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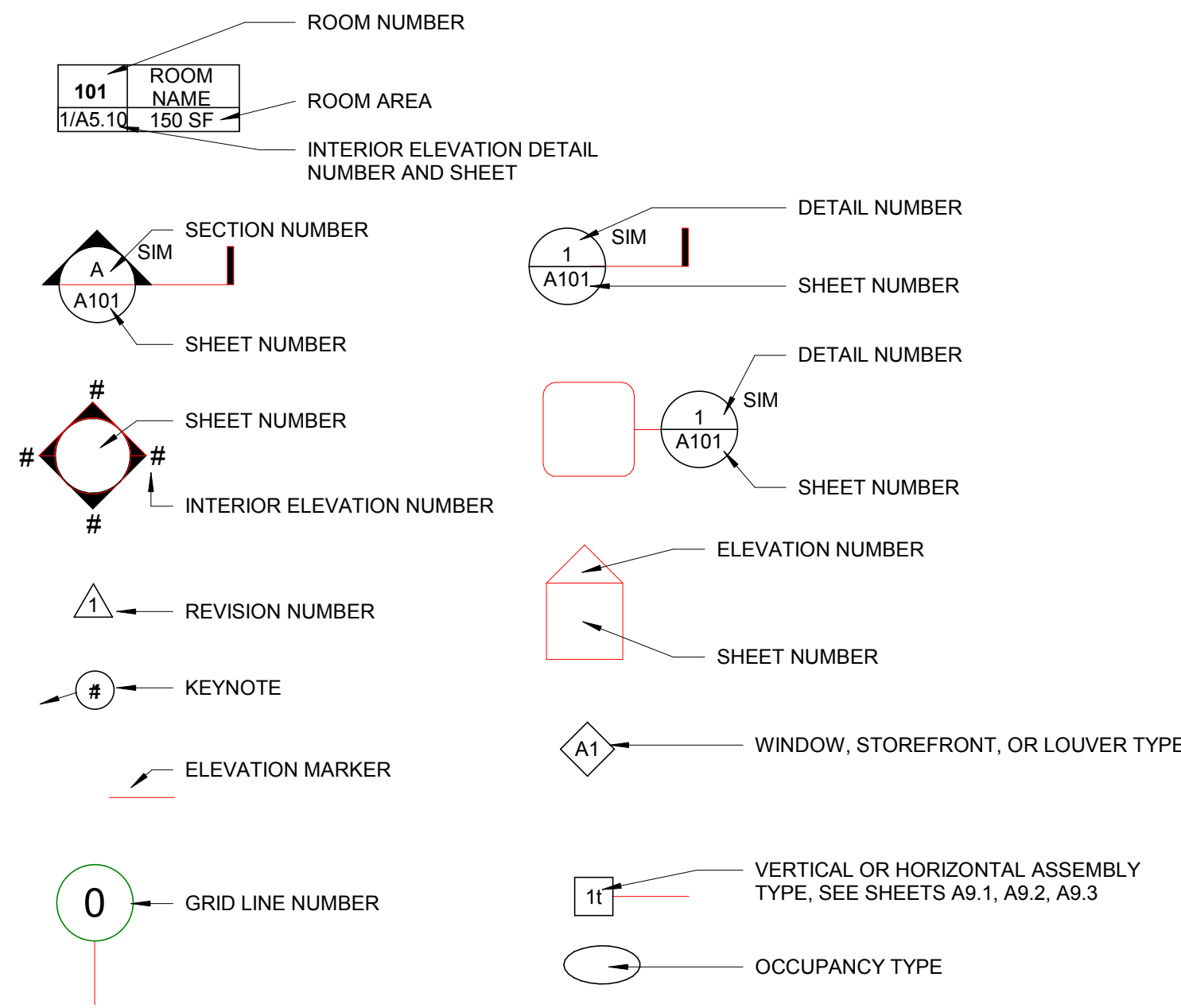
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 CHECKED BY: Checker  
 DATE: JUNE 20, 2018  
 SCALE:  
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 TITLE SHEET

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G0.00

NOT FOR CONSTRUCTION

GRAPHIC SYMBOLS



ABBREVIATIONS

&	AND	KIT.	KITCHEN
<	ANGLE	LAU.	LAUNDRY
@	AT	LAND'G	LANDING
A.B.	ANCHOR BOLT	LAV.	LAVATORY
ABV	ABOVE	LT.	LIGHT
A.C.	ASPHALTIC CONC	MAX.	MAXIMUM
ACC	ACCESSIBLE	M.C.	MEDICINE CABINET
ACOUS.	ACOUSTICAL	MECH.	MECHANICAL
A.D.	AREA DRAIN	MTL.	METAL
ADJ.	ADJACENT	MFR.	MANUFACTURER
ALUM.	ALUMINIUM	MIN.	MINIMUM
APL	ASSUMED PROPERTY LINE	MTD.	MOUNTED
AUTO.	AUTOMATIC	MULL.	MULLION
BALC.	BALCONY	N/A	NOT APPLICABLE
BD.	BOARD	N.I.C.	NOT IN CONTRACT
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BLKG.	BLOCKING	O/	OVER
BM.	BEAM	O.C.	ON CENTER
B.O.C.	BOTTOM OF CURB	OFF.	OFFICE
BTM.	BOTTOM	O.H.	OVERHANG
B.S.W.	BACK OF SIDEWALK	OPNG.	OPENING
BTWN.	BETWEEN	PERF.	PERFORATED
CABT.	CABINET	PL.	PLATE
CEM.PLAS.	CEMENT PLASTER	PROP.	PROPERTY LINE
C.J.	CONTROL JOINT	PLAS. LAM.	PLASTIC LAMINATE
C.L.	CENTERLINE	P.O.	PARTIALLY OPERABLE
CLG.	CEILING	P.T.	PRESSURE TREATED
CLKG.	CAULKING		OR POST TENSIONED
CL.	CLOSET	PTD.	PAINTED
CLR.	CLEAR	PLYWD.	PLYWOOD
C.M.U.	CONCRETE MASONRY UNIT	RISER	RISER
COL.	COLUMN	REC.	RECESSED
CONC.	CONCRETE	REF.	REFRIGERATOR
CONN.	CONNECTION	REINF.	REINFORCED
CONT.	CONTINUOUS	REQ'D	REQUIRED
CONST.	CONSTRUCTION	RM.	ROOM
CNTR.	COUNTER	R.O.	ROUGH OPENING
CSMT.	CASEMENT	R.W.L.	RAINWATER LEADER
D	DRYER	S.A.D.	SEE ARCHITECTURAL DRAWINGS
DBL.	DOUBLE	S.C.	SOLID CORE
DET.	DETAIL	S.C.D	SEE CIVIL DRAWINGS
DIA.	DIAMETER	S.S.D	SEE STRUCTURAL DRAWINGS
DIM.	DIMENSION	SCH.	SCHEDULE
DR.	DOOR	SEC.	SECTION
D.S.	DOWNSPOUT	S.E.D.	SEE ELECTRICAL DRAWINGS
DWG.	DRAWING	S.F.	SUBFLOOR
EA.	EACH	S.G.	SAFETY GLAZING
E.J.	EXPANSION JOINT	SH.	SHELF
ELEV.	ELEVATION	SHLV.S.	SHELVES
ELEC.	ELECTRIC	SHT.	SHEET
ENCL.	ENCLOSURE	SIM.	SIMILAR
E.P.	ELECTRIC PANEL	S.L.D.	SEE LANDSCAPE DRAWINGS
EQ.	EQUAL	S.M.	SHEET METAL
EQPT.	EQUIPMENT	S.M.D.	SEE MECHANICAL DRAWINGS
EXT.	EXTERIOR	S.P.	STANDPIPE
F.A.I.	FRESH AIR INTAKE	S.P.D.	SEE PLUMBING DRAWINGS
F.D.	FLOOR DRAIN	SPECS.	SPECIFICATIONS
FDN.	FOUNDATION	SQ.	SQUARE
F.E.	FIRE EXTINGUISHER	S.S.	STAINLESS STEEL
F.E.C.	FIRE EXTINGUISHER CABINET	STD.	STANDARD
F.F.	FINISHED FLOOR	STL.	STEEL
FIN.	FINISH OR FINISHED	STOR.	STORAGE
FLASH'G	FLASHING	STRUCT.	STRUCTURAL
FLEX	FLEXIBLE	SV	SHEET VINYL
FLR.	FLOOR	T.B.	TOWEL BAR
F.O.B.	FACE OF BEAM	T&G	TONGUE AND GROOVE
F.O.C.	FACE OF CONCRETE	TEL.	TELEPHONE
F.O.F.	FACE OF FINISH	TEMP.GL.	TEMPERED GLASS
F.O.S.	FACE OF STUD	THRESH.	THRESHOLD
F.O.W.	FACE OF WALL	T.O.	TOP OF
FT. , '	FOOT	T.O.C.	TOP OF CURB
FTG.	FOOTING	T.O.PL.	TOP OF PLATE
GA.	GAUGE	T.O.S.	TOP OF SLAB
GAR.	GARAGE	T.O.W.	TOP OF WALL
G.B.	GRAB BAR	TPH	TOILET PAPER HOLDER
GL.	GLASS	T.	TREAD (OR TEMPERED)
GLAZ.	GLAZING	T.S.	TUBE STEEL
G.S.M.	GALVANIZED SHEET METAL	TYP.	TYPICAL
G.W.B.	GYPSON WALL BOARD	U.O.N.	UNLESS OTHERWISE NOTED
GYP.	GYPSON	VCT	VINYL COMPOSITION TILE
H.B.	HOSE BIB	VERT.	VERTICAL
HDWR.	HARDWARE	VEST.	VESTIBULE
H.M.	HOLLOW METAL	V.G.D.F.	VERTICAL GRAIN DOUG. FIR
HORIZ.	HORIZONTAL	V.I.F.	VERIFY IN FIELD
HPR.	HOPPER	W	WASHER
HR.	HOOR	W/	WITH
H.R.	HANDRAIL	W.C.	WATER CLOSET
HT.	HEIGHT	WD.	WOOD
IN. , "	INCHES	WDW.	WINDOW
INSUL.	INSULATION	W.H.	WATER HEATER
INT.	INTERIOR	W/O	WITHOUT
INTERM.	INTERMEDIATE	W.O.	WHERE OCCURS
JT.	JOINT	W.P.	WATERPROOF
		W.S.	WHEELSTOP

DRAWING SHEET INDEX

SHEET NUMBER	SHEET NAME
<b>00 - GENERAL</b>	
G0.00	TITLE SHEET
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G0.02	RENDERED SITE VIEWS
G0.03	RENDERED SITE VIEWS
<b>01 - CIVIL</b>	
C1.0	CONCEPTUAL GRADING PLAN
C2.0	CONCEPTUAL UTILITY PLAN
C3.0	PRELIMINARY STORMWATER MANAGEMENT PLAN
<b>02 - LANDSCAPE</b>	
L1.0	CONCEPTUAL LANDSCAPE PLAN
<b>04 - ARCHITECTURAL</b>	
A1.01	SITE PLAN + SITE SECTION
A3.01	BUILDING TYPE A, TYPICAL PLANS + ELEVATIONS
A3.02	BUILDING TYPE B, TYPICAL PLANS + ELEVATIONS
A3.03	BUILDING TYPE C, TYPICAL PLANS + ELEVATIONS
A3.04	BUILDING TYPE D, TYPICAL PLANS + ELEVATIONS
A3.05	BUILDING TYPE D, TYPICAL ELEVATIONS
A3.06	COMMUNITY BUILDING, PLANS + ELEVATIONS

ACCESSIBILITY SUMMARY

THIS PROJECT IS A PUBLICLY FUNDED PROJECT COMPLYING WITH CHAPTER 11B OF THE 2016 CALIFORNIA BUILDING CODE (CBC).

**RESIDENTIAL BUILDINGS:**  
 BUILDING TYPE A: MULTI-FAMILY, NON-ELEVATOR-SERVED BUILDINGS COMPRISED OF MULTI-STORY TOWNHOMES WITH GROUND-LEVEL ENTRIES. 10% OF UNITS MUST COMPLY WITH 11B-233.3.1.2.4, AND PROVIDE AN ACCESSIBLE ROUTE.

BUILDINGS TYPE B,C,D: MULTI-FAMILY, STACKED FLATS WITH STAIR-ONLY ACCESS TO LEVEL 2 UNITS. DWELLING UNITS WITH REQUIRED MOBILITY OR HEARING/VISUALLY IMPAIRED FEATURES ARE ALSO LOCATED ON THE GROUND-LEVEL, AND SHALL COMPLY WITH CHAPTER 11B OF THE 2016 CBC. ALL REMAINING GROUND-FLOOR UNITS COMPLY WITH CHAPTER 11A, DIVISION IV PER SECTION 233.1.2 OF THE 2016 CBC.

**COMMUNITY BUILDING:**  
 THE COMMUNITY BUILDING IS A LEASING OFFICE, RESIDENTIAL SERVICES AND COMMUNITY CENTER AND COMPLIES WITH CHAPTER 11B OF THE 2016 CBC.

BUILDING CODES

THIS PROJECT SHALL COMPLY WITH THE 2016 CALIFORNIA BUILDING CODE, WHICH ADOPTS THE 2015 IBC, 2015 UMC, 2015 UPC AND THE 2014 NEC.

PROJECT TEAM

**OWNER / APPLICANT**  
 MIDPEN HOUSING CORP.  
 303 VINTAGE PARK DRIVE, SUITE 250  
 FOSTER CITY, CA 94404  
 650.235.7675  
 CONTACT: ANDREW BIELAK

**ARCHITECT**  
 PYATOK ARCHITECTS  
 1611 TELEGRAPH AVENUE, SUITE 200  
 OAKLAND, CA 94612  
 510.465.7010  
 CONTACT: PETER WALLER

**CIVIL ENGINEER**  
 BKF ENGINEERS  
 255 SHORELINE DRIVE, SUITE 200  
 REDWOOD CITY, CA 94065  
 650.482.6300  
 CONTACT: LAUREN BOYLE BERMAN

**LANDSCAPE ARCHITECT**  
 JONI L. JANECKI & ASSOCIATES, INC.  
 515 SWIFT STREET, SANTA CRUZ, CA 95060  
 831.423.6040  
 CONTACT: GEORGIA LEUNG



PROJECT SUMMARY

THE PROPOSED PROJECT CONSISTS OF 71 UNITS OF NEW AFFORDABLE MULTIFAMILY RESIDENTIAL UNITS IN 18 BUILDINGS, AND A COMMUNITY BUILDING FOR RESIDENT SERVICES AND LEASING.

PROJECT ADDRESS: CARLOS STREET, MOSS BEACH, SAN MATEO COUNTY, CA

SITE AREA: 10.875 ACRES  
 TOTAL UNITS: 71 UNITS  
 SITE DENSITY: 6.5 UNITS / ACRE

	RESIDENTIAL BUILDINGS	COMMUNITY BUILDING
CONSTRUCTION TYPE:	TYPE VB	TYPE VB
OCCUPANCY TYPE:	R2	A3

DEVELOPMENT STANDARDS

	PROVIDED
BLDG. SETBACK WEST	11 FT
BLDG. SETBACK SOUTH	156 FT
BLDG. SETBACK EAST	182 FT
BLDG. SETBACK NORTH	135 FT

DENSITY	6.5 UNITS/ACRE
LOT COVERAGE	0.94 ACRES
USABLE OPEN SPACE	APPROX. 6 ACRES
BUILDING HEIGHT	2 STORIES

PARKING SPACES	142 SPACES
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AERIAL CONTEXT







CONTEXT AERIAL VIEW



SITE AERIAL VIEW



SITE AERIAL VIEW

# CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

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AERIAL PERSPECTIVES

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CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

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RENDERED SITE VIEWS

SHEET:  
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[VIEW 1] WEST SITE VIEW



VIEW CONTEXT KEY



[VIEW 2] SIERRA STREET VIEW



[VIEW 3] LINCOLN STREET VIEW

NOTE: IMAGES DO NOT DEPICT FINAL MATERIALS / DESIGN PROPOSAL. FOR STUDY PURPOSES ONLY.





VIEW CONTEXT KEY



[VIEW A] SITE ENTRANCE LOOKING NORTHEAST



[VIEW B] COMMUNITY CENTER LOOKING NORTHWEST

NOTE: IMAGES DO NOT DEPICT FINAL MATERIALS / DESIGN PROPOSAL. FOR STUDY PURPOSES ONLY.

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**RENDERED SITE VIEWS**

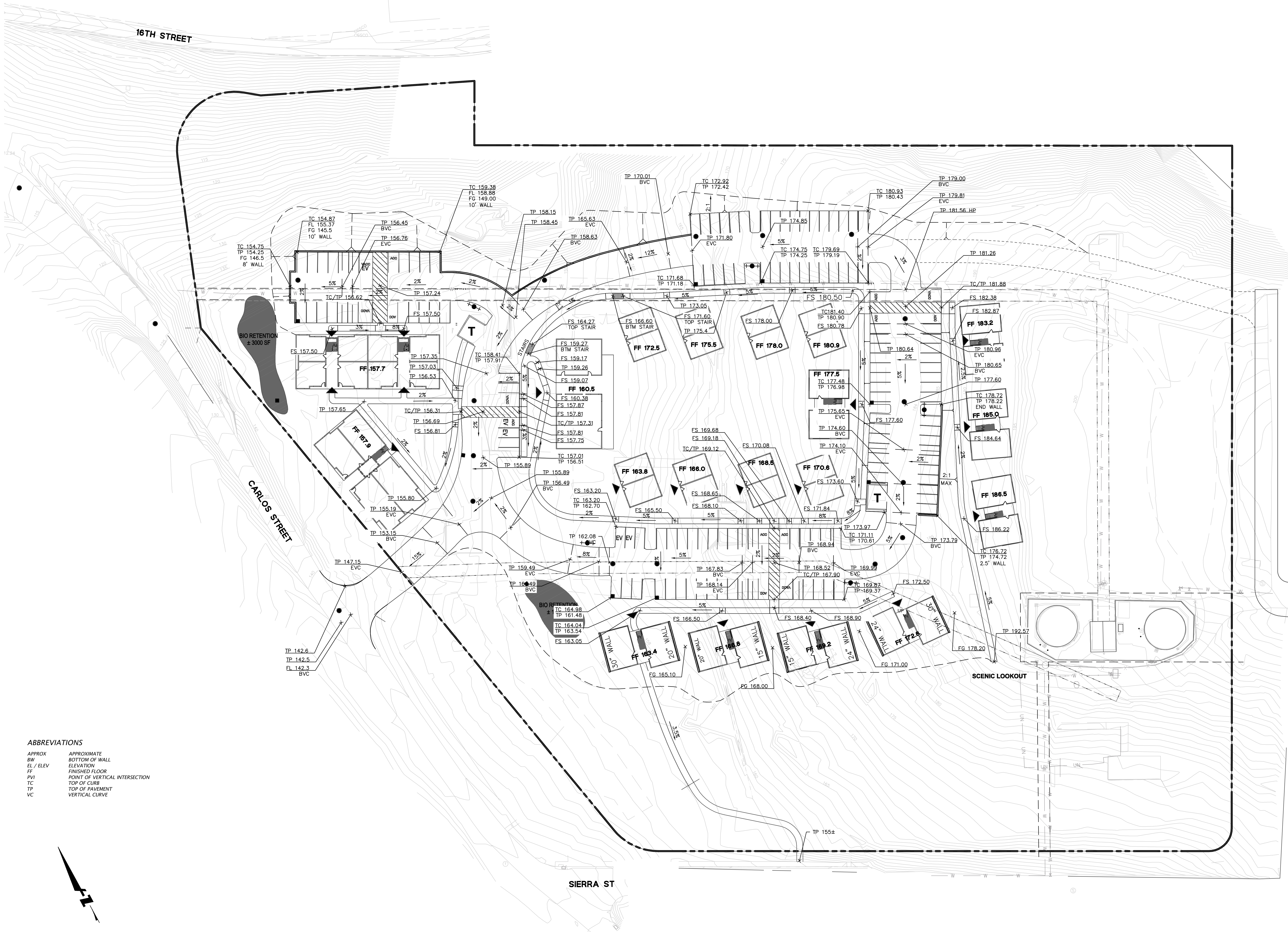
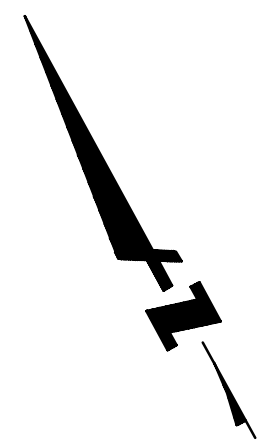
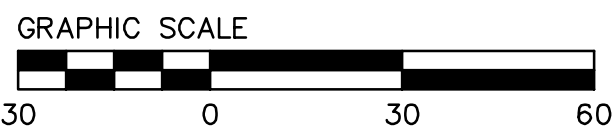
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PLOT DATE: 06-04-18 PLOTTED BY: boys

ABBREVIATIONS  
APPROX APPROXIMATE  
BW BOTTOM OF WALL  
EL / ELEV ELEVATION  
FF FINISHED FLOOR  
PVI POINT OF VERTICAL INTERSECTION  
TC TOP OF CURB  
TP TOP OF PAVEMENT  
VC VERTICAL CURVE



CYPRESS POINT  
MIDPEN HOUSING CORPORATION  
CONCEPTUAL GRADING PLAN  
COUNTY OF SAN MATEO

CITY OF MOSS BEACH

Revisions		No.	Date
	AS SHOWN		06/01/18
	DESIGN		06/01/18
	DRAWN		06/01/18
	APPROVED		06/01/18
Drawing Number:		C1.0	
		1 OF 3	

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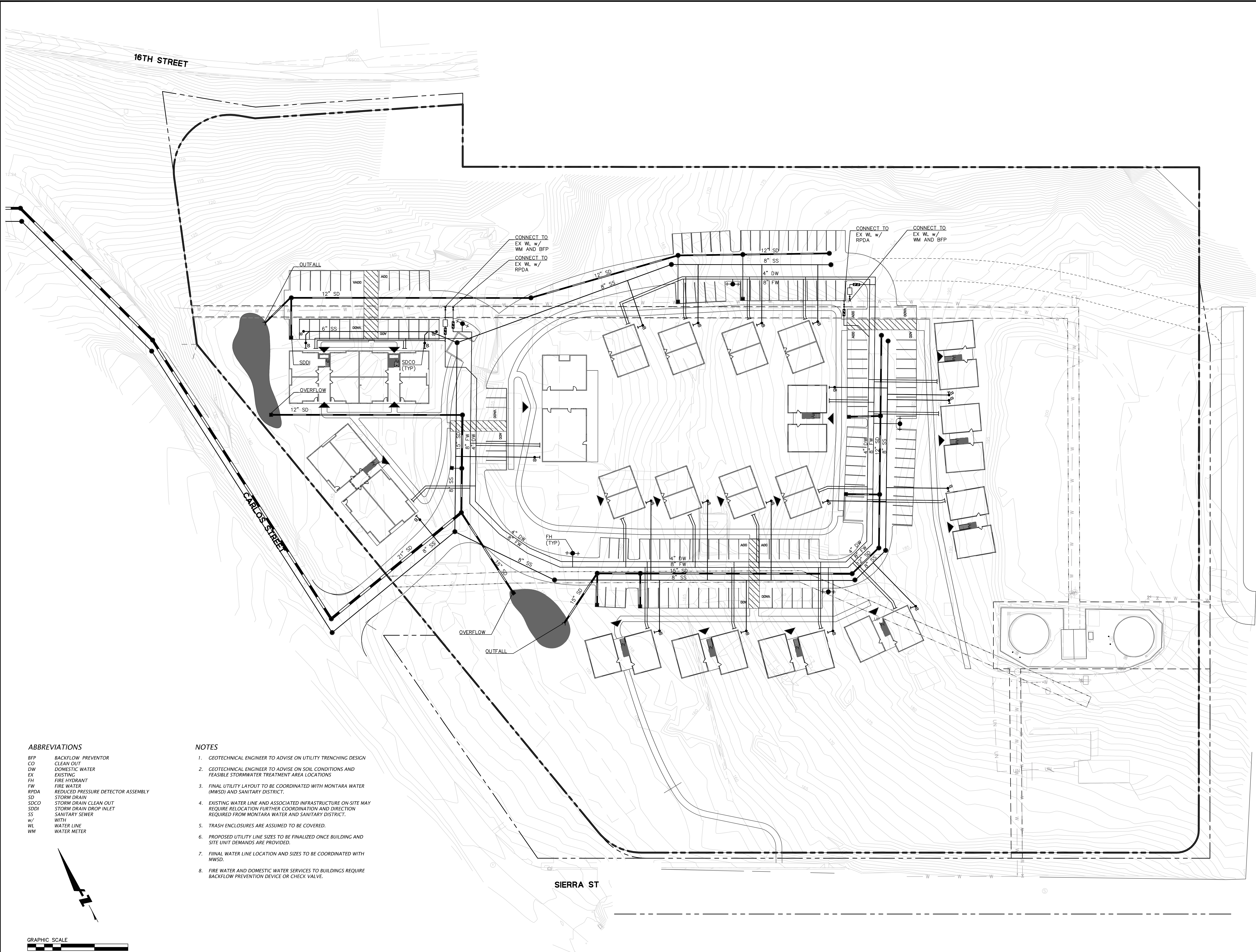
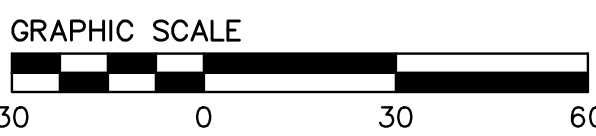
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PLOT DATE: 06-04-18 PLOTTED BY: teli

#### ABBREVIATIONS

BFP BACKFLOW PREVENTOR  
CO CLEAN OUT  
DW DOMESTIC WATER  
EX EXISTING  
FH FIRE HYDRANT  
FW FIRE WATER  
RPDA REDUCED PRESSURE DETECTOR ASSEMBLY  
SD STORM DRAIN  
SDCO STORM DRAIN CLEAN OUT  
SDDI STORM DRAIN DROP INLET  
SS SANITARY SEWER  
W/ WITH  
WL WATER LINE  
WM WATER METER

#### NOTES

1. GEOTECHNICAL ENGINEER TO ADVISE ON UTILITY TRENCHING DESIGN
2. GEOTECHNICAL ENGINEER TO ADVISE ON SOIL CONDITIONS AND FEASIBLE STORMWATER TREATMENT AREA LOCATIONS
3. FINAL UTILITY LAYOUT TO BE COORDINATED WITH MONTARA WATER (MWS) AND SANITARY DISTRICT.
4. EXISTING WATER LINE AND ASSOCIATED INFRASTRUCTURE ON-SITE MAY REQUIRE RELOCATION FURTHER COORDINATION AND DIRECTION REQUIRED FROM MONTARA WATER AND SANITARY DISTRICT.
5. TRASH ENCLOSURES ARE ASSUMED TO BE COVERED.
6. PROPOSED UTILITY LINE SIZES TO BE FINALIZED ONCE BUILDING AND SITE UNIT DEMANDS ARE PROVIDED.
7. FINAL WATER LINE LOCATION AND SIZES TO BE COORDINATED WITH MWS.
8. FIRE WATER AND DOMESTIC WATER SERVICES TO BUILDINGS REQUIRE BACKFLOW PREVENTION DEVICE OR CHECK VALVE.



Date	No.	Revisions
06/01/18	AS SHOWN	
Design	QJS	
Drawn	QJS	
Approved	JMD	
Job No	20160074	

Drawing Number:  
**C2.0**  
2 OF 3

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CITY OF MOSS BEACH  
COUNTY OF SAN MATEO

### CYPRESS POINT MIDPEN HOUSING CORPORATION CONCEPTUAL UTILITY PLAN

CALIFORNIA

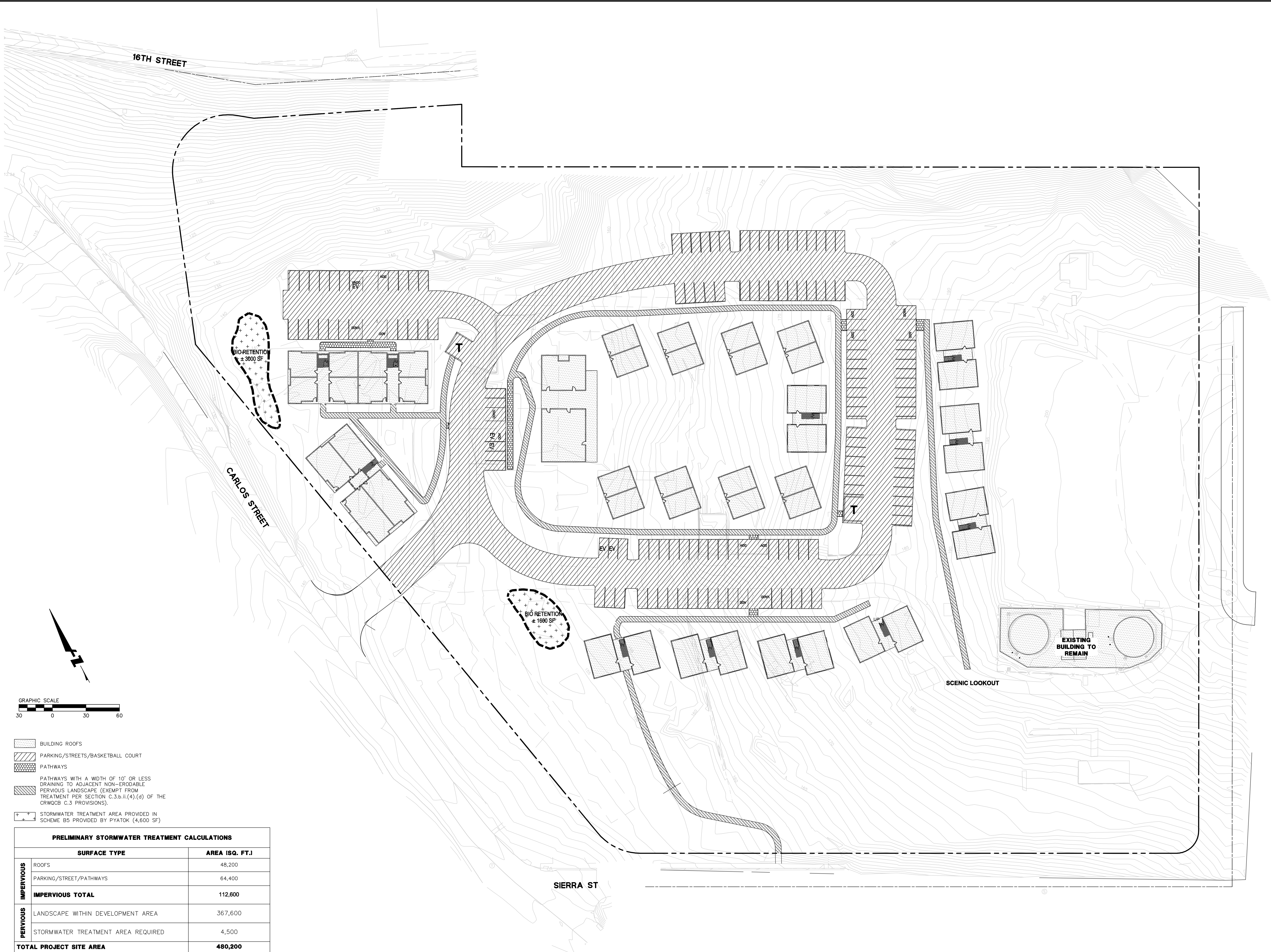


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PLOT DATE: 06-04-18 PLOTTED BY: boyd



- BUILDING ROOFS
- PARKING/STREETS/BASKETBALL COURT
- PATHWAYS
- PATHWAYS WITH A WIDTH OF 10' OR LESS DRAINING TO ADJACENT NON-ERODIBLE PERVIOUS LANDSCAPE (EXEMPT FROM TREATMENT PER SECTION C.3.b.ii.(4).(d) OF THE CRWQCB C.3 PROVISIONS).
- STORMWATER TREATMENT AREA PROVIDED IN SCHEME B5 PROVIDED BY PYATOK (4,600 SF)

PRELIMINARY STORMWATER TREATMENT CALCULATIONS		
SURFACE TYPE		AREA (SQ. FT.)
IMPERVIOUS	ROOFS	48,200
	PARKING/STREET/PATHWAYS	64,400
	IMPERVIOUS TOTAL	112,600
PERVIOUS	LANDSCAPE WITHIN DEVELOPMENT AREA	367,600
	STORMWATER TREATMENT AREA REQUIRED	4,500
TOTAL PROJECT SITE AREA		480,200



Date	No.	Revisions
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Approved: JMD		
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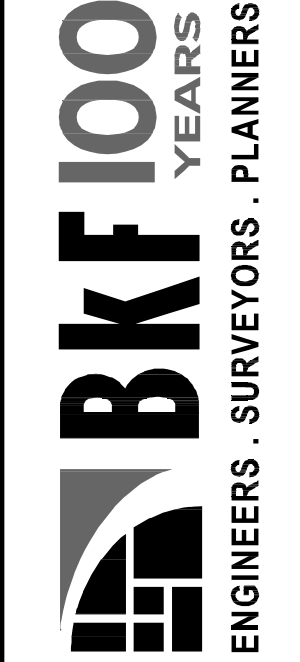
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C3.0

CYPRESS POINT  
MIDPEN HOUSING CORPORATION  
PRELIMINARY STORMWATER MANAGEMENT PLAN

CITY OF MOSS BEACH

COUNTY OF SAN MATEO

CALIFORNIA



255 SHORELINE DR.,  
SUITE 200  
REDWOOD CITY, CA 94065  
415.962.6300  
www.bkf.com

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#### TREE LEGEND

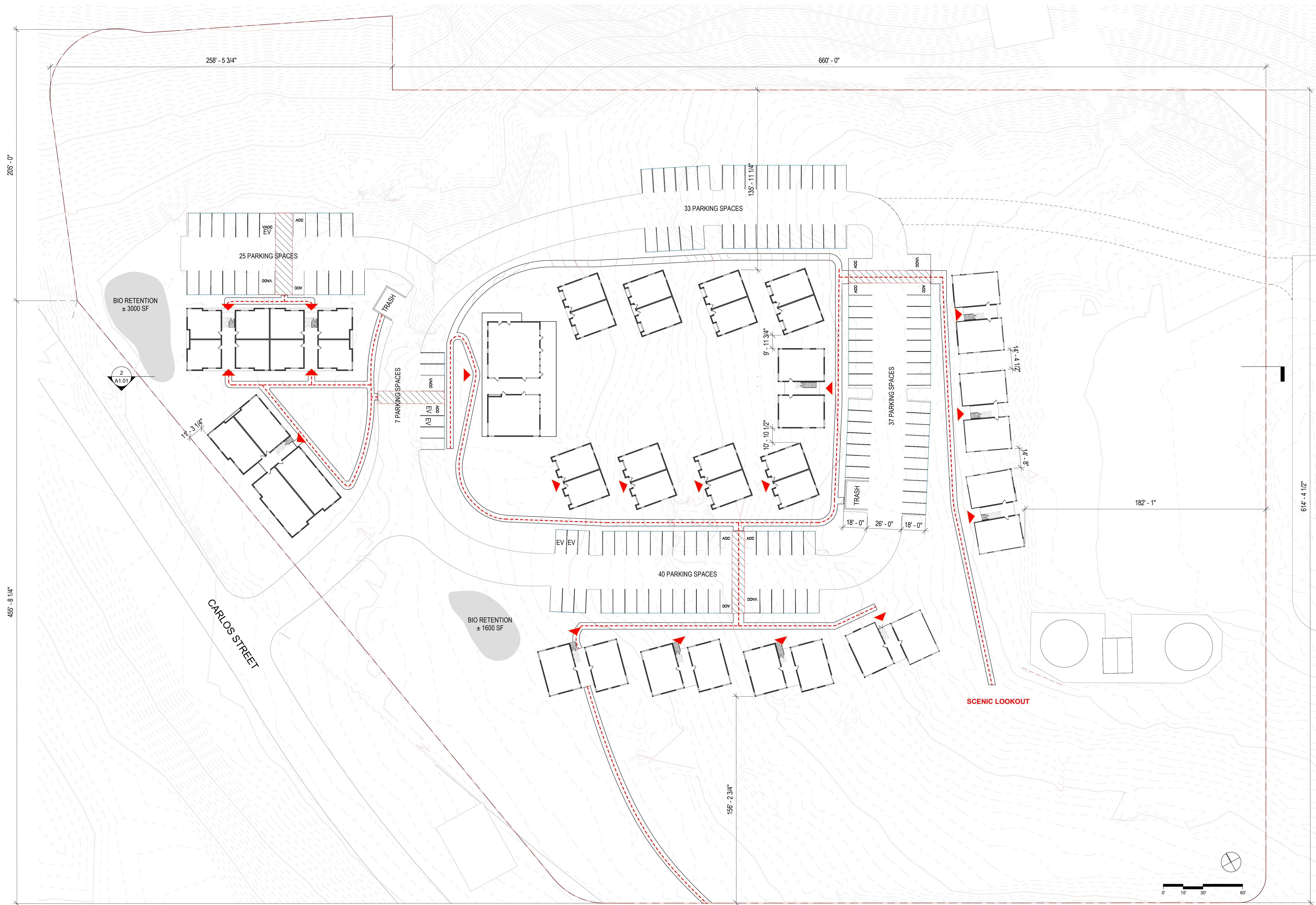
- EXISTING HEALTHY TREES TO BE LEFT IN PLACE WHERE FEASIBLE.



#### KEY NOTES

- CYPRESS POINT ENTRY DRIVE
- BIORETENTION AREA
- PLAY STRUCTURE (AGES 2-5 YEARS) ON RUBBER PLAY SURFACE
- LAWN AREA
- TRELLIS, SEATING, AND BBQ AREA
- BOULDER RETAINING WALL (LESS THAN 30" HIGH)
- CONCRETE RETAINING WALL (HEIGHT VARIES)
- GATHERING AREA WITH SEATING, PING PONG TABLE, AND BIKE RACKS
- LOW MAINTENANCE PLANTING ON SLOPE - NATIVE TREES, SHRUBS, AND GRASSES
- STAIRS WITH HANDRAILS
- COMMUNITY GARDEN WITH DEER FENCE, RAISED BEDS, COMPOST AREA, TOOL SHED, AND FRUIT TREES
- WASTE ENCLOSURE (2 TOTAL)
- SCENIC OVERLOOK WITH PICNIC TABLES, BOULDER WALLS, AND GRAVEL PAVING
- EXISTING GRAVEL ACCESS ROAD
- EXISTING WATER TANKS
- TRAIL - CLEARED FOOT PATH AROUND SITE
- PARKING LOT - ASPHALT PAVING
- ACCESSIBLE CROSSING
- PATH TO SIERRA STREET
- EMERGENCY VEHICLE ROUTE (GRAVEL)
- SEATING AREA





SITE PLAN 1  
1" = 30'-0"



SITE SECTION 2  
1" = 30'-0"

# CYPRESS POINT FAMILY COMMUNITY

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CYPRESS POINT FAMILY COMMUNITY

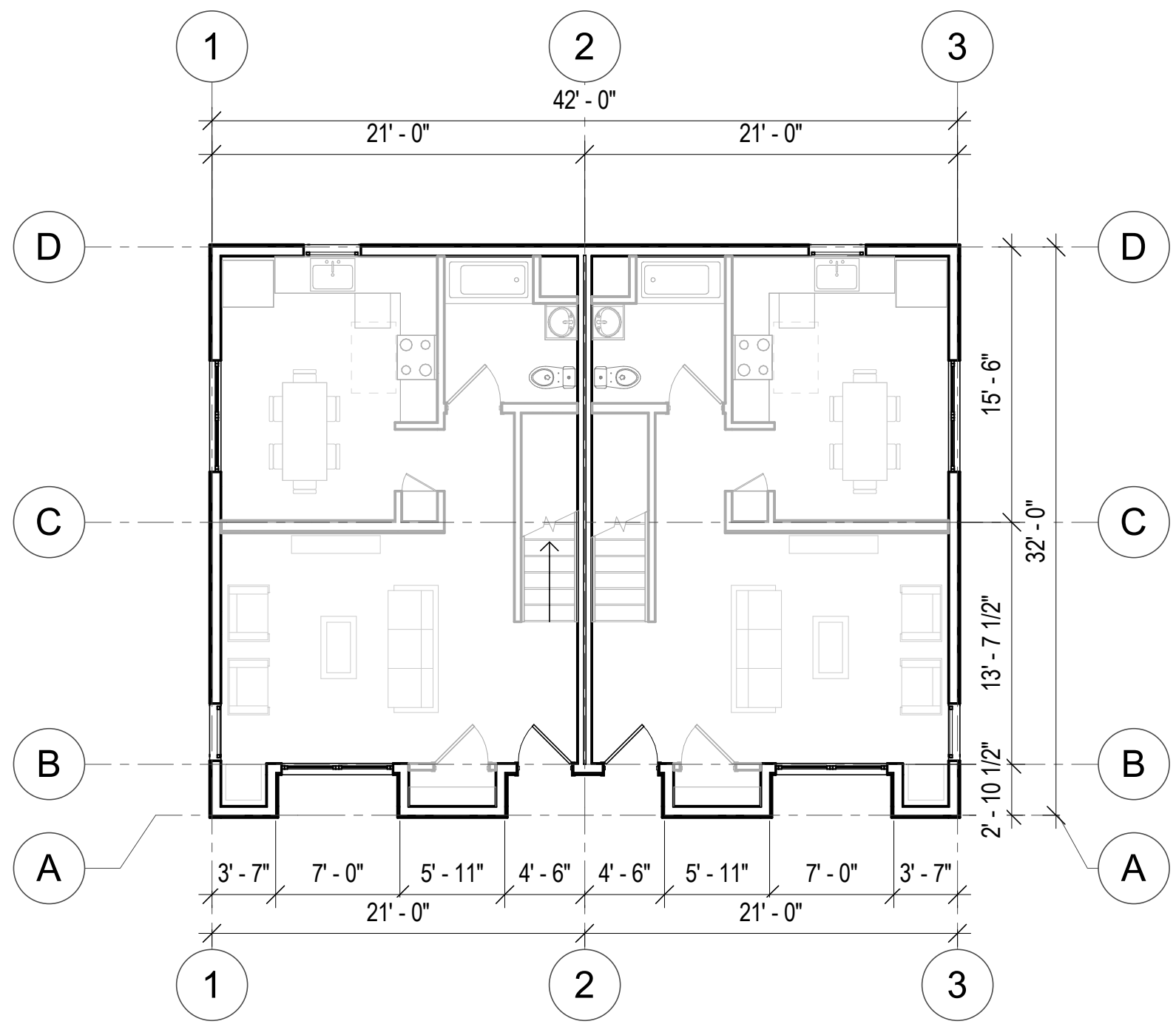
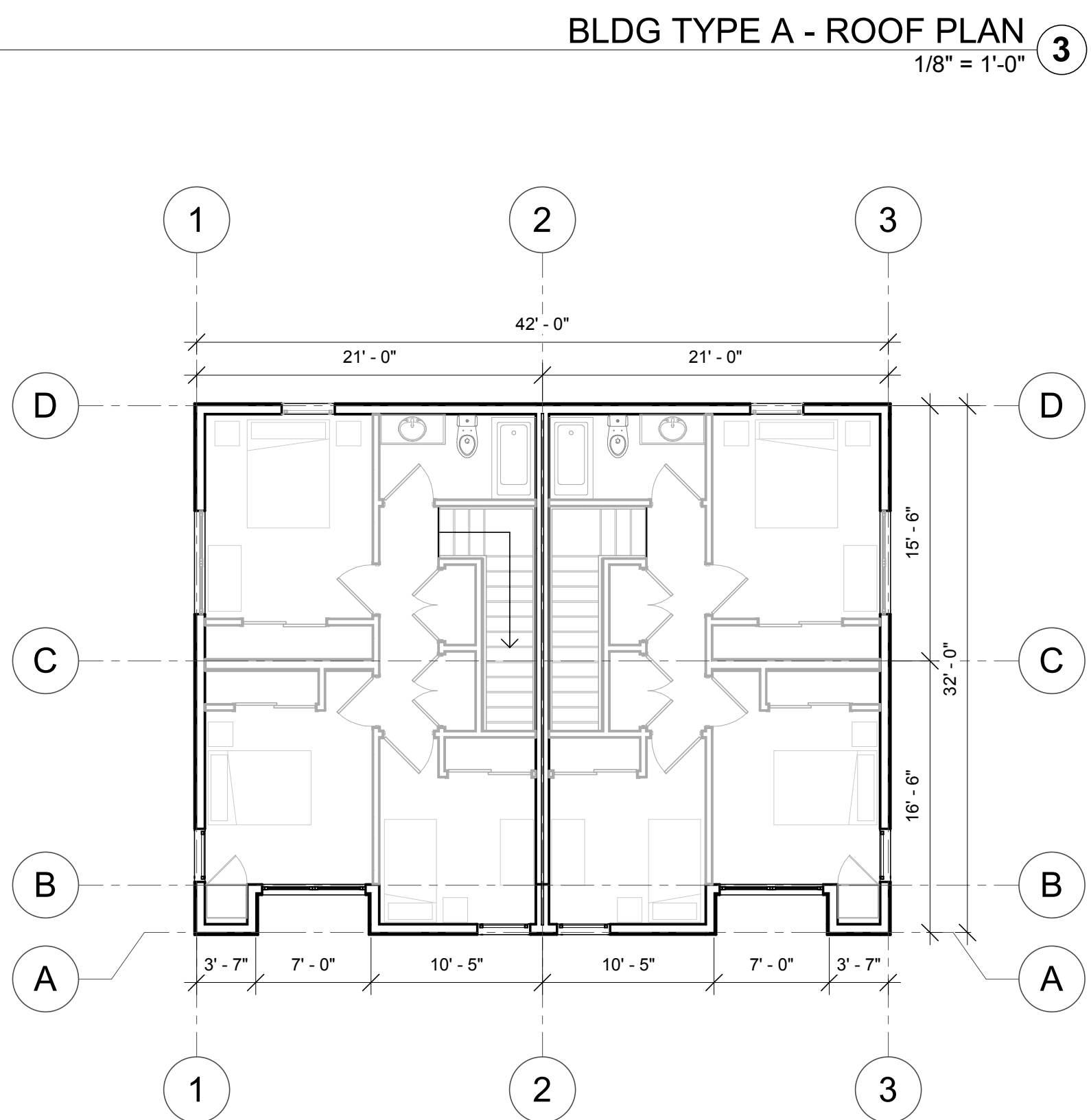
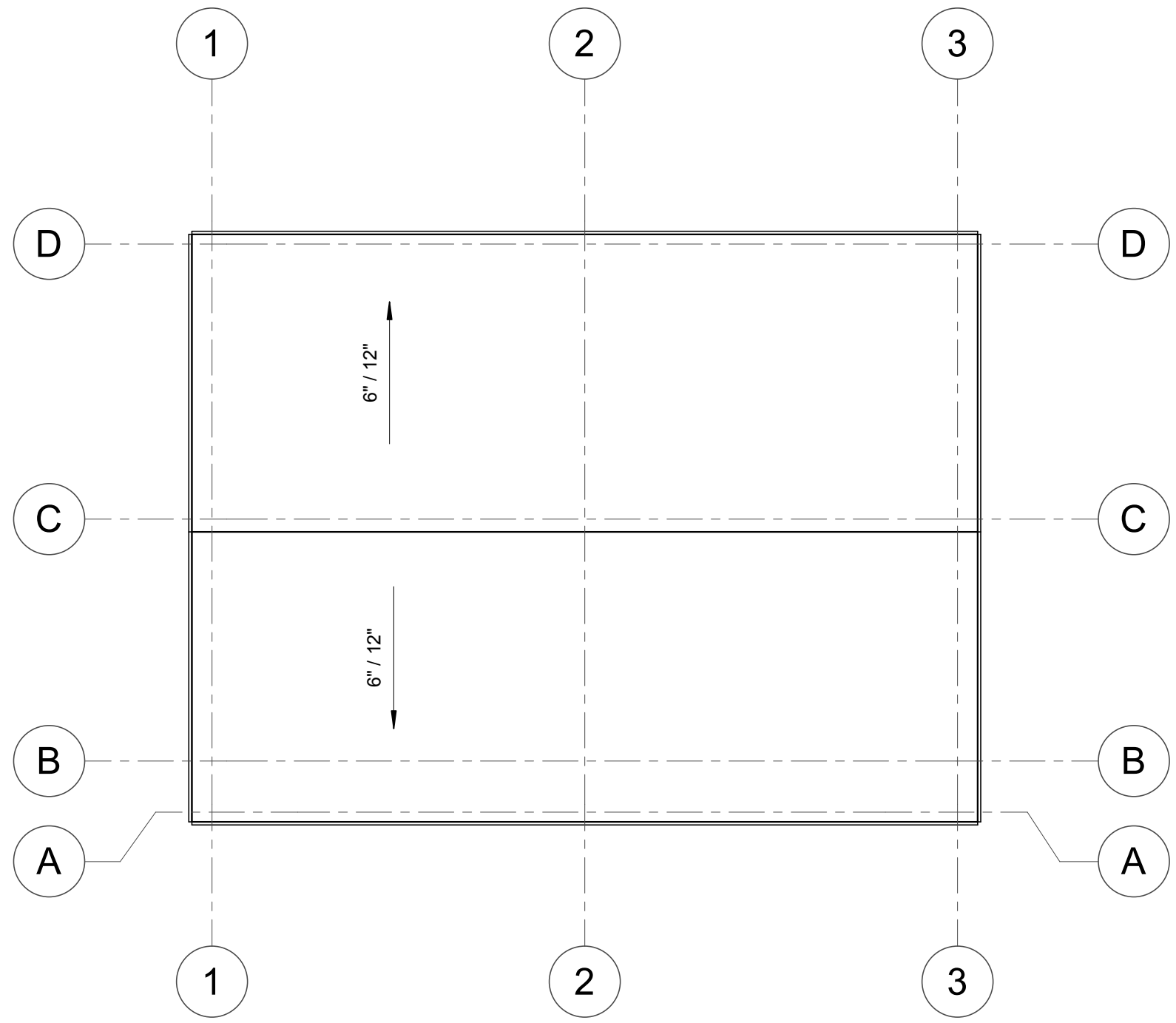
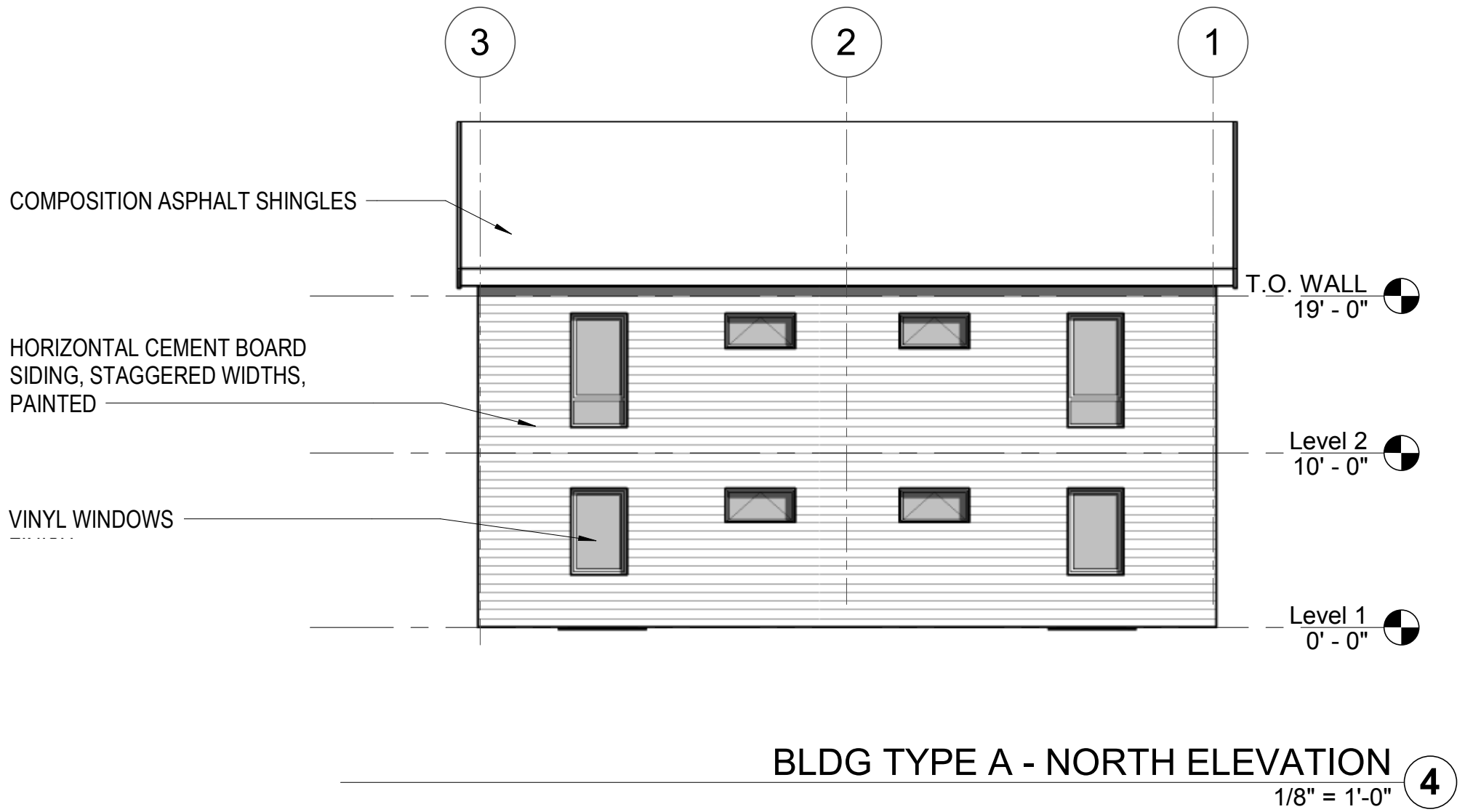
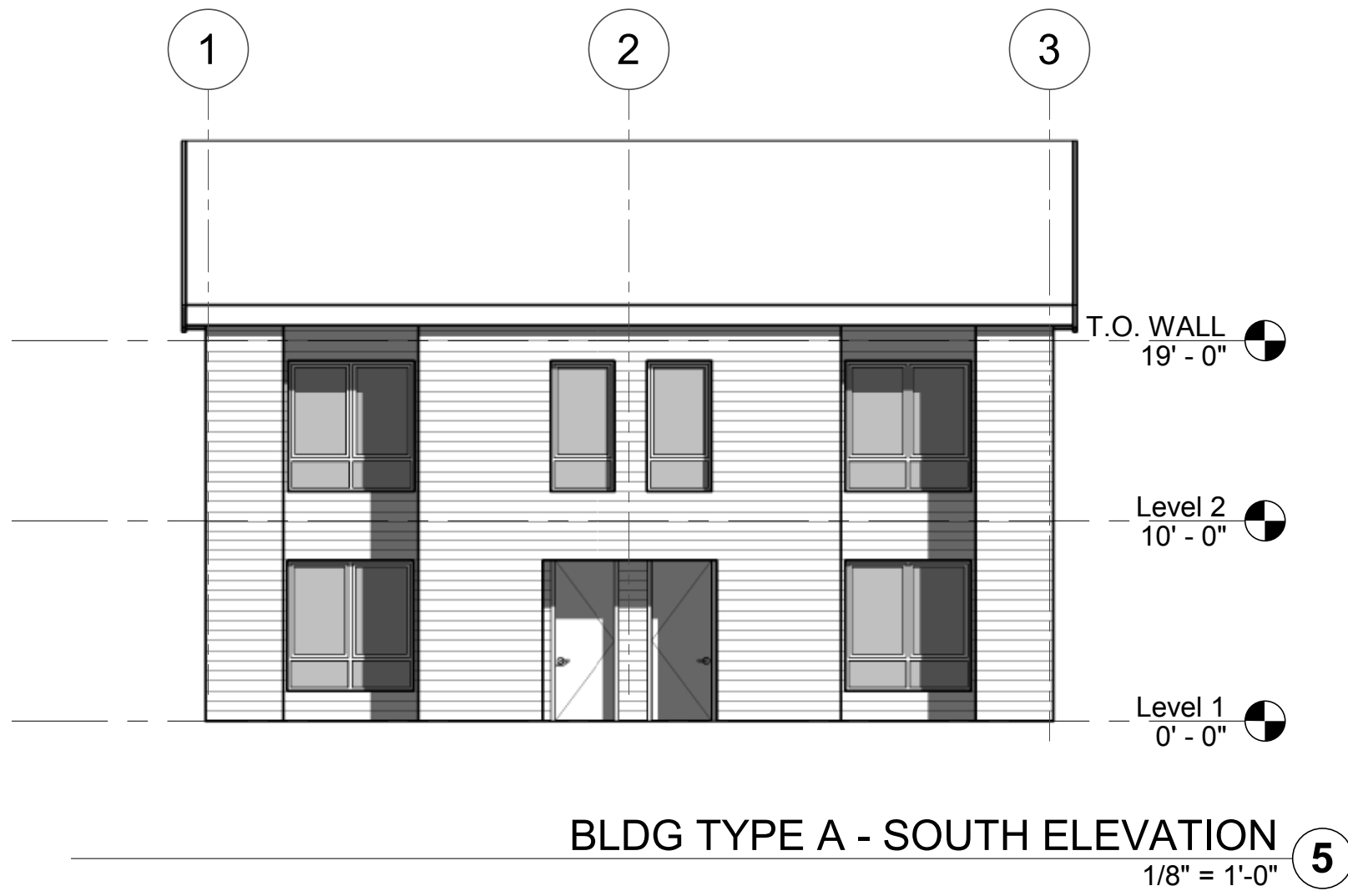
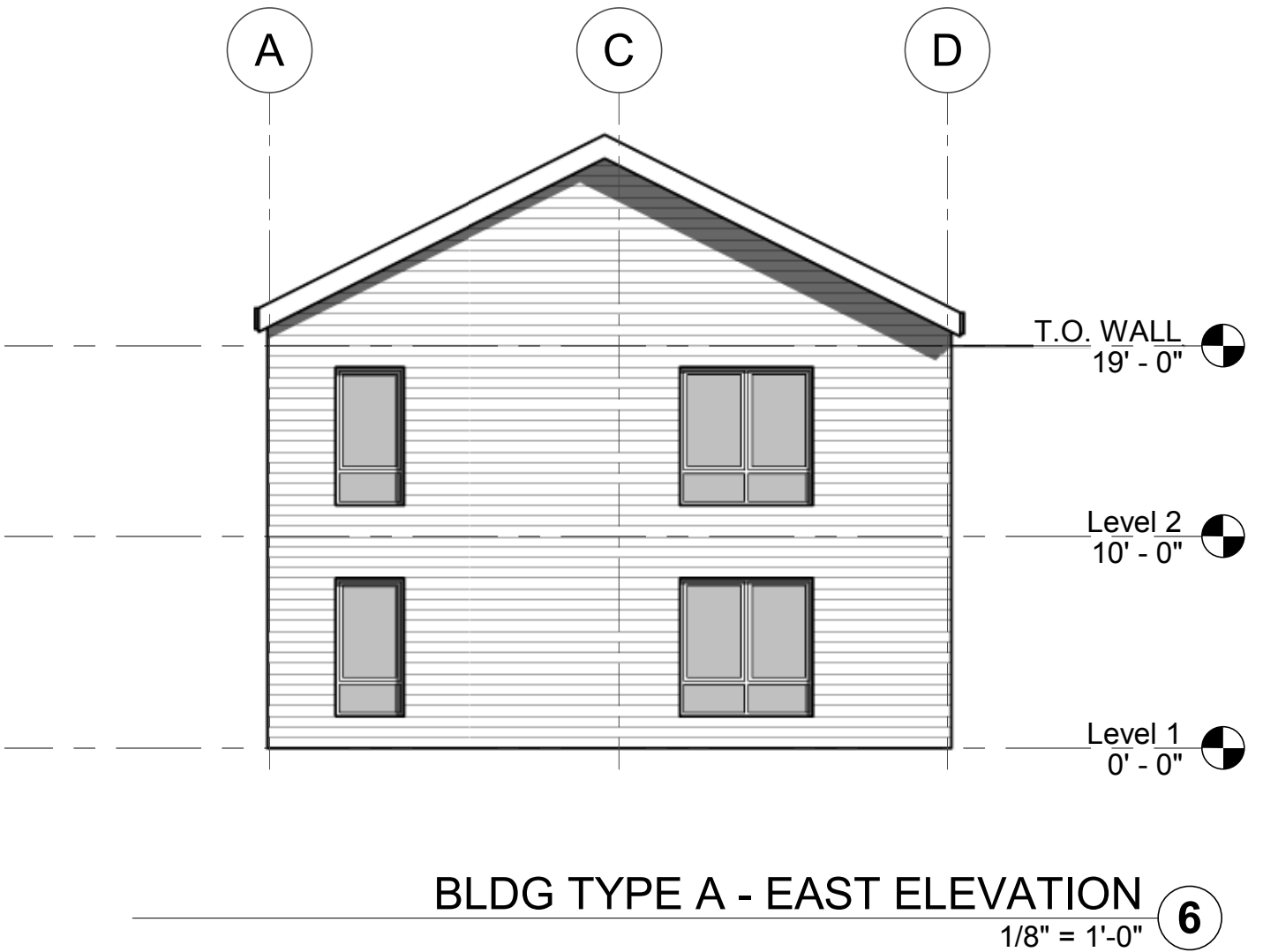
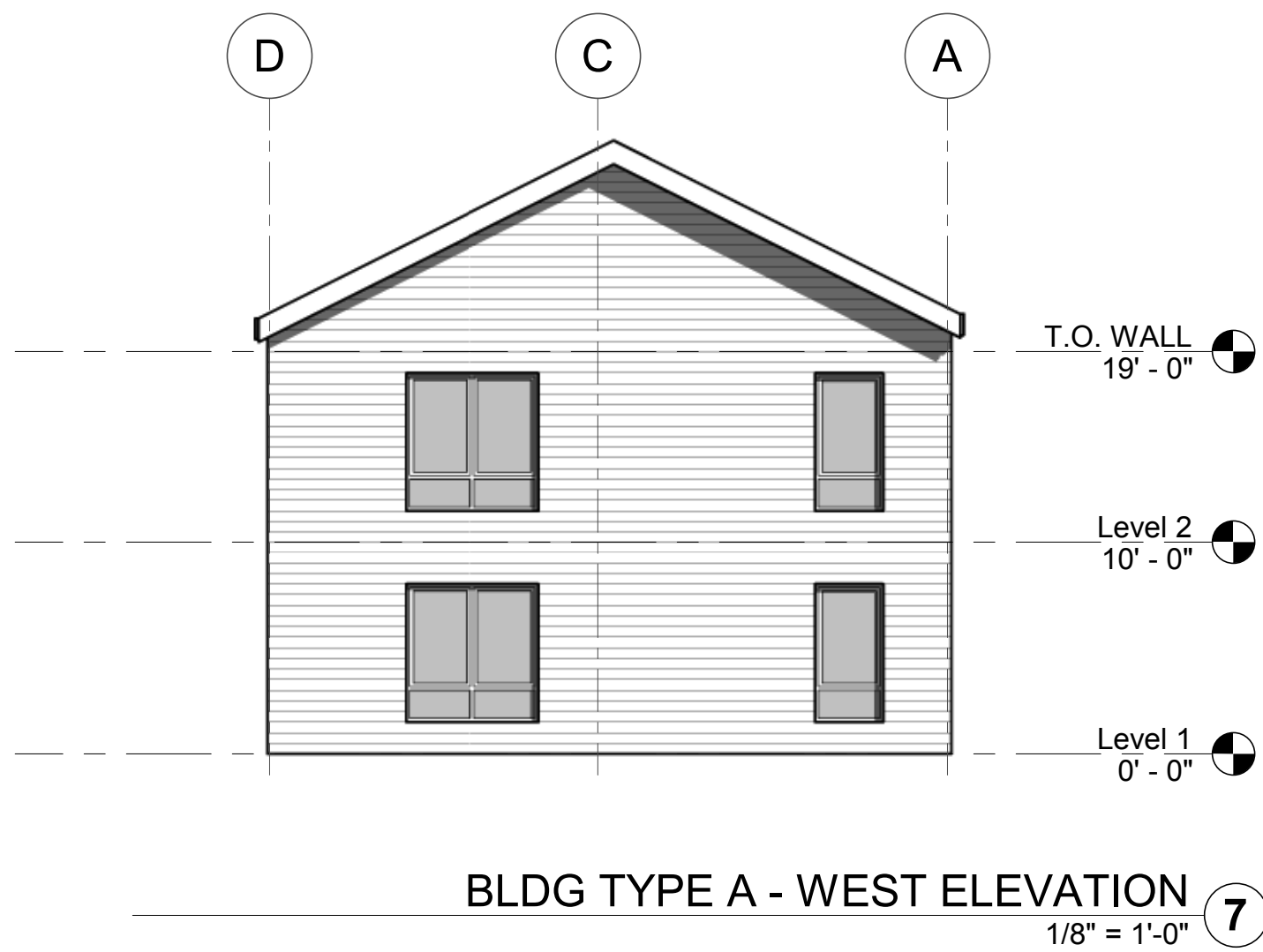
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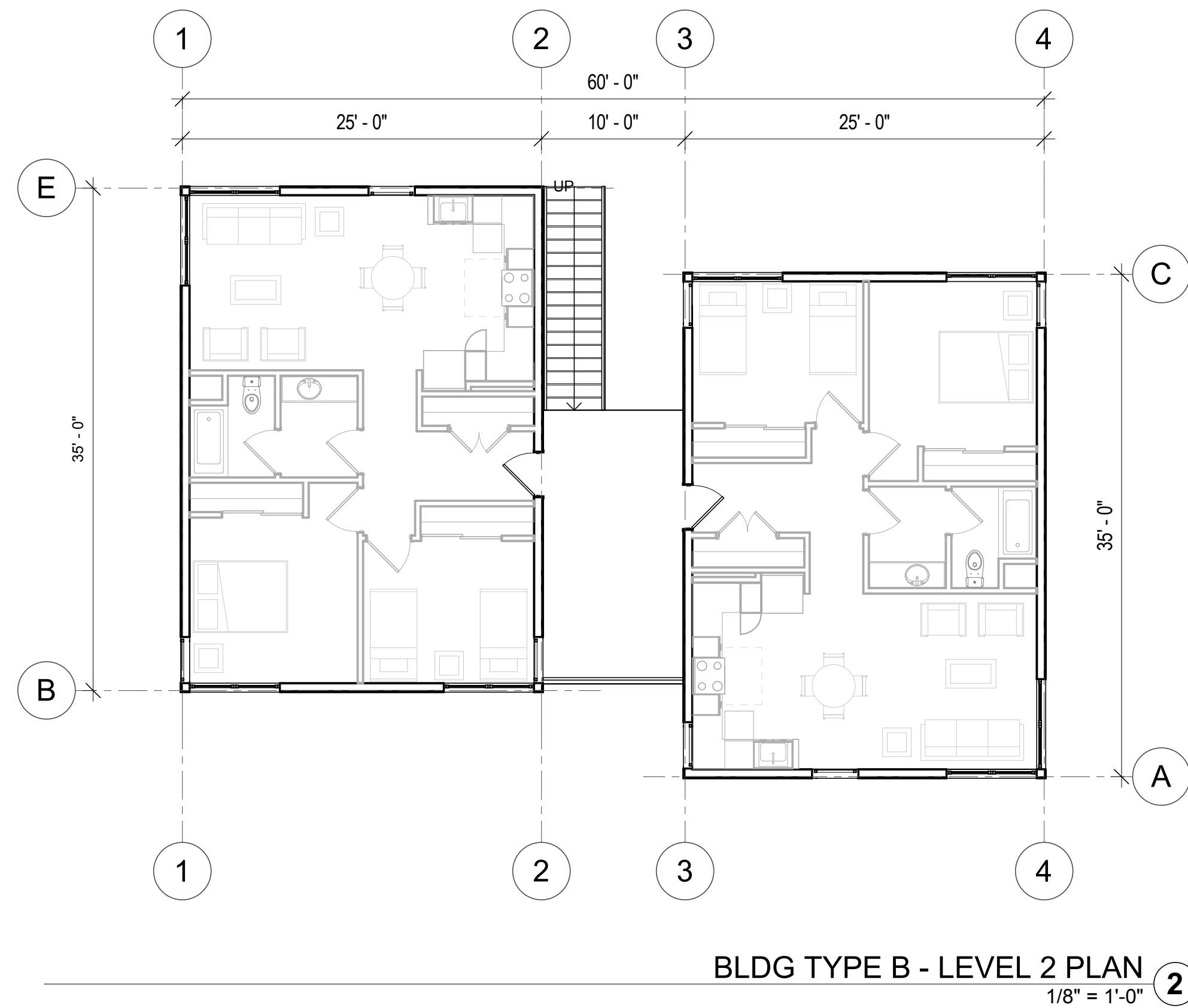
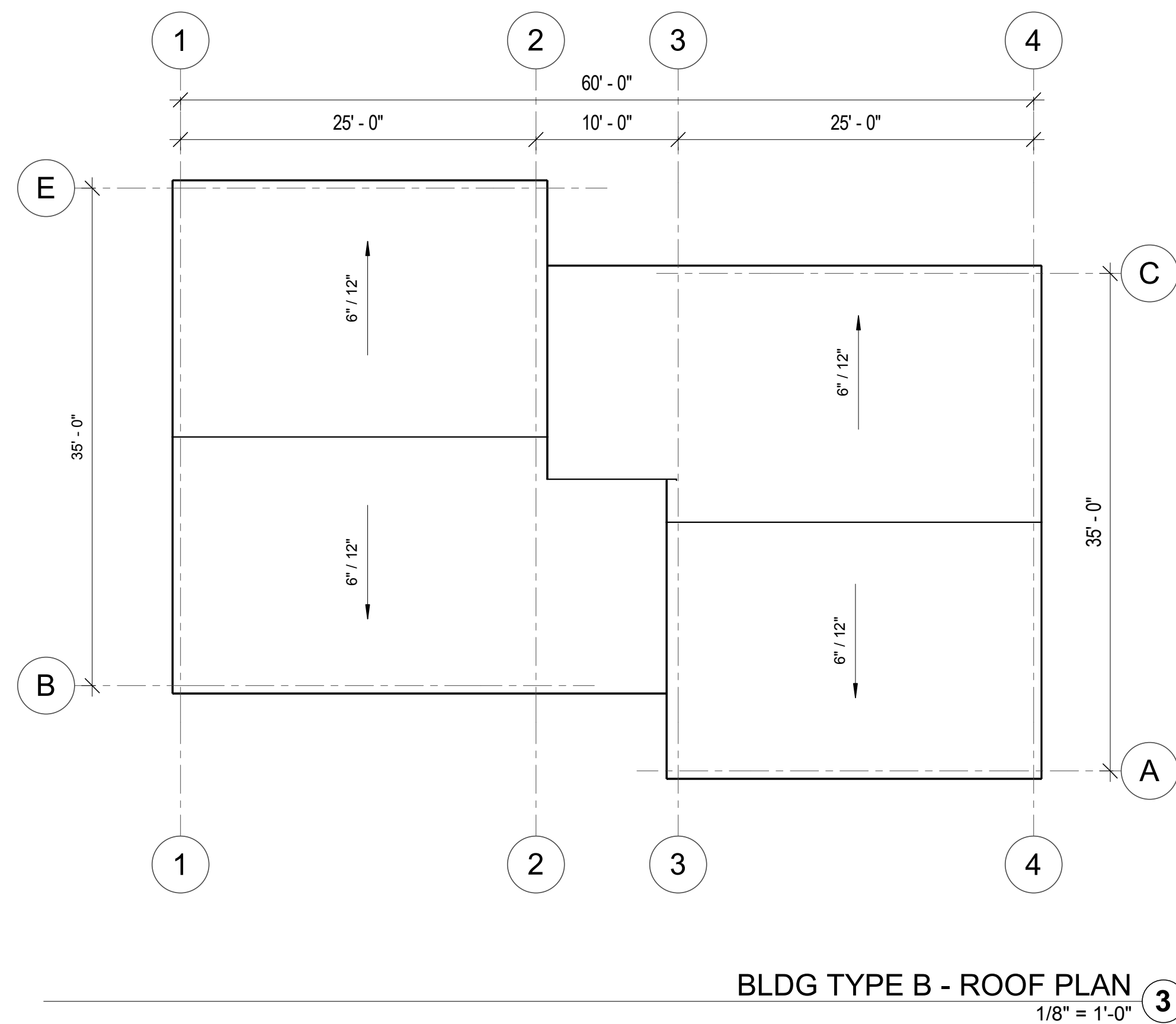
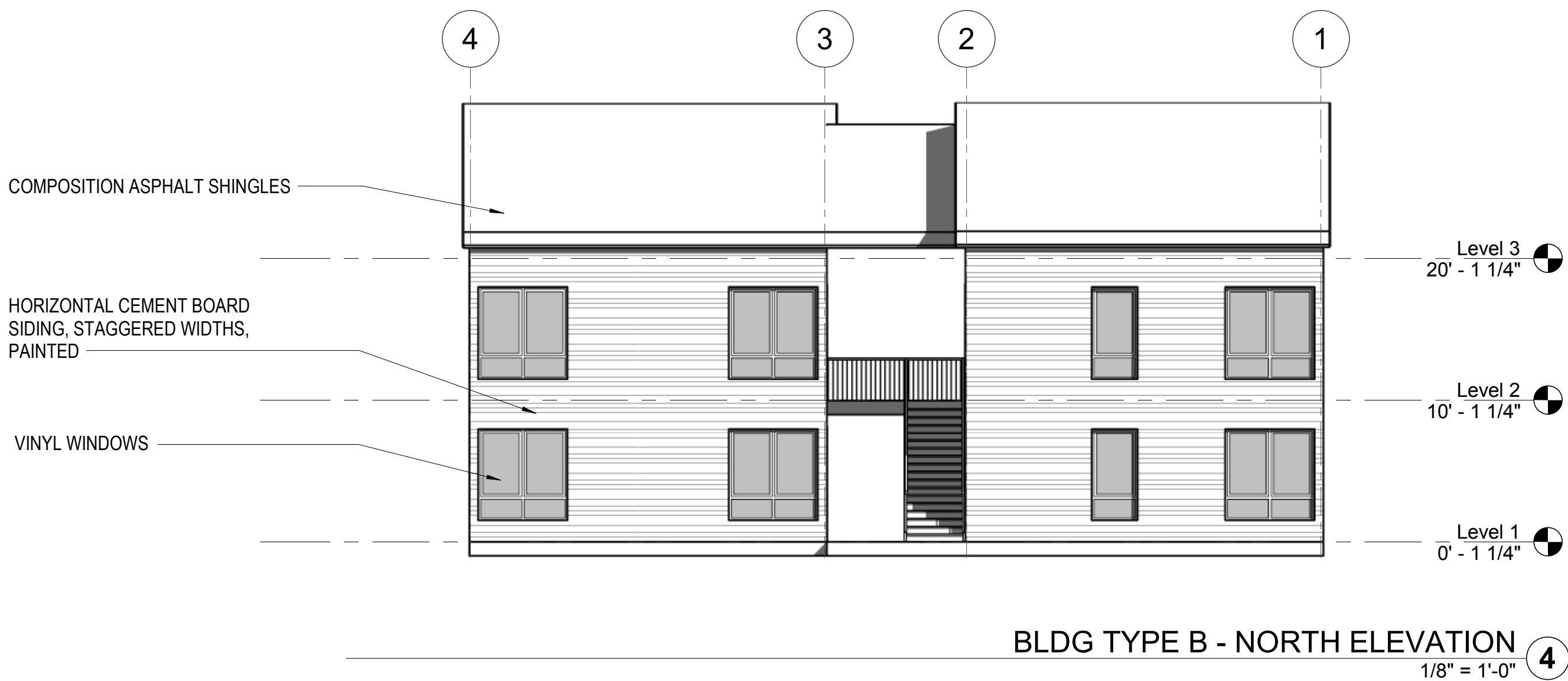
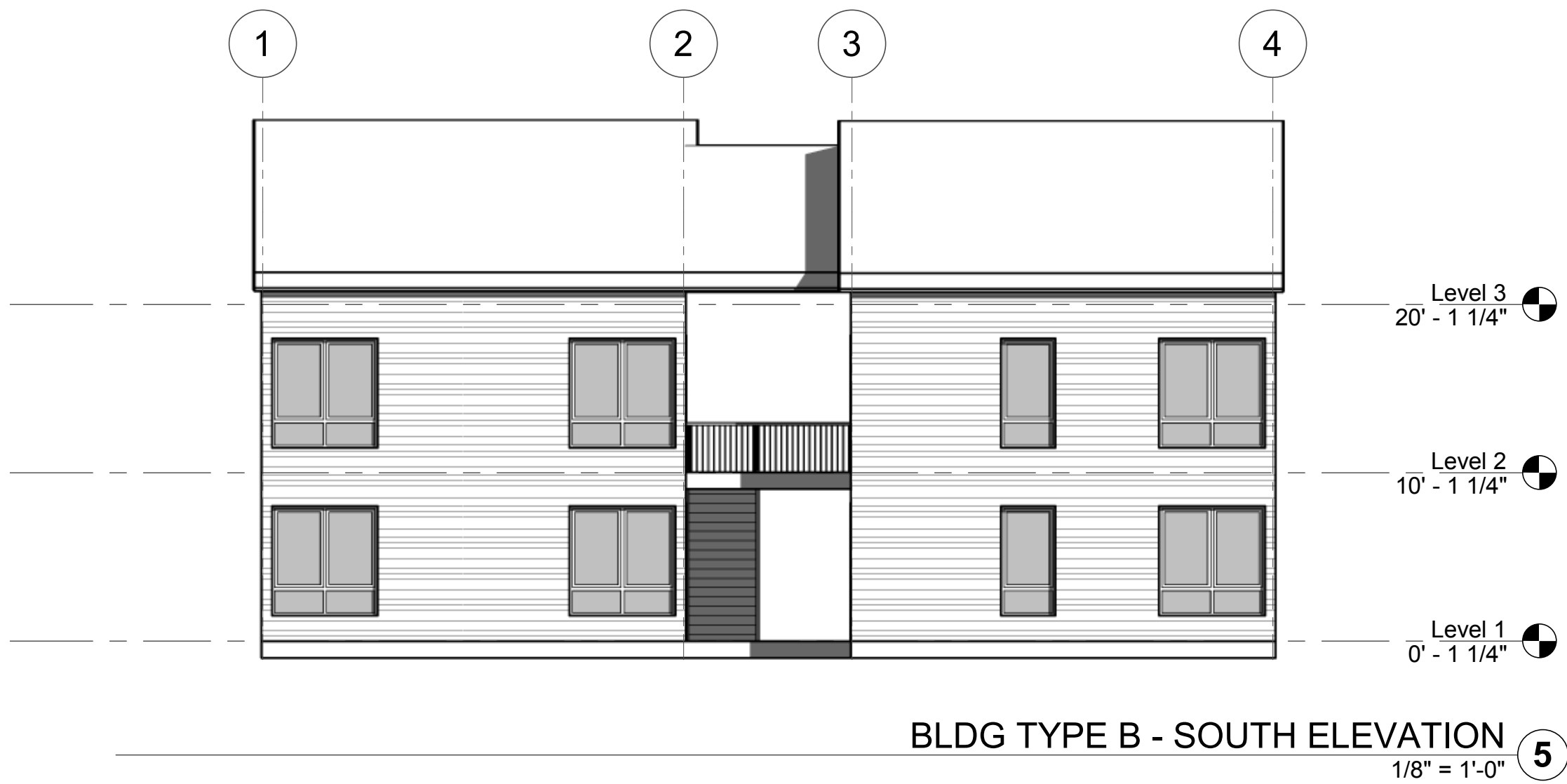
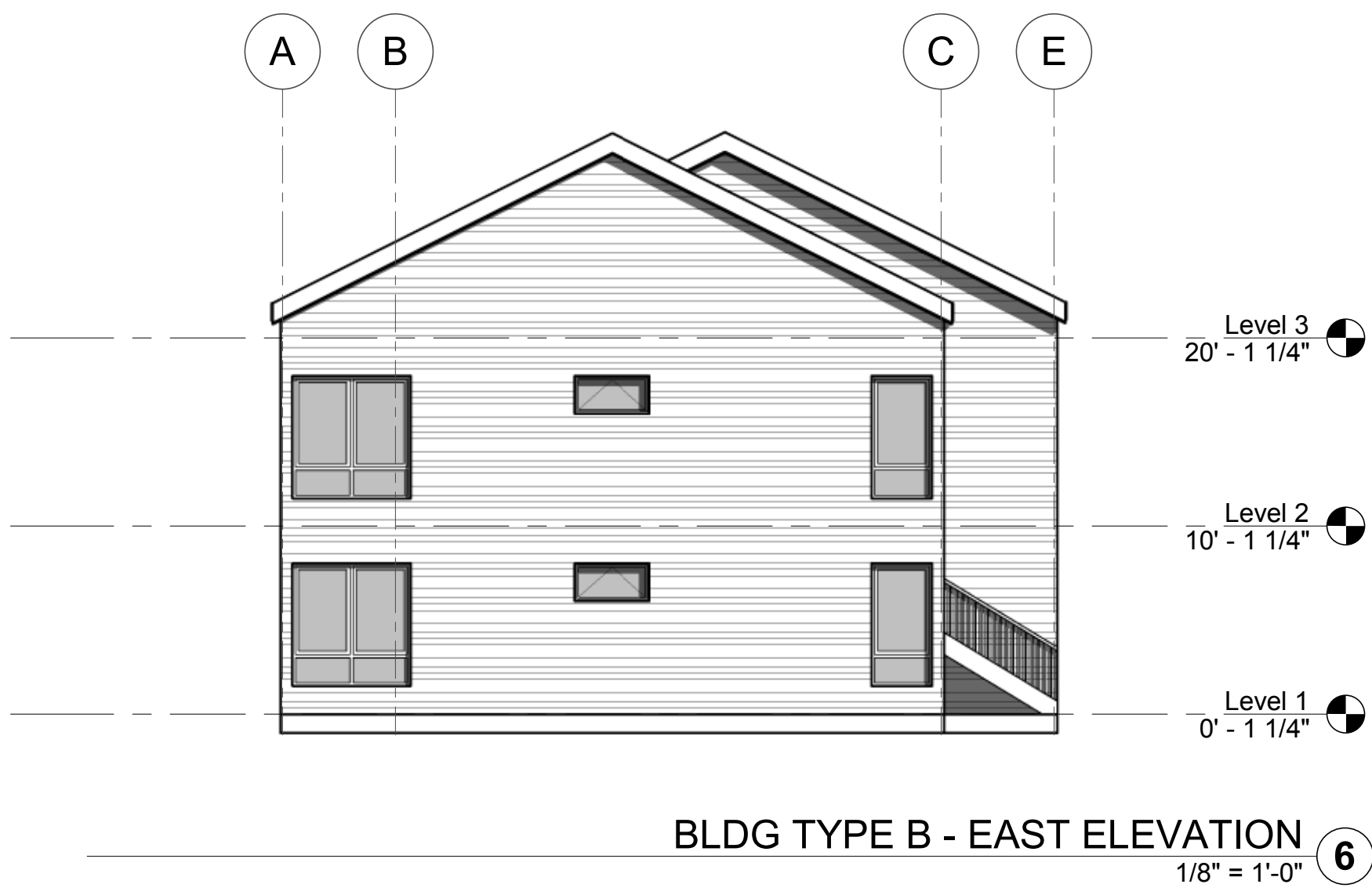
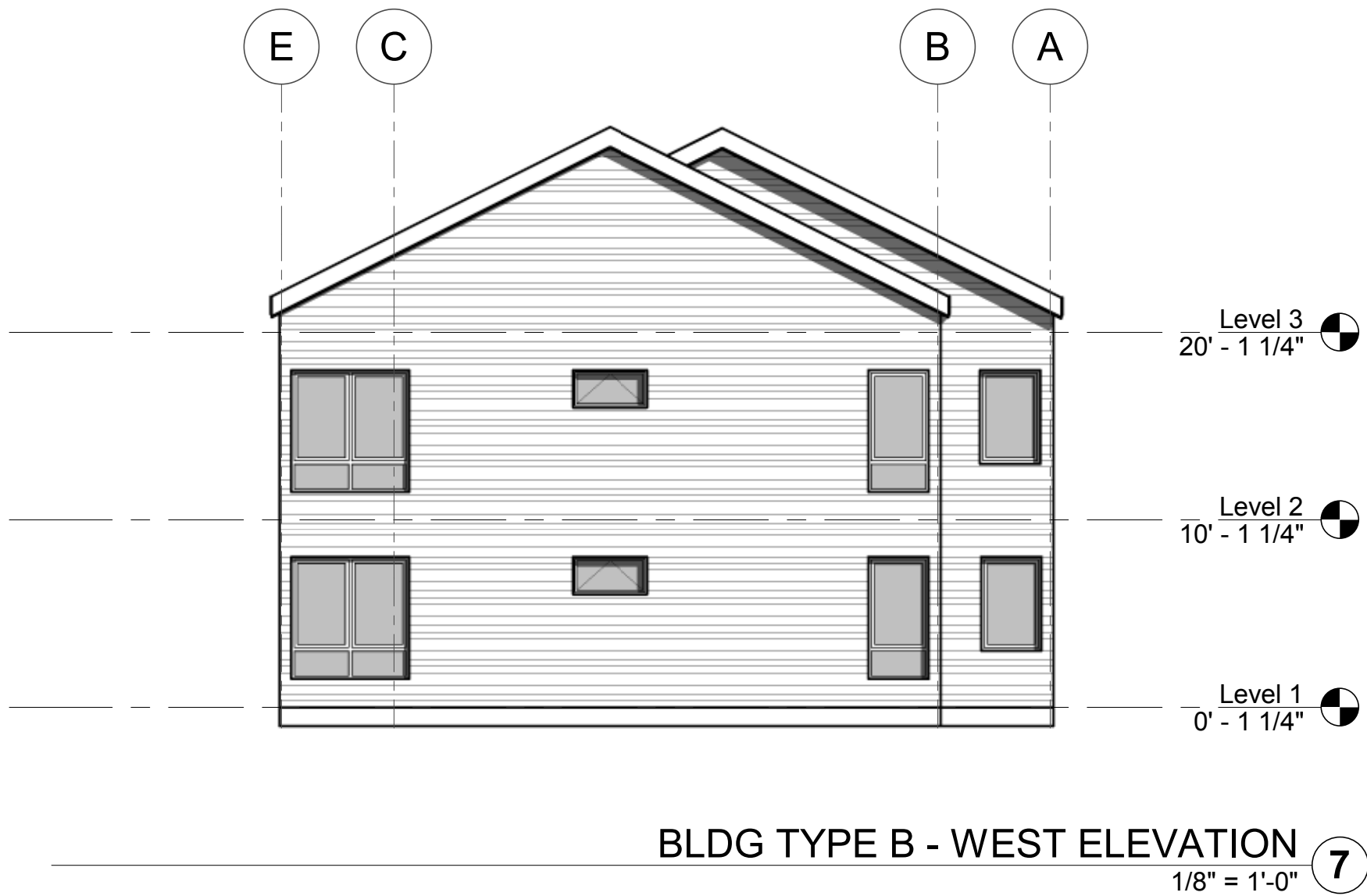
REVISION SCHEDULE  
NO. | ISSUE | DATE

JOB NUMBER: 1603  
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SCALE: 1/8" = 1'-0"  
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BUILDING TYPE A

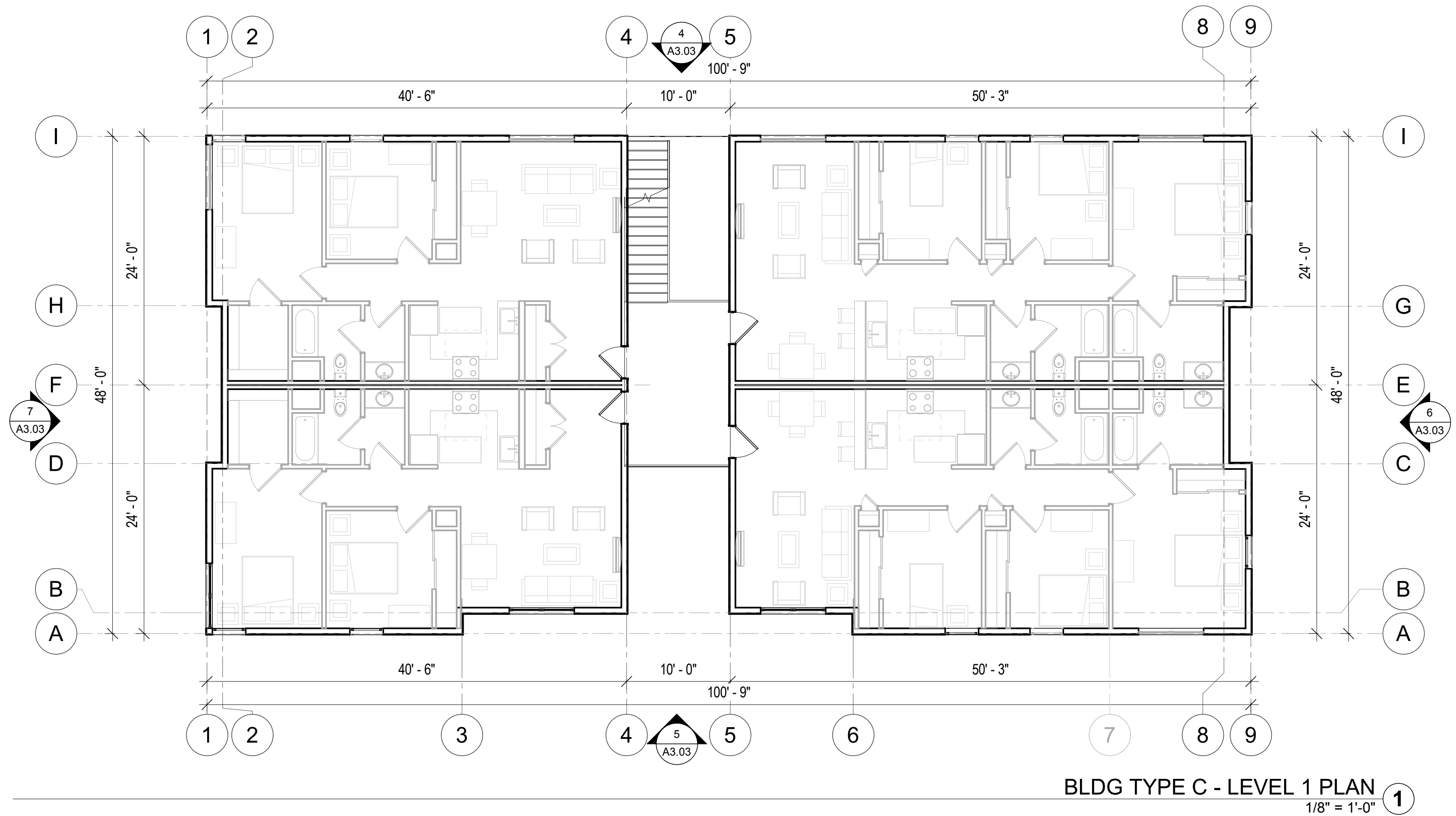
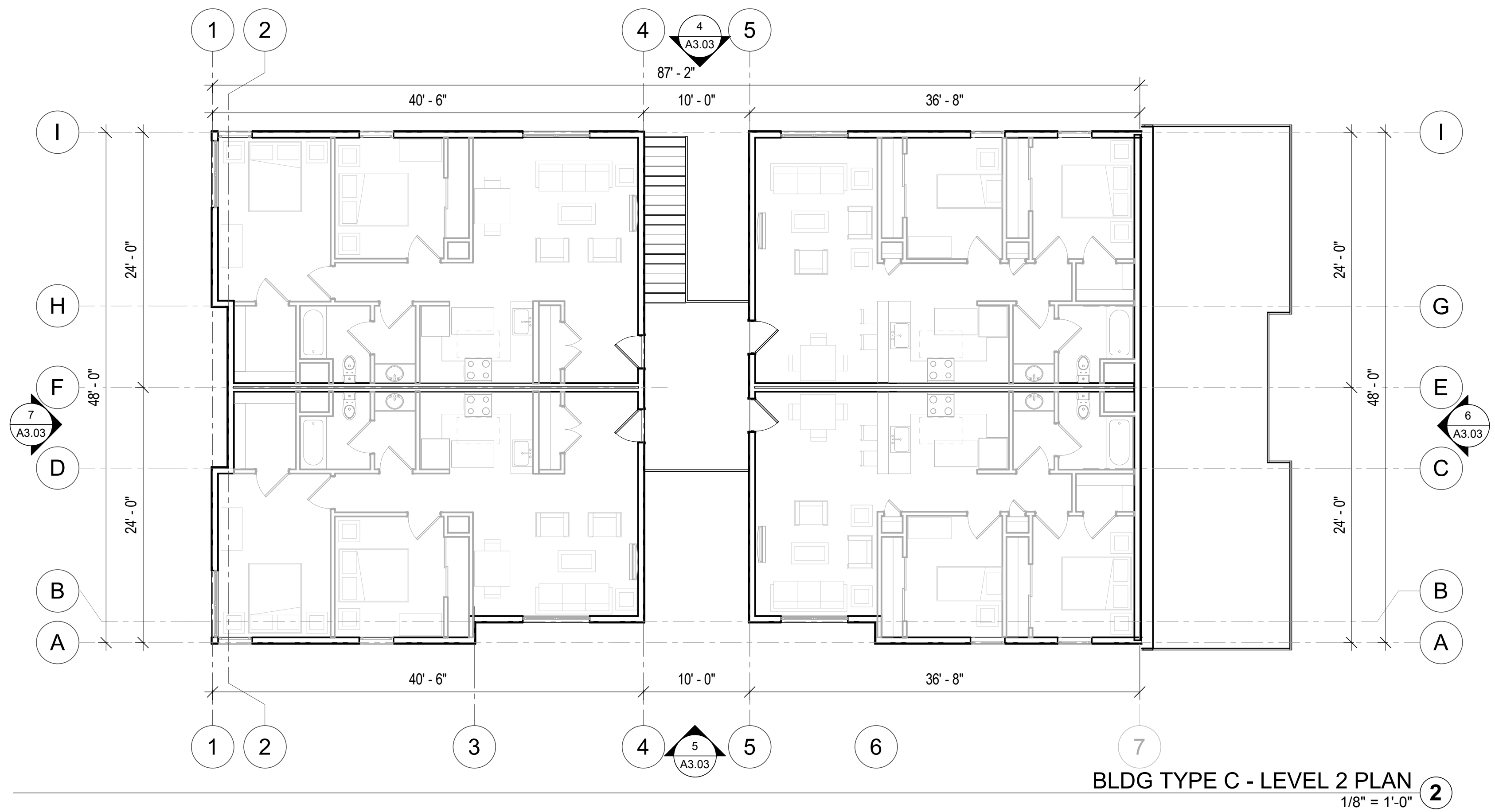
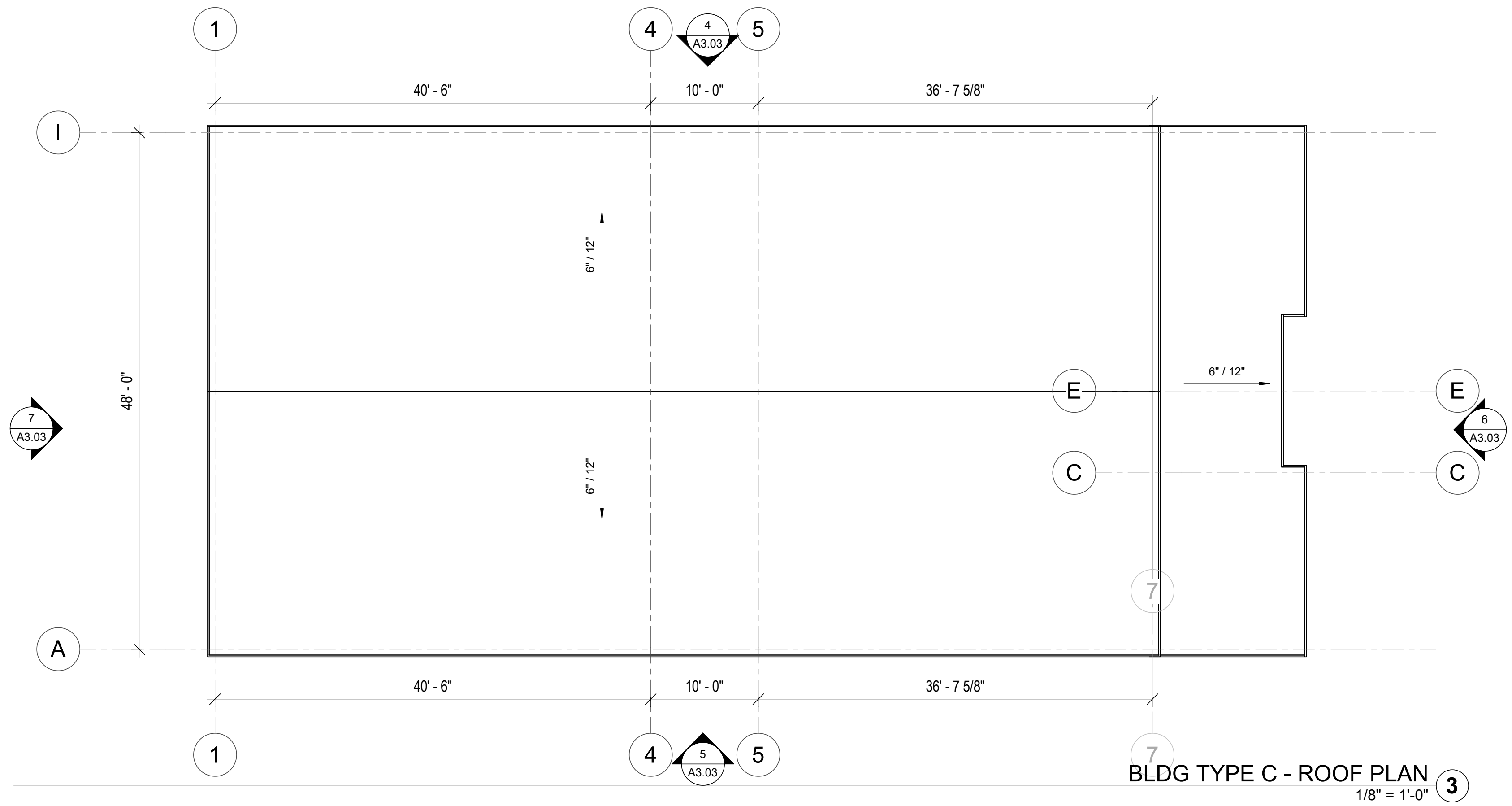
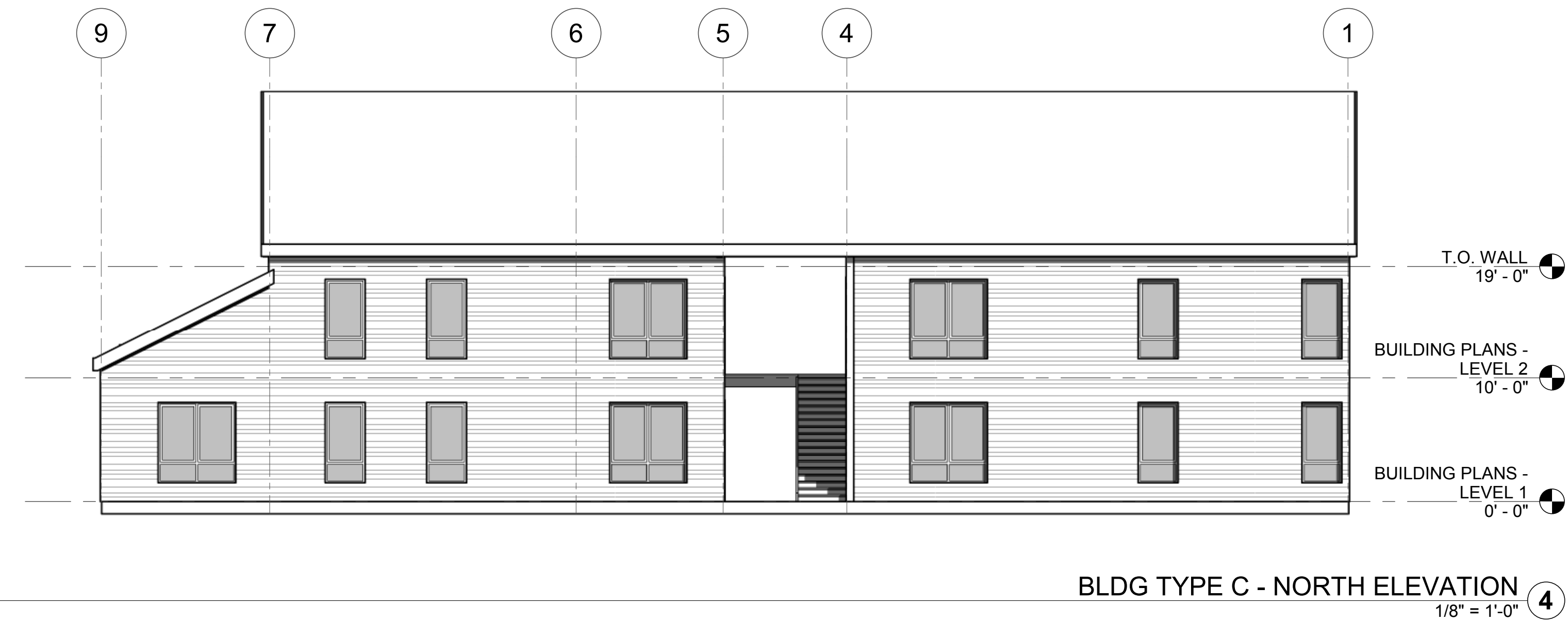
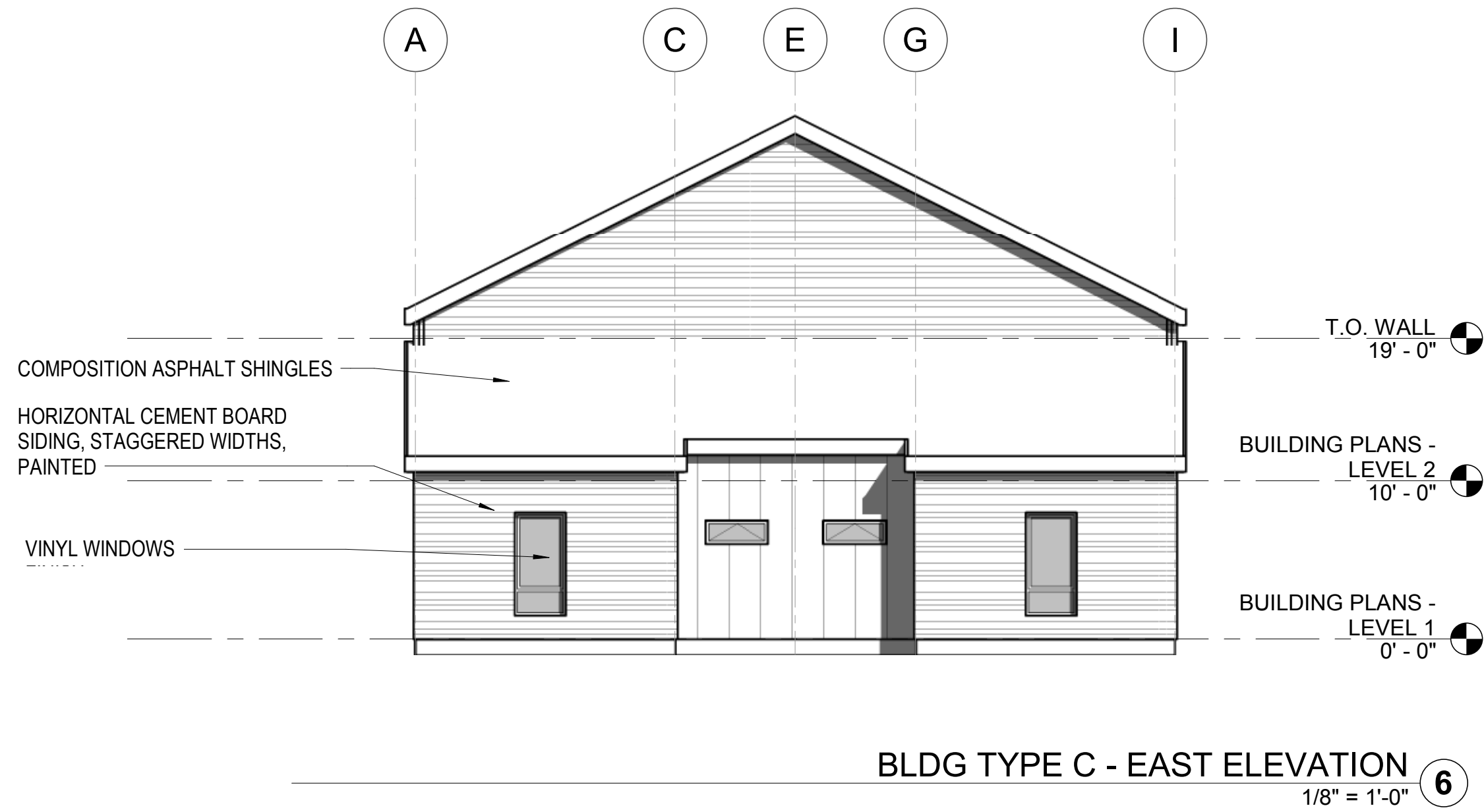
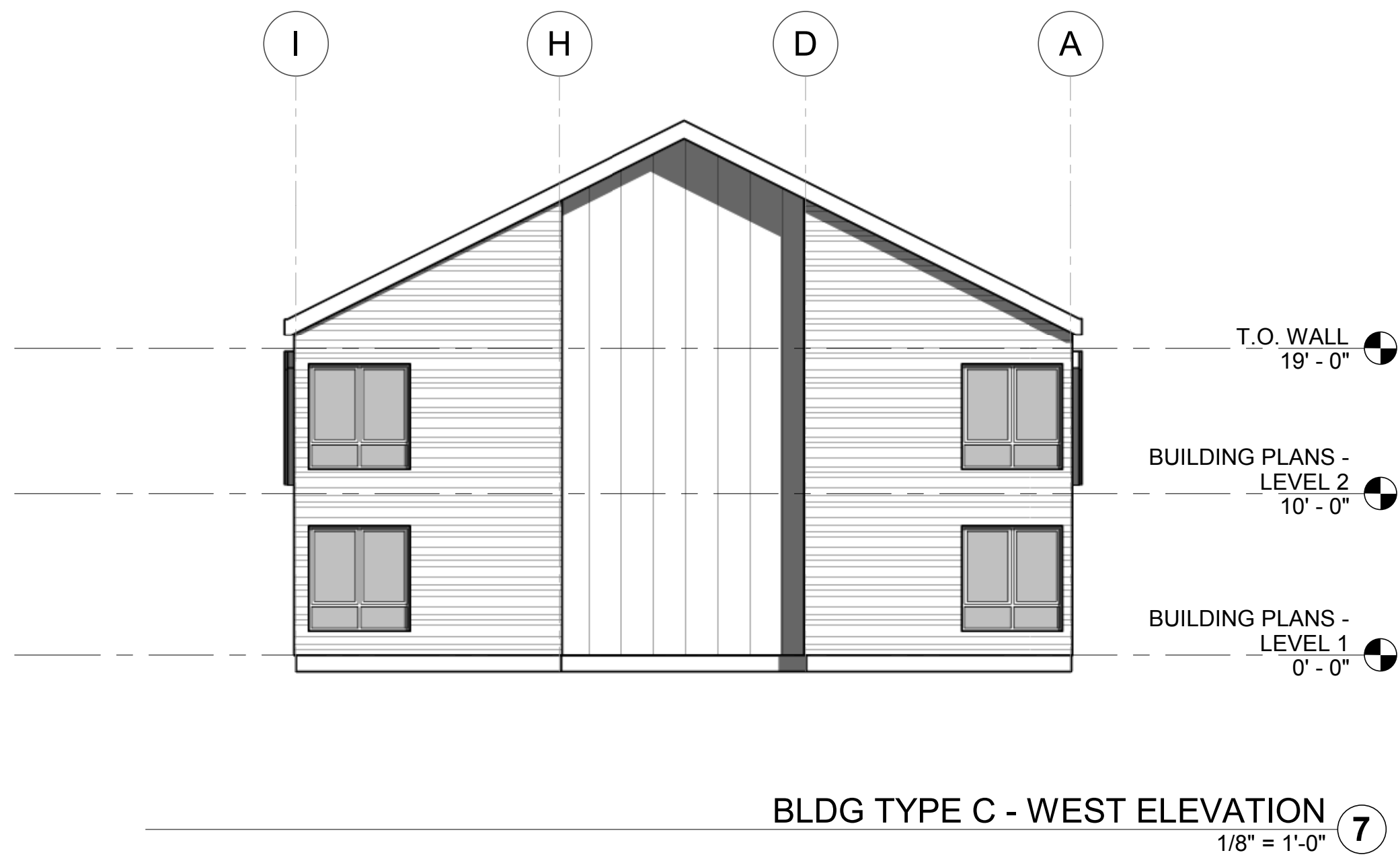
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CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

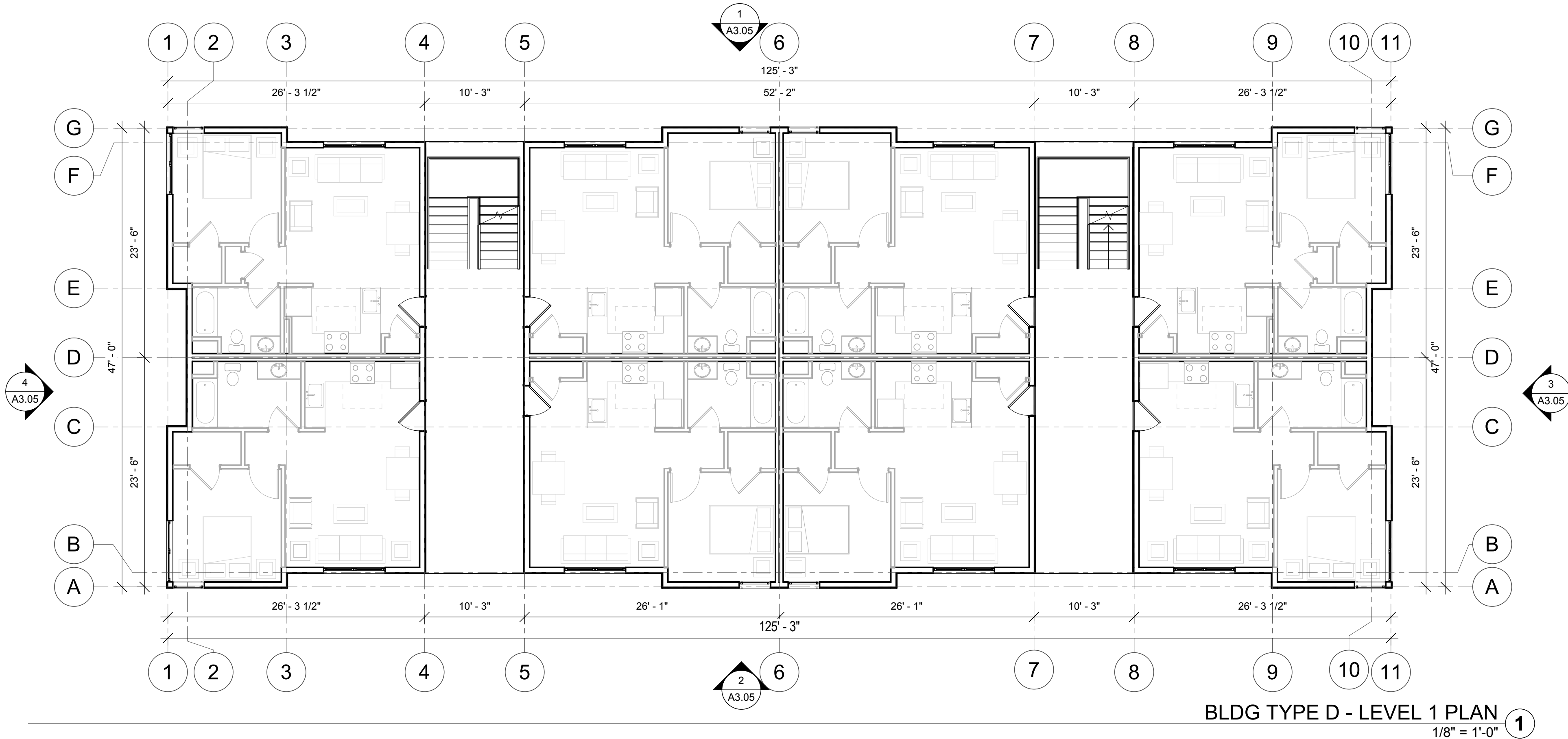
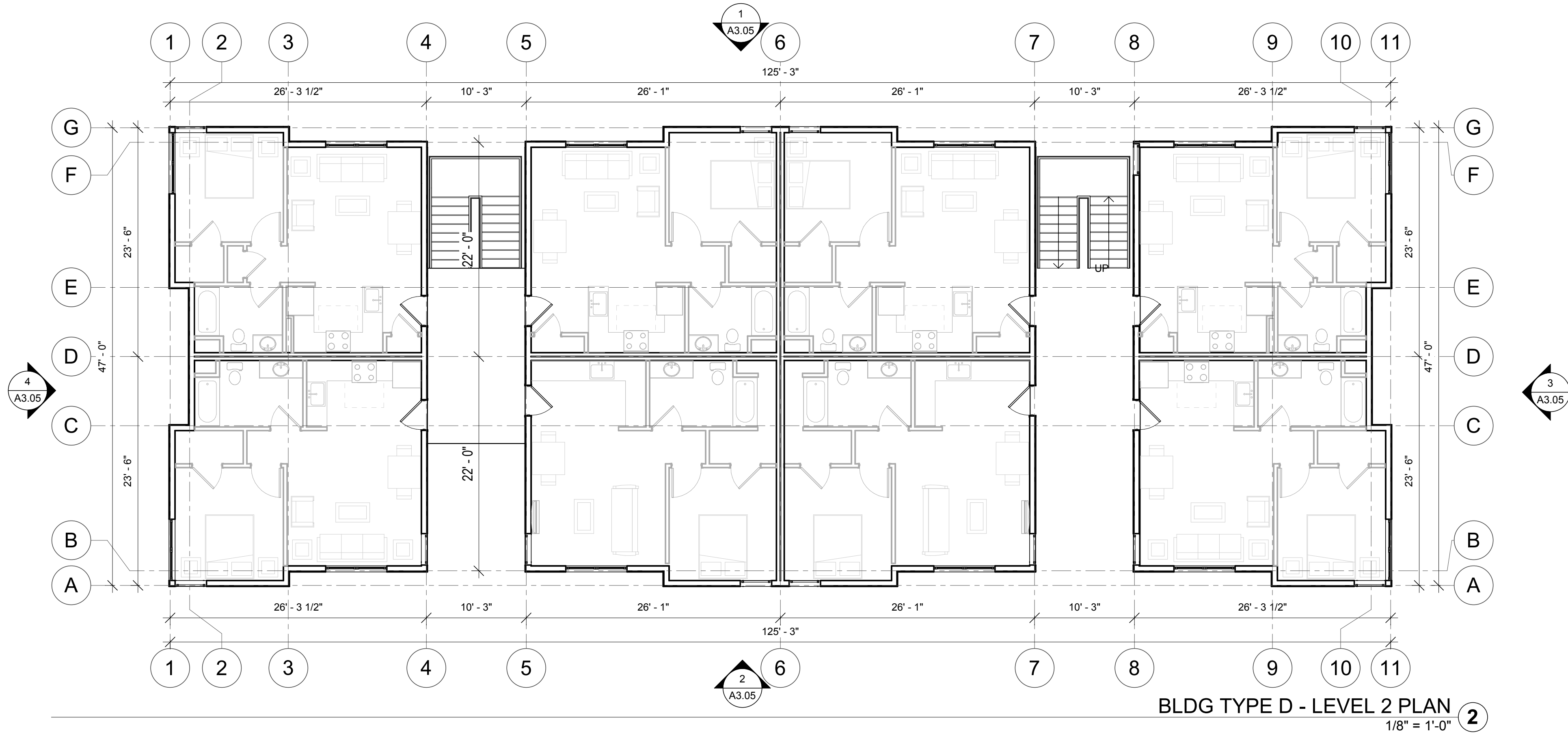
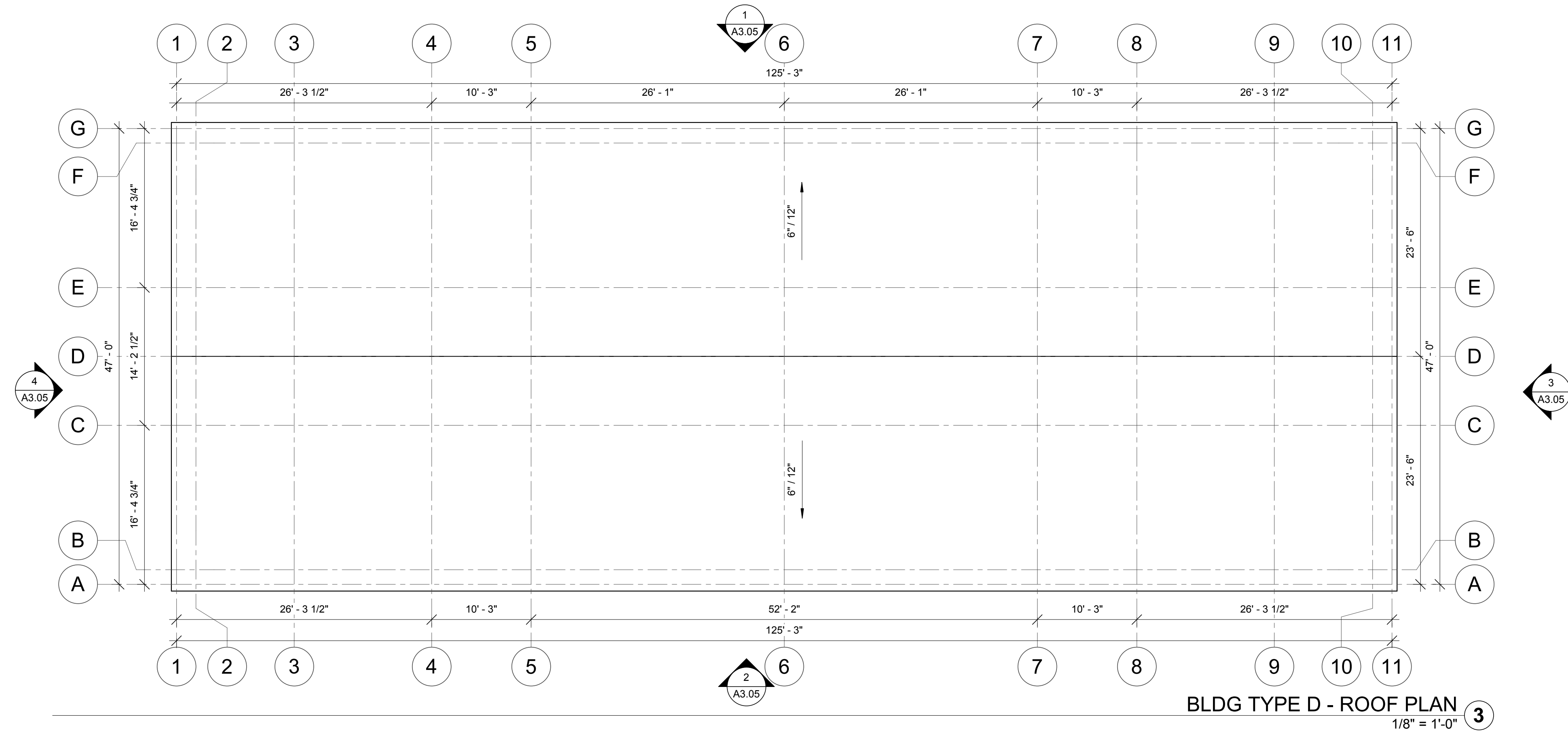
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JOB NUMBER: 1603  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: JUNE 20, 2018  
SCALE: 1/8" = 1'-0"  
TITLE:  
BUILDING TYPE D - FLOOR  
PLANS

SHEET:

A3.04

NOT FOR CONSTRUCTION





CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

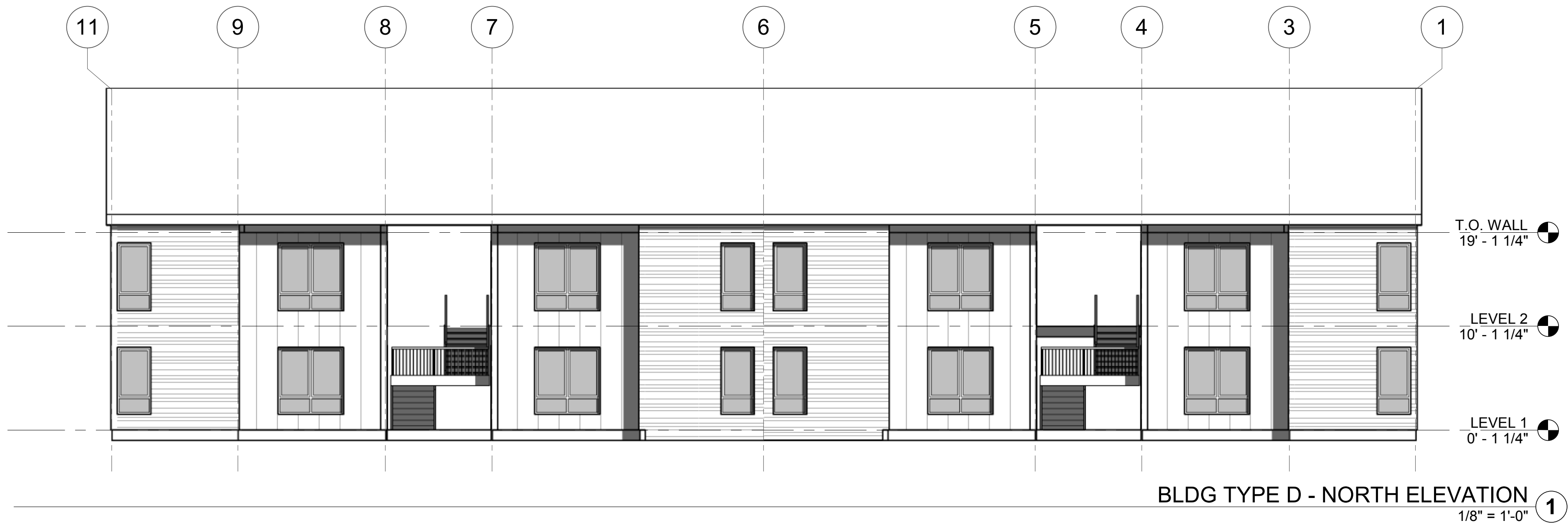
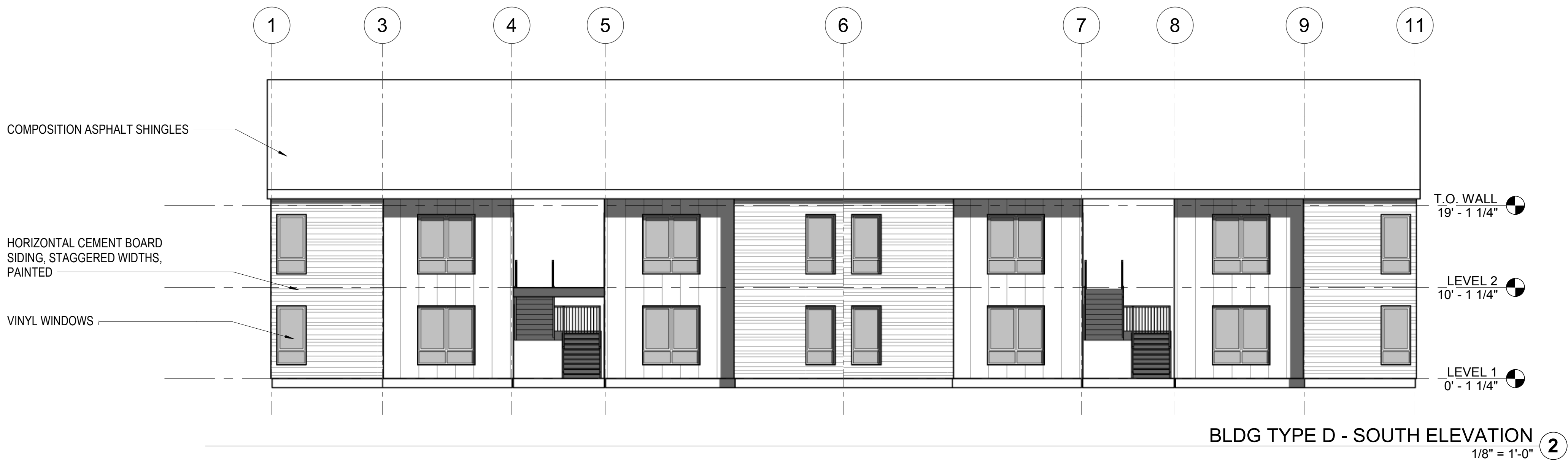
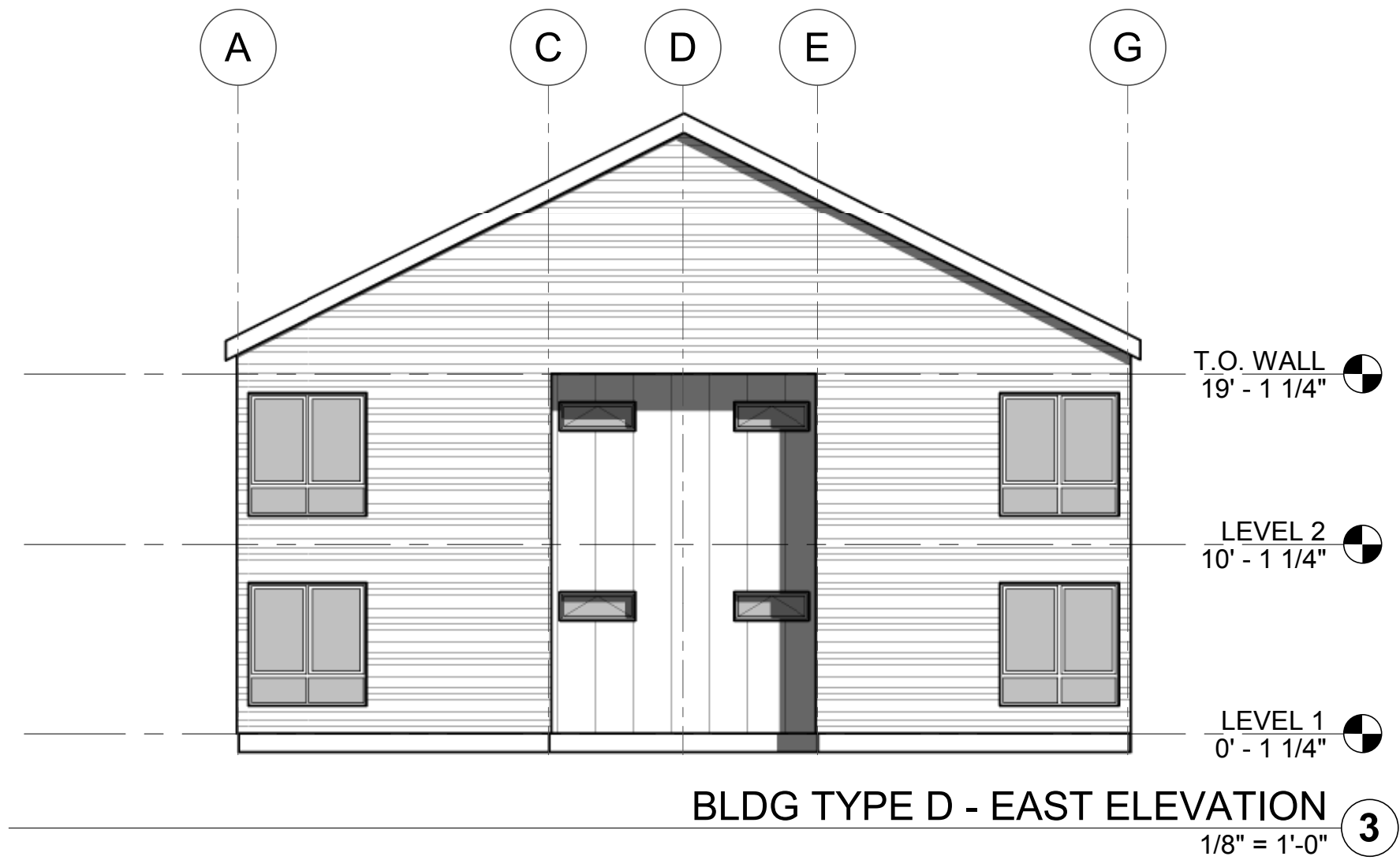
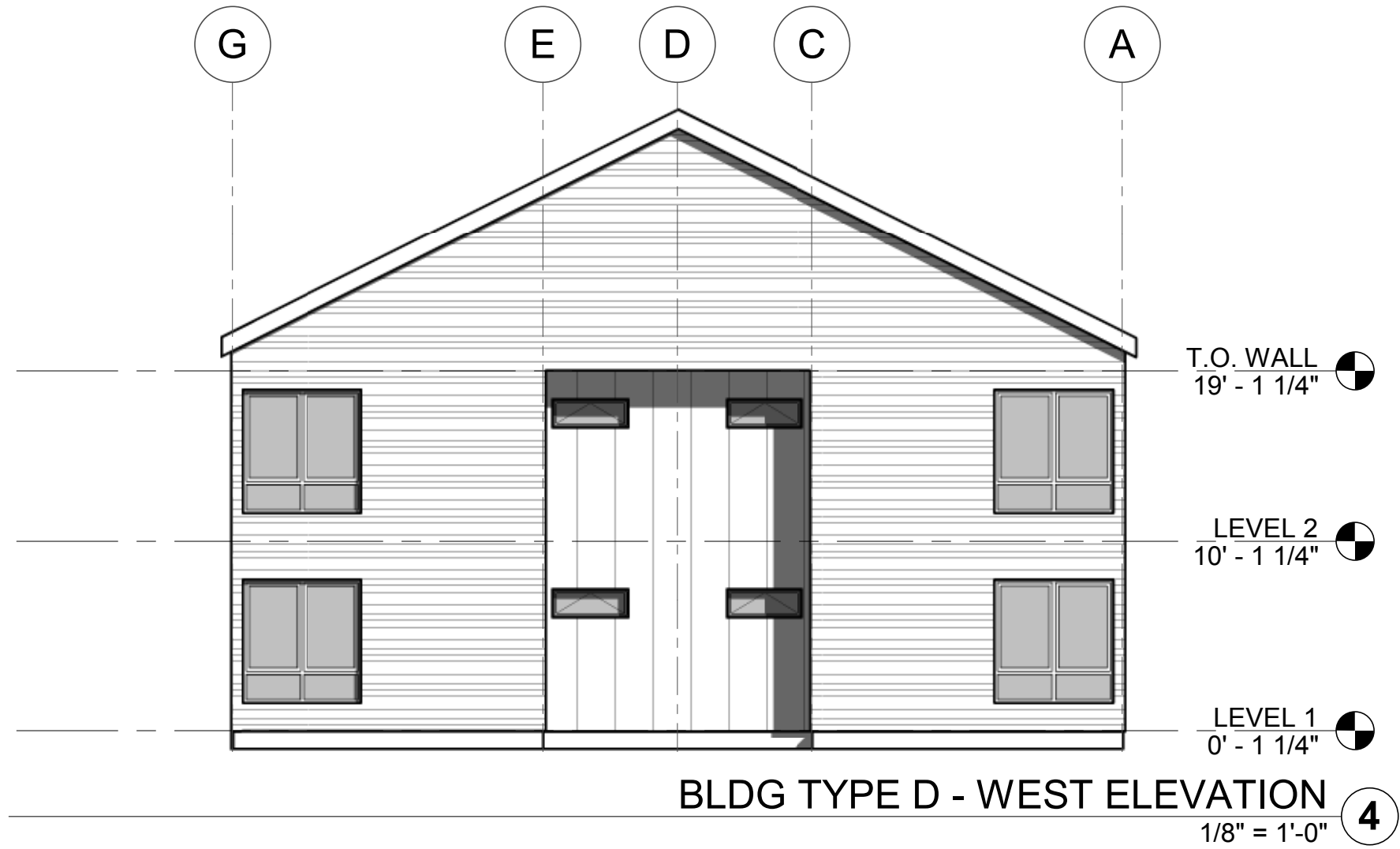
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TITLE:  
BUILDING TYPE D - ELEVATIONS

SHEET:

A3.05

NOT FOR CONSTRUCTION





CYPRESS POINT FAMILY COMMUNITY

Carlos Street, Moss Beach

STAMP:

JOB NUMBER: 1603  
DRAWN BY: Author  
CHECKED BY: Checker  
DATE: JUNE 20, 2018  
SCALE: 1/8" = 1'-0"  
TITLE: COMMUNITY BUILDING

SHEET:

A3.06

NOT FOR CONSTRUCTION

