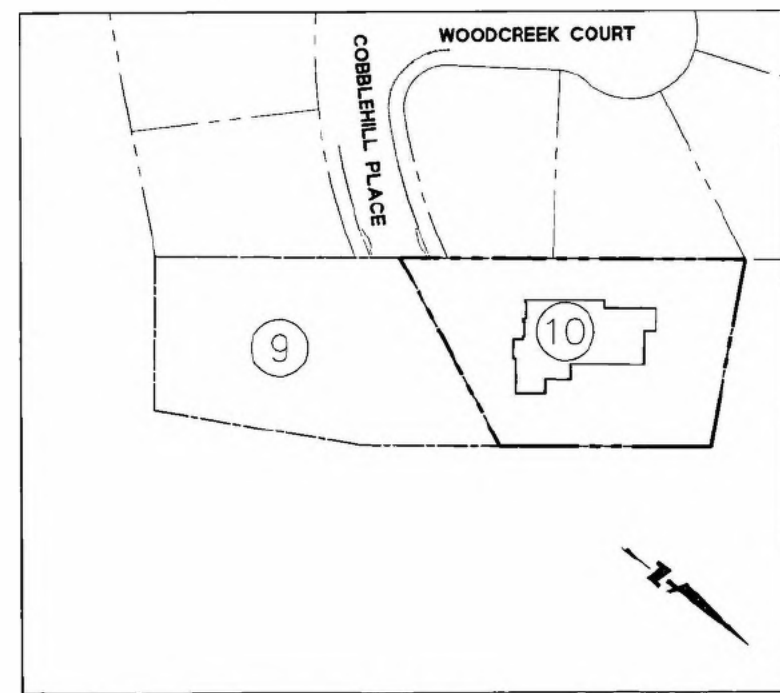
- EARTHWORK NOTES:**
- THE EARTHWORK QUANTITIES SHOWN ABOVE ARE IN-PLACE QUANTITIES AND HAVE BEEN ESTIMATED BY THE ENGINEER WITH THE FOLLOWING ASSUMPTIONS:
 - A. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR SITE STRIPINGS.
 - B. THE UNIT PAD SECTION IS ASSUMED TO BE A 12" THICK CONCRETE SECTION.
 - C. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR FILL SHRINKAGE FACTORS.
 - D. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR UTILITY TRENCHING AND SPOILS.
 - E. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR SOIL STABILIZATION FACTORS AND LANDSCAPING PLANTING SOILS.
 - F. EARTHWORK QUANTITIES DO NOT ACCOUNT FOR RETAINING WALLS AND BUILDING FOOTINGS AND BACKFILL.
 - ACTUAL QUANTITIES MAY VARY DUE TO FIELD CONDITIONS OR CONSTRUCTION TECHNIQUES. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES BASED UPON APPROVED PLANS AND INDEPENDENT CALCULATIONS.



VICINITY MAP
NTS



LOCATION MAP
NTS



SITE PLAN
SCALE: 1" = 50'

PROJECT DATA

SITE AREA: 17,994 SF
EXISTING LAND USE: UNDEVELOPED LAND
PROPOSED USE: RESIDENTIAL (LOT 10)
EXISTING ZONE: RMD - RESOURCE MANAGEMENT DISTRICT
PROPOSED ZONE: R-1
PROPOSED USE: 1 RESIDENTIAL LOT
OWNER: TICONDEROGA PARTNERS, A CALIFORNIA LIMITED LIABILITY CORPORATION
 C/O THE CHAMBERLAIN GROUP
 655 SKYWAY, SUITE 230
 SAN CARLOS, CA 94070
 (650) 595-5582
 ATTN: JACK CHAMBERLAIN

DEVELOPER: THE CHAMBERLAIN GROUP
 655 SKYWAY, SUITE 230
 SAN CARLOS, CA 94070
 (650) 595-5582
 ATTN: JACK CHAMBERLAIN

CIVIL ENGINEER: BKF ENGINEERS
 255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 (650) 482-6300

GEOTECHNICAL ENGINEER: CORNERSTONE EARTH GROUP
 1259 OAKMEAD PARKWAY
 SUNNYVALE, CA 94085
 (408) 245-4600

WATER SUPPLY: CAL WATER SERVICE
 341 N. DELAWARE STREET
 SAN MATEO, CA 94401-1808
 (650) 343-1808

SEWAGE DISPOSAL: CITY OF SAN MATEO & CRYSTAL SPRINGS COUNTY
 SANITATION DISTRICT

GAS & ELECTRIC TELEPHONE: PG&E
 AT&T

FIRE PROTECTION: CALIFORNIA DEPARTMENT OF FORESTRY AND FIRE PROTECTION
 CONCAST

CABLE: COUNTY OF SAN MATEO
 CITY OF SAN MATEO

STORM DRAINAGE: AERO-GEODIC CORP.
 JOB NO. 950168
 DATE OF PHOTOGRAPHY 9/18/87

TOPOGRAPHIC BASE MAP: NOEL CHAMBERLAIN, NEXGEN BUILDERS INC.
 225 DEMETER STREET
 EAST PALO ALTO, CA 94303
 PHONE #: (650) 322-5800
 CELL #: (650) 444-3089
 EMAIL: noel@nexgenbuilders.com

ENGINEER'S STATEMENT

THESE IMPROVEMENT PLANS HAVE BEEN PREPARED BY ME OR UNDER MY DIRECTION IN ACCORDANCE WITH STANDARD ENGINEERING PRACTICE.

ROLAND N.V. HAGA
 R.C.E. NO. 43971
 BKF ENGINEERS



DRAWING NAME: K:\Projects\950168\cmg\CD\et_10\C10.10-HEC015.dwg
 PLOT DATE: 11-29-16 PLOTTED BY: 1rat

NOTES:

I. GENERAL NOTES

1. WORK SHALL CONFORM TO THE COUNTY OF SAN MATEO PUBLIC WORKS STANDARD DRAWINGS FOR PUBLIC IMPROVEMENTS, REVISED SEPTEMBER 2007 AND THE SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS STANDARD SPECIFICATIONS, DATED JUNE 1995.
2. PERFORM WORK IN CONFORMANCE WITH THE RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEERING REPORT TITLED "UPDATED GEOTECHNICAL INVESTIGATION, HIGHLAND ESTATES LOTS 5 THROUGH 11, TOWNERSHOGA DRIVE/COBBLEHILL PLACE/COMPENS LOTS 5 THROUGH 11, SAN MATEO COUNTY, CALIFORNIA" PREPARED BY CORNERSTONE EARTH GROUP, DATED OCTOBER 30, 2015. GRADING WORK WILL BE SUBJECT TO APPROVAL OF GEOTECHNICAL ENGINEER.
3. ARRANGE FOR REQUIRED INSPECTIONS BY COUNTY ENGINEER. NO DELAY OF WORK CLAIM WILL BE ALLOWED DUE TO CONTRACTOR'S FAILURE TO ARRANGE FOR REQUIRED COUNTY INSPECTIONS IN ADVANCE. PROVIDE NOTICE TO COUNTY ENGINEER A MINIMUM OF 2 WORKING DAYS IN ADVANCE OF REQUIRED INSPECTIONS.
4. REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY ENGINEER, WHO WILL OBTAIN APPROVAL FROM COUNTY ENGINEER PRIOR TO CONSTRUCTION OF AFFECTED ITEMS. REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS, WHICH SHALL BE REVIEWED AND APPROVED BY THE ENGINEER AND COUNTY ENGINEER PRIOR TO INSTALLATION OF THE IMPROVEMENTS.
5. REPLACE OR REPAIR EXISTING UTILITIES, IMPROVEMENTS OR FEATURES DAMAGED, REMOVED, OR DISTURBED BY CONSTRUCTION TO THEIR ORIGINAL CONDITION, WHETHER SHOWN ON PLANS OR NOT.
6. REPLACE STREET MONUMENTS, LOT CORNERS PIPES AND OTHER PERMANENT MONUMENTS DISTURBED DURING CONSTRUCTION. MONUMENTS SHALL BE SET BY A SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
7. PREPARE TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM COUNTY ENGINEER BEFORE COMMENCING WORK. PROVIDE FLAG MEN, CONES, BARRICADES AND OTHER TRAFFIC CONTROL MEASURES NECESSARY TO PROVIDE SAFE LANE CLOSURE IN CONFORMANCE WITH CALTRANS STANDARDS AND AS APPROVED BY COUNTY ENGINEER.
8. PEDESTRIAN TRAFFIC CONTROL TO BE PROVIDED WHEN EXISTING SIDEWALKS CANNOT BE MAINTAINED DURING CONSTRUCTION.
9. DO NOT LEAVE TRENCHES OPEN OVERNIGHT IN EXISTING STREET AREAS. BACKFILL OR COVER OPEN TRENCHES AT THE END OF WORK EVERY WORK DAY.
10. PREPARE SHORING PLAN AND SUBMIT TO THE COUNTY ENGINEER FOR REVIEW AND APPROVAL. ADEQUATELY SHORE EXCAVATIONS TO PREVENT EARTH FROM SLIDING OR SETTLING AND TO PROTECT EXISTING ADJACENT IMPROVEMENTS FROM DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. PROVIDE SHORING IN CONFORMANCE WITH APPLICABLE CONSTRUCTION SAFETY ORDERS OF THE CALIFORNIA DIVISION OF INDUSTRIAL SAFETY AND OSHA WHERE EXCAVATIONS ARE 5 FEET OR MORE IN DEPTH.
11. IMPLEMENT CONSTRUCTION DUST CONTROL MEASURES TO REDUCE PARTICULATE GENERATION TO A LESS THAN SIGNIFICANT LEVEL. PROVIDE DUST CONTROL IN CONFORMANCE WITH BAY AREA AIR QUALITY MANAGEMENT DISTRICT MINIMUM REQUIREMENTS. IMPLEMENT THE FOLLOWING CONSTRUCTION PRACTICES EXCEPT WHEN IT IS RAINING.
 - 11.A. WATER ACTIVE EXTERIOR SOIL AREAS AT LEAST TWICE DAILY.
 - 11.B. COVER TRUCKS HAULING SOIL, SAND AND OTHER LOOSE MATERIAL OR PROVIDE 2 FEET OF FREEBOARD.
 - 11.C. PAVE, APPLY WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZER ON UNPAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS.
 - 11.D. SWEEP PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS DAILY.
 - 11.E. APPLY HYDROSEED OR NON-TOXIC SOIL STABILIZER TO INACTIVE CONSTRUCTION AREAS.
 - 11.F. ENCLOSE, COVER, WATER TWICE DAILY OR APPLY NON-TOXIC SOIL STABILIZER TO EXPOSED SOIL STOCKPILES.
 - 11.G. INSTALL SANDBAGS AND OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
 - 11.H. LIMIT TRAFFIC SPEED ON UNPAVED ROADS TO 15 MPH.
 - 11.I. REPLANT VEGETATION IN DISTURBED AREAS AS QUICKLY AS POSSIBLE.
12. KEEP STREETS CLEAN OF DIRT, MUD AND OTHER CONSTRUCTION DEBRIS. CLEAN AND SWEEP STREETS ON A DAILY BASIS DURING THE WORK WEEK.
13. SHOULD IT APPEAR THAT THE WORK IS NOT SUFFICIENTLY DETAILED OR SPECIFIED IN CONSTRUCTION DOCUMENTS, NOTIFY ENGINEER AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH WORK IN QUESTION.
14. CONSTRUCTION STAKING SHALL BE DONE BY A CIVIL ENGINEER OR LAND SURVEYOR REGISTERED IN THE STATE OF CALIFORNIA.
15. IF BKF ENGINEERS IS RETAINED TO PROVIDE CONSTRUCTION STAKING SERVICES, CONTRACTOR WILL BE PROVIDED WITH ONE SET OF SURVEY STAKES FOR LAYOUT PURPOSES. PRESERVE AND PROTECT THESE STAKES UNTIL THEY ARE NO LONGER NEEDED. RESTAKING SHALL BE AT CONTRACTOR'S EXPENSE.
16. MATCH EXISTING PAVEMENT, CURB AND GUTTER, SIDEWALK, ADJACENT LANDSCAPE AND OTHER IMPROVEMENTS WITH SMOOTH TRANSITION TO AVOID ABRUPT OR APPARENT CHANGES IN GRADES, CROSS SLOPES, LOW SPOTS OR HAZARDOUS CONDITIONS.
17. VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND OVERALL PROJECT REQUIREMENT PRIOR TO BIDDING PROJECT.
18. OBTAIN AND PAY FOR PERMITS AND LICENSES AS REQUIRED TO PERFORM WORK WITHIN THE COUNTY OF SAN MATEO PRIOR TO START OF WORK. PERMITS MAY INCLUDE ENCROACHMENT PERMIT FOR WORK WITHIN COUNTY RIGHT-OF-WAY AND GRADING/UTILITY PERMIT.
19. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC AND PEDESTRIAN CONTROL DURING CONSTRUCTION.
20. OBTAIN APPROVAL OF IMPORT SOIL MATERIAL FROM GEOTECHNICAL ENGINEER PRIOR TO DISTRIBUTING MATERIAL OVER SITE.
21. PROTECT ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS, STREETS AND OTHER FEATURES FROM DAMAGE BY CONTRACTOR'S OPERATIONS. REPAIR, REPLACE OR CLEAN ADJOINING PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS, STREETS AND OTHER FEATURES TO SATISFACTION OF OWNER.
22. MAINTAIN AND MANAGE CONSTRUCTION MATERIALS, EQUIPMENT AND VEHICLES AT THE CONSTRUCTION SITE.
23. NOTIFY COUNTY ENGINEER A MINIMUM OF 24 HOURS PRIOR TO STARTING WORK ON OFF-SITE DRAINAGE AND SEWER FACILITIES, GRADING PAVING, OR WORK IN THE COUNTY RIGHT-OF-WAY.
24. MAKE EFFORTS TO MINIMIZE CONSTRUCTION NOISE.

- 24.A. MAINTAIN EQUIPMENT USED ON SITE IN GOOD MECHANICAL CONDITION TO MINIMIZE NOISE CREATED BY FAULTY OR POORLY MAINTAINED ENGINE, DRIVE-TRAIN AND OTHER COMPONENTS.
- 24.B. EQUIPMENT EXCEEDING 110 DBA MEASURED 25 FEET FROM THE PIECE OF EQUIPMENT WILL NOT BE ALLOWED ON SITE.
- 24.C. SELECT APPROPRIATE EQUIPMENT TO MINIMIZE NOISE GENERATION. USE THE FOLLOWING TECHNIQUES TO MINIMIZE NOISE GENERATION SUBJECT TO EQUIPMENT AVAILABILITY AND COST CONSIDERATIONS. USE SCRAPERS AS MUCH AS POSSIBLE FOR EARTH REMOVAL, RATHER THAN NOSER LOADERS AND HAUL TRUCKS. USE BACKHOES FOR BACKFILLING AS IT IS QUIETER THAN DOZERS OR LOADERS. USE MOTOR GRADERS RATHER THAN BULLDOZERS FOR FINAL GRADING.

II. EXISTING CONDITIONS

1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED UPON A FIELD TOPOGRAPHIC SURVEY OF THE PROJECT SITE BY BKF ENGINEERS, DATED JUNE 2009. ACTUAL CONDITIONS ENCOUNTERED ON SITE MAY VARY FROM THOSE SHOWN ON THE PLANS. CONTRACTOR SHALL REVIEW CONSTRUCTION DOCUMENTS AND CONDUCT THEIR OWN INVESTIGATIONS TO UNDERSTAND AND VERIFY EXISTING CONDITIONS AT THE SITE.
2. EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS WERE TAKEN FROM RECORD INFORMATION KNOWN TO THE ENGINEER AND FIELD SURVEY OF ABOVE GRADE FEATURES. THESE PLANS ARE NOT MEANT TO BE A FULL CATALOG OF EXISTING SUBSURFACE CONDITIONS. CONDUCT FIELD INVESTIGATION TO VERIFY THE LOCATIONS AND ELEVATIONS OF EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES, WHETHER SHOWN ON PLANS OR NOT, PRIOR TO START OF EXCAVATION. IF DISCREPANCIES BETWEEN EXISTING CONDITIONS AND THESE PLANS ARE DISCOVERED, NOTIFY ENGINEER IMMEDIATELY AND REQUEST DISCREPANCY BE RESOLVED.
3. VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION AFFECTING UTILITIES. POthOLE WHERE NEEDED TO VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES.
4. CONTACT USA (UNDERGROUND SERVICES ALERT) AT 1-800-227-2600, AND AFFECTED UTILITY COMPANIES A MINIMUM OF 2 WORKING DAYS PRIOR TO STARTING WORK TO REQUEST UTILITIES BE MARKED.

III. DEMOLITION

1. REMOVE FROM SITE AND DISPOSE OF IN LAWFUL MANNER EXISTING STRUCTURES, UTILITIES, AND OTHER FEATURES NOT REMOVED DURING DEMOLITION OR ROUGH GRADING AND ENCOUNTERED DURING WORK ON SITE.
 - 1.A. REMOVE WOOD OR CONCRETE STRUCTURES, SLABS, FOOTINGS, GRADE BEAMS, DECKS, DOCKS, AND OTHER SIMILAR STRUCTURES.
 - 1.B. REMOVE LANDSCAPING, UTILITIES AND IRRIGATION LINES AS SPECIFIED BY GEOTECHNICAL ENGINEER.
 - 1.C. REMOVE ABANDONED IN-GROUND STRUCTURES, SUCH AS CULVERTS, UTILITY VAULTS, AND FOUNDATIONS AS SPECIFIED BY GEOTECHNICAL ENGINEER.

IV. DEWATERING

1. DEWATER AREAS COVERED WITH STANDING WATER PRIOR TO PLACEMENT OF FILL.
2. DISPOSE OF WATER FROM DEWATERING OPERATION IN CONFORMANCE WITH APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS.

V. UTILITIES

1. DO NOT OPERATE WATER VALVES OR OTHER WATER DISTRICT FACILITIES. REQUIRED OPERATION WILL BE PERFORMED BY UTILITY DISTRICT PERSONNEL ONLY. NOTIFY UTILITY DISTRICT 2 WORKING DAYS PRIOR TO REQUIRING FACILITY OPERATION.
2. PROVIDE MINIMUM 12 INCH VERTICAL CLEARANCE BETWEEN ADJACENT UTILITY PIPES AT UTILITY CROSSINGS UNLESS OTHERWISE NOTED.
3. COMPLETE ELECTRIC, GAS, TELEPHONE, CABLE AND OTHER JOINT TRENCH WORK IN CONFORMANCE WITH THE REQUIREMENTS OF THE RESPECTIVE UTILITY PROVIDER. NOTIFY UTILITY PROVIDER MINIMUM 2 WORKING DAYS PRIOR TO COMMENCING WORK. IF EXISTING WATER, SEWER, GAS OR OTHER UTILITY SERVICES ARE DISTURBED OR DAMAGED DURING CONSTRUCTION, NOTIFY UTILITY OWNER IMMEDIATELY.
4. PROTECT UTILITIES FROM DAMAGE CAUSED BY CONTRACTOR'S WORK.
5. PROVIDE UTILITY STRUCTURES IN PAVED AREAS SUITABLE FOR H-20 LOADING.
6. PIPE LENGTHS SHOWN ON PLANS ARE FOR ENGINEERING CALCULATIONS ONLY AND ARE NOT INTENDED AS BID QUANTITIES OR FOR ORDERING MATERIALS.
7. CONSTRUCT GRAVITY FLOW UTILITIES FROM DOWNSTREAM CONNECTION POINT TO UPSTREAM TERMINUS.
8. COORDINATE WITH COUNTY OF SAN MATEO AND CRYSTAL SPRINGS SANITATION DISTRICT FOR INSPECTION OF WORK ON DISTRICT FACILITIES.
9. ALL WATER LATERALS AND SERVICES SHALL BE INSTALLED TO THE STANDARDS OF THE CALIFORNIA WATER SERVICE COMPANY. EXISTING WATER MAINS OR LATERALS DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AND TESTED TO THE SATISFACTION OF THE WATER COMPANY.

VI. EARTHWORK AND GRADING

1. OFF-SITE IMPORT FILL MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND THE REQUIREMENTS OF THE GEOTECHNICAL REPORT.
2. TOPSOIL, ROOTS, VEGETABLE MATTER, TRASH AND DEBRIS WILL NOT BE CONSIDERED ACCEPTABLE FILL MATERIAL.
3. REMOVE DEBRIS FROM AREAS OF EARTHWORK PRIOR TO PLACING FILL OR STARTING GRADING OPERATIONS.
4. PLACE AND COMPACT FILL MATERIAL AS RECOMMENDED IN GEOTECHNICAL REPORT. PLACE FILL MATERIAL IN MAXIMUM 8 INCH UNCOMPACTED THICKNESS. COMPACTION BY FLOODING, PONDING OR JETTING WILL NOT BE PERMITTED.
5. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES.

VII. RECORD DRAWINGS

1. KEEP ACCURATE RECORD OF THE FINAL LOCATION, ELEVATION AND DESCRIPTION OF WORK ON A COPY OF THE FINAL APPROVED CONSTRUCTION DOCUMENTS. NOTE THE LOCATIONS AND ELEVATIONS OF EXISTING IMPROVEMENTS ENCOUNTERED THAT VARY FROM THE LOCATIONS SHOWN ON THE IMPROVEMENT PLANS. PROVIDE COPY OF RECORD INFORMATION TO OWNER AT COMPLETION OF PROJECT AND WHEN REQUESTED.

VIII. STATEMENT OF RESPONSIBILITY

1. CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD BOTH DESIGN PROFESSIONAL AND THE COUNTY OF SAN MATEO HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF EITHER THE DESIGN PROFESSIONAL OR THE COUNTY OF SAN MATEO, RESPECTIVELY.

IX. UNAUTHORIZED CHANGES AND USES

1. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND REQUIRE WRITTEN APPROVAL OF THE COUNTY ENGINEER AND THE PREPARER OF THESE PLANS.

X. DRAWING LANGUAGE

1. NOTES AND CALLOUTS ON DRAWINGS MAY USE IMPERATIVE LANGUAGE. REQUIREMENTS EXPRESSED IMPERATIVELY ARE TO BE PERFORMED BY THE CONTRACTOR UNLESS NOTED OTHERWISE.

CONDITIONS OF APPROVAL NOTES

CONSTRUCTION NOTES

1. THE FIRST PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET TIER 1 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY. THE REMAINDER OF CONSTRUCTION EQUIPMENT (70 PERCENT), WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL BE REQUIRED TO USE EMULSIFIED FUELS.
2. THE SECOND PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET TIER 2 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY AND 50 PERCENT TO MEET TIER 1 EPA CERTIFICATION STANDARDS. THE REMAINING 20 PERCENT OF CONSTRUCTION EQUIPMENT, WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL USE EMULSIFIED FUELS.
3. FOR ALL LARGER VEHICLES, INCLUDING CEMENT MIXERS OR OTHER DEVICES THAT MUST BE DELIVERED BY LARGE TRUCKS, VEHICLES SHALL BE EQUIPPED WITH CARB LEVEL THREE VERIFIED CONTROL DEVICES.
4. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
5. COVER ALL TRUCKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRUCKS TO MAINTAIN AT LEAST TWO FEET OF FREEBOARD.
6. PAVE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
7. SWEEP DAILY (WITH WATER SWEEPERS) ALL PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
8. SWEEP PUBLIC STREETS ADJACENT TO CONSTRUCTION SITES DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THE STREETS.
9. HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR TEN DAYS OR MORE).
10. ENCLOSE, COVER, WATER TWICE DAILY, OR APPLY NON-TOXIC SOIL BINDERS TO EXPOSED STOCKPILES (DIRT, SAND, ETC.). LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MILES PER HOUR.
11. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MILES PER HOUR.
12. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SILT RUNOFF TO PUBLIC ROADWAYS.
13. REPLANT VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE.
14. INSTALL WHEEL WASHERS FOR ALL EXITING TRUCKS OR WASH OFF THE TIRES OR TRACKS OF ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE.
15. INSTALL WIND BREAKS AT THE WINDWARD SIDES OF THE CONSTRUCTION AREAS.
16. SUSPEND EXCAVATION AND GRADING ACTIVITIES WHEN WIND (AS INSTANTANEOUS GUSTS) EXCEEDS 25 MILES PER HOUR.

NOISE NOTES

1. EQUIPMENT AND TRUCKS USED FOR PROJECT GRADING AND CONSTRUCTION WOULD UTILIZE THE BEST AVAILABLE NOISE CONTROL TECHNIQUES (E.G., IMPROVED EXHAUST MUFFLERS, EQUIPMENT REDESIGN, USE OF INTAKE SILENCERS, DUCTS, ENGINE ENCLOSURES, AND ACOUSTICALLY-ATTENUATING SHIELDS OR SHROUDS) IN ORDER TO MINIMIZE CONSTRUCTION NOISE IMPACTS.
2. EQUIPMENT USED FOR PROJECT GRADING AND CONSTRUCTION WOULD BE HYDRAULICALLY OR ELECTRICALLY POWERED IMPACT TOOLS (E.G., JACK HAMMERS AND PAYEMENT BREAKERS) WHEREVER POSSIBLE TO AVOID NOISE ASSOCIATED WITH COMPRESSED AIR EXHAUST FROM PNEUMATICALLY-POWERED TOOLS. COMPRESSED AIR EXHAUST SILENCERS WOULD BE USED ON OTHER EQUIPMENT. OTHER QUIETER PROCEDURES WOULD BE USED SUCH AS DRILLING RATHER THAN IMPACT EQUIPMENT WHENEVER FEASIBLE.
3. THE GRADING AND CONSTRUCTION ACTIVITY WOULD BE KEPT TO THE HOURS OF 7:00 AM TO 7:00 PM, MONDAY THROUGH FRIDAY, SATURDAY HOURS (8:00 AM TO 5:00 PM) ARE PERMITTED UPON THE DISCRETION OF COUNTY APPROVAL BASED ON INPUT FROM NEARBY RESIDENTS AND BUSINESSES. SATURDAY CONSTRUCTION (8:00 AM TO 5:00 PM) WOULD BE ALLOWED ONCE THE BUILDINGS ARE FULLY ENCLOSED. NOISE GENERATING GRADING AND CONSTRUCTION ACTIVITIES SHALL NOT OCCUR AT ANY TIME ON SUNDAYS, THANKSGIVING AND CHRISTMAS.
4. RESIDENTIAL PROPERTY OWNERS WITHIN 200 FEET OF PLANNED CONSTRUCTION AREAS SHALL BE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING, PRIOR TO CONSTRUCTION. THE PROJECT SPONSOR SHALL DESIGNATE A "DISTURBANCE COORDINATOR" WHO SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE; THE COORDINATOR (WHO MAY BE AN EMPLOYEE OF THE DEVELOPER OR GENERAL CONTRACTOR) SHALL DETERMINE THE CAUSE OF THE COMPLAINT AND SHALL REQUIRE THAT REASONABLE MEASURES WARRANTED TO CORRECT THE PROBLEM BE IMPLEMENTED; A TELEPHONE NUMBER OF THE NOISE DISTURBANCE COORDINATOR SHALL BE CONSPICUOUSLY POSTED AT THE CONSTRUCTION SITE FENCE AND ON THE NOTIFICATION SENT TO NEIGHBORS ADJACENT TO THE SITE.

ASBESTOS NOTES

1. IF NATURALLY OCCURRING ASBESTOS IS IDENTIFIED AT THE SITE, A SITE HEALTH AND SAFETY (H&S) PLAN INCLUDING METHODS FOR CONTROL OF AIRBORNE DUST SHALL BE PREPARED. THIS PLAN SHALL BE REVIEWED AND APPROVED BY THE COUNTY OF SAN MATEO PRIOR TO GRADING IN AREAS UNDERLAIN BY SERPENTINE-BEARING SOILS OR BEDROCK AND NATURALLY OCCURRING ASBESTOS. THE H&S PLAN SHALL STRICTLY CONTROL DUST-GENERATING EXCAVATION AND COMPACTION OF MATERIAL CONTAINING NATURALLY OCCURRING ASBESTOS. THE PLAN SHALL ALSO IDENTIFY SITE-MONITORING ACTIVITIES DEEMED NECESSARY DURING CONSTRUCTION (E.G., AIR MONITORING). WORKER MONITORING SHALL ALSO BE PERFORMED AS APPROPRIATE. THE PLAN SHALL DEFINE PERSONAL PROTECTION METHODS TO BE USED BY CONSTRUCTION WORKERS. ALL WORKER PROTECTION AND MONITORING SHALL COMPLY WITH PROVISIONS OF THE MINING SAFETY AND HEALTH ADMINISTRATION (MSHA) GUIDELINES, CALIFORNIA DIVISION OF OCCUPATIONAL SAFETY AND HEALTH (DOSH), AND THE FEDERAL OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA).
2. IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE SITE, A SOIL MANAGEMENT PLAN SHALL BE DEVELOPED AND APPROVED BY THE COUNTY PLANNING DEPARTMENT TO PROVIDE DETAILED DESCRIPTIONS OF THE CONTROL AND DISPOSITION OF SOILS CONTAINING NATURALLY OCCURRING ASBESTOS. SERPENTINE MATERIAL PLACED AS FILL SHALL BE SUFFICIENTLY BURIED IN ORDER TO PREVENT EROSION BY WIND OR SURFACE WATER RUNOFF, OR EXPOSURE TO FUTURE HUMAN ACTIVITIES. SUCH AS GRADING. IF SUCH ASBESTOS IS FOUND ADDITIONALLY, THE BAAQMD SHALL BE NOTIFIED PRIOR TO THE START OF ANY EXCAVATION IN AREAS CONTAINING NATURALLY OCCURRING ASBESTOS.

GRADING NOTES

1. NO GRADING SHALL BE ALLOWED DURING THE WINTER SEASON (OCTOBER 15 TO APRIL 30) TO AVOID POTENTIAL SOIL EROSION UNLESS APPROVED. IN WRITING, BY THE COUNTY DEVELOPMENT DIRECTOR. THE PROPERTY OWNERS SHALL SUBMIT A LETTER TO THE CURRENT PLANNING SECTION, AT LEAST TWO WEEKS PRIOR TO COMMENCEMENT OF GRADING, STATING THE DATE WHEN GRADING WILL BEGIN.

TREE PROTECTION NOTES

1. THE APPLICANT SHALL ESTABLISH AND MAINTAIN TREE PROTECTION ZONES THROUGHOUT THE ENTIRE LENGTH OF THE PROJECT. TREE PROTECTION ZONES SHALL BE DELINEATED USING 4-FOOT TALL ORANGE PLASTIC FENCING SUPPORTED BY POLES POUNDED INTO THE GROUND, LOCATED AS CLOSE TO THE DRIPLINES AS POSSIBLE WHILE STILL ALLOWING ROOM FOR CONSTRUCTION/GRADING TO SAFELY CONTINUE. THE APPLICANT SHALL MAINTAIN TREE PROTECTION ZONES FREE OF EQUIPMENT AND MATERIALS STORAGE AND SHALL NOT CLEAN ANY EQUIPMENT WITHIN THESE AREAS. SHOULD ANY LARGE ROOTS OR LARGE MASSES OF ROOTS BE NOTICED, SUCH AS IN THIS CASE, THE APPLICANT SHALL BE ADVISED BY A CERTIFIED OR REGISTERED FORESTER PRIOR TO CUTTING. ANY ROOT CUTTING SHALL BE MONITORED BY AN ARBORIST OR FORESTER AND DOCUMENTED. ROOTS TO BE CUT SHOULD BE SEVERED CLEANLY WITH A SAW OR TOPPERS. NORMAL IRRIGATION SHALL BE MAINTAINED, BUT OAKS SHOULD NOT NEED SUMMER IRRIGATION. THE ABOVE INFORMATION SHALL BE ON-SITE AT ALL TIMES.

VEGETATION REMOVAL/REPLACEMENT NOTES

1. VEGETATION REMOVED IN AREAS OUTSIDE OF BUILDING FOOTPRINTS, DRIVEWAYS, AND CONSTRUCTION ACCESS AREAS SHALL BE REPLACED WITH DROUGHT-TOLERANT, NON-INVASIVE PLANTS, IMMEDIATELY AFTER GRADING IS COMPLETE IN THAT AREA. PRIOR TO THE ISSUANCE OF ANY BUILDING PERMITS, THE APPLICANT SHALL SUBMIT PHOTOGRAPHS DEMONSTRATING COMPLIANCE WITH THIS CONDITION TO THE CURRENT PLANNING SECTION, SUBJECT TO REVIEW AND APPROVAL BY THE COMMUNITY DEVELOPMENT DIRECTOR.
2. THE APPLICANT SHALL REPLACE ALL VEGETATION REMOVED IN ALL AREAS NOT COVERED BY CONSTRUCTION WITH DROUGHT-TOLERANT, NON-INVASIVE PLANTS, ONCE CONSTRUCTION IS COMPLETED. PRIOR TO THE CURRENT PLANNING SECTION'S FINAL APPROVAL OF ANY BUILDING PERMIT, THE APPLICANT SHALL SUBMIT PHOTOGRAPHS DEMONSTRATING COMPLIANCE WITH THIS CONDITION, SUBJECT TO REVIEW AND APPROVAL BY THE COMMUNITY DEVELOPMENT DIRECTOR.

DUST CONTROL NOTES

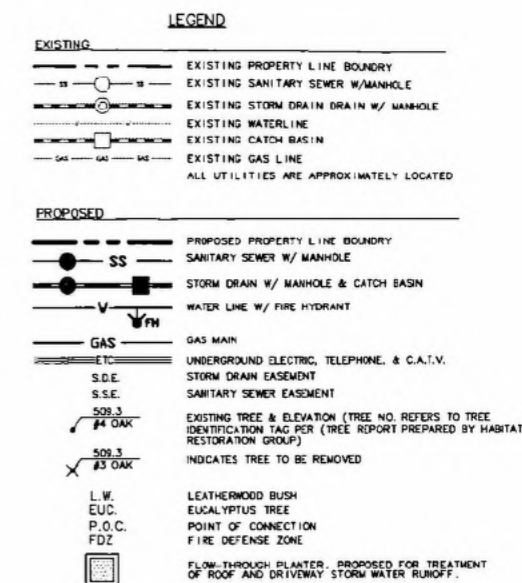
1. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WETTED, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PREVENT ANY SIGNIFICANT NUISANCE FROM DUST, OR SPLASH UPON ADJOINING WATER BODY, PROPERTY, OR STREETS. EQUIPMENT AND MATERIALS ON THE SITE SHALL BE USED IN SUCH A MANNER AS TO AVOID EXCESSIVE DUST. A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
2. A DUST PALLIATIVE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE COUNTY. THE TYPE AND RATE OF APPLICATION SHALL BE RECOMMENDED BY THE SOILS ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS, THE PLANNING AND BUILDING DEPARTMENT'S GEOTECHNICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.

DISCOVERY OF HUMAN REMAINS NOTE

1. THE APPLICANT AND CONTRACTORS MUST BE PREPARED TO CARRY OUT THE REQUIREMENTS OF CALIFORNIA STATE LAW WITH REGARD TO THE DISCOVERY OF HUMAN REMAINS DURING CONSTRUCTION, WHETHER HISTORIC OR PREHISTORIC. IN THE EVENT THAT ANY HUMAN REMAINS ARE ENCOUNTERED DURING SITE DISTURBANCE, ALL GROUND-DISTURBING WORK SHALL CEASE IMMEDIATELY AND THE COUNTY CORONER SHALL BE NOTIFIED IMMEDIATELY. IF THE CORONER DETERMINES THE REMAINS TO BE NATIVE AMERICAN, THE NATIVE AMERICAN HERITAGE COMMISSION SHALL BE CONTACTED WITHIN 24 HOURS. A QUALIFIED ARCHAEOLOGIST, IN CONSULTATION WITH THE NATIVE AMERICAN HERITAGE COMMISSION, SHALL RECOMMEND SUBSEQUENT MEASURES FOR DISPOSITION OF THE REMAINS.

GEOTECHNICAL INSPECTION NOTE

1. PRIOR TO ISSUANCE OF BUILDING PERMITS, THE PROJECT GEOTECHNICAL CONSULTANT SHALL FIELD INSPECT (AND INVESTIGATE AS NEEDED) ALL PROPOSED DRAINAGE DISCHARGE LOCATIONS AND VERIFY THAT PROPOSED DRAINAGE DESIGNS ARE ACCEPTABLE FROM A SLOPE STABILITY/EROSION PERSPECTIVE OR RECOMMEND APPROPRIATE MODIFICATIONS.



ABBREVIATIONS

AC	ASPHALTIC CONCRETE	LF	LENGTH
BEG	BEGINNING	L	LINEAR FEET
BL	BAY LAUREL	LI	LIP OF GUTTER
BLDG COR	BUILDING CORNER	LOC	NOT IN CONTRACT
BOT	BOTTOM	MG	OAK TREE
BOW	GRADE AT BOTTOM OF WALL	PD	PEPPER TREE
BW	BACK OF WALK	P	PLANNED DEVELOPMENT
CB	CATCH BASIN	PT	PINE TREE
CL	CENTERLINE	PUE	PUBLIC UTILITY EASEMENT
CLF	CHAIN LINK FENCE	PVC	POLYVINYL CHLORIDE PIPE
CMP	CORRUGATED METAL PIPE	RCP	REINFORCED CONCRETE PIPE
CONC	CONCRETE	RDW	REDWOOD TREE
COP	COPPER	RET WALL	RETAINING WALL
CU	CULVERT	ROW	RIGHT OF WAY
DI	DECOMPOSED GRANITE	RPB	REDUCED PRESSURE BACKFLOW
DG	DRAIN INLET	RWL	RAIN WATER LEADER
DW	DOMESTIC WATER	S	SLOPE
EG	EXISTING GRADE	SD	STORM DRAIN
EP	EDGE OF PAVEMENT	SDCB	STORM DRAIN CATCH BASIN
EUC	EUCALYPTUS TREE	SDCO	STORM DRAIN CLEANOUT
EX	EXISTING	SDDI	STORM DRAIN DROP INLET
EX (E)	FACE OF CURB	SDMH	STORM DRAIN MANHOLE
FF	FINISH FLOOR	SS	SANITARY SEWER
FG	FINISH GRADE	SSCO	SANITARY SEWER CLEAN OUT
FL	FLOW LINE	SSWH	SANITARY SEWER MANHOLE
FNC	FENCE	T	TREE
FTW	FLOW THROUGH PLANTER	TC	TOP OF CURB
FW	FIRE WATER	TOE	TOE OF SLOPE
GB	GRADE BREAK	TOP	TOP OF SLOPE
GF	GARAGE FINISH FLOOR	TYP	TOP OF WALL
GM	GAS METER	UB	UTILITY BOX
GND	GROUND SHOT	VC	VERTICAL CURVE
GR	GRATE	VCP	VITRIFIED CLAY PIPE
GRV	EDGE OF GRAVEL ROAD	W	WATER
GW	GUY WIRE	WM	WATER METER
INV	INVERT	WV	WATER VALVE
JP	JOINT POLE		

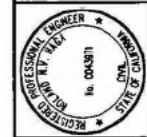
BENCHMARK:

THE PROJECT BENCHMARK IS THE TOP OF AN IRON PIPE, ELEVATION OF 538.23, LOCATED WITHIN A MONUMENT BOX AT THE INTERSECTION OF THE CENTERLINES OF COBBLEHILL PLACE AND NEW BRUNSWICK DRIVE IN SAN MATEO, CALIFORNIA. THE ELEVATION SHOWN IS BASED UPON A SURVEY BY BKF ENGINEERS IN MARCH OF 2011 AND IS BASED UPON AN ASSUMED ELEVATION.

BASIS OF BEARINGS:

THE BEARING NORTH 76° 09' 00" EAST OF THE CENTERLINE OF COBBLE HILL PLACE AS SHOWN ON TRACT MAP NO. 723, THE HIGHLANDS, RECORDED ON AUGUST 26TH, 1955, IN VOLUME 43 OF MAPS AT PAGES 23-25, SAN MATEO COUNTY RECORDS.

255 SHORELINE DRIVE, SUITE 200
REDWOOD CITY, CA 94065
PHONE: (650) 482-6300
FAX: (650) 482-6399



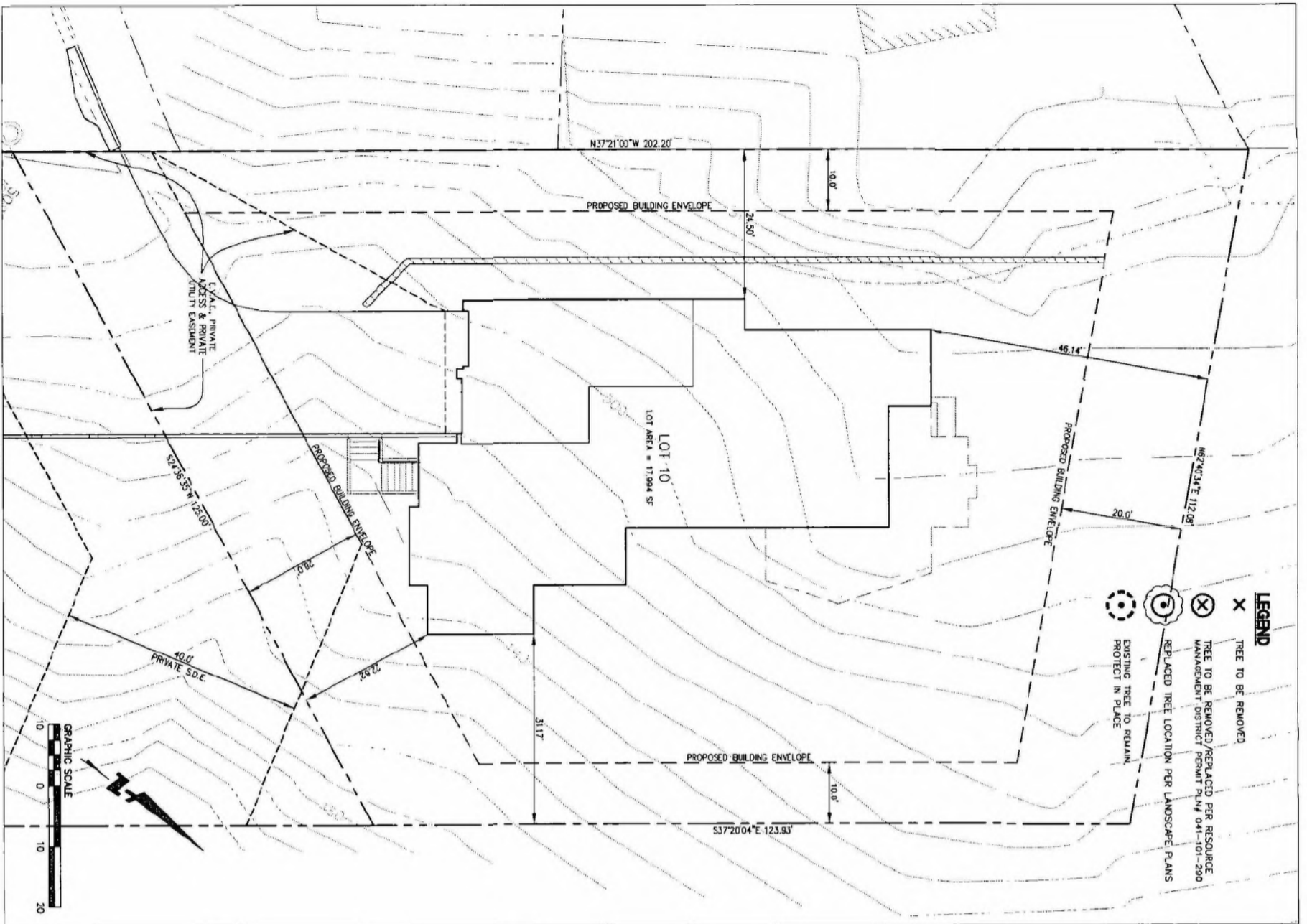
HIGHLAND ESTATES
LOT 10 IMPROVEMENT PLANS
GENERAL NOTES, LEGEND AND ABBREVIATIONS
 CITY OF SAN MATEO COUNTY, SAN MATEO COUNTY, CALIFORNIA

Date	11/29/2016	No.	
Scale	N/A		
Design	JT		
Drawn	LE		
Approved	RH		
Job No.	99088-20		
Sheet Number:	C10.20		
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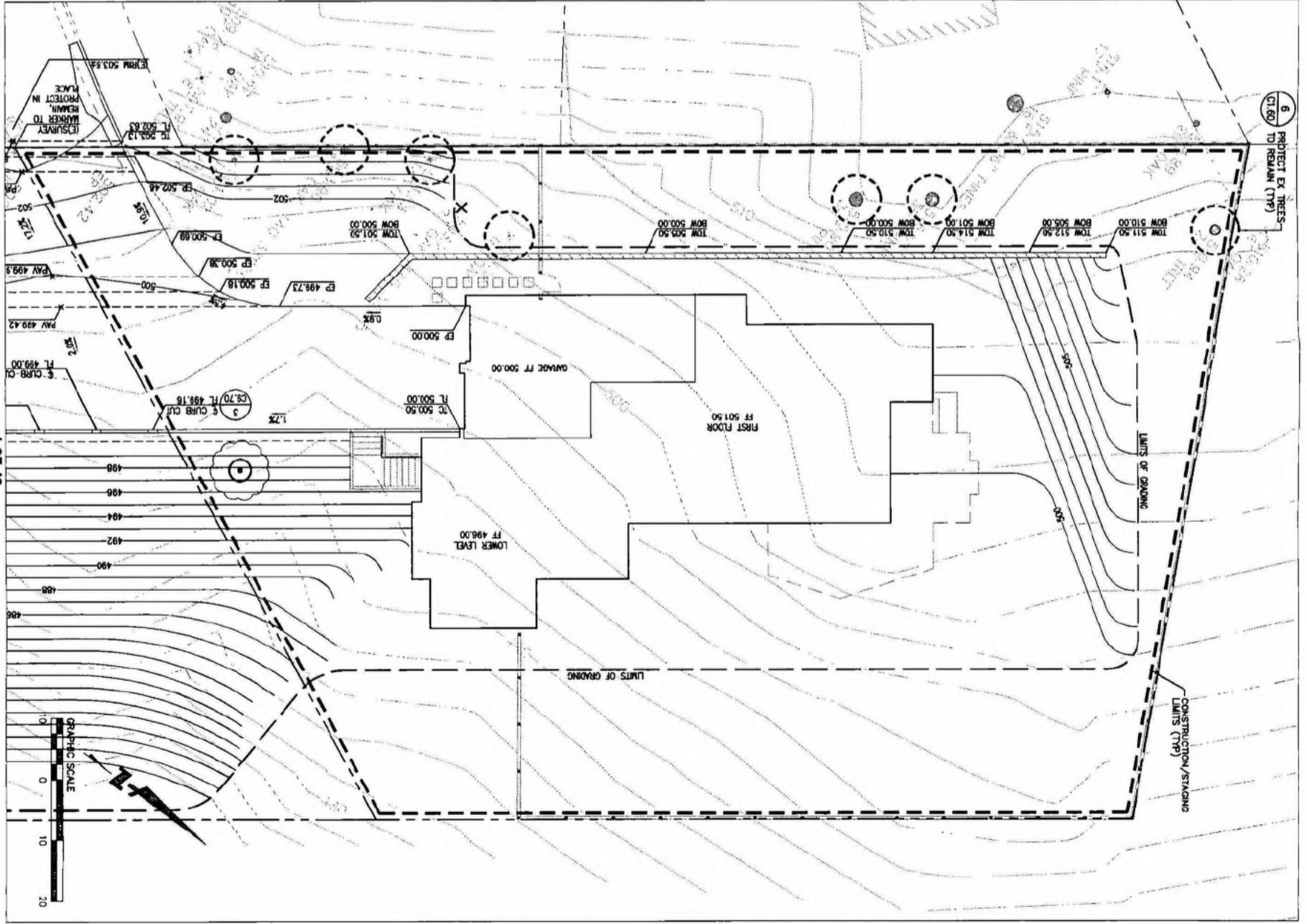


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PLOT DATE: 11-29-16

LOT 10
 SITE PLAN
 SCALE: 1"=10'



LOT 10
 CLEARING, CONSTRUCTION AND GRADING PLAN
 SCALE: 1"=10'



Date	No.	Revisions
11/29/2016		
Scale AS SHOWN		
Design JT		
Drawn LE		
Approved RH		
Job No 95096-20		

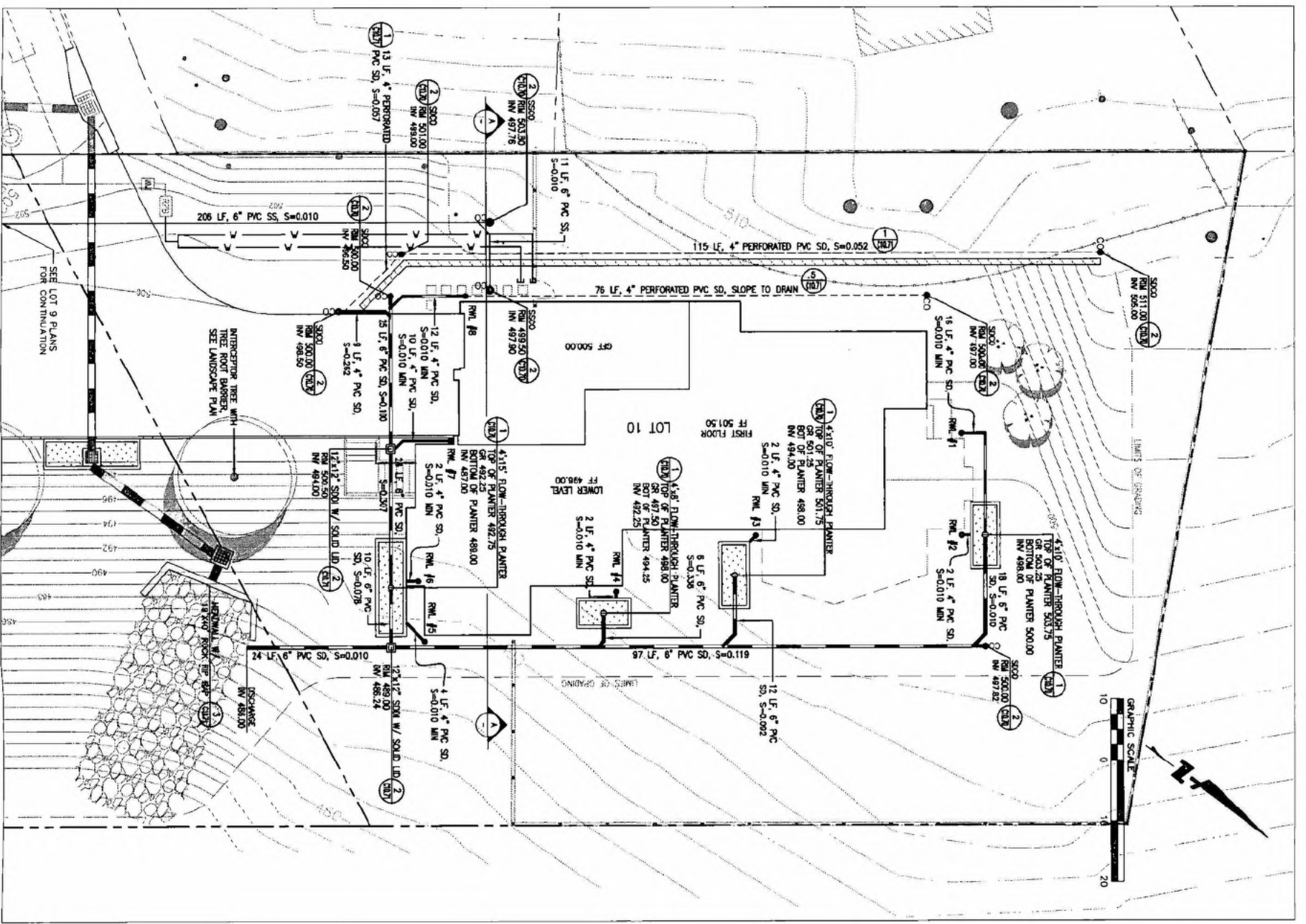
**HIGHLAND ESTATES
 LOT 10 IMPROVEMENT PLANS
 SITE & CLEARING, CONSTRUCTION AND GRADING PLANS**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

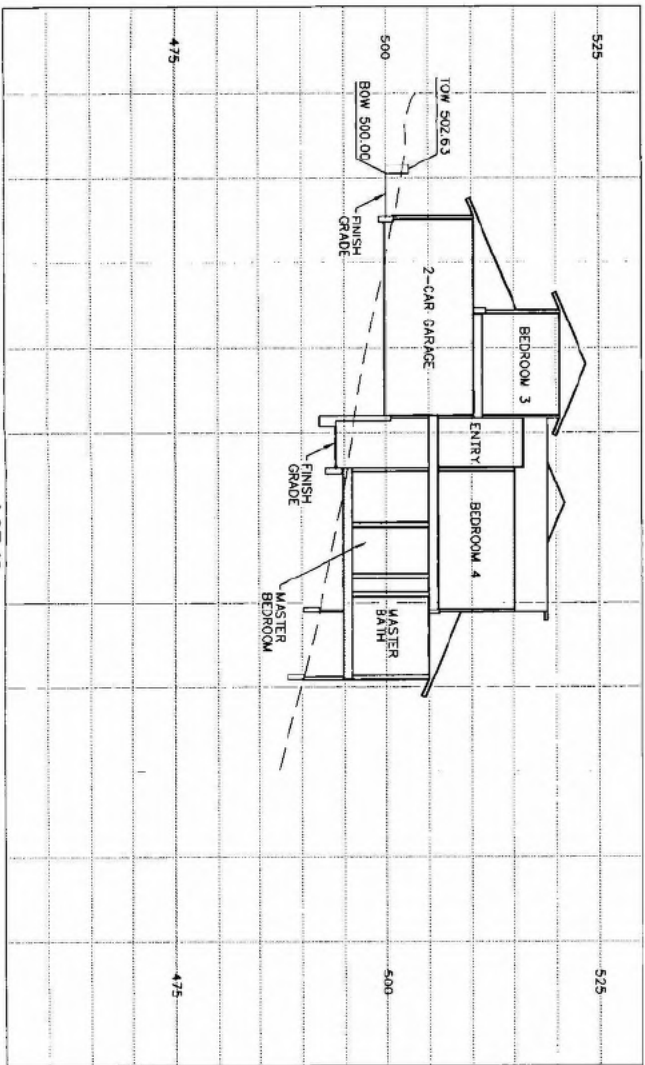


BKF
 ENGINEERS / SURVEYORS / PLANNERS

255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 482-6300
 FAX: (650) 482-6300



LOT 10
UTILITY PLAN
SCALE: 1"=10'



LOT 10
CROSS SECTION A-A
SCALE: 1"=10'

- NOTES:**
- PER THE GEOTECHNICAL REPORT, UNDOCUMENTED FILL WAS MAPPED AT LOT 10 AND IF THIS FILL IS TO BE LEFT IN PLACE DURING HOUSE AND DRIVEWAY GRADING, IT SHOULD BE REMOVED AND REPLACED AS PROPERLY COMPACTED ENGINEERED FILL.
 - PER THE GEOTECHNICAL REPORT, ALL EXISTING FILLS SHOULD BE COMPLETELY REMOVED FROM WITHIN PROPOSED HOUSE FOOTPRINT AND DRIVEWAY AREAS AND TO A LATERAL DISTANCE OF AT LEAST 2 FEET BEYOND THE EDGE OF THE IMPROVEMENTS. ANY EXCESS MATERIAL SHALL BE DISPOSED OF OFF-SITE IN A LAWFUL MANNER.
 - PER THE GEOTECHNICAL REPORT, ALL BUILDING AND RETAINING WALLS SHOULD BE SUPPORTED ON DRILLED PIERS. THE FOUNDATION SHOWN ON THIS PLAN ARE SCHEMATIC. REFER TO THE PROJECT STRUCTURAL PLANS FOR DETAILS ON THE DRILLED PIERS.

Date	No.	Revisions
11/29/2016		
Scale AS SHOWN		
Design JT		
Drawn LE		
Approved RH		
Job No 950188-20		

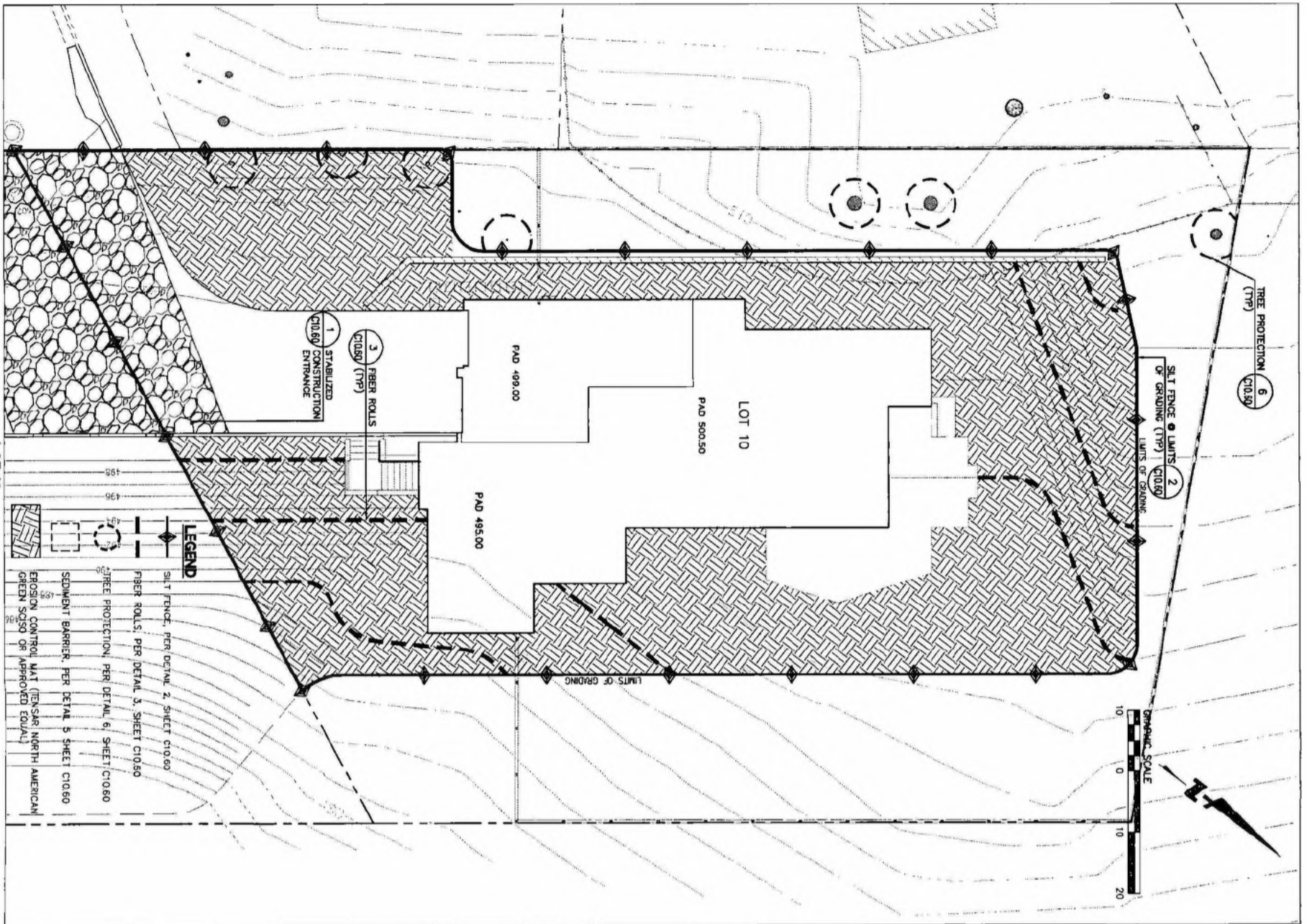
**HIGHLAND ESTATES
 LOT 10 IMPROVEMENT PLANS
 UTILITY PLAN AND CROSS SECTION**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

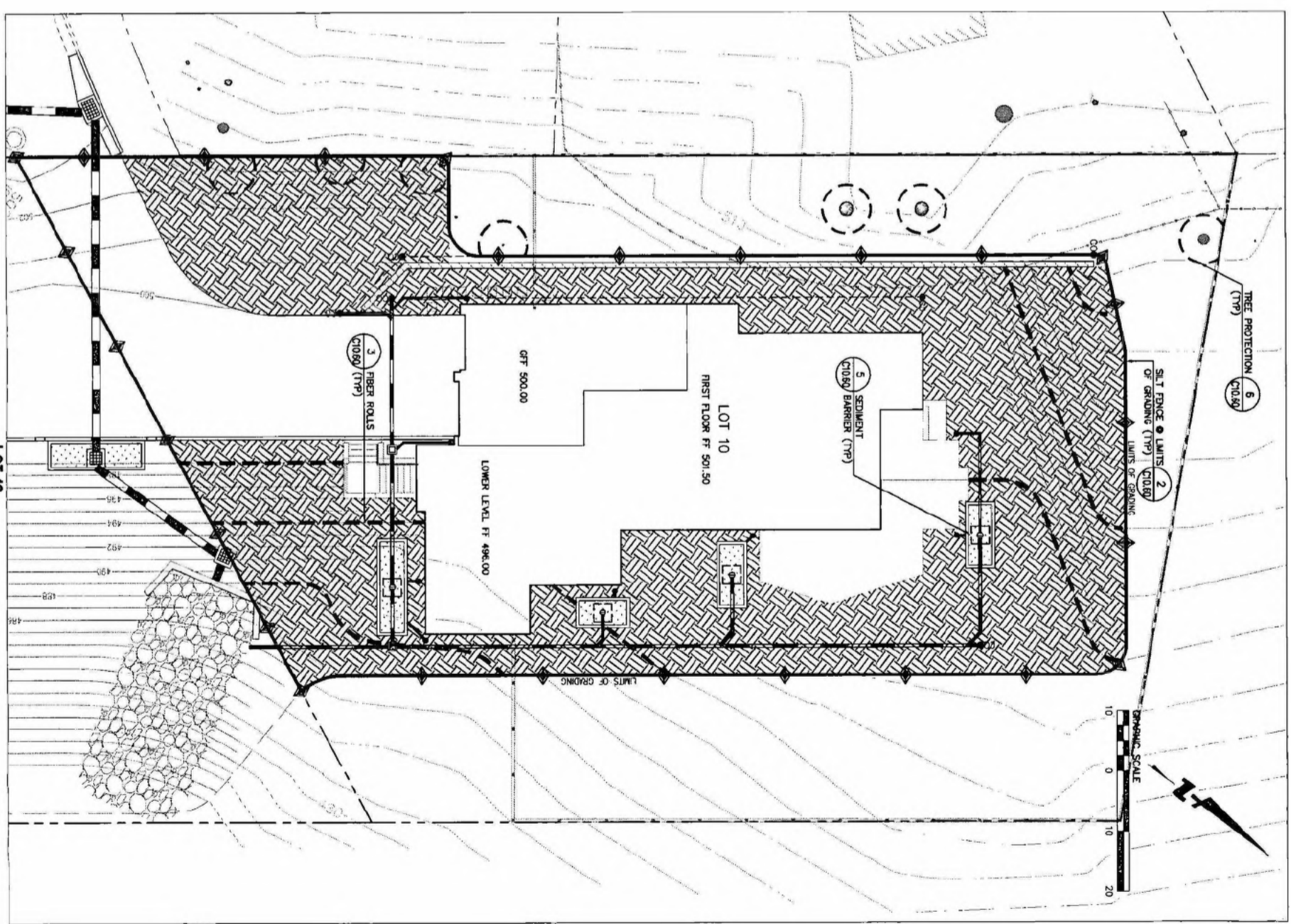


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 FAX: (650) 482-6399



LOT 10
 SCALE: 1"=10'
 GRADING AND RETAINING WALL EROSION CONTROL PLAN

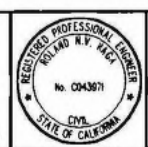


LOT 10
 SCALE: 1"=10'
 FOUNDATION AND CONSTRUCTION EROSION CONTROL PLAN

Date	No.	Revisions
11/29/2016		
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Design	JT	
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Approved	RH	
Job No	950168-20	

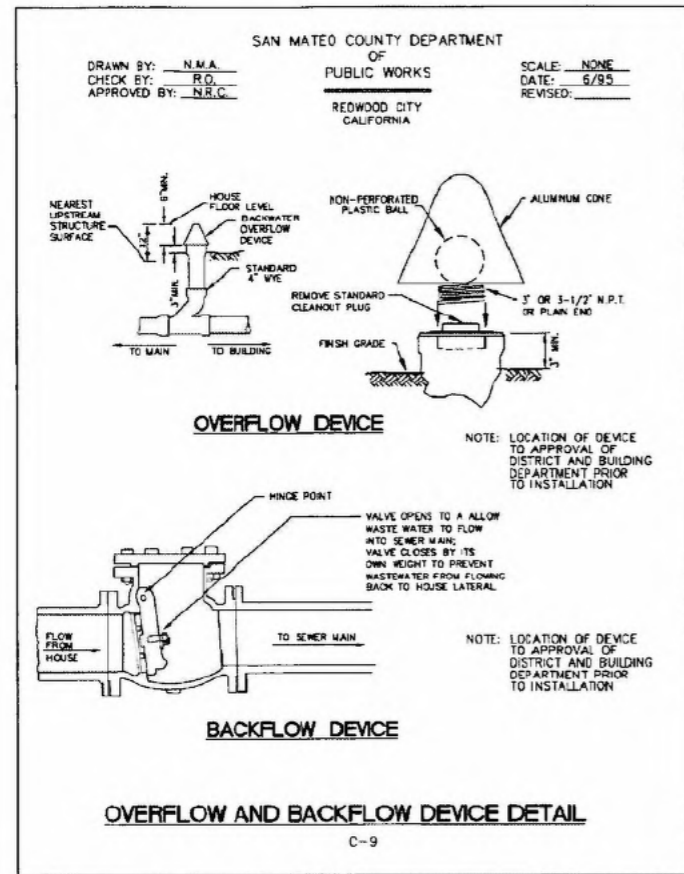
**HIGHLAND ESTATES
 LOT 10 IMPROVEMENT PLANS
 EROSION CONTROL PLANS**

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

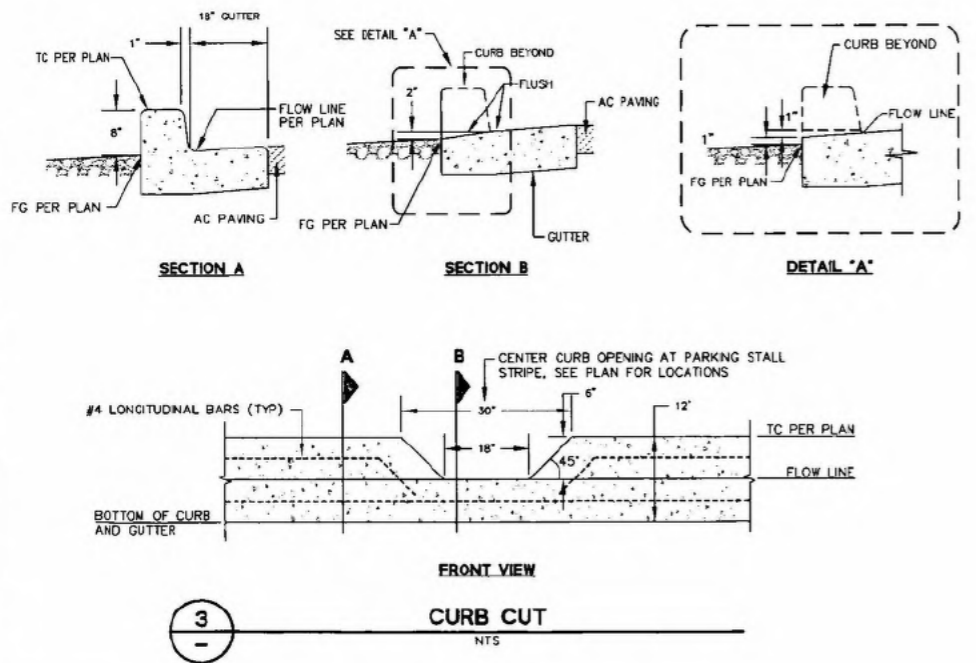


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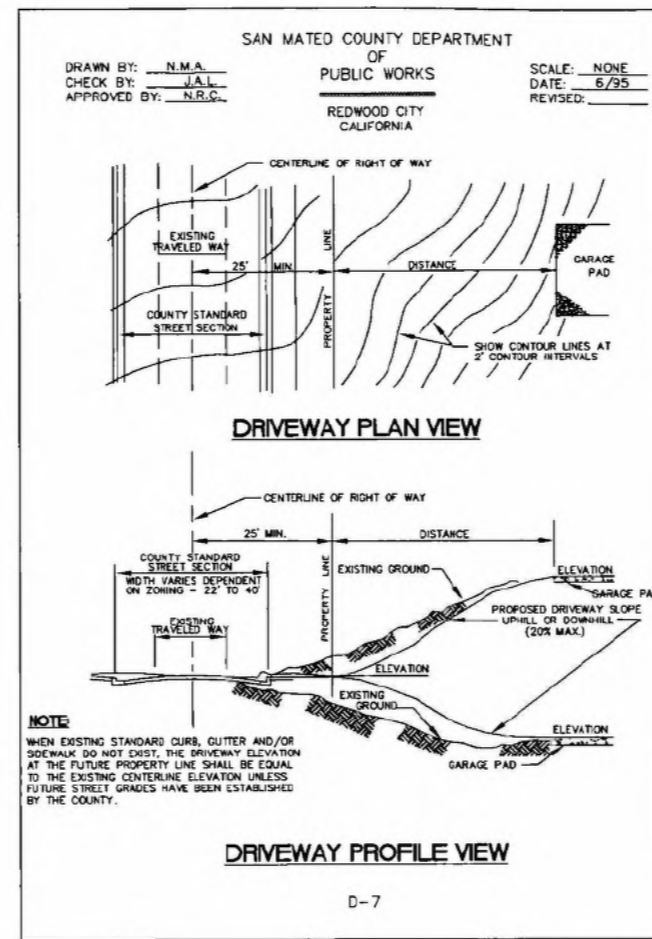
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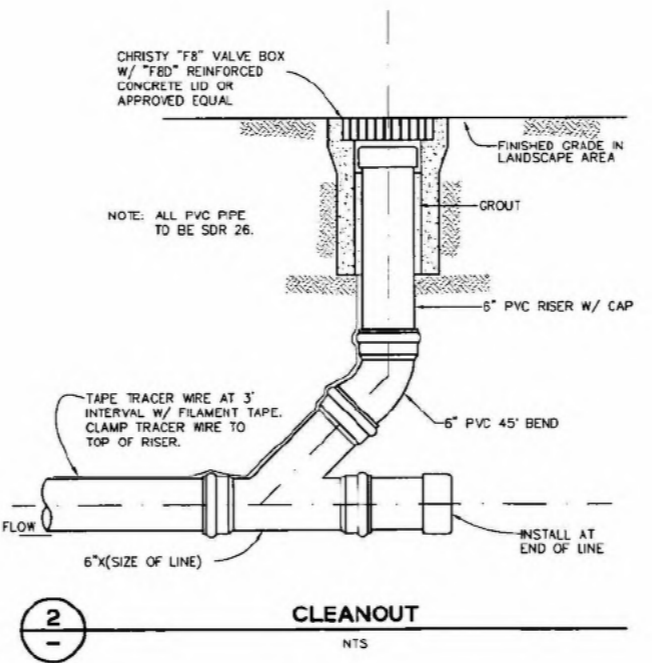
6 SAN MATEO COUNTY OVERFLOW AND BACKFLOW DEVICE DETAIL
NTS



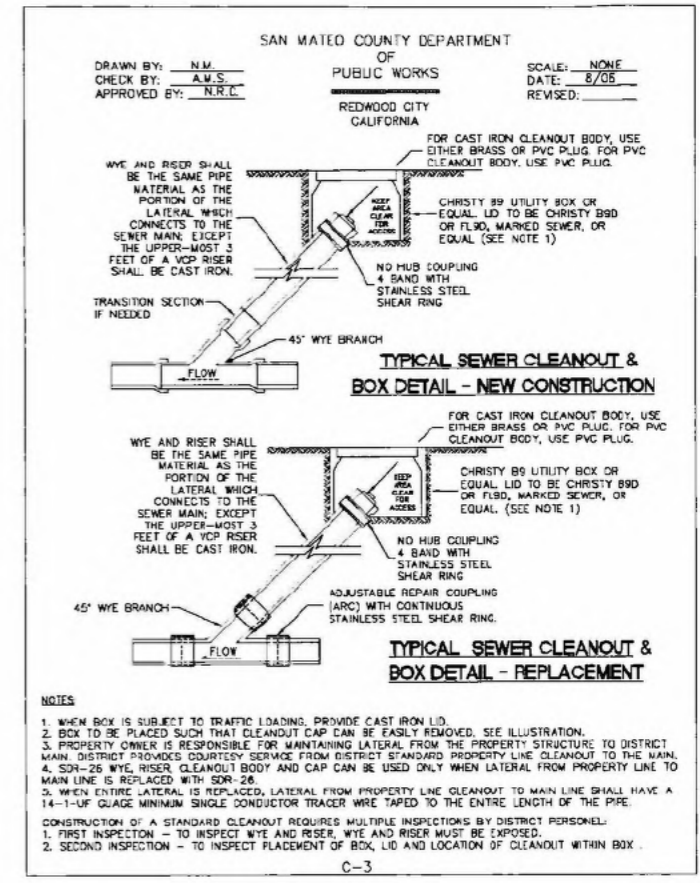
3 CURB CUT
NTS



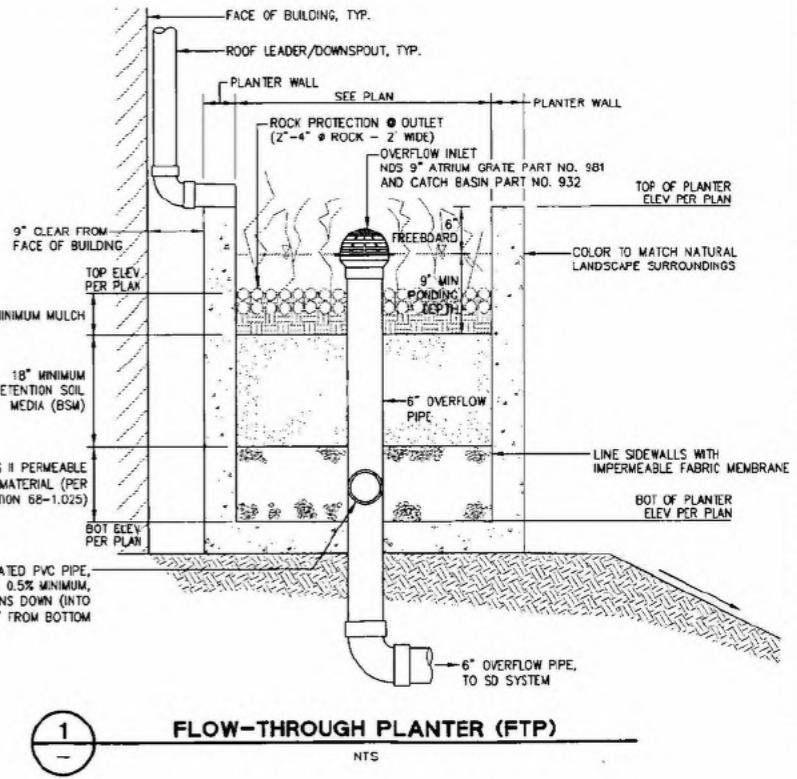
5 SAN MATEO COUNTY DRIVEWAY PLAN AND PROFILE VIEWS
NTS



2 CLEANOUT
NTS



4 TYPICAL SEWER CLEANOUT & BOX DETAIL
NTS



1 FLOW-THROUGH PLANTER (FTP)
NTS

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255 SHORELINE DRIVE, SUITE 200
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BKF
ENGINEERS / SURVEYORS / PLANNERS

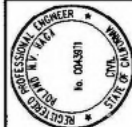
CITY OF SAN MATEO
SAN MATEO COUNTY
CALIFORNIA

**HIGHLAND ESTATES
LOT 10 IMPROVEMENT PLANS
CONSTRUCTION DETAILS**

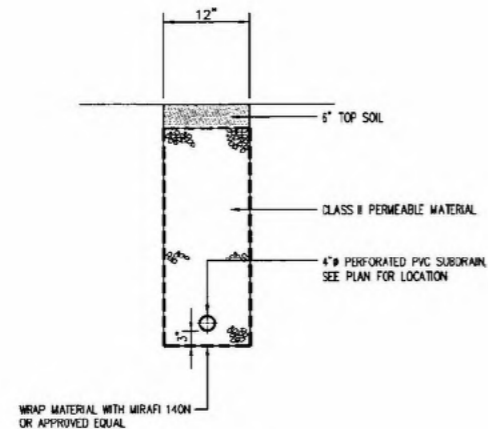
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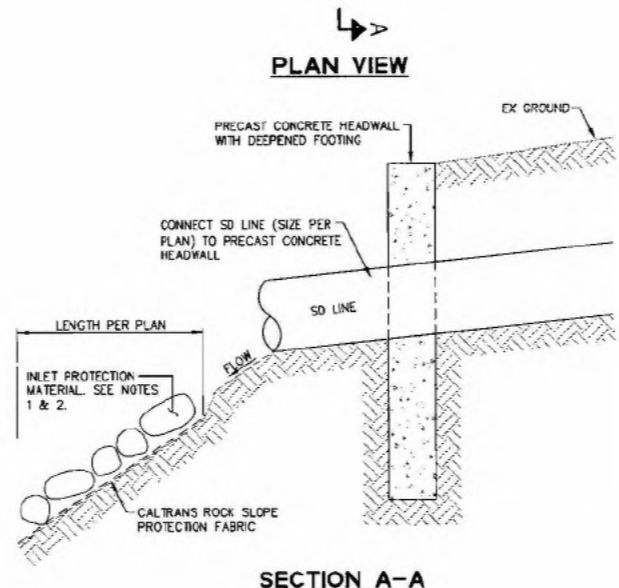
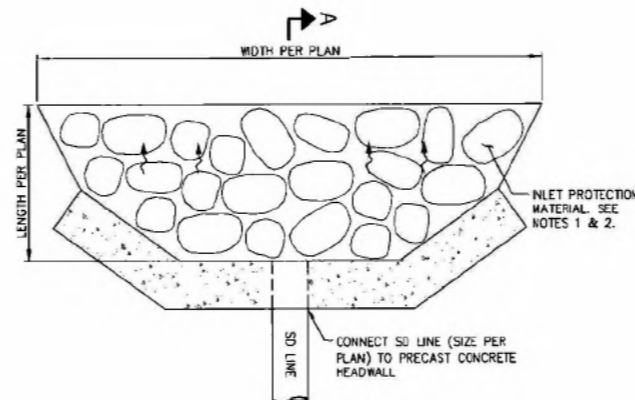
255 SHORELINE DRIVE, SUITE 200
 REDWOOD CITY, CA 94065
 PHONE: (650) 462-6300
 FAX: (650) 462-6399



CALIFORNIA
 HIGHLAND ESTATES
 LOT 10 IMPROVEMENT PLANS
 CONSTRUCTION DETAILS
 CITY OF SAN MATEO SAN MATEO COUNTY

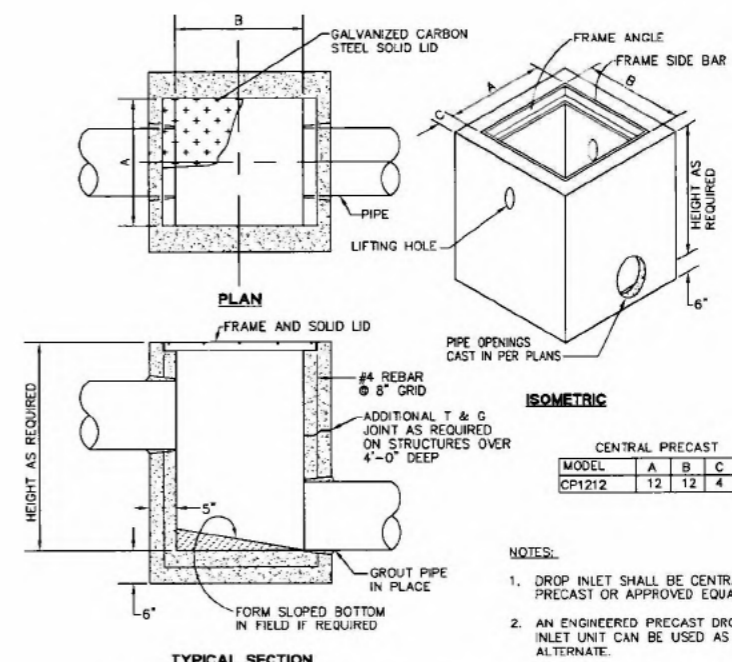


5
 SUBDRAIN
 NTS



- NOTES:**
1. AREA OF ROCK RIP-RAP OUTFALL/EROSION PROTECTION IN ACCORDANCE WITH FEDERAL HIGHWAY ADMINISTRATION (FHWA) HEC-14.
 2. OUTFALL PROTECTION MATERIAL:
 - CALTRANS ROCK SLOPE PROTECTION FABRIC WITH NO. 2 BACKING CONFORMING TO SECTION 72 OF THE CALTRANS STANDARD SPECIFICATIONS.
 - CALTRANS NO. 2 TO BE -8" SIZE ANGULAR ROCK (25 LBS. TYP.) BROWN TO DARK BROWN/BLACK IN COLOR.

3
 INLET PROTECTION
 NTS

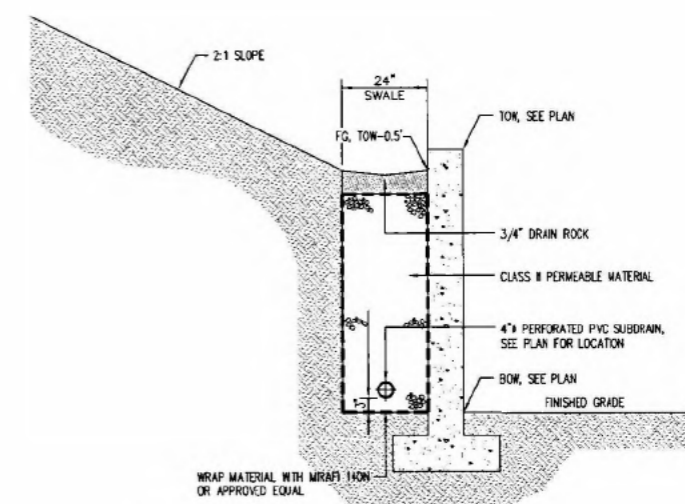


CENTRAL PRECAST

MODEL	A	B	C
CP1212	12	12	4

- NOTES:**
1. DROP INLET SHALL BE CENTRAL PRECAST OR APPROVED EQUAL.
 2. AN ENGINEERED PRECAST DROP INLET UNIT CAN BE USED AS AN ALTERNATE.

2
 DROP INLET
 NTS



1
 SUBDRAIN AT WALL
 NTS

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 REDWOOD CITY CALIFORNIA

DRAWN BY: M.L.
 CHECK BY: D.M.W.
 APPROVED BY: N.R.C.

SCALE: NONE
 DATE: 6/95
 REVISED: 7/97

TYPE A (IN ROADWAY)

TYPE B (OUTSIDE ROADWAY)

NOTES:

1. SAND... MATERIAL FREE FROM ORGANIC MATTER AND CLAY WITH A SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
No. 4	100
No. 200	0-5
2. STRUCTURE BACKFILL MATERIAL... MATERIAL WITH SAND EQUIVALENT NOT LESS THAN 20 AND SIEVE GRADATION BY WEIGHT AS FOLLOWS:

SIEVE SIZE	% PASSING SIEVE
3"	100
No. 4	35-100
No. 30	20-100
3. BACKFILL MATERIAL... MATERIAL FROM EXCAVATION FREE FROM STONES OR LUMPS EXCEEDING 3 INCHES GREATEST DIMENSION, ORGANIC MATTER, OR OTHER UNSATISFACTORY MATERIAL.

STANDARD TRENCH BACKFILL AND BEDDING DETAIL

W-10

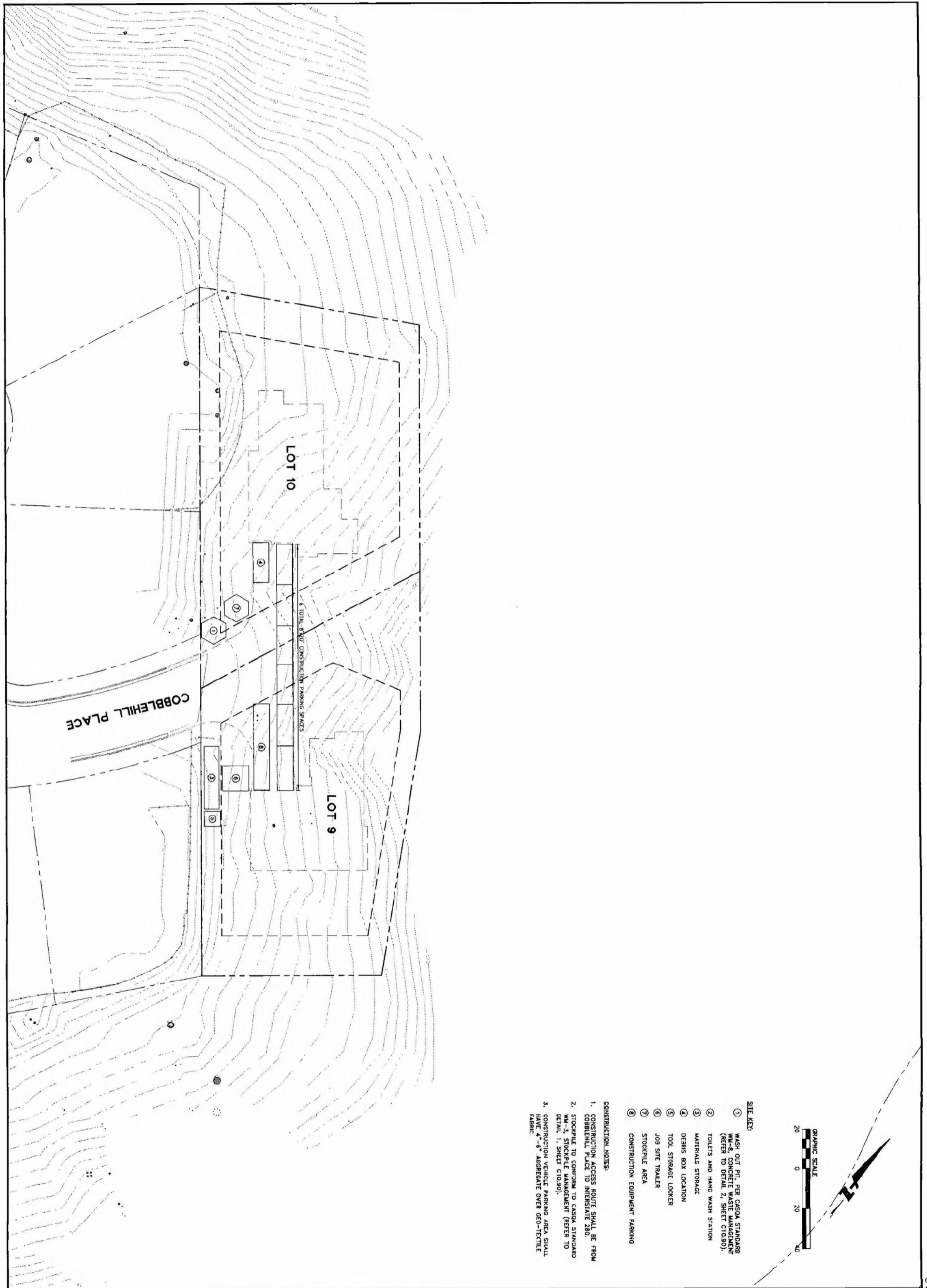
4
 STANDARD TRENCH BACKFILL & BEDDING DETAIL
 NTS

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 PLOT DATE: 12-02-16
 PLOTTED BY: Tang

Revisions	
No.	Description

Date: 11/29/2016
 Scale: AS SHOWN
 Design: JT
 Drawn: LE
 Approved: RH
 Job No: 950188-20

Sheet Number:
C10.71
 OF



SITE KEY:

- ① WASH OUT PIT, PER CASQA STANDARD WM-8, CONCRETE WASTE MANAGEMENT (REFER TO DETAIL 2, SHEET C10.90).
- ② TOILETS AND HAND WASH STATION
- ③ MATERIALS STORAGE
- ④ DEBRIS BOX LOCATION
- ⑤ TOOL STORAGE LOCKER
- ⑥ JOB SITE TRAILER
- ⑦ STOCKPILE AREA
- ⑧ CONSTRUCTION EQUIPMENT PARKING

CONSTRUCTION NOTES:

1. CONSTRUCTION ACCESS ROUTE SHALL BE FROM COBBLEHILL PLACE TO INTERSTATE 280.
2. STOCKPILE TO CONFORM TO CASQA STANDARD WM-3, STOCKPILE MANAGEMENT (REFER TO DETAIL 1, SHEET C10.90).
3. CONSTRUCTION VEHICLE PARKING AREA SHALL HAVE 4'-6" AGGREGATE OVER GEO-TEXTILE FABRIC.



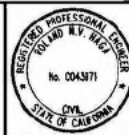
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11/29/2016		
Scale	1"=20'	
Design	JT	
Drawn	LE	
Approved	RH	
Job No	950168-29	

**HIGHLAND ESTATES
 LOT 10 IMPROVEMENT PLANS
 LOGISTICS PLAN**

CITY OF SAN MATEO

SAN MATEO COUNTY

CALIFORNIA



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C10.80
 OF

245 SHORELINE DRIVE, SUITE 200
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FAX: (650) 482-6399

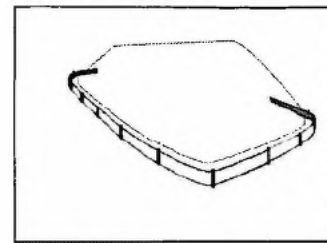


CALIFORNIA

HIGHLAND ESTATES
LOT 10 IMPROVEMENT PLANS
CASQA STANDARD DETAILS
CITY OF SAN MATEO
SAN MATEO COUNTY

Date	11/29/2016	No.	
Scale	AS SHOWN	Revisions	
Design	JT		
Drawn	LE		
Approved	RH		
Job No.	9808-20		
Sheet Number:			
C10.90			
OF			

Stockpile Management WM-3



Description and Purpose
Stockpile management procedures and practices are designed to reduce or eliminate air and stormwater pollution from stockpiles of soil, soil amendments, sand, paving materials such as portland cement concrete (PCC) rubble, asphalt concrete (AC), asphalt concrete rubble, aggregate base, aggregate sub base or pre-cast aggregate, asphalt binder (so-called "cold mix" asphalt), and pressure treated wood.

Suitable Applications
Implement in all projects that stockpile soil and other loose materials.

- Limitations**
- Plastic sheeting as a stockpile protection is temporary and hard to manage in windy conditions. Where plastic is used, consider use of plastic tarps with nylon reinforcement which may be more durable than standard sheeting.
 - Plastic sheeting can increase runoff volume due to lack of infiltration and potentially cause perimeter control failure.
 - Plastic sheeting breaks down faster in sunlight.
 - The use of plastic materials should be avoided when feasible and photodegradable plastic should not be used.

Implementation
Protection of stockpiles is a year-round requirement. To properly manage stockpiles:

Categories

EC	Erosion Control	
SC	Sediment Control	<input checked="" type="checkbox"/>
TC	Trapping Control	
WE	Wind Erosion Control	
WM	Waste Management and Stormwater Management Control	<input checked="" type="checkbox"/>
WM	Waste Management and Stormwater Pollution Control	<input checked="" type="checkbox"/>

Legend:

- Primary Category
- Secondary Category

Targeted Constituents

Arsenic	<input checked="" type="checkbox"/>
Barium	<input checked="" type="checkbox"/>
Cadmium	<input checked="" type="checkbox"/>
Chromium	<input checked="" type="checkbox"/>
Copper	<input checked="" type="checkbox"/>
Lead	<input checked="" type="checkbox"/>
Nickel	<input checked="" type="checkbox"/>
Selenium	<input checked="" type="checkbox"/>
Zinc	<input checked="" type="checkbox"/>

Potential Alternatives
None



January 2011
Construction
www.casqa.org

Stockpile Management WM-3

- On large sites, a minimum of 50 ft separation from concentrated flows of stormwater, drainage courses, and inlets is recommended.
- All stockpiles are required to be protected immediately if they are not scheduled to be used within 14 days.
- Protect all stockpiles from stormwater run-on using temporary perimeter sediment barriers such as silt fence (SE-1), temporary silt dikes (SE-12), filter rolls (SE-13), silt fences (SE-14), sandbags (SE-8), gravel bags (SE-9) or siltfilter bags (SE-14). Refer to the individual fact sheet for each of these controls for installation information.
- Implement wind erosion control practices as appropriate on all stockpiled material. For specific information, see WE-1, Wind Erosion Control.
- Manage stockpiles of contaminated soil in accordance with WM-7, Contaminated Soil Management.
- Place bagged materials on pallets and under cover.
- Ensure that stockpile coverings are installed securely to protect from wind and rain.
- Some plastic covers withstand weather and sunlight better than others. Select cover materials or methods based on anticipated duration of use.

Protection of Non-Active Stockpiles
Non-active stockpiles of the identified materials should be protected further as follows:

- Soil stockpiles**
- Cover and protect soil stockpiles with soil stabilization measures and a temporary perimeter sediment barrier at all times.
 - Consider temporary vegetation for topsoil piles that will be stockpiled for extended periods.
- Stockpiles of Portland cement concrete rubble, asphalt concrete, asphalt concrete rubble, aggregate base, or aggregate sub base**
- Provide covers and protect these stockpiles with a temporary perimeter sediment barrier at all times.
- Stockpiles of "cold mix"**
- Cover cold mix stockpiles and place them on plastic sheeting (or comparable material) and surround the stockpiles with a berm all times.
- Stockpiles of fly ash, stucco, hydrated lime**
- Cover stockpiles of materials that may raise the pH of runoff (i.e., basic materials) with plastic and surround the stockpiles with a berm at all times.

January 2011
Construction
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WM-3 - STOCKPILE MANAGEMENT

NTS

Stockpile Management WM-3

Stockpiles/Storage of wood (Pressure treated with chromated copper arsenate or ammineal copper zinc arsenate)

- Cover treated wood with plastic sheeting (or comparable material) and surround with a berm at all times.

Protection of Active Stockpiles
Active stockpiles of the identified materials should be protected as follows:

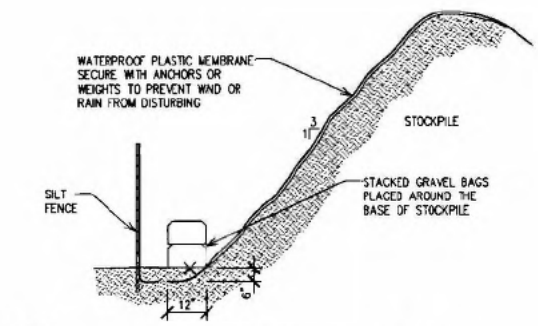
- All stockpiles should be covered and protected with a temporary linear sediment barrier prior to the onset of precipitation.
- Stockpiles of "cold mix" and treated wood, and basic materials should be placed on and covered with plastic sheeting or comparable material and surrounded by a berm prior to the onset of precipitation.
- The downstream perimeter of an active stockpile should be protected with a linear sediment barrier or berm and runoff should be diverted around or away from the stockpile on the upstream perimeter.

Costs
For cost information associated with stockpile protection refer to the individual erosion or sediment control BMP fact sheet considered for implementation (For example, refer to SE-1 Silt Fence for installation of silt fence around the perimeter of a stockpile.)

- Inspection and Maintenance**
- Stockpiles must be inspected in accordance with General Erosion requirements for the associated project type and risk level. It is recommended that at a minimum, BMPs be inspected weekly, prior to forecasted rain events, daily during extended rain events, and after the conclusion of rain events.
 - It may be necessary to inspect stockpiles covered with plastic sheeting more frequently during certain conditions (for example, high winds or extreme heat).
 - Repair and/or replace perimeter controls and covers as needed to keep them functioning properly.
 - Sediment shall be removed when it reaches one third of the barrier height.

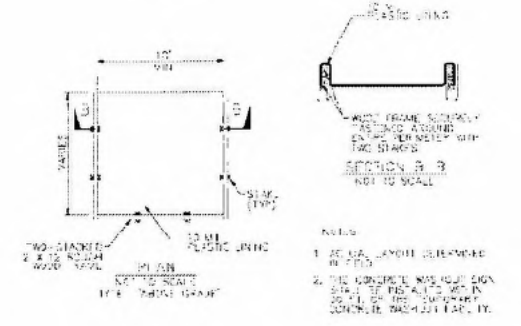
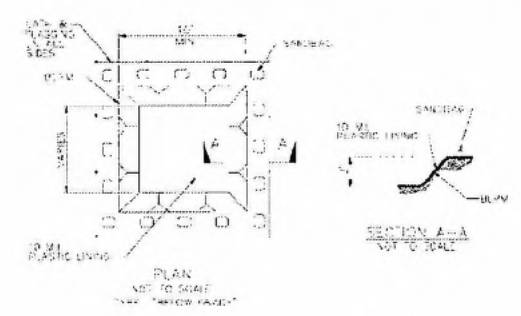
References
Stormwater Quality Handbook - Construction Site Best Management Practices (BMPs) Manual, State of California Department of Transportation (Caltrans), March 2003.

January 2011
Construction
www.casqa.org



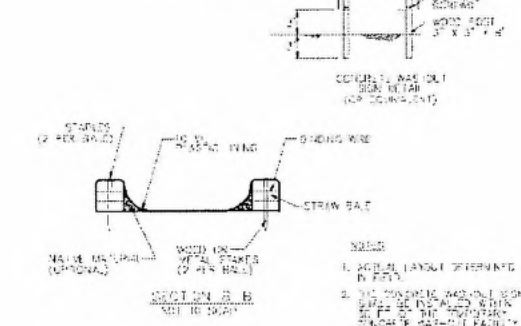
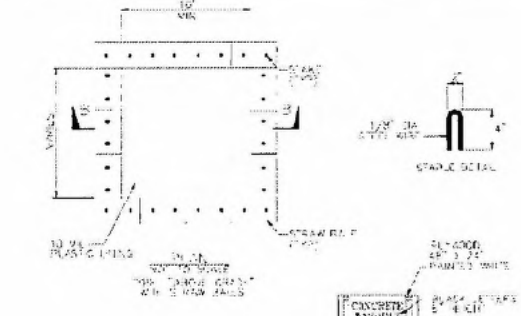
1 STOCKPILE COVERING
(PER CASQA STANDARD WM-3, STOCKPILE MANAGEMENT, SEE LEFT) NTS

Concrete Waste Management WM-8



November 2009
California Stormwater BMP Handbook
Construction
www.casqa.org

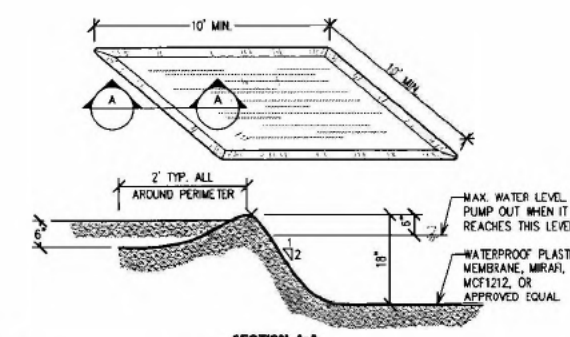
Concrete Waste Management WM-8



November 2009
California Stormwater BMP Handbook
Construction
www.casqa.org

WM-8 - CONCRETE WASTE MANAGEMENT

NTS



2 TEMPORARY WASHOUT PIT
(PER CASQA STANDARD WM-8, CONCRETE WASTE MANAGEMENT, SEE LEFT) NTS

DRAWING NAME: K:\eng\95\950108\08\CD\LOT10\C10.90-RECDEC.dwg
PLOT DATE: 11-29-16
PLOTTED BY: Trd



ENGINEERS · SURVEYORS · PLANNERS

255 Shoreline Drive, Suite 200
Redwood City, CA 94065
(650) 482-6300, Fax (650) 482-6399

TRANSMITTAL

Date: April 28, 2016

BKF No.: 19950168-20

To: Camille M. Leung
Planning and Building Department
455 County Center, Second Floor
Redwood City, CA 94063

Copies To: Jack Chamberlain
(Transmittal + 1/2 size)

From: Roland Haga, PE, PLS, LEED® AP
Vice President

Subject: Highland Estates, San Mateo County
Street Improvement Plans for Lots 5 through 11

We Are Sending You Attached
 Under separate cover

Via **Hand Deliver**

The Following Items:

- Photocopies Prints Plan originals Report Proposal
- Specifications Shop drawings Change order Other: Response Letter

Copies	Date	No.	Description
5	4/27/2016	-	Full Size Highland Estates Street Improvement Plans for Lots 5 through 11 folded to 9"x12" size.
5	4/27/2016	-	Response Letter to Offsite County Comments.
2	4/27/2016	-	Street Improvement Lots 5-11 Cost Estimate.
1	4/27/2016	-	Draft Covenant for Sewage Ejector Pump System for Lot 11.

These Are Transmitted As Checked Below:

- For signature For review and comment No exception taken
- For approval Returned after loan to us Returned for resubmittal
- For your use Response to proposal request With corrections noted
- As requested Other

Remarks:

The above submittal, delivered by Jack Chamberlain, is submitted for plan check. If you have any questions or comments, feel free to contact me at (650) 482-6407.

Thanks,

Roland Haga



**ENGINEERS
SURVEYORS
PLANNERS**

April 27, 2016

County of San Mateo
Department of Public Works/Building & Planning
555 County Center, 5th Floor
Redwood City, CA 94063

Subject: Sewer Review, Highland Estates, Lots 5 thru 11, San Mateo, 1st Submittal
BKF Response to County Plan Review Comments

Dear Camille Leung, Diana Chu, Julie Young, and Benjamin Vazquez:

We have received Plan Check Review Comments, dated March 23, 2016, for the Highland Estates Lots 5-11 Offsite Plans and have made the necessary clarifications and revisions to the plans based on comments received. BKF has prepared responses, indicated in **bold** text, specific to the comments in the review letter:

- A. *All manholes shown on the plans must be labeled with the Sewer District manhole numbers. Attached is a copy of the map with information on the Sewer District's facilities within the project area.*

All sanitary sewer manholes shown on the plans have been labelled with the Sewer District manhole numbers. See revised Sheets C3.00 thru C3.20.

- B. *Our records indicate that the sewer mains within the project limits are all 6" VCP except the section that Lots 7 and 8 are connected to, which is 6" HDPE. The applicant must verify the existing sewer main size and material.*

Sewer main size and material have been verified and relabeled. See revised Sheets C3.00 thru C3.20.

- C. *The property line cleanout must be placed in a location that provides easy access for maintenance equipment and is outside of any enclosures. A minimum of 6' is required between the property line cleanout and structure. This note shall be added to the plans.*

Cleanouts have been placed in easy access locations for maintenance, outside of any enclosures, and minimum of 6' between property line cleanout and structure. Note has been added to Sheet C2.00. See Note 14 of Section V, Utilities.

- D. *The proposed sidewalk shall not be installed over the existing Sewer District main. The sidewalk shall be re-aligned to meet this requirement.*

We have redesigned the sidewalk for Lot 8 to include a new retaining wall to separate the grades for sidewalk and on-site. See revised Sheet C3.00 for redesigned sidewalk. See Detail 7, Sheet C6.40 for the retaining wall detail. We have contacted Dale Forbes at ESI Structural Engineers, the Project Structural Engineer for the site retaining walls and home. ESI will provide design and calculations associated with this retaining wall. Design and calculations will be submitted in a separate cover.

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- E. *The property line cleanouts for Lots 5 thru 8 shall be placed in the sidewalk.*

Sewer cleanouts for Lots 5 thru 8 have been revised to be placed in the sidewalk. See revised Sheet C3.00.

- F. *The size of sewer laterals for Lots 5 thru 8 shall be 4".*

The size of sewer laterals for Lots 5 thru 8 have been revised to be 4". See revised Sheet C3.00.

- G. *The new laterals for Lots 7 and 8 shall be connected to the HDPE main through fused on HDPE wye connections or branch saddles and installed in accordance with the manufacturer's written instructions. The lateral connection shall be watertight and shall have the same structural integrity as the existing HDPE main. A note indicating these requirements shall be added to the plans.*

Note have been added to plans. See Note 1 in revised Sheet C3.00.

- H. *A 4" minimum Sewer District standard cleanout is required at the property line or on private property within 5' of the property line. The size, material, rim, and invert elevation of the cleanout must be shown on the plans for Lots 9 and 10.*

A Sewer District standard cleanout has been added within 5' of Lots 9 and 10 property line. See revised Sheet C3.10.

- I. *The plans must show the location of the proposed sewer lateral, cleanout, the connection point to the Sewer District main, and all relevant sewer lateral information including the size, material, length, slope, and invert elevations for Lots 9 and 10. This information will be used by the Sewer District to verify whether the sewer lateral meets the Sewer District standard. The sewer lateral between the property line cleanout and the sewer main shall be 4" minimum.*

All relevant proposed information for sewer main, laterals, and connections have been noted on the plans. Refer to revised Sheets C3.00 thru C3.20.

- J. *Relevant information for the existing Sewer District main within the scope of the project must be shown on both plan and profile views, including pipe size, material and manhole to manhole length. Rim and invert elevations for the upstream and downstream manholes nearest the proposed lateral connection points to the Sewer District main for Lots 9 and 10 must also be shown. This information will be used by the Sewer District to verify the invert elevation at the lateral connection point and other design elements.*

All relevant existing and proposed information for sewer main, manholes, and connections have been noted on the plans. Refer to revised Sheets C3.00 thru C3.20.

- K. *The plans shall show the easement information for the sewer mains located near Lots 9 and 10.*

The existing 5' Public Utility Easement near Lots 9 and 10 has been shown. See revised Sheet C3.10.

- L. *If the new lateral will be subjected to traffic load, a minimum of three feet (3') of cover shall be maintained over the sewer lateral between the property line cleanout and sewer main at all times. The 3 feet of cover protects the sewer lateral from accidental exposure and/or damage. If 3 feet of cover cannot be maintained over the sewer lateral, then ductile iron pipe shall be used.*

Noted. At least three feet of cover has been provided for all new sewer laterals.

- M. *It is our understanding that a sump pump will be installed to pump sewage from the residence on Lot 11 to a new manhole. If sump pumps are to be used to deliver sewage to the Sewer District main, the Sewer District requires that a covenant be prepared stating that the ownership, operation, maintenance and repair of the pump system will be the responsibility of the property owner. The covenant must be prepared, signed, notarized, recorded with the San Mateo County Recorder's Office, and a copy provided to the Sewer District prior to Sewer Inspection Permit signoff. Attached is a sample covenant and instructions for your information.*

Please see attached draft Sewage Ejector Pump System document. Covenant shall be signed and recorded by the Owner upon recordation of the Final Map.

- N. *The plans must show a plan and profile view of the new manhole and the 2" force main connection. A 6" channel for the 2" force main shall be formed inside of the new manhole, as directed by the Sewer District representative. The 2" force main shall have the same elevation as the 6" channel.*

The new sewer manhole and 2" force main connection has been revised on the plan and profile. The 2" force main will connect to the new manhole per San Mateo County Detail C-1 with a 6" channel formed inside the new manhole. See revised Sheets C3.20 and C6.20.

- O. *The Sewer District requires that a minimum of 12" vertical clearance from edge of pipe to edge of pipe be maintained at all pipe crossings. Each utility line crossing the Sewer District main shall be labeled on the plan or profile with a note indicating this requirement.*

Minimum 12" vertical clearance from edge of pipe to edge of pipe at pipe crossings has been noted on Sheet C2.00. See Note 2 of Section V, Utilities. Utility crossing requirements have been labeled and noted on the plan and profile sheets. See revised Sheets C3.00 thru C3.20.

- P. *The connection fees and charges cannot be estimated based on the information contained in the submitted plans. The applicant shall submit floor plans of all new structures for the purpose of determining these fees. Payment of connection fees and charges shall be made to the County of San Mateo prior to final approval of the plans.*

Architectural floor plans for Lots 5 through 11 have been submitted to the County by the owner.

- Q. *Sewer Inspection Permits (SIPs) must be obtained by the applicant or contractor after plan review approval for the inspection of:*
- a. *proposed Sewer District standard cleanout at the property line*
 - b. *lateral connection to the Sewer District main*
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 - d. *new manhole and force main connection to the new manhole*
- SIPs may be obtained from the Sewer District office at 555 County Center, 5th Floor, Redwood City.*

Sewer Inspection Permits (SIPs) shall be obtained by the Owner/Contractor.

- R. *Other miscellaneous comments are shown on the plans.*

All other miscellaneous comments shown on the plans have been addressed and incorporated.

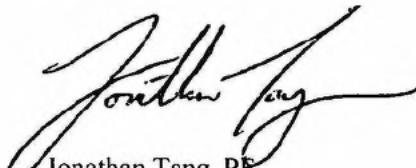
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- S. *The Lighting District has reviewed the plans, and no streetlights appear to be affected by this project.*

Noted.

Should you have any questions, comments or need further clarification regarding the responses to your plan check review comments in this letter, please contact me at (650) 482-6306.

Sincerely,
BKF Engineers



Jonathan Tang, PE
Project Manager



April 27, 2016

County of San Mateo
Department of Public Works/Building & Planning
555 County Center, 5th Floor
Redwood City, CA 94063

Subject: Sewer Review, Highland Estates, Lots 5 thru 11, San Mateo, 1st Submittal
BKF Response to County Plan Review Comments

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- B. *Our records indicate that the sewer mains within the project limits are all 6" VCP except the section that Lots 7 and 8 are connected to, which is 6" HDPE. The applicant must verify the existing sewer main size and material.*

Sewer main size and material have been verified and relabeled. See revised Sheets C3.00 thru C3.20.

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Cleanouts have been placed in easy access locations for maintenance, outside of any enclosures, and minimum of 6' between property line cleanout and structure. Note has been added to Sheet C2.00. See Note 14 of Section V, Utilities.

- D. *The proposed sidewalk shall not be installed over the existing Sewer District main. The sidewalk shall be re-aligned to meet this requirement.*

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Sewer cleanouts for Lots 5 thru 8 have been revised to be placed in the sidewalk. See revised Sheet C3.00.

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Note have been added to plans. See Note 1 in revised Sheet C3.00.

- H. *A 4" minimum Sewer District standard cleanout is required at the property line or on private property within 5' of the property line. The size, material, rim, and invert elevation of the cleanout must be shown on the plans for Lots 9 and 10.*

A Sewer District standard cleanout has been added within 5' of Lots 9 and 10 property line. See revised Sheet C3.10.

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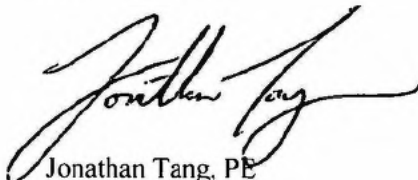
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Noted.

Should you have any questions, comments or need further clarification regarding the responses to your plan check review comments in this letter, please contact me at (650) 482-6306.

Sincerely,
BKF Engineers



Jonathan Tang, PE
Project Manager



**ENGINEERS
SURVEYORS
PLANNERS**

April 27, 2016

County of San Mateo
Department of Public Works/Building & Planning
555 County Center, 5th Floor
Redwood City, CA 94063

Subject: Sewer Review, Highland Estates, Lots 5 thru 11, San Mateo, 1st Submittal
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- M. *It is our understanding that a sump pump will be installed to pump sewage from the residence on Lot 11 to a new manhole. If sump pumps are to be used to deliver sewage to the Sewer District main, the Sewer District requires that a covenant be prepared stating that the ownership, operation, maintenance and repair of the pump system will be the responsibility of the property owner. The covenant must be prepared, signed, notarized, recorded with the San Mateo County Recorder's Office, and a copy provided to the Sewer District prior to Sewer Inspection Permit signoff. Attached is a sample covenant and instructions for your information.*

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- N. *The plans must show a plan and profile view of the new manhole and the 2" force main connection. A 6" channel for the 2" force main shall be formed inside of the new manhole, as directed by the Sewer District representative. The 2" force main shall have the same elevation as the 6" channel.*

The new sewer manhole and 2" force main connection has been revised on the plan and profile. The 2" force main will connect to the new manhole per San Mateo County Detail C-1 with a 6" channel formed inside the new manhole. See revised Sheets C3.20 and C6.20.

- O. *The Sewer District requires that a minimum of 12" vertical clearance from edge of pipe to edge of pipe be maintained at all pipe crossings. Each utility line crossing the Sewer District main shall be labeled on the plan or profile with a note indicating this requirement.*

Minimum 12" vertical clearance from edge of pipe to edge of pipe at pipe crossings has been noted on Sheet C2.00. See Note 2 of Section V, Utilities. Utility crossing requirements have been labeled and noted on the plan and profile sheets. See revised Sheets C3.00 thru C3.20.

- P. *The connection fees and charges cannot be estimated based on the information contained in the submitted plans. The applicant shall submit floor plans of all new structures for the purpose of determining these fees. Payment of connection fees and charges shall be made to the County of San Mateo prior to final approval of the plans.*

Architectural floor plans for Lots 5 through 11 have been submitted to the County by the owner.

- Q. *Sewer Inspection Permits (SIPs) must be obtained by the applicant or contractor after plan review approval for the inspection of:*
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 - b. *lateral connection to the Sewer District main*
 - c. *lateral between the property line cleanout and the Sewer District main*
 - d. *new manhole and force main connection to the new manhole*
- SIPs may be obtained from the Sewer District office at 555 County Center, 5th Floor, Redwood City.*

Sewer Inspection Permits (SIPs) shall be obtained by the Owner/Contractor.

- R. *Other miscellaneous comments are shown on the plans.*

All other miscellaneous comments shown on the plans have been addressed and incorporated.

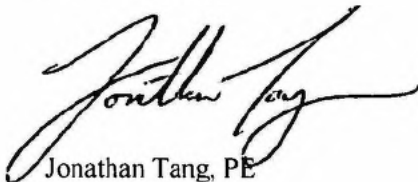
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- S. *The Lighting District has reviewed the plans, and no streetlights appear to be affected by this project.*

Noted.

Should you have any questions, comments or need further clarification regarding the responses to your plan check review comments in this letter, please contact me at (650) 482-6306.

Sincerely,
BKF Engineers



Jonathan Tang, PE
Project Manager



April 27, 2016

County of San Mateo
Department of Public Works/Building & Planning
555 County Center, 5th Floor
Redwood City, CA 94063

Subject: Sewer Review, Highland Estates, Lots 5 thru 11, San Mateo, 1st Submittal
BKF Response to County Plan Review Comments

Dear Camille Leung, Diana Chu, Julie Young, and Benjamin Vazquez:

We have received Plan Check Review Comments, dated March 23, 2016, for the Highland Estates Lots 5-11 Offsite Plans and have made the necessary clarifications and revisions to the plans based on comments received. BKF has prepared responses, indicated in **bold** text, specific to the comments in the review letter:

- A. *All manholes shown on the plans must be labeled with the Sewer District manhole numbers. Attached is a copy of the map with information on the Sewer District's facilities within the project area.*

All sanitary sewer manholes shown on the plans have been labelled with the Sewer District manhole numbers. See revised Sheets C3.00 thru C3.20.

- B. *Our records indicate that the sewer mains within the project limits are all 6" VCP except the section that Lots 7 and 8 are connected to, which is 6" HDPE. The applicant must verify the existing sewer main size and material.*

Sewer main size and material have been verified and relabeled. See revised Sheets C3.00 thru C3.20.

- C. *The property line cleanout must be placed in a location that provides easy access for maintenance equipment and is outside of any enclosures. A minimum of 6' is required between the property line cleanout and structure. This note shall be added to the plans.*

Cleanouts have been placed in easy access locations for maintenance, outside of any enclosures, and minimum of 6' between property line cleanout and structure. Note has been added to Sheet C2.00. See Note 14 of Section V, Utilities.

- D. *The proposed sidewalk shall not be installed over the existing Sewer District main. The sidewalk shall be re-aligned to meet this requirement.*

We have redesigned the sidewalk for Lot 8 to include a new retaining wall to separate the grades for sidewalk and on-site. See revised Sheet C3.00 for redesigned sidewalk. See Detail 7, Sheet C6.40 for the retaining wall detail. We have contacted Dale Forbes at ESI Structural Engineers, the Project Structural Engineer for the site retaining walls and home. ESI will provide design and calculations associated with this retaining wall. Design and calculations will be submitted in a separate cover.

255 Shoreline Drive
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Redwood City
California 94065
phone 650.482.6300
fax 650.48.6399
www.bkf.com

- E. *The property line cleanouts for Lots 5 thru 8 shall be placed in the sidewalk.*

Sewer cleanouts for Lots 5 thru 8 have been revised to be placed in the sidewalk. See revised Sheet C3.00.

- F. *The size of sewer laterals for Lots 5 thru 8 shall be 4".*

The size of sewer laterals for Lots 5 thru 8 have been revised to be 4". See revised Sheet C3.00.

- G. *The new laterals for Lots 7 and 8 shall be connected to the HDPE main through fused on HDPE wye connections or branch saddles and installed in accordance with the manufacturer's written instructions. The lateral connection shall be watertight and shall have the same structural integrity as the existing HDPE main. A note indicating these requirements shall be added to the plans.*

Note have been added to plans. See Note 1 in revised Sheet C3.00.

- H. *A 4" minimum Sewer District standard cleanout is required at the property line or on private property within 5' of the property line. The size, material, rim, and invert elevation of the cleanout must be shown on the plans for Lots 9 and 10.*

A Sewer District standard cleanout has been added within 5' of Lots 9 and 10 property line. See revised Sheet C3.10.

- I. *The plans must show the location of the proposed sewer lateral, cleanout, the connection point to the Sewer District main, and all relevant sewer lateral information including the size, material, length, slope, and invert elevations for Lots 9 and 10. This information will be used by the Sewer District to verify whether the sewer lateral meets the Sewer District standard. The sewer lateral between the property line cleanout and the sewer main shall be 4" minimum.*

All relevant proposed information for sewer main, laterals, and connections have been noted on the plans. Refer to revised Sheets C3.00 thru C3.20.

- J. *Relevant information for the existing Sewer District main within the scope of the project must be shown on both plan and profile views, including pipe size, material and manhole to manhole length. Rim and invert elevations for the upstream and downstream manholes nearest the proposed lateral connection points to the Sewer District main for Lots 9 and 10 must also be shown. This information will be used by the Sewer District to verify the invert elevation at the lateral connection point and other design elements.*

All relevant existing and proposed information for sewer main, manholes, and connections have been noted on the plans. Refer to revised Sheets C3.00 thru C3.20.

- K. *The plans shall show the easement information for the sewer mains located near Lots 9 and 10.*

The existing 5' Public Utility Easement near Lots 9 and 10 has been shown. See revised Sheet C3.10.

- L. *If the new lateral will be subjected to traffic load, a minimum of three feet (3') of cover shall be maintained over the sewer lateral between the property line cleanout and sewer main at all times. The 3 feet of cover protects the sewer lateral from accidental exposure and/or damage. If 3 feet of cover cannot be maintained over the sewer lateral, then ductile iron pipe shall be used.*

Noted. At least three feet of cover has been provided for all new sewer laterals.

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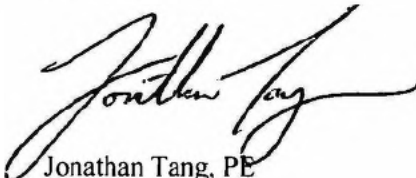
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Noted.

Should you have any questions, comments or need further clarification regarding the responses to your plan check review comments in this letter, please contact me at (650) 482-6306.

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Jonathan Tang, PE
Project Manager



April 27, 2016

County of San Mateo
Department of Public Works/Building & Planning
555 County Center, 5th Floor
Redwood City, CA 94063

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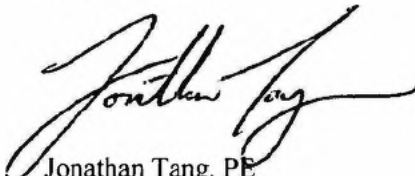
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- S. *The Lighting District has reviewed the plans, and no streetlights appear to be affected by this project.*

Noted.

Should you have any questions, comments or need further clarification regarding the responses to your plan check review comments in this letter, please contact me at (650) 482-6306.

Sincerely,
BKF Engineers



Jonathan Tang, PE
Project Manager

**STREET IMPROVEMENTS AT HIGHLAND ESTATES LOTS 5-11
 TICONDEROGA DRIVE, COBBLEHILL PLACE AND COWPENS WAY
 San Mateo County, California
 Engineer's Opinion of Probable Construction Cost**

<u>No.</u>	<u>Item</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Amount</u>
Demolition					
1	Remove Curb and Gutter	440	LF	\$ 3.00	\$1,320
2	Remove Concrete Sidewalk/Driveway	1,800	SF	\$ 2.00	\$3,600
3	Remove Pavement	700	SF	\$ 3.00	\$2,100
					\$7,020
Sanitary Sewer					
4	Sanitary Sewer Manhole	2	EA	\$ 6,000.00	\$12,000
5	Sanitary Sewer Cleanout	5	EA	\$ 1,000.00	\$5,000
6	4" PVC Pipe	92	LF	\$ 60.00	\$5,520
7	2" PVC Force Main	135	LF	\$ 40.00	\$5,400
8	Connect to Existing Sanitary Sewer	6	EA	\$ 3,500.00	\$21,000
					\$48,920
Storm Drainage					
9	Storm Drain Catch Basin	4	EA	\$ 5,000.00	\$20,000
10	Storm Drain Drop Inlet	6	EA	\$ 3,500.00	\$21,000
11	15" Reinforced Concrete Pipe	65	LF	\$ 200.00	\$13,000
12	3" Undercurb Drain	192	LF	\$ 60.00	\$11,520
					\$65,520
Water					
13	Fire Hydrant with Bury and Valve	2	EA	\$ 7,500.00	\$15,000
14	Connect to Existing Water Main (By CalWater)	0	EA	\$ -	\$0
					\$15,000
Street Improvements					
15	Curb and Gutter	440	LF	\$ 45.00	\$19,800
16	Sidewalk/Driveway	2,000	SF	\$ 15.00	\$30,000
17	Curb Ramp	1	EA	\$ 5,000.00	\$5,000
18	Retaining Wall with Subdrain	200	SF	\$ 75.00	\$15,000
19	Asphalt Concrete Pavement	440	SF	\$ 8.00	\$3,520
20	Stabilized Decomposed Granite with Fabric	190	SF	\$ 4.00	\$760
					\$73,320
Miscellaneous					
21	Fence	500	LF	\$ 50.00	\$25,000
22	Signage	4	EA	\$ 250.00	\$1,000
23	Striping	1	LS	\$ 3,000.00	\$3,000
24	Erosion Control	1	LS	\$ 7,500.00	\$7,500
					\$36,500
SUBTOTAL					\$246,280
5% Contingency					\$12,314
TOTAL					\$258,594

GENERAL NOTES

- This Opinion of Probable Construction Cost Estimate is based upon Street Improvement Plans for Highlands Estates - Ticonderoga Drive, Cobblehill Place and Cowpens Way, prepared by BKF dated April 27, 2016.

**RECORDING REQUESTED BY
AND FOR THE BENEFIT OF:**

**County of San Mateo
Department of Public Works**

WHEN RECORDED MAIL TO:

**County of San Mateo
Department of Public Works
555 County Center, 5th Floor
Redwood City, CA 94063**

Attn: Mark Chow (PONY: DPW-155)

**Covenant Regarding Sewage Ejector Pump System
California Civil Code §§ 1457 *et seq.*
Highland Estates Lot 11, San Mateo, California, 94402
Crystal Springs County Sanitation District**

We, Ticonderoga Partners LCC, the undersigned, hereinafter called "Owners", hereby certifies that we are the owners of or have some right, title or interest in and to the real property commonly known as Highland Estates Lot 11, San Mateo, California, 94402, and identified in the records of the Assessor of San Mateo County as of the date of this Covenant as Assessor Parcel Number [APN NUMBER], and legally known as that real property situated in the County of San Mateo, State of California, more particularly described in Exhibit "A" hereto attached and made a part hereof by reference, hereinafter called "Property"; and that we are the only persons whose consent is necessary to pass clear title to said property; and that we consent to the making and recording of this Covenant.

We, Ticonderoga Partners LCC, hereby state the following to be true:

- A. The Property, on the date this Covenant was executed, was identified in the records of the San Mateo County Assessor as Assessor's Parcel Number [APN NUMBER]. Exhibit "A" contains a legal description of said parcel.
- B. The Crystal Springs County Sanitation District, hereinafter called "District", a special district of the County of San Mateo, provides sanitary sewer service to the Property.
- C. Pursuant to the County of San Mateo Building Permit No. BLD2016-00159 a sewage ejector system, hereinafter called "Pump System", has been constructed on Assessor Parcel Number [APN NUMBER].

- D. The Pump System serves a building which has a finished floor elevation lower than the elevation of the existing District owned sanitary sewer system providing sanitary sewer service to the Property; and the Pump System exists to transport sewage from the building to sanitary sewer facilities owned and maintained by the District.

For the benefit of the land described herein, and in consideration of the foregoing, we, Ticonderoga Partners LCC, do hereby covenant and agree as follows, and agree that successive owners of the land shall be bound by said Covenant:

1. The Owners hereby accepts sole responsibility for the ownership, operation, maintenance and repair of the Pump System.
2. The Owners hereby releases the District and the County of San Mateo from any obligation whatsoever to replace, reconstruct, or repair, or to pay for the replacement, reconstruction, or repair of any of the structures or facilities of any kind damaged as a result of the operation of the Pump System described in this Covenant.
3. The Owners hereby releases and holds harmless the District, the County of San Mateo, their officers, employees, agents, representatives and insurance carriers from any and all rights, claims, demands, suits or actions of every name, kind and description and damages of any kind, existing or arising in the future, resulting from or relating from or relating to any and all property damage arising from any aspect of the operation of the Pump System described in this Covenant. The Owners agrees that this obligation to release and hold harmless includes the duty to defend as set forth in Section 2778 of the California Civil Code.
4. The Owners hereby further releases and holds harmless the District, the County of San Mateo, their officers, employees, agents, representatives and insurance carriers from any and all rights, claims and demands of any third persons due to any aspect of the operation of the Pump System described in this Covenant. The Owners agrees that this obligation to release and hold harmless includes the duty to defend as set forth in Section 2778 of the California Civil Code.

This Covenant is for the benefit of the land described herein, is specifically intended to run with the land pursuant to California Civil Code §§1457 *et seq.*, and shall be binding upon the undersigned, their heirs, executors, administrators, successors, transferees and assignees, with respect to said above described property.

Executed this ____ day of _____, 2016, at _____, California.

We hereby certify that we are the Trustee(s) of the Ticonderoga Partners LCC.

Trustee of Ticonderoga Partners LCC – Highland Estates Lot 11

Trustee Signature

Trustee Signature

Crystal Springs County Sanitation District

James C. Porter, Director of Public Works
Authorized Representative of Crystal Springs Sanitation District

EXHIBIT "A"

Legal Description for [Highland Estates, San Mateo County, California – APN

[INSERT LEGAL DESCRIPTION OF PROPERTY UPON RECORDATION OF FINAL MAP]

Instructions for Covenants Regarding Sewage Ejector Pump Systems used to Transport Sewage to Sewer/Sanitation Districts (District) Administered by the County of San Mateo

Attached is a sample covenant Regarding Sewage Ejector Pump Systems used to transport sewage from private properties to sanitary sewer facilities owned and maintained by the District.

You may use the enclosed sample covenant by inserting information, as indicated by brackets, that is specific to the property and property owner(s). If you chose to deviate from the sample covenant or have an alternate covenant developed by an attorney, the District reserves the right to review, comment, and accept or reject portions of or the entire covenant. Additional charges will apply if the District has to review an alternate covenant.

A Notary Public must witness the signing of the covenant and attach their Acknowledgment Form to it. After the covenant has been signed and notarized you must deliver a copy to our office for our signature and have the document recorded with the San Mateo County Recorder's Office located at:

**555 County Center, 1st Floor
Redwood City, CA 94063**

An original recorded document must be delivered to the District at the following address:

**County of San Mateo
Department of Public Works
555 County Center, 5th Floor
Redwood City, CA 94063-1665**

Attn: Mark Chow, Utilities-Flood Control-Watershed Protection

Should you have any questions, need additional information, or to obtain an electronic copy of the sample covenant contact Benjamin Vazquez or Julie Young at (650) 363-4100.

Encl: Sample Covenant Regarding Sewage Ejector Pump System

F:\Users\utility\sewers\Standard Documentation\Forms & Templates\Covenant & Agreement\Sewage Ejector Pump System Covenant 2013-12.doc

1. GENERAL NOTES

- 1. WORK SHALL CONFORM TO THE COUNTY OF SAN MATEO PUBLIC WORKS STANDARD DRAWINGS FOR PUBLIC IMPROVEMENTS, REVISED SEPTEMBER 2007 AND THE SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS STANDARD SPECIFICATIONS, DATED JUNE 1995.
2. PERFORMANCE WORK IN CONFORMANCE WITH THE RECOMMENDATION OF THE PROJECT GEOTECHNICAL ENGINEERING REPORT...
3. ARRANGE FOR REQUIRED INSPECTIONS BY COUNTY ENGINEER AND LOGS OF WORK...
4. REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY ENGINEER WHO MUST OBTAIN APPROVAL FROM COUNTY ENGINEER...
5. REPLACE OR REPAIR EXISTING UTILITIES, IMPROVEMENTS OR FEATURES DAMAGED...
6. PREPARE TRAFFIC CONTROL PLAN AND OBTAIN APPROVAL FROM COUNTY ENGINEER...
7. INSURE TRAFFIC CONTROL TO BE PROVIDED WHEN EXISTING DRIVEWAYS...
8. PREPARE SCHEDULING PLAN AND SUBMIT TO THE COUNTY ENGINEER FOR REVIEW...
9. WATER ACTIVE EXTERIOR SOIL AREAS AT LEAST THREE TIMES DAILY...
10. COVER TRUCKS HAULING SOIL, SAND OR OTHER LOOSE MATERIAL...
11. PAVE AFTER WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZER...
12. SNEEP PAVED ACCESS ROADS, PARKING AREAS AND STAGING AREAS DAILY...
13. APPLY HYDROSEED OR NON-TOXIC SOIL STABILIZER TO INACTIVE CONSTRUCTION AREAS...
14. CONSTRUCTION STAKING SHALL BE DONE BY A CIVIL ENGINEER OR LAND SURVEYOR...
15. IF BKT ENGINEERS IS PROVIDED TO PROVIDE CONSTRUCTION STAKING SERVICES...
16. MATCH EXISTING FENCELINE, CURBS AND CHITTER, SIDEWALK, ADJACENT LANDSCAPE...
17. VISIT SITE TO BECOME FAMILIAR WITH EXISTING CONDITIONS AND OBTAIN PROJECT REQUIREMENT PRIOR TO DOING WORK...
18. OBTAIN AND PAY FOR PERMITS AND LICENSES AS REQUIRED TO PERFORM WORK...
19. CONTRACTOR IS RESPONSIBLE FOR TRAFFIC AND PRECONSTRUCTION CONTROL DURING CONSTRUCTION...
20. OBTAIN APPROVAL OF IMPORT SOIL MATERIAL FROM GEOTECHNICAL ENGINEER...
21. PROTECT ADJACENT PREMISES, TREES, LANDSCAPING, UTILITIES, SIDEWALKS...
22. COMPLY WITH REQUIREMENTS OF THE STORM WATER POLLUTION PREVENTION PLAN...
23. NOTIFY COUNTY ENGINEER A MINIMUM OF 24 HOURS PRIOR TO STARTING WORK...

24. MAKE EFFORTS TO MINIMIZE CONSTRUCTION NOISE.

- 24.A. MAINTAIN EQUIPMENT USED ON SITE IN GOOD MECHANICAL CONDITION TO MINIMIZE NOISE...
24.B. EQUIPMENT EXCEEDING 10 DBA MEASURED 25 FEET FROM THE FACE OF EQUIPMENT WILL NOT BE ALLOWED ON SITE...
24.C. SELECT APPROPRIATE EQUIPMENT TO MINIMIZE NOISE GENERATION...
24.D. FOLLOWING TECHNIQUES TO MINIMIZE NOISE GENERATION SUBJECT TO EQUIPMENT AVAILABILITY AND COST CONSIDERATIONS...

VI. EXISTING CONDITIONS

- 1. EXISTING TOPOGRAPHIC INFORMATION SHOWN ON THESE PLANS IS BASED UPON A FIELD TOPOGRAPHIC SURVEY OF THE PROJECT SITE...
2. EXISTING SUBSURFACE IMPROVEMENTS AND UTILITIES SHOWN ON THESE PLANS...
3. VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES...
4. CONTACT USA (UNDERGROUND SERVICES ALERT) AT 1-800-227-2600...
5. REMOVE FROM SITE AND DEPOSE OF IN LAWFUL MANNER EXISTING STRUCTURES, UTILITIES, AND OTHER FEATURES...
6. REMOVE LANDSCAPING, UTILITIES AND IRRIGATION LINES AS SPECIFIED BY GEOTECHNICAL ENGINEER...
7. DEMOLITION
8. DEMOLITION AREAS COVERED WITH STANDING WATER PRIOR TO PLACEMENT OF FILL...
9. DISPOSE OF WATER FROM DEMOLITION OPERATIONS IN CONFORMANCE WITH THE PROJECT SWPPP AND APPLICABLE LOCAL, STATE AND FEDERAL REGULATIONS...
10. UTILITIES
11. DO NOT OPERATE WATER VALVES OR OTHER WATER DISTRICT FACILITIES...
12. PROVIDE MINIMUM 12 INCH VERTICAL CLEARANCE BETWEEN ADJACENT UTILITY PIPES...
13. COMPLETE ELECTRICAL, GAS, TELEPHONE, CABLE AND OTHER JOINT TRIM WORK...
14. PRETECT UTILITIES FROM DAMAGE CAUSED BY CONTRACTOR'S WORK...
15. PROVIDE UTILITY STRUCTURES IN PAVED AREAS SUITABLE FOR 10-20 TONNING...
16. PIPE LENGTHS SHOWN ON PLANS ARE FOR ENGINEERING CALCULATIONS ONLY...
17. CONTRACT GRAVITY FLOW UTILITIES FROM DOWNSTREAM CONNECTION POINT TO UPSTREAM TERMINUS...
18. COORDINATE WITH COUNTY OF SAN MATEO AND CRISTAL SPRINGS SANITATION DISTRICT FOR INSPECTION OF WORK IN DISTRICT FACILITIES...
19. ALL WATER LATERALS AND SERVICES SHALL BE INSTALLED TO THE STANDARDS OF THE CALIFORNIA WATER SERVICE COMPANY...
20. EARTHWORK AND GRADING
21. OFF-SITE IMPORT FILL MATERIAL SHALL CONFORM TO THE SPECIFICATIONS AND REQUIREMENTS OF THE GEOTECHNICAL REPORT...
22. TOPSOIL, ROOTS, VEGETABLE MATTER, TRASH AND DEBRIS WILL NOT BE CONSIDERED ACCEPTABLE FILL MATERIAL...
23. REMOVE DEBRIS FROM AREAS OF EARTHWORK PRIOR TO PLACING FILL OR STARTING GRADING OPERATIONS...
24. PLACE AND COMPACT FILL MATERIAL AS PRECISELY INDICATED IN GEOTECHNICAL REPORT...
25. CONTRACTOR SHALL MAKE HIS OWN DETERMINATION OF EARTHWORK QUANTITIES...
26. KEEP ACCURATE RECORD OF THE FINAL LOCATION, ELEVATION AND DISPOSITION OF WORK ON A COPY OF THE FINAL APPROVED CONSTRUCTION DOCUMENTS...

VII. STATEMENT OF RESPONSIBILITY

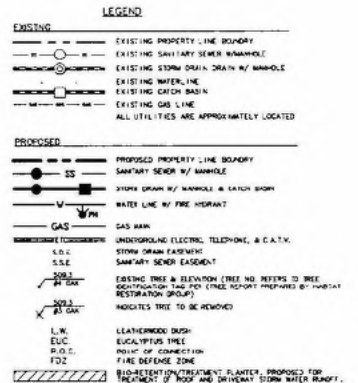
- 1. CONTRACTOR CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES...
2. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS...
3. UNAUTHORIZED RESOURCES AND PLANS
4. THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR...
5. DRAINING LANGUAGE
6. NOTES AND CALCULATIONS ON DRAWINGS MAY USE IMPERATIVE LANGUAGE...
7. TREE PROTECTION NOTES
8. THE APPLICANT SHALL ESTABLISH AND MAINTAIN TREE PROTECTION ZONES...
9. VEGETATION REMOVAL/REPLACEMENT NOTES
10. VEGETATION REMOVED IN AREAS OUTSIDE OF BUILDING FOOTPRINTS...
11. THE APPLICANT SHALL REPLACE ALL VEGETATION REMOVED IN ALL AREAS NOT COVERED BY CONSTRUCTION WITH DROUGHT-TOLERANT, NON-INVASIVE PLANTS...
12. DUST CONTROL NOTES
13. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED...
14. DISPOSITION OF HUMAN REMAINS NOTES
15. THE APPLICANT AND CONTRACTOR MUST BE PREPARED TO CARRY OUT THE REQUIREMENTS OF CALIFORNIA STATE LAW WITH REGARD TO THE DISCOVERY OF HUMAN REMAINS...
16. GEOTECHNICAL INSPECTION NOTE
17. PRIOR TO ISSUANCE OF BUILDING PERMITS THE PROJECT GEOTECHNICAL CONSULTANT SHALL FIELD INSPECT AND INVESTIGATE, AS NEEDED...
18. PRIOR TO ISSUANCE OF BUILDING PERMITS THE PROJECT GEOTECHNICAL CONSULTANT SHALL FIELD INSPECT AND INVESTIGATE, AS NEEDED...
19. RESIDENTIAL PROPERTY OWNERS WITHIN 200 FEET OF PLANNED CONSTRUCTION AREAS SHALL BE NOTIFIED OF THE CONSTRUCTION SCHEDULE IN WRITING...
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...
21. THE GEOTECHNICAL INSPECTION NOTE SHALL BE CONSIDERED SUPERSEDED BY THE GEOTECHNICAL INSPECTION REPORT...
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...
23. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...

VIII. CONDITIONS OF APPROVAL NOTES

- CONSTRUCTION NOTES
1. THE FIRST PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET EPA CERTIFICATION STANDARDS...
2. THE SECOND PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET EPA CERTIFICATION STANDARDS...
3. FOR ALL LARGE VEHICLES, INCLUDING DEMOLITION WRECKERS OR OTHER EQUIPMENT...
4. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST THREE DAILY...
5. COVER ALL TRUCKS HAULING SAND, SOIL AND OTHER LOOSE MATERIALS...
6. PAVE AFTER WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZER...
7. SNEEP DAILY WITH WATER SNEEPERS ALL PAVED ACCESS ROADS, PARKING AREAS...
8. SNEEP PUBLIC STREETS ADJACENT TO CONSTRUCTION SITES DAILY...
9. HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO MATCHING CONSTRUCTION AREAS...
10. ENCLOSE COVER WATER THREE TIMES DAILY OR APPLY NON-TOXIC SOIL STABILIZER...
11. LIMIT TRAFFIC SPEEDS ON UNPAVED ROADS TO 15 MPH PER HOUR...
12. INSTALL STAMPS OR OTHER DUSTION CONTROL MEASURES TO PREVENT DUST REPLENT VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE...
13. INSTALL WIND BREAKS AT THE WARDWARD SIDES OF THE CONSTRUCTION AREAS...
14. SUSPEND EXCAVATION AND GRADING ACTIVITIES WHEN WIND (AS INSTANTANEOUS GUSTS) EXCEEDS 25 MPH PER HOUR...
NOISE NOTES
1. EQUIPMENT AND TRUCKS USED FOR PROJECT GRADING AND CONSTRUCTION WORK...
2. EQUIPMENT USED FOR PROJECT GRADING AND CONSTRUCTION WORK...
3. THE GRADING AND CONSTRUCTION ACTIVITY WILL BE KEPT TO THE HOURS OF 7:00 AM TO 7:00 PM MONDAY THROUGH FRIDAY...
4. RESIDENTIAL PROPERTY OWNERS WITHIN 200 FEET OF PLANNED CONSTRUCTION AREAS SHALL BE NOTIFIED OF THE CONSTRUCTION SCHEDULE...
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESPONDING TO ANY LOCAL COMPLAINTS REGARDING CONSTRUCTION NOISE...

ASBESTOS NOTES

- 1. IF NATURALLY OCCURRING ASBESTOS IS IDENTIFIED AT THE SITE, A SITE HEALTH AND SAFETY PLAN INCLUDING HOLDING METHODS FOR CONTROL OF ASBESTOS MUST BE SUBMITTED TO THE COUNTY ENGINEER...
2. IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE SITE, A SOIL MANAGEMENT PLAN SHALL BE DEVELOPED AND APPROVED BY THE COUNTY PLANNING DEPARTMENT...
3. IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE SITE, A SOIL MANAGEMENT PLAN SHALL BE DEVELOPED AND APPROVED BY THE COUNTY PLANNING DEPARTMENT...
4. IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE SITE, A SOIL MANAGEMENT PLAN SHALL BE DEVELOPED AND APPROVED BY THE COUNTY PLANNING DEPARTMENT...
5. IF NATURALLY OCCURRING ASBESTOS IS FOUND AT THE SITE, A SOIL MANAGEMENT PLAN SHALL BE DEVELOPED AND APPROVED BY THE COUNTY PLANNING DEPARTMENT...



ABBREVIATIONS

Table with 2 columns: Abbreviation and Full Name. Includes entries like AC (ASPHALTIC CONCRETE), BLDG CORN (BUILDING CORNER), CL (CENTERLINE), CONC (CONCRETE), CUP (CUP), etc.

BENCHMARK

THE BENCHMARK USED WAS A FOUND MONUMENT RM AT THE INTERSECTION OF THE CENTERLINE OF BUNKER HILL DRIVE AND YORKTOWN DRIVE IN UNINCORPORATED SAN MATEO COUNTY. THE BENCHMARK IS ON AN ASSUMED DATUM. ELEVATION = 585.00' (ASSUMED DATUM)

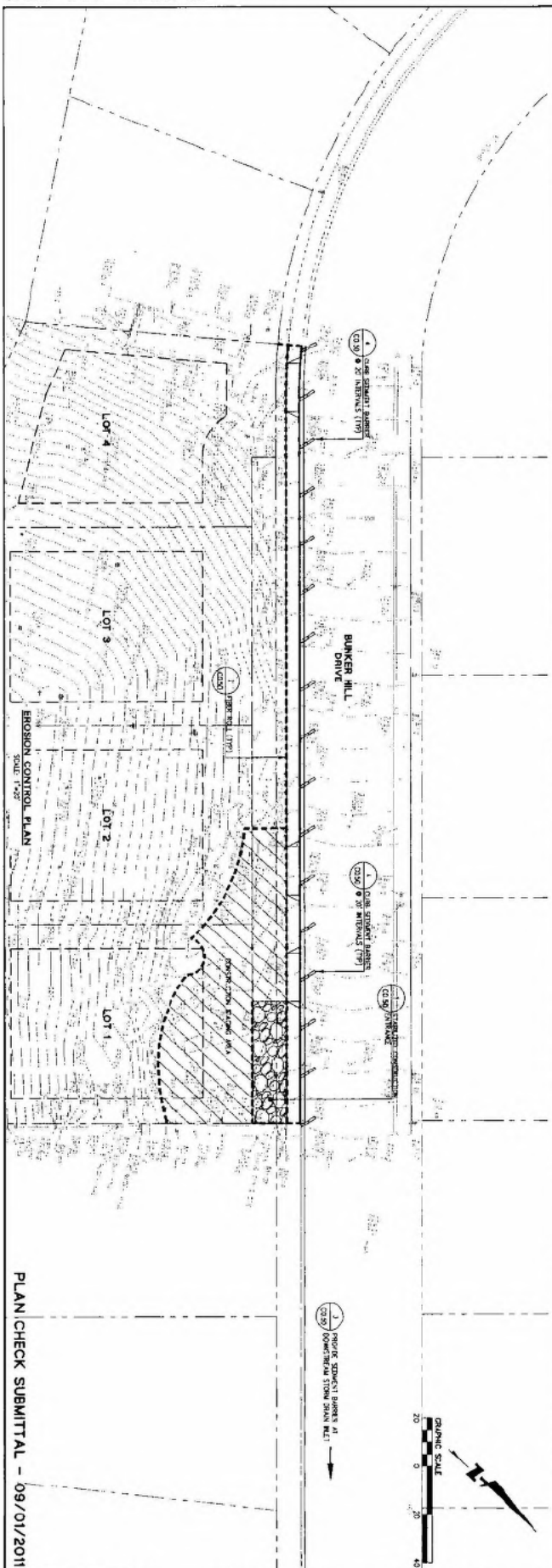
BASIS OF BEARINGS

THE BEARING NORTH 47° 00' 00" EAST BETWEEN TWO FOUND MONUMENTS ON CENTERLINE OF BUNKER HILL DRIVE AS SAID CENTERLINE AND DRIVE IS SHOWN ON THAT CERTAIN MAP ENTITLED "TRAC 100 762 THE HIGHLANDS, UNIT NO. 8" FILED FOR RECORD DECEMBER 16, 1997 IN VOLUME 48 OF MAPS AT PAGES 16-17 IN THE OFFICE OF THE RECORDER, SAN MATEO COUNTY. WAS TAKEN AS THE BASIS OF BEARINGS FOR THIS MAP.

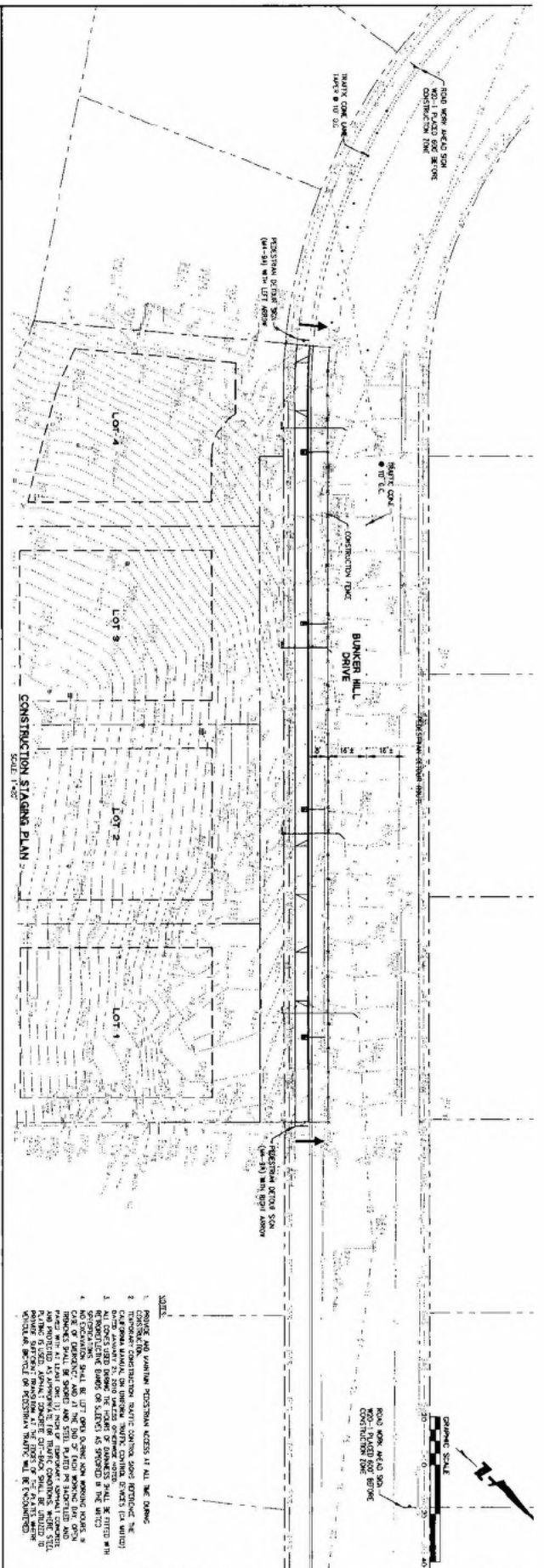


PLAN CHECK SUBMITTAL - 09/01/2011

Vertical sidebar containing BKF logo, project title 'HIGH-AND ESTATES BUNKER HILL DRIVE STREET IMPROVEMENT PLANS', and a table with columns for 'No.', 'Date', 'By', 'Checked', 'Reviewed', 'Approved', 'Job No.', 'Notes'.



PLAN CHECK SUBMITTAL - 09/01/2011



- NOTES:
1. PROVIDE AND MAINTAIN NECESSARY ACCESS AT ALL TIME DURING CONSTRUCTION.
 2. CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 3. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 4. NO CONSTRUCTION SHALL BE PERMITTED ON ANY ROADWAY OR DRIVEWAY UNLESS THE ROADWAY OR DRIVEWAY IS PROTECTED BY SLOTTED CURBS OR SLOTTED CURBS WITH CURBS.
 5. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 6. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 7. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 8. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 9. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.
 10. ALL CONSTRUCTION SHALL BE CONTROLLED TO PREVENT THE CUMULATIVE IMPACT OF NEARBY CONSTRUCTION ACTIVITIES.

Date	By	No.	Revisions
09/01/11	AS		
09/01/11	MD		
09/01/11	PH		

HIGHLAND ESTATES
BUNKER HILL DRIVE STREET IMPROVEMENT PLANS
CONSTRUCTION STAGING & EROSION CONTROL PLANS

CITY OF SAN MATEO SAN MATEO COUNTY CALIFORNIA

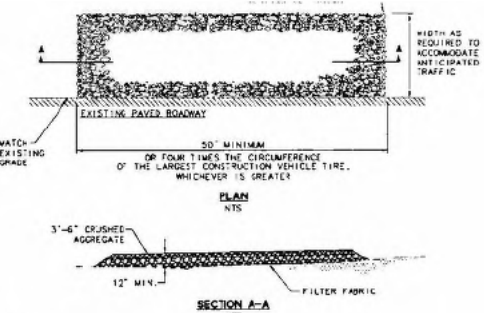


Bkf
 ENGINEERS / SURVEYORS / PLANNERS

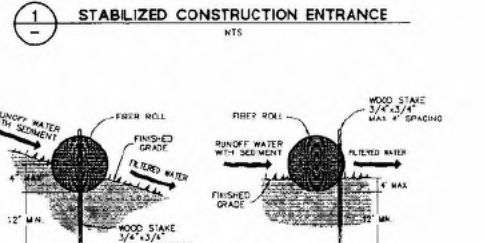
255 SHORELINE DRIVE, SUITE
 REDWOOD CITY, CA 94065
 PHONE: (650) 482-1300
 FAX: (650) 483-6309

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS AND PROJECT STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
2. ALTHOUGH SPECIFIC LOCATIONS FOR SEDIMENT CONTROL FACILITIES ARE SHOWN ON THESE PLANS, IT IS INTENDED THE EROSION CONTROL PLAN BE MODIFIED WHEN NECESSARY TO MEET FIELD CONDITIONS, BASIN AND TRAP SIZES AND ELEVATIONS MAY BE ADJUSTED AS LONG AS THE WASH AND DRAIN AREAS AND DEPTHS FOR SEDIMENT SETTLING AND STORAGE ARE NOT REDUCED.
3. THE INTENT OF THESE PLANS IS TO PROVIDE THE MINIMUM PROTECTION FOR AVERAGE EROSION CONTROL. THE CONTRACTOR SHALL UPDATE THE PLANS TO REFLECT CHANGING SITE CONDITIONS. PLAN UPDATES SHALL BE BASED UPON GENERAL SURVEY DATA. EROSION CONTROL EFFECTIVENESS SHALL ALSO BE MONITORED AND THE PLANS UPGRADED AS REQUIRED TO PREVENT SIGNIFICANT QUANTITIES OF SEDIMENT FROM LEAVING THE DOWNSTREAM DRAINAGE SYSTEM.
4. THIS PLAN WILL COVER ALL THE SITUATIONS THAT ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. IN GENERAL, THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE STORM RUN OFF FROM LEAVING THE SITE. FIBER ROLLS, SAND BAGS, AND NET FENCES SHALL BE USED BY THE CONTRACTOR ON AN AS NEEDED BASIS TO PREVENT SLIT FROM LEAVING THE SITE AND ENTERING THE STORM DRAIN SYSTEM. ALL EXISTING, TEMPORARY, OR REMOVED CATCH BASINS SHALL USE ONE OF THE SEDIMENT BARRIERS SHOWN.
5. THE CONTRACTOR WILL BE LIABLE FOR ANY AND ALL DAMAGES TO PUBLIC AND/OR PRIVATE OWNED AND MAINTAINED ROAD CAUSED BY THE CONTRACTOR'S GRADING ACTIVITIES, AND WILL BE RESPONSIBLE FOR THE CLEANUP OF ANY MATERIAL SPILLED ON ANY PUBLIC ROAD ON THE MAIL ROUTE. ADJACENT PUBLIC ROADS SHALL BE CLEANED AT THE END OF EACH WORKING DAY.
6. BEST MANAGEMENT PRACTICES AS DEFINED IN THE SWPPP SHALL BE OBTAINABLE YEAR AROUND.
7. DURING THE RAINY SEASON, ALL PAVED AREAS ARE TO BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS BY THE CONTRACTOR MAINTAINED AS TO AS MINIMIZE SEDIMENT-LOADED RUNOFF TO ANY STORM DRAIN SYSTEM.
8. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED DAILY DURING THE RAINY SEASON. ALL SLOPES SHALL BE REPAIRED AS SOON AS POSSIBLE WHEN DAMAGED.
9. THE FIRST PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 2 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY AND AN ADDITIONAL 70 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS. THE REMAINING 20 PERCENT OF CONSTRUCTION EQUIPMENT, WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL BE REQUIRED TO USE ENLARGED FUELS.
10. THE SECOND PHASE OF CONSTRUCTION SHALL REQUIRE 30 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 2 EPA CERTIFICATION STANDARDS FOR CLEAN TECHNOLOGY AND AN ADDITIONAL 70 PERCENT OF CONSTRUCTION EQUIPMENT TO MEET Tier 1 EPA CERTIFICATION STANDARDS. THE REMAINING 20 PERCENT OF CONSTRUCTION EQUIPMENT, WHICH WOULD CONSIST OF OLDER TECHNOLOGIES, SHALL USE ENLARGED FUELS.
11. FOR ALL LARGER VEHICLES, INCLUDING GRAVEL MIXERS OR OTHER DEVICES THAT MUST BE DELIVERED BY LARGE TRUCKS, VEHICLES SHALL BE EQUIPPED WITH CURB LEVEL THREE WHEELS CONTROL DEVICES.
12. WATER ALL ACTIVE CONSTRUCTION AREAS AT LEAST TWICE DAILY.
13. COVER ALL TRACKS HAULING SOIL, SAND, AND OTHER LOOSE MATERIALS OR REQUIRE ALL TRACKS TO MAINTAIN AT LEAST TWO FEET OF FRESHBANK.
14. PLANE, APPLY WATER THREE TIMES DAILY, OR APPLY NON-TOXIC SOIL STABILIZERS ON ALL UNPAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
15. SWEET DAILY (WITH WATER) ON ALL PAVED ACCESS ROADS, PARKING AREAS, AND STAGING AREAS AT THE CONSTRUCTION SITES.
16. SWEET PUBLIC STREETS ADJACENT TO CONSTRUCTION SITES DAILY (WITH WATER SWEEPERS) IF VISIBLE SOIL MATERIAL IS CARRIED ONTO THE STREETS.
17. HYDROSEED OR APPLY NON-TOXIC SOIL STABILIZERS TO INACTIVE CONSTRUCTION AREAS (PREVIOUSLY GRADED AREAS INACTIVE FOR 90 DAYS OR MORE).
18. TEMPORARY AND PERMANENT SLOPES GREATER THAN 3 FEET SHALL BE SEEDS UNLESS ALTERNATIVE MEASURES ARE USED.
19. SEED MIX FOR RESEEDING AND HYDROSEEDING NORTHERN CALIFORNIA COVER MIX BY AGREEMENT OR EQUAL.
 - 30% BLUE WILDRIE
 - 30% MAZON BURELY
 - 20% ZORNA FESQUE
 - 10% PAPAL NEDLE GRASS
 - 10% CALIFORNIA NATIVE WILDFLOWERS
20. APPLY AT 40 POUNDS PER ACRE MINIMUM.
21. ENCLOSE COVER WATER TWICE DAILY, OR APPLY NON-TOXIC SOIL BINDERS TO STOCKPILES (DIRT, SAND, ETC.). LIMIT TRACKS SPREAD ON UNPAVED ROADS TO 15 WALS PER HOUR.
22. LIMIT TRUCKS SPREADS ON UNPAVED ROADS TO 15 WALS PER HOUR.
23. INSTALL SANDBAGS OR OTHER EROSION CONTROL MEASURES TO PREVENT SLIT RUNOFF TO PUBLIC ROADWAYS.
24. REPLANT VEGETATION IN DISTURBED AREAS AS SOON AS POSSIBLE.
25. INSTALL WHEEL WASHERS FOR ALL EXITING TRUCKS OR WASH OFF THE TIRES OF TRUCKS OF ALL TRUCKS AND EQUIPMENT LEAVING THE CONSTRUCTION SITE.
26. INSTALL WIND BREAKS AT THE WINDWARD SIDES OF THE CONSTRUCTION AREAS.
27. SUSPEND EXCAVATION AND GRADING ACTIVITIES WHEN WIND (AS INSTANTANEOUS GUSTS) EXCEEDS 15 MILES PER HOUR.
28. NO GRADING SHALL BE ALLOWED DURING THE WINTER SEASON (OCTOBER 15 TO APRIL 15) TO AVOID POTENTIAL SOE EROSION UNLESS APPROVED IN WRITING BY THE COMMUNITY DEVELOPMENT DIRECTOR. THE PROJECT OWNER SHALL SUBMIT A LETTER TO THE CURRENT PLANNING SECTION AT LEAST TWO WEEKS PRIOR TO COMMENCEMENT OF GRADING, STATING THE DATE WHEN GRADING WILL BEGIN.
29. STABILIZE ALL EXPOSED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 15 AND APRIL 15. STABILIZING SHALL INCLUDE BOTH PROACTIVE MEASURES, SUCH AS THE PLACEMENT OF STRAW BAILS OR COIR NETTING, AND PASSIVE MEASURES, SUCH AS MAINTAINING VEGETATION SEEDS AND REVEGETATING DISTURBED AREAS WITH VEGETATION THAT IS COMPATIBLE WITH THE SURROUNDING ENVIRONMENT.

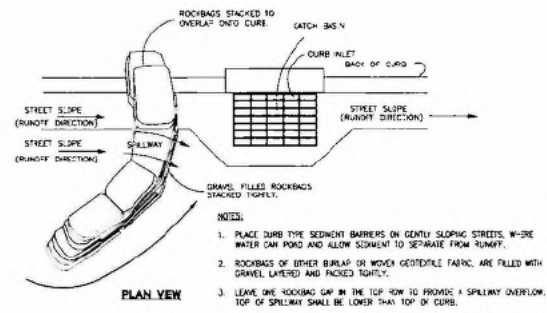
30. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
31. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
32. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITES AND OBTAINING ALL NECESSARY PERMITS.
33. AVOID BURNING, PILING, OR MAINTAINING CHIMBEES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
34. DELINEATE WITH FLYE MARKERS CLEARING LIMITS, SETBACKS, AND DRAINAGE COURSES.
35. PROTECT ADJACENT PROPERTIES AND UNOCCUPIED AREAS FROM CONSTRUCTION IMPACTS USING ADEQUATE BUFFER STRIPS, SEDIMENT BARRIERS OR FILTERS, Dikes, MACHINES OR OTHER MEASURES AS APPROPRIATE.
36. PERFORM CLEARING AND SMITH-WORKING ACTIVITIES ONLY DURING DRY WEATHER.
37. LIMIT AND THE APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
38. ALL GRADED SURFACES AND MATERIALS, WHETHER FILLED, EXCAVATED, TRANSPORTED OR STOCKPILED, SHALL BE WRITTEN, PROTECTED OR CONTAINED IN SUCH A MANNER AS TO PREVENT ANY SIGNIFICANT RUNOFF FROM DUST OR SPILLAGE UPON ADJACENT WATER BODY, PROPERTY, OR STRUITS. EQUIPMENT AND MATERIALS ON THE SITE SHALL BE USED IN SUCH A MANNER AS TO AVOID EXPOSURE TO A DUST CONTROL PLAN MAY BE REQUIRED AT ANYTIME DURING THE COURSE OF THE PROJECT.
39. A DUST PALMATE SHALL BE APPLIED TO THE SITE WHEN REQUIRED BY THE COUNTY. THE TYPE AND RATE OF APPLICATION SHALL BE DETERMINED BY THE SOILS ENGINEER AND APPROVED BY THE DEPARTMENT OF PUBLIC WORKS. THE PLANNING AND BUILDING DEPARTMENTS GEOLOGICAL SECTION, AND THE REGIONAL WATER QUALITY CONTROL BOARD.
40. IF NO WORK HAS PROCEEDED FOR A PERIOD OF 6 WEEKS, FINAL DRAINAGE AND EROSION CONTROL IMPROVEMENTS SHALL BE INSTALLED IN ACCORDANCE WITH AN APPROVED MITIGATION PLAN.
41. PADS SHALL BE GRADED TO IMMEDIATE STANDING WATER. SPECIFIC LOCATIONS REQUIRING SUPPLEMENTAL GRADING TO ACHIEVE ACCEPTABLE DRAINAGE SHALL BE DETERMINED BY THE CONSTRUCTION MANAGER. ALL SPILLS AND SOIL STOCKPILES REMAINING ON SITE SHALL BE COVERED BY SILT FENCE/FIBER ROLLS.
42. STURBED OUT CRIES OF PARTIALLY COMPLETED SUBBASINS SHALL BE COVERED WITH AN APPROVED FABRIC TO PREVENT SOIL AND DEBRIS FROM ENTERING THE PIPE.
43. HAUL ROADS ARE CURRENTLY NOT SHOWN ON THE PLANS. EROSION CONTROL MEASURES SHALL BE TAKEN TO MINIMIZE EROSION RELATED TO HAUL ROADS.
44. GRADING SCHEDULE SHALL BE SUBMITTED FOR APPROVAL TO SAN MATEO COUNTY PUBLIC WORKS BY AUGUST 15.
45. THE NAME, ADDRESS AND 24 HOUR TELEPHONE NUMBER OF THE PERSON RESPONSIBLE FOR IMPLEMENTATION OF EROSION AND SEDIMENTATION CONTROL PLAN SHALL BE PROVIDED TO THE CITY.
46. SHOULD IT APPEAR THAT THE EROSION CONTROL PLAN, OR ANY OTHER WATER TREATMENT, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS, THE CONTRACTOR SHALL CONTACT THE BKF PROJECT ENGINEER AT (650) 482-6300 FOR SUCH FURTHER EXPLANATIONS AS MAY BE NECESSARY.



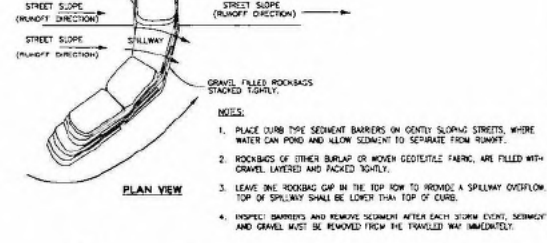
- NOTES:
1. ALL CONSTRUCTION ENTRANCES SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OF FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS CHANGE, AND REPAIR AND/OR CLEANUP IF ANY MEASURES USE TO TRAP SEDIMENT. ALL SEDIMENT FILLED, EXPOSED, WASHED, OR TRACKED ONTO PUBLIC RIGHT-OF-WAYS SHALL BE REMOVED IMMEDIATELY.
 2. WHEELS SHALL BE CLEAN PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAYS. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE THROUGH USE OF INLET PROTECTION (E.G. SAND BAGS OR OTHER APPROVED MEASURES).
 3. THE MATERIAL FOR CONSTRUCTION OF THE PAD SHALL BE 3\"/>



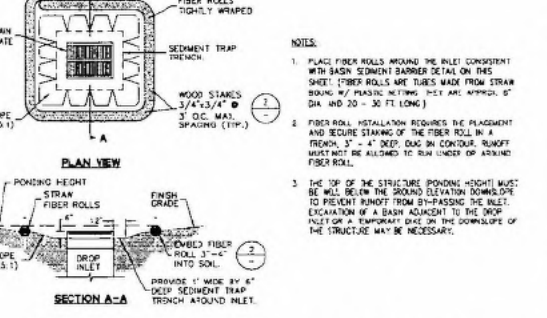
- NOTES:
1. FIBER ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3\"/>



- NOTES:
1. PLACE CURB TIE SEDIMENT BARRIERS ON GENTLY SLOPING STREETS, WHERE WATER CAN POOL AND ALLOW SEDIMENT TO SEPARATE FROM RUNOFF.
 2. ROCKBAGS OF EITHER BURLAP OR WOVEN GEOTEXTILE FABRIC, ARE FILLED WITH GRAVEL, LAYERED AND PACKED TIGHTLY.
 3. LEAVE ONE ROCKBAG GAP IN THE TOP ROW TO PROVIDE A SPILLWAY OVERTOP. TOP OF SPILLWAY SHALL BE LOWER THAN TOP OF CURB.
 4. INSPECT BARRIERS AND REMOVE SEDIMENT AFTER EACH STORM EVENT. SEDIMENT AND GRAVEL MUST BE REMOVED FROM THE TRAVELED WAY IMMEDIATELY.



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- NOTES:
1. PLACE FIBER ROLLS AROUND THE INLET CONSISTENT WITH BASIN SEDIMENT BARRIER DETAIL ON THIS SHEET. FIBER ROLLS ARE TUBES MADE FROM STRAW BOUND W/ PLASTIC NETTING. INST. ARE APPROX. 2\"/>

ALL EROSION CONTROL MEASURES SHALL BE IN PLACE BY OCTOBER 15 AND MAINTAINED DURING ALL PHASES OF CONSTRUCTION.

PLAN CHECK SUBMITTAL - 09/01/2011

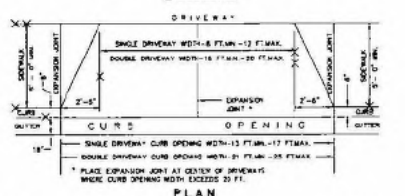
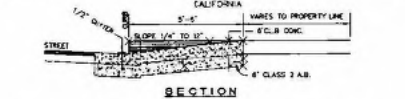
BKF
BANKERS BUILDERS & ENGINEERS
1000 CALIFORNIA STREET, SUITE 100
REDWOOD CITY, CA 94063
PHONE: (650) 482-6300
FAX: (650) 407-6300

**HIGHLAND ESTATES
BUNKER HILL DRIVE STREET IMPROVEMENT PLANS
EROSION CONTROL DETAILS AND NOTES**
SAN MATEO COUNTY
CITY OF SAN MATEO
CALIFORNIA

Project No.	09/09/11
Sheet No.	15 OF 31
Scale	AS SHOWN
Author	JM
Checker	JM
Approved	
Date	09/01/11

CO.50

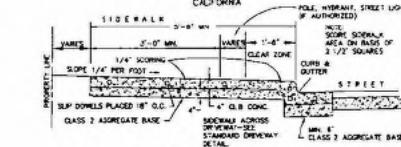
SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: D.P. SCALE: NONE
 CHECK BY: N.A.A. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97



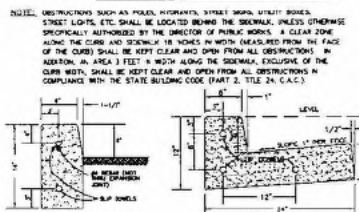
**STANDARD STRUCTURES
 DRIVEWAY WIDTHS AND CURB OPENINGS
 FOR
 SINGLE FAMILY RESIDENTIAL DWELLINGS**

D-1A

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: D.P. SCALE: NONE
 CHECK BY: N.A.A. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97



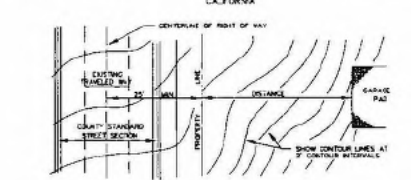
**TYPICAL SECTION
 URBAN CURB, GUTTER AND SIDEWALK**



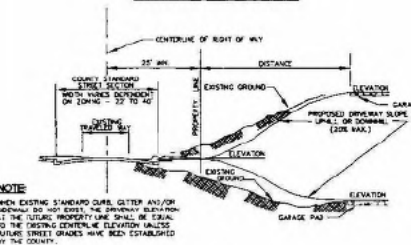
TYPICAL SECTIONS

D-3

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: N.A.A. SCALE: NONE
 CHECK BY: J.E.L. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97



DRIVEWAY PLAN VIEW



DRIVEWAY PROFILE VIEW

D-7

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: N.A.A. SCALE: NONE
 CHECK BY: B.D. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
 STANDARD SPECIFICATIONS**

GENERAL NOTES

1. ALL REFERENCES TO "DISTRICT" IN THESE GENERAL NOTES SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
2. THE APPROVAL OF THESE PLANS BY THE DISTRICT SHALL BE INTERPRETED TO MEAN THAT THE DISTRICT ENGINEER HAS REVIEWED THE PLANS AND DEEMED THEM TO BE IN ACCORDANCE WITH THE DISTRICT'S STANDARDS. THE DISTRICT'S APPROVAL IN NO WAY GUARANTEES ANY OTHER ASPECT OF THIS PLAN OR ITS ACCURACY RELATIVE TO ACTUAL FIELD CONDITIONS.
3. THE CONTRACTOR SHALL CONTACT THE DISTRICT AT 363-4755 OR 363-4100 TWO (2) WORKING DAYS IN ADVANCE OF BEGINNING ANY SANITARY SEWER WORK. THE CONTRACTOR SHALL THEREAFTER KEEP THE INSPECTOR FOR THE DISTRICT INFORMED OF HIS SCHEDULE FOR SANITARY SEWER WORK.
4. ALL SANITARY SEWER WORK CONSTRUCTED WITHOUT INSPECTION BY THE DISTRICT SHALL BE REMOVED AND RECONSTRUCTED WITH INSPECTION.
5. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT FORTY-EIGHT (48) HOURS IN ADVANCE OF BEGINNING ANY WORK.
6. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BEFORE BEGINNING ANY EXCAVATING.
7. THE CONTRACTOR SHALL OBTAIN ANY AND ALL PERMITS REQUIRED BY THE COUNTY OR CITY BEFORE BEGINNING ANY SANITARY SEWER WORK.
8. UPON THE COMPLETION OF CONSTRUCTION A COMPLETE SET OF REPRODUCIBLE "AS-CONSTRUCTED" PLANS SHALL BE PROVIDED TO THE DISTRICT.
9. SANITARY SEWER SERVICE SHALL BE MAINTAINED AT ALL TIMES. THE CONTRACTOR SHALL USE WHATEVER MEANS ARE NECESSARY (E.G. PUMPS, ETC.) TO MAINTAIN THIS SERVICE DURING CONSTRUCTION.
10. PRIOR TO COMMENCING ANY SANITARY SEWER WORK OFF-SITE EASEMENTS THE CONTRACTOR SHALL PROVIDE THE DISTRICT WITH ADEQUATE EVIDENCE THAT ALL AFFECTED PROPERTY OWNERS (AND TENANTS WHERE APPLICABLE) WERE ADVISED IN ADVANCE OF THE DATE WORK IN THESE EASEMENTS WAS TO BEGIN AND THAT THEY HAVE UPDATED THAT NOTICE IN A TIMELY MANNER WHEN THOSE DATES HAVE CHANGED.

C-13

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
 DRAWN BY: N.A.A. SCALE: NONE
 CHECK BY: B.D. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
 STANDARD SPECIFICATIONS**

PIPE AND FITTINGS

- POLYVINYL CHLORIDE PIPE (PVC)**
1. ALL PIPE AND FITTINGS SHALL CONFORM TO ASTM SPECIFICATIONS D3034, SDR 35.
 2. ALL JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH ELASTOMERIC SEALING GASKETS. SEALING GASKETS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION D2089. SOLVENT CEMENT JOINTS ARE NOT PERMITTED.
 3. ALL PVC ENTERING OR LEAVING A CONCRETE STRUCTURE SHALL HAVE A RUBBER WATERSTOP GASKET ATTACHED TO IT. THE WATERSTOP GASKET SHALL CONFORM TO THE PIPE MANUFACTURER'S SPECIFICATIONS. THE WATERSTOP GASKET SHALL BE SEATED FINALLY AROUND THE PIPE EXTERIOR AND BE CAST INTO THE CONCRETE STRUCTURE.
 4. ALL PIPE JOINTS SHALL BE MADE USING MANUFACTURED PVC COUPLINGS. BAND TYPE COMPRESSION COUPLINGS ARE NOT PERMITTED.
- DUCTILE IRON PIPE (DIP)**
1. ALL PIPE SHALL BE HIGHEST CLASS 50 (THIN WALL PIPE SHALL BE THICKNESS CLASS 45) IN ACCORDANCE WITH AND SPECIFICATIONS A21.13. FITTINGS SHALL BE IN ACCORDANCE WITH AND SPECIFICATION A21.10.
 2. JOINTS SHALL BE PUSH-ON TYPE OR MECHANICAL JOINT TYPE IN ACCORDANCE WITH AND SPECIFICATION A21.13. RUBBER GASKETS FOR PUSH-ON JOINTS SHALL BE IN ACCORDANCE WITH AND SPECIFICATIONS HEREIN.
 3. PIPE AND FITTINGS SHALL HAVE A 1/16" (ONE-SIXTEENTH) INCH) GROUT-WORTHY LINING WITH AN ASPHALTIC SEAL COAT.
- VITRIFIED CLAY PIPE (VCP)**
1. PIPE AND FITTINGS SHALL BE EXTRA STRENGTH, UNGLAZED, BELL AND SPIGOT, CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATION D4034.
 2. JOINTS SHALL BE A BELL AND SPIGOT ASSEMBLY WITH FACTORY INSTALLED FLEXIBLE COMPRESSION TYPE GASKETS MADE OF PLASTICIZED POLYETHYLENE OR POLYURETHANE CONFORMING TO THE LATEST REVISION OF ASTM SPECIFICATIONS C495. BAND TYPE COUPLINGS ARE NOT ALLOWED.

C-14

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
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**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
 STANDARD SPECIFICATIONS**

TESTING REQUIREMENTS

1. ALL REFERENCES TO "DISTRICT" IN THESE TESTING REQUIREMENTS SHALL MEAN THE APPROPRIATE COUNTY SEWER OR SANITATION DISTRICT.
2. ALL REQUIRED CLEANING AND TESTING OF SANITARY SEWER MAINS AND LATERALS SHALL BE PERFORMED IN THE PRESENCE OF A REPRESENTATIVE OF THE DISTRICT.
3. ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL BE CLEANED BY MEANS OF A HIGH SPEED Jet ROCKER PRIOR TO TESTING. WAP AND DVP SHALL BE TESTED FOR OBSTRUCTION BY BALL ROLLING.
4. ALL SANITARY SEWER MAINS BEING CONSTRUCTED SHALL PASS A LOW PRESSURE AIR TEST (EACH SECTION OF MAIN SHALL BE TESTED BETWEEN SUCCESSIVE MANHOLES. THE LOW PRESSURE AIR TEST SHALL BE CONDUCTED IN THE FOLLOWING MANNER:
 A COMPRESSED AIR SUPPLY SHALL BE ATTACHED TO AN AIR FITTING ON THE MAIN AND THE AIR PRESSURE WITHIN THE LINE INCREASED TO FOUR (4) THOUSAND PEE SQUARE INCH (PSI). AFTER THE AIR SUPPLY IS SECURELY TURNED OFF OR DISCONNECTED, THERE SHALL BE A TWO (2) MINUTE WAITING PERIOD BEFORE THE ACTUAL TEST PERIOD BEGINS TO ALLOW STABILIZATION OF AIR WITHIN THE MAIN.
 IN NO CASE SHALL THE AIR PRESSURE WITHIN THE LINE BE LESS THAN 3.5 PSI AT THE BEGINNING OF THE TEST PERIOD. REFER TO THE CHART WHICH FOLLOWS FOR THE LENGTH OF THE TEST PERIOD. THE MINIMUM LENGTH OF TEST IS TWO (2) MINUTES. THE ALLOWABLE AIR PRESSURE LOSS DURING THE TEST PERIOD SHALL BE 1.0 PSI. A WRITTEN RECORD OF THE TEST SHALL BE SUBMITTED TO THE DISTRICT BY THE CONTRACTOR.

NOMINAL PIPE SIZE (Inches)	LENGTH OF LINE (feet)	LENGTH OF TEST (minutes)
4	ALL	2
6	0 - 300	2
6	300 - 570	2 1/2
6	570 AND GREATER	3
8	0 - 170	2
8	170 - 210	2 1/2
8	210 - 250	3
8	250 - 290	3 1/2
8	290 AND GREATER	4
10	0 - 110	3 1/2
10	110 - 165	4
10	165 - 215	4
10	215 AND GREATER	4 3/4

C-15

SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS
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 CHECK BY: B.D. DATE: 6/25
 APPROVED BY: N.B.C. REVISED: 1/97

**SAN MATEO COUNTY SEWER AND SANITATION DISTRICTS
 STANDARD SPECIFICATIONS**

TESTING REQUIREMENTS

1. A TELEVISION INSPECTION SHALL BE MADE OF ALL SANITARY SEWER MAINS BEING CONSTRUCTED. IMMEDIATELY PRIOR TO TELEVISION THE SEWER, AN AMOUNT OF WATER ACCEPTABLE TO THE DISTRICT'S REPRESENTATIVE SHALL BE INTRODUCED INTO THE SEWER MAIN BEING INSPECTED.
 A VIDEO TAPE IN VHS FORMAT AT 30 OR EQUIVALENT SPEED SHALL BE MADE OF THE INSPECTION AND DELIVERED ALONG WITH A WRITTEN LOG OF THE INSPECTION TO THE DISTRICT (SAN MATEO COUNTY DEPARTMENT OF PUBLIC WORKS) FOR REVIEW AND ACCEPTANCE.
 SUBMITTED VIDEO TAPES SHALL INCLUDE A CONTINUOUS ON-SCREEN DISPLAY WHICH CONTAINS AS A MINIMUM, THE DATE OF THE FILMING, IDENTIFICATION OF THE LINE AND SEGMENT (REACH) OF THE LINE BEING FILMED, AND A REBOUND IN FEET, SHOWING THE DISTANCE TO THE ENTRY POINT.
 IF, IN THE OPINION OF THE DISTRICT, THE SUBMITTED VIDEO TAPES ARE OF POOR QUALITY, THE DISTRICT MAY REQUEST THE VIDEO TAPES AND REQUIRE THE VIDEO INSPECTION TO BE REPEATED AND NEW VIDEO TAPES SUBMITTED TO THE DISTRICT FOR REVIEW AND ACCEPTANCE. ALL VIDEO TAPES SHALL BECOME THE PROPERTY OF THE DISTRICT.
2. DEFLECTION TESTING OF POLYVINYL CHLORIDE (PVC) SEWER MAINS SHALL BE PERFORMED AFTER THE INSTALLATION OF ALL TRENCH BACKFILL. PIPE DEFLECTION SHALL BE TESTED BY PULLING BY HAND A 60/20/20 MANHOLE THROUGH THE INSTALLED SECTIONS OF SEWER MAIN.
 THE MANHOLE USED SHALL HAVE A MINIMUM LENGTH EQUAL TO ITS DIAMETER. THE MANHOLE SHALL BE CONSTRUCTED WITH A MINIMUM OF NINE (9) RINGS PARALLEL TO ITS LONGITUDINAL AXIS. BOTH THE DESIGN OF THE MANHOLE AND THE FABRICATED MANHOLE TEST SHALL BE INSPECTED AND APPROVED BY THE DISTRICT WELL IN ADVANCE OF THE DEFLECTION TEST.
 THE MANHOLE DIAMETER SHALL BE 50% OF THE PIPE'S AVERAGE INSIDE DIAMETER AS DEFINED BY ASTM SPECIFICATION D3034, AND IS DEFINED IN THE FOLLOWING TABLE.

NOMINAL PIPE SIZE (Inches)	AVERAGE INSIDE DIAMETER (Inches)	MINIMUM MANHOLE DIAMETER (Inches)
6	5.893	5.591
8	7.395	7.493
10	9.064	8.371

NOTE: AVERAGE INSIDE DIAMETER = AVERAGE OUTSIDE DIAMETER - 2(1.041), WHERE 1.041 = MINIMUM WALL THICKNESS AS DEFINED BY ASTM SPECIFICATION D3034.

C-16

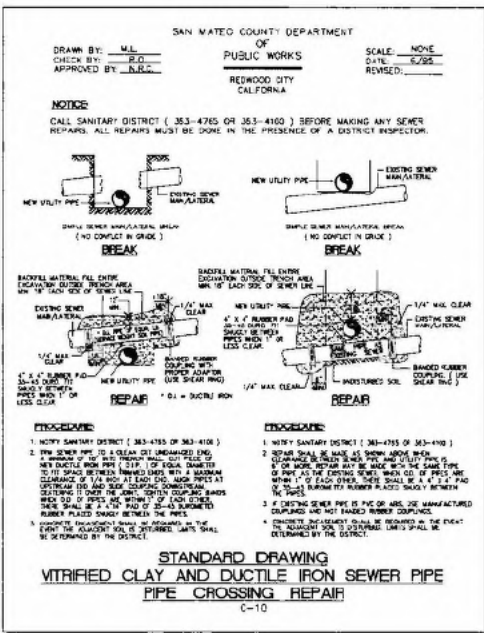
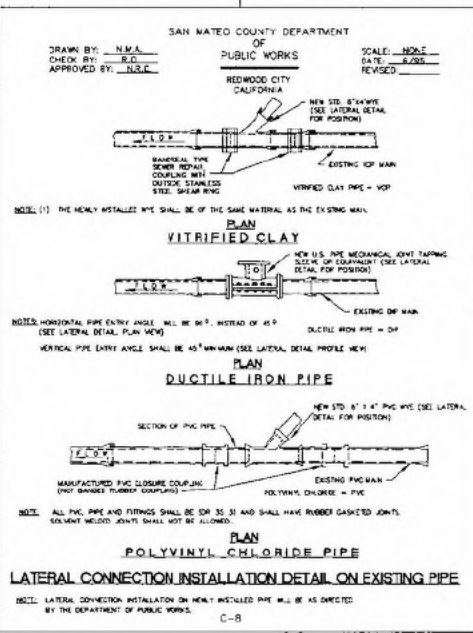
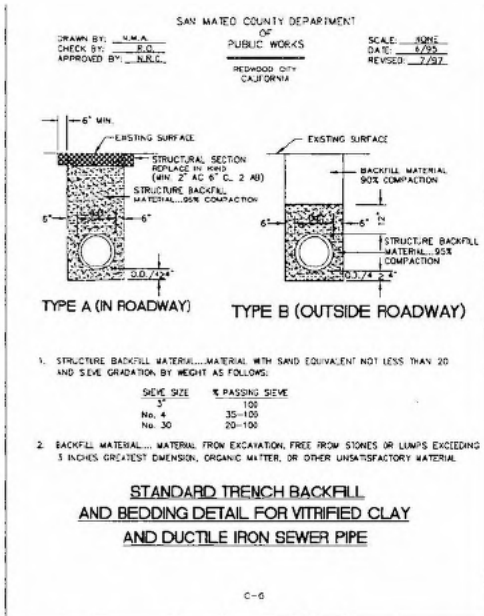
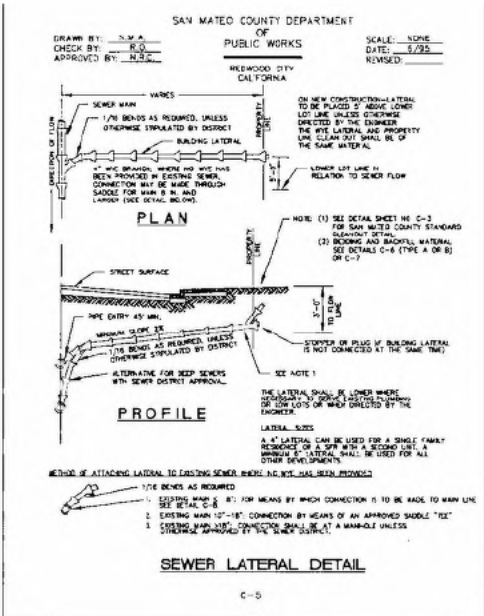
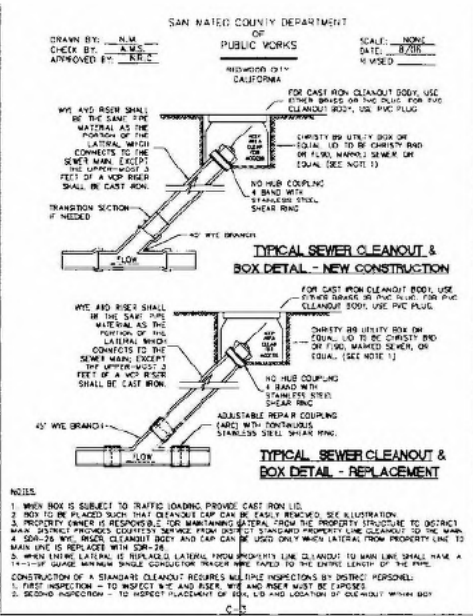
PLAN CHECK SUBMITTAL - 09/01/2011



HIGHLAND ESTATES
 BUNKER HILL DRIVE STREET IMPROVEMENT PLANS
 CONSTRUCTION DETAILS
 CITY OF SAN MATEO
 SAN MATEO COUNTY
 CALIFORNIA

Date	By (P/E)	Checked	By (P/E)	Approved	By (P/E)	Job No.

CO.60



PLAN CHECK SUBMITTAL - 09/01/2011

BUNKER HILL DRIVE STREET IMPROVEMENT PLANS
CONSTRUCTION DETAILS

CITY OF SAN MATEO
SAN MATEO COUNTY
CALIFORNIA

Revision

No.	Date	By	Checked	Approved	Job No.
1	09/01/11	N.M.A.	R.O.	N.R.C.	08-25-11

CO.70
OF

DRAWING NAME: K:\PROJECTS\2010\BUNKER HILL\CONTRACT\10-511\PLAN\CONSTRUCTION DETAILS
CLOT DATE: 08-25-11
PLOTTED BY: c61e

200 SHARPLESS DRIVE, SUITE 100
SAN MATEO, CA 94067
PHONE: (650) 442-4300
FAX: (650) 442-8399

