# Planning and Building Division

455 County Center • Redwood City CA 94063 (650) 363-4161 • FAX (650) 363-4849

# Planning Permit Application Form

Permit Numbers
Primary: PLN 2002-00517

. Information in a sum	
Applicant/Owner Information	
Applicant: San Water Real Estate	e, Inc
	rite 330 San Mateo, CA Zip: 94402
Phone, W: (650) 578-0330 H:	FAX: (650) 578-0394
Name of Owner (1): John O'Rowke	Name of Owner (2):
Mailing Address: Songent Lone	Mailing Address:
Athenton Zip: 94027	Zip:
Phone, W: Unknown	Phone,W:
H:	H:
Project Information	
Project Location (address): Corner of	Assessor's Parcel Numbers: See Text. Sub Me
Bel Arre and Ascensim in Son Mat	teo (there are seven)
County	
Zoning: R-US-8	Parcel/lot size: (3.3 seves total
List all elements of proposed project: Subdivide (	3.9 acres outo 25 Ra Single family
	include new public streets, grading
	new storm drain, sanitory sewer,
realign water main and provide:	service to all lots, NEW pressure
pump for domestic water, kids	tot lot, recreational trails and
list any other permits or approvals already obtained for this	respect (include date, agency and application/permit numbers):
ast any other permits of approvers aircady obtained for this	project (merade date, agency and application) permit name of
	2
Signatures	
	n forms, plans and other materials submitted herewith in support
the application is true and correct to the best of our knowle through our assigned project planner of any changes to inf	edge. It is our responsibility to inform the County of San Mateo
	ionned on represented in these submitted.
Owner's signature:	
Owner's signature:	
Applicant's signature: Clem Yumes	, Resident

Planning Approvals Required										Acco	ompa	nying	Mate								lary F					Fees	
	Specific Application Form	Application Companion Page	Proof of Ownership (Deed or Tax Bill)	Grant Deed	Owner's Concurence	Chain of Title	Title Report (within past 2 mo.)	Environmental Information Form	Tentative Map @	Master Land Division Plan ①	Density Analysis/ Certification	Ag. Land Mgmt. Plan 🧔	Grading Plans •	Geotechnical Report	Erosion/Sediment Control	Dust Control Plan	Permanent Storm Water Controls	Manure Management Plan	Supporting Statements	Location Map 0	Site Plans (	Elevation Plans (	Floor Plans (	Plan Reductions (8.5" X 11")	Other	CEQA: Health: CDF:	
Agricultural Preserve		1	1		1		1													1	1						
Architectural Review		✓	1		1			1											< 1-00-00-00 (App.)	✓	1	1	1	1	1		05347576
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Certificate of Compliance - Type B		1	J		J	J	1	J	1											1				1			
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Resource Management			1		J		J	J							✓		J			1	1	1	J				
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Street Improvement Exception		✓	1		1			1	-		-475 527 5150									1	1						
Street Name/Change																				1							
Subdivision		✓	1		1		1	✓	✓	1	✓		- est arronder		<b>√</b> ‡				1	1		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,		1		1000 mm	
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Use Permit		1	1		1			J							1		1		1	1	1	1	J	1			
Variance	**************************************		1		1			1	e-cae, 2000	36.5 : 32336710	A T. Charles		enecors	and sources	ALANDOCKSON				✓	✓	1	1	✓	1	1	and the second of the second of the second of	
Other								F-3 (**)				200					***										

1 = 5 sets of all plans
2 = 7 copies of Subdivision Maps
3 = GPC, Text Amend., Timber Harvest, Topsoil, etc.

4 = Needed only if a public hearing is required
 5 = Required if property is 20 acres or more.

\* defered per phone conversation w/ Miroo Brewer.

Other Fees Total Fees

#### San Mateo County Environmental Services Agency

# Application for a Subdivision

# ⊠ Major

☐ Minor

# **Companion Page**

# Planning and Building Division

455 County Center • Redwood City CA 94060 Mail Drop PLN 122 • 650 • 363 • 4161

Applicant's Name:

San Mateo Real Estate, Bur.

Primary Permit #:

PLN 2002-0051

## 1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Subdivision. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

If the property is zoned RM, RM-CZ, PAD, TPZ, TPZ-CZ, S-11, or SS-104, then a Density Analysis must proceed this application.

If the property is zoned RH, then a Density Certification application must accompany this application. Additional applications are required if the property is located within the Coastal Zone.

<i>b</i>	
2. Basic Information	
Civil Engineer/Land Surveyor  Name: Lea + Sung, Inc.  Address: 2495 Industrial Parkway West  Hayward, (Agas Zip: 94545  Phone: (510) 867-4086 License #: CE31878	Is any or all of property under an Agricultural Preserve/Williamson Act Contract?  Yes No  File #:  Is the subdivision proposed as a condominium?  Yes No
3. Proposal	
Total size of existing parcel/parcels: square feet/acres	Water supply:    Well   Water district   California Water
Proposed parcels:  Parcel ID Proposed size in square feet or acres	Sewage disposal:  septic Sanitary district Crystal Springs  Sanitary DISMET
25 Panels See Tentative Subdivision  Map	Are the parcels currently accessed directly from a publicly maintained road or by easement?  public road  access easement
	Would changes to any access easements be needed to accommodate the proposed parcel configurations?  Yes  No

#### 4. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required findings. Please attach a brief statement in which you present evidence to support the required findings.

- a. That the proposed map is consistent with the San Mateo County General Plan and applicable specific plan.
- b. That the design and improvement of the proposed subdivision, is consistent with the San Mateo County General Plan and applicable specific plan.
- c. That the site is physically suitable for the type of development.
- d. That the site is physically suitable for the proposed density of development.
- e. That the design of the subdivision and the type of improvements are not likely to cause substantial environmental damage, or substantially and avoidably injure fish or wildlife or their habitat.

- f. That the design of the subdivision and the type of improvements are not likely to cause serious public health problems.
- g. That the design of the subdivision and the type of the improvements will not conflict with easements acquired by the public-at-large for access through or use of property within the proposed subdivision.
- h. That the discharge of waste from the proposed subdivision into an existing community sewer system would not result in violation of existing requirements prescribed by a State Regional Water Quality Control Board pursuant to Division 7 (commencing with Section 13000) of the State Water Code.
- i. That the land is not subject to a contract entered into pursuant to the California Land Conservation Act of 1965 ("Williamson Act").

5. Additional Notes	
Proposed 25 lot subdivision see Fentative Map for Details	
	· · · · · · · · · · · · · · · · · · ·
4	
	:

#### San Mateo County Environmental Services Agency

· Disposal Site: Unknown, to be

# Application for a Grading Permit ☐ Land Clearing

# ∠ Land Clearing Companion Page

Basic Information - Lanc Gearing

To be Determined

# ☑ Grading

# Planning and Building Division

County Government Center • 455 County Center • Redwood City CA 94063 Mail Drop PLN 122 • 650 • 363 • 4161 • FAX 650 • 363 • 4849

Applicant's Name: San Mateo Real Estate, Tur.

Primary Permit #: PLN 2002-00517

## la la sucue de la

**Land Clearing Operator** 

Name:

Please fill out the general Planning Permit Application Form and this form when applying for a Grading Permit. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form.

→ Purpose of removal: Build lots
_
_
(3) Existing structures
(4) Erosion control measures.
Geotechnical Consultant
Name: Michelucci and Associates
Address: 505 Tunne   Ane
Brisbone, Ca
Zip: 94005
Phone: (650) 344 - 1103
License #:

# Civil Engineer Name: Lea + Address: 2495

License #:

Lea + Sung Engineer Inc.

2495 Industrial Pkwy West

Hayward 0A Phone: 510-887-4086

CE 31878 - Jeffrey C. Lew

 Engineer's estimate of the quantity of materials to be moved:

cut: $93,10$	0	cubic yards
fill: 7,100	0	cubic yards
Depth of cut:	25' MAX	ft.
Depth of fill:	10 MAX	ft.

Purpose of	grading: To a	accomodate
new pui	blic streets	+ new residentia
lots		
		of any adjacent propert

## 5. Grading Plan Requirements

The grading plans, 24"x36", **prepared and signed by a civil engineer** shall contain the following:

- (1) All of the proposed uses for which the proposed grading is necessary.
- (2) Boundary lines of the site.
- (3) If there is a proposed subdivision, each lot or parcel of land into which the site is proposed to be divided.
- (4) The location of any existing buildings, structures, easements or underground utilities on the property where the work is to be performed and the location of any buildings or structures on adjacent land within 50 feet of the proposed work.
- (5) Accurate contours showing the topography of the existing ground extending at least 10 feet outside all boundary lines of the project site.
- (6) Elevations, locations, extent and slope of all proposed final grading shown by contours. Location of any rock disposal areas, buttress fills, subdrains, or other special features to be included in the work.
- (7) A statement of the quantities of material to be excavated and/or filled and the amount of such material to be imported to, or exported from, the site.

- (8) Location and nature of known or suspected soil or geologic hazard areas.
- (9) Specifications, cross-sections, profiles, elevations, dimensions and construction details based on accurate field data.
- (10) Construction details for roads, watercourses, culverts, bridges and drainage devices, retaining walls, gabion walls, cribbing, dams, and other improvements existing or to be constructed, together with supporting calculations and maps.
- (11) Approximate boundaries of any areas with a history of flooding.
- (12) Location, width, direction or flow and approximate location of top and toes of banks or any watercourse.
- (13) General location and character of vegetation covering the site, including all trees proposed to be removed and all trees 12" dbh within 20 feet of the area to be disturbed.
- (14) Name and registration number of the registered California civil engineer under whose direction the grading plan is prepared.

# Planning and Building Division

# Environmental Information & Hazardous Waste Site Disclosure Form

Project Address: Corner of Asc	MSion I	$O_C$	Name of Owner: John O Rou	rice	1 4			
+ Bel Aire, Unincorporate			Address: 11 Sargent Lone					
	1.0		Atherton 94027 Phone: Unknown					
San Mateo County Assessor's Parcel No .: See Tentate	ic Subo	dicision	Name of Applicant: San Wateo Real Estate ifuc					
Assessor si arcerno		Map	Address: 1777 Borel Place #3!					
Zoning Digitals A . 15 S								
Zoning District: $R-1/5-8$			San Matro, CA Phone (680)					
General Information			of participations and the property of the second					
Please answer these questions in the spa Use additional sheets if necessary.	ice provi	ided.	3. What type of permits, licenses, appro- (including those sought from other agen- ts garm out the proposed project?	cies) are r	needed			
1. Project Description: Sabdivision	on in	to		to carry out the proposed project? Approval of				
25 Residential Single from	ily la	te	Tentative May and Grading Plan.					
including new public street			4 Describe the netural above toxistion	/alana dr	ainaga			
improvements necessary major subdivision impro	for	./	4. Describe the natural characteristics water bodies, vegetation, soil stability, el project site and in the vicinity of the project	tc.) on the				
major subdivision impro	u men	<u> </u>	surrounded by single family homes,					
a. Parcel size: 13.3 in total	<del> </del>		Property currently drams of					
b. Directly connected impervious area (so		uildina	streets, some crosion present (superfreial).					
footprint and all paved surfaces):	be	. 1	Grassland, scrub bushes, small trees.					
Existing: 7,150 sq. ft Proposed: of		med						
c. Square footage of etructure: → (Red		<del> </del> -	5. Describe the extent and type of man-	made feat	ures			
Existing: 7,150 sq.ft. Proposed: 78			on the project site and in the vicinity of the and uses of existing structures including					
d. Height and number of floors: To be		urred	number and size of lakes or ponds, natu	re of existi	ing			
e. Amount of parking provided (proposed		·	roads, etc.). Water tank no					
Covered: Uncovered: C			subdivision and one cellsi	te out	top of			
<b>2.</b> Is this part of a larger project? Yes explain:	No x	If yes,	hill. Small access road vi	a easeu	nout			
			crosses property to serve	same	•			
			1					
Environmental Informat	iion							
Please check the appropriate box and ex	plain an	y "yes" ans	wers on reverse.					
Will the project:	Yes	No		Yes	No			
a. Require grading or filling?	X		f. Affect or be affected by a natural	[]	57			
If yes, how much? 100, 200 cuts	. yands		drainage channel or floodplain?	leccell.	A			
Will that grading or filling:	- <del>41</del> 11)		g. Affect the amount or pattern of pedestrian or vehicular traffic?	A				
Be over two feet in depth or height?	Ø		h. Impact scenic values?	Ä				
■ Be on a 20% or greater slope?	$\bowtie$		i. Affect any known archaeological or  ii. Affect any known archaeological or	Booker	, converg			
<b>b.</b> Require the removal of trees or other vegetation (including ground cover)	? 5		historical resources?		4			
If yes, all trees over 12" or more in diar more in Emerald Lake Hills) are to be s and may require a tree removal permit	meter (6" shown or		Create an obvious change in the existing or surrounding land use?      k. Increase development pressures	\$				
c. Affect native plants, wildlife or fisheries	XX		in the vicinity or encourage changes in the use of nearby properties?		#			
d. Create dust, smoke, fumes, odors or noise?	¥		Be located on a Hazardous Waste and Substance site, as defined by the	t	ı			
If yes, will it occur beyond the construction phase?		Ø	State of California at the date of this application? (Please check list of addresses		#			
<b>e.</b> Involve discharge into surface waters of storm drains?	or 💢		on reverse.) Signature require	d on revers	se 🖙			

Please explain any "yes" answers: See grading	Describe mitigation meal s being proposed which will
plan for grading details There	reduce or avoid any potential impacts of the project: The
are only three trees 12" diqueter	site includes 32% conservation casement
or more to be removed. All thelange	(approximately a deres) rund will be ver
or wore to be removed. The recorde	landscaped with native plants. 25 new
pine trees will remain.	homes will help relieve the substantial
	howing shortage which presently exists.
<u></u>	Mountage winest preserve trans.
projection of the second second second	**************************************
	Additional information or comments: Use additional sheets if necessary.
	13.
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	38
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#### Harandons Vasta Site

State Government Code Section 65962.5 requires that before a local government agency accepts an application for a development project, the applicant shall submit a signed statement indicating whether the proposed project location is included in the List of Hazardous Waste and Substance Sites prepared by the State of California.

#### Colma

Unocal 1216 Hillside Blvd

#### El Granad

Winter's Residence 192 El Granada Blvd Pillar Point Harbor 1 Johnson Pier

Westar Cable 525 Obispo Rd

Staton Property 415 Sonora Ave

## Guadalupe Valle

#### Quarry

American Rock and Asphalt 1 Old Quarry Rd

#### Harbor Industrial

Baymont Properties 425 Harbor Blvd Williams and Burroughs 500 Harbor Blvd New Mode Cleaners 615 Harbor Blvd Apollo Oil 701 Harbor Blvd Ceramics, Varian, EIMAC 301 Industrial Way B and H Technical 306 Industrial Way Bogenhuber Properties 1510 Old County Rd SamTrans 591 Quarry Rd

#### La Hond

Log Cabin Ranch Alpine Rd Portola State Park Portola Rd and Rt2

#### Montar

USCG Montara Lighthouse State Route 1

#### Moss Beach

Beacon State Route 1 & Vermont Ave

#### North Fair Oaks Dean's Anodizing

819 Hurlingame

Rocco's Collision 860 Hurlingame Tilton Property 2655 Middlefield Rd Beals, Martin and Assoc 2658 Middlefield Rd Figueras/Barrita Property 3157 Middlefield Rd Beals, Martin and Assoc 2658 Spring St American Cities Tire Service 2700 Spring St Hoffmann Paint Co. 820 Sweeney Ave S and M Sprinkler 197 5th Ave

#### Pescadero

Helmaur Ranch 3800 Cloverdale Kuwahara Property 1541 Pescadero Rd Williamson Petroleum 1999 Pescadero Rd Campbells' Fresh Fish 6150 State Route 1

Campinotti Property 420 Water Lane

#### Rural Mid-Coast

Repetto's Nursery 12351 San Mateo Rd

#### Rural Skyline

Skyline Open Space Preserve Skyline Blvd & Alpine Road Skylonda Corners 17284 Skyline Blyd Unocal 17288 Skyline Blvd

#### Rural South Coast

Girl Scout Ranch Skylark Ranch Warehouse 216 Stage Rd

#### West Menio Par

Chevron 3500 Alameda de las Pulgas 3600 Alamdea de las Pulgas Stanford Linear Accelerator 2575 Sand Hill Rd

For further information regarding any of the sites, call the San Mateo County Department of Environmental Health at 363-4305

#### Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. If any of the facts represented here change, it is my responsibility to inform the County.

Resident Signed: 4 Date:

(Applicant may sign.)



On March 7, 2002, the San Mateo County Planning Division conducted a pre-application workshop on a proposed 22-lot subdivision located along Bel Aire Road (County File No. PLN 2001-00759).

Below is the summary of questions and concerns and comments expressed at the workshop. Each question/comment is followed by a response either by the developer (for questions posed to the developer) or by County staff (for questions posed to the County).

# ENVIRONMENTAL SERVICES AGENCY

#### Questions Posed to the Developer

1. There are inaccuracies on the plans presented. The topographical map is not accurate near Parrot Drive. Please clarify.

Agricultural Commissioner/ Sealer of Weights & Measures

The topographical map is not accurate near Parrott Drive because of the trees. The topographical map was stereoscopically photographed by an airplane and the trees hide portions of the slope. These areas will be surveyed on foot when the tentative map is submitted.

Animal Control

Why is only one access road proposed? Why not two access roads?

There is only access available from one location:

Cooperative Extension

3. Will there be signal lights?

Fire Protection

No, there isn't enough traffic to justify it.

Ď.

4. How much benching is proposed?

LAFCo

The benching that exists will remain and be improved to reestablish the removal of water. A grading plan will be submitted at the time of tentative map submittal.

Library

5. Can the applicant say that an EIR would be necessary? Would the applicant be open to scoping sessions during the EIR process?

Parks & Recreation

It is not the opinion of the applicant that determines if an EIR will be required, the County makes that decision. If an EIR is required, scooping sessions would be part of the process.

Planning & Building

6. Would the applicant be willing to conduct at least a part of the geotechnical analysis prior to filing an application?

#### PLANNING AND BUILDING

The EIR will include all geotechnical observations and opinions and must be conducted by a neutral party. Work done either by the developer or the neighborhood organizations would be a duplicate effort. A function of the EIR is to provide neutrality.

7. Are the homeowners allowed to hire their own geotechnical experts?

The homeowners are free to do as they choose, however, the results would be considered biased.

- 8. For proposed Lots 11 to 22: (a) It is difficult to see what the setbacks would be. (b) Can 2-3 borings be adequate to provide assurance that there will not be slippage? (c) How will restoration of the site be achieved?
  - (a) Setbacks are not shown on this plan, they are determined by the Planning Department regulations. (b) The EIR will make independent recommendations as to how many borings are needed. (c) The construction of the roadway and associated drainage including improvements to the existing benches will channel water from the site to improve or provide drainage where none presently exists. This will keep the grading that is conducted in place and eliminate erosion.
- 9. For Lots 13-17 (cul-de-sac): Will the applicant consider reducing the number of lots?

The property is zoned for 38 lots. The current plan is already substantially less than what is allowed. A reduced number was submitted to allow for more landscaping between homes and to keep the traffic levels similar to levels that presently exist from Valley View Court.

10. Visual Impacts: How will visual impacts be mitigated (a) from the bridge on Highway 280? (b) from Bunker Hill? The proposal would destroy the green belt and devalue property values. What kind of mitigation measures is the applicant prepared to implement? Some kind of vegetative screen is necessary to shield future houses. Is the applicant going to install landscaping or would it be a responsibility of future homeowners? What assurances does the community have that the proposed landscaping will be installed? What will stop future homeowners from removing installed landscaping?

The property does not exist in a visual corridor for Highway 280. The property is private property, not greenbelt and is zoned for 38 lots. The plan includes devoting approximately 37% of the area to open space and a landscape replanting plan will be submitted to revegetate the cut slopes. This work will improve the property and its appearance tremendously and that will improve property values. Constructed houses will include three to five trees per lot and homeowners will undoubtedly plant more. A look at historic photos of the Peninsula shows more trees and landscaping on residential land after construction than before as homeowners seek to improve their land. A warranty bond will be required to ensure all improvements by the developer will be maintained and the new Homeowner's Association will be budgeted to continue the maintenance. New homeowners will certainly take an interest in protecting their investment.

11. Please provide clarification on the proposed greenbelt along Parrot Drive.

The details for that are currently being worked out but a revised walking trail that is 10-20 feet from the property line is being considered with plantings for low trees and shrubs underneath the existing row of large pine trees. The existing row of pine trees will remain.

12. How much excavation is proposed? What kind of vehicular traffic (number of trucks) will be generated as a result of the proposed work? How will the amount of grading and generation of number of trucking trips be determined? How much time will the grading process take? Will this information be made available to the public?

The tentative map submission will include a grading plan, amounts are not yet known at this time. The civil engineer will calculate and determine the amount of grading needed which will in turn determine the number of trucks, trips, etc. The site has excellent direct access to Polhemus Road via Ascension Drive so long trips through residential areas are not necessary. As this information is collected, it will be made available to the public.

13. Is the applicant willing to consider cleaning houses which would be impacted from dust during the grading and construction process?

San Mateo County ordinances requiring prescribed construction practices restrict the amount of dust that is generated from the site. The contractor intends to employ these practices to stay in conformity with the ordinance. Certainly, any deviations outside what is allowed would subject the developer to stop work orders and possible remediation measures.

14. Water run-off? What is the capacity of existing storm drains?

The tentative map will include a detailed plan for the water runoff and capacities of neighboring drains. If the capacity is insufficient, the developer will be required to increase the size of the drains.

15. Ground water: What kind of impacts will the project have on the neighboring properties? Will the future homeowners be liable to impacts on neighboring properties in the future? How can the applicant guarantee that the proposed project will not adversely impact neighboring properties?

The geotechnical engineer has determined that neighboring ground water levels, if impacted at all, would only be reduced as the amount of water that is currently being absorbed by the property now would be diminished by drainage measures, the roadway and other impervious surfaces (roofs, driveways, etc.). Future homeowners would be subject to the same civil penalties as exist for any homeowner to not negatively impact a neighbor's property. County regulations prohibit the transferring of water to a neighbor's property. Any work conducted would need to be approved by the Building Inspection Section and adhere to all local and national building codes.

16. Would like to see a 20-year bond by the applicant to ensure that the proposal would not adversely impact neighboring properties.

No construction that negatively impacts a neighbor's property could be allowed by the existing ordinances already in place.

17. Will the water pressure be affected by the proposal? If the water tank on the hill is damaged, is there any back-up/contingency plan?

California Water Service has stated that capacity and pressure exist to service the planned development. The water service already has an existing plan and alarms in place for leaks to the tank. The land that the tank resides on is not part of the planned development and would not be affected.

18. Will the new development create a new Homeowners Association? Would not like to see new houses be included in the existing Homeowners Association.

A new homeowners association would be created as part of the subdivision.

19. How big will the houses be?

County ordinance will determine the exact size of the houses based on the size of each lot. It is estimated the sizes to be 3,500 to 4,000 sq. ft.

20. How much did the developer pay for land?

This is not relevant to the plan.

21. Would like to see a more detailed plot and topographical maps?

This information will be generated at a later date. The County process brings neighbors into the planning stages early so constructive ideas and contributions can be made a part of the plan. By definition, "early" means not all the information is available now but will be disseminated as it is obtained.

22. Can the applicant show a letter of intent or sample insurance policy for neighbors that would be directly affected. Would like to see insurance policy particularly for landsliding.

The proposed homes are standard housing that exist under topographical conditions that have been approved and constructed hundreds of times before in this area and other areas of the County. Any insurance policy availability or limitations typical to any other homeowner would be available to these homeowners.

23. Is there any provision for affordable housing?

Not at this time. Generally affordable housing units are not widely accepted by neighbors, so none was proposed.

24. What is the financial underpinning of the contractor?

The contractor is completely capable to build out this project and the County would ensure its completion with a performance bond.

25. Who will build the homes?

It is the intention of the developer to build the homes.

26. Will there be CC&Rs?

Yes.

27. Will there be a full disclosure for a contingency plan prior to application?

I don't know what you mean by contingency plan.

28. What are the setbacks for the proposed lots?

The setbacks for this zoning are 20 feet in the front and rear, 5 feet on the sides.

#### **Questions Posed to the County**

1. Does the current property owner have a current obligation to fix existing problems on the property?

There isn't any mechanism in place to require the current owner to fix existing problems and conduct repairs unless a slide were to occur or were imminent, posing a risk to public or private property.

2. Will the geotechnical reports be made available to the public?

Yes, all reports and application materials are public record and will be available for review at the Planning Division from the time of submission.

3. Will there be a transfer to density credits? Is there a consideration of transfer of density credits of the project site to some other site?

County zoning regulations employ the concept of density credits to the rural areas only. The project site is considered an urban area where density is determined by the minimum lot sizes. The minimum parcel size for the project site is 7,500 square feet for the project site.

5. Would like to see more history of the site. What were other attempts at developing the site and why they failed?

Our records indicate no applications for development on this site. There was one conceptual/schematic plan for a 38-lot subdivision put forward for preliminary review in 1999/2000. Staff is not able to speculate as to why the proposal did not move forward from what was only a conceptual consideration.

6. How would all project information (reports, application materials) be made available to the community?

All project information will be available for review at the Planning Division, upon request to the Project Planner.

7. Will there be a follow-up workshop where some information becomes available?

A second workshop is scheduled for May 30, 2002. See the attached announcement for details.

8. Is there any provision for affordable housing?

No affordable housing is proposed at this time. There are no County regulations that require the developer to allocate a portion of the development to affordable housing.

9. Is there a definition for setbacks?

Setbacks are measured from the property line. The project site's zoning district requires 20-foot front yard and rear yard setbacks and 5-foot side yard setbacks.

10. What responsibility does the County take for any catastrophes in the future?

Planning staff is not in a position to respond to this issue. Such questions should be addressed to the Planning Commission at which time County Counsel can provide a relevant and appropriate response.

11. How are rights for trees extending over property lines divided between property owners regarding trimming and cutting of trees?

The County's tree ordinance regulates cutting of significant and heritage trees and trimming of heritage trees. A property owner can apply to the County for a tree removal permit or a tree trim permit. If the permit is approved, then the neighboring property owner has the right to appeal the decision to the Planning Commission. All Planning Commission decisions are appealable to the Board of Supervisors.

12. Is it a County requirement that the access roads be circular?

No, there is no requirement for the access roads to be circular. The fire department will, however, review the access road to ensure that its design allows for safe and adequate access.

#### Concerns/Comments Expressed by Workshop Participants

- 1. Concern about failed mitigation measures in past projects.
- 2. There is not a lot of information available to provide comments.
- 3. Given the slopes of the property, it is not conceivable to see more than 3-7 house sites. Any additional sites would involve deeper cuts. Deeper cuts are a concern given the site's proximity to earthquake faults. Geologically the project site is an extremely difficult site to develop.
- 4. The proposed development is geotechnically hazardous given the slopes. The project would require precise and extensive engineering/geotechnical studies.
- 5. Earlier plans put forward by the applicant showed fewer lots and roads.
- 6. Marginal lands are now being developed. This is problematic.
- 7. The proposed project would result in traffic problems both during construction and after the project is built. There is an existing bottleneck at Lori Lane. The only access road is situated at a dangerous location that would create a blind spot. This would be particularly dangerous during the construction phase.
- 8. There should be a greenbelt easement between the proposed development and the neighboring (older) homes.
- 9. Any problems on the project site would affect market values regardless of whether it physically impacts neighboring properties.
- 10. Would like to see truly independent consultant provide the technical reports.
- 11. Existing manhole is not adequate to handle additional development.
- 12. The road as proposed will remove trees that would impact wind patterns and existing wildlife on the property.
- 13. The proposed road, if designed in a C-shape, could avoid tree removal.
- 14. Concern with underground springs on the property and the impact on neighboring properties when they are disturbed.
- 15. Concern regarding water and sewer adequacy.
- 16. Concern about destruction of natural beauty.
- 17. Concern about greenbelt width proposed it is too narrow.

18. A written memo was received at the workshop from a community member expressing concerns regarding geological stability of the building site; traffic problems during construction and post construction; and public nuisance regarding noise, dust and pollution during earthmoving and construction phases (see attached memo).

MDB:cdn - MDBM0724\_WCN.DOC (05/08/02)



May 9, 2002

Lee B. Bussey 1561 Ascension Drive San Mateo, CA 94402

#### ENVIRONMENTAL SERVICES AGENCY

Dear Mr. Bussey:

Please find below our response to the various questions posed to the County in your letter dated March 9, 2002.

Agricultural Commissioner/ Sealer of Weights & Measures 1. Why would the County allow development of such marginal land? We are all aware of the numerous springs, landslides, erosion problems, etc. Just driving on Ascension and Bel Aire makes it clear that this property is very unstable. As such, is not it a waste of all our time and the County's recourses to even consider development of this site?

Animal Control

Every property owner has a right to apply for a development proposal to the County. The County must consider and process any development proposal regardless of such issues. The decision on the proposal, however, would be dependent on the project's compliance with all applicable policies and regulations of the County's General Plan, Zoning Regulations and applicable State laws including the California Environmental Quality Act (CEQA) (i.e., through a Negative Declaration or the EIR process), and State Subdivision Map Act.

Cooperative Extension

2. Has the County ever approved development of land as marginal as this land? If so, please give the specifics of the development including access to all reports.

Fire Protection

Each application proposal is reviewed on its own merit and checked for its compliance with applicable County regulations. Characterization of the project site or any other private piece of property as "marginal" by the Planning staff would constitute rendering a subjective and a priori opinion that can potentially be subject to a lawsuit.

LAFCo

Parks & Recreation

Library

All application materials, current and past, are part of public record and are accessible to the community at all times at the Planning Division.

Planning & Building

3. What data does the County require to terminate the application for development?

An application for development can either be ultimately approved or denied by the applicable decision-maker (e.g., by the Planning Commission or the Board of Supervisors). The basis of a denial on a development proposal would likely be the project's non-compliance with the County General Plan, Zoning Regulations, Subdivision Regulations or applicable CEQA laws.

4. Who is ultimately responsible for landslides, mudslides, water issues, etc., that are the result of this project?

Planning staff is not in a position to answer this issue. Such questions need to be addressed to the Planning Commission at which time County Counsel can provide the relevant and appropriate response.

5. If the County is responsible, is it prepared to handle the very significant financial risk? It seems to me that the County should be ultimately responsible should they authorize this development.

Planning staff is not in a position to answer this issue. Such questions need to be addressed to the Planning Commission at which time County Counsel can provide the relevant and appropriate response.

6. If the developer is responsible for all of the above, how will the County make certain that the developer has the means to cover such events that may occur during development and anytime in the future?

Bonds will be required to ensure the project is completed according to the list of conditions imposed on the development. Questions regarding impacts that might occur after project completion should be addressed to the Planning Commission as previously indicated.

7. If it is the "to be developed Homeowners Association," how can we be assured that they will have the resources to cover such events? Experience has shown that mudslide repairs are quite expensive. The liability on the proposed 22 new homeowners would be very high and potentially more than the value of their homes.

Planning staff is not in a position to respond to this question, as concerns over such impacts require a legal response.

8. What is the overall experience of the developer? How many other developments has the developer been responsible for and what was the overall response by the communities where the developments occurred?

The developer has been building since 1984, and has built numerous single-family homes and developed two major subdivisions in the Emerald Lake Hills area of the County.

9. What contingency plans are in place or will be in place prior to the onset of any construction?

Staff is not in a position to respond at this point. However, CEQA review and Planning Commission decision will provide appropriate conditions and mitigation measures if the project is approved.

10. What options have been considered for this land and why has the developer come to the current plan?

The plan submitted was presented because it is less dense than the 38 lots that would be allowed under the existing zoning. The developer felt this plan would be better suited for the site by allowing more natural vegetation to remain or augmented via the expansive conservation areas included in the plan. The zoning regulations allow more lots to be proposed on this site but the developer has chosen to reduce the density to keep the site more natural and reduce overall impacts. Additionally, the EIR process will develop and assess alternatives.

11. What will be done to limit the amount of landscape watering that can occur within the proposed development? Landscape watering has been proposed to have been a significant factor in the major slide that occurred in the San Mateo Oaks green space land.

If expert opinion recommends a limit on landscaping watering, then the County has the authority to impose deed restrictions on parcels that would bind all future property owners to restricted amounts of landscape watering. Again, the EIR process will consider and assess such impacts.

12. What additional liability insurance will be required by the potential homeowners that choose to install pools?

While staff is not able to speak to the specifics of liability insurance, pool development and construction are regulated by the County Building Inspection Section and the County Geologist. Homeowners would include the existence of the pool on their homeowners' policies.

13. What can be done to limit the size (keeping them to the size of homes currently in the area) and the number of potential homes on the site should the project be approved?

Current zoning regulations would limit both the size of the homes and the number of parcels (building sites) that can be created. Additionally, however, the EIR process may stipulate mitigation measures that could potentially further reduce house size.

14. What are the County and the developer going to do to ensure reasonable privacy for the current residents?

Setback requirements in the zoning regulations aim at providing privacy in any developed, urban area. The developer is proposing larger lots than presently exist and a large greenbelt area that will promote greater privacy between the houses. Additionally, the EIR process may yield mitigation measures that address this issue.

15. What is the County going to do to improve runoff drainage in the area to address the current capacity of storm drains? What will the County do to enhance the capacity to cover the increased needs due to the development?

Any development will be reviewed by the County Geologist, the Department of Public Works and the Building Inspection Section to ensure that adequate drainage culverts and systems are in place. In fact, development of the site will improve and/or create drainage systems where presently none exist. Additionally, the EIR process would address these issues as well.

16. What is the County going to do to improve the water pressure in the area? Many days during the summer, sprinklers do not function properly. Under such low water pressure conditions, it is likely that the fire hydrants will not supply sufficient water either. This needs to be addressed now and will also have to be addressed should the development take place.

The County does not have the authority/jurisdiction over water districts and is not in a position to address water pressure in this or any area. California Water Service will have to approve the current plan by issuing a "will serve" letter in which they guarantee the capacity. The appropriate fire authority will assess the system in terms of ensuring adequate water pressure for fire suppression. Additionally, the EIR process would address this issue.

17. What assurances do current homeowners have that this development will not decrease the value of our homes? If the development does decrease the value of our homes, who is ultimately responsible?

The County is not in a position to provide assurances regarding the project's impact on the value of homes. It is, however, the County's responsibility to ensure that any development proposal meets all the applicable zoning and building codes to ensure a quality project.

18. What value does the County have on open space used by wildlife? What is the County going to do to protect the space for the various species that use it? What is the County's plan to determine if any species on the endangered list utilize this land?

Once an application is received, the County will be conducting an environmental review of the proposed project. As part of this process, typically an Environmental Impact Report will be prepared where independent consultants will identify biological resources present on the site and assess the project's impacts on such resources including necessary mitigation measures to reduce or prevent such impacts.

19. Since the land is used by so many species, what plans does the County have regarding the needs for increased animal control should the development occur?

The Environmental Impact Report will address that.

20. What will be the full impact on the stand of trees present on the hill? What will be done to assure that none are removed or damaged in anyway?

The existing trees that border the neighbors on Parrott Drive are proposed to remain. Any other trees on the site would fall into the County's ordinance regarding tree removal and replanting on a 1 to 1 ratio is required if any have to be removed. The County strongly recommends and encourages a design that minimizes tree removal. Additionally, the EIR process will address this issue as well.

21. What will the County and the developer do to ensure that all damaged vegetation and land will be returned to its "prior to development state"?

The new lots will be subject to the County's Grading Ordinance that will require the developer to minimize grading. County ordinances have been created to leave natural topography as a priority. The developer's proposal includes replanting the conservation area, a proposed improvement that would be assessed in the EIR.

22. How long will the developer be responsible for the vegetation? How much money will be set aside of the annual replanting that was stated to be around 30%? How will the responsibility be transferred to the proposed new homeowners association? What will ensure that they will keep the vegetation appropriate?

Typically, the County requires for, whatever number of years deemed appropriate in the review process and as determined by the decision-maker, landscaping deposits from the developer to ensure that installation of the landscaping and its maintenance for two to three seasons. The County will ask the developer to provide a budget for replanting as part of the proposal. County staff will review this for legitimacy and verify that it will be sufficient to ensure planting and maintenance.

23. How will the County and the developer ensure that the homes in the development have appropriately aged (sized) vegetation so that the development does not look like an eyesore at Highway 92 and Polhemus? What are the County's requirements regarding this?

The County's General Plan identifies Interstate 280 as a designated State Scenic Road and Polhemus as designated County Scenic Road. The project site falls outside the Interstate 280 scenic corridor and inside Polhemus scenic corridor. The County's General Plan, Visual Quality Chapter provides policies and guidelines for regulating development for protecting scenic roads.

24. What steps will the County take to be certain that they have credible geologists and engineers involved in any surveys and reports that are generated?

County staff will interview and hire a consultant for preparation of the Environmental Impact Report (EIR). All reports including the EIR will be reviewed by the County Geologist and staff.

25. What will be the County's plans regarding utilities? Are there expectations to bring in larger electrical trunk lines to generate higher levels of EMF? What about gas, sewage, etc.? Most of the utilities in the area are over 30 years old and were likely not designed to handle the increased demand. Will all of the new additional utilities be underground?

All the new utilities will be underground and the utility companies providing services must provide "will serve" letters guaranteeing service as a condition of development. Any increased capacity requirements for services would be upgraded and paid for by the developer according to County standards and utility district specifications. Additionally, the EIR process will also assess this issue.

26. How long/often will utilities be shut off to current homeowners. What will be done to notify current residents when it will occur? What is the contingency plan should utilities be off for an extended period? Will be torn up due to utilities work (and for how long) should this development proceed?

These issues will be assessed later in the review process including and after input from the utility companies is received.

27. How long will the proposed project take? What will be the working hours and will work occur on weekends or holidays?

The developer believes that the construction of the lots and the roadway would take about a year. Work hours would be restricted as mandated by the County Noise Ordinance and as suggested by the EIR process and the decision-maker.

28. What is the maximum allowed sound level that will occur during development? What are the recourses should these sound levels be exceeded?

The County Noise Ordinance restricts noise levels to 60 dBA daily except Sundays and legal holidays between 7:00 a.m. to 7:00 p.m. All noise-related complainants are handled by the Environmental Health Division.

29. What compensation will be made to current homeowners for dust and dirt, utility outages and potential land use?

If the project is approved, conditions of approval would require the developer/contractor to adhere to the requirements of the dust control plan or other rules to ensure a clean, working site.

30. The area is very windy. Has any consideration been given to the potential for heath risks associated with development of the site? Large amount of dust is just one of the issues. Fungal, pollen, and bacterial spores will also be released into the environment in elevated numbers during construction and can certainly have an effect on individuals with respiratory problems or young children. What is going to be done to protect current residents from this respiratory invasion?

The County requires that the contractor adhere to an approved dust control plan. The EIR will also review and assess this issue.

31. What can be done to make certain that this proposed development is under the responsibility of one and only one developer?

The proposal is being submitted by only one developer. The County does not have the authority to require that subsequent development be the responsibility of only one developer. Regardless of ownership, the project must adhere to all County regulations and ordinances, as well as conditions of approval.

32. What will the County and the developer do to ensure that if this project is started that it is completed, even if issues develop making it financially unsound?

A performance bond would be required and/or the Final Map would not be allowed to be recorded until the work is completed preventing the developer from selling any lots.

33. What is going to be done to handle the added traffic and to minimize the traffic safety issues? This includes all current roads all the way to Highway 92 and I-280.

An independent traffic study, as part of the EIR process, will be conducted to assess the traffic impacts.

34. What will the County do to increase Sheriff, Animal Control, and Fire support in the area should the development be approved? What will be the required increase staff and

resources for each department and how many additional vehicles will be needed? How will the increases be funded?

The EIR process will assess the above issues.

35. How many previous attempts have been made to develop this land? Please supply the details for each.

Our records indicate no applications for development on this site. There was one conceptual/schematic plan for a 38-lot subdivision put forward for preliminary review. Staff is not able to speculate on why the proposal move forward from what was only conceptual consideration.

36. What were the reasons that previous attempts to develop this land were halted?

Staff is not able to speculate on why the proposal did not move forward from what was only a conceptual consideration.

37. Is the County going to make all reports regarding the previous attempts public information? I hope that this will include all geologist and engineering studies.

All information that County has on this property is already public information. As the previous proposal for development on this property was only a conceptual proposal, no reports or studies were submitted.

38. What is the owner going to do about the current erosion and slide issues on the land? This needs to be addressed prior to consideration of the development. I am unaware of any work by the current owner to help minimize the effects of erosion and slides. If the owner has done work, please describe it in detail including the cost of such work.

The County is not aware of any work done by the current owner to minimize current erosion, nor will the owner be required to do such work prior to the proposal's consideration and processing. Such issues will be reviewed and assessed as part of the County's review and the EIR process.

39. Why has the County not required the current landowner to repair the drainage on the property?

There is no mechanism in place to require the current owner to conduct repairs unless a slide was to occur posing a risk to public or private property.

40. How much did the current landowner pay for the land?

This information can be retrieved from the County Assessor's records.

41. Are all the taxes on the land current?

This information can be retrieved from the County Assessor's records.

42. What is the estimated value of the land currently?

The Planning Division does not and cannot concern itself with the financial economics of land ownership.

43. What is the estimated value of the developed land?

The Planning Division does not and cannot concern itself with the financial economics of land ownership.

44. What is the estimated selling price of the proposed homes?

The developer has indicated approximately \$1,500,000 subject to market conditions at the time of their completion and sale.

45. When will the next pre-application meeting occur?

May 30, 2002. Please see attached announcement for the second workshop.

46. When will the documents be available on the County's web site?

The County does not have the resources to place application materials and application documents on the web site.

47. What is the address of the web site that will contain information regarding this issue?

The web site address of the County Planning Division is <a href="www.co.sanmateo.ca.us/planning">www.co.sanmateo.ca.us/planning</a>. However, this web site will not contain information regarding this project. See response to Question #46.

48. When will accurate and scaled preliminary drawings of the proposed site be available?

Scaled, full-sized preliminary drawings submitted by the applicant for the purposes of preapplication workshop are on file and available for review at the Planning Division. When the developer makes a formal application, all application materials become available for review at the Planning Division. 49. As was requested at the meeting, please supply a detailed map that shows all underground pipes and utilities on the property.

The County cannot require the developer to submit this information at the pre-application workshop stage.

50. What is the typical progression of a development of this type? Please give the details to meetings, timelines, required reports, decision points including who has the ultimate decision, and the overall expected time to a decision and completion (should it be approved).

Typically, after a pre-application workshop is held, the applicant files the subdivision application with the County. He may or may not revise his design based on the comments received from the workshop. Once the application is received, the County routes the application to various departments and agencies (Department of Public Works, Fire District, Water District, etc.). After receiving the comments, the Planning Division conducts an environmental review to determine whether an EIR or a Negative Declaration is necessary. If an EIR is necessary (as it is likely for such projects), the Planning Division hires a consultant to prepare an EIR. Typically, a scoping session is conducted with the community to define the scope of the EIR. The consultant then prepares the Draft EIR, which is reviewed by the Planning Division before a 45-day public review period is initiated. Comments are collected during the 45-day review period, evaluated and responses are incorporated under a separate section of the Final EIR. The Final EIR is then scheduled for a Planning Commission public hearing for certification. Since this project includes no zoning or General Plan amendments, the Planning Commission will also be the decision-maker of the subdivision application. However, that decision is appealable to the Board of Supervisors. Typically, at least two Planning Commission public hearings can be expected: one for the certification of the EIR and one for a decision on the project.

51. What are the credentials and experience of all County officials involved in making the decision regarding the potential authorization of this development?

The decision-making body on this project would be the Planning Commission. The five members of the Planning Commission are appointed by the Board of Supervisors, from their respective districts. Planning staff does not have information regarding their credentials on file.

52. Can the County supply names and contacts for agencies that support residents in their efforts to block future land development?

The County Planning Division has available a 44-page document entitled "List of Agencies and Organizations that Follow Planning Issues." A copy can be obtained on request.

Lee B. Bussey May 9, 2002 Page 11

53. It would be appreciated if the developer and the County come better prepared to future meetings. As was said several times, few facts were available. It should also be pointed out that many people in the audience have advanced degrees—with significant understanding of the issues at hand. Condescending language and broad questionable statements by the developer and geological engineer only minimized these speakers' ability to communicate and raised serious credibility concerns.

The workshop meetings are designed to bring the public comment into the process at an early stage. It is not expected of the developer to "have all the answers" now as the plan is still being created and with the input of the community.

I want to thank you for your comments and the questions posed by you would be extremely helpful in defining the scope of the EIR for this project.

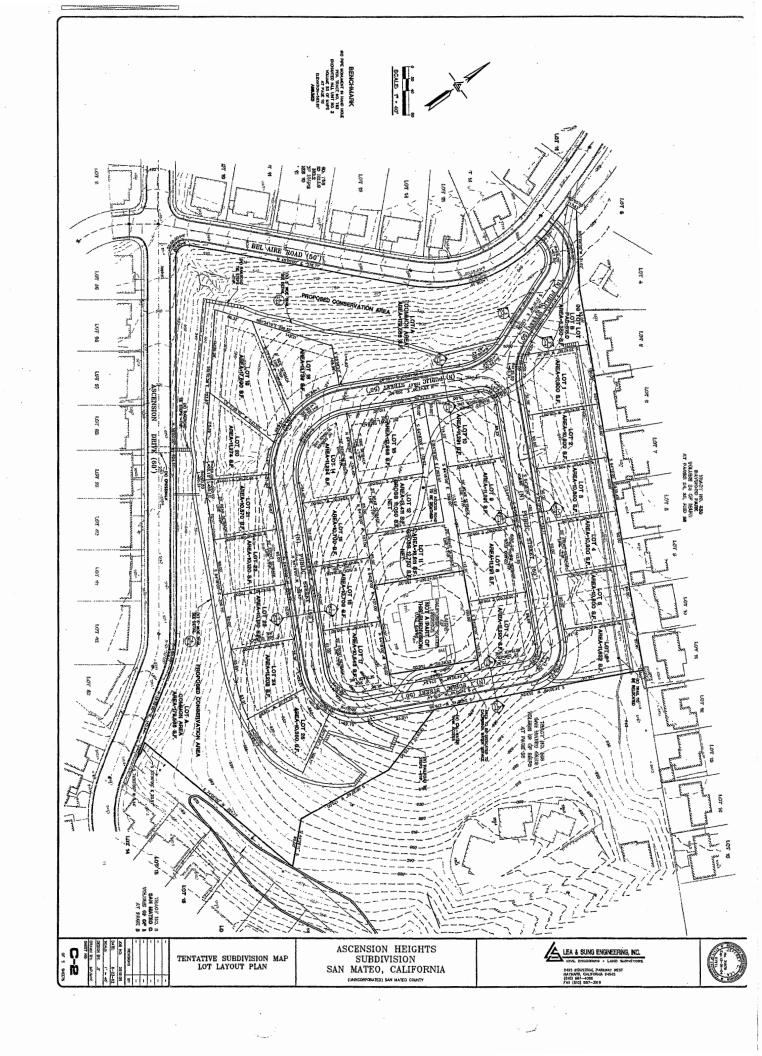
Sincerely,

Miroo Desai Brewer Project Planner

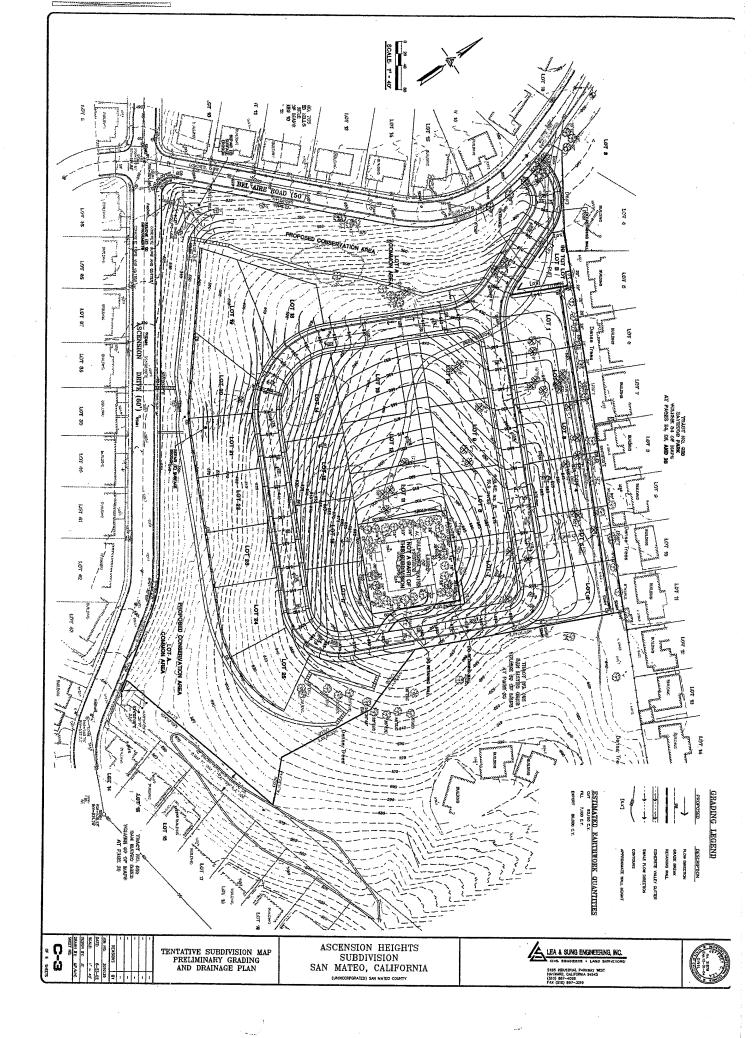
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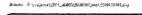
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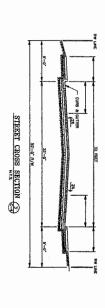
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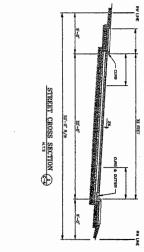


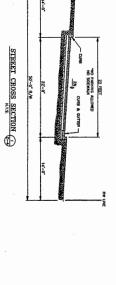
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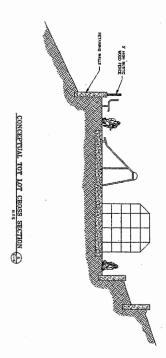


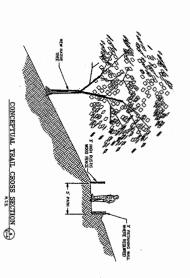












TENTATIVE SUBDIVISION MAP

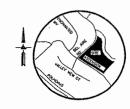
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ASCENSION HEIGHTS
SUBDIVISION
SAN MATEO, CALIFORNIA
(LARIKCORPORATED) SAN MATEO COLITY





#### **ASCENSION HEIGHTS SUBDIVISION** CALIFORNIA SAN MATEO, (UNINCORPORATED)



VICINITY MAP

#### PROJECT INFORMATION

OWIER:	JOHN O'ROURKI CHRIS T. JANE			
AREA:	13.25± ACRES			
ASSESSOR'S PARCEL NOS:	1. 041-111-0 2. 041-111-1 3. 041-111-1 4. 041-111-2 3. 041-111-2			

LOT COVERAGE

% OF TOTAL BEFORE INDIVIDUAL LOTS YOTAL: PUBLIC STREETS:

UTILITY SERVICES SAN MATEO COUNTY

CABLE TO EPHONE EXISTRIG USE:

CRYSTAL SPRINGS SMITTARY DIST CALIFORNIA WATER AT&T CABLE SERVICES PACIFIC BELL

VAÇANT LOT

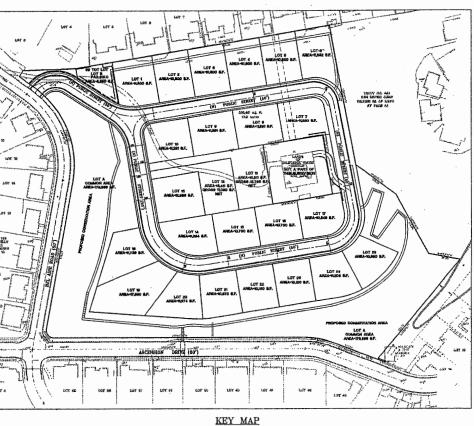
TENTATIVE SUBDIVISION TITLE SHEET

ASCENSION HEIGHTS SUBDIVISION SAN MATEO, CALIFORNIA (OMEGENERALE) NA BATE CARTY

#### SHEET INDEX

SHEET NO	DESCRIPTION
C-1	TITLE SHEET
C-2	LOT LAYOUT PLAN
C-2	PRELIMINARY GRADING AND DRAINAGE P
D4	PRELIMINARY UTILITY COMPOSITE PLAN
C-5	CONCEPTUAL DETAILS





#### BENCHMARK

LEGEND

PROPOSED

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2

DESCRIPTION BOUNDARY

SANITARY SEWER LINE WATER 1IME SET BACK LINE

FIRE HYDRANT

CURB CATCH B

ELECTROLLER

SPOT ELEVATION

TREE TO BE REMOVED

EXISTING

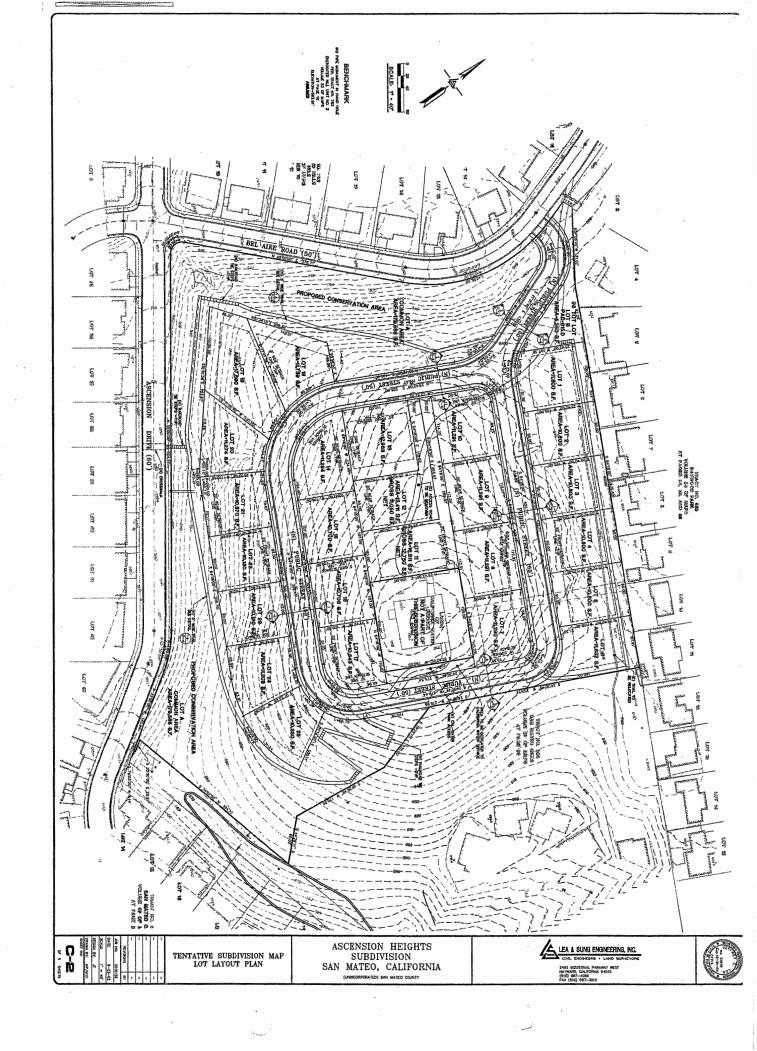
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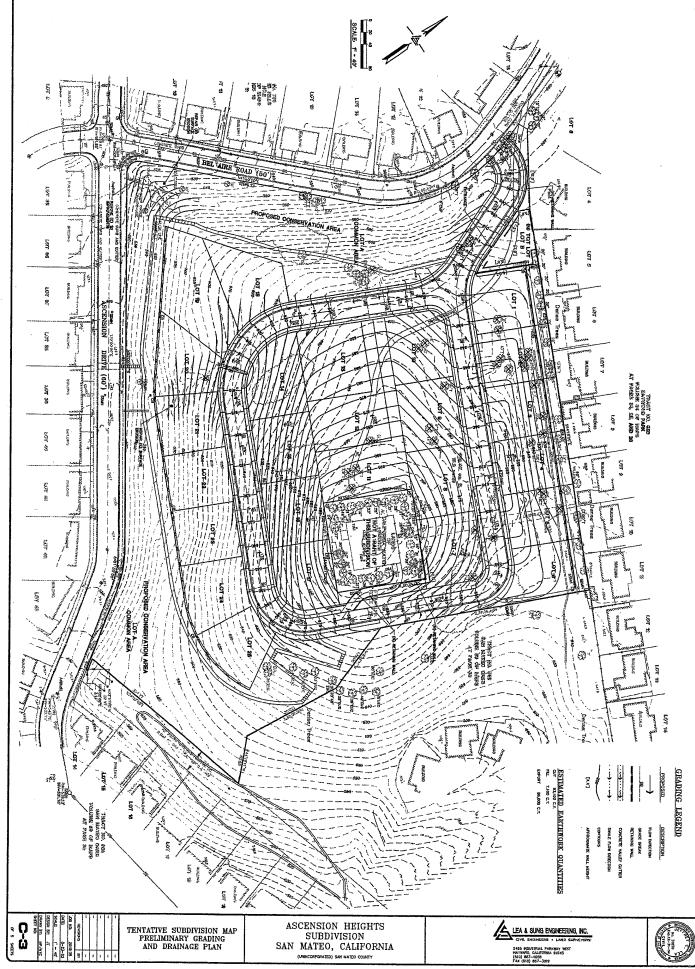
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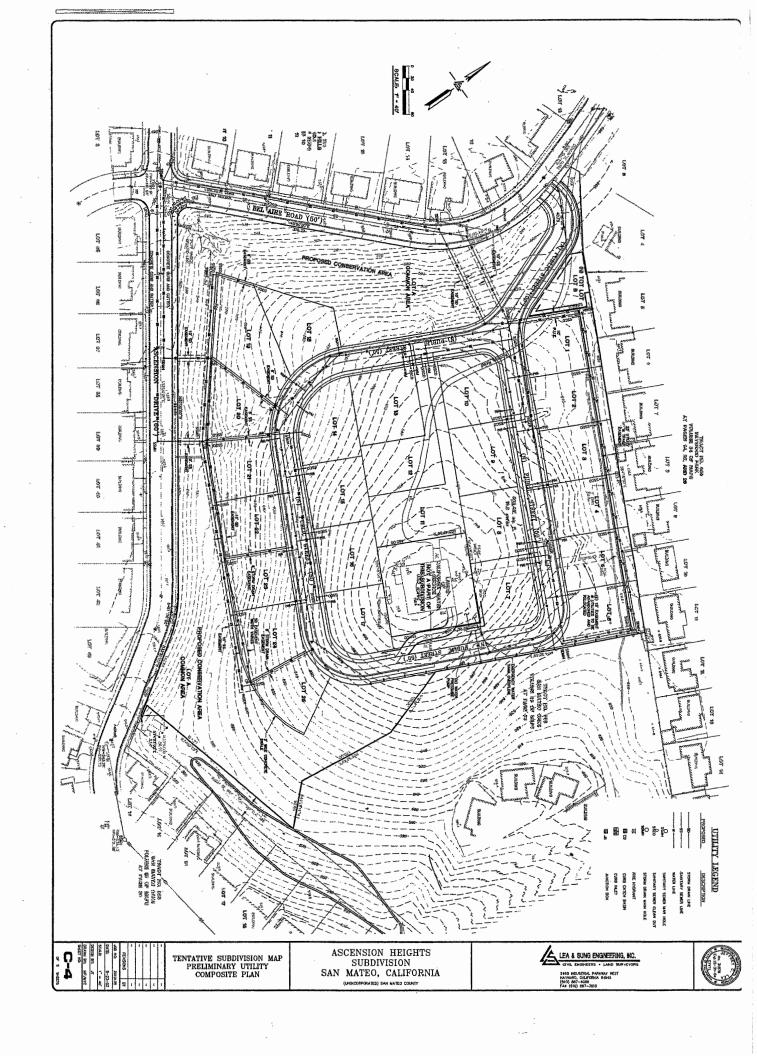
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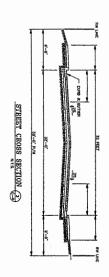
C-1

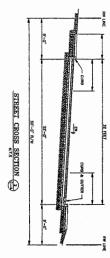
8-23-02 SCALE: 1" - 40"

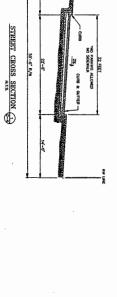


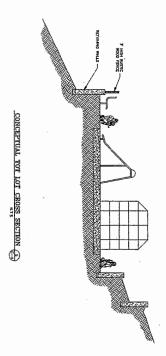




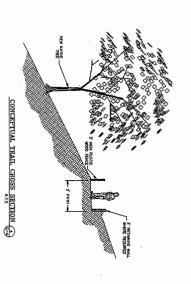








TENTATIVE SUBDIVISION MAP CONCEPTUAL DETAILS



ASCENSION HEIGHTS
SUBDIVISION
SAN MATEO, CALIFORNIA
(MRICOMPUMIED) SAN MATEO COUNTY





Ms. Miroo Brewer Planning Department 455 County Center Redwood City, CA. 94063

7510753

Re: Vacant land Bel Aire Road and Ascension Drive 041-111-130 041-111-160 041-111-270 041-111-380 041-111-360

Dear Ms. Brewer,

Mr. Dennis Thomas of San Mateo Real Estate & Development has my permission to submit plans and take all necessary steps with the county for the development of a 25 home subdivision at the above referenced property.

Please contact me if you have any questions.

Sincerely,

John O'Rourke

Owner

415 272-2257

#### SAN MATEO COUNTYWIDE STORMWATER POLLUTION PREVENTION PROGRAM NPDES Permit Compliance for Construction and New Development Checklist for Permanent Stormwater Quality Controls Key: Req'd = required conditions for project; Incl. = included in submittal; Done = implemented on site. Req'd Incl. Done REQUIREMENTS FOR ALL PROJECTS The selection of and requirements for permanent stormwater quality controls ("post-construction" BMPs) will depend on the type of development, the amount of impervious area proposed, and location of the project relative to water quality resources. Use the following checklist and the "Regional Board Staff Recommendations" to select appropriate BMPs and provide additional information to applicant. Evaluate type, size, and location of development: Type of development: Directly connected impervious area!: □ Residential □ < 1 acre</p> ☐ 1-5 acres □ Industrial □ > 5 acres □ Commercial Is any part of the project located in a sensitive area<sup>2</sup>? □ yes Provide plans for and implement the following post-construction BMPs: (Check those that apply, using the matrix on the back of this page; for description, see Regional Board Staff Recommendations) Pollutant Source Controls Stormwater Volume/Treatment Controls ☐ Runoff control □ Education/training ☐ Roof downspout system □ Landscape controls □ Litter controls □ Vegetated swale ☐ Labeling storm drain inlets ☐ Vegetated filter strip □ Sand filter □ Site planning □ Other treatment control designed ☐ Street sweeping to meet a performance goal ☐ Storm drain maintenance □ Common car wash area ☐ Grease controls Other Measures □ Trash controls □ Stream erosion control ☐ Cleaning, maintenance and □ Water quality monitoring processing controls ☐ Coverage by and compliance with an ☐ Fuel dispensing controls Industrial NPDES Stormwater Outdoor storage controls Discharge Permit Loading dock controls Public agency project controls Develop an agreement of responsibility and funding for ongoing implementation and maintenance of BMPs, as appropriate for the BMPs required. NOTES: 1. Directly connected impervious area is defined as the area covered by pavement, building roofs, and other impervious surfaces which drain directly into the storm drain, excluding impervious areas which drain directly onto infiltration devices. A project is located in a sensitive area if the limit of impervious area will be located less than 200 feet away from a water quality resource, including a wetland, stream, pond, lake, river, or bay.

From: San Francisco Bay Regional Water Quality Control Board, April 1994. Staff Recommendations for New

Page 1 of 1

EOA, Inc. c:\sm66-10\cheklist.re

and Redevelopment Controls for Storm Water Programs.

## NPDES PERMIT COMPLIANCE FOR CONSTRUCTION AND NEW DEVELOPMENT CHART FOR IDENTIFYING REQUIRED PERMANENT STORMWATER CONTROLS

			TIFTING K							,		·
Best Management Practice (BMP) Required	Res. less than 1 acre DCIA	Res. between 1-5 acres DCIA	Res. greater than five acres DCIA	Res. Sensitive Areas DCIA	ind. less than 1 acre DCIA	Ind. between 1-5 acres DCIA	ind. greater than five acres DCIA	Ind. Sensitive Areas* DCIA	Comm. less than 1 acre DCIA	Comm. between 1-5 acres DCIA	Comm. greater than five acres DCIA	Comm. Sensitive Areas
Education/Training	<b>✓</b>	✓	✓	✓								
Landscape Control	1	. 1	✓	✓								
Litter Control	<b>✓</b>	1	✓	✓-								
Labeling Storm Drain Facilities	. 🗸	✓	✓	✓								
Runoff Control	<b>✓</b>	<b>√</b>	√	✓	✓	✓.	✓	1				
Site Planning		✔	✓	<b>√</b> *		1	. 🗸	<b>√</b> *		✓	✓	<b>√</b> *
Swales or Sand Filters		. 🗸	· 🗸	√*		4	✓	<b>√</b> *		✓	1	<b>√</b> *
Street Sweeping		✓	<b>√</b>	<b>√</b> *		· 🗸	<b>√</b>	√*		✓	✓	<b>√</b> *
Labeling/Maintenance of Storm Drain Facilities		✓	✓.	<b>√</b> *		✓	✓ ,	<b>√</b> *		✓	<b>✓</b>	<b>√</b> *
Common Car Wash Area		✓	<b>✓</b>	√*								
Treatment Control Designed to Meet Performance Goal			✓	<b>√</b> **			✓	<b>√</b> **			✓	<b>√</b> **
Roof Downspout System				✓ .				✓				✓
Swales				1				· 🗸				✓
Vegetated Filter Strip				✓.				✓				✓
Stream Erosion Control				✓,				.√				✓
Water Quality Monitoring				<b>√</b> **				√**				√**
Grease Controls					✓	✓	✓	. 🗸	<b>√</b>	✓	✓	✓
Trash Controls					✓	✓	1	✓	. 🗸	✓	<b>✓</b>	<b>✓</b>
Cleaning, Maintenance and Processing Controls					1	✓.	✓	✓	. 🗸	✓	✓	✓
Fuel Dispensing Controls					✓	1	1	✓	✓	✓	√	✓
Outdoor Storage Controls					✓	1	✓	✓	1	1	1	1
Loading Dock Controls					<b>1</b>	1	✓	✓	√ √	1	✓	1
Landscape Controls					✓	<b>√</b>	✓	✓	✓	1	<b>✓</b>	1
Putlic Agency Project Controls					✓	✓	✓	<b>→</b>	. 🗸	✓	✓ .	✓
Coverage by and Compilance with an Industrial NPDES Storm Water Discharge Permit					<b>√</b>	✓	<b>√</b>	· 🗸				

<sup>\*</sup> For projects between 1-5 acres only.

The above chart applies to numeric thresholds of directly connected impervious area (DCIA) proposed for residential (Res.), Industrial (Ind.), and Commercial (Comm.) projects. In addition to the above requirements, all projects must meet minimum construction BMPs required for all development projects which are listed on the STOPPP "Checklist for Construction Requirements." These requirements are based on the RWQCB Recommendations and are indicated on the STOPPP Construction Requirements checklist. Additional BMPs may be obtained from your local Planning Department or through the "California Storm Water Construction Activity BMP Handbook".



<sup>\*\*</sup> For projects greater than five acres only.

# SAN MÂTEO COUNTYWIDE STORMWATER POLLUTION PREVENTION PROGRAM NPDES Permit Compliance for Construction and New Development Checklist for Construction Requirements

<u>Req'd</u>	Incl.	<u>Done</u>	Key: Req'd = required conditions for project; Incl. = included in submittal; Done = implemented on site.
			OR ALL PROJECTS prochures on construction best management practices (BMPs).
			<ol> <li>Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.</li> </ol>
			<ol> <li>Control and prevent the discharge of all potential pollutants, including solid wastes, paints, concrete, petroleum products, chemicals, washwater or sediment, and non-stormwater discharges to storm drains and watercourses.</li> </ol>
			3. Use sediment controls or filtration to remove sediment from dewatering effluent.
			<ol> <li>Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area in which runoff is contained and treated.</li> </ol>
			<ol> <li>Delineate clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees, and drainage courses with field markers.</li> </ol>
			<ol> <li>Protect adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.</li> </ol>
			7. Perform clearing and earth moving activities only during dry weather.
	0		8. Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
			9. Limit construction access routes and stabilize designated access points.
			<ol> <li>Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.</li> </ol>
. The	e follow the proj	ing requi ect distu	DIMENT CONTROLS  frements apply if: 1) any part of the project disturbs land with a slope exceeding %;  rbs SF or more total area; 3) the project involves grading of more than cubic  1) an erosion and sediment control plan is required by local ordinance.
			<ol> <li>Stabilize all denuded areas and install and maintain all temporary erosion and sediment controls continuously between October 1 and May 1 of each year, until permanent erosion controls have been established.</li> </ol>
			2. Provide a site plan showing the following site characteristics and improvements:
			<ul> <li>property lines, existing and proposed topography, and slopes;</li> <li>areas to be disturbed, locations of cut/fill, and soil storage/disposal areas;</li> <li>areas with existing vegetation to be protected;</li> <li>existing and proposed drainage patterns and structures;</li> <li>watercourses or sensitive areas on-site or immediately downstream of project;</li> <li>designated construction access routes and staging areas.</li> </ul>
			3. Provide a site plan showing erosion and sediment controls to be used during construction, selected as appropriate from the California Construction BMP Handbook (1993) or ABAG Manual of Standards for Erosion and Sediment Control Measures (1995): < continued on page 2>
s.			Page 1 of 2 EOA, Inc. c:\sm66-10\cheklist.rev

# SAN MATEO COUNTYWIDE STORMWATER POLLUTION PREVENTION PROGRAM NPDES Permit Compliance for Construction and New Development Checklist for Construction Regulirements

Reg'd	<u>Incl.</u>	<u>Done</u>	Key: Req'd = required conditions for project; Incl. = included in submittal; Done = implemented on site.
II. ER	OSION A	AND SEE	DIMENT CONTROLS, CONTINUED
			Requirements for an erosion and sediment control site plan:  Provisions for preventing erosion and trapping sediment on-site, such as sediment basins or traps, earthen dikes or berms, silt fences, straw bale dikes, check dams, storm drain inlet protection, soil blankets or mats, covers for soil stock piles, and/or other measures.
			<ul> <li>Provisions for vegetative cover in disturbed areas, including areas to be seeded, planted, and/or mulched, and types of vegetation proposed.</li> </ul>
			<ul> <li>Provisions for diverting on-site runoff around exposed areas and diverting off- site runoff around the site (e.g., swales and dikes).</li> </ul>
	0		4. Provide notes, specifications, or attachments describing the following:
			<ul> <li>Construction, operation and maintenance of erosion and sediment control measures, including inspection frequency;</li> </ul>
			Methods and schedule for grading, excavation, filling, clearing of vegetation, and storage and disposal of excavated or cleared material;
			<ul> <li>Specifications for vegetative cover and mulch, including methods and schedules for planting and fertilization;</li> </ul>
			☐ Provisions for temporary and/or permanent irrigation.
acr Co. pre	res or ma ntrol Bo epare an	ore of di ard to ol d implen	≥ 5 ACRES DISTURBED AREA The following requirements apply to all projects with 5 sturbed area, which must file a Notice of Intent (NOI) with the State Water Resources of the coverage under the State General Construction Activity NPDES Permit, and must ment a Storm Water Pollution Prevention Plan (SWPPP). Note: Completion of this imply certification of the adequacy of the SWPPP by the local agency.
			A copy of the project's NOI and SWPPP shall be submitted to the planning, building, or engineering department prior to issuance of a grading or building permit.
		0	A copy of the project's NOI and SWPPP shall be kept on-site and made available for review by the inspector upon request.
	_	<u> </u>	In addition to erosion control measures in Section II, the SWPPP shall include:  A plan showing designated areas for 1) storage of soils, wastes, and other construction materials, and 2) vehicle and equipment storage and service.
			<ul> <li>□ Descriptions of construction BMPs (to be implemented <u>year round</u>) for:</li> <li>□ Minimizing pollutant contact with storm water;</li> <li>□ Storage, handling and disposal of construction materials and wastes;</li> <li>□ Management of non-storm water discharges; and</li> <li>□ Spill prevention, control, and cleanup.</li> </ul>
			<ul> <li>Descriptions of and plans showing permanent stormwater control measures, and plans for their inspection and maintenance;</li> </ul>
			A stormwater monitoring program including site inspections prior to and immediately after storm events.  Page 2 of 2  EOA, Inc. c:\umb6-10\chek\list.rev



### Payment Receipt

Receipt #: 0000000000000018379

Check Number #: CREDIT

Name:

SAN MATEO REAL ESTATE, INC

Address:

.....

Parcel#: 041-111-360

Case# Number	Account Number	Description	Date Paid	Amount Due	Amount Paid
PLN2002-0051	7 38450-1266	SMJ - Major Subdivision	8/28/2002	9,471.00	9,471.00
	38450-1263	Grading Permit	8/28/2002	4,282.00	4,282.00
	38450-2123	Env.Rev EIR processing f	fee 8/28/2002	2,570.00	2,570.00

**Total Paid:** \$16,323.00

Planning and Building Division = 455 County Center = Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

08/28/2002

SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

SUBJECT: Application Status of Case No: PLN2002-00517

Project Description:

Grading Permit and Major Subdivision application to subdivide 13.9 acres into 25 residential lots. Improvements to include new public roads, new storm drain, new sanitary sewer and realign water main.

Proposal also includes kids 'tot lot' and recreation trails.

Your application has received preliminary review by the Planning Division's Development Review Committee; the application has been found to be incomplete as described in the enclosure to this letter.

Progress cannot be made on your application until it is complete. Please feel free to contact me or staff of other departments as indicated in the enclosure if you have any questions or comments.

Once submitted, your material will be evaluated by the Development Review Committee and you will be advised if any incomplete items remain.

Sincerely,

GABRIELLEE HUDSON

Project-Planner

Planning and Building Division = 455 County Center = Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

Page 2

Application Status of Case No: PLN2002-00517 For: SAN MATEO REAL ESTATE, INC

08/28/2002

The application is incompete at this time. Please submit the following information:

- 1. Title report for all parcels included in the application
- 2. Proof of ownership for all parcels
- 3. Letter of concurence from parcel owners.

Please submit this above information as soon as possible in order for a full review of the project to commence. Your application has only been given a preliminary review at this time by the counter in-take planner. Additional information may be required following a further review by the project planner and other interested agencies.



### Payment Receipt

Receipt #: 00000000000000021728

Check Number #:3412

Name:

SAN MATEO REAL ESTATE, INC

Address:

.....

Parcel#: 041-111-360

Case # Account Number Number	Description	Date Paid	Amount Due	Amount Paid
PLN2002-00517 38450-2123	Env.Rev EIR/Prepartion	5/28/2003	10 980 30	10 980 30

Total Paid:

\$10,980.30

103/97.16. 103/97.16.



# Payment Receipt Receipt #: 00000000000000021726

**Check Number #: CREDIT** 

Name: SAN MATEO REAL ESTATE, INC

Address: .....

Parcel#: 041-111-360

Case # Account Number Number	Description	Date Paid	Amount Amount Due Pai	
PLN2002-00517 38450-2123	Env.Rev EIR/Prepartion	5/28/2003	30,000.00 30,000.0	0

Total Paid:

\$30,000.00



### Payment Receipt

Receipt #: 00000000000000021725

Check Number #:991

Name:

SAN MATEO REAL ESTATE, INC

Address:

: .....

Parcel#: 041-111-360

Case # Account Number Number	Description	Date Paid	Amount Due	Amount Paid
PLN2002-00517 38450-2123	Env.Rev EIR/Prepartion	5/28/200	3 62,216.86	62,216.86

**Total Paid:** 

\$62,216.86

### San Mateo Gunty Environmental Services Agence **Services Agency**

Referr Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 09/13/2002

09/13/2002

- 1	ιπ	

✓ SMCo Public Works - Roads	Plng. Dir., City of
SMCo Geotechnical	Mid-Coast Community Council
SMCo Environmental Health	Pescadero Municipal Advisory Committee
✓ SMCo Building Inspection	North Fair Oaks Community Council
SMCo Parks & Recreation	Homeowner's Association
Fire Marshal/Fire District	Regional Water Quality Control Board
Coastal Commission	Mid-Peninsula Regional Open Space District
Water & Sanitary Districts	California Department of Fish and Game
Sonoma State University	

FROM: MIROO BREWER, Project Planner

#### Instructions

Please review this form and the attached planning permit application materials with regard to your areas of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this 9/30/2002 to avoid delay in meeting the scheduled hearing date. Thank you for form only by \_\_\_ your cooperation.

#### **Application Information**

- 1. Primary Permit: PLN2002-00517
- 2. Property Owner: JOHN OROURKE 11 SARGENT LANE SAN MATEO, CA 94402

Phone #: (650)578-0330

Project Applicant:

SAN MATEO REAL ESTATE, INC. 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

Phone #: 650 578 0330

Project Location: BEL AIRE & ASCENSION DRIVE

Assessor's Parcel Number (s): 041-111-130

041-111-160

041-111-270

041-111-280 041-111-320

041-111-360

#### **Project Description:**

Grading Permit & Major Subdivision application to subdivide 13.9 acre parcel into 25 residential lots. Improvements to include new public roads, storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

fpInprmapp

Referr. If Planning Permit Applicatio

File No.: PLN2002-00517

Planning and Building Division = 455 County Center = Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

Date: 09/13/2002

09/13/2002 Page: 2 Decision Maker: Zoning Hearing Officer Staff Planning Commission Board of Supervisors Comments on Proposed Project State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments: Recommended Conditions of Approval (Agencies only) List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary. No Recommended Conditions Refer to Permit\*Plan for Conditions Refer to Attached Material for Conditions: conditions: Telephone: Completing this Form: MIROO BREWER Return this form to: Planning Division 455 County Center Mail Drop PLN122

Redwood City, CA 94063



# Case Activity Listing Case #: PLN2002-00517

			- 1.00 PR	2.5		Θ		Updated	
PLNB0012 Re		Date 1 9/13/02	Date 2	Date 3	HwO	Pisp To FAIL	PSB	By 10/25/02 PSB	Notes  10/25/02 PSB - Though plans accompanying referral are ok for subdivision review and conditions, "FAIL" is for lack of plans and information (ero sion, sediment, winterization, soils report, etc.) for the Grading Permit. Once the information required by the Grading Ordinance and by the Grading Permit application is provided for DPW review, DPW will provide conditions of approval for both the Major Subdivision and the Grading Permit.
PLNB0015 Re	eview by Building	9/13/02		9/16/02	HwO	DONE	WJC	9/16/02 WJC	9/16/2002 WJC - A building permit will be required for the proposed retaining walls.
PLNB0135 Re Ag	eview by Other gency	9/13/02			None			9/13/02 MDB	To Cal Water
PLNB0025 Re	eview by CDF	9/13/02			HwO			9/13/02 MDB	
PLNA0075 (F)	) Incomplete pplication			9/30/02	Warn	DONE	MDB	9/30/02 MDB	The following is needed to comply your application:
									<ul><li>(1) clarification on whether area adjacent to water tank is part of Lot 7 or Lot 17</li><li>(2) a geo-technical report</li></ul>
				·					As the application is reviewed further by Department of Public Works and CDF, more information may be required.



## Case Activity Listing Case #: PLN2002-00517

Activity Description PLNA0001 General Applicati Received		Date 2 Date 3 8/28/02	Hold None	Disp	Assigned To	Done By GEH	Updated By 8/28/02 GEH	Notes  8/28/02 - geh - only forms, plans and fees submitted, no supporting statements or documentation. Letter
PLNA0075 (F) Incomplete Application		8/28/02	Warn	DONE		GEH	8/28/02 GEH	of incomplete given to applicant for basic missing information.  The application is incompete at this time. Please submit the followir information:
	·							<ol> <li>Title report for all parcels included in the application</li> <li>Proof of ownership for all parcels</li> <li>Letter of concurence from parcel owners.</li> </ol>
		·					-	Please submit this above information as soon as possible in order for a full review of the project to commence. Your application has only been given a preliminary review at this time by the counter in-take planner. Additional information may be required following a further review by the project planner and other
PLNA0080 (F)Print Permit Fi Cover Sht	le	9/4/02	None	DONE		IPC	9/4/02 · IPC	interested agencies.
PLNA0060 Assign Planner		9/5/02	None	DONE	MDB	DЛН	9/9/02 DJH	Assigned to Miroo Brewer.
PLNB0098 (F) Print Planning Sheets	ref.	9/13/02	None	DONE		MDB	9/13/02 MDB	•

October 4, 2002

Miroo Brewer County of San Mateo Planning Div. 455 County Center, Mail drop PLN122 Redwood City, Ca 94063

Re: Water Service to 25-lot, Ascension Heights Subdivision – PLN 2002-00517

Dear Mr. Brewer:

We have reviewed the Tentative Subdivision Map dated August 2002 for the subject project, and find the map satisfactory for our purpose.

This project falls within our existing service area but we do not have existing facilities adjacent to these parcels of adequate pressure to serve the project. An extension of our facilities will be necessary to serve this project and a deposit of estimated cost including tax would be required

Any relocation of our existing facilities or upgrading or installation of fire hydrants to accommodate this development will require deposit of estimated cost including tax subject to adjustment to actual cost; the actual cost including tax is not subject to refund.

This Company is prepared to provide water service to the subject project in accordance with the rates, rules, and regulations in effect and on file with the California Public Utilities Commission or as modified from time to time by the Commission in the exercise of its jurisdiction.

Very truly yours,
Prew 8 Beelow

Paul S. Baker

Assistant District Manager

Planning and Building Division - 455 County Center · Redwood City California 94063 · Planning: 650/363-4161 · Building: 650/599-7311 · Fax: 650/363-4849

Facsimile Transmittal Sheet
Date sent: 9/3/03
To be delivered to: DENNIS THOUAS
Facsimile number: 650 578 0394
Sent by: GAB FIELE POUR
Number of pages to follow Cover Sheet: 3
Message or Special Instructions:
Please find attached a status report for the
subdivision application.
It you read anything public places let me
know.
Regards
Gabrielle.



# Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date 1	Date 2	Date 3	Disp	Done By	Updated By
PLNA0001	General Application Received			8/28/2002		GEH	8/28/2002 GEH
	8/28/02 - geh - only forms, plans for basic missing information.	s and fees submitted	, no supporting stat	tements or documen	tation. Letter of	incomplete giv	en to applicant
PLNA0075	(F) Incomplete Application	t d		8/28/2002	DONE	GEH	8/28/2002 GEH
	The application is incompete at	this time. Please su	bmit the following	in formation:			
	<ol> <li>Title report for all parcels inc</li> <li>Proof of ownership for all par</li> <li>Letter of concurence from par</li> </ol>	cels	ion				
	Please submit this above inform been given a preliminary review review by the project planner ar	at this time by the	counter in-take plan				
PLNA0080	(F)Print Permit File Cover Sht			9/4/2002	DONE	IPC	9/4/2002 IPC
							. A
PLNA0060	Assign Planner			9/5/2002	DONE	DJH	9/9/2002 DJH
	Assigned to Miroo Brewer.						
PLNB0098	(F) Print Planning ref. Sheets			9/13/2002	DONE	MDB	9/13/2002 MDB
							į
PLNB0012	Review by Public Works	9/13/2002			FAIL	PSB	10/25/2002 PSB
	10/25/02 PSB - Though plans a information (erosion, sediment, Ordinance and by the Grading I Major Subdivision and the Grad	winterization, soils Permit application is	report, etc.) for the	Grading Permit. Or	nce the information	on required by	the Grading
PLNB0015	information (erosion, sediment, Ordinance and by the Grading I	winterization, soils Permit application is	report, etc.) for the	Grading Permit. Or	nce the information	on required by	the Grading
PLNB0015	information (erosion, sediment, Ordinance and by the Grading I Major Subdivision and the Grad	winterization, soils Permit application is ling Permit. 9/13/2002	report, etc.) for the provided for DPW	e Grading Permit. Or 7 review, DPW will 9/16/2002	nce the information	on required by as of approval	the Grading for both the 9/16/2002

10/4/02-MDB-Recieved a will serve letter

To Cal Water



## Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date I	Date 2	Date 3	Disp	Done By	Updated By
PLNB0025	Review by CDF	9/13/2002		2/19/2003	HOLD	DVC	4/3/2003 DVC
	see conditions see (additional comments by	y fire)					
PLNA0075	(F) Incomplete Application			9/30/2002	DONE	MDB	9/30/2002 MDB
	The following is needed to	complete your application	on:				
	(1) clarification on whether (2) a geo-technical report	area adjacent to water to	ank is part of Lot 7	or Lot 17			
	As the application is review	ved further by Departmen	nt of Public Works	and CDF, more info	rmation may be	required.	
PLNA0010	Received			12/19/2002	DONE	MJS	12/19/2002 MJS
	12/19/02 mjs- received cop	ies of the soils report fro	m the applicant thi	s day. Will route to 1	Miroo.		
PLNE0010	<b>Project Notes</b>			1/9/2003	DONE	MDB	1/9/2003 MDB
	1/9/03-mdb-Request for pro	oposal sent out in order t	o hire a consultant	to prepare EIR for th	nis project. Resp	onse due by Fel	bruary 15.
PLNA0010	Received			4/3/2003	DONE	MJS	4/3/2003 MJS
	Received "preliminary eros	ion control plan" this da	y. Will route to Mi	roo.			
PLNB0098	(F) Print Planning ref. Sheets			4/3/2003	DONE	MDB	4/3/2003 MDB
PLNE0010	<b>Project Notes</b>			4/3/2003	DONE	MDB	4/3/2003 MDB
	4/3/03-mdb-Referred revise	ed tentative map (with d	rainage details) plu	s erosion control pla	ns plus geo-tech	report to Pete a	and Jay.
PLNB0035	Review by Geotechnica	4/3/2003		4/23/2003	DONE	JLM	4/23/2003 JLM

04-03-2003 JLM File No. 9E-122. Placed draft review sheet on Jean's desk for her review.
4-7-2003 JFD - concerns re oversteepened slopes, drainage, etc.; added to review sheet
04-07-2003 JLM/JFD Sent review sheet this date, waiting for response from geotechnical consultant (Michelucci & Associates).
4-21-2003 JFD - review response OK, except missing numbers used in slope stability analysis; Jay to call them
04-23-2003 JLM Geotechnical consultant to observe and approve all applicable work.



## Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date 1	Date 2	Date 3	Disp	Done By	Updated By
PLNT0030	Final by Geotechnical						4/3/2003 JLM
PLNA0060	Assign Planner			5/15/2003	DONE	GER	5/15/2003 GER
	5/1 5/03 - ger - reassigned to	GER			·		· · · · · · · · · · · · · · · · · · ·
PLNE0003	Meeting			7/22/2003	DONE	GER	7/22/2003 GER
	7/22/03 - ger - EIR kick-oft intial study to be prepared				through issues a	nd process. Ne	xt step - draft
PLNE0005	Field Inspection			7/23/2003	DONE	GER	7/23/2003 GER
PLNA0010	Received			9/3/2003	DONE	GER	9/3/2003 GER
				aron i			

9/3/03 - ger - received draft Initial Study from CAJA following my comments. NOP circulation to follow.

Transmittal		Date: 8/7/03 5:00 PM  Number of pages including cover sheet:		
To:	Gabrielle Rowan County of San Mateo Planning & Bulding Division	From:	Geoff Reilly	
CC:				
Phone: Sent Via:	Mail	Phone Fax Phone	(707) 283-4040 (707) 283-4041	
Project:	Thomas Subdivision Draft Initial Study			
Remarks:	☐ Urgent ⊠ For your review	Reply A	SAP Please Comment	
Gabrielle,				
	copy of the Draft Initial Study for the Thomas S ve any questions or comments. Thank you.	Subdivision EIR	for your review. Please contact me	
-Geoff-				

### **Chronology of Ascension Heights Subdivision**

November 15, 2001	Application submitted for pre-application workshop for 22-lot subdivision.
February 2002	Notices of pre-application workshop sent to all interested parties and local residents including HOA's.
March 7, 2002	First Pre-application workshop.
May 2002	Notices of second pre-application workshop sent to all interested parties, attendees of first workshop and local residents including HOA's.
May 30, 2002	Second Pre-application workshop.
August 28, 2002	Application for 25-lot subdivision submitted.
June 2003	Christopher Joseph & Associates (CAJA) hired to undertake EIR.
June 10, 2003	Letter sent to Baywood Park HOA informing them of CAJA instruction, planner re-assignment and next stage in process.
October 10, 2003	Initial Study and Notice of Preparation sent to all agencies including HOA's, all attendees of 2 pre-app workshops and all residents within 500 ft of project site.
October 21, 2003	Cancellation notices sent canceling October 27 Scoping Session.



o brokerage

o construction

o development

o CA Lic. #581591

February 5, 2004

Gabrielle Rowan San Mateo County Planning 455 County Center Second Floor Redwood City, CA 94063

Dear Gabrielle,

Enclosed are color copies of 11 houses that have been built previously by my company or related entities. I want to emphasize to you that these are not the houses that will be built for this project as I don't build two houses the same. They do however, represent the type of house that I am capable of building.

I tend to build houses that conform to the land, are subtle in color selection, and are not ostentatious or flashy. I prefer varied exterior materials and colors so that they do not appear bulky or excessively large. Some of the homes that I have included are much larger than what I anticipate building there. I have a wide range of architectural styles and they have been well received by the general public. My most recent project in Emerald Hills has received numerous compliments.

If you have any questions regarding them, please feel free to call.

Very truly yours,

Dennis Thomas

Oshvielle

January 5, 2004

Mr. Gary Helfrich Christopher A. Joseph & Assoc. 101 H Street, Suite Q Petaluma, CA 94952

Subject: Proposed Thomas Subdivision and County Service Area (CSA) 1 Boundaries

Dear Mr. Helfrich;

In response to your letter of December 22, 2003, the parcels of the above noted project that are not within the boundaries of CSA 1 are 041-111-280 and 041-111-320. I am attaching a printout from the County's GIS system and a map of the CSA boundaries. While the map is not of the best quality, it does illustrate that County Service Area 1 has very irregular boundaries and consists of two non-contiguous areas. In the area closest to College of San Mateo on the map, you will note that there is an "island" of territory that was not included in the original boundaries of CSA 1. The configuration of the parcels is more clearly shown on the GIS map and the parcel owned by California Water Service Company (Calwater) and the two parcels identified above correspond to the "island" on the CSA boundary map.

As stated in my comment letter on the Draft EIR, these properties should be annexed to County Service Area 1 if they are to be developed so that they can receive the same level of police and fire protection as surrounding residential development in the Highlands neighborhood. Also, in reviewing the surrounding territory, it is recommended that the Calwater property also be annexed to create more logical boundaries and efficient delivery of police and fire projection in the area.

Feel free to contact me if you have any questions.

Sincerely,

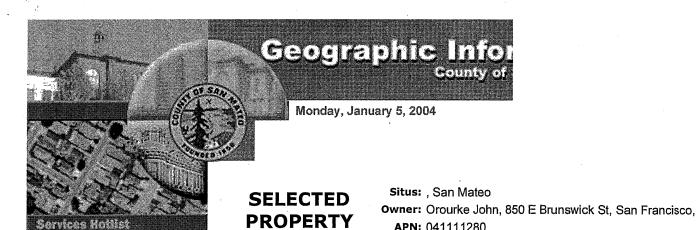
Martha Poyatos Executive Officer

Enclosures

CC: Gabrielle Rowan, Project Planner

Marcia Raines, Director, San Mateo County Environmental Services Agency

Donna Spillane, Administrative Services Manager, San Mateo County Environmental Services Agency



**Applications** 

**Property Review** 

Notification

Raster Maps

Metadata

Resources

Standards

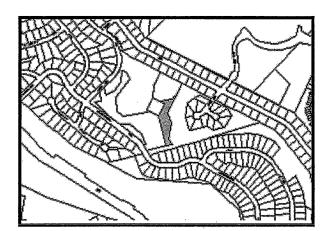
Related Links

**Procedures** 

Communications

**FAQ** 

Help



### **Property Owne**

APN:

041111

Parcel ID:

21890

Situs:

, San M

Owner:

Orourke

**Owner Address:** 

850 E B Francisc

Create Notification Map

### **Related Documents**

### Jurisdic

Assessor Map:

APN: 041111280

**Recorded Maps:** 

**Access Documents** 

Supervisorial:

Congressional:

Assembly:

Senatorial:

**Election Precinct:** 

City Name:

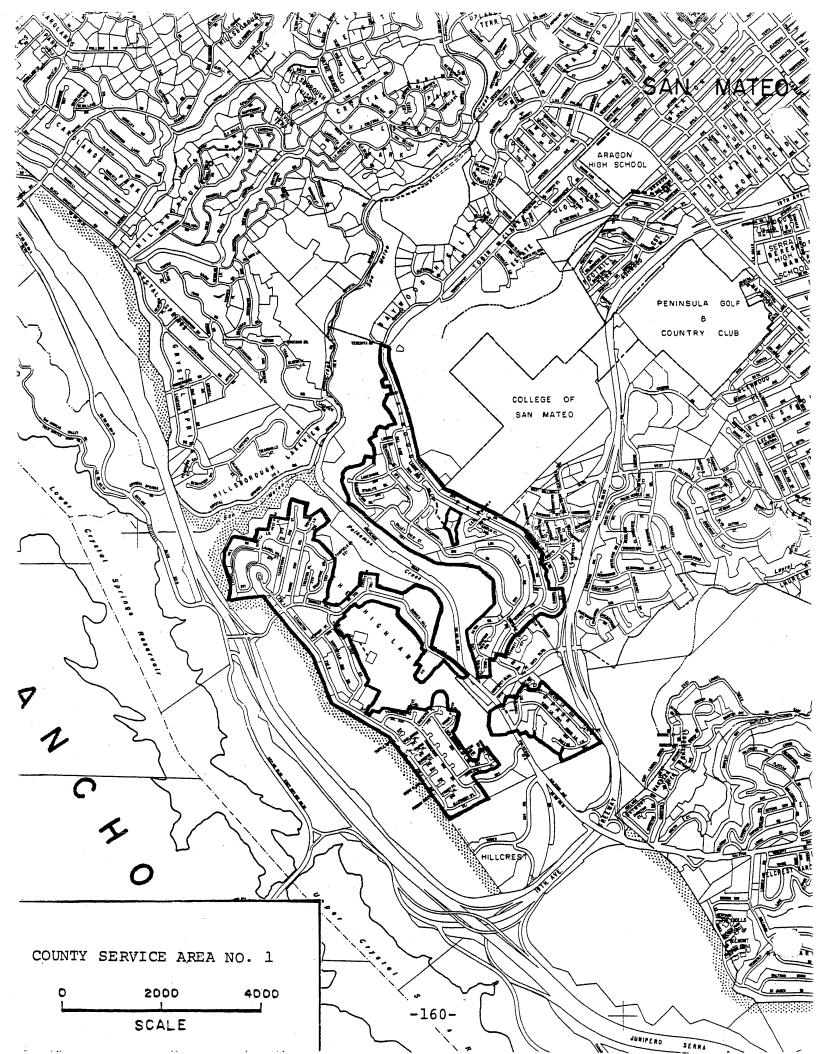
Zip Code:

Mitigation Fee Area:

#### Tax Rate Area# 078004

**GENERAL TAX RATE** COUNTY DEBT SERVICES COUNTY FIRE PROTECTION STRUCT S M FOSTER CTY ELM BD SER 91A S M FOSTER CTY ELM BD SER 91C S M FOSTER CTY ELM BD SER 97A S M FOSTER CTY ELM BD SER 97C SM FC EL BD SER 2001 B SAN MATEO HIGH BD SER 2000 A SM JR COLLEGE GEN PUR INSIDE CRYSTAL SPRINGS SANI DIST

**GENERAL COUNTY** FREE LIBRARY SAN MATEO CITY ELEM GENL PUR S M FOSTER CTY ELM BD SER 91E S M FOSTER CTY ELM BD SER 91[ S M FOSTER CTY ELM BD SER 97E SM FOSTER CITY EL BD SER 2001 SAN MATEO HIGH GENRL PURPOS SAN MATEO HIGH BD SER 2002 E SM JR COLLEGE BOND SER 2002 BAY AREA AIR QUALITY MGMT



Tel: 650-327-0429



### THOMAS REID ASSOCIATES

560 WAVERLEY STREET, SUITE 201 P.O. BOX 880 PALO ALTO, CA 94301

Fax: 650-327-4024

Environmental Impact Analysis • Ecological Studies • Resource Management

Dennis Thomas San Mateo Real Estate 1777 Borel Place, Suite 330 San Mateo CA 94402

February 11, 2005 TRA Case: BBIO

Subject: Estimate for rare butterfly surveys at Ascension Heights Project Area, San Mateo, CA.

Dear Mr. Thomas, .

As requested, TRA has drafted a cost estimate for conducting an assessment of rare butterfly species at the Ascension Heights Project area in San Mateo, California. The assessment will include field surveys and a letter report of the results. In preparing the report we will make our best efforts based on our expertise in the required scientific disciplines and our experience in preparing similar documents.

The biological content is determined by the biologist assigned to the project. We are required to make a full disclosure of any information we gather about habitat, presence of various species, or potential for presence of various species. If you choose to submit the report to regulatory agencies, it must be submitted in its entirety.

Please note that the letter report will be written based on the expertise and opinion of the consulting biologist, and will be completed to the best of Thomas Reid Associates' ability, using current data and regulatory information. The facts, statements, and information presented are correct to the best of our knowledge at the time of conducting the work. Please acknowledge that biological resources are dynamic, and site conditions could change at any time in the future. Similarly, regulatory requirements also change. Such changes could affect the statements and conclusions in the letter report, and would require re-evaluation. The report is intended to provide information about the biological resources on site to the client and regulatory agencies. Thomas Reid Associates is not accountable for any requirements made by the regulatory agencies that agree or disagree with the results and opinion stated in the report.

Our cost proposal is attached. If it meets with your approval, would you please sign in the space provided and return it to me. I will then execute it for TRA and return to you one fullyexecuted copy. This proposal should be considered a firm offer for a 60-day period, commencing February 11, 2005. If the schedule of performance were to be delayed during its execution for a cumulative total exceeding six months, not due to the negligent errors or omissions of TRA or its subcontractors, we reserve the right to review the budget to adjust for any increases in costs that may have occurred.

If you have any questions or need additional information, please contact Patrick Kobernus (ext. 89) or me (ext. 74).

Estimate for Rare butterfly surveys at Ascension Heights Project area – Feb. 11, 2005

Page 2

#### Thomas Reid Associates Cost Proposal

Client Information:

**Dennis Thomas** 

San Mateo Real Estate 1777 Borel Place San Mateo, CA 94402

Phone: Wk:

650-578-0330

Cell:

650-867-8811

Fax:

650-578-0394

Email:

SMREdt@aol.com

Scope of Work:

Spring surveys for rare butterflies at Ascension Heights Project area, San

Mateo, CA. and report write up.

Cost Proposal; (@ 85.00/ hr)

Total	\$ 2,025
Expenses (mileage, copies, computer time)	\$ 70
Communications with USFWS/County staff (4 hours)	\$ 340
Map production (3 hours)	\$ 255
Research and report write up (8 hours)	\$ 680
Four survey visits (8 hours)	\$ 680

TRA bills on a time and materials basis and will not exceed the total amount given above without your consent. If the actual time spent on the case is less than the budgeted amount, you will receive a refund for the amount of time unused.

The undersigned hereby grants permission to TRA to enter the subject property for the purpose(s) outlined in the above scope of work and warrants that he/she has the authority to give such permission.

This agreement pertains to work coordinated by TRA at its Palo Alto, California, office. Both parties deem that this agreement is entered into at Palo Alto, California, and will be interpreted according to the laws of the State of California and under the venue of Santa Clara County.

			_
Client	Date	For TRA	Date

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division - 455 County Center - Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 01/25/2006

01/25/2006

TO:		
SMCo Public Works - RoadsSMCo Geotechnical	Plng. Dir., City ofMid-Coast Community Council	<del>-</del>
SMCo Environmental Health	Pescadero Municipal Advisory Committee	
SMCo Building Inspection	North Fair Oaks Community Council	
SMCo Parks & Recreation	Homeowners Association	
Fire Marshal/Fire District	Regional Water Quality Control Board	<del></del>
Coastal Commission	Mid-Peninsula Regional Open Space District	
Water & Sanitary Districts	California Department of Fish and Game	· ·
Sonoma State University	San Francisquito Creek JPA	
	~ CAJA	
FROM: MATT SEUBERT, Project Planner		
Instructions:		and the second second
responsibility. For additional information, or to di Please notify me immediately if you will require	ng permit application materials with regard to your areas of iscuss the project, please feel free to contact me at 363-4161. additional plans, specifications, reports or other application in this form only by 2-27 to avoid delay in meeting the operation.	•
	4 1 1	
Application Information:	* Revised tentative me	ap
1. <u>Primary Permit:</u> PLN2002-00517	* Revised tentative me with grading, drains utility, access char	ge,
2. <u>Property Owner:</u>	utility, access char	iges.
JOHN OROURKE 29 SAN FRANCISCO STREET BRISBANE, CA 94005		
Phone #: Project Applicant:		•
SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402		e gala.
Phone #:		
Project Location: Ascen	nsion Drive, Baywood Park (	Highlands
Assessor's Parcel Number(s): 0411111	30	

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 24 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

455 County Center

Mail Drop PLN122 Redwood City, CA 94063

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 01/25/2006

01/25/2006

Page: 3

• •		2.3		. •
Printed Name of Person Completing this Form:		Teleph	none:	
		Date:		A
Return this form to:	MATT SEUBERT	•		
	Planning Division	· · · · · · · · · · · · · · · · · · ·		

New Text Document.txt

03-06-06-CRS/JAR; Revised plans dated 01-12-06. The following issues shall be addressed at the building permit phase, NO building permits will be issued until these issues are approved by County Fire:

1. Hydrant location and # of hydrants will be determined by CDF/County Fire.

2. Fire Dept. access road where it intersects into proposed public street at the top shall have detailed plans of elevation, slope, and radius turns. This shall be approved by CDF/ County Fire prior to issuance of BLD permits.

3. Fire Dept. access road where it intersects into Ascension drive shall have

detailed plans of elevation, slope, and radius turns. This shall be approved by CDF/ County Fire prior to issuance of BLD permits.

4. Parking restrictions shall be as follows;

a. 20 feet wide when parking is not allowed on either side of roadway.
b. 30 feet wide when parking is not allowed on only one side of the roadway.
c. 40 feet wide when parking is not restricted.

8/23/05 MAC: Fail - Revised plans show secondary access. Access in much better spot. Needs to be 20 wide w/ 35 ft centerline radius. Also, curbs at access to be allow turning for 35 ft CL radius. 6/27/05 JAR: The revised plan showing a secondary access at the same location as the original main subdivision entry is unacceptable. DJH will contact the developer to advise of the need for a secondary access closer to the far end of the subdivision. 6/10/05 MAC: Plans show less than 20 ft separation from main enterance and secondary access. Need a minimum of 20 ft separation. Sheet C-5, section 1/c-5, shows 22 ft wide road. Curbs will be required to be painted red w/ no parking, fire lane, signs on both sides. Sections 2/c-5 and 3/c-5 show 32 ft wide roadways. These will be required to have parking only on one side and the other side will have red curbs and no parking, fire lane, signs.

03/14/05 JAR: I met with applicants and developers at proposed building site. All were advised the proposed subdivision is not located in a State Responsible Area. were advised the proposed subdivision is not located in a State Responsible Area, nor is it located in a hazardous fire area. A dead-end road has only one point of vehicular ingress/egress, including cul-de-sacs and looped roads. The Ascension Heights Subdivision proposed roadway is a dead-end looped road. The maximum length of a dead-end road, (not located in a hazardous fire area), including all dead-end roads accessed from that dead-end road, may not exceed 1,000 cumulative feet, regardless of the number of parcels served.

As mitigation County Fire may allow a secondary fire access road. This fire accroad shall be provided with an all weather-driving surface; 6" of base with 95% This fire access compaction. The roadway shall be a minimum of 12 feet in width; with center lane radius turns of no less than 35'. Grades between 15% and 20% shall also have 2" of Grades greater than 20% are not allowed. surface concrete.

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 08/09/2005

08/09/2005

SMCo Public Works - Roads SMCo Geotechnical	Plng. Dir., City of Mid-Coast Community Council
SMCo Environmental Health	Pescadero Municipal Advisory Committee
SMCo Building Inspection	North Fair Oaks Community Council
MCo Parks & Recreation	Homeowners Association
✓ Fire Marshal/Fire District COF	Regional Water Quality Control Board
Coastal Commission	Mid-Peninsula Regional Open Space District
Water & Sanitary Districts	California Department of Fish and Game
Sonoma State University	San Francisquito Creek JPA

#### Instructions:

Please review this form and the attached planning permit application materials with regard to your areas of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by scheduled hearing date. Thank you for your cooperation.

#### **Application Information:**

- 1. Primary Permit: PLN2002-00517
- 2. Property Owner:

JOHN OROURKE 29 SAN FRANCISCO STREET BRISBANE, CA 94005

Phone #:

Project Applicant:

SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

Phone #:

Project Location: .....

Assessor's Parcel Number(s):

041111130

041111160

041111270

041111280

041111320

041111360

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 25 residential lots. Improvements to include new public roads, storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

Please comments

Provide runt resolut

Provide the please

Provide

No Recommended Conditions

Conditions:

Refer to Attached Material for Conditions:

Referral of Planning Permit Application

File No.: PLN2002-00517 Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005 08/09/2005 Page: 2 **Decision Maker:** \_\_\_\_\_ Zoning Hearing Officer \_\_\_\_\_ Board of Supervisors Planning Commission **Comments on Proposed Project:** State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. No Comments Refer to Permit\*Plan for Comments Comments Recommended Conditions of Approval (Agencies only): List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

Refer to Permit\*Plan for Conditions

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005

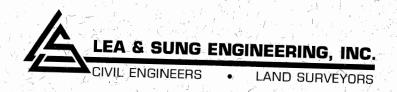
08/09/2005

Page: 3

Printed Name of Person	
Completing this Form:	Telephone:
	Date:

Return this form to:

CHINA OSBORN Planning Division 455 County Center Mail Drop PLN122 Redwood City, CA 94063



July 17, 2005

Environmental Services Agency - Planning Division-County of San Mateo 590 Hamilton, Second Floor Redwood City, CA 94063

Attn: Dave Holbrook, Senior Planner

Subject: Ascension Heights subdivision - Ascension Dr. and Bel Aire Rd., San Mateo Secondary Fire Access

Job No. 2010135

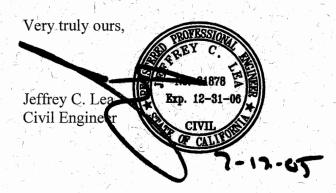
Dear Dave:

This letter is written as a follow-up to discussions with Jim Rust of CDF/San Mateo County Fire regarding secondary access for the proposed subdivision (currently in the EIR preparation process).

The developer, Dennis Thomas, and I met with Jim Rust and additionally with Jim Toby, the project manager from this office, on March 14 at the site and made a field review of reasonable access options. As you are aware the site rises sharply above Ascension and a roadway in that area would involve significant visual and construction issues. Jim Rust indicated at that meeting that our proposed secondary access near but physically separated from the primary access road would probably be acceptable, subject to internal thought and review. For your review and information, I have attached a plan showing the significant visual impact of locating the secondary emergency access on Ascension Drive.

Dennis Thomas and Jim Toby met again with Jim Rust at the County offices on April 6 and he indicated the proposed location would be acceptable subject to the limitations of a ten-foot minimum separation and a 20% maximum road gradient.

I believe the proposed location of secondary emergency access roadway near the primary roadway but separated per those guidelines is reasonable and adequately balances public safety and physical constraints. Please call me with any questions.



copy: Dennis Thomas



July 17, 2005

Environmental Services Agency - Planning Division County of San Mateo 590 Hamilton, Second Floor Redwood City, CA 94063

Attn: Dave Holbrook, Senior Planner

Subject: Ascension Heights subdivision - Ascension Dr. and Bel Aire Rd., San Mateo Secondary Fire Access

Job No. 2010135

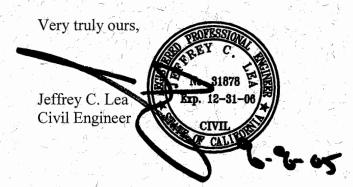
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copy: Dennis Thomas

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 01/25/2006

01/25/2006

TO:	
MCo Public Works - Roads	Plng. Dir., City of
SMCo Geotechnical	Mid-Coast Community Council
SMCo Environmental Health	Pescadero Municipal Advisory Committee
SMCo Building Inspection	North Fair Oaks Community Council
SMCo Parks & Recreation	Homeowners Association
Fire Marshal/Fire District	Regional Water Quality Control Board
Coastal Commission	Mid-Peninsula Regional Open Space District
Water & Sanitary Districts Sonoma State University	California Department of Fish and Game San Francisquito Creek JPA
Gorioma Gtate Only Craity	- CAJA
FROM: MATT SEUBERT, Project	
, ,	
Instructions:	
responsibility. For additional information Please notify me immediately if you will	r your cooperation.
Application Information:	* Revised tentative map
Primary Permit: PLN2002	-00517 with grading drainage,
2. Property Owner:	utility, access changes.
Z. Troporty Owner.	
JOHN OROURKE 29 SAN FRANCISCO STREE	:T
BRISBANE, CA 94005	* Place return plans to me
Phone #:	A please 10 to 1
Project Applicant:	when finished, as I have
SAN MATEO REAL ESTATE	
1777 BOREL PLACE, SUITE	330
SAN MATEO, CA 94402	Thanks, Matt
Phone #:	
Project Location:	Ascension Drive, Baywood Park (Highlands
Assessor's Parcel Number(s):	04111130
	041111160
	041111270
	041111280
	VT1111200

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 24 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

041111320 041111360

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849 Date: 01/25/2006

01/25/2006	<del>-</del>
Page: 2	
Decision Maker:	
Staff	Zoning Hearing Officer
Planning Commission	Board of Supervisors
Comments on Proposed Project :	
State any comments, concerns or recommendations you have with regar references. Attach additional sheets as necessary.	d to this project. Please be specific in project
No CommentsRefer to Permit*Plan fo	or Comments
Comments	
	•
	•
Recommended Conditions of Approval (Agencies only):	
List any conditions which you would recommend be imposed if the projuding and indicate any adopted plans, policies or ordinances upon what Attach additional sheets as necessary.	
No Recommended ConditionsRefer to	Permit*Plan for Conditions
Refer to Attached Material for Conditions:	
Conditions:	
1. Slope stability analsis	For static & seismic conditions
2. Investigate Un shear	zones mentified
un Uhr 1981 Harlan	¿ Dissoc. report

fplnprmapp

### Environmental Services Agency San Mateo County

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849 Date: 01/25/2006

01/25/2006

Page: 3

Printed Name of Person Completing this Form:

Date:

Return this form to:

**MATT SEUBERT** Planning Division

455 County Center Mail Drop PLN122

Redwood City, CA 94063

## **San Mateo County**

Planning and Building Department • 455 County Center • Redwood City California 94063 • Planning: 650/363-4161 • Building: 650/599-7311 • Fax: 650/363-4849

PLN2002-00517

Fee Type	Start Date	End Date	Dept	Description	Trans Code	Revenue Account Number	Cr By	eated Date	Amount	Due
MSDV	1/1/1990	12/31/2005	2	SMJ - Major Subdivision		38450-1266	GEH	8/28/2002	9,471.00	0.00
GRDP	1/1/1990	12/31/2005		Grading Permit		38450-1263	GEH	8/28/2002	4,282.00	0.00
EPRC	7/1/2002	12/31/2005		Env.Rev EIR processin		38450-2123	GEH	8/28/2002	2,570.00	0.00
GEOV	7/1/2002	12/31/2005		Geotech.Review-Geologi		38450-2114	JFD	4/21/2003	99.00	0.00
EPRP	1/1/1990	12/31/2005		Env.Rev EIR/Prepartio		38450-2123	FSM	5/28/2003	2,216.86	0.00
EPRP	1/1/1990	12/31/2005		Env.Rev EIR/Prepartio		38450-2123	FSM	5/28/2003	0,000.00	0.00
EPRP	1/1/1990	12/31/2005		Env.Rev EIR/Prepartio		38450-2123	FSM	5/28/2003	0,980.30	0.00
SNCH	7/1/2002	12/31/2009		Street Name Change		38450-2116	MAT	1/24/2007	3,489.00	3,489.00
LCSF	8/8/2004	12/31/2009		5% Legal Counsel Surch		38450-2093	MAT	1/24/2007	181.25	181.25
PUBN	7/1/2002	12/31/2009		Public Noticing Fee		38450-1269	MAT	1/24/2007	136.00	136.00
								Tot	al Due:	\$3,806.25

## **San Mateo County**

3/1/2007 PLN2002-00517

Planning and Building Department - 455 County Center - Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

4:33:14PM

Type	Description	Fees	Paid	Date Paid	Check#	Receipt #	Recorded By	Due
MSDV	SMJ - Major Subdivision	9,471.00	9,471.00	8/28/2002	CREDIT	0000000000000018379	GEH	0.00
GRDP	Grading Permit	4,282.00	4,282.00	8/28/2002	CREDIT	0000000000000018379	GEH	0.00
EPRC	Env.Rev EIR processing	2,570.00	2,570.00	8/28/2002	CREDIT	0000000000000018379	GEH	0.00
GEOV	Geotech.Review-Geologist	98.99	0.00	3/1/2007			MAT	98.99
GEOV	Geotech.Review-Geologist	99.00	0.01	3/1/2007	129	0000000000000039164	MAT	98.99
GEOV	Geotech.Review-Geologist	99.00	99.00	5/28/2003	3412	00000000000000021727	FSM	0.00
EPRP	Env.Rev EIR/Prepartion	62,216.86	62,216.86	5/28/2003	991	00000000000000021725	FSM	0.00
EPRP	Env.Rev EIR/Prepartion	30,000.00	30,000.00	5/28/2003	CREDIT	00000000000000021726	FSM	0.00
EPRP	Env.Rev EIR/Prepartion	10,980.30	10,980.30	5/28/2003	3412	00000000000000021728	FSM	0.00
SNCH	Street Name Change	3,489.00	3,489.00	3/1/2007	129	0000000000000039163	MAT	0.00
LCSF	5% Legal Counsel Surcha	181.25	181.25	3/1/2007	129	00000000000000039163	MAT	0.00
PUBN	Public Noticing Fee	136.00	136.00	3/1/2007	129	0000000000000039163	MAT	0.00
	Total F	ees: 123,623.40	<b>Paid:</b> 123	3,326.42		TOTAL REMAINI	NG DUE:	296.98

CasePaymentHistory..rpt

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849 Date: 06/30/2006

06/30/2006

SMCo Public Works - Roads Plng. Dir., City of \_\_ SMCo Geotechnical Mid-Coast Community Council Pescadero Municipal Advisory Committee SMCo Environmental Health SMCo Building Inspection North Fair Oaks Community Council SMCo Parks & Recreation Homeowners Association Fire Marshal/Fire District Regional Water Quality Control Board Coastal Commission \_ Mid-Peninsula Regional Open Space District \_ Water & Sanitary Districts \_ California Department of Fish and Game \_\_ Sonoma State University San Francisquito Creek JPA\_\_ Ca. Native Am. Heritage Comm. MATT SEUBERT, Project Planner

#### Instructions:

FROM:

TO:

Please review this form and the attached planning permit application materials with regard to your areas of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by \_\_\_\_\_\_\_ to avoid delay in meeting the scheduled hearing date. Thank you for your cooperation.

#### **Application Information:**

1. **Primary Permit:** PLN2002-00517

2. Property Owner:

> JOHN OROURKE 29 SAN FRANCISCO STREET BRISBANE, CA 94005

Phone #:

Project Applicant:

SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

Phone #:

Project Location: Ascension Dr., Sun Mater Highlands

Assessor's Parcel Number(s):

041111130

041111160

041111270

041111280

041111320

041111360

#### Project Description:

EIR, Grading Permit & Major Subdivision to subdivide 13.25 acre parcel into 25 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; 'tot lot' & conservation area.

### **Environmental Services Agency** <u>San Mateo County</u>

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 06/30/2006 06/30/2006 Page: 2 **Decision Maker:** Zoning Hearing Officer Staff Board of Supervisors Planning Commission Comments on Proposed Project: State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. No Comments Refer to Permit\*Plan for Comments Comments Recommended Conditions of Approval (Agencies only): List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary. No Recommended Conditions Refer to Permit\*Plan for Conditions Refer to Attached Material for Conditions:

Conditions:

### Environmental Services Agency San Mateo County

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849 Date: 06/30/2006

06/30/2006

Page: 3

Printed Name of Person		·
Completing this Form:	Telephone:	
•		
	Date:	

Return this form to:

MATT SEUBERT Planning Division 455 County Center Mail Drop PLN122

Redwood City, CA 94063

(Date)

(Tribal Contact Name) (Tribal Contact Title) (Tribal Contact Organization) (Tribal Contact Address Line 1) (Tribal Contact Address Line 2) (Tribal Contact City, State and Zip)

Re: Thomas Subdivision; Native American Cultural Resources Consultation; San Mateo Quadrangle, Township 5S, Range 4W, Section 6

Dear Mr./Ms. (Tribal Contact Last Name):

The County of San Mateo, California (County) requests your participation in the review process of the Thomas Subdivision. This project proposes the subdivision of the project site to develop 25 single-family residential lots. It is located at Assessor's Parcel Number [APN] 041-111-020, 041-111-130, 041-111-160, 041-111-270, 041-111-280, 041-111-320, 041-111-360, and is subject to the California Environmental Quality Act (CEQA) and Section 65352.3 of the Government Code (Senate Bill 18 [2004]).

The County contacted the California Native American Heritage Commission (NAHC), who has requested that we consult with you directly regarding the potential for the presence of Native American cultural resources that may be impacted by this project. The project is currently in the process of environmental review, and as such, a cultural resources study is currently being completed to assess the absence and/or presence of cultural resources.

The County feels that your comments regarding decisions that may affect ancestral tribal sites are very important. Any information you have regarding cultural places will be kept strictly confidential and will not be divulged to the public. Please forward any comments regarding this project to Matthew Seubert by \_\_\_\_\_\_ (insert date 90 days from date of letter).

If you have any questions, you can reach me at 650-599-7310 extension 1829.

Sincerely,

[addressee] [date] Page 2

Matthew Seubert Project Planner

Attachment: Three Project Location Maps

Cc: (Project Owner)

(Project Applicant)

(Engineer) (Consultant) (Town Planner) From:

"Andrew" <andrew@cajaeir.com> <MSeubert@co.sanmateo.ca.us>

To: Date:

6/14/2006 11:11:27 AM

Subject:

Thomas Subdivision SB 18 Compiance

Hi Mathew,

As you may know as of January 2006 all cities and counties must comply with SB 18 and directly consult with all Tribes potentially impacted by projects that require the amendment of a general plan or specific plan. Although, SB 18 states that consultation is not required for projects that were proposed before March 1, 2005, we are recommending that consultation be carried out as a pre-planning outreach activity. As such the attached Tribal Consultation Request form needs to be submitted to the NAHC as soon as possible. The submission needs to come directly from the Lead Agency (San Mateo County).

I have attached everything you need to expedite this process and hopefully require as little of your time as possible.

This can be done in three easy steps.

- 1) Mail or fax out the 4 PDF documents attached to this e-mail. (these are the consultation request form, a regional map, an aerial photo, and a project site map)
- 2) The NAHC will respond to you with a list of Tribes they believe should be consulted.
- 3) Once the list of Tribes has been received, use the MS Word file that is attached to this e-mail as a template; fill out the highlighted portions with the Tribes contact information provided by the NAHC and print out on County letterhead. Please note:
- a) The letter contains an assurance that any info provided to the County will not be made available to the public. Confidentiality is now expressly required under SB 922.
- b) The 90-day period referenced in the letter is the window during which Tribes can request consultation; the deadline does not necessarily mean an end to consultation.
- c) The three attached maps are also to accompany any letters that you send out.

If possible I would like to be copied on any responses so that we can

incorporate them into the cultural section of the EIR.

Please let me know if you have any questions or if I can be of any further assistance.

Thank you for your prompt attention to this matter.

Best regards,

Andrew Waggoner Research Assistant andrew@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research www.cajaeir.com <a href="http://www.cajaeir.com/">www.cajaeir.com/>

Oakland Office 610 16th Street, Suite 514 Oakland, CA 94612 Phone: (510) 452-5200, ext. 12

Fax: (510) 452-5202

Petaluma . Oakland . Los Angeles . Westlake Village . Mammoth Lakes

Confidentiality Statement

This transmittal is intended to be transmitted to the person named. Should it be received by another person, its contents are to be treated as strictly confidential. It is privileged communications between the firm and the person(s) named. Any use, distribution or reproduction of the information by anyone other than that person is prohibited.

CC: <JEggemeyer@co.sanmateo.ca.us>

### San Mateo County

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 06/07/2006

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SMCo Public Work SMCo Geotechnica		Plng. Dir., City of Mid-Coast Commun	ZOON JUN 30 ity Council	P 3: 42
SMCo Environmen	tal Health	Pescadero Municipa	ıl Advisory Committee∖ ⊟	COUNTY
SMCo Building Inst	pection		nmunity Council ANNING	
SMCo Parks & Rec	reation	Homeowners Assoc		
Fire Marshal/Fire Dis	and the second s	Regional Water Qua	-	
Coastal Commission			onal Open Space District	
Water & Sanitary Dis		California Departme San Francisquito C		
		· · · · · · · · · · · · · · · · · · ·		
FROM: MATT SEUE	BERT, Project Planne	er		
Instructions:				
responsibility. For additional Please notify me immediate	onal information, or to lately if you will requir e your review and ret	o discuss the project, pleas re additional plans, specific rurn this form only by	aterials with regard to your a se feel free to contact me at cations, reports or other app ス~1〇 to avoid delay	363-4161. dication
Application Information	n:			
		* Re	evised plan for re-re	ne sot
1. <u>Primary Permit:</u>	PLN2002-0051	17	isan plan	115 Jew 1
2. Property Owne	<u>r:</u>	_	C0	eferm
JOHN OROUR	KF		101 1611	2(0)100
29 SAN FRAN	CISCO STREET			
BRISBANE, CA	\ 94005			
Phone #:				
Project Applica	<u>nt:</u>			
	REAL ESTATE, INC PLACE, SUITE 330			
SAN MATEO,				
Phone #:				
THORE #1				
Project Location:				
	e e e	**************************************		
Assessor's Parcel Nun	nber(s): 04111	1130	CEIVED	
	04111	DEPARTME	INT OF PUBLIC WORKS	
	04111	1100		
	04111	1280	<b>1 6</b> 2006	
	04111	DEVELORME	NT REVIEW SECTION	

#### **Project Description:**

EIR, Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 24 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

COUNTY OF SAN MATEO

041111320

041111360

Referral of Planning Permit Application

File No.: PLN2002-00517 Planning and Building Division • 455 County Center • Redwood City California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 06/07/2006 06/07/2006 Page: 2 **Decision Maker:** Staff Zoning Hearing Officer Planning Commission Board of Supervisors Comments on Proposed Project: State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments Recommended Conditions of Approval (Agencies only): List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based.

Attach additional sheets as necessary.	
No Recommended Conditions	Refer to Permit*Plan for Conditions
Refer to Attached Material for Conditions:	
Conditions:	

### San Mateo Count

Referral of Planning Permit Application

File No.: PLN2002-00517

Refer to Permit\*Plan for Conditions

No Recommended Conditions

Conditions:

Refer to Attached Material for Conditions:

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 06/07/2006 06/07/2006 Page: 2 **Decision Maker:** Staff Zoning Hearing Officer **Planning Commission Board of Supervisors Comments on Proposed Project:** State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments Recommended Conditions of Approval (Agencies only): List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 06/07/2006

06/07/2006

Page: 3

Printed Name of Person

Completing this Form: \_

Telephone:

Date:

Return this form to:

MATT SEUBERT

Planning Division 455 County Center Mail Drop PLN122

Redwood City, CA 94063



# Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date 1	Date 2	Date 3	Disp	Done By	Updated By
PLNB0098	(F) Print Planning ref. Sheets			09/13/02	DONE	MDB	09/13/02 MDB
PLNB0012	Review by Public Works	09/13/02			FAIL	LAE	06/29/06 LAE

6/29/06 LE: Reviewed resubmittal received by PLN 6/6/06. Sewer laterals and mains have been relocated, but plans are still incomplete (missing utility info, road data, etc). Recommend applicant obtain a copy of Subdivision Regulations and refer to Section 7011 for requirements for tentative maps.

"CDS storm treatment units" have been added, but are shown in County right of way (onsite treatment/detention required). Also, no drainage calculations or narrative have been received to demonstrate compliance with NPDES Provision C.3.

3/23/06 LE: FAIL status remains due to incompleteness of plans for roadway and drainage. Applicant needs to submit \$500 plan review deposit to DPW with next submittal as per subdivision regs. Preliminary comments are:

- 1. Sewer facilities will not be approved at back of lots.
- 2. DPW will not accept roadway as "public," so may need form of exception.
- 3. Applicant will be required to abide by Provision C.3 stormwater requirements (on-site treatment/detention).
- 4. Advised Project Planner to send C.3 worksheet.
- 5. Additional info needed re "conservation" areas

Still reviewing plan, so additional comments may be forthcoming.

10/25/02 PSB - Though plans accompanying referral are ok for subdivision review and conditions, "FAIL" is for lack of plans and information (erosion, sediment, winterization, soils report, etc.) for the Grading Permit. Once the information required by the Grading Ordinance and by the Grading Permit application is provided for DPW review, DPW will provide conditions of approval for both the Major Subdivision and the Grading Permit.

9-28-2005 ksa-Have review the resummittal dated 8-9-2005. I would assume that I am looking at the new alternate d/w onto Ascension Dr. If that is true..then the concept is ok. However, there is no d/w profile and possibily how much grading is necessary and the proposed retaining wall may be too high for Planning standard.

PLNB0015	Review by Building	09/13/02	09/16/02	DONE	WJC	06/07/05 WJC			
	06/07/2005 WJC - No additional comment to 5/5/05 submittal 9/16/2002 WJC - A building permit will be required for the proposed retaining walls.								
PLNB0135	Review by Other Agency	09/13/02	11/20/02	DONE	MDB	11/20/02 MDB			
	10/4/02-MDB-Recieved a will serve letter To Cal Water								
PLNB0025	Review by CDF	09/13/02	03/06/06	DONE	CRS	03/06/06 CRS			

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005

08/09/2005

TO: /		
SMCo Public Works - Roads SMCo Geotechnical	Plng. Dir., City of Mid-Coast Community Council	
SMCo Environmental Health SMCo Building Inspection SMCo Parks & Recreation	Pescadero Municipal Advisory Comr North Fair Oaks Community Council Homeowners Association	nittee
Fire Marshal/Fire District COF  Coastal Commission Water & Sanitary Districts Sonoma State University	Regional Water Quality Control Boar Mid-Peninsula Regional Open Space California Department of Fish and G San Francisquito Creek JPA	e District
FROM: CHINA OSBORN, Proje	ct Planner	
Instructions:		
responsibility. For additional information Please notify me immediately if your	ched planning permit application materials with regation, or to discuss the project, please feel free to cowill require additional plans, specifications, reports on an and return this form only by 1005 to a for your cooperation.	ntact me at 363-4161. or other application avoid delay in meeting the
Application Information:		al (All 2)
1. <u>Primary Permit:</u> PLN20	02-00517 - 14 DPW -	and some
2. <u>Property Owner:</u>	CDF 4V	when he had
JOHN OROURKE 29 SAN FRANCISCO STR BRISBANE, CA 94005	EET Planse	commentary please of the sold
Phone #: Project Applicant:	Provide ner	A for som to
SAN MATEO REAL ESTA 1777 BOREL PLACE, SUI SAN MATEO, CA 94402	TE, INC TE 330	5510 Mis 1
Phone #:	19 Color	$\mathcal{M}_{\mathcal{A}}$
Project Location:		se themps,
Assessor's Parcel Number(s):	041111130 RECEIVED 041111160 DEPARTMENT OF PUBLIC WORK	s Thurthing
	041111270 AUG 1 0 2005	
	041111280 A00 1 6 2000 041111320 DEVELOPMENT REVIEW SECTION 041111360 COUNTY OF SAN MATER	N O

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 25 residential lots. Improvements to include new public roads, storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

Referral of Planning Permit Application

File No.: PLN2002-00517 Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005 08/09/2005 Page: 2 **Decision Maker:** Zoning Hearing Officer Planning Commission **Board of Supervisors** Comments on Proposed Project: State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments Recommended Conditions of Approval (Agencies only): List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary. No Recommended Conditions Refer to Permit\*Plan for Conditions

Mills 1 1 del

Refer to Attached Material for Conditions:

Conditions:

### Environmental Services Agency San Mateo County

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005

08/09/2005

Page: 3

Printed Name of Person Completing this Form: \_

KEN Hu

Telephone:

Return this form to:

**CHINA OSBORN** 

Planning Division 455 County Center Mail Drop PLN122

Redwood City, CA 94063

A flear sperif what am I loving a in the future. There is no dissible and

MAC



# Case Activity Listing Case #: PLN2002-00517

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10/25/02 PSB - Though plans accompanying referral are ok for subdivision review and conditions, "FAIL" is for lack of plans and information (erosion, sediment, winterization, soils report, etc.) for the Grading Permit. Once the information required by the Grading Ordinance and by the Grading Permit application is provided for DPW review, DPW will provide conditions of approval for both the Major Subdivision and the Grading Permit.

9-28-2005 ksa-Have review the resummittal dated 8-9-2005. I would assume that I am looking at the new alternate d/w onto Ascension Dr. If that is true..then the concept is ok. However, there is no d/w profile and possibily how much grading is necessary and the proposed retaining wall may be too high for Planning standard.

	wall may be too high for Planning	standard.								
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	06/07/2005 WJC - No additional comment to 5/5/05 submittal 9/16/2002 WJC - A building permit will be required for the proposed retaining walls.									
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	10/4/02-MDB-Recieved a will serve letter To Cal Water									
PLNB0025	Review by CDF	9/13/2002		FAIL	MAC	8/23/2005				

8/23/05 MAC: Fail - Revised plans show secondary access. Access in much better spot. Needs to be 20 wide w/ 35 ft centerline radius. Also, curbs at access to be allow turning for 35 ft CL radius.

6/27/05 JAR: The revised plan showing a secondary access at the same location as the original main subdivision entry is unacceptable. DJH will contact the developer to advise of the need for a secondary access closer to the far end of the subdivision.

6/10/05 MAC: Plans show less than 20 ft separation from main enterance and secondary access. Need a minimum of 20 ft separation. Sheet C-5, section 1/c-5, shows 22 ft wide road. Curbs will be required to be painted red w/ no parking, fire lane, signs on both sides. Sections 2/c-5 and 3/c-5 show 32 ft wide roadways. These will be required to have parking only on one side and the other side will have red curbs and no parking, fire lane, signs.

03/14/05 JAR: I met with applicants and developers at proposed building site. All were advised the proposed subdivision is not located in a State Responsible Area, nor is it located in a hazardous fire area. A dead-end road has only one point of vehicular ingress/egress, including cul-de-sacs and looped roads. The Ascension Heights Subdivision proposed roadway is a dead-end looped road. The maximum length of a dead-end road, (not located in a hazardous fire area), including all dead-end roads accessed from that dead-end road, may not exceed 1,000 cumulative feet, regardless of the number of parcels served.

As mitigation County Fire may allow a secondary fire access road. This fire access road shall be provided with an all weather-driving surface; 6" of base with 95% compaction. The roadway shall be a minimum of 12 feet in width; with center lane radius turns of no less than 35'. Grades between 15% and 20% shall also have 2" of surface concrete. Grades greater than 20% are not allowed.

see (additional comments by fire)

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005

08/09/2005

то:	
SMCo Public Works - Roads SMCo Geotechnical	Plng. Dir., City ofMid-Coast Community Council
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Fire Marshal/Fire District CDF  Coastal Commission	Regional Water Quality Control Board Mid-Peninsula Regional Open Space District
Water & Sanitary Districts Sonoma State University	California Department of Fish and Game San Francisquito Creek JPA

FROM:

CHINA OSBORN, Project Planner

#### Instructions:

Please review this form and the attached planning permit application materials with regard to your areas of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by scheduled hearing date. Thank you for your cooperation.

#### **Application Information:**

1. Primary Permit:

PLN2002-00517

2. Property Owner:

JOHN OROURKE 29 SAN FRANCISCO STREET BRISBANE, CA 94005

Phone #:

Project Applicant:

SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

Phone #:

Project Location:

Assessor's Parcel Number(s):

041111130

041111160

041111270

041111280

041111320

041111360

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 25 residential lots. Improvements to include new public roads, storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

Please comments

Provide please

Provide possible from to

return the prossible from the

return the property from the property prossible from the property property

Referral of Planning Permit Application

File No.: PLN2002-00517

#### Recommended Conditions of Approval (Agencies only):

No Recommended Conditions

List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

Refer to Permit\*Plan for Conditions

Refer to Attached Material for Conditions:	
Conditions: Fail. Alternate in + out to be min	
20' wide. Radius of turns to be 35' center	
+ 30' inside at curbs. Or curbs to allow 35	cl
radius for acress.	
Marc Colhert	

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division - 455 County Center - Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 08/09/2005

08/09/2005

Page: 3

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Printed Name of Per	son		
Completing this Forn		Telephone:	
		Date:	
Return this form to:	CHINA OSBORN Planning Division	•	

Planning Division 455 County Center Mail Drop PLN122 Redwood City, CA 94063



WATER
HETCH HETCHY
WATER & POWER
CLEAN WATER

WILLIE L. BROWN, JR. MAYOR

E. DENNIS NORMANDY PRESIDENT

ANN MOLLER CAEN ROBERT J. COSTELLO

PATRICIA E. MARTEL GENERAL MANAGER SAN FRANCISCO PUBLIC UTILITIES COMMISSION

1155 Market St., 4th Floor, San Francisco, CA 94103 • Tel. (415) 554-3155 • Fax (415) 554-3161

October 17, 2003

John L. Maltbie County Manager, San Mateo County Hall of Justice 400 County Center Redwood City, CA 94063

Dear Mr. Maltbie:

The San Francisco Public Utilities Commission is planning the New Crystal Springs Bypass Project along Polhemus Road near the intersection with Crystal Springs Road in San Mateo County. As County Manager, we would like to keep you informed of the project and seek your input on how best to involve the affected neighbors.

As you know, El Nino year rains in the winter of 1996-1997caused a landslide on the east side of Polhemus Road that temporarily buried an important SFPUC water transmission pipeline called the Crystal Springs Bypass Pipeline. After the landslide the SFPUC began researching options for increasing the reliability of the Crystal Springs Bypass Pipeline should an earthquake occur.

Based on the results of the studies, the SFPUC has proposed to construct a deep tunnel underneath and east of Polhemus Road. Tunnels are typically less vulnerable to seismic activity and landslides and the construction impacts are reduced.

The Request for Proposals to design the tunnel will be released in the coming months. We have begun to prepare the environmental documentation, and will submit a Mitigated Negative Declaration for the project. Construction is slated to begin in 2006 and is projected to end in 2009. Please see the most recent project plan and fact sheet enclosed for your information.

Because it is important that nearby residents be included in the planning process, we will hold our first public meeting to introduce the project on Wednesday, November 5, 2003, 7:30 to 9:00 p.m. We will mail the enclosed fact sheet to residents both east and west of Polhemus Road, will place a notice in the local paper, and will post the fact sheet around the affected neighborhoods.

If there are individuals whom you think we should invite to the meeting, or if you should have any comments, please let me know. We will follow up shortly with your staff to offer your office a briefing on the project.

We appreciate your assistance in including neighboring residents in San Mateo County in the planning process for the New Crystal Springs Bypass Tunnel Project, and improving the reliability of the regional water supply.

Please do not hesitate to contact me if you should have any questions.

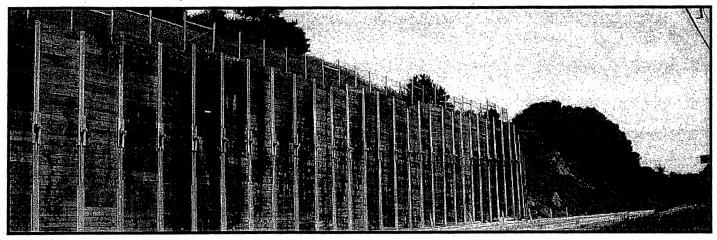
Sincerely,

Betsy Lauppe

**Public Relations Officer** 

San Francisco Public Utilities Commission

Enclosures (2)



## New Crystal Springs Bypass Tunnel

FACT SHEET # 1 OCTOBER 2003

## Reliability and Water Supply

In the El Niño winter of 1996-1997, a landslide occurred on the northeast hillside above Polhemus Road in San Mateo County, which damaged homes and blocked Polhemus Road. The landslide temporarily buried an important water transmission pipeline in the San Francisco Public Utilities Commission's Hetch Hetchy Water and Power System called the Crystal Springs Bypass Pipeline. The 96-inch pipeline runs nearly parallel to and south of Polhemus Road and transports an average of 90 million gallons of drinking water per day from the Sierra Nevada Mountains to communities in San Francisco and on the Peninsula, including San Mateo.

### New Crystal Springs Bypass Tunnel

Out of concern over possible future geological instability in the area during earthquake events, the San Francisco Public Utilities Commission (SFPUC) began engineering studies on how to improve the long-term reliability of the Crystal Springs Bypass Pipeline. Based on the research results, the SFPUC elected to construct a deep tunnel to significantly reduce the risk of failure to the water transmission system in this area. This project is part of the SFPUC's \$3.6 billion capital improvement program to repair, replace and seismically upgrade the aging pipelines, tunnels, reservoirs and dams in the Hetch Hetchy Water Delivery System.

### **About Proposed Project**

The SFPUC plans to construct a tunnel 100 feet underneath and east of Polhemus Road. Tunnels are typically much less vulnerable to seismic activity or landslides, and the construction impacts of building a tunnel versus a pipeline are considerably reduced. Crews will build two shafts and two vaults on the northern and southern sides of the construction area. Construction activities will be focused at the north shaft area, which will be located near the intersection of Crystal Springs Road and Polhemus Road, and the southern shaft area, which will be located on a flat area of Polhemus Road between De Anza and

Rainbow Drive. (Please see enclosed map.) No aboveground construction activities are expected along the tunnel alignment.

The SFPUC will soon begin the design phase of the project. Construction is estimated to start in 2006, and will take three years to complete.

### **Public Participation**

The first public meeting on the New Crystal Springs Bypass Tunnel Project will be held on Wednesday, November 5, 2003, 7:30pm - 9:00 pm.at the Highlands Recreation Center gym, 1851 Lexington Ave.

Under California Environmental Quality Act (CEQA) guidelines, the SFPUC will prepare a Mitigated Negative Declaration environmental document and make a draft of it available for public review in early 2004 consistent with the requirements of CEQA. We will also hold public meetings on the project in the future during important project phases.

#### Information

Looking for information about the New Crystal Springs Bypass Project? Visit us online at sfwater.org, and click on Projects and Plans. If you have a question or concern, you may reach us at 415-554-3240 or blauppe@s.sfwater.org.

ctivity ID	Activity Name	Original	hedule %	Start	Finish	2002	2003	2004	2005	2006	2007	2008	2009	2010	2011	2012 QQQQQ	2013	2014
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Page 1 of 1

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### NEW CRYSTAL SPRINGS BYPASS TUNNEL PROJECT OUTREACH PLAN

#### INTRODUCTION

In the winter of 1996-1997, a landslide occurred on the northeast hillside above Polhemus Road in San Mateo County, which damaged homes and blocked Polhemus Road. The landslide temporarily buried an important part of the San Francisco Public Utilities Commission's Hetch Hetchy Water and Power System called the Crystal Springs Bypass Pipeline. The 96-inch pipeline runs nearly parallel to and south of Polhemus Road and transports an average of 90 million gallons of drinking water per day from the Sierra Nevada Mountains to communities in San Francisco and on the Peninsula, including San Mateo.

#### **New Crystal Springs Bypass Tunnel**

Out of concern over the potential failure of the pipeline due to earthquakes, the San Francisco Public Utilities Commission (SFPUC) began engineering studies on how to improve the long-term reliability of the Crystal Springs Bypass Pipeline. Based on the research results, the SFPUC elected to construct a deep tunnel to significantly reduce the risk of failure to the water transmission system in this area. This project is part of the SFPUC's \$3.6 billion capital improvement program to rebuild the Hetch Hetchy Water Delivery System.

Construction is scheduled to begin in 2006 and end in 2009. The SFPUC is preparing to begin the environmental review process. In anticipation of that, we will begin holding public meetings in November of 2003. It is crucial for us to conduct extensive public outreach in order to incorporate public comment into the tunnel design process.

#### **Public Participation**

The Public Participation Plan is a key part of the planning, design, and construction process. The Plan identifies possible community concerns and future strategies to facilitate meaningful public participation at key stages throughout the design and construction process.

These strategies are tailored to the site and the affected community, or "stakeholders." The project stakeholders in the New Crystal Springs Bypass Tunnel Project include: residents from The Highlands, Hillsborough Lakeview, and Baywood Park neighborhoods; local residents who use Polhemus Road during their morning and afternoon commute; Crystal Springs Shopping Center businesses and customers; and local agencies and elected officials.

#### COMMUNITY OUTREACH PLAN

#### **Public Participation Objectives:**

- Keep stakeholders informed
- Provide opportunities for informed community input
- Provide timely notices and minimize impact to the community during construction.
- Address community concerns through frequent and informal contact.

#### **Public Outreach Activities**

The activities proposed to meet these objectives and address community comments are as follows:

- Information Repository: The SFPUC will post all pertinent information regarding the New Crystal Springs Bypass Tunnel Project on our sfwater.org web site in a clearly marked location.
- Prepare Fact Sheets: The SFPUC will create informational fact sheets in clear, non-technical language, and distribute them to stakeholders during key times in the project.
- Hold scoping meetings with affected stakeholders to seek comments on project alternatives.
- Public Notification: SFPUC will post/ mail/ and e-mail notifications to affected stakeholders in advance of construction activities and project planning milestones.
- Hold Public Outreach Meetings with affected stakeholders throughout the design process and construction.
- Maintaining a database of key stakeholders and interested parties.
- Establish a central contact person for the community.
- Minimize impact to Crystal Springs Shopping Center/ commuters, and community during construction. We will post flier notifications at the shopping center including the market and in the other stores, in local papers and broadcast media.
- Communicate with community groups during construction
- Brief elected officials
- Revise this plan as necessary.

### 2.4 Responsible Resources

The SFPUC will provide the resources to implement this plan and will use community resources such as meeting rooms and city/county web sites as available.

The community can contact the following key staff:

Tasso Mavroudis, Project Manager San Francisco Public Utilities Commission 1155 Market Street, 6<sup>th</sup> FL San Francisco, CA 94103 Ph: 415-554-1809 F: 415-551-4690 pager: 415-201-7369

LuAnn McVicker, PM Support WIP 1155 Market Street, 6th Floor San Francisco, CA. 94103 Ph: 415-551-4651 F: 415-201-7369 Imcvicker@sfwater.org

amavroudis@sfwater.org

Betsy Lauppe, Public Relations Officer San Francisco Public Utilities Commission 1155 Market Street, 11<sup>th</sup> FL San Francisco, CA 94103 Ph: 415-554-3240 F: 415-554-3282 blauppe@sfwater.org

Beverly Hennessey, Director of Communications San Francisco Public Utilities Commission 1155 Market Street, 11<sup>th</sup> FL San Francisco, CA 94103 Ph: 415-554-1830 F: 415-554-3282

bhennessey@sfwater.org

### MEMORANDUM

### COUNTY OF SAN MATEO ENVIRONMENTAL SERVICES AGENCY PLANNING AND BUILDING DIVISION

REVIEWED BY COUNTY MANAGER

DATE:

December 15, 2004

TO:

Members, Board of Supervisors

FROM:

Marcia Raines, Director, Environmental Services Agency

ALL SUPS RECD

SUBJECT:

Request for Information – Ascension Heights Subdivision Project

Attached is the information related to the Ascension Heights Residential Subdivision project submitted by Dennis Thomas. The project is located on the east side of Polhemus Road, within ½ mile of the Highland Estates project. Mr. Thomas proposes to subdivide 6 existing lots into 25 new lots for single-family residences. Zoning will remain unchanged. The application for this project was filed August 28, 2002. The scoping session was conducted on December 4, 2003. The EIR contract was authorized by Board of Supervisors action on June 24, 2003. We are currently reviewing the Administrative Draft of the EIR and anticipate it will be ready to release for public review by the end of January.

We have talked to the applicant regarding homeowner concerns about development proposals in this vicinity. Early this week we updated Mr. Thomas regarding the Board's Highland Estates action. You may receive calls from either the applicant or homeowners groups. The attached information includes a location map, a site plan showing the proposed lot layout, and a brief project description. If you have any questions, you may contact me at 650/599-1388.

#### Attachments

cc:

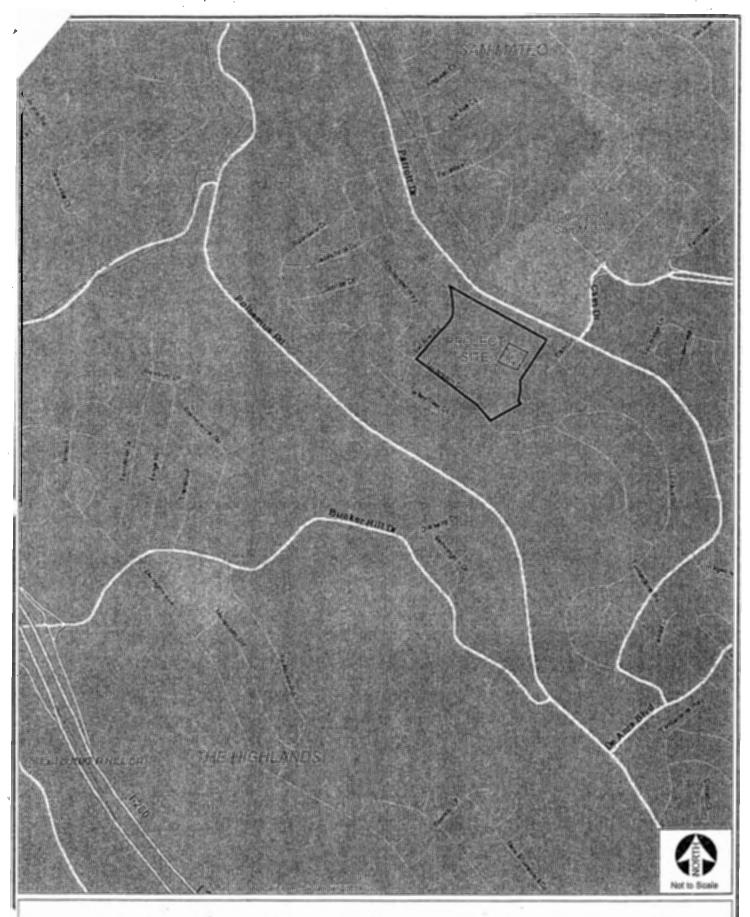
John Maltbie, County Manager

Thomas F. Casey III, County Counsel

RECEIVED

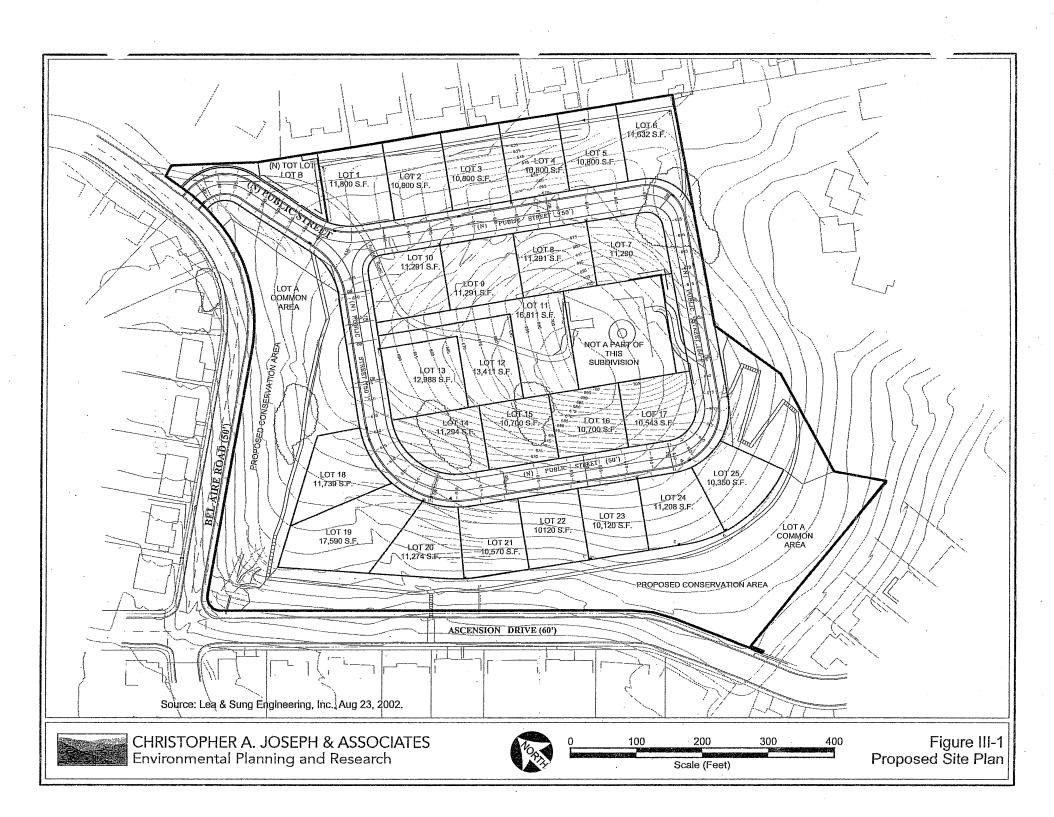
DEC 1 5 2004

**COUNTY MANAGER** 





CHRISTOPHER A. JOSEPH & ASSOCIATES Environmental Planning and Research Figure II-2 Vicinity Map



## III. PROJECT DESCRIPTION

### A. PROJECT APPLICANT

The project applicant is Dennis Thomas, San Mateo Real Estate, Inc., 1777 Borel Place, Suite 330, San Mateo, CA, 94402.

### **B. PROJECT LOCATION**

The proposed project site is located at the eastern corner of Bel Aire Road and Ascension Drive, within the unincorporated San Mateo Highlands area of San Mateo County (see Figures II-1 and II-2 in Section II). The project site is surrounded by single-family homes: the Baywood Park neighborhood is located to the northeast; the Enchanted Hills neighborhood is located to the southeast and southwest; and the Starlite Heights neighborhood is located to the northwest. The project site is located approximately three-quarters of a mile east of Interstate 280 and three-quarters of a mile west of State Highway 92.

## C. PROJECT CHARACTERISTICS

The project applicant proposes to subdivide six legal parcels, which make up the project site, into 25 single-family lots. Lot sizes would range from 10,120 square feet to 17,590 square feet (see Figure III-1). The majority of the lots would be located on both sides of a new 32-foot wide public street (See Figure III-2). The new public street would provide one access point for both ingress and egress at the northern end of the property via Bel Aire Road. The proposed project would also provide two trails, a tot lot, and a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The tot lot would consist of 5,350 square feet and would be located near the project site entrance on the eastern side of the new public street. One trail would be located on the northeastern side of the property and would provide access to the tot lot. This trail would be located behind Lots 1-6 and would be accessible from either the tot lot or the far northeastern corner of the public street. The second trail would run through the proposed conservation area which would generally be located at the southern and western portions of the project site. This trail would be accessible from three points: (1) near the project site entrance where the new public street forks; (2) at the southeast corner of the new public street; and (3) stairs leading up to the trail from Ascension Drive.

SAN MATEO COUNTY MOISIVIG DIVISION

ZD : 11 ♥ | OZ J30 1002

GEVEDAR

Planning and Building Department - 455 County Center - Redwood City California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849

04/05/2007

DENNIS THOMAS 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

SUBJECT: Application Status of Case No: PLN2002-00517

**Project Description:** 

EIR, Grading Permit & Major Subdivision to subdivide 13.25 acre parcel into 25 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; 'tot lot' & conservation area.

Includes street naming for 'Ascension Heights Drive.'

Your application has received preliminary review by the Planning Division's Development Review Committee; the application has been found to be incomplete as described in the enclosure to this letter.

Progress cannot be made on your application until it is complete. Please feel free to contact me or staff of other departments as indicated in the enclosure if you have any questions or comments.

Once submitted, your material will be evaluated by the Development Review Committee and you will be advised if any incomplete items remain.

Sincerely,

Project Planner



Planning and Building Department = 455 County Center = Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

Page 2

Application Status of Case No: PLN2002-00517

For: DENNIS THOMAS

04/05/2007

A Tree Removal Permit Application should be filed and fees paid to be combined with the subdivision application. The most recent site plan submitted shows removal of 4 significant eucalyptus trees. In that case, fees would total \$578.55. If more significant (larger than 12" diameter) trees are to be removed, fees would be adjusted accordingly.

San Mateo County Planning and Building Division .

455 County Center, 2nd Floor Redwood City • CA • 94063 Phone: 650 • 363 • 4161 Fax: 650 • 363 • 4849

# **Application for Permit to Trim or Remove**

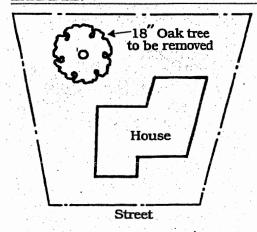
Sections 11,000 et seq and 12,0	000 et seq of the San Mateo Cou	ınty Ordinance Code.	7	
	SIGNIFICANT TREE(S)		76	***
Property Owner: Ascen	us rou Hershis De	velopment		
	rel Place #330			
	9 94402 Telephone: 65	0.578.0330	Date o	f Application:
Applicant (if different):			10 Da	y Period of Posted Notice
Address:			From:	- Ala
	Telephone:		To:	
Address and parcel number	where tree(s) located: Asa	cencionit Bel.	Sir	
Tree(s) Diameter or Circumference (at 4½ ft. height)	Kind of tree(s)	Health of tree(s)		Reason for Removal/Trimming
Described as				
Describedas				
	Mary A. C. S. S. S.			
REMOVAL PLAN:  1. Method of removal:	☑ By Owner ☐ By Tree Removal Service, Name: San Matter	leal Estati	Phon	e: <u>6505780330</u>
2. Disposal of tree debr	is: All debris to be remo			val Service
that an approved permit m	in the application is accurate ay be conditional. Further, to g Commission. Authority to	he decision on this	applicatee is effe	tion may be appealed to the

NOTE: All Tree Removal Applications must be submitted in person.

#### **REMOVAL PLAN:**

Sketch site plan (aerial view) of location of tree(s) and their drip-line(s) showing approximate property lines, nearby building locations, roads, other trees, and any proposed improvements or additions which necessitate tree removal/trimming. Please CIRCLE or LABEL tree(s) to be removed. (Attach extra Site Plan if necessary).

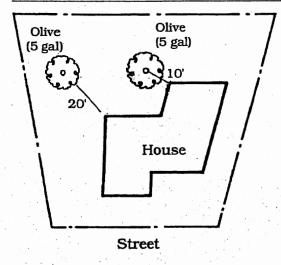
#### **EXAMPLE:**



#### REPLANTING PLAN:

The replanting plan shall show the location (including approximate distance to house), type, size (i.e. 5 gal., 10 gal., etc.) of proposed trees. In Bayside Design Review (DR) Zoning Districts, a 3:1 replacement ratio is required. All other residential districts require 1:1 replacement. Please sketch the site plan indicating location, size and species of new tree(s) to replace tree(s) removed. Tree replacement must be completed within one (1) year of the permit's final approval.

### **EXAMPLE:**



### RECOMMENDED SPECIES OF REPLACEMENT TREES:

## 1. Bayside Design Review Districts

5 gallon size trees (minimum); 3:1 replacement required

Bishop pine	Nagi pine	Cork oak	California buckeye	Bronze loquat	Chinese flame tree	Canary Island pine
Austrian black pine	Flowering cherries, plums, apricots, etc.	Southern live oak African sumac	Silk tree	White ironbark Spotted ghost	Goldenrain tree	Coulter pine
Jelecote pine Italian stone pine	Pears	Chinese tallow tree	Bottle tree Incense cedar	gum Honev-scented	Crape myrtle Greek laurel	Japanese red pine
Indian longleaf	Sawtooth oak	California pepper	River she-oak	eucalyptus	Saratoga laurel	Eldarian or Afghan pine
pine Scotch pine	Coast live oak  Arizona blue oak	tree Brazilian pepper	Coast beefwood	Willow-leaved peppermint gum	Catalina ironwood	Aleppo pine
Japanese black	Chesnut-leaved	tree Western red	Atlas cedar Deodar cedar	Small-leaved gum	Apples, flowering crabs, etc.	Montezuma pine  Mugho pine
Chinese pistache	Blue oak	cedar	Eastern redbud (false cypress)	Silver-dollar gum Silver mountain	Chilean mayten	
Pittosporum	Holly oak	Linden Brisbane box	Hawthorne	gum	Flaxleaf paperback	
London plane tree	Israeli oak Vallev oak	Tristania	Carrot wood	Maidenhair tree Guijera	Cajeput tree	
Fern pine	Phillyry oak	California bay	Hopbush tree		Olive (fruitless form)	

## 2. Bayside Non-Design Review Districts

5 gallon size tree minimum; 1:1 replacement required Refer to Bayside Design Review District Selection.

## 3. Skyline, La Honda

5 gallon size; 1:1 replacement required

Redwood Coast live oak
Big leaf maple Black oak
California bay laurel Wadrone
Islay or wild cherry

### 4. Coastside

5 gallon size; 1:1 replacement required.

Peppermint	Monterey cypress	Shore pine	Dracaena palm
willow	Bushy youte	Bishop pine	California
Blackwood acacia	Cajeput tree	Monterey pine	Buckeye
Norfolk Island	New Zealand	Canary Island	Catalina ironwood

## SURETY INFORMATION:

In Bayside Design Review Districts, a \$100.00 certificate of deposit is required to ensure the performance and maintenance for each replacement tree included in replanting plan. Each replacement tree shall be replant within one (1) year of removal, and the surety deposit will be held for two (2) years from date of approval of permit, and shall only be released upon approval of a site visit conducted two (2) years after issuance of a tree removal permit. IF replacement is not satisfactory, the surety deposit will either be extended or forfeited and replacement trees will be planted.

Amount	Time held	
Permit Approved: Title:		Date:

201 APR 23 P 4: 18
SAN MARIES COUNTY

## NOTE: Acceptance of this application by Planning Staff...

- <u>Does not guarantee the approval of the proposed tree removal(s)</u>. Planning staff will grant a tree removal permit <u>only</u> if staff is able to make one or more of the findings listed in Section 12,023 of the "Regulation of Removal of Significant Trees". A copy of this ordinance can be obtained at the Planning counter. The decision to make these findings takes into consideration public comment, recommendation(s) of reviewing agencies, the reason for removal and documentation of the tree's health or hazard as indicated by an arborist (if required, see below).
- <u>Does not imply that the application is "complete".</u> Other items, such as a report from a certified arborist, may be requested in order to complete your application (Section 12,021). For example, an arborist report may be required in order to confirm or refute a property owner's claim that a tree is diseased or a hazard to safety or property.

Applicant to sign below, in acknowledgement of the above information:

Applicant

Planning and Building Department = 455 County Center = Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

04/05/2007

DENNIS THOMAS 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

SUBJECT: Application Status of Case No: PLN2002-00517

Project Description:

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Once submitted, your material will be evaluated by the Development Review Committee and you will be advised if any incomplete items remain.

Sincerely,

MATT SEUBER
Project Planner

PATERED

# San Mateo County

Planning and Building Department - 455 County Center - Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849

Page 2

Application Status of Case No: PLN2002-00517

For: DENNIS THOMAS

04/05/2007

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Cut directly from Ascension Account not from SMRE

Job #: Ascension

Description: D.

Item Code: 10010: 3010

Class:





# Payment Receipt Receipt # : 0000000000000039824

Check Number #:133

Name:

DENNIS THOMAS

Address:

.....

Parcel#: 041111360

Case # Number	Account Number	Description	Date Paid	Amount Due	Amount Paid
PLN2002-00517	38450-1263	Stormwater Pollution Prev.	5/2/2007	258.00	30.16
	38450-2114	Geotech.Review-Geologist Rev.	5/2/2007	98.99	98.99
38450-1264	Tree Removal Fee - Significant	5/2/2007	428.00	428.00	
. 38450	38450-2093	5% Legal Counsel Surcharge Fee	5/2/2007	21.40	21.40
		•	Total Pa	id:	\$578.55

FeeReceipt.rpt

From:

"Geoff Reilly" < geoff@cajaeir.com>

To:

"'Matthew Seubert" < MSeubert@co.sanmateo.ca.us>

Date: Subject: 3/20/2006 3:36:29 PM Thomas EIR Traffic

Hi Matt,

Below is a preliminary response from our traffic consultant about the traffic report becoming outdated. He doubts that much has changed for the area but offers the following based on the controversial nature of the project and the organized opposition:

I'm sure the project is very controversial, and we want to avoid all possible criticism of our approach. One red flag for criticism always is the date of the traffic counts. I think we should redo them. We should redo our list of approved projects also (I don't know if anything has changed).

I'll consider this when we are asked to prepare a proposal for the revised project/alternative.

Thanks,

Geoff

Geoffrey Reilly Vice President/Regional Manager geoff@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research www.cajaeir.com

Petaluma Office 179 H Street Petaluma, CA 94952 Phone: (707) 283-4040 Fax: (707) 283-4041

Petaluma · Oakland · Los Angeles · Westlake Village · Mammoth Lakes

Confidentiality Statement

This transmittal is intended to be transmitted to the person named. Should it be received by another person, its contents are to be treated as strictly confidential. It is privileged communications between the firm and the person(s) named. Any use, distribution or reproduction of the information by anyone other than that person is prohibited.

## San Mateo County **Environmental Services Agency**

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 01/25/2006

01			

Water Control of the Control of the

TO:

Ping. Dir., City of	
SMCo Geotechnical Mid-Coast Community Council	
SMCo Environmental Health Pescadero Municipal Advisory Committee	•
SMCo Building Inspection North Fair Oaks Community Council	
SMCo Parks & Recreation Homeowners Association	
Fire Marshal/Fire District Regional Water Quality Control Board	
Coastal Commission Mid-Peninsula Regional Open Space District	
Water & Sanitary Districts California Department of Fish and Game	
Sonoma State University San Francisquito Creek JPA	
FROM: MATT SEUBERT, Project Planner	en e
Instructions:	
Please review this form and the attached planning permit application materials with regard to your areas of	
responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-41 Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by 2-27 to avoid delay in mees scheduled hearing date. Thank you for your cooperation.	<b>61.</b>
Application Information:  1. Primary Permit: PLN2002-00517  2. Property Owner:  4. Revised fentative  with grading, dre  utility, access of	map
1. Primary Permit: PLN2002-00517 with grading, dra	urage,
2. <u>Property Owner:</u> utility, access a	hanges.
JOHN OROURKE 29 SAN FRANCISCO STREET BRISBANE, CA 94005	
Phone #: Project Applicant:	
SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402	
Phone #:	
Project Location: Ascension Drive, Baywood Parlo	(Highlands)
Assessor's Parcel Number(s): 041111130	
041111160 RECEIVED	
DEPARTMENT OF PUBLIC WORKS	

#### **Project Description:**

Grading Permit & Major Subdivision to subdivide 13.9 acre parcel into 24 residential lots. Improvements to include new public roads (including emergency fire exit road), storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

FEB 6 - 2006

COUNTY OF SAN MATEO

LOPMENT REVIEW SECTION

041111270

041111280 041111320

041111360

# San Mateo County

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 01/25/2006 01/25/2006 Page: 2 **Decision Maker:** Zoning Hearing Officer Staff Planning Commission **Board of Supervisors** Comments on Proposed Project: State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments Recommended Conditions of Approval (Agencies only):

List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

No Recommended Conditions		Refer to Permit*Plan for Condition				
Refer to Attached Materi	al for Conditions:					
Conditions:						

## San Mateo County **Environmental Services Agency**

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division - 455 County Center - Redwood City California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849 Date: 01/25/2006 01/25/2006 Page: 2 **Decision Maker:** 

## Staff Zoning Hearing Officer **Planning Commission Board of Supervisors Comments on Proposed Project:** State any comments, concerns or recommendations you have with regard to this project. Please be specific in project references. Attach additional sheets as necessary. Refer to Permit\*Plan for Comments No Comments Comments

### Recommended Conditions of Approval (Agencies only):

List any conditions which you would recommend be imposed if the project is approved. Again, please be specific, use exact wording and indicate any adopted plans, policies or ordinances upon which your recommendations are based. Attach additional sheets as necessary.

 No Recommended Conditions	Refer to Permit*Plan for Conditions				
 _ Refer to Attached Material for Conditions:					
_ Conditions:					

## **San Mateo County** Environmental Services Agency

Referral of Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City

California 94063 Planning: 650/363-4161 Building: 650/599-7311 Fax: 650/363-4849 Date: 01/25/2006

01/25/2006

Page: 3

Printed Name of Person

Completing this Form: \_

Telephone:

Date:

Return this form to:

**MATT SEUBERT** 

Planning Division 455 County Center Mail Drop PLN122 Redwood City, CA 94063

fpInprmapp



# Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date I	Date 2	Date 3	Disp	Done By	Updated By
PLNB0098	(F) Print Planning ref. Sheets			09/13/02	DONE	MDB	09/13/02 MDB
PLNB0012	Review by Public Works	09/13/02		03/23/06	FAIL	LAE	03/23/06 LAE

3/23/06 LE: FAIL status remains due to incompleteness of plans for roadway and drainage. Applicant needs to submit \$500 plan review deposit to DPW with next submittal as per subdivision regs. Preliminary comments are:

- 1. Sewer facilities will not be approved at back of lots.
- 2. DPW will not accept roadway as "public," so may need form of exception.
- 3. Applicant will be required to abide by Provision C.3 stormwater requirements (on-site treatment/detention).
- 4. Advised Project Planner to send C.3 worksheet.
- 5. Additional info needed re "conservation" areas

Still reviewing plan, so additional comments may be forthcoming.

10/25/02 PSB - Though plans accompanying referral are ok for subdivision review and conditions, "FAIL" is for lack of plans and information (erosion, sediment, winterization, soils report, etc.) for the Grading Permit. Once the information required by the Grading Ordinance and by the Grading Permit application is provided for DPW review, DPW will provide conditions of approval for both the Major Subdivision and the Grading Permit.

9-28-2005 ksa-Have review the resummittal dated 8-9-2005. I would assume that I am looking at the new alternate d/w onto Ascension Dr. If that is true..then the concept is ok. However, there is no d/w profile and possibily how much grading is necessary and the proposed retaining wall may be too high for Planning standard.

PLNB0015	Review by Building	09/13/02	09/16/02	DONE	WJC	06/07/05 WJC
	06/07/2005 WJC - No additional 9/16/2002 WJC - A building per					
PLNB0135	Review by Other Agency	09/13/02	11/20/02	DONE	MDB	11/20/02 MDB
	10/4/02-MDB-Recieved a will se To Cal Water	erve letter				
PLNB0025	Review by CDF	09/13/02	03/06/06	DONE	CRS	03/06/06 CRS



# Case Activity Listing Case #: PLN2002-00517

Activity	Description	Date I	Date 2	Date 3	Disp	Done	Updated
	Notes						By

03-06-06-CRS/JAR; Revised plans dated 01-12-06. The following issues shall be addressed at the building permit phase, NO building permits will be issued until these issues are approved by County Fire:

- 1. Hydrant location and # of hydrants will be determined by CDF/County Fire.
- 2. Fire Dept. access road where it intersects into proposed public street at the top shall have detailed plans of elevation, slope, and radius turns. This shall be approved by CDF/ County Fire prior to issuance of BLD permits.
- 3. Fire Dept. access road where it intersects into Ascension drive shall have detailed plans of elevation, slope, and radius turns. This shall be approved by CDF/ County Fire prior to issuance of BLD permits.
- 4. Parking restrictions shall be as follows;
- a. 20 feet wide when parking is not allowed on either side of roadway.
- b. 30 feet wide when parking is not allowed on only one side of the roadway.
- c. 40 feet wide when parking is not restricted.

8/23/05 MAC: Fail - Revised plans show secondary access. Access in much better spot. Needs to be 20 wide w/ 35 ft centerline radius. Also, curbs at access to be allow turning for 35 ft CL radius.

6/27/05 JAR: The revised plan showing a secondary access at the same location as the original main subdivision entry is unacceptable. DJH will contact the developer to advise of the need for a secondary access closer to the far end of the subdivision.

6/10/05 MAC: Plans show less than 20 ft separation from main enterance and secondary access. Need a minimum of 20 ft separation. Sheet C-5, section 1/c-5, shows 22 ft wide road. Curbs will be required to be painted red w/ no parking, fire lane, signs on both sides. Sections 2/c-5 and 3/c-5 show 32 ft wide roadways. These will be required to have parking only on one side and the other side will have red curbs and no parking, fire lane, signs.

03/14/05 JAR: I met with applicants and developers at proposed building site. All were advised the proposed subdivision is not located in a State Responsible Area, nor is it located in a hazardous fire area. A dead-end road has only one point of vehicular ingress/egress, including cul-de-sacs and looped roads. The Ascension Heights Subdivision proposed roadway is a dead-end looped road. The maximum length of a dead-end road, (not located in a hazardous fire area), including all dead-end roads accessed from that dead-end road, may not exceed 1,000 cumulative feet, regardless of the number of parcels served.

As mitigation County Fire may allow a secondary fire access road. This fire access road shall be provided with an all weather-driving surface; 6" of base with 95% compaction. The roadway shall be a minimum of 12 feet in width; with center lane radius turns of no less than 35'. Grades between 15% and 20% shall also have 2" of surface concrete. Grades greater than 20% are not allowed.

see (additional comments by fire)

#### see (additional comments of m

**General Application** 

Received

08/28/02

DONE

GEH

11/10/03

GER

8/28/02 - geh - only forms, plans and fees submitted, no supporting statements or documentation. Letter of incomplete given to applicant for basic missing information.

## PLNA007 (F) Incomplete

Application

08/28/02

DONE

GEH

08/28/02

**GEH** 

The application is incompete at this time. Please submit the following information:

- 1. Title report for all parcels included in the application
- 2. Proof of ownership for all parcels
- 3. Letter of concurence from parcel owners.

Please submit this above information as soon as possible in order for a full review of the project to commence. Your application has only been given a preliminary review at this time by the counter in-take planner. Additional information may be required following a further review by the project planner and other interested agencies.

### PLNA008

PLNA000

(F)Print Permit File Cover Sht 09/04/02

DONE

**IPC** 

09/04/02

IPC



# Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date 1	Date 2	Date 3	Disp	Done By	Updated By	
PLNA006	Assign Planner			09/05/02	DONE	DJH	09/09/02 DJH	
	Assigned to Miroo Brewe	r.					2311	
PLNA007	(F) Incomplete Application			09/30/02	DONE	MDB	09/30/02 MDB	
	The following is needed to	o complete your application	on:					
	(1) clarification on whether (2) a geo-technical report	er area adjacent to water to	ank is part of Lot 7 (	or Lot 17				
	As the application is revie	wed further by Departme	nt of Public Works a	and CDF, more info	rmation may be r	equired.		
PLNA001	Received			12/19/02	DONE	MJS	12/19/02 MJS	
	12/19/02 mjs- received co	pies of the soils report fro	m the applicant this	day. Will route to I	Miroo.			
PLNE0010	Project Notes			01/09/03	DONE	MDB	01/09/03 MDB	
	1/9/03-mdb-Request for proposal sent out in order to hire a consultant to prepare EIR for this project. Response due by February 15.							
PLNA001	Received			04/03/03	DONE	MJS	04/03/03 MJS	
	Received "preliminary ero	osion control plan" this da	y. Will route to Mir	00.				
PLNB0098	(F) Print Planning ref Sheets			04/03/03	DONE	MDB	04/03/03 MDB	
PLNE0010	<b>Project Notes</b>			04/03/03	DONE	MDB	04/03/03 MDB	
	4/3/03-mdb-Referred revi	sed tentative map (with de	rainage details) plus	erosion control plan	ns plus geo-tech	report to Pete an	nd Jay.	

04-03-2003 JLM File No. 9E-122. Placed draft review sheet on Jean's desk for her review.

4-7-2003 JFD - concerns re oversteepened slopes, drainage, etc.; added to review sheet

04/03/03

04-07-2003 JLM/JFD Sent review sheet this date, waiting for response from geotechnical consultant (Michelucci & Associates).

1-4-2005 JFD - reviewed geol/soils section of EIR; major issues are 2 shear zones, slope stability & erosion; sent note to planner

4-21-2003 JFD - review response OK, except missing numbers used in slope stability analysis; Jay to call them

04-23-2003 JLM Geotechnical consultant to observe and approve all applicable work.

1-21-2004 JFD - reviewed Treadwell & Rollo report for EIR dated 11/20/2003 & Michelucci response dated 1/15/2004 3/9/6 JDM: Conditions added:

1) Slope stability analysis for statis and seismic conditions.

PLNB0035 Review by Geotechnical

- 2) Investigate the shear zones identified in the 1981 Harlan & Assoc. report.
- 3-21-2006 JFD with review of more geot. information provided by Planning and phone conversation with consultant (Michelucchi), this project is good to go.

04/23/03

DONE

JLM

03/21/06 JFD



# Case Activity Listing Case #: PLN2002-00517

Activity	<b>Description</b> Da	te 1 Date 2	Date 3	Disp	Done	Updated	
	Notes				Ву	By	
PLNT0030	Final by Geotechnical					04/03/03 JLM	
PLNA006	Assign Planner		05/15/03	DONE	DJH	07/28/04 DJH	
	Reassigned to Gabrielle Rowan.						
PLNE0003	Meeting		07/22/03	DONE	GER	07/22/03 GER	
	7/22/03 - ger - EIR kick-off meeting wit intial study to be prepared by CAJA. Li	h Geoff Reilly (CAJA) and Su st of items required which I w	ab-Consultants to go the ill research.	nrough issues and	d process. Next	t step - draft	
PLNE0005	Field Inspection		07/23/03	DONE	GER	07/23/03 GER	
PLNA001	Received		09/03/03	DONE	GER	09/03/03 GER	
	9/3/03 - ger - received draft Initial Study	from CAJA following my co	mments. NOP circula	tion to follow.			
PLND008	EIR: NOP		10/15/03	DONE	GER	10/15/03 GER	
	10/15/03 - ger - notice of preparation sent by CAJA on 10/10/03 to all agencies and 500' radius - addresses supplied by County. Responses to be sent within 30 days of receipt.						
PLND008	EIR: Scoping Meeting		12/08/03	DONE	GER	12/08/03 GER	
	12/4/03 - ger - scoping meeting took place - see file for sign-in sheets, speaker slips and tapes of meeting. 11/10/03 - ger - meeting rescheduled to Dec 4, 2003 at 7.30 at CSM Building 5 South Cafeteria. Notices sent today to all agencies, all neighbors within 500' and all attendees of pre-app workshops and HOAs. 10/20/03 - ger - meeting to be rescheduled. 10/15/03 - ger - meeting scheduled for 10/27/03 at 7.30 pm at College of San Mateo Building 5 South Cafeteria.						
PLND009	EIR: Newsp Notc Sent/Published		10/15/03	DONE	GER	10/15/03 GER	
	10/15/03 - ger - newspaper notice sent r	e: NOP and scoping session					
PLNG003	Received Comments/Concerns		01/14/04	DONE	GER	01/14/04 GER	
	1/14/04 - ger - received comments from forwarded to EIR consultants	Baywood Park Homeowners	Association in relation	to NOP - see N	OP response fil	e - all letters	
PLNE0010	<b>Project Notes</b>		12/08/03	LOOK	GER	01/14/04 GER	



# Case Activity Listing Case #: PLN2002-00517

Activity	Description	Date 1	Date 2	Date 3	Disp	Done	Updated
	Notes					Ву	By
PLNG003	Received Comments/Concerns			12/08/03	DONE	GER	12/08/03 GER
	12/8/03 - ger - received five com	ments in response t	o NOP (last 3 week	s) - faxed to Geoff I	Reilly.		
PLNE0010	Project Notes			02/10/04	LOOK	GER	02/10/04 GER
	2/10/04 - information is being ga	thered by EIR cons	sultants, myself and	applicant for Draft	EIR.		
PLNM100	Override - Activity Holds			06/17/04		GER	06/17/04 GER
PLNE0010	<b>Project Notes</b>	٠		06/17/04	LOOK	GER	06/17/04 GER
	6/17/04 - ger - pending DEIR. G draft - this needs to be set up with				g staff to discuss	alternatives to b	e included in the
PLNA006	Assign Planner			07/28/04	DONE	DJH	07/28/04 DJH
	Reassigned to Sara Bortolussi.						
PLNE0010	<b>Project Notes</b>				LOOK	SMB	03/02/05 SMB
	3/2/2005 smb- STATUS: The aprequirements. Any changes will Then this document will be returned in file cabinet in Sara's office and	need to be reviewe ned to the EIR prep	d by the EIR consul parer for editing and	tant. The Administration to the control of the cont	ative Draft EIR i	s with Staff for	review and edits.
PLNA006	Assign Planner			03/07/05	DONE	DJH	05/26/05 DJH
	Reassigned to China Osborn.						
PLNE0010	<b>Project Notes</b>			05/23/05	LOOK	DJH	05/26/05 DJH
	Routed submitted subdivision re	visions to CDF, DF	W & BLD.				
PLNA001	Received			05/05/05	DONE	FSM	05/26/05 DJH
	05/05/05 FSM - Received revise resigned.	d 5 sets of plans - r	evisions prompted l	by CDF reqts. Route	d to Dave H. sind	ce the current pr	oject planner has
PLNA001	Received			08/08/05	DONE	CFO	08/09/05 CFO

8/8/2005-cfo-Applicant submitted revised plans responding to CDF access issues. Will route to Fire for review and approval.



# Case Activity Listing Case #: PLN2002-00517

Activity	Description Notes	Date 1	Date 2	Date 3	Disp	Done By	Updated By
PLNB0098	(F) Print Planning ref. Sheets			08/09/05	DONE	CFO	08/09/05 CFO
	for CDF						
PLNE0003	Meeting			09/28/05	DONE	DJH	10/03/05 DJH

Meeting with Christopher Joseph consultant rep, Dennis Thomas (applicant), his engineers, LisaG, Co Fire Authority (Jim Rust & Chief Sims) to review the alternative emergency fire access road. It was determined that Thomas would abandon his initial fire exit proposal (paralleling the main entry road) & proceed with the alternative access, even though it'll result in more grading & visual impacts. Thomas indicated that the grading impacts are not critical, since construction of the access could use grading that otherwise would have been trucked off-site from the main subdivision terracing. We concluded by requiring the submittal of the following: 1) revised tentative map deleting initial emergency access oute & replacing with this one, 2) access route grading plan showing wider turnouts & other detailed required by Fire, grading cut/fill amounts, representative cross section showing retaining walls & areas for landscaping, photos or manufacturers 'cut-sheets' showing Keystone constuction type & design on similarly sloped hillsides, 3) revised geotech report for alternative access route. Once we get all these materials, we'll forward to consultant who will consider this under their Alternatives Section. Admin Draft EIR had not considered this alternative route. The admin draft EIR will be revised to reflect all related impacts & sent for our review before publishing.

PLNA001	Received	09/26/05	DONE	DJH	10/03/05 DJH	
	Received updated biological report regarding Monarch butterfly from Dennis Thomas. Sent along to consultant.					
PLNA001	Received	01/12/06	DONE	MAT	01/25/06 MAT	
	1/12/6 MAT: 4 sets of tentative map					
PLNB0098	(F) Print Planning ref. Sheets	01/25/06	DONE	MAT	02/27/06 MAT	
	due 2-27 for Fire, PW also sent to CAJA (no response deadline) 2/27/6 MAT: Sent referral to Geo. Response due 3-16.					
PLNE0003	Meeting	03/02/06	LOOK	MAT	03/02/06 MAT	

3/2/6 MAT: With Dave H., Jim E. Follow up with telephone conference call with Geoff: 1) Jim says probably ok to wait until completion of Geo. report for contract to be amended., 2) Does hydro. report referred to in email mean drainange or is there a separate hydro. report? Ask Geoff.

**PLNE0001 Phone Call** 03/09/06 LOOK MAT 03/10/06 MAT

3/9/6 MAT: Conference call with Geoff, Jim E., Dave H, Matt. Waiting for supplemental geo. report, especially supplemental geo., soils, drainage/hydro., maintenance info. and slope stability for new road & wall.

Discussed updating traffic report, perhaps also other dated items like school capacity, infrastructure. Aesthetics section needs update regarding new road, including new photosims.

Dave asked that EMF report be added to EIR.

Discussion of whether new plan should be alternative, or should become 'the project,' also discuss with applicant. Having most recent plan as alternative may save time, \$.

# FAX COVER SHEET

TO: Miroo Brewer					
FAX #	DATE: 8/25/02				
FROM: DENNIS THOMAS SAN MATEO REAL ESTATE, INC. (650) 578-0330 FAX (650) 578-0394					
17 PAGES TO FOLLOW					
Proving ownership	Title Report				



## PRELIMINARY REPORT

Issued for the sole use of:

Our Order No. 288246

San Mateo Real Estate 1777 Borel Place #330 San Mateo, California 94402

Reference

Attention: Dennis Thomas

When Replying Please Contact:

Maura Mason Freitas (650) 574-1166

Property Address: VACANT LAND,, CA

[Unincorporated area of San Mateo County]

In response to the above referenced application for a policy of title insurance, OLD REPUBLIC TITLE COMPANY hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules. Conditions and Stipulations of said policy forms.

The printed Exceptions and Exclusions from the coverage of said Policy or Policies may be set forth in Exhibit A attached. Copies of the Policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit A of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as to the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of February 20th

,2001 , at 7:30 A.M.

OLD REPUBLIC TITLE COMPANY

For Exceptions Shown or Referred to, See Attached

Page 1 of 13 Pages

The form of policy of title insurance contemplated by this report is:

a CLTA Standard Coverage (1990) Owner's Policy; AND an ALTA Loan Policy. A specific request should be made if another form or additional coverage is desired.

The estate or interest in the land hereinafter described or referred to covered by this Report is:

a FEE.

Title to said estate or interest at the date hereof is vested in:

JOHN O'ROURKE, a married man, as his sole and separate property and CHRIS T. JAMES, an unmarried man, each as to an undivided 1/2 interest

Page 2 of 13 Pages

The land referred to in this Report is situated in the County of <u>San Mateo</u>, in the unincorporated area, State of California, and is described as follows:

#### PARCEL ONE:

BEGINNING at the point of intersection of the Northwesterly line of that certain easement 40 feet in width as described in the Final Order of Condemnation rendered in the Superior Court in and for the County of San Mateo, Case No. 51441 in Action entitled "Pacific Gas and Electric Company, plaintiff, vs. Crystal Springs Development Company, a corporation, et al, defendants", on October 6, 1950, a certified copy of which was recorded October 19, 1950 in Book 1961 of Official Records at page 366 (File No. 94079-I), Records of San Mateo County, California, with the Northeasterly line of Ascension Drive as shown on that certain map entitled "Tract No. 783 Enchanted Hills Unit No. 2, San Mateo County, California", filed in the office of the County Recorder of San Mateo County, State of California on March 24, 1960 in Book 53 of Maps at pages 9 and 10; thence from said point of beginning North 33° 30' West along said Northeasterly line of Ascension Drive, 85.70 feet to the true point of beginning of the lands to be described herein; thence from said point of true point of beginning, leaving said Northeasterly line North 66° 30' 00" East 34.93 feet; thence North 33° 30' 00" West 110.00 feet; thence North 47° 00' West 175.00 feet; thence North 85° 30' 00" West 116.42 feet to the said Southeasterly line of Ascension Drive; thence along the last mentioned line, South 55° 00' East to the beginning of a curve, Southeasterly on the arc of a tangent curve to the right, said curve having a radius 180.00 feet, a central angle of 21° 30' 00", West an arc distance of 67.54 feet and South 33° 30' 00" East 35.97 feet to the true point of beginning.

#### PARCEL TWO:

BEGINNING at the point of intersection of the Northwesterly line of that certain easement 40 feet in width as described in the Final Order of Condemnation rendered in the Superior Court in and for the County of San Mateo, Case No. 51441, in Action entitled "Pacific Gas and Electric Company, plaintiff, vs. Crystal Springs Development Company, a corporation, et al, defendants", on October 6, 1950, a certified copy of which was recorded October 19, 1950 in Book 1961 of Official Records at page 366 (94079-I), Records of San Mateo County, California, with the Northeasterly line of Ascension Drive, as shown on the certain map entitled "TRACT NO. 783 ENCHANTED HILLS UNIT NO. 2 SAN MATEO COUNTY, CALIFORNIA", filed in the office of the County Recorder of San Mateo County, California on March 24, 1960 in Book 53 of Maps at pages 9 and 10; thence from said point of beginning North 33° 30' 00" West along said Northeasterly line of Ascension Drive 85.70 feet; thence leaving the last mentioned line, North 66° 30' East 34.93 feet; thence North 33° 30' 00" West 110.00 feet; thence North 47° 00' West 175.00 feet; thence North 85° 30' 00" West 116.42 feet to the said Northeasterly line of Ascension Drive; thence North 55° 00' West along the last mentioned line 132.13 feet to the true point of beginning of the lands to be described herein; thence from said true point of beginning, leaving said Northeastelry line of Ascension Drive North 47° 30' 00" West 240.08 feet; thence North 73° 00' East 70.00 feet; thence North 6° 00' West 76.40 feet to the Southeasterly line of Bel Aire Road, as shown on the above-mentioned map; thence

South 45° 00' West along said Southeasterly line of Bel Aire Road to the beginning of a curve; thence Southwesterly, Southerly and Southeasterly on the arc of a curve to the left, tangent to the preceding course, said curve having a radius of 20.00 feet and a central angle of 100° 00', an arc distance of 34.91 feet to the Northeasterly line of said Ascension Drive; thence South 55° 00' East along the last mentioned line to the true point of beginning.

#### PARCEL THREE:

BEGINNING at the point of intersection of the Southwesterly boundary line of the Subdivision shown on that certain map entitled "Tract No. 650 Baywood Park, San Mateo County, California", filed in the office of the County Recorder of San Mateo County, State of California on February 14, 1952 in Book 34 of Maps at pages 24, 25 and 26, and the center line of a 40 foot wide easement described in the Final Order of Condemnation rendered in the Superior Court of the State of California, in and for the County of San Mateo, in Action entitled "Pacific Gas and Electric Company, a corporation, plaintiff, vs. Crystal Springs Development Company, a corporation, et al, defendants", Case No. 51441, a certified copy of which was recorded October 19, 1950 in Book 1961 of Official Records at page 366 (File No. 94079-I), Records of San Mateo County, California; thence South 74° 02' 00" West, along said denter line, 980.00 feet; thence North 15° 58' 00" West 20.0 feet to the Northwesterly boundary line of said 40.00 foot wide easement and the true point of beginning of the lands to be described herein; thence from said true point of beginning, South 74° 02' 00" West, along said Northwesterly line of said easement 330.00 feet; thence leaving the last mentioned line, North 33° 30' 00" West 85.70 feet; thence North 66° 30' 00" East 34.93 feet; thence North 30° 30' 00" West 110.00 feet; thence North 47° 00' 00" West 175.00 feet; thence South 85° 30' 00" West 116.42 feet; to the Northerly line of Ascension Drive as shown on the map entitled "Tract No. 783 Enchanted Hills Unit No. 2", filed in the office of the County Recorder of San Mateo County, State of California on March 24, 1960 in Book 53 of Maps at pages 9 and 10; thence North 55° 00' 00" West along said Drive 132.13 feet; thence leaving said Drive North 47° 30' 00" West 240.08 feet; thence North 73° 00' 00" East 70.00 feet; thence North 6° 00' 00" West 76.40 feet; to the Southeasterly line of Ascension Drive as shown on the aforesaid Map of Enchanted Hills Unit No. 2; thence North 45° 00' 00" East along said Southeasterly line 66.75 feet; thence South 9° 30' 00" East 52.50 feet; thence North 62° 00' 00" East 120.00 feet; thence North 33° 30' 00" East 110.00 feet; thence North 9° 00' 00" East 125.00 feet; thence South 75° 00' 00" East 40.00 feet; thence South 30° 00' 00" East 80.00 feet; thence South 33° 00' 00" West 260.00 feet; thence South 7° 30' 00" East 150.00 feet; thence South 54° 00' 00" East 81.00 feet; thence North 80° 33' 02" East 277.78 feet; thence North 26° 30' 00" East 180.00 feet; thence South 63° 30' 00" East 80.00 feet; thence North 77° 00' 00" East 135.00 feet; thence North 24° 30' 00" East 45.00 feet; thence South 68° 00' 00" East 28.00 feet; thence South 24° 30' 00" West 215.00 feet; thence South 18° 30' 00" East 125.00 feet; thence South 6° 30' 00" West 170.00 feet; thence South 44° 30' 00" East 80.00 feet to the point of beginning.

EXCEPTING THEREFROM that certain 0.517 of an acre parcel described as Parcel One (Tank Site) in that certain Deed from M. S. Ludwig, et al, to California Water

Service Company, dated September 20, 1952 and recorded June 30, 1953 in Book 2450 of Official Records at page 48 (File No. 91086-K), Records of San Mateo County, California, said parcel being more particularly described as follows:

BEGINNING at a point distant South 25° 42' West 271.00 feet from the most Southerly boundary corner common to Lots 9 and 10 in Block 7, as said Lots and Block are shown on that certain map entitled "Tract No. 650 Baywood Park, San Mateo County, California", filed in the office of the County Recorder of San Mateo County, State of California on February 14, 1952 in Book 34 of Maps at pages 24, 25 and 26; thence from said point of beginning, South 64° 18' East 75.00 feet; thence at right angles to the preceding course South 25° 42' West 150.00 feet; thence at right angles to the preceding course, North 64° 18' West 150.00 feet; thence at right angles to the preceding course, North 25° 42' East 150.00 feet; thence at right angles to the preceding course, South 64° 18' East 75.00 feet returning to the point of beginning.

#### PARCEL FOUR:

BEGINNING at a point on the Southerly line of the Subdivision entitled "Trace No. 650 Baywood Park", filed in the office of the County Recorder of San Mateo County, State of California on February 14, 1952 in Book 34 of Maps at pages 24, 25 and 26, said point being at the intersection with the Westerly line of the subdivision entitled "Tract No. 856 San Mateo Oaks", filed in the office of the County Recorder of San Mateo County, State of California on May 7, 1969 in Book 69 of Maps at pages 29 through 34 inclusive; thence from said point of beginning and along the Westerly line of said Tract No. 856 South 24° 30' West 143.75 feet to the intersection with the Northerly line of the lands described by "Parcel III" of the Deed from Alvin Rexford Collier to Pacific Northwest Investment Corporation, recorded December 23, 1964 in Book 4865 of Official Records at page 18 (File No. 540-Y), Records of San Mateo County, California; thence leaving Tract No. 856 and following the generally Northerly line of said lands conveyed from Collier, North 68° 00' 00" West 28.00 feet; thence South 24° 30' 00" West 45.00 feet; thence South 77° 00' 00" West 135.00 feet; thence North 63° 30' 00" West 80.00 feet; thence South 26° 30' 00" West 180.00 feet; thence South 80° 33' 02" West 277.78 feet; thence North 54° 00' 00" West 81.00 feet; thence North 7° 30' 00" West 150.00 feet; thence North 33° 00' 00" East 260.00 feet; thence North 30° 00' 00" West 80.00 feet; thence North 75° 00' 00" West 40.00 feet; thence South 9° 00' 00" West 125.00 feet; thence South 33° 30' 00" West 110.00 feet; thence South 62° 00' 00" West 120.00 feet; thence North 9° 30' 00" West 52.59 feet to the Easterly line of Bel Aire Road as shown on the Map entitled "Tract No. 783 Enchanted Hills Unit No. 2", filed in the office of the County Recorder of San Mateo County, State of California on March 24, 1960 in Book 53 of Maps at pages 9 and 10; thence North 45° 00' 00" East along the Easterly line of said road 190 feet, more or less, to a point of the said line of said roadway forming the commencement of a curve to the left; thence along the arc of said curve to the left, with a radius of 250 feet; through a central angle of 64° 00' 00", a distance of 279.25 feet; thence continuing along said roadway, North 19° 00' 00" West 40.15 feet; thence North 65° 00' 00" East 17.63 to the most Southerly corner of the lands conveyed from Robert M. Schmidt to Kenneth B. Weser and Dorothy L. Weser, his wife, by Deed recorded July 1, 1975 in Book 6881

of Official Records at page 250 (File No. 65081-AI), Records of San Mateo County, California; thence South 67° 08' East along the Southerly line of said last named lands 131.01 feet to the Southwesterly corner of Lot 4 in Block 7 in the above-mentioned Subdivision entitled "Tract No. 650 Baywood Park"; thence South 64° 18' East along the Southerly line of said "Tract No. 650" a distance of 636.29 feet to the point of beginning.

EXCEPTING THEREFROM any portion of that 0.517 acre parcel described as Parcel One (tank site) in the Deed from M. S. Ludwig, et al, to California Water Service Company, recorded on June 30, 1953 in Book 2450 of Official Records at page 48, Records of San Mateo County, California.

A.P.N.	041-111-130	J.P.N.	041-011-111-13	Α
	041-111-160		041-011-111-16	A
	041-111-270		041-011-111-27	A
	041-111-280		041-011-111-28	A
	041-111-320		041-011-111-25	A
	041-111-360		041-011-111-32	A

At the date hereof exceptions to coverage in addition to the Exceptions and Exclusions in said policy form would be as follows:

- 1. Taxes and assessments, general and special, for the fiscal year 2001-2002 a lien, but not yet due or payable.
- 2. Taxes and assessments, general and special, for the fiscal year 2000-2001 a lien, but not yet due or payable.
- 3. Taxes and assessments, general and special, for the fiscal year 2000-2001 as follows:

Assessor's Parcel No. : 041-111-160 Code No. : 78-008

1st Installment : \$ 115.34 Marked Paid 2nd Installment : \$ 115.34 NOT Marked Paid

Land : \$ 8,649.00

Imp. Value : \$ 0.00

P.P. Value : \$ 0.00

Exemption : \$ 0.00

4. Taxes and assessments, general and special, for the fiscal year 2000-2001 as follows:

Assessor's Parcel No. : 041-111-270

Code No. : 78-008

lst Installment : \$ 451.73 Marked Paid
2nd Installment : \$ 451.73 NOT Marked Paid

 2nd Installment
 : \$ 451.73

 Land
 : \$ 73,546.00

 Imp. Value
 : \$ 0.00

 P.P. Value
 : \$ 0.00

 Exemption
 : \$ 0.00

5. Taxes and assessments, general and special, for the fiscal year 2000-2001 as follows:

Assessor's Parcel No. : 041-111-280

Code No. : 78-004

1st Installment : \$ 191.35 Marked Paid
2nd Installment : \$ 191.35 NOT Marked Paid

Land : \$ 29,584.00
Imp. Value : \$ 0.00
P.P. Value : \$ 0.00
Exemption : \$ 0.00

6. Taxes and assessments, general and special, for the fiscal year 2000-2001 as follows:

Assessor's Parcel No. : 041-111-320

Code No. : 78-004

 Imp. Value
 : \$
 0.00

 P.P. Value
 : \$
 0.00

 Exemption
 : \$
 0.00

7. Taxes and assessments, general and special, for the fiscal year 2000-2001 as follows:

Assessor's Parcel No. : 041-111-360

Code No. : 78-008

1st Installment : \$ 1,387.19 Marked Paid
2nd Installment : \$ 1,387.19 NOT Marked Paid

Land : \$ 254,014.00
Imp. Value : \$ 0.00
P.P. Value : \$ 0.00
Exemption : \$ 0.00

8. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$191.78

and by April 30th, 2001 : \$193.80 and by May 31st, 2001 : \$195.83

Assessor's Parcel No. : 041-111-130

9. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$164.78

and by April 30th, 2001 : \$166.47 and by May 31st, 2001 : \$168.17

Assessor's Parcel No. : 041-111-160

10. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$573.34

and by April 30th, 2001 : \$580.00 and by May 31st, 2001 : \$586.66

Assessor's Parcel No. : 041-111-270

11. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$256.43

and by April 30th, 2001 : \$259.25 and by May 31st, 2001 : \$262.06

Assessor's Parcel No. : 041-111-280

12. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$574.02

and by April 30th, 2001 : \$580.69 and by May 31st, 2001 : \$587.36

Assessor's Parcel No. : 041-111-320

13. Said property having been declared tax defaulted for non-payment of delinquent taxes for the fiscal year 1999-2000, and subsequent delinquencies

Amount to Redeem by March 31st, 2001, for the above stated year (and subsequent years, if any) is \$1,709.47

and by April 30th, 2001 : \$1,729.93 and by May 31st, 2001 : \$1,750.39

Assessor's Parcel No. : 041-111-360

- 14. The lien of supplemental taxes, if any, assessed pursuant to the provisions of Section 75, et seq., of the Revenue and Taxation Code of the State of California.
- 15. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following instrument:

Granted to : California Water Service Company, a corporation For : roads, public utilities, water pipe lines, etc.

Recorded : June 30th, 1953 in Book 2450 of Official Records, Page 48

Affects : 20 foot road easement and 15 foot public utilities and pipe line

easement crossing Parcel Four

- 16. EFFECT of the relinquishment of access rights along Bel Aire Road and Ascension Drive, as shown on that certain map entitled "TRACT NO. 783 ENCHANTED HILLS UNIT NO. 2, SAN MATEO COUNTY, CALIFORNIA", filed in the office of the County Recorder of San Mateo County, State of California on March 24, 1960 in Book 53 of Maps at pages 9 and 10.
- 17. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following instrument:

Granted to: The Pacific Telephone and Telegraph Company, a corporation, The

Pacific Gas and Electric Company, a corporation

For : an anchor easement over a strip of land 20 feet by 30 feet lying

adjacent to Bel Aire Road

Dated : November 17th, 1960

Recorded : January 13th, 1961 in Book 3919 of Official Records, Page 245, under

Recorder's Serial Number 22691-T

Affects : Parcel Four

- 18. Any lack of a right of access to and from the land (any access coverage contained in this policy and/or endorsements thereto is NOT being provided, notwithstanding any statement therein to the contrary).
- 19. An easement affecting that portion of said land and for the purposes stated herein and incidental purposes as provided in the following instrument:

Granted to : California Water Service Company, a corporation

For : right of way for pipeline and roadway purposes together with the

right to do all grading and excavating necessary to construct

roadway

Dated : February 20th, 1990

Recorded : February 28th, 1990 in Official Records, under Recorder's Serial

Number 90027083

Affects : over and across the following described property:

Beginning at the most Easterly corner of Lot "C", Block 3, as said lot and block are shown on that certain map entitled "Tract No. 73 Enchanted Hills Unit No. 2, which map was recorded March 24, 1960, in Volume 53 of maps at pages 9 and 10 in the office of the County Recorder of San Mateo County, California; thence from said POINT OF BEGINNING South 57° 8' 00" East, a distance of 111.51 feet; thence South 28° 47' 30" West, a distance of 14.23 feet to a point on the Northeasterly boundary line of a 20' wide easement granted to California Water Service Company by deed recorded June 30, 1953, in Volume 2450 at page 48 in the office of the County Recorder of San Mateo County, California: thence Northwesterly along a non-tangent curve to the right also being said Northwesterly boundary line of said easement, with the radial bearing South 28° 47' 30" West and having a radius of 690 feet, a central angle of 9° 59' 48", and an arc distance of 120.39 feet to a point on the Southeasterly boundary line of said Lot "C"; thence North 65° 0' 00" East, a distance of 14.48 feet along said Southeasterly boundary line to the TRUE POINT OF BEGINNING.

Being a portion of Parcel Four.

20. Deed of Trust to secure an indebtedness of the amount stated below and any other amounts payable under the terms thereof,

Amount : \$680,000.00

Trustor/Borrower : John O'Rourke, a married man, as his sole and separate

property and Chris T. James, an unmarried man

Trustee : First American Title Insurance Company, a California

corporation

Beneficiary/Lender : The Iris Group, LLC, a California limited liability company

Dated : March 28th, 2000

Recorded : April 5th, 2000 in Official Records under Recorder's Serial

Number 2000-039105

21. Any facts, rights, interests or claims which a correct survey would show.

NOTE: In connection therewith, any gaps or overlaps resulting from errors and/or conflicts contained in the descriptions herein.

- 22. NOTE: Prior to the issuance of any policy of title insurance, the Company will require the following with respect to The Iris Group, LLC, a California limited liability company, a California Limited Liability Company:
  - 1. A copy of any management or operating agreements and any amendments thereto, together with a current list of all members of said LLC.
  - 2. A certified copy of its Articles of Organization (LLC-1), any Certificate of Correction (LLC-11), Certificate of Amendment (LLC-2), or Restatement of Articles of Organization (LLC-10)
  - 3. Recording a certified copy of said LLC-1 and any "amendments thereto".
- 23. Rights and claims of parties in possession.

## ----- Informational Notes

1. NOTE: According to the public records, there have been no deeds conveying the property described in this report recorded within a period of two years prior to the date hereof except as follows:

A Gift Deed executed by Gail B. Siri and Carol A. Siri to Karen E. Douglass, a married woman, as her sole and separate property, Michael B. Siri, a married man, as his sole and separate property, Paul G. Siri, an unmarried man, John B. Siri, an unmarried man, Robert P. Siri, an unmarried man, and Mark T. Siri, an unmarried man, equally, as tenants in common, dated September 10th, 1998, recorded April 20th, 1999 in Official Records, under Recorder's Serial Number 99-069854

A Grant Deed executed by Karen A. Douglas, a married woman, dealing with her sole and separate property, Michael B. Siri, a married man, dealing with his sole and separate property, Paul G. Siri, an unmarried man, John B. Siri, an unmarried man, Robert P. Siri, an unmarried man, and Mark T. Siri, an unmarried man to The Iris Group, LLC, a California limited liability company, dated September 25th, 1998, recorded April 20th, 1999 in Official Records, under Recorder's Serial Number 99-069855

An Interspousal Transfer Grant Deed executed by Anne Siri, wife of the Grantee herein to Michael B. Siri, a married man, as his sole and separate property, dated March 28th, 2000, recorded April 5th, 2000 in Official Records, under Recorder's Serial Number 2000-039101

An Interspousal Transfer Grant Deed executed by Alan Douglass, husband of the Grantee herein to Karen A. Douglass, a married woman, as her sole and separate property, dated March 28th, 2000, recorded April 5th, 2000 in Official Records, under Recorder's Serial Number 2000-039102

A Grant Deed executed by The Iris Group, LLC, a California Limited Liability Company to John D. O'Rourke, a married man, as his sole and separate property and Chris T. James, an unmarried man, each as to an undivided 1/2 interest, dated March 28th, 2000, recorded April 5th, 2000 in Official Records, under Recorder's Serial Number 2000-039103

An Interspousal Transfer Grant Deed executed by Jean O'Rourke, wife of the Grantee herein to John O'Rourke, a married man, as his sole and separate property, dated March 27th, 2000, recorded April 5th, 2000 in Official Records, under Recorder's Serial Number 2000-039104

2. Information shown by the public records and/or The San Mateo County Tax Rolls indicates the mailing address of the vestee(s) herein to be: 11 Sargent Lane, Atherton, CA 94027.

JP/jwp

- CC: 3 San Mateo Real Estate, 1777 Borel Place #330, San Mateo, CA 94402,
  - McInerny Real Estate, 40 27th Avenue, San Francisco, CA 94121, Attn: James McInerny

#### **EXHIBIT A**

# CALIFORNIA LAND TITLE ASSOCIATION HOMEOWNER'S POLICY OF TITLE INSURANCE (1998) EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- 1. Governmental policy power, and the existence or violation of any law or government regulation. This includes ordinances, laws and regulations concerning:
  - a. building
  - b. zoning
  - c. land use
  - d. improvements on the land
  - e. land division
  - f. environmental protection

This Exclusion does not apply to violations or the enforcement of these matters if notice of the violation or enforcement appears in the Public Records at the Policy Date.

This Exclusion does not limit the coverage described in Covered Risk 14, 15, 16, 17 or 24.

- 2. The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not apply to violations of building codes if notice of the violation appears in the Public Records at the Policy Date.
- The right to take the Land by condemning it, unless:
  - a notice of exercising the right appears in the Public Records at the Policy Date; or
  - b. the taking happened before the Policy Oate and is binding on you If You bought the land without Knowing of the taking.
- 4. Risks:
  - a. that are created, allowed, or agreed to by You, whether or not they appear in the Public Records;
  - b. that are Known to You at the Policy Date, but not to Us, unless they appear in the Public Records at the Policy Date;
  - c. that result in no loss to You; or
  - d. that first occur after the Policy Date this does not limit the coverage described in Covered Risk 7, B.d, 22, 23, 24, or 25.
- 5. Fallure to pay value for Your Title.
- 6. Lack of a right:
  - $_{
    m a}$  to any Land outside the area specifically described and referred to in paragraph 3 of Schedulc A; and
  - b. in streets, alleys, or waterways that touch the Land.

This Exclusion does not limit the coverage described in Covered Risk 11 or 18.

#### CALIFORNIA LAND TITLE ASSOCIATION STANDARD COVERAGE POLICY (1990) EXCLUSIONS

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

- Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions of or area of the land or any parcel of which the land is or was a part; or (Iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
  - (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- 2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
- 3. Defects, Ilens, encumbrances, adverse claims or other matters:
  - (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant;
  - (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy.
  - (c) resulting in no loss or damage to the insured claimant;
  - (d) attaching or created subsequent to Date of Policy;
  - (e) or resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
- 4. Unenforceability of the lien of the insured mortgage because of the inability or fallure of the insured at Date of Policy, or the Inability or fallure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
- 5. Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
- 6. Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

#### EXCEPTIONS

In addition to the Exclusions, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- 1. Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
  - Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
- 2. Any facts, rights, interests or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.

#### EXHIBIT A (Continued)

- 3. Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
- 4. Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
- (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the Issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.

#### AMERICAN LAND TITLE ASSOCIATION OWNER'S POLICY (1992) SCHEDULE OF EXCLUSIONS FROM COVERAGE

- 1. (a) Any law, ordinance or governmental regulation (including but not limited to building and zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
  - (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or a notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- 2. Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
- 3. Defects, liens, encumbrances, adverse claims, or other matters (a) created, suffered, assumed or agreed to by the insured claimant; (b) not known to the Company and not shown by the public records but known to the insured claimant either at Date of Policy or at the date such claimant acquired an estate or interest insured by this policy and not disclosed in writing by the insured claimant to the Company prior to the date such insured claimant became an insured hereunder; (c) resulting in no loss or damage to the insured claimant; (d) attaching or creating subsequent to Date of Policy; or (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the estate or interest insured by this policy.
- Any claim, which arises out of the transaction vesting in the insured the estate or interest insured by this policy, by reason of the operation of federal bankruptcy, state
  insolvency, or similar creditors' rights laws.

#### AMERICAN LAND TITLE ASSOCIATION RESIDENTIAL TITLE INSURANCE POLICY (1987) EXCLUSIONS

In addition to the exceptions in Schedule B, you are not insured against loss, costs, attorney's fees and expenses resulting from:

1. Governmental police power, and the existence or violation of any law or governmental regulation. This includes building and zoning ordinances and also laws and regulations concerning:

land use improvements on the land land division environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date. This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

2. The right to take the land by condemning it, unless:

a notice of exercising the right appears in the public records on the Policy Date. the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking.

3. Title Risks:

that are created, allowed, or agreed to by you that are known to you, but not to us, on the Policy Date - unless they appear in the Public Records, that result in no loss to you

that first affect your title after the Policy Date - this does not limit the labor and material illen coverage in Item 8 of Covered Title Risks.

- 4. Fallure to pay value for your title.
- 5. Lack of a right:

to any land outside the area specifically described and referred to in Item 3 of Schedule A

in streets, alleys, or waterways that touch your land.

This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

#### EXHIBIT A (Continued)

# AMERICAN LAND TITLE ASSOCIATION RESIDENTIAL TITLE INSURANCE POLICY (1987) WITH REGIONAL EXCEPTIONS EXCLUSIONS

In addition to the exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees and expenses resulting from:

 Covermental police power, and the existence or violation of any law or governmental regulation. This includes building and zoning ordinances and also laws and regulations concerning:

land use

Improvements on the land

land division

environmental protection

This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date. This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.

The right to take the land by condemning it, unless:

a notice of exercising the right appears in the public records on the Policy Date. the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking.

Title Rlsks:

that are created, allowed, or agreed to by you

that are known to you, but not to us, on the Policy Date - unless they appear in the public records.

that result in no loss to you

that first affect your title after the Policy Date - this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks.

- Failure to pay value for your title.
- Lack of a right:

to any land outside the area specifically described and referred to in Item 3 of Schedule A

or ·

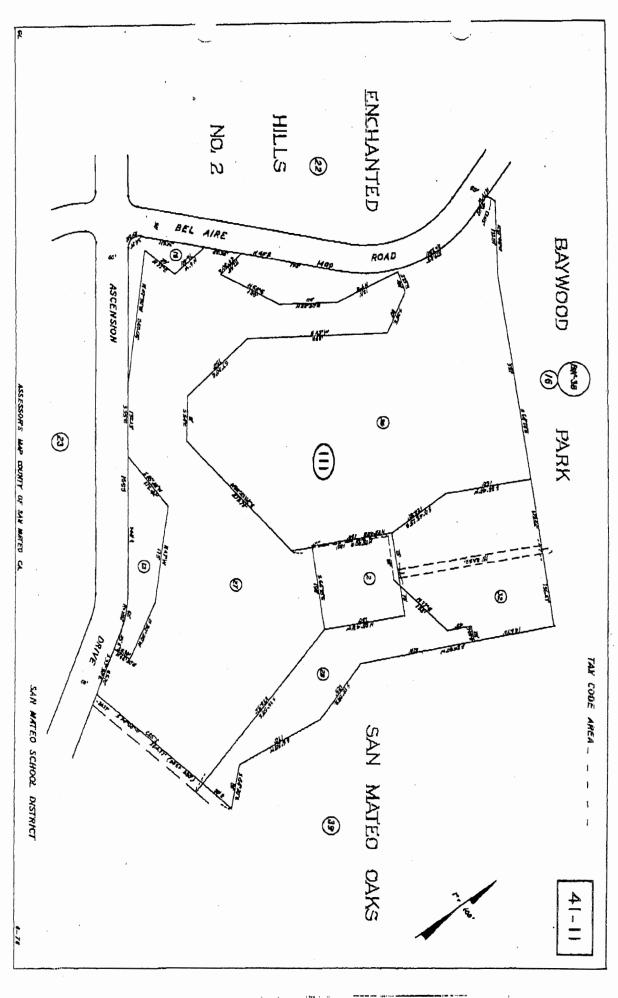
In streets, alleys, or waterways that touch your land.

This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

#### REGIONAL EXCEPTIONS

In addition to the Exclusions, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- 1. Any facts, rights, interests or claims which are not shown by the Public Records but which could be ascertained by making inquiry of parties in possession of the land.
- Any liens or easements not shown by the Public Records. However, this does not limit the affirmative coverage in Item 8 of Covered Title Risks.
- Any facts about the land not shown by the Public Records which a correct survey would disclose. However, this does not limit the
  affirmative coverage in Item 12 of Covered Title Risks.
- (a) Any water rights or claims or title to water in or under the land; (b) unpatented mining claims; (c) reservations or exceptions
  in patents or in acts authorizing the issuance thereof.



NOTICE This is newher a plat nor a survey. It is furnished merely as a convenience to aid you in furnished merely as a convenience to aid you in furnished merely as a convenience to aid you in furnished the fand that habatily is assumed to streets and other land. No habatily is assumed by reason of any reliance hereon.

PLN2002-00517 X-Ref: San Mateo Real Estate Inc./Orourke

# CONSULTING CIVIL ENGINEERS Schaaf & Wheeler

# CHARLES D. ANDERSON, P.E. PRINCIPAL

Santa Clara, CA 95050 100 N. Winchester Blvd.

> (408) 246-4848 FAX (408) 246-5624 canderson@swsv.com

> > obrokerage

# HEXAGON TRANSPORTATION CONSULTANTS, INC

# Gary K. Black President

6400 :@hextrans.com

csnell@gilpingeosciences.com mobile: (415) 613-5919

O TEST

2175 East Francisco Blvd., Suite P San Rafael, California 94901 fax: (415) 383-1871 tel: (415) 383-8543

Associate Geologist Charles Snell, C.E.G., C.HG. Earthquake & Engineering Geology Gilpin Geosciences, Inc.

> San Mateo, CA 94402 Lic. # 581591 1777 Borel Place, Suite 330 Dennis Thomas (650) 578.0330 (650) 578.0394 Fax (650) 678.0394 smredt@aol.com www.smrehomes.com o construction o development

29 SANFRANSISCE JOHN O ROJEK 500th HJ

#### County of San Mateo Environmental Services Agency Planning and Building Division

## APPLICATION REVIEW AND IN-PROCESSING CHECKLIST

1.	Owner: <u>John o'Rourke</u>	_ Applicant: SAN MATED REALESTATE
2.	Project Site Address: CORNOR OF BE	
3.	APN(s): 041-111-130 160 2	270   280   320   360
4.	Project Description: MAJOR SUBDIL	•
	FOR 25 NEW LOTS	
5.	Planning Permit Case No.:	7. Building Permit Case No.:
	PLN 2002 -00517	
6.	Environmental Review:	
	a. Cat. Ex.	
	b. Neg. Dec. Yes   No	
8.	Public Hearing required: Yes	No
9.	Decision Maker:	
	Planning Director Planning Commission Board of Supervisors	Zoning Hearing Officer  Design Review Committee
10.	Complete Plan Check Checklist	
11.	Complete Permit*Plan entries.	
12.	Collect Planning and applicable Environmental I	Health and CDF fees: attach receipt
13.	Application received by: G. Hudsu	Date: 8 /28 /07
14.	Application received by: GHudsi Planner Assigned: Mi ror Brower	By: Duel Date: 9/5/02
	TRANSFER APPLICATION MA	TERIALS TO RECEPTIONIST

over

San Mateo County Env	ironmental Services Agency

### Plan Check Checklist Form

#### Planning and Building Division

455 County Center • Mail Drop PLN-122 • Redwood City CA 94063-1646 (650) 363-4161 • FAX (650) 363-4849

Date:	8/28/02		Building Case No.: BLD		
Plan Check	ier: Gabrielle	•	Primary Permit No.: PLN 2002 - 00517		
Reviewed b					
0	-1: OH (111/-TBD	0-1-	1 0 1	Ir o	
	plicant: <u>SAV MATEO</u>		Zoning: F-		
4 D N ( )	537ATE INC 541-111-130/160	1 = 1265	Project Descrip	tion:	
A.P.N.(s): <u>c</u>	241-111-130/160	12701280	MAJORSUE	3DIVISION -25 LOTS	
	320/36	. 0			
Address:					
Yes No	Parcel Indentificati	on and Legality	•		
	Dimensions, shape, & stre				
	Legal parcel (County file a		reference maps		
	,		is required a "Chair	- F.T.: J. "	
	Legality check required (if Documentation required	a COC application	is required, a Chain	or little is required)	
	Easements or street dedic	ration affecting proje	>ct		
, la					
		ajacent to a City Doc	indary, contact City f	or pursuance of prezoning & annexation	
	Survey Required				
Yes No					
	Plans consistent with state	ed use			
12	Allowed by Zoning				
	Use in C-I/WMP District, c		——————————————————————————————————————		
	Legal Nonconforming Us  Consistent with General F		Illeg	gal?	
Was No	Priority Land Use in Coast	ai zone (ii yes, attac	n Priority Land Use F	-orm)	
Yes No		EUL.			
ofth	Second Unit quota availal				
Complies	Second Unit Checklist cor	***************************************			
Complies Yes No			7500		
	Lot Size	Required Sq. Ft.=	5,000	Existing Sq. Ft.= all 25—	
	(If RH, RM, TPZ, PAD, S-11 Lot Area/Dwelling Unit				
	Lot Width	Required Sq. Ft.=		Proposed Sq. Ft.=	
	Yards - Front:	Required Ft.=	_50	Existing Ft.= 50+	
-7	Rear:	Required Ft.= Required Ft.=		Proposed Ft.=	
lall	Right side:	Required Ft.=		Proposed Ft.= _Proposed Ft.=	
	Left side:	Required Ft.=		Proposed Ft.=	
	Building Height	Max. Ft.=		_Existing Ft.=	
		Proposed Ft.=		<u></u>	
	Lot Coverage	Maximum %=		_Existing %=	
	Calculations	Proposed %=		<del>_</del>	
	Calculations:				
	F.A.R.	Maximum %=		_Existing %=	
	  Calculations:	Proposed %=			
	Legal Nonconforming Stru	ucture	Proposal complies		

Com	plies	<b>Development Standards (continue</b>	ЛI		V •		
Yes	No	Parking - CoveredRequire			Proposed		
		UncoveredRequire			Proposed		
	1	In ELH, compliance with guest parking.	u _		rroposed		
	1	Compliance with Parking Design Standards (c	trivewa	av wid	th turning radius)		
<u> </u>		Decks: Existing sq.ft.=	11100000	iy vvia	Proposed sq.ft.=		
		Detached accessory buildings, structures, tan					
J		Daylight Plane Consistent with Zoning District					
		Compliance with Landscaping Requirements		ags to	licable 1		
		Fences: Proposed Height=					
,			ng Sq.F	 † =	Proposed Sq.Ft.=		
	1	Water Source: Well, shown			11000364 34.1 (.=		
ĺ		Water Distric					
		Sanitary: Septic Drain	Field, s	howr	on map		
		Sewer Distric	t Sourc	e:			
		Other:	***				
		Detached accessory buildings, structures, tank	s, poo	I, spa,	pool/spa equipment, etc		
				4			
Yes I		ecial Permit Requirements	Yes	No	Special Permit Req. (continued)		
		icultural Preserve			Timber Preserve		
		hitectural Review (State Scenic Corridor)		-	Tree Removal		
		hitectural Review Exemption	-	-	Use Permit		
		tificate of Compliance – Type A	-	ļ	Variance		
		tificate of Compliance – Type B			Other		
		P (Coastal Development Permit)	Yes	No	Special Area Regulations		
		X (Coastal Development Exemption)  Infined Animal	-		ALUC Permit Review Area or Airport Overlay (AO) Zone		
		ign Review (Bayside)	-		Coastside Permit Quota (Verify if open)		
		ign Review Exempt.(Bayside) – Staff Level	<u> </u>		Floodway or Flood Zone: C GH (Geological Hazard) District Report or Notice		
		ign Review Exemption (Bayside)-Committee	-		RH Quota (Verify if open)		
		ign Review (Coastside) .	1		Williamson Act Agricultural Preserve		
		ign Review Exemption (Coastside)		<u> </u>	Within 60 CNEL Contour (Noise Element) –		
		ign Review (Second Unit)			Acoustical Report Required		
		ling – Oil and Gas			Second Unit Quota (Verify if open)		
	Ger	neral Plan Amendment			Other		
	GRE	O (Grading)	Yes	No	Stormwater Pollution Prevention		
	GR>	( (Grading Exemption)			Erosion/Sediment Controls Required		
	HIE	(Home Improvement Exemption)			Permanent Stormwater Controls Required		
	Ken	nel/Cattery	Yes	No	Environmental Review		
	LLA	(Lot Line Adjustment)			Environmental Information Form Complete		
	Mer	ger			Exempt. If yes, Class:		
	Off-	Street Parking Exemption			Initial Study Required E(R REDID		
	PAD	) (Planned Agriculture)	Not	es/C	omments		
	RMI	D.(Resource Management)					
		oning/Zoning Text Amendment					
	Stab		<b>!</b>				
		division - Major					
	Sub	division - Minor					

#### ENVIRONMENTAL IMPACT REPORT AND SUBDIVISION PROCESS

The subdivision and EIR process is outlined below. The following information should be used as a guide only, however, it may be helpful in understanding how the process works.

#### 1. Project Submittal

- a. The project is submitted to the Planning Division for review.
- b. The project planner sends out copies of the proposal to all reviewing agencies, including Public Works, Building, Fire, Homeowners Association, Sphere of Influence city etc.
- c. Planner receives initial comments from agencies.
- d. Planner completes an initial study checklist to determine appropriate environmental review process. (EIR determined).

#### 2. Environmental Impact Report (EIR) Determination

- a. Once the Planner determines an EIR is appropriate, the planner sends out a Request for Proposal (RFP) requesting various environmental consultants if they would be interested in completing the environmental document.
- b. Interested consultants send in their proposals, which include issues the environmental document would cover, as well as both time and cost estimates for completing the work.
- c. Consultants who submit proposals are interviewed by a panel of County Planners.
- d. One consultant is selected.
- e. The selected consultant enters into a contract with the County of San Mateo to complete the Environmental Impact Report.

#### 3. Preparation of the EIR

- a. Once the contract is complete, the County and selected consultant begin the EIR process.
- b. The consultant completes an Initial Study which will help determine the issues to be addressed in the EIR. The Initial Study is reviewed by the County and the consultant revises the Initial Study based on any comments the County may have.
- c. A Notice of Preparation (NOP) of an EIR is sent out to all agencies and interested parties to inform them that an EIR will be prepared for the project. The NOP is

- circulated for 30 days to allow time for comments from those agencies and interested parties.
- d. During the NOP circulation period, an optional public scoping meeting is held in the area of the project site to allow an opportunity for the agencies and interested parties to attend and vocalize their concerns about the proposed project and help to define the scope of the EIR.
- e. Ongoing throughout this time, the selected consultant is preparing various aspects of the EIR, including the analysis of any impacts determined to be significant in the Initial Study.
- f. A Draft EIR (DEIR) is prepared by the consultant and circulated by the County. Copies of the DEIR will be sent to all interested parties and agencies.
- g. The DEIR is circulated for a period of 45 days to allow time for written comments. A public meeting will also be held during this review period.
- h. A Notice of Completion (NOC) is filed with the Office of Planning and Research (OPR) once the DEIR is completed.
- i. Once the public review and comment period for the DEIR is complete, the consultant begins addressing any comments received on the adequacy of the DEIR and prepares written responses.
- j. The Final EIR is prepared which includes the written response to comments received on the DEIR, as well as any corrections and additions to the DEIR that may be required based on the comments, and a mitigation monitoring and reporting program.

#### 4. Public Hearings

- a. Once the Final EIR has been prepared for the projects, the EIR may be taken before a public hearing body, the Planning Commission, for certification. This is a public hearing and provides the opportunity for any interested party to provide their comments regarding the environmental document to the Planning Commission directly.
- b. If the Commission certifies the EIR the project may be presented to the decision makers for a decision. In this case, the proposed 25-lot subdivision requires approval from the Planning Commission.
- c. A number of hearings may be required before a decision can be made. The certification of the EIR may require multiple public hearings. The number of public hearings with regards to the review of the actual project may also be multiple. Every public hearing will be noticed, so that everyone involved will have the opportunity, if desired, to be a part of that process.

Referr

Planning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 • Planning: 650/363-4161 • Building: 650/599-7311 • Fax: 650/363-4849 Date: 04/03/2003

04/03/2003

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SMCo Public Works - Roads	Plng. Dir., City of	
SMCo Geotechnical	Mid-Coast Community Council	
SMCo Environmental Health	Pescadero Municipal Advisory Committee	
SMCo Building Inspection	North Fair Oaks Community Council	
SMCo Parks & Recreation	Homeowner's Association	
Fire Marshal/Fire District	Regional Water Quality Control Board	
Coastal Commission	Mid-Peninsula Regional Open Space District	
Water & Sanitary Districts	California Department of Fish and Game	
Sonoma State University		

FROM: MIROO BREWER, Project Planner

#### Instructions

Please review this form and the attached planning permit application materials with regard to your areas of responsibility. For additional information, or to discuss the project, please feel free to contact me at 363-4161. Please notify me immediately if you will require additional plans, specifications, reports or other application materials. Then complete your review and return this form only by to avoid delay in meeting the scheduled hearing date. Thank you for your cooperation.

#### Application Information

RESUBMITTAL

- 1. Primary Permit: PLN2002-00517
- 2. **Property Owner:** JOHN OROURKE 11 SARGENT LANE SAN MATEO, CA 94402

Phone #: (650)578-0330 Project Applicant: SAN MATEO REAL ESTATE, INC 1777 BOREL PLACE, SUITE 330 SAN MATEO, CA 94402

Phone #: 650 578 0330

Project Location: ASCENSION DRIVE



Assessor's Parcel Number (s): 041-111-130

> 041-111-160 041-111-270 041-111-280

> 041-111-320

041-111-360

#### **Project Description:**

Grading Permit & Major Subdivision application to subdivide 13.9 acre parcel into 25 residential lots. Improvements to include new public roads, storm drains, new sanitary sewer & realign water main; kids 'tot lot' & recreation trails.

barbara boord. Thomas Reid Associates. 327-0429 x 73 CSM.
327-0429 x 13CSM.
Themas - 25.
Chamberlain - 26 SFD. 40-unit Condo.
Exceptions to public road  grade (15%).
Lang Thomas Sub

# San Mateo County Environmental Services Agency

Referr

FPlanning Permit Application

File No.: PLN2002-00517

Planning and Building Division • 455 County Center • Redwood City California 94063 = Planning: 650/363-4161 = Building: 650/599-7311 = Fax: 650/363-4849 Date: 04/03/2003

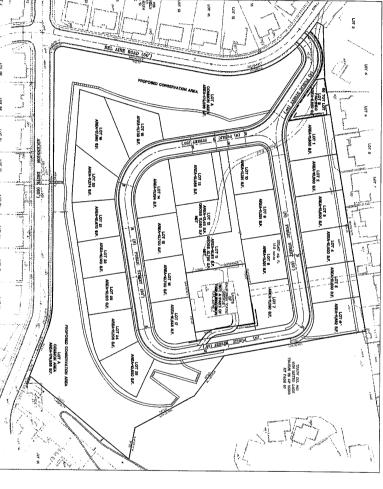
04/03/2003						
Page: 2						•
Decision Make	ır.					
Decision Wake	<u>:I .</u>	Staff			7	
		=			_ Zoning Hearing Officer	
		_ Planning Comm	ission		_ Board of Supervisors	
Comments on						
State any comm project reference	ents, conc es. Attach a	erns or recommen additional sheets a	dations you ha s necessary.	ave with regar	rd to this project. Please be	specific in
No Cor	nments	Refer	to Permit*Plan	for Commer	nts	
Comme	ents:					
Recommended	Conditio	ns of Approval	(Agencies er	also)		
List any condition	ns which yo	ou would recomme	nd be imposed	d if the projec	t is approved. Again, pleas	o ho
specific, use exa	ct wording	and indicate any a d. Attach additiona	dopted plans.	policies or or	dinances upon which your	e De
No Reco	ommended	Conditions	Refe	er to Permit*F	Plan for Conditions	
Refer to	Attached	Material for Conditi				
Conditio	ns:					
Printed Name of I	Doroon					
Completing this F					Telephone:	
			-			
					Date:	

Return this form to: MIROO BREWER

Planning Division 455 County Center Mail Drop PLN122

Redwood City, CA 94063

• × • (3) s PROPOSED LEGENI X JOINT POLE
CURB CATCH BASIN
CURB INLET
JUNCTION BOX STORM DRAIN LINE
SANITARY SEWER LINE
WATER LINE
SET BACK LINE
FLOW DIRECTION ELECTROLIER
SMALL SIGN
LIGHT ON POLE
GUY ANCHOR SANTARY SENER CLEAN OUT
STORN DRAW MAIN HOLE
ONERHEAD UTILITY LINE
SANTIARY SENER CLEAN OUT SPOT ELEVATION DBNSE TREE LINE NOLCORED MOTE STRMS RETAINING WALL





**ASCENSION HEIGHTS SUBDIVISION** 

SAN MATEO,

CALIFORNIA

(UNINCORPORATED)

31333 g SHEET INDEX DESCRIPTION.

ODESCRIPTION

DESCRIPTION

ODESCRIPTION

ODE

ž 7

TENTATIVE SUBDIVISION MAP

-SINGLE FAMILY, RESIDENTIAL WITH PUBLIC STREETS
-OPEN SPACE WITH TRAILS
-TOT LOT

KEY MAP

ASCENSION HEIGHTS SUBDIVISION SAN MATEO, CALIFORNIA

294,042 S.F. 98,098 S.F. 187,924 S.F. TOTAL 2,821 S.F.
TOTAL AREA AFTER DEDICATION

S OF TOTAL BEFORE
DEDICATION
S13
173
323

AREA TO BE DEDICATED TO CALIFORNIA WATER PUBLIC STREETS: CONSERVATION/TRAIL/TO:

TREES ON SITE:

EXISTING TREES REMOVED WILL BE REPLANTED WITH NEW NATIVE TREES AT A 3:1 RATIO.

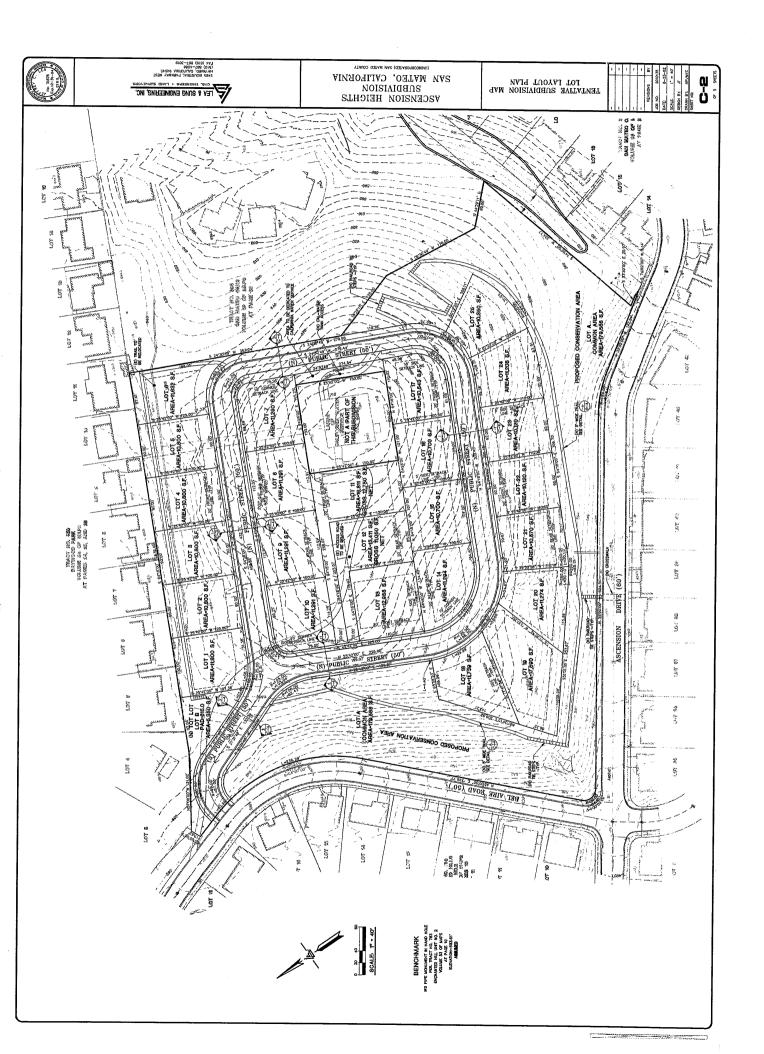
SAN MATEO COUNTY
COTTITAL SPRINGS SANTAMY DISTRICT
CAUTORNA PATER
ACHICORNA DEPARTMENT OF FORESTRY
ACHICORNA ESERVICES
ROAE
PACPIC BELL

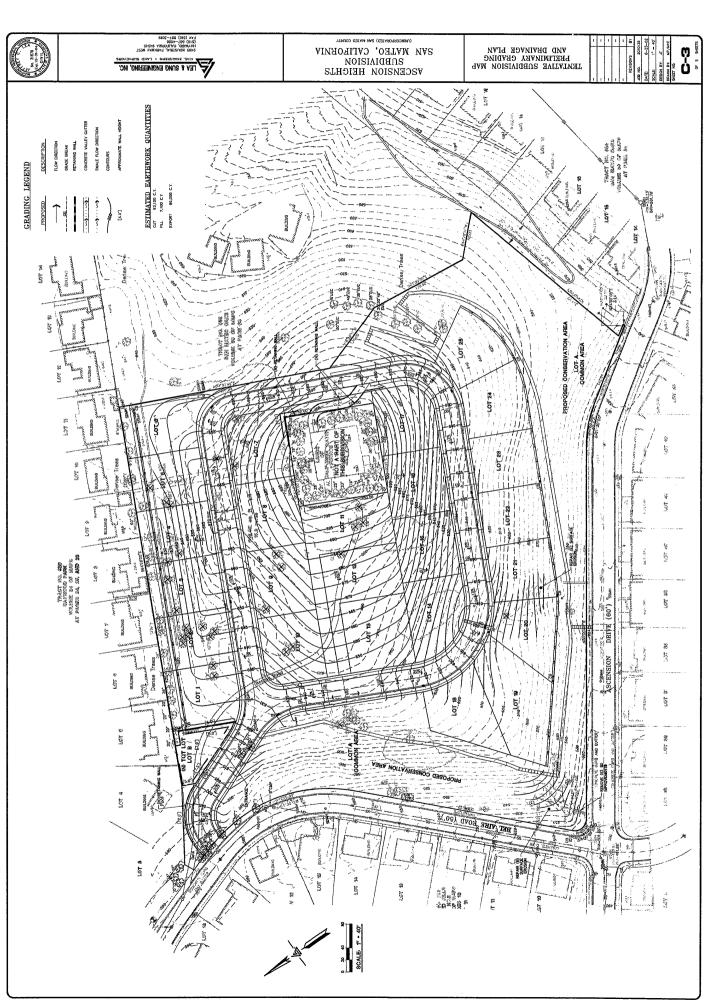
ZONING:

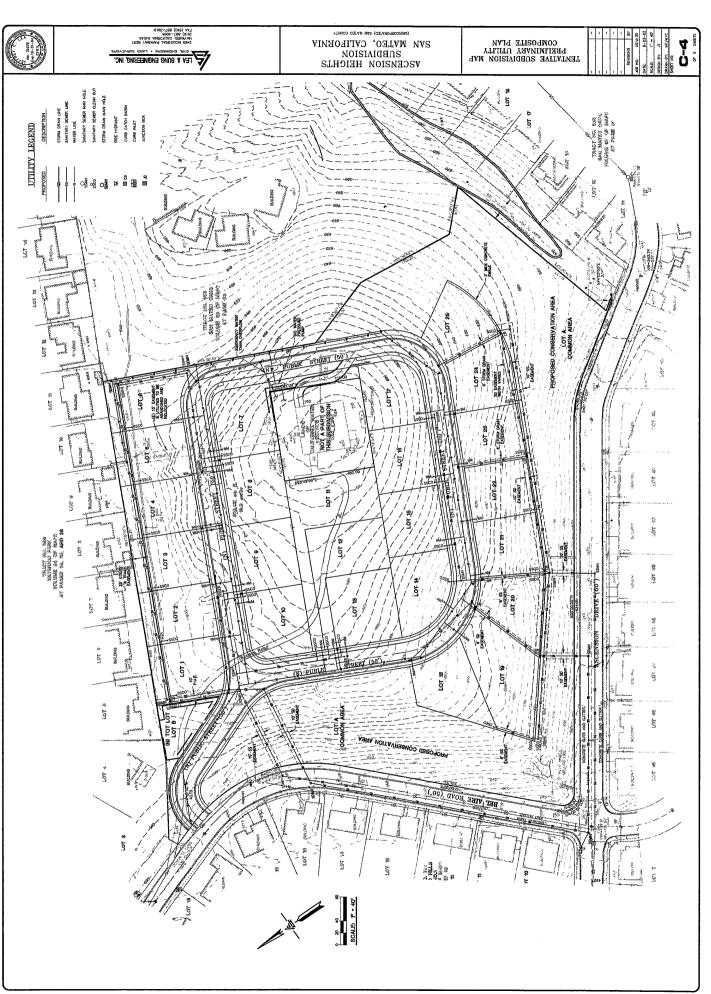


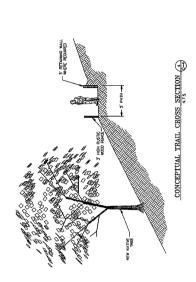
PROJECT INFORMATION

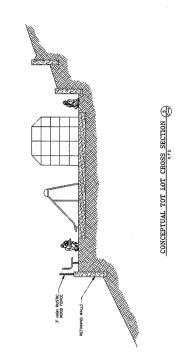


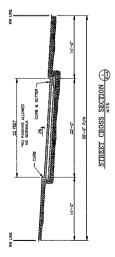


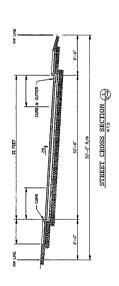














### Development alevier committee

# Notes

File No.:

File No.:	Project Description:	Project Description:			
Date:		\			
Application Status					
☐ complete	☐ incomplete				
Target Hearing Date:	: Additional Info Requ	uired:			
·					
Department	Comments/Issue	es			
Building					
Inspection					
Public Works					
	Constant Springs Sanitary Michiet - Con	to the late land at it			
Environmental	bystal Springs Sanitary District - Cou or does it need to be send to some	andu ?			
Health					
.•					
Geotechnical					
		\$			
	Two flay lots ?				
Fire					
٠					
	· then do 2 sond it to MOA?				
Other	· What all gerkelical? Run-down	90 pmu duse			
-1101		- France			
•	•				



THOUSE SUBJUISION

CARL FIEES - DCT 2002 - JUNE OF

- lesters - reports - ements.

- Misc

ERKICK-OFF MEETING

7 22 03. TRAFFIC Historisections - traffic count. Soping meeting - neighbors requesting other intersections. Traffic count after school stants.
Or after scoping session. Qualitative analysis may be better. - may be a change to proposal to sherrife defartment - invident report - area.

Bob Cambra - DPW. festrict construction traffic - main through-face best onle - construction hours. - Lust control I hate bankley - DPW - geepress of dive curve radius-fight, -public streets. - 10 more than 15%. GEOLOGY.

Review started of geo-feel regul.

Aprin studies of site. - Jay Kazetta - Geofeduical. Concept plan-old file.

Flek and week - seconds of stide registerance. +

# 440 ROLOGY ORAINAGE

- maindainese report from applicant. -slepe stability. - general damestic use - garden wetering - on site detention.

Applicant reads to look into inepact of drainage on existing proposities. - Post der renost religionaler than pre-der stage. Theek CCNR status - Donnis Thomas. Can use conservation area for dissepation area. Mandenance of drainage system. Who maintains conservation area - what will it be used for? al-peer voiten-askquestions + internapplicant ulast needs to be reviewed. may come up with extensive withgati weasness or redivided lots - implement d'airage système. - CCNR on individual lots. Mere noch required to prepare lots printo sale. lestrichous on hardscape - untigette measures. B10 -Survey done. Not thind shedy to be evalated together. I country does that country.

Motie of Supring meeting included in circulation

Shere of influence - city of Son Maleo.
7,500 H minimum lotsire paje d'alternative.

## San Mateo County Environmental Services Agency

Planning and Building Division - 455 County Center · Redwood City California 94063 · Planning: 650/363-4161 · Building: 650/599-7311 · Fax: 650/363-4849

Facsimile Transmittal Sheet
Date sent: 7 23 03
To be delivered to: KKMAL SINGH
Facsimile number: 408 971 6102
Sent by: GABRIELE LOWAN
Number of pages to follow Cover Sheet:
Message or Special Instructions:
PE: THOMAS SUBDIVISION ER
Place find attached the traffic information
submitted for the private school development
at 201 Polherus load, as requested.
pease let me know if you read anything
further.
Regards
Gabriell.

Our facsimile number is (650) 363-4849.

Please call (650) 363-4161 immediately if there is any problem with this transmission. Thank you.

041-101-290 Donnis Manas. Jell message 1/22/03. - Additional sets of drahage of grading + ension control. - Landscape plan. - alevalus + arli. renderings - Breilding mals - Start of consmich , lough of construction bedout. GER. - Aerial photos-- Geo reports - email say. 1/2/03 - DPW contact into - traffic (accidents 3 pale - Pele Central into - road design. - DPW - Stide maintenance. - road repair.

Nouris Tramas. - San Mateo Real Estate
1777 Bujel Place, Suite 330, SM6. Cocation et 100A. rolated to project.
- all group boundaries. Cleaniew. San Mateo Oaks. baywood Plaza. Raywood lask flightands. Ticondargai

Loads - bel five
Ascension.
impact of construction sucks not including Bis materials.
100 day (oaded a day)
215 truck trips
10.2 months.
Which homes will trucks pass
mear theat on streets.
Slow truck on steep hills impact traffic.
Slow trucks on steep hills impact traffic.
impact safety.
, ~
43,000 trips on Bal Ale + Ascension.
Spolinebon Panot. CSM drive.
fillsolale Blvd - 92
Chamberlain project 3 sauce impacts.
Juv-flall
Safety Clip (Leon issues.
J Dust,
Diesel funes
City of son Make not included.
£ 1/1
Silfing Floodzones - task of (01 - flood insurance.
Flood Zones Fast of 107 - flood insurance.

Soil content.
Parrott drive -50 years old.
floatfu 155405.  - do not reed to identify medical problem.
Jerry Ozanne.
Health + Safety (ssues.  - Airborne Contaminants.  - Noise Pollution.  - Rodont disruptions  - Traffic Safety.
Joan Kidera. - CSM traffic.
- land Stability.
- epsien could.
Donald Nagle
fleath Concerns. -20-50ft from construction. -family headh issues.

Herrtage Nees

- under counted.

- inmediately adjacent to

property. - extend oner property Parking - construction traffic. TED GLASGOW -SIZE of project.
- (and Stides (SANMATED OAKS) HARRIS DUBROW. - impact et taffic on bysinesses / Shopping conter - Electricity Some + Water - capacity of infrastructure. stightension elochical lines. will rubigation was now constructions Par Mc Guire. Stide on Los Alfos. Waler in Soil Traffic - outrance - worst intersections.

(	CSM flowing project all impacts considered. Puc turnet - Crystal Springs Rd > Steping Conter.
•	Both City + County (avoldement.
Gene Joseph	Ciraani.
	Hitigation extent possible. 10 yrs - 15 yrs three -if (andstide or
	Spring.  Chable.  Crable.
Palalle	Guarantee in part tour County to repeir any damage.
Vaser La	Support. Proporty rights. Lupressed by Danis Mones. efforts.
	Ugly hillside - renegetate.
	Cincerned: - politeiron 22 (ots. 25 (ots now.

Frank Shissle/.	
Water problems - does include just project or does it dook atiother props.	
END OF SPEAVORS	
Cal Water service - not included in notifications.  Bay Area til Quality. Har District.  Regional water analy.  Cal frans.	
Geoff- Wap up. Questions What teach department consultants. -445 impacts analysed.	ler
- County Kealth Department outacked.  Impact ordine us health impacts.  - withal Study.	
- Draft ER will indude health imparts.	

Condetions of approval - include uit. leasure. Plat (ander-Height of hilldings If proposal is reduced by 1/2 - for reach dist. Traffic Studey - De Anza. Louver Parntt. Mon many extra cors Mon will it affect student travel. Diversion of traffic. unere uies fleg deemp dist.

probable (ocahous

+ most probable hand rule

Admin DEIR-August? Stadus of DETR All technical reports complete Baywood HOA pushing for additional studies

Terry Sand 'no" - pushing the

envelope of our standard practices - Serious issues w/ grading fruck frips pading air quality nouse quality. Indua significant unavoidable impacts. (one alternative - ) lose flag lots - convert to park or uconfigure) \* Need to discuss results thus far w/ Terry. to find out If project alternatives do not reduce impack to less than significant > we need a statement of Overviding Considerations. Makes Many nervouse > difficult project.

May need to discuss w/ Dennis Thomas.
Freed to ducius inclusionary housing policies W lisa.
original map (pre-app worleshop)
+ staff to meet w Terry re: Alternatives  Dennis Thomas?  HUBCode Stuff w Gang Fitzer
# UBCOde Stuff W Gany Fitzer

# Alternatives

PREDUCED IMPACT ACTERNATIVES

1.e. -> reduced grading (funtess not possible)

reduced visual

+ framing alternatives in terms of reduced density—No

Andengs re: Suitability of design

GSA - Mix of various

(Now to design to reduce (impacts) grading etc.)
(reduced density can be a by product)

\* meet Halk to Geoff

1. need quality site pleuring assistance
(possible to get this from thum?)

2. ~ modify contract?

Les modify contract

\* Characterize w examples to apposed to us design

tasks	
+ Confact Geoff  + Set-up new mtg n) Geoff  + Set-up mtg W/ Marcia Ofter?  Set-up mtg W/ Dennis after?  Marcia ofter?	3
illustrations  *Truce to add potential building envelope - least impactful	
how much does of his follow the suggestions by Joseph Cotton, Shires a Assoc. ???  or 15 this an independent of Seeme arbitrary	
Fanalternatures that may only focus on one cospect of reducing for 2 impacts.	
- make soure illustration is based an impact reduction  - alternative of neighbors  - something in between project & there.	

Holung to investigate potential for green-building alternative as far as site deingn. To pair along to Geoff.

- have alternative graphics reviewed by
Pete a COF

Many to research findings rigid when approval of a subdivision occurs which is a lower density than allowed.

(Schedule mtg. W/ Marcia after Many's research)

# Alternatives Thomas Subdivision

1. Zoning for city (SM)

2. HOA proposed alternative (Baynood HOA)
3. Reduced density I could be same

4. alternative design ??

Big issue - madeng + truck trups associated

# Thomas Subdivision Environmental Impact Report Alternatives (4 to be analyzed in EIR)

[Proposed project: 25-lot subdivision, with lot sizes ranging from 10,120 s.f. to 16,811 s.f.]

# No Project Alternative

- Project not constructed
- Continuation of existing conditions, including development of related projects
- Would not meet any project objectives
- Required by CEQA
- Typically is found to be the "Environmentally Superior Alternative" but CEQA requires that if that is the case, that another alternative be selected as the Environmentally Superior Alternative.

# City of San Mateo Zoning Alternative (R1-B District)

- Minimum Parcel Area: 6,000 s.f.
- Minimum Parcel Width: 60 feet
- Assuming minimum lot requirement used, this alternative would permit approximately 49 lots, hence greater traffic, visual, hydrology, etc. impacts
- lying the minimum City zoning requirements:

  O Elimination of flag lots

  O Provision of 3.24-acres of open space at top of hill

  O Fewer visual impacts from homes at top of hill

  O yearnes However, if the same amount of lots are proposed as the project (25), but still applying the minimum City zoning requirements:

~ recreation enhanced.

# **Baywood Park HOA Reduced Grading Alternative**

- Avoid construction of lots on slopes steeper than 2:1
- BPHOA suggests approximately 5 lots total (see letter from BPHOA)
- Less grading, hence fewer impacts related to geotechnical, air quality, noise, truck traffic, visual, biological...
- Would not meet most of the applicant's project objectives (potentially economically infeasible for applicant)

# **Reduced Density Alternative**

- Reduction in lots between 25 lots and 5 lots (e.g. 15-20 lots?)
- Could be designed to avoid steeper slopes and possibly provide more open space
- Less Grading, hence fewer impacts related to air quality, noise, truck traffic, geotechnical, visual, biological
- Would meet most of the applicant's project objectives

# Park Alternative per Baywood Park HOA?????

Land Donation with Financial Benefit to the Owners

Would not meet project objectives but would be environmentally superior

Manys
- Concerns: no \$ to buy space

vaises legal implications as a viable alternative

legal implications as a viable alternative section

111 111 12/4/03. EL. Geoff - overview of project + process. \* Michele fleut - 5 intersections. \* and - Geo. Convents Peggy of Brien-Strain formal presentation. Culmulative (upacts.

Maquetude of project.

Jesuch + Safety Concerns. SSA flowing - Nog Dec. Venua Ridge PUC Treavel Chambolaen 42. Twenile foell Stide Issues. - x4 Gerald McClellan. 7 Grading - over 43,000 trips eglibit - Dump truck. - cannot reale grade - cannot diub lills., (0,750

(2015.5 C.C.P.)

in the

# **SOUTH SAN FRANCISCO**

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

#### Michele Mitchell

deposes and says that all times herein mentioned she was and is a citizen of the United States, and a resident of the County aforesaid, over the age of eighteen years, and not a party to or interested in the above-entitled matter; and is and was during and at all said times, the Principal Clerk of the Printer and Publisher of SOUTH SAN FRAN-CISCO, a newspaper of general circulation, printed and published weekly in the County of San Mateo, that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

November 22

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at So. San Francisco, San Mateo County, California,

11/22/03

Signature:

Ozratificada

San Mateo County Notice of Public Scoping Meeting Ad # 128521

> This space is for the County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE

OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT

TAL IMPACT REPORT
Project Title: Thomas
Subdivision Project
Applicant: San Mateo
Real Estate, Inc. Project
Location: Eastern corner of
Bel Aire Road and
Ascension Drive, San
Mateo County Project
Description: Major
Subdivision application to Subdivision application to subdivide 13.9 acre parcel into 25 single-family resi-dential lots. Lead Agency: County of San Mateo. Planning & Building Division 455 County Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at GABRIELLE ROWAN at the address above by DECEMBER 18, 2003.
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Boulevard San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\* November 22, 2003 SSF-

(2015.5 C.C.P.)

in the

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1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

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M. mitchell Certificate of Publication

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NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE

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Mateo County Project Description: Major Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family resi-dential lots. Lead Agency. County of San Mateo Planning & Building Division 455 County Center, 2nd Floor Redwood City CA 94063 Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at GABRIELLE ROWAN at the address above by DECEMBER 18, 2003.
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College of San Mateo
1700 West Hillsdale
Boulevard San Mateo,
California 94402 \*\*Parking
available at Campus
Parking Lot #3\*\*
November 22, 2003 SSFSAT3

(2015.5 C.C.P.)

in the DALY CITY

# Independent

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

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Dated at Daly City, San Mateo County, California,

11/22/03

Signature:

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San Mateo County Notice of Public Scoping Meeting Ad # 128520

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available at Campus Parking Lot #3\*\* November 22, 2003 DCSAT4

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in the DALY CITY

# Independent

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11/22/03 <u>M. Mit</u>hell

Signature:

Certificate of Publication

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NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT

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Subdivision: Project
Applicant: San Mateo
Real Estate, Inc. Project
Location: Eastern corner of

Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivision application application

BEEN RESCHEDULED
TO BETTER FACILITIATE
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Cafeteria, Building 5
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Boulevard San Mateo,
California 94402 \*\*Parking
available at Campus
Parking Lot #8\*\*
November 22, 2003
DCSAT4

(2015.5 C.C.P.)

in the Hillsborough and Burlingame

# **Boutique & Villager**

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

STATE OF CALIFORNIA County of San Mateo

# Michele Mitchell

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Dated at San Mateo, San Mateo County, California,

11/22/03

Signature:

M. Witchell

San Mateo County Notice of Public Scoping Meeting Ad # 128519

County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT

Project Title: Thomas Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location:Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Maior Maior Mateo County Project Description: Major Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family resi-dential lots. Lead Agency: County of San Mateo Planning & Building Division 455 County Center, 2nd Floor Bedwend City, CA 94063 Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send writthe EIR. Please send written comments to GABRIELLE ROWAN at the address above by DECEMBER 18, 2003. ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR. THIS MEETING HAS BEEN RESCHEDULED TO BETTER FACILITIATE BEEN RESCHEDULED
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Thursday, December 4,
2003 at 7:30 p.m. at South
Contact Building 5 Cafeteria, Building 5
College of San Mateo
1700 West Hillsdale
Boulevard San Mateo,
California 94402 \*\*Parking Building, 5

at Campus Lot #3\*\*

22,

2003

available at Parking Lo November 2

BVSAT23

(2015.5 C.C.P.)

in the Hillsborough and Burlingame

# Boutique & Villager

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

> STATE OF CALIFORNIA County of San Mateo

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San Mateo County Notice of Public Scoping Meeting Ad # 128519

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NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT Thomas

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Cafeteria, Building 5
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Boulevard San Mateo,
California 94402 \*\*Parking
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Parking Lot #3\*\*

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2003

22,

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in the

# San Mateo Weekly

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

# Michele Mitchell

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11/22/03

Signature:

vitchell

San Mateo County Notice of Public Scoping Meeting Ad # 128517

County Clerk's Filing Stamp

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available at Campus Parking Lot #3\*\*

Parking November / SMSAT4

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# San Mateo Weekly

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Signature:

M. Mitchell

Certificate of Publication

San Mateo County Notice of Public Scoping Meeting Ad # 128517

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November SMSAT4 2003

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in the

# FOSTER CITY PROGRESS

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA **County of San Mateo**

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I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Foster City, San Mateo County, California

11/22/03

Signature:

Mitche

San Mateo County Notice of Public Scoping Meeting Ad # 128514

> This space is for the County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE

OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT Project Title: Thomas Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location:Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo County of San Planning & E Division 455 Building Division County 2nd Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at GABRIELLE ROWAN at the address above by DECEMBER 18, 2003. ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS THE CONSULTANTS
PREPARING THE EIR.
THIS MEETING HAS
BEEN RESCHEDULED BEEN TO BETTER FACILITIATE PUBLIC INPUT ON THE PROJECT The public scoping meeting for the EIR will be held on: Thursday, December 4, 2003 at 7:30 p.m. at South Cafeteria, Building 5 2003 at 7.50
Cafeteria, Building 5
College of San Mateo
1700 West Hillsdale
Boulevard San Mateo,
Collifornia 94402 \*\*Parking

California 94402 Famus available at Campus

22,

2003

Parking November

FCSAT4

(2015.5 C.C.P.)

in the

# FOSTER CITY PROGRESS

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA **County of San Mateo**

#### Michele Mitchell

deposes and says that all times herein mentioned she was and is a citizen of the United States, and a resident of the County aforesaid, over the age of eighteen years, and not a party to or interested in the above-entitled matter: and is and was during and at all said times, the Principal Clerk of the Printer and Publisher of THE FOSTER CITY PROGRESS, a newspaper of general circulation, printed and published weekly in the County of San Mateo, and that the notice, of which the annexed is a printed copy (set in type not smaller than nonpareil), has been published in each regular and entire issue of said newspaper and not in any supplement thereof on the following dates, to-wit:

November 22

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Foster City, San Mateo County, California

11/22/03

Signature:

San Mateo County Notice of Public Scoping Meeting Ad # 128514

> This space is for the County Clerk's Filing Stamp

#### Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE

OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT

Project Title: Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location: Eastern corner of Bel Aire Road and Ascension Drive, San Ascension Drive, San Mateo County Project Description. Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo Planning & Building Division 455 County Center 2nd Floor 2nd Center, Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at HE ADDRESS TO THE ACT OF THE ACT ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED ADDRESSED IN THE EIR. ATTENDES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR. THIS MEETING HAS BEEN RESCHEDULED TO RETTER FACILITIATE TO BETTER FACILITIATE TO BETTER FACILITIATE PUBLIC INPUT ON THE PROJECT. The public scoping meeting for the EIR will be held on: Thursday, December 4, 2003 at 7:30 p.m. at South Cafeteria Building 5 2003 at 7. Building 5 Cafeteria, Building 5 College of San Mateo 1700 West Hillsdale San Mateo,

Boulevard San Mateo, California 94402 \*\*Parking

Lot

available at Parking November

FCSAT4

Campus

200 22.

(2015.5 C.C.P.)

in the

# Millbrae-San Bruno Sun

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

#### Michele Mitchell

deposes and says that all times herein mentioned she was and is a citizen of the United States, and a resident of the County aforesaid, over the age of eighteen years, and not a party to or interested in the above-entitled matter; and is and was during and at all said times, the Principal Clerk of the Printer and Publisher of MILLBRAE-SAN BRUNO SUN, a newspaper of general circulation, printed and published weekly in the County of San Mateo, according to the provisions of Section 6.000 of the Government Code of the State of California, and that said notice was printed in the manner and style as provided in said Section 6.000 of the Government Code; that said notice a printed copy of which is annexed to this affidavit and made a part hereof, was published in each regular and entire issues of said newspaper and not in any supplement thereof on the following dates, to-wit:

November 22

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at San Mateo, San Mateo County, Ca.,

11/22/03

Signature: \( \sqrt{\lambda} \)

Notice of Public Scoping Meeting Ad # 128513

San Mateo County

County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-

TAL IMPACT REPORT Thomas Project Title: Thomas Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location:Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo Planning & Building
Division 455 County
Center 2nd Floor Center, 2nd Floor Redwood City, CA 94063 Center. Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environ-mental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at the address above by

DECEMBER 18, 2003.
ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR. THIS MEETING HAS BEEN RESCHEDULED TO BETTER FACILITATE PUBLIC INPUT ON THE PROJECT The public scoping meeting for the EIR will be held on: Thursday, December 4, 2003 at 7:30 p.m. at South Cafeteria, Building 5 College of San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\* November 22, 2003 MMSAT7

(2015.5 C.C.P.)

in the

# Millbrae-San Bruno Sun

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

# Michele Mitchell

deposes and says that all times herein mentioned she was and is a citizen of the United States, and a resident of the County aforesaid, over the age of eighteen years, and not a party to or interested in the above-entitled matter: and is and was during and at all said times, the Principal Clerk of the Printer and Publisher of MILLBRAE-SAN BRUNO SUN, a newspaper of general circulation, printed and published weekly in the County of San Mateo, according to the provisions of Section 6.000 of the Government Code of the State of California, and that said notice was printed in the manner and style as provided in said Section 6.000 of the Government Code: that said notice a printed copy of which is annexed to this affidavit and made a part hereof, was published in each regular and entire issues of said newspaper and not in any supplement thereof on the following dates, to-wit:

November 22

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at San Mateo, San Mateo County, Ca.,

11/22/03

Signature: M. Mitchell

San Mateo County Notice of Public Scoping Meeting Ad # 128513

County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-

TAL IMPACT REPORT
Project Title: Thomas
Subdivision Project
Applicant: San Mateo
Real Estate, Inc. Project
Location: Eastern corner of
Bel Aire Road and
Ascension Drive, San
Mateo
County Project
Description: Major
Subdivision application to
subdivide 13.9 acre parcel
into 25 single-family residential lots. Lead Agency:
County of San Mateo
Planning & Building
Division 455 County
Center, 2nd Floor
Redwood City, CA 94063
Gabrielle Rowan, Project
Planner (650) 363-1829
The County of San Matec
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will prepare the environ
mental impact report (EIR,

for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send writ-

ten comments to GABRIELLE ROWAN at the address above by

DECEMBER 18, 2003
ALL INTERESTED PARTILES ARE INVITED TO
ATTEND A PUBLIC
SCOPING MEETING TO
ASSIST IN IDENTIFYING
ISSUES TO BE
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EIR. ATTENDEES WILL
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THIS MEETING HAS
BEEN RESCHEDULED
TO BETTER FACILITIATE
PUBLIC INPUT ON THE
PROJECT The public
scoping meeting for the
EIR will be held on:
Thursday, December 4,
2003 at 7:30 p.m, at South
Cafeteria, Building 5
College of San Mateo
1700 West Hillsdale
Boulevard San Mateo
California 94402 \*\*Parking
available at Campus
Parking Lot #3\*\*
November 22, 2003
MMSAT7

(2015.5 C.C.P.)

in the

# Redwood City Tribune

2317 Broadway, Suite 110 Redwood City, CA 94063 650-367-9834

STATE OF CALIFORNIA **County of San Mateo** 

#### Michele Mitchell

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November 22, 2003

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at Redwood City, San Mateo County, California,

Signature:

Certificate of Publication

San Mateo County Notice of Public Scoping Meeting Ad # 128510

> This space is for the County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-

TAL IMPACT REPORT
Project Title: Thoma
Subdivision Project Thomas Applicant: San Mateo. Real Estate, Inc. Project Location:Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo-Planning & Building Division 455 County Center: 2nd Flobra Redwood City. GA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at the address above by DECEMBER 18, 2003. ALL INTERESTED PAR-TIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ISSUES TO ADDRESSED II ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS
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Parking November

RCSAT8

2003

(2015.5 C.C.P.)

in the

# Redwood City Tribune

2317 Broadway, Suite 110 Redwood City, CA 94063 650-367-9834

STATE OF CALIFORNIA **County of San Mateo** 

#### Michele Mitchell

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November 22, 2003

all in the year

2003

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Dated at Redwood City, San Mateo County, California,

Signature:

Certificate of Publication

San Mateo County Notice of Public Scoping Meeting Ad # 128510

> This space is for the County Clerk's Filing Stamp

#### Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT Project Title: Subdivision Thomas Project Applicant: San Mateo Real Estate, Inc. Project Location: Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo Planning & Building
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EIR will be held on:
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Cafeteria, Building 5
College of San Mateo
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Boulevard San Mateo,
California 94402 \*\*Parking
available at Campus
Parking Lot #3\*\*
November 22 2003

Parking November RCSAT8

(2015.5 C.C.P.)

in the

# **Enquirer-Bulletin**

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

#### Michele Mitchell

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November 22, 2003

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at San Mateo, San Mateo County, California,

n. intehel

11/22/03

Signature:

Certificate of Publication

San Mateo County Notice of Public Scoping Meeting Ad # 128506

> This space is for the County Clerk's Filing Stamp

#### Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT

Project Title: Thomas Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location: Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency: County of San Mateo Planning & Building Division: 455 County Center, 2nd Floor Redwood City, CA 94063 Gabrielle Rowan, Project Planner (650) 363-1829 The County of San Mateo is the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at the address above by DECEMBER 18, 2003. ALL INTERESTED PARTIES ARE INVITED TO ASTIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE

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(2015.5 C.C.P.)

in the

# **Enquirer-Bulletin**

1828 El Camino Real #508, Burlingame, CA 94010 650-692-9406

# STATE OF CALIFORNIA County of San Mateo

#### Michele Mitchell

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November 22, 2003

all in the year

2003

I certify (or declare) under penalty of perjury that the foregoing is true and correct.

Dated at San Mateo, San Mateo County, California,

11/22/03

Signature:

1. Mitchell
Certificate of Publication

San Mateo County Notice of Public Scoping Meeting Ad # 128506

> This space is for the County Clerk's Filing Stamp

# Certificate of Publication of

NOTICE OF PUBLIC SCOPING MEETING AND REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMEN-TAL IMPACT REPORT

Project Title: Thomas Subdivision Project Applicant: San Mateo Real Estate, Inc. Project Location: Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County Project Description: Major Subdivision application to subdivide 13.9 acre parcel into 25 single-family residential lots. Lead Agency. County wof San Mateo

Planning & Building
Division' 455 County
Center, 2nd Floor
Redwood City, CA 94063
Gabrielle Rowan, Project
Planner (650) 363-1829
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GABRIELLE ROWAN at
the address above by
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CA Dept.of Forestry & Fire Protection AttnJ James Geiger 1416 9th Street Sacramento, CA 95814

County Parks Foundation Attn: Julia Bott 215 Bay Road Menlo Park, CA 94025

County of San Mateo - Parks & Recreation Division 455 County Center Redwood City, CA 94063

Bay Area Open Space Council Attn: John Woodbury 246 John Street Oakland, CA 94611

Redwood City School District Attn: Ronald Crates, Superintendent 815 Allerton Street Redwood City, CA 94063

CA Dept. of Housing & Community Dev. Division of Housing & Policy Development P.O. Box 952053 Sacramento, CA 94252

Sequoia Union High School District Attn: Dr. Merle Fruehling, Superintendent 480 James Avenue Redwood City, CA 94062

State Clearing House CA Office of Planning & Research P.O. Box 3044 Sacramento, CA 95812-3044

Caltrans District 4 PO Box 23660 Oakland, CA 94623

BAAQMD 939 Ellis St San Francisco, CA 94109 CA Dept. of Real Estate Attn: J.A. Edmonds Jr., Commissioner 2201 Broadway Sacramento, CA 95818

City of San Mateo - Planning Division Attn: Bob Breyer 330 West 20th Avenue San Mateo, CA 94403

LAFCo Attn: Martha Poyatos 455 County Center Redwood City, CA 94063

CA Regional Water Quality Control Board Attn: Habte Kifle 1515 Clay Street, Suite 1400 Oakland, CA 94612 -3011

County of San Mateo Attn: John Maltbie, County Manager 400 County Center Redwood City, CA 94063

City/County Association of Govt. of SMCo Attn: Richard Napier, Executive Director 10 Twin Dolphin Drive, Suite C-200 Redwood City, CA 94065

County of San Mateo Attn: Marcia Raines, Director of Environmental Services 455 County Center Redwood City, CA 94063

San Mateo Highlands Community Association Attn: Cliff Donley, President 30 Shelburne Place San Mateo, CA 94402

Department of Fish and Game PO Box 47 Yountville, CA 94549

San Mateo County Clerk 555 County Center Redwood City, CA 94063-1665 S.F. Water Department Attn: John Mullane 425 Mason Street San Francisco, CA 44012

Hillsborough - Planning Division Attn: Maureen Morton 1600 Floribunda Avenue Hillsborough, CA 94010-6418

U.S. Postal Service Attn: Steven Stielstra Facilities Service Center San Bruno, CA 94099-0330

San Mateo County Dept. of Housing & Community Development 262 Harbor Boulevard, Building A Belmont, CA 94002

County of San Mateo Attn: Terry Burnes, Planning Administrator 455 County Center Redwood City, CA 96063

Committee for Green Foothills Attn: Lennie Roberts 339 La Cuesta Drive Portola Valley, CA 94028

County of San Mateo Attn: Neil Cullen, Director of Public Works 555 County Center Redwood City, CA 94063

Baywood Park Homeowners Association Attn: Gerald Ozanne 1434 Enchanted Way San Mateo, CA 94402

SWRCB Region #2 1515 Clay St. Suite 1400 Oakland, CA 94612

County of San Mateo- Planning Dept. Attn: Gabrielle Rowan 455 County Center Redwood City, CA 94063 Baywood Park Homeowners Association Attn: Margaret O'Brien-Strain 205 De Anza Boulevard, Box 43 San Mateo, CA 94402-3633 Baywood Plaza Homeowners Association Attn: Karen Farnesi 2063 Timberland Way San Mateo, CA 94402 Ticonderoga Court Homeowners Association Attn: Mr. & Mrs. Knapel 2331 Ticonderoga Court San Mateo, CA 94402

San Mateo Oaks

San Mateo Real Estate, Inc Attn: Dennis Thomas 1777 Boreal Place, Suite 330 San Mateo, CA 94402 John O'Rourke 29 San Francisco Street Brisbane, CA 94005

Clearview Area Association

Baywood Plaza Homeowners Association Attn: Alan Palter 2035 Queens Lane San Mateo, CA 94402

		į
Workshop & 500' Radius	Ms. Winnie Green 1644 Ascension Drive San Mateo, CA 94402	Raphael Al Tr 100 Valley View Ct San Mateo, CA 944023618
Eamonn & Peggy O'Brien-Strain	June Strauch	Rios Robert Noel & Rona Molina
107 Starlite Dr.	108 College of San Mateo Drive	108 Starlite Dr
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Jo & Guy Buovo	Chan Brian H	City & Co Of S F Water Dept
1111 Parrot Drive	113 Starlite Dr	1155 Market St Floor 5
San Mateo, CA 94402	San Mateo, CA 944023604	San Francisco, CA 940703701
Karen Chew	Massoudi Jahanbakhsh Tr	Mcsheery Tracy D
116 College of San Mateo Drive	116 Starlite Dr	119 Starlite Dr
San Mateo, CA 94402	San Mateo, CA 944023613	San Mateo, CA 944023618
Button Nellie B Tr	Yan Martin & Susan K Trs	Kong Jessica
12 Valley View Ct	1208 Tournament Dr	1210 Tournament Dr
San Mateo, CA 944023605	Hillsborough, CA 944023613	Hillsborough, CA 944023613
Evangel Peter & Despena Trs	Cordell Robert J & Sue L Trs	Wong Paul Y & Beatriz C Trs
1220 Tournament Dr	123 Lakeshore Dr	1230 Tournament Dr
Hillsborough, CA 944023640	San Mateo, CA 944023601	Hillsborough, CA 944023605
Huang Steve C & Angela S	Tony & Marie O'Rourke	Ishizaki Masayuki & Yuki
1235 Tournament Dr	124 College of San Mateo Drive	124 Lakeshore Dr
Hillsborough, CA 944023604	San Mateo, CA 94402	San Mateo, CA 94112-
Jim Castagno	Kyle Stephan E	Chinn Richard B & Carrie C
124 Starlite Drive	124 Starlite Dr	1240 Tournament Dr
San Mateo, CA 94402	San Mateo, CA 944023607	Hillsborough, CA 944023606
Line Kont M.Tr	Los Charles S	Cinchura I ac

Monozon Michael C Tr

Hillsborough, CA 94010--7433

Hillsborough, CA 94402--3652

Lim Kent M Tr

1245 Tournament Dr

1255 Tournament Dr

Taslim Marcus E 1260 Tournament Dr

San Mateo, CA 94402--3613

Lee Charles S

125 Starlite Dr

Ginsburg Lee 1250 Tournament Dr Hillsborough, CA 94402--3604

Hillsborough, CA 94402--3601

Morgan William R & Caren H 1265 Tournament Dr Hillsborough, CA 94402

Yang Nelson C & Jennifer C	Mendes Robert P & Dustynne C	Li Kam T & Betty W
1270 Tournament Dr	1275 Tournament Dr	1285 Tournament Dr
Hillsborough, CA 944023613	Hillsborough, CA 944023636	Hillsborough, CA 94402
Acw Trust Investments	Chow Hilton H & Kam-Fung L Trs	Rob Grialou
1290 Tournament Dr	1305 Tournament Dr	131 Lakeshore Drive
Hillsborough, CA 94014-	Hillsborough, CA 944023611	San Mateo, CA 94402
Hanford Edwin T Tr	Steve & Barbara Mikulic	Ong Frank & Ellen
1315 Tournament Dr	132 College of San Mateo Drive	1331 Schooner St
Hillsborough, CA 944023641	San Mateo, CA 94402	Foster City, CA 94404
Sweeney Lawrence & Beverly J	Chuck & Sarah Farelli	Wadera Ranvir Tr
1335 Bel Aire Rd	1335 Parrot Drive	1342 Bel Aire Rd
San Mateo, CA 944023618	San Mateo, CA 94402	San Mateo, CA 944023646
Noreen Hui	Raposo Carlos	Lee Yao Chung Raymond
1343 Bel Aire Road	1343 Parrott Dr	1344 Parrott Dr
San Mateo, CA 94402	San Mateo, CA 944023621	San Mateo, CA 944023610
Bob Legallet	Schilling James Walter Jr	Chen Tracy L
1347 Rainbow Drive	1350 Bel Aire Rd	1351 Bel Aire Rd
San Mateo, CA 94402	San Mateo, CA 944023613	San Mateo, CA 944023640
Preiser Larry S Tr	Joelson Ealon M	Conci Dennis E
1351 Parrott Dr	1352 Parrott Dr	1358 Bel Aire Rd
San Mateo, CA 944023605	San Mateo, CA 944020000	San Mateo, CA 944023612
Kalkbrenner Robert L & E A	Danigelis William K Tr	Murti Benjamin K & Kristina L
1359 Bel Aire Rd	1360 Parrott Dr	1365 Enchanted Way
San Mateo, CA 944023641	San Mateo, CA 944023641	San Mateo, CA 944023641
Ghosh Jayant	Tong Vincent M & Catherine J	Wendy Woodard
1366 Bel Aire Rd	1367 Bel Aire Rd	1367 Parrot Drive
San Mateo, CA 944023631	San Mateo, CA 944023640	San Mateo, CA 94402

Robert Yamamoto 1368 Parrott Drive San Mateo, CA 94402 Merrill Wallace C & Mary F 1371 Enchanted Way San Mateo, CA 94402--3605

Salvador Melencio M & Mary A P 1374 Bel Aire Rd San Mateo, CA 94402--3633

Cooney Thomas J & Linda A Dan & Ashleigh Hager Kelley Mark S 1375 Bel Aire Rd 1375 Parrott Dr 1383 Bel Aire Road San Mateo, CA 94402 San Mateo, CA 94402--3621 San Mateo, CA 94402--3989 Tognotti Michael J & P E Logan Gail Charlotte Tr Helen Mann 1384 Parrott Dr 1383 Parrott Dr 1383 Enchanted Way San Mateo, CA 94402--0000 San Mateo, CA 94402--3605 San Mateo, CA 94402 Soon Dennis L Tr Kiel Walter A & Gloria G Dittia Zubin 139 Starlite Dr 1392 Bel Aire Rd 139 Lakeshore Dr San Mateo, CA 94010--7400 San Mateo, CA 94402--3621 San Mateo, CA 94402--3632 Ron Johnson Custino Aaron Volkov Grigoriy & Yelena 1398 Parrot Drive 1395 Enchanted Way 1398 Bel Aire Rd San Mateo, CA 94402 San Mateo, CA 94402--3604 San Mateo, CA 94402--3613 Harbison Michael E Tr Hsin Yvonne Grames Lloyd M & Jalene H Trs 140 College of San Mateo Dr 1399 Bel Aire Rd 1399 Parrott Dr San Mateo, CA 94402--3618 San Mateo, CA 94010--7402 San Mateo, CA -Grayson Daniel P Bennett Dorothy L & Dennis Tr Mukha Peter 1407 Enchanted Way 140 Starlite Dr 1405 Enchanted Way San Mateo, CA 94402--3612 San Mateo, CA 94402--3611 San Mateo, CA 94402--3641 Mark Williams Parisis Simeon Tr Pitkin Peter B Tr 1414 Parrott Dr 1411 Enchanted Way 1414 Bel Aire Road San Mateo, CA 94402 San Mateo, CA 94402--3612 San Mateo, CA 94402 Wong Gary Keith Hens Christopher D & Julie A Blutman Mary Sue Tr 1419 Parrott Dr 1420 Enchanted Way 1417 Enchanted Way San Mateo, CA 94402--3619 San Mateo, CA 94402--3612 San Mateo, CA 94402--3615 Metz James J & Linda G Gasparini Louis & Lisa Goodwine James K Jr & H L Trs 1426 Parrott Dr 1423 Enchanted Way 1426 Bel Aire Rd San Mateo, CA 94402--3623 San Mateo, CA 94402--3633 San Mateo, CA 94402--0000

Dowse Bard K & Marilyn J 1427 Parrott Dr San Mateo, CA 94402--3647 Michal Steven P & Susan D 1427 Rainbow Dr San Mateo, CA 94402--3613 Haw David Lawrence & Gan Jee C 1428 Enchanted Way San Mateo, CA 94402--3638

Abramson Scott Allen & P A Trs Richard Cole Balestreri Thomas A & Nancy B 1431 Tarrytown Street 1429 Enchanted Way 1428 Rainbow Dr San Mateo, CA 94402--3621 San Mateo, CA 94402 San Mateo, CA 94402-3641 Ottoboni Gary & Linda K Ozanne Gerard M & Linda C Jean A. Kidera 1435 Enchanted Way 1434 Enchanted Way 1432 Bel Aire San Mateo, CA 94402 San Mateo, CA 94402--3613 San Mateo, CA 94402 Dean Evelyn E Tr L. Blackton Tripplett Larry Calvin Tr 1435 Parrott Dr 1435 Rainbow Dr 1438 Bel Aire San Mateo, CA 94402 San Mateo, CA 94402 San Mateo, CA 94402--3613 Craig Stephen L & Anita M Blackton Louanna Lapier Marie I Tr 1439 Rainbow Dr 1438 Bel Aire Rd 1438 Parrott Dr San Mateo, CA 94402--3621 San Mateo, CA 94402 San Mateo, CA 94402--3649 George Mitroff Kanaga Stephen R Tr Mcdonald Roy 1440 Enchanted Way 1441 Enchanted Way 1443 Parrott Dr San Mateo, CA 94402 San Mateo, CA 94402--3602 San Mateo, CA 94402--3605 Jurado Michael A Ward Thomas T & Deanna R Lee Huntsberger Carl M 1443 Rainbow Dr 1444 Bel Aire Rd 1446 Enchanted Way San Mateo, CA 94402 San Mateo, CA 94402--3640 San Mateo, CA 94402--3640 Hilby Timothy Roland Massoudi Jahangir & Soudabeh Fabris Edward L & Elva A Trs 1449 Ascension Dr 1450 Bel Aire Rd 1447 Enchanted Way San Mateo, CA 94402--3636 San Mateo, CA 94402--3612 San Mateo, CA 94402--3610 Schaible Robert L Tr Kenneth B. Weser Hughes Michael 1455 Ascension Dr 1453 Enchanted Way 1450 Parrot Drive San Mateo, CA 94402--3605 San Mateo, CA 94402--3641 San Mateo, CA 94402

Fronczak David W 1456 Ascension Dr San Mateo, CA 94402--3624 Roach Geraldine R 1456 Bel Aire Rd San Mateo, CA 94402--3641 Jacobs Martha S 1459 Enchanted Wy San Mateo, CA 94402

Kao Shu-Hsin 1459 Parrott Dr San Mateo, CA 94402--3604 Talbot Kurt A & Marilyn Jean 1461 Ascension Dr San Mateo, CA 94402--3640 Lam Kevin 1462 Ascension Dr San Mateo, CA 94402--3646

Toti Argentina J Ward Edward V & Joyce M Swartz Jonathan T 1468 Ascension Dr 1468 Bel Aire Rd 1462 Bel Aire Rd San Mateo, CA 94402 San Mateo, CA 94112-San Mateo, CA 94402--3618 Hart James J & Ellen P Novy Brian J & Laurie D Schane Dale E Tr 1471 Ascension Dr 1474 Ascension Dr 1469 Ascension Dr San Mateo, CA 94402 San Mateo, CA 94402--3605 San Mateo. CA 94402--3641 Hsu Joseph T & Sharon S Fung Willie W & Martha L Craig Nishizaki 1474 Bel Aire Rd 1474 Ascension Drive 1474 Bel Aire Rd San Mateo, CA 94402--0000 San Mateo, CA 94402--3648 San Mateo, CA 94402 Codemo Patricia M Tr Nishizaki Craig M Tr Russo Anthony M 1475 Parrott Dr 1474 Parrott Dr 1475 Ascension Dr San Mateo, CA 94402--3621 San Mateo, CA 94402--3613 San Mateo, CA 94402--3641 Sakurai Jennifer L Ho James F Tr Mulligan Edith E 148 Starlite Dr 1479 Ascension Dr 148 College of San Mateo Dr San Mateo, CA 94402--3640 San Mateo, CA 94402--3601 San Mateo, CA 94402--3639 Beering Joan M Tr Schwab Ellen M Thomas Robert E & Rosemarie A 1486 Ascension Dr 1480 Bel Aire Rd 1485 Ascension Dr San Mateo, CA 95112--4598 San Mateo, CA 94402--3622 San Mateo, CA 94402--3622 Loomis Mary Wales Tr Mishra Dev K Tr Stroud Gordon Edward & Palmyre Trs 1487 Parrott Dr 1492 Ascension Dr 1486 Parrott Dr San Mateo, CA 94402--3633 San Mateo, CA 94402 San Mateo, CA 94402-Rathsack Haruko A Tr Fran & Arnold Baker Moroni Donald & Leslie 1498 Parrot Drive 1498 Ascension Dr 1496 Bel Aire Rd San Mateo, CA 94402 San Mateo, CA 94402--3602 San Mateo, CA 94402--3641 Witte Maurice E & F G Trs Rich Torres Romano Peter J & Glenda L 1499 Parrott Dr 1500 Ascension Dr 1506 Ascension Drive

Gilma P. Walker 151 Starlite Drive San Mateo, CA 94402

San Mateo, CA 94103-

Givechi Ali 1512 Ascension Dr San Mateo, CA 94402--3632

San Mateo, CA 94010-

Liu Han-Te & Lin Chun-Hsing 1514 Irving St San Francisco, CA 94122-1909

San Mateo, CA 94402

Gunn Scott C Et Al	Greenwood Doris A	Russell Riley R & Tomoko
1514 Parrott Dr	1515 Parrott Dr	1518 Ascension Dr
San Mateo, CA 94402	San Mateo, CA 944023633	San Mateo, CA 944023632
Aliamus Robert J & M J Trs	Marilyn & Jack Beeman	Grinstead Arthur W Tr
1524 Ascension Dr	1526 Parrott Drive	1527 Parrott Dr
San Mateo, CA 944023605	San Mateo, CA 94402	San Mateo, CA 944023631
Suyehiro David K Tr	Whitham Calvin D	Nagle Donald R
1530 Ascension Dr	1536 Ascension Dr	1538 Parrott Dr
San Mateo, CA 944023613	San Mateo, CA 944023633	San Mateo, CA 944023612
Caitlin Wilfred & Jennifer Wilson	Lawrence Peter C & Diane F Trs	Walker Richard H & G P Trs
1539 Parrot Drive	1542 Ascension Dr	155 Starlite Dr
San Mateo, CA 94402	San Mateo, CA 94066-	San Mateo, CA 944023646
Donald & Else Welch	Jones Albert L & Sussan	Lertora Ronald J Tr
1550 Parrott Drive	1551 Parrott Dr	1554 Ascension Dr
San Mateo, CA 94402	San Mateo, CA 944023622	San Mateo, CA 944023640
Vercelli Christopher J	Jeung Patricia Y Tr	Aflak Bahram Et Al
1556 Parrott Dr	156 College of San Mateo Dr	1560 Ascension Dr
San Mateo, CA 944023618	San Mateo, CA 94402	San Mateo, CA 94402-
Bussey Lee B & Margaret	Murray Nevair	Moser Heinz
1561 Ascension Dr	1563 Parrott Dr	1566 Ascension Dr
San Mateo, CA 944023623	San Mateo, CA 94402	San Mateo, CA 944023613
Giometti Rhoda L Tr	Tsivikas Eula Tr	Wright Elsie W Tr
1570 Ascension Dr	1574 Ascension Dr	1574 Parrott Dr
San Mateo, CA 944023640	San Mateo, CA 94402	San Mateo, CA 944023640
Velarde Robert J & Patricia R	Dyson Douglas Tr	Martin Elio L & Barbara L
1575 Ascension Dr	1575 Parrott Dr	1578 Ascension Dr

1575 Ascension Dr San Mateo, CA 94402--3641 1575 Parrott Dr San Mateo, CA 94402--3622 1578 Ascension Dr San Mateo, CA 94402--3610

Sonia & Harold Isaac 1581 Ascension Drive San Mateo, CA 94402 Wong Hay C 1582 Ascension Dr San Mateo, CA 94402--3612 Frank Shissler 1583 Ascension Drive San Mateo, CA 94402

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Llerena Alex	Cummings Roger Wesley Tr	Uyeda Yoshio & Hiromi Trs
1586 Ascension Dr	1586 Parrott Dr	1587 Ascension Dr
San Mateo, CA 944023614	San Mateo, CA 94402	San Mateo, CA 944023640
Dierkes Paul M & Margery H	Guzman Edward G & Brenda F	Kennedy William B Tr
1587 Parrott Dr	1590 Ascension Dr	1591 Ascension Dr
San Mateo, CA 944023641	San Mateo, CA 94402-	San Mateo, CA 944023600
Chang Henry S & Stella Y	Schaffer Peter W	Glasgow Edwin M & C F Trs
1593 Ascension Dr	1596 Ascension Dr	1597 Ascension Dr
San Mateo, CA 944020000	San Mateo, CA 944023604	San Mateo, CA 944023652
Tuohey Thomas J & L M Trs	Poremba Clifford J Tr	Pagani Aurelio B & L M Trs
1598 Ascension Dr	1599 Parrott Dr	16 Valley View Ct
San Mateo, CA 944023621	San Mateo, CA 94402-	San Mateo, CA 94010-
Loretta Pagani	Simmons Scott A	Sheryl Edwards
16 Valleyview Court	1601 Ascension Dr	1601 Ascension Road
San Mateo, CA 94402	San Mateo, CA 944023618	San Mateo, CA 94402
Sosnick Jeffrey H & Marian J	Ciranni Eugene H & Ruth A	Mcguire D Pat & Doris A Trs
1605 Ascension Dr	1606 Ascension Dr	1610 Ascension Dr
San Mateo, CA 944023632	San Mateo, CA 944023618	San Mateo, CA 944023650
Davis Edwin W Iii	James Inez R Tr	Wil Pinney
1615 Parrott Dr	1616 Parrott Dr	1624 Yorktown Road
San Mateo, CA 944023605	San Mateo, CA 94402	San Mateo, CA 94402
O'Connell Dennis V & Shirley G	Estupinian Joseph R Tr	Hubley Bruce D & Susan E Trs
1627 Parrott Dr	1628 Parrott Dr	163 Starlite Dr
San Mateo, CA 94402-	San Mateo, CA 944023622	San Mateo, CA 944023619
Friedman Marvin A & S K Trs	Sparks Marlan Frank Tr	Key Edwin R Tr
1635 Parrott Dr	1636 Parrott Dr	164 Kristin Ct
San Mateo, CA 94402-	San Mateo, CA 944023612	San Mateo, CA 944023639
Pauline Yoshida	Sakkestad Robert & Olga V Trs	Richard Glen
164 Starlite Drive	1644 Parrott Dr	1659 Lexington
San Mateo, CA 94402	San Mateo, CA 944023640	San Mateo, CA 94402

Mark & Barbara Phillips	Dubrow Harris Gerald Tr	Bertiglia Gary D Tr
1675 Parrott Drive	1705 Los Altos Dr	1706 Los Altos Dr
San Mateo, CA 94402	San Mateo, CA 944023611	San Mateo, CA 944023612
Leibs David & Lydia	Bull Walter E & Yvonne L Trs	Yuan Yu Jan & Ye-Chiang
1709 Los Altos Dr	1712 Los Altos Dr	1713 Los Altos Dr
San Mateo, CA 944023646	San Mateo, CA 944023630	San Mateo, CA 940107433
Sullivan Barbara Tr	Leung Wilfred K & Linda H	California Water Service Co
1717 Los Altos Dr	172 Kristin Ct	1720 N 1st St
San Mateo, CA 944023640	San Mateo, CA 944023614	San Jose, CA 95112-4508
Ma Sammy Shun Chow	Pileri Carl M & Lois D Trs	Barney Edward R & Dianne S
1721 Los Altos Dr	1725 Los Altos Dr	1729 Los Altos Dr
San Mateo, CA 944023613	San Mateo, CA 944023613	San Mateo, CA 944023603
Hal Kuehn	Hsu Chia Chu	Kevin Manalili
1760 Los Altos Drive	180 Kristin Ct	1852 Parrott Drive
San Mateo, CA 94402	San Mateo, CA 940107402	San Mateo, CA 94402
Paulina Brusator	Jack & Jane Leddy	Erik Larson
1859 Parrott Drive	1860 Parrott	1875 Parrott
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Huvane Thomas P & Jane C Trs	Ramsay Kawar	Gerald McClellan
188 Kristin Ct	1883 Parrott Drive	1899 Parrott Drive
San Mateo, CA 944023646	San Mateo, CA 94402	San Mateo, CA 94402
Ng Nelson & Belle Lim	Alice Carhart	Snow Robert
192 Kristin Ct	1935 Ticonderoga Drive	194 Kristin Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640

Mclaughlin Jean B Tr 20075 Cedar Rd Sonora, CA 95370-5900

G. McGraw

1944 Parrott Drive

San Mateo, CA 94402

Alan Palter 2035 Queens Lane San Mateo, CA 94402

Pau Peter S & Susanna H

Hillsborough, CA 94402--3618

20 Brooke Ct

Rallo A J & M E Trs 205 De Anza Blvd Pmb#149 San Mateo, CA 94402--3646

Ficklin Vernon W & Dora L

San Mateo, CA 94402--3638

20 Valley View Ct

Sam Naifeh	Pat O'Neil	James Goodman
2059 New Bruinswick Drive	2105 Los Altos Drive	2228 Cobblehill Place
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Westphal Roberta Lee Tr	Torres Richard	Malardino Ines Tr
24 Valley View Ct	2580 Summit Drive	28 Valley View Ct
San Mateo, CA 94402	Burlingame, CA 94010	San Mateo, CA 944023618
Sterlekar Olga S Tr	Peggy & Jack Prost	Cliff Donley
282 Patten St	30 Mountain View Place	30 Shelburne Place
Sonoma, CA 95476-6731	San Mateo, CA 94402	San Mateo, CA 94402
Craig Stuart H Tr Et Al	Hockett Paul John Tr	San Mateo County Community
3021 Leger Ct	32 Valley View Ct	3401 College Dr
Pleasanton, CA 94588-2934	San Mateo, CA 944023622	San Bruno, CA 940107433
Michaels Leonard Tr	Rogers John Paul Tr	Schulhof David S
36 Valley View Ct	4 Bennington Ct	40 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 944023601	San Mateo, CA 944023641
Singh Ganendra M	Nelson Herbert W & Wanda J	Hesselink Dick & Antje C
44 Admiral Callaghan Ln	44 Valley View Ct	48 Valley View Ct
Vallejo, CA 94591-4004	San Mateo, CA 944023641	San Mateo, CA 944023618
Juricich Mitchell J & Linda L	Abreu Antonio Pedro T	Robert Winters
52 Valley View Ct	56 Valley View Ct	56 Valleyview Court
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Grosey John W Sr & J G Trs	Martucci Dean T & Debra B	Andrakin Frances T Tr
60 Valley View Ct	64 Valley View Ct	65 Partridge Ln
San Mateo, CA 944023613	San Mateo, CA 944023631	Daly City, CA 94014-1361
Paulus David A & Carolyn B	Col. & Mrs Ray Fitts	Fairchild Jane L Tr
72 Valley View Ct	76 Valley View Court	78 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640

Fava Bruno & Lida Trs Cha 8 Valley View Ct 80 V San Mateo, CA 94402--3618 San

Chandler Helen Anne 80 Valley View Ct San Mateo, CA 94402--3638 Hance Daniel J & Grace Trs 84 Valley View Ct San Mateo, CA 94402--3640 Orourke John 850 E Brunswick St San Francisco, CA 94402--3613 Haslam Robert T 861 Overlook Ct San Mateo, CA 94402 Mason Harry J & Caroline A Trs 88 Valley View Ct San Mateo, CA 94402--3611

Galatolo Mark A & Norma J 901 Bauer Dr San Carlos, CA 94070-3701 Pedersen Arne H & Mary A 92 Valley View Ct San Mateo, CA 94402--3621 Chang Wesley Tr 95 Sugar Hill Dr Hillsborough, CA 94402--3641

Brugioni Robert L & Linda J 96 Valley View Ct San Mateo, CA 94402--3632 Anguiano Robert D 98 Valley View Ct San Mateo, CA 94402--3618 Chang Luke Y P O Box 19106 Stanford, CA 94309-9106

Kwan John Che K & Susan Ting PO Box 47300 Morrison Hill Hong Kong, 94402--3646 FEDERAL SMBL0879 data source.doc 05/07/01

CA Dept. of Real Estate Attn: J.A. Edmonds, Jr., Commissioner 2201 Broadway Sacramento, CA 95818

County Parks Foundation Attn: Julia Bott 215 Bay Road Menlo Park, CA 94025

County of San Mateo
Parks and Recreation Division
Attn: Gary Lockman, Admin. Services Manager
PKR 128

U.S. Postal Service Attn: Steven Stielstra Facilities Service Center San Bruno, CA 94099-0330

CA Regional Water Quality Control Board Attn: Habte Kifle 1515 Clay Street, Suite 1400 Oakland, CA 94612-3011

Redwood City School District Attn: Ronald Crates, Superintendent 815 Allerton Street Redwood City, CA 94063

County of San Mateo Attn: Terry Burnes, Planning Administrator PLN 122

CA Dept. of Housing & Community Dev. Division of Housing Policy Development P.O. Box 952053 Sacramento, CA 94252

Committee for Green Foothills Attn: Lennie Roberts 339 La Cuesta Drive Portola Valley, CA 94028 CA Dept. of Forestry & Fire Protection

Attn: James Geiger 1416 - 9th Street Sacramento, CA 95814

S.F. Water Dept. Attn: John Mullane 425 Mason Street San Francisco, CA 94102

City of San Carlos - Planning Division Attn: Neal Martin 600 Elm Street San Carlos, CA 94070

LAFCo Attn: Martha Poyatos PLN 122

Bay Area Open Space Council Attn: John Woodbury 246 John Street Oakland, CA 94611

San Mateo County Dept. of Housing & Community Development 262 Harbor Boulevard, Building A Belmont, CA 94002

County of San Mateo Attn: John Maltbie, County Manager CMO 105

STATE/REGIONAL

City/County Association of Govt. of SMCo. Attn: Richard Napier, Executive Director 10 Twin Dolphin Drive, Suite C-200 Redwood City, CA 94065

Sequoia Union High School District Attn: Dr. Merle Fruehling, Superintendent 480 James Avenue Redwood City, CA 94062 County of San Mateo Attn: Marcia Raines Director of Environmental Services ESA 128

State Clearing House CA Office of Planning & Research Attn: Senior Planner P.O. Box 3044 Sacramento, CA 95812-3044

Neil and Rebecca Hammermann 1598 Cordilleras Road Redwood City, CA 94062

Mr. and Mrs. Soma 1256 Edgewood Road Redwood City, CA 94062

Mr. and Mrs. Donald Schaefer 3165 Brittan Avenue San Carlos, CA 94070

Nancy von Herrmann P.O. Box 7165 San Carlos, CA 94070

Roger Flores 549 Palomar Drive Redwood City, CA 94062

Diane and Don Elvander 1516 Edgewood Road Redwood City, CA 94062

Trish Taylor 415 Palomar Drive Redwood City, CA 94062

Susan Eddins 1135 Palomar Drive Redwood City, CA 94062 County of San Mateo Dept. of Public Works Attn: Neil R. Cullen, Director DPW 155

WORKSHOP LABELS 1. DOC - Dec gubers - 500'.

Renee and Gary Alenza 1573 Edgewood Road Redwood City, CA 94062

David Miller 85 Belle Roche Court Redwood City, CA 94062-3200

Carol and Mitch Lashman 1764 Edgewood Road Redwood City, CA 94062

Jenny Nelson 615 Palomar Drive Redwood City, CA 94062

Audrey Harges 225 Montalvo Road Redwood City, CA 94062

Curtis Lee Brooks, P.E. 1175 Palomar Drive Redwood City, CA 94062

Lynn Pierce 1708 Edgewood Road Redwood City, CA 94062

Bill Bomont 75 El Vanada Road Redwood City, CA 94062

Workshop & 500'	500 Naulus
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Raphael Al Tr 100 Valley View Ct San Mateo, CA 94402--3618

Eamonn & Peggy O'Brien-Strain 107 Starlite San Mateo. CA 94402 June Strauch 108 CSM Drive San Mateo, CA 94402 Rios Robert Noel & Rona Molina 108 Starlite Dr San Mateo, CA 95112--4598

Jo & Guy Buovo 1111 Parrot Drive San Mateo, CA 94402

Chan Brian H 113 Starlite Dr San Mateo, CA 94402-3604 City & Co Of S F Water Dept 1155 Market St FIr5 San Francisco, CA 94070-3701

Karen Chew 116 CSM Drive San Mateo, CA 94402 Massoudi Jahanbakhsh Tr 116 Starlite Dr San Mateo, CA 94402--3613 Mcsheery Tracy D 119 Starlite Dr San Mateo, CA 94402--3618

Button Nellie B Tr 12 Valley View Ct San Mateo, CA 94402--3605 Yan Martin & Susan K Trs 1208 Tournament Dr Hillsborough, CA 94402--3613 Kong Jessica 1210 Tournament Dr Hillsborough, CA 94402--3613

Evangel Peter & Despena Trs 1220 Tournament Dr Hillsborough, CA 94402--3640 Cordell Robert J & Sue L Trs 123 Lakeshore Dr San Mateo, CA 94402--3601

Wong Paul Y & Beatriz C Trs 1230 Tournament Dr Hillsborough, CA 94402--3605

Huang Steve C & Angela S 1235 Tournament Dr Hillsborough, CA 94402--3604 Tony & Marie O'Rourke 124 CSM Drive San Mateo, CA 94402 Ishizaki Masayuki & Yuki 124 Lakeshore Dr San Mateo, CA 94112-

Jim Castagno 124 Starlite Drive San Mateo, CA 94402 Kyle Stephan E 124 Starlite Dr San Mateo, CA 94402--3607 Chinn Richard B & Carrie C 1240 Tournament Dr Hillsborough, CA 94402--3606

Lim Kent M Tr 1245 Tournament Dr Hillsborough, CA 94402--3652 Lee Charles S 125 Starlite Dr San Mateo, CA 94402--3613 Ginsburg Lee 1250 Tournament Dr Hillsborough, CA 94402--3604

Monozon Michael C Tr 1255 Tournament Dr Hillsborough, CA 94010--7433 Taslim Marcus E 1260 Tournament Dr Hillsborough, CA 94402--3601 Morgan William R & Caren H 1265 Tournament Dr Hillsborough, CA 94010--7433

Yang Nelson C & Jennifer C	Mendes Robert P & Dustynne C	Li Kam T & Betty W
1270 Tournament Dr	1275 Tournament Dr	1285 Tournament Dr
Hillsborough, CA 944023613	Hillsborough, CA 944023636	Hillsborough, CA 945914004
Acw Trust Investments	Chow Hilton H & Kam-Fung L Trs	Rob Grialou
1290 Tournament Dr	1305 Tournament Dr	131 Lakeshore Drive
Hillsborough, CA 94014-	Hillsborough, CA 944023611	San Mateo, CA 94402
Hanford Edwin T Tr	Steve & Barbara Mikulic	Ong Frank & Ellen
1315 Tournament Dr	132 CSM Drive	1331 Schooner St
Hillsborough, CA 944023641	San Mateo, CA 94402	Foster City, CA 944023612
Sweeney Lawrence & Beverly J	Chuck & Sarah Farelli	Wadera Ranvir Tr
1335 Bel Aire Rd	1335 Parrot Drive	1342 Bel Aire Rd
San Mateo, CA 944023618	San Mateo, CA 94402	San Mateo, CA 944023646
Noreen Hui	Raposo Carlos	Lee Yao Chung Raymond
1343 Bel Aire Road	1343 Parrott Dr	1344 Parrott Dr
San Mateo, CA 94402	San Mateo, CA 944023621	San Mateo, CA 944023610
Bob Legallet	Schilling James Walter Jr	Chen Tracy L
1347 Rainbow Drive	1350 Bel Aire Rd	1351 Bel Aire Rd
San Mateo, CA 94402	San Mateo, CA 944023613	San Mateo, CA 944023640
Preiser Larry S Tr	Joelson Ealon M	Conci Dennis E
1351 Parrott Dr	1352 Parrott Dr	1358 Bel Aire Rd
San Mateo, CA 944023605	San Mateo, CA 944020000	San Mateo, CA 944023612
Kalkbrenner Robert L & E A	Danigelis William K Tr	Murti Benjamin K & Kristina L
1359 Bel Aire Rd	1360 Parrott Dr	1365 Enchanted Way
San Mateo, CA 944023641	San Mateo, CA 944023641	San Mateo, CA 944023641
Ghosh Jayant	Tong Vincent M & Catherine J	Wendy Woodard
1366 Bel Aire Rd	1367 Bel Aire Rd	1367 Parrot Drive
San Mateo, CA 944023631	San Mateo, CA 944023640	San Mateo, CA 94402

Robert Yamamoto Merrill Wallace C & Mary F
1368 Parrott Drive 1371 Enchanted Way
San Mateo, CA 94402 San Mateo, CA 94402--3605

Salvador Melencio M & Mary A P 1374 Bel Aire Rd San Mateo, CA 94402--3633

Kelley Mark S	Cooney Thomas J & Linda A	Dan & Ashleigh Hager
1375 Bel Aire Rd	1375 Parrott Dr	1383 Bel Aire Road
San Mateo, CA 944023989	San Mateo, CA 944023621	San Mateo, CA 94402
Helen Mann	Logan Gail Charlotte Tr	Tognotti Michael J & P E
1383 Enchanted Way	1383 Parrott Dr	1384 Parrott Dr
San Mateo, CA 94402	San Mateo, CA 944020000	San Mateo, CA 944023605
Kiel Walter A & Gloria G	Dittia Zubin	Soon Dennis L Tr
139 Lakeshore Dr	139 Starlite Dr	1392 Bel Aire Rd
San Mateo, CA 944023632	San Mateo, CA 940107400	San Mateo, CA 944023621
Custino Aaron	Volkov Grigoriy & Yelena	Ron Johnson
1395 Enchanted Way	1398 Bel Aire Rd	1398 Parrot Drive
San Mateo, CA 944023604	San Mateo, CA 944023613	San Mateo, CA 94402
Harbison Michael E Tr	Hsin Yvonne	Grames Lloyd M & Jalene H Trs
1399 Bel Aire Rd	1399 Parrott Dr	140 Csm Dr
San Mateo, CA 944023618	San Mateo, CA 940107402	San Mateo, CA -
Bennett Dorothy L & Dennis Tr	Mukha Peter	Grayson Daniel P
140 Starlite Dr	1405 Enchanted Way	1407 Enchanted Way
San Mateo, CA 944023641	San Mateo, CA 944023612	San Mateo, CA 944023611
Pitkin Peter B Tr	Mark Williams	Parisis Simeon Tr
1411 Enchanted Way	1414 Bel Aire Road	1414 Parrott Dr
San Mateo, CA 94014-	San Mateo, CA 94402	San Mateo, CA 944023612
Blutman Mary Sue Tr	Wong Gary Keith	Hens Christopher D & Julie A
1417 Enchanted Way	1419 Parrott Dr	1420 Enchanted Way
San Mateo, CA 944023615	San Mateo, CA 944023612	San Mateo, CA 944023619
Goodwine James K Jr & H L Trs	Metz James J & Linda G	Gasparini Louis & Lisa
1423 Enchanted Way	1426 Bel Aire Rd	1426 Parrott Dr
San Mateo, CA 944023623	San Mateo, CA 944023633	San Mateo, CA 944020000

Dowse Bard K & Marilyn J Michal Steven P & Susan D 1427 Parrott Dr 1427 Rainbow Dr San Mateo, CA 94402--3647 San Mateo, CA 94402--3613 Haw David Lawrence & Gan Jee C 1428 Enchanted Way San Mateo, CA 94402--3638

Balestreri Thomas A & Nancy B	Abramson Scott Allen & P A Trs	Richard Cole
1428 Rainbow Dr	1429 Enchanted Way	1431 Tarrytown Street
San Mateo, CA 944023641	San Mateo, CA 944023621	San Mateo, CA 94402
Jean A. Kidera	Ozanne Gerard M & Linda C	Ottoboni Gary & Linda K
1432 Bel Aire	1434 Enchanted Way	1435 Enchanted Way
San Mateo, CA 94402	San Mateo, CA 944023613	San Mateo, CA 945914004
Dean Evelyn E Tr	Tripplett Larry Calvin Tr	L. Blackton
1435 Parrott Dr	1435 Rainbow Dr	1438 Bel Aire
San Mateo, CA 944023613	San Mateo, CA 94112-	San Mateo, CA 94402
Blackton Louanna	Lapier Marie I Tr	Craig Stephen L & Anita M
1438 Bel Aire Rd	1438 Parrott Dr	1439 Rainbow Dr
San Mateo, CA 94309-	San Mateo, CA 944023649	San Mateo, CA 944023621
George Mitroff	Kanaga Stephen R Tr	Mcdonald Roy
1440 Enchanted Way	1441 Enchanted Way	1443 Parrott Dr
San Mateo, CA 94402	San Mateo, CA 944023602	San Mateo, CA 944023605
Ward Thomas T & Deanna R Lee	Huntsberger Carl M	Jurado Michael A
1443 Rainbow Dr	1444 Bel Aire Rd	1446 Enchanted Way
San Mateo, CA 944023640	San Mateo, CA 941081616	San Mateo, CA 944023640
Fabris Edward L & Elva A Trs	Hilby Timothy Roland	Massoudi Jahangir & Soudabeh
1447 Enchanted Way	1449 Ascension Dr	1450 Bel Aire Rd
San Mateo, CA 944023610	San Mateo, CA 944023636	San Mateo, CA 944023612
Kenneth B. Weser	Hughes Michael	Schaible Robert L Tr
1450 Parrot Drive	1453 Enchanted Way	1455 Ascension Dr
San Mateo, CA 94402	San Mateo, CA 944023605	San Mateo, CA 944023641
Fronczak David W	Roach Geraldine R	Jacobs Martha S
1456 Ascension Dr	1456 Bel Aire Rd	1459 Enchanted Wy
San Mateo, CA 944023624	San Mateo, CA 944023641	San Mateo, CA 94112-

Kao Shu-Hsin 1459 Parrott Dr San Mateo, CA 94402--3604

Talbot Kurt A & Marilyn Jean 1461 Ascension Dr San Mateo, CA 94402--3640

Lam Kevin 1462 Ascension Dr San Mateo, CA 94402--3646

Swartz Jonathan T	Toti Argentina J	Ward Edward V & Joyce M
1462 Bel Aire Rd	1468 Ascension Dr	1468 Bel Aire Rd
San Mateo, CA 944023618	San Mateo, CA 94112-	San Mateo, CA 94066-
Schane Dale E Tr	Novy Brian J & Laurie D	Hart James J & Ellen P
1469 Ascension Dr	1471 Ascension Dr	1474 Ascension Dr
San Mateo, CA 944023605	San Mateo, CA 944023641	San Mateo, CA 94401-
Craig Nishizaki	Fung Willie W & Martha L	Hsu Joseph T & Sharon S
1474 Ascension Drive	1474 Bel Aire Rd	1474 Bel Aire Rd
San Mateo, CA 94402	San Mateo, CA 944020000	San Mateo, CA 944023648
Nishizaki Craig M Tr	Russo Anthony M	Codemo Patricia M Tr
1474 Parrott Dr	1475 Ascension Dr	1475 Parrott Dr
San Mateo, CA 944023641	San Mateo, CA 944023621	San Mateo, CA 944023613
Sakurai Jennifer L	Ho James F Tr	Mulligan Edith E
1479 Ascension Dr	148 Csm Dr	148 Starlite Dr
San Mateo, CA 944023640	San Mateo, CA 944023601	San Mateo, CA 944023639
Thomas Robert E & Rosemarie A	Beering Joan M Tr	Schwab Ellen M
1480 Bel Aire Rd	1485 Ascension Dr	1486 Ascension Dr
San Mateo, CA 944023622	San Mateo, CA 951124598	San Mateo, CA 944023622
Stroud Gordon Edward & Palmyre Trs	Loomis Mary Wales Tr	Mishra Dev K Tr
1486 Parrott Dr	1487 Parrott Dr	1492 Ascension Dr
San Mateo, CA 94402-	San Mateo, CA 944023633	San Mateo, CA 940107433
Moroni Donald & Leslie	Rathsack Haruko A Tr	Fran & Arnold Baker
1496 Bel Aire Rd	1498 Ascension Dr	1498 Parrot Drive
San Mateo, CA 944023602	San Mateo, CA 944023641	San Mateo, CA 94402
Romano Peter J & Glenda L	Witte Maurice E & F G Trs	Rich Torres
1499 Parrott Dr	1500 Ascension Dr	1506 Ascension Drive
San Mateo, CA 94103-	San Mateo, CA 94010-	San Mateo, CA 94402

Gilma P. Walker 151 Starlite Drive San Mateo, CA 94402 Givechi Ali 1512 Ascension Dr San Mateo, CA 94402--3632 Liu Han-Te & Lin Chun-Hsing 1514 Irving St San Francisco, CA 94402-

Gunn Scott C Et Al	Greenwood Doris A	Russell Riley R & Tomoko
1514 Parıott Dr	1515 Parrott Dr	1518 Ascension Dr
San Mateo, CA 940107402	San Mateo, CA 944023633	San Mateo, CA 944023632
Aliamus Robert J & M J Trs	Marilyn & Jack Beeman	Grinstead Arthur W Tr
1524 Ascension Dr	1526 Parrott Drive	1527 Parrott Dr
San Mateo, CA 944023605	San Mateo, CA 94402	San Mateo, CA 944023631
Suyehiro David K Tr	Whitham Calvin D	Nagle Donald R
1530 Ascension Dr	1536 Ascension Dr	1538 Parrott Dr
San Mateo, CA 944023613	San Mateo, CA 944023633	San Mateo, CA 944023612
Caitlin Wilfred & Jennifer Wilson	Lawrence Peter C & Diane F Trs	Walker Richard H & G P Trs
1539 Parrot Drive	1542 Ascension Dr	155 Starlite Dr
San Mateo, CA 94402	San Mateo, CA 94066-	San Mateo, CA 944023646
Donald & Else Welch	Jones Albert L & Sussan	Lertora Ronald J Tr
1550 Parrott Drive	1551 Parrott Dr	1554 Ascension Dr
San Mateo, CA 94402	San Mateo, CA 944023622	San Mateo, CA 944023640
Vercelli Christopher J	Jeung Patricia Y Tr	Aflak Bahram Et Al
1556 Parrott Dr	156 Csm Dr	1560 Ascension Dr
San Mateo, CA 944023618	San Mateo, CA 94112-	San Mateo, CA 94402-
Bussey Lee B & Margaret	Murray Nevair	Moser Heinz
1561 Ascension Dr	1563 Parrott Dr	1566 Ascension Dr
San Mateo, CA 944023623	San Mateo, CA 951124598	San Mateo, CA 944023613
Giometti Rhoda L Tr	Tsivikas Eula Tr	Wright Elsie W Tr
1570 Ascension Dr	1574 Ascension Dr	1574 Parrott Dr
San Mateo, CA 944023640	San Mateo, CA 94112-	San Mateo, CA 944023640
Velarde Robert J & Patricia R	Dyson Douglas Tr	Martin Elio L & Barbara L
1575 Ascension Dr	1575 Parrott Dr	1578 Ascension Dr
San Mateo, CA 944023641	San Mateo, CA 944023622	San Mateo, CA 944023610

Sonia & Harold Isaac 1581 Ascension Drive San Mateo, CA 94402 Wong Hay C 1582 Ascension Dr San Mateo, CA 94402--3612

Frank Shissler 1583 Ascension Drive San Mateo, CA 94402

Llerena Alex	Cummings Roger Wesley Tr	Uyeda Yoshio & Hiromi Trs
1586 Ascension Dr	1586 Parrott Dr	1587 Ascension Dr
San Mateo, CA 944023614	San Mateo, CA 944030000	San Mateo, CA 944023640
Dierkes Paul M & Margery H	Guzman Edward G & Brenda F	Kennedy William B Tr
1587 Parrott Dr	1590 Ascension Dr	1591 Ascension Dr
San Mateo, CA 944023641	San Mateo, CA 94402-	San Mateo, CA 944023600
Chang Henry S & Stella Y	Schaffer Peter W	Glasgow Edwin M & C F Trs
1593 Ascension Dr	1596 Ascension Dr	1597 Ascension Dr
San Mateo, CA 944020000	San Mateo, CA 944023604	San Mateo, CA 944023652
Tuohey Thomas J & L M Trs	Poremba Clifford J Tr	Pagani Aurelio B & L M Trs
1598 Ascension Dr	1599 Parrott Dr	16 Valley View Ct
San Mateo, CA 944023621	San Mateo, CA 94402-	San Mateo, CA 94010-
Loretta Pagani	Simmons Scott A	Sheryl Edwards
16 Valleyview Court	1601 Ascension Dr	1601 Ascension Road
San Mateo, CA 94402	San Mateo, CA 944023618	San Mateo, CA 94402
Sosnick Jeffrey H & Marian J	Ciranni Eugene H & Ruth A	Mcguire D Pat & Doris A Trs
1605 Ascension Dr	1606 Ascension Dr	1610 Ascension Dr
San Mateo, CA 944023632	San Mateo, CA 944023618	San Mateo, CA 944023650
Davis Edwin W Iii	James Inez R Tr	Wil Pinney
1615 Parrott Dr	1616 Parrott Dr	1624 Yorktown Road
San Mateo, CA 944023605	San Mateo, CA 94112-	San Mateo, CA 94402
O'Connell Dennis V & Shirley G	Estupinian Joseph R Tr	Hubley Bruce D & Susan E Trs
1627 Parrott Dr	1628 Parrott Dr	163 Starlite Dr
San Mateo, CA 94402-	San Mateo, CA 944023622	San Mateo, CA 944023619
Friedman Marvin A & S K Trs	Sparks Marlan Frank Tr	Key Edwin R Tr
1635 Parrott Dr	1636 Parrott Dr	164 Kristin Ct
San Mateo, CA 94402-	San Mateo, CA 944023612	San Mateo, CA 944023639
Pauline Yoshida	Sakkestad Robert & Olga V Trs	Richard Glen
164 Starlite Drive	1644 Parrott Dr	1659 Lexington
San Mateo, CA 94402	San Mateo, CA 944023640	San Mateo, CA 94402

Mark & Barbara Phillips	Dubrow Harris Gerald Tr	Bertiglia Gary D Tr
1675 Parrott Drive	1705 Los Altos Dr	1706 Los Altos Dr
San Mateo, CA 94402	San Mateo, CA 944023611	San Mateo, CA 944023612
Leibs David & Lydia	Bull Walter E & Yvonne L Trs	Yuan Yu Jan & Ye-Chiang
1709 Los Altos Dr	1712 Los Altos Dr	1713 Los Altos Dr
San Mateo, CA 944023646	San Mateo, CA 944023630	San Mateo, CA 940107433
Sullivan Barbara Tr	Leung Wilfred K & Linda H	California Water Service Co
1717 Los Altos Dr	172 Kristin Ct	1720 N 1st St
San Mateo, CA 944023640	San Mateo, CA 944023614	San Jose, CA 944023631
Ma Sammy Shun Chow	Pileri Carl M & Lois D Trs	Barney Edward R & Dianne S
1721 Los Altos Dr	1725 Los Altos Dr	1729 Los Altos Dr
San Mateo, CA 944023613	San Mateo, CA 944023613	San Mateo, CA 944023603
		,
Hal Kuehn	Hsu Chia Chu	Kevin Manalili
1760 Los Altos Drive	180 Kristin Ct	1852 Parrott Drive
San Mateo, CA 94402	San Mateo, CA 940107402	San Mateo, CA 94402
Paulina Brusator	Jack & Jane Leddy	Erik Larson
1859 Parrott Drive	1860 Parrott	1875 Parrott
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Huvane Thomas P & Jane C Trs	Ramsay Kawar	Gerald McClellan
188 Kristin Ct	1883 Parrott Drive	1899 Parrott Drive
San Mateo, CA 944023646	San Mateo, CA 94402	San Mateo, CA 94402
Ng Nelson & Belle Lim	Alice Carhart	Snow Robert
192 Kristin Ct	1935 Ticonderoga Drive	194 Kristin Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640
G. McGraw	Pau Peter S & Susanna H	Ficklin Vernon W & Dora L
1944 Parrott Drive	20 Brooke Ct	20 Valley View Ct
San Mateo, CA 94402	Hillsborough, CA 944023618	San Mateo, CA 944023638

Mclaughlin Jean B Tr 20075 Cedar Rd Sonora, CA 94402--3638 Alan Palter 2035 Queens Lane San Mateo, CA 94402 Rallo A J & M E Trs 205 De Anza Blvd Pmb#149 San Mateo, CA 94402--3646

Sam Naifeh	Pat O'Neil	James Goodman
2059 New Bruinswick Drive	2105 Los Altos Drive	2228 Cobblehill Place
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Westphal Roberta Lee Tr	Torres Richard	Malardino Ines Tr
24 Valley View Ct	2580 Summit Drive	28 Valley View Ct
San Mateo, CA 954766443	Burlingame, CA 944023633	San Mateo, CA 944023618
Sterlekar Ölga S Tr	Peggy & Jack Prost	Cliff Donley
282 Patten St	30 Mountain View Place	30 Shelburne Place
Sonoma, CA 944023618	San Mateo, CA 94402	San Mateo, CA 94402
Craig Stuart H Tr Et Al	Hockett Paul John Tr	San Mateo County Community
3021 Leger Ct	32 Valley View Ct	3401 College Dr
Pleasanton, CA 944023604	San Mateo, CA 94402-3622	San Bruno, CA 940107433
Michaels Leonard Tr	Rogers John Paul Tr	Schulhof David S
36 Valley View Ct	4 Bennington Ct	40 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 944023601	San Mateo, CA 944023641
Singh Ganendra M	Nelson Herbert W & Wanda J	Hesselink Dick & Antje C
44 Admiral Callaghan Ln	44 Valley View Ct	48 Valley View Ct
Vallejo, CA 944020000	San Mateo, CA 944023641	San Mateo, CA 944023618
Juricich Mitchell J & Linda L	Abreu Antonio Pedro T	Robert Winters
52 Valley View Ct	56 Valley View Ct	56 Valleyview Court
San Mateo, CA 940107458	San Mateo, CA 940107433	San Mateo, CA 94402
Grosey John W Sr & J G Trs	Martucci Dean T & Debra B	Andrakin Frances T Tr
60 Valley View Ct	64 Valley View Ct	65 Partridge Ln
San Mateo, CA 944023613	San Mateo, CA 944023631	Daly City, CA 944023603
Paulus David A & Carolyn B	Col. & Mrs Ray Fitts	Fairchild Jane L Tr
72 Valley View Ct	76 Valley View Court	78 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640
Fava Bruno & Lida Trs	Chandler Helen Anne	Hance Daniel J & Grace Trs
8 Valley View Ct	80 Valley View Ct	84 Valley View Ct
San Mateo, CA 944023618	San Mateo, CA 944023638	San Mateo, CA 944023640

Orourke John 850 E Brunswick St San Francisco, CA 94402--3613 Haslam Robert T 861 Overlook Ct San Mateo, CA 95370--0000 Mason Harry J & Caroline A Trs 88 Valley View Ct San Mateo, CA 94402-3611

Galatolo Mark A & Norma J 901 Bauer Dr San Carlos, CA 94402--3607 Pedersen Arne H & Mary A 92 Valley View Ct San Mateo, CA 94402--3621 Chang Wesley Tr 95 Sugar Hill Dr Hillsborough, CA 94402--3641

Brugioni Robert L & Linda J 96 Valley View Ct San Mateo, CA 94402--3632 Anguiano Robert D 98 Valley View Ct San Mateo, CA 94402--3618 Chang Luke Y P O Box 19106 Stanford, CA 94402--3621

Kwan John Che K & Susan Ting PO Box 47300 Morrison Hill Hong Kong, 94402--3646 CA Dept.of Forestry & Fire Protection AttnJ James Geiger 1416 9th Street Sacramento, CA 95814

County Parks Foundation Attn: Julia Bott 215 Bay Road Menlo Park, CA 94025

County of San Mateo - Parks & Recreation Division Attn: Gary Lockman 455 County Center Redwood City CA 94063

Bay Area Open Space Council Attn: John Woodbury 246 John Street Oakland, CA 94611

Redwood City School District Attn: Ronald Crates, Superintendent 815 Allerton Street Redwood City, CA 94063

CA Dept. of Housing & Community Dev.
Division of Housing & Policy
Development
P.O. Box 952053

Sequoia Union High School District Attn: Dr. Merle Fruehling, Superintendent 480 James Avenue Redwood City, CA 94062

State Clearing House CA Office of Planning & Research P.O. Box 3044 Sacramento, CA95812-3044 CA Dept. of Real Estate Attn: J.A. Edmonds. Jr., Commissioner 2201 Broadway Sacramento, CA 95818

City of San Mateo - Planning Division Attn: Bob Breyer 330 West 20th Avenue San Mateo, CA 94403

LAFCo Attn: Martha Poyatos 455 County Center Redwood City, CA 94063

CA Regional Water Quality Control Board Attn: Habte Kifle 1515 Clay Street, Suite 1400 Oakland, CA 94612 -3011

County of San Mateo Attn: John Maltbie, County Manager 400 County Center Redwood City, CA 94063

City/County Association of Govt. of SMCo
Attn: Richard Napier, Executive Director
10 Twin Dolphin Drive, Suite C-200

County of San Mateo
Attn: Marcia Raines, Director of
Environmental Services
455 County Center
Redwood City CA 94063

San Mateo Highlands Community Association Attn: Cliff Donley, President 30 Shelburne Place San Mateo, CA 94402 S.F. Water Department Attn: John Mullane 425 Mason Street San Francisco, CA 44012

Town of Hillsborough - Planning Division Attn: Maureen Morton 1600 Floribunda Avenue Hillsborough CA 94010-6418

U.S. Postal Service Attn: Steven Stielstra Facilities Service Center San Bruno, CA 94099-0330

San Mateo County Dept. of Housing & Community Development 262 Harbor Boulevard, Building A Belmont, CA 94002

County of San Mateo Attn: Terry Burnes, Planning Administrator 455 County Center Redwood City CA 96063

Committee for Green Foothills Attn: Lennie Roberts 339 La Cuesta Drive Portola Valley, CA 94028

County of San Mateo Attn: Neil Cullen, Director of Public Works 555 County Center Redwood City CA 94063

Baywood Park Homeowners Association Attn: Gerald Ozanne 1434 Enchanted Way San Mateo CA 94402

Name	Line 1	Line 2	Line 3	line 4
CA Dept.of Forestry & Fire Protection	AttnJ James Geiger	1416 9th Street	Sacramento	CA 95814
CA Dept. of Real Estate	Attn: J.A. Edmonds.	J2201 Broadway	Sacramento	CA 95818
S.F. Water Department	Attn: John Mullane	425 Mason Stree	San Francisc	CA 44012
County Parks Foundation	Attn: Julia Bott	215 Bay Road	Menlo Park	CA 94025
City of San Mateo - Planning Division	Attn: Bob Breyer	330 West 20th A	San Mateo	CA 94403
Town of Hillsborough - Planning Division	Attn: Maureen Morto	ı 1600 Floribunda	Hillsborough	CA 94010-(
County of San Mateo - Parks & Recreati	Attn: Gary Lockman	455 County Cent	t Redwood City	CA 94063
LAFCo	Attn: Martha Poyatos	455 County Cent	t Redwood City	CA 94063
U.S. Postal Service	Attn: Steven Stielstra	Facilities Service	San Bruno	CA 94099-
Bay Area Open Space Council	Attn: John Woodbury	246 John Street	Oakland	CA 94611
CA Regional Water Quality Control Boar	Attn: Habte Kifle	1515 Clay Street	t Oakland	CA 94612 -
San Mateo County Dept. of Housing	& Community Devel	c 262 Harbor Boul	Belmont	CA 94002
Redwood City School District	Attn: Ronald Crates,	815 Allerton Stre	Redwood City	CA 94063
County of San Mateo	Attn: John Maltbie, C	400 County Cen	t Redwood City	CA 94063
County of San Mateo	Attn: Terry Burnes, P	1455 County Cen	t Redwood Cit	CA 96063
CA Dept. of Housing & Community Dev.	Division of Housing 8	R P.O. Box 952053	Sacramento	CA 94252
City/County Association of Govt. of SMC	Attn: Richard Napier,	10 Twin Dolphin	Redwood City	CA 94065
Committee for Green Foothills	Attn: Lennie Roberts	339 La Cuesta D	Portola Valle	CA 94028
Sequoia Union High School District	Attn: Dr. Merle Frueh	il 480 James Aver	Redwood City	CA 94062
County of San Mateo	Attn: Marcia Raines,	1455 County Cen	t Redwood Cit	CA 94063
County of San Mateo	Attn: Neil Cullen, Dire	e 555 County Cen	t Redwood Cit	CA 94063
State Clearing House	CA Office of Planning	g P.O. Box 3044	Sacramento	CA95812-3
San Mateo Highlands Community Association	Attn: Cliff Donley, Pre	e 30 Shelburne Pla	a San Mateo	CA 94402
Baywood Park Homeowners Association	n Attn: Gerald Oza <mark>nne</mark>	1434 Enchanted	San Mateo	CA 94402

# Workshop & 500' Radius

Raphael Al Tr	100 Valley View Ct	San Mateo	CA	94402361
Eamonn & Peggy O'Brien-Strain	107 Starlite	San Mateo	CA 94402	
June Strauch	108 CSM Drive	San Mateo	CA 94402	
Rios Robert Noel & Rona Molina	108 Starlite Dr	San Mateo	CA	95112459
Jo & Guy Buovo	1111 Parrot Drive	San Mateo	CA 94402	
Chan Brian H	113 Starlite Dr	San Mateo	CA	94402360
City & Co Of S F Water Dept	1155 Market St Flr5	San Francisco	CA	94070370
Karen Chew	116 CSM Drive	San Mateo	CA 94402	
Massoudi Jahanbakhsh Tr	116 Starlite Dr	San Mateo	CA	94402361
Mcsheery Tracy D	119 Starlite Dr	San Mateo	CA	94402361
Button Nellie B Tr	12 Valley View Ct	San Mateo	CA	94402360
Yan Martin & Susan K Trs	1208 Tournament Dr	Hillsborough	CA	94402361
Kong Jessica	1210 Tournament Dr	Hillsborough	CA	94402361
Evangel Peter & Despena Trs	1220 Tournament Dr	Hillsborough	CA	94402364
Cordell'Robert J & Sue L Trs	123 Lakeshore Dr	San Mateo	CA	94402360
Wong Paul Y & Beatriz C Trs	1230 Tournament Dr	Hillsborough	CA	94402360
Huang Steve C & Angela S	1235 Tournament Dr	Hillsborough	CA	94402360
Tony & Marie O'Rourke	124 CSM Drive	San Mateo	CA 94402	
Ishizaki Masayuki & Yuki	124 Lakeshore Dr	San Mateo	CA	94112-
Jim Castagno	124 Starlite Drive	San Mateo	CA 94402	
Kyle Stephan E	124 Starlite Dr	San Mateo	CA	94402360
Chinn Richard B & Carrie C	1240 Tournament Dr	Hillsborough	CA	94402360
Lim Kent M Tr	1245 Tournament Dr	Hillsborough	CA	94402365
Lee Charles S	125 Starlite Dr	San Mateo	CA	94402361

Ginsburg Lee	1250 Tournament Dr	Hillsborough	CA	94402360
Monozon Michael C Tr	1255 Tournament Dr	-	CA	94010743
Taslim Marcus E	1260 Tournament Dr	~	CA	94402360
Morgan William R & Caren H	1265 Tournament Dr	_	CA	94010743
Yang Nelson C & Jennifer C	1270 Tournament Dr	•	CA	94402361
Mendes Robert P & Dustynne C	1275 Tournament Dr	•	CA	94402363
Li Kam T & Betty W	1285 Tournament Dr	-	CA	94591400
Acw Trust Investments	1290 Tournament Dr		CA	94014-
Chow Hilton H & Kam-Fung L Trs	1305 Tournament Dr	_	CA	94402361
Rob Grialou	131 Lakeshore Drive		CA 94402	
Hanford Edwin T Tr	1315 Tournament Dr	•	CA	94402364
Steve & Barbara Mikulic	132 CSM Drive	San Mateo	CA 94402	
Ong Frank & Ellen	1331 Schooner St	Foster City	CA	94402361
Sweeney Lawrence & Beverly J	1335 Bel Aire Rd	San Mateo	CA	94402361
Chuck & Sarah Farelli	1335 Parrot Drive	San Mateo	CA 94402	
Wadera Ranvir Tr	1342 Bel Aire Rd	San Mateo	CA	94402364
Noreen Hui	1343 Bel Aire Road	San Mateo	CA 94402	
Raposo Carlos	1343 Parrott Dr	San Mateo	CA	94402362
Lee Yao Chung Raymond	1344 Parrott Dr	San Mateo	CA	94402361
Bob Legallet	1347 Rainbow Drive		CA 94402	
Schilling James Walter Jr	1350 Bel Aire Rd	San Mateo	CA	94402361
Chen Tracy L	1351 Bel Aire Rd	San Mateo	CA	94402364
Preiser Larry S Tr	1351 Parrott Dr	San Mateo	CA	94402360
Joelson Ealon M	1352 Parrott Dr	San Mateo	CA	94402000
Conci Dennis E	1358 Bel Aire Rd	San Mateo	CA	94402361
Kalkbrenner Robert L & E A	1359 Bel Aire Rd	San Mateo	CA	94402364
Danigelis William K Tr	1360 Parrott Dr	San Mateo	CA	94402364
Murti Benjamin K & Kristina L	1365 Enchanted Way		CA	94402364
Ghosh Jayant	1366 Bel Aire Rd	San Mateo	CA	94402363
Tong Vincent M & Catherine J	1367 Bel Aire Rd	San Mateo	CA	94402364
Wendy Woodard	1367 Parrot Drive	San Mateo	CA 94402	
Robert Yamamoto	1368 Parrott Drive	San Mateo	CA 94402	0.4.400 0.005
Merrill Wallace C & Mary F	1371 Enchanted Way		CA	94402360
Salvador Melencio M & Mary A P	1374 Bel Aire Rd	San Mateo	CA	94402363
Kelley Mark S	1375 Bel Aire Rd	San Mateo	CA	94402398
Cooney Thomas J & Linda A	1375 Parrott Dr	San Mateo	CA 04400	94402362
Dan & Ashleigh Hager Helen Mann	1383 Bel Aire Road	San Mateo	CA 94402	
	1383 Enchanted Way		CA 94402	04400 000
Logan Gail Charlotte Tr	1383 Parrott Dr 1384 Parrott Dr	San Mateo	CA	94402000
Tognotti Michael J & P E Kiel Walter A & Gloria G		San Mateo	CA	94402360
Dittia Zubin	139 Lakeshore Dr 139 Starlite Dr	San Mateo San Mateo	CA CA	94402363
Soon Dennis L Tr	1392 Bel Aire Rd	San Mateo	CA	94010740
Custino Aaron	1395 Enchanted Way		CA	94402362
Volkov Grigoriy & Yelena	1398 Bel Aire Rd	San Mateo	CA	94402360 94402361
Ron Johnson	1398 Parrot Drive	San Mateo	CA 94402	94402301
Harbison Michael E Tr	1399 Bel Aire Rd	San Mateo	CA 34402	94402361
Hsin Yvonne	1399 Parrott Dr	San Mateo	CA	94010740
Grames Lloyd M & Jalene H Trs	140 Csm Dr	San Mateo	CA	-
Bennett Dorothy L & Dennis Tr	140 Starlite Dr	San Mateo	CA	94402364
Mukha Peter	1405 Enchanted Way		CA	94402361
Grayson Daniel P	1407 Enchanted Way		CA	94402361
		Jan Matoo	371	31102-001

Pitkin Peter B Tr	1411 Enchanted Way	San Mateo	CA	94014-
Mark Williams	1414 Bel Aire Road		CA 94402	
Parisis Simeon Tr	1414 Parrott Dr	San Mateo	CA	94402361
Blutman Mary Sue Tr	1417 Enchanted Way	San Mateo	CA	94402361
Wong Gary Keith	1419 Parrott Dr	San Mateo	CA	94402361
Hens Christopher D & Julie A	1420 Enchanted Way	San Mateo	CA	94402361
Goodwine James K Jr & H L Trs	1423 Enchanted Way	San Mateo	CA	94402362
Metz James J & Linda G	1426 Bel Aire Rd	San Mateo	CA	94402363
Gasparini Louis & Lisa	1426 Parrott Dr	San Mateo	CA	94402000
Dowse Bard K & Marilyn J	1427 Parrott Dr	San Mateo	CA	94402364
Michal Steven P & Susan D	1427 Rainbow Dr	San Mateo	CA	94402361
Haw David Lawrence & Gan Jee C	1428 Enchanted Way		CA	94402363
Balestreri Thomas A & Nancy B	1428 Rainbow Dr	San Mateo	CA	94402364
Abramson Scott Allen & P A Trs	1429 Enchanted Way		CA	94402362
Richard Cole	1431 Tarrytown Stree		CA 94402	
Jean A. Kid <b>era</b>	1432 Bel Aire	San Mateo	CA 94402	
Ozanne Gerard M & Linda C	1434 Enchanted Way		CA	94402361
Ottoboni Gary & Linda K	1435 Enchanted Way		CA	94591400
Dean Evelyn E Tr	1435 Parrott Dr	San Mateo	CA	94402361
• •	1435 Rainbow Dr	San Mateo	CA	94112-
L. Blackton	1438 Bel Aire	San Mateo	CA 94402	
Blackton Louanna	1438 Bel Aire Rd	San Mateo	CA	94309-
Lapier Marie I Tr	1438 Parrott Dr	San Mateo	CA	94402364
Craig Stephen L & Anita M	1439 Rainbow Dr	San Mateo	CA	94402362
George Mitroff	1440 Enchanted Way		CA 94402	
Kanaga Stephen R Tr	1441 Enchanted Way		CA	94402360
Mcdonald Roy	1443 Parrott Dr	San Mateo	CA	94402360
Ward Thomas T & Deanna R Lee	1443 Rainbow Dr	San Mateo	CA	94402364
Huntsberger Carl M	1444 Bel Aire Rd	San Mateo	CA	94108161
Jurado Michael A	1446 Enchanted Way		CA	94402364
Fabris Edward L & Elva A Trs	1447 Enchanted Way		CA	94402361
Hilby Timothy Roland	1449 Ascension Dr	San Mateo	CA	94402363
Massoudi Jahangir & Soudabeh	1450 Bel Aire Rd	San Mateo	CA	94402361
Kenneth B. Weser	1450 Parrot Drive	San Mateo	CA 94402	0.4.400 006
Hughes Michael	1453 Enchanted Way		CA	94402360
Schaible Robert L Tr Fronczak David W	1455 Ascension Dr	San Mateo	CA	94402364
	1456 Ascension Dr	San Mateo	CA	94402362
Roach Geraldine R Jacobs Martha S	1456 Bel Aire Rd	San Mateo	CA	94402364
Kao Shu-Hsin	1459 Enchanted Wy	San Mateo	CA	94112-
Talbot Kurt A & Marilyn Jean	1459 Parrott Dr	San Mateo	CA	94402360
Lam Kevin	1461 Ascension Dr	San Mateo San Mateo	CA	94402364
Swartz Jonathan T	1462 Ascension Dr 1462 Bel Aire Rd	San Mateo	CA CA	94402364
Toti Argentina J	1468 Ascension Dr	San Mateo	CA	94402361 94112-
Ward Edward V & Joyce M	1468 Bel Aire Rd	San Mateo	CA	94112-
Schane Dale E Tr	1469 Ascension Dr	San Mateo	CA	94402360
Novy Brian J & Laurie D	1471 Ascension Dr	San Mateo	CA	94402364
Hart James J & Ellen P	1474 Ascension Dr	San Mateo	CA	
Craig Nishizaki	1474 Ascension Drive		CA 94402	94401-
Fung Willie W & Martha L	1474 Bel Aire Rd	San Mateo	CA 94402 CA	94402000
Hsu Joseph T & Sharon S	1474 Bel Aire Rd	San Mateo	CA	94402364
Nishizaki Craig M Tr	1474 Parrott Dr	San Mateo	CA	94402364
THOMEWAY OR IN THE	1-1-1 anou Di	Carr Maleo		34402304

Dugge Anthony M	4.475 A D -	0	0.4	04400 000
Russo Anthony M	1475 Ascension Dr	San Mateo	CA	94402362
Codemo Patricia M Tr	1475 Parrott Dr	San Mateo	CA	94402361
Sakurai Jennifer L	1479 Ascension Dr	San Mateo	CA '	94402364
Ho James F Tr	148 Csm Dr	San Mateo	CA	94402360
Mulligan Edith E	148 Starlite Dr	San Mateo	CA	94402363
Thomas Robert E & Rosemarie A	1480 Bel Aire Rd	San Mateo	CA	94402362
Beering Joan M Tr	1485 Ascension Dr	San Mateo	CA	95112459
Schwab Ellen M	1486 Ascension Dr	San Mateo	CA	94402362
Stroud Gordon Edward & Palmyre Trs	1486 Parrott Dr	San Mateo	CA	94402-
Loomis Mary Wales Tr	1487 Parrott Dr	San Mateo	CA	94402363
Mishra Dev K Tr	1492 Ascension Dr	San Mateo	CA	94010743
Moroni Donald & Leslie	1496 Bel Aire Rd	San Mateo	CA	94402360
Rathsack Haruko A Tr	1498 Ascension Dr	San Mateo	CA	94402364
Fran & Arnold Baker	1498 Parrot Drive	San Mateo	CA 94402	
Romano Peter J & Glenda L	1499 Parrott Dr	San Mateo	CA	94103-
Witte Maurice E & F G Trs	1500 Ascension Dr	San Mateo	CA	94010-
Rich Torres	1506 Ascension Driv	€ San Mateo	CA 94402	
Gilma P. Walker	151 Starlite Drive	San Mateo	CA 94402	
Givechi Ali	1512 Ascension Dr	San Mateo	CA	94402363
Liu Han-Te & Lin Chun-Hsing	1514 Irving St	San Francisco	CA	94402-
Gunn Scott C Et Al	1514 Parrott Dr	San Mateo	CA	94010740
Greenwood Doris A	1515 Parrott Dr	San Mateo	CA	94402363
Russell Riley R & Tomoko	1518 Ascension Dr	San Mateo	CA	94402363
Aliamus Robert J & M J Trs	1524 Ascension Dr	San Mateo	CA	94402360
Marilyn & Jack Beeman	1526 Parrott Drive	San Mateo	CA 94402	34402300
Grinstead Arthur W Tr	1527 Parrott Dr	San Mateo	CA 94402 CA	04400 363
Suyehiro David K Tr				94402363
•	1530 Ascension Dr	San Mateo	CA	94402361
Whitham Calvin D	1536 Ascension Dr	San Mateo	CA	94402363
Nagle Donald R	1538 Parrott Dr	San Mateo	CA	94402361
Caitlin Wilfred & Jennifer Wilson	1539 Parrot Drive	San Mateo	CA 94402	0.4000
Lawrence Peter C & Diane F Trs	1542 Ascension Dr	San Mateo	CA	94066-
Walker Richard H & G P Trs	155 Starlite Dr	San Mateo	CA-	94402364
Donald & Else Welch	1550 Parrott Drive	San Mateo	CA 94402	
Jones Albert L & Sussan	1551 Parrott Dr	San Mateo	CA	94402362
Lertora Ronald J Tr	1554 Ascension Dr	San Mateo	CA	94402364
Vercelli Christopher J	1556 Parrott Dr	San Mateo	CA	94402361
Jeung Patricia Y Tr	156 Csm Dr	San Mateo	CA	94112-
Aflak Bahram Et Al	1560 Ascension Dr	San Mateo	CA	94402-
Bussey Lee B & Margaret	1561 Ascension Dr	San Mateo	CA	94402362
Murray Nevair	1563 Parrott Dr	San Mateo	CA	95112459
Moser Heinz	1566 Ascension Dr	San Mateo	CA	94402361
Giometti Rhoda L Tr	1570 Ascension Dr	San Mateo	CA	94402364
Tsivikas Eula Tr	1574 Ascension Dr	San Mateo	CA	94112-
Wright Elsie W Tr	1574 Parrott Dr	San Mateo	CA	94402364
Velarde Robert J & Patricia R	1575 Ascension Dr	San Mateo	CA	94402364
Dyson Douglas Tr	1575 Parrott Dr	San Mateo	CA	94402362
Martin Elio L & Barbara L	1578 Ascension Dr	San Mateo	CA	94402361
Sonia & Harold Isaac	1581 Ascension Driv		CA 94402	
Wong Hay C	1582 Ascension Dr	San Mateo	CA	94402361
Frank Shissler	1583 Ascension Driv		CA 94402	3
Llerena Alex	1586 Ascension Dr	San Mateo	CA	94402361
Cummings Roger Wesley Tr	1586 Parrott Dr	San Mateo	CA	94403000
	. Job . anott Di	Jan Malou	J/ 1	J0000C

Uyeda Yoshio & Hiromi Trs	1587 Ascension Dr	San Mateo	CA	94402364
Dierkes Paul M & Margery H	1587 Parrott Dr	San Mateo	CA	94402364
Guzman Edward G & Brenda F	1590 Ascension Dr	San Mateo	CA	94402-
Kennedy William B Tr	1591 Ascension Dr	San Mateo	CA	94402360
Chang Henry S & Stella Y	1593 Ascension Dr	San Mateo	CA	94402000
Schaffer Peter W	1596 Ascension Dr	San Mateo	CA	94402360
Glasgow Edwin M & C F Trs	1597 Ascension Dr	San Mateo	CA	94402365
Tuohey Thomas J & L M Trs	1598 Ascension Dr	San Mateo	CA	94402362
Poremba Clifford J Tr	1599 Parrott Dr	San Mateo	CA	94402-
Pagani Aurelio B & L M Trs	16 Valley View Ct	San Mateo	CA	94010-
Loretta Pagani	16 Valleyview Court	San Mateo	CA 94402	
Simmons Scott A	1601 Ascension Dr	San Mateo	CA	94402361
Sheryl Edwards	1601 Ascension Road	San Mateo	CA 94402	
Sosnick Jeffrey H & Marian J	1605 Ascension Dr	San Mateo	CA	94402363
Ciranni Eugene H & Ruth A	1606 Ascension Dr	San Mateo	CA	94402361
Mcguire D Pat & Doris A Trs	1610 Ascension Dr	San Mateo	CA	94402365
Davis Edwin W Iii	1615 Parrott Dr	San Mateo	CA	94402360
James Inez R Tr	1616 Parrott Dr	San Mateo	CA	94112-
Wil Pinney	1624 Yorktown Road		CA 94402	
O'Connell Dennis V & Shirley G	1627 Parrott Dr	San Mateo	CA	94402-
Estupinian Joseph R Tr	1628 Parrott Dr	San Mateo	CA	94402362
Hubley Bruce D & Susan E Trs	163 Starlite Dr	San Mateo	CA	94402361
Friedman Marvin A & S K Trs	1635 Parrott Dr	San Mateo	CA	94402-
Sparks Marlan Frank Tr	1636 Parrott Dr	San Mateo	CA	94402361
Key Edwin R Tr	164 Kristin Ct	San Mateo	CA	94402363
Pauline Yoshida	164 Starlite Drive	San Mateo	CA 94402	
Sakkestad Robert & Olga V Trs	1644 Parrott Dr	San Mateo	CA	94402364
Richard Glen	1659 Lexington	San Mateo	CA 94402	
Mark & Barbara Phillips	1675 Parrott Drive	San Mateo	CA 94402	
Dubrow Harris Gerald Tr	1705 Los Altos Dr	San Mateo	CA	94402361
Bertiglia Gary D Tr	1706 Los Altos Dr	San Mateo	CA	94402361
Leibs David & Lydia	1709 Los Altos Dr	San Mateo	CA	94402364
Bull Walter E & Yvonne L Trs	1712 Los Altos Dr	San Mateo	CA	94402363
Yuan Yu Jan & Ye-Chiang	1713 Los Altos Dr	San Mateo	CA	94010743
Sullivan Barbara Tr	1717 Los Altos Dr	San Mateo	CA	94402364
Leung Wilfred K & Linda H	172 Kristin Ct	San Mateo	CA	94402361
California Water Service Co	1720 N 1st St	San Jose	CA	94402363
Ma Sammy Shun Chow	1721 Los Altos Dr	San Mateo	CA	94402361
Pileri Carl M & Lois D Trs	1725 Los Altos Dr	San Mateo	CA	94402361
Barney Edward R & Dianne S	1729 Los Altos Dr	San Mateo	CA	94402360
Hal Kuehn	1760 Los Altos Drive	San Mateo	CA 94402	
Hsu Chia Chu	180 Kristin Ct	San Mateo	CA	94010740
Kevin Manalili	1852 Parrott Drive	San Mateo	CA 94402	
Paulina Brusator	1859 Parrott Drive	San Mateo	CA 94402	
Jack & Jane Leddy	1860 Parrott	San Mateo	CA 94402	•
Erik Larson	1875 Parrott	San Mateo	CA 94402	
Huvane Thomas P & Jane C Trs	188 Kristin Ct	San Mateo	CA	94402364
Ramsay Kawar	1883 Parrott Drive	San Mateo	CA 94402	
Gerald McClellan	1899 Parrott Drive	San Mateo	CA 94402	
Ng Nelson & Belle Lim	192 Kristin Ct	San Mateo	CA	94402361
Alice Carhart	1935 Ticonderoga Dr		CA 94402	
Snow Robert	194 Kristin Ct	San Mateo	CA	94402364

G. McGraw	1944 Parrott Drive	San Mateo	CA 94402	
Pau Peter S & Susanna H	20 Brooke Ct	Hillsborough	CA	94402361
Ficklin Vernon W & Dora L	20 Valley View Ct	San Mateo	CA	94402363
Mclaughlin Jean B Tr	20075 Cedar Rd	Sonora	CA	94402363
Alan Palter	2035 Queens Lane	San Mateo	CA 94402	
Rallo A J & M E Trs	205 De Anza Blvd Pn		CA	94402364
Sam Naifeh	2059 New Bruinswick	San Mateo	CA 94402	
Pat O'Neil	2105 Los Altos Drive		CA 94402	
James Goodman	2228 Cobblehill Place		CA 94402	
Westphal Roberta Lee Tr	24 Valley View Ct	San Mateo	CA	95476644
Torres Richard	2580 Summit Drive	Burlingame	CA	94402363
Malardino Ines Tr	28 Valley View Ct	San Mateo	CA	94402361
Sterlekar Olga S Tr	282 Patten St	Sonoma	CA	94402361
Peggy & Jack Prost	30 Mountain View Pla	San Mateo	CA 94402	
Cliff Donley	30 Shelburne Place	San Mateo	CA 94402	
Craig Stuart H Tr Et Al	3021 Leger Ct	Pleasanton	CA	94402360
Hockett Paul John Tr	32 Valley View Ct	San Mateo	CA ·	94402362
San Mateo County Community	3401 College Dr	San Bruno	CA	94010743
Michaels Leonard Tr	36 Valley View Ct	San Mateo	CA	94402361
Rogers John Paul Tr	4 Bennington Ct	San Mateo	CA	94402360
Schulhof David S	40 Valley View Ct	San Mateo	CA	94402364
Singh Ganendra M	44 Admiral Callaghar		CA	94402000
Nelson Herbert W & Wanda J	44 Valley View Ct	San Mateo	CA	94402364
Hesselink Dick & Antje C	48 Valley View Ct	San Mateo	CA	94402361
Juricich Mitchell J & Linda L	52 Valley View Ct	San Mateo	CÁ	94010745
Abreu Antonio Pedro T	56 Valley View Ct	San Mateo	CA	94010743
Robert Winters	56 Valleyview Court	San Mateo	CA 94402	,
Grosey John W Sr & J G Trs	60 Valley View Ct	San Mateo	CA	94402361
Martucci Dean T & Debra B	64 Valley View Ct	San Mateo	CA	94402363
Andrakin Frances T Tr	65 Partridge Ln	Daly City	CA	94402360
Paulus David A & Carolyn B	72 Valley View Ct	San Mateo	CA	94402361
Col. & Mrs Ray Fitts	76 Valley View Court		CA 94402	54462 **661
Fairchild Jane L Tr	78 Valley View Ct	San Mateo	CA	94402364
Fava Bruno & Lida Trs	8 Valley View Ct	San Mateo	CA	94402361
Chandler Helen Anne	80 Valley View Ct	San Mateo	CA	94402363
Hance Daniel J & Grace Trs	84 Valley View Ct	San Mateo	CA	94402364
Orourke John	850 E Brunswick St	San Francisco	CA	94402361
Haslam Robert T	861 Overlook Ct	San Mateo	CA	95370000
Mason Harry J & Caroline A Trs	88 Valley View Ct	San Mateo	CA	94402361
Galatolo Mark A & Norma J	901 Bauer Dr	San Carlos	CA	94402360
Pedersen Arne H & Mary A	92 Valley View Ct	San Mateo	CA	94402362
Chang Wesley Tr	95 Sugar Hill Dr	Hillsborough	CA	94402364
Brugioni Robert L & Linda J	96 Valley View Ct	San Mateo	CA	94402363
Anguiano Robert D	98 Valley View Ct	San Mateo	CA	94402361
Chang Luke Y	P O Box 19106	Stanford	CA	94402362
Kwan John Che K & Susan Ting	PO Box 47300 Morris			94402364
TWEET COMM CHO IT & CUGAN THING	. O BOX 47 OOO MOIN	or long Rong		J-1-02504

70000

NOTIFICATION LIST for Thomas Subdivision

Kevin Rose, Legislative Aide:

November 1973003 19 P 12: 32

of which received any prior notification. These are folks from the San Mateo Oaks, and are immediately adjacent to the project, only two MAI FO COUNTY

Grames

1621 Ascension

San Mateo, CA 94402

Velkovich Family <

140 CSM Dt.

San Matco, CA 94402

O'Rourke Family 124 CSM Dr. San Matco, CA 94402

Viotti Family 1634 Ascension

San Matco, CA 94402 041 - 41-060.

Kuehn Family 1760 Los Altos Dr. San Mateo CA 94402

Edwin Glasgow 1597 Ascension San Mateo, CA 94402

Carl Pilcri 1725 Los Altos Dr. San Mateo, CA 94402

Sincerely,

Gerald McClellan (650) 345-9930

Zimmerman Family 1637 Ascension

San Mateo, CA 94402

Grames Family 1611 Ascension San Mateo, CA 94402

Ciranni Family

San Mateo, CA 94402

1606 CSM Dr.

RECEIVED

PLANNING DIVISION 041 - 402-370 -owled 5001

041-402-430.00/08/5001

Grourke John 850 E Brunswick St San Francisco, CA 94402--3613 Haslam Robert T 861 Overlook Ct San Mateo, CA 94402 Mason Harry J. & Caroline A Trs 88 Valley View Ct San Mateo, CA 94402--3611

Galatolo Mark A & Norma J 901 Bauer Dr San Çarlos, CA 94070-3701 Pedersen Arne H & Mary A 92 Valley View Ct San Mateo, CA 94402--3621 Chang Wesley Tr 95 Sugar Hill Dr Hillsborough, CA 94402--3641

Brugioni Robert L & Linda J 96 Valley View Ct San Mateo, CA 94402--3632

Anguiano-Robert D 98 Valley View Ct San Mateo, CA 94402--3618 Chang Luke Y P O Box 19106 Stanford, CA 94309-9106

Kwan John Che K & Susan Ting PO Box 47300 Morrison Hill Hong Kong, 94402--3646

Funk Family 1621 Ascension Drive San Mateo, CA 94402 Velkovich Family 140 College of San Mateo Drive San Mateo, CA 94402

Viotti Family 1634 Ascension Drive San Mateo, CA 94402 Zimmerman Family 1637 Ascension Drive San Mateo, CA 94402 Grames Family 1611 Ascension Drive San Mateo, CA 94402

Tony & Marie O'Rourke 124 College of San Mateo Drive San Mateo, CA 94402 Hal Kuehn 1760 Los Altos Drive San Mateo, CA 94402 Glasgow Edwin M & C F Trs 1597 Ascension Dr San Mateo, CA 94402--3652

Pileri Carl M & Lois D Trs 1725 Los Altos Dr San Mateo, CA 94402--3613 Ciranni Eugene H & Ruth A 1606 Ascension Dr San Mateo, CA 94402--3618

Sout 11/19/03. updated reading list.



# **WARREN SLOCUM**

Chief Elections Officer & Assessor-County Clerk-Recorder

555 County Center, 1st Floor - Dept. County Clerk 2 Redwood City, Ca. 94063-1665 Phone: 650.363.4500 Website: www.smcare.org

612

# POSTING CONFIRMATION LETTER

JAN 1 4 2004 Date:
Subject: Return of Environmental Documents Filed and Posted for 30 days.  (Public Resources Code Section 21092.3 ●)
To: County of San Matco - Planning_ Name of Agency
File Number(s): Notice of Preparation of a  Draft E.I.R.
The attached document(s) was (were) received, filed and a copy was posted in the office of the County Clerk of San Mateo County on Oct. 13, 2003, and remained posted for thirty (30) calendar days.
WARREN SLOCUM Assessor-County Clerk-Recorder San Mateo County  By:  County EIR Clerk

Section 21092.3 states: "The notices required pursuant to Sections 21080.4 and 21092 for an Environmental Impact Report shall be posted in the office of the county clerk of each county in which the project will be located and shall remain posted for a period of 30 days. The notice required pursuant to Section 21092 for a negative declaration shall be so posted for a period of 20 days, unless otherwise required by law to be posted for 30 days. The county clerk shall post the notices within 24 hours of receipt".

# NOTICE OF PREPARATION

OF A

# DRAFT ENVIRONMENTAL IMPACT REPORT THOMAS SUBDIVISION **OCTOBER 10, 2003**

**Project Title:** 

Thomas Subdivision

**Project Applicant:** 

San Mateo Real Estate, Inc.

**Project Location:** 

Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County

**Project Description:** See attached materials

Lead Agency:

County of San Mateo

Planning & Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94063

Gabrielle Rowan, Project Planner

(650) 363-1829

FILED

OCT 1 3 2003

The County of San Mateo will be the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know the views of your agency as to the scope and content of the EIR which is germane to your agency's statutory responsibilities in connection with the proposed project. Your agency will need to use the EIR when considering your permit or other approval for the project.

The project description, location, and the potential environmental effects of the proposed project are contained in the attached Initial Study.

Please send your response within 30 days of receipt of this notice to Gabrielle Rowan at the address provided above.

ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR.

The public scoping meeting for the EIR will be held on:

Monday, October 27, 2003 at 7:30 p.m. at South Cafeteria, Building 5 College of San Mateo 1700 West Hillsdale Boulevard San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\*

# **Payment Receipt**

Check Number #:160

Receipt #: 0000000000000043705

Name:

**DENNIS THOMAS** 

Address:

.....

Parcel#: 041111360

Case # Account Number Number	Description	Date Paid	Amount Due	Amount Paid
PLN2002-00517 38450-2123	Env.Rev EIR/Prepartion	4/21/2008	47,665.00	47,665.00

Total Paid:

\$47,665.00

# County of San Mateo Planning and Building Division

# **INITIAL STUDY** ENVIRONMENTAL EVALUATION CHECKLIST (To Be Completed By Planning Division)

# **BACKGROUND**

Project Title: Thomas Subdivision
File No.: PLN 2002-00517
Project Location:Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County (See Figures 1 and 2)
Assessor's Parcel No.:041-111-020, 041-111-130, 041-111-160, 041-111-270, 041-111-280, 041-111-320, 041-111-360
Applicant/Owner: Applicant: San Mateo Real Estate, Inc. Owner: John O'Rourke
Date Environmental Information Form Submitted: <u>\August 28, 2002</u>
PROJECT DESCRIPTION
See Attachment A for a detailed description of the proposed project.

# II. ENVIRONMENTAL ANALYSIS

Any controversial answers or answers needing clarification are explained on an attached sheet. For source, refer to pages 10 and 11.

				IMPACT				
			NO	Secretary Secretary	A Committee of the Comm	E\$		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
1.	LA	ND SUITABILITY AND GEOLOGY						
	Wi	ll (or could) this project:						
	a.	Involve a unique landform or biological area, such as beaches, sand dunes, marshes, tidelands, or San Francisco Bay?	X					<u>B, E</u>
	b.	Involve construction on slope of 15% or greater?			X			<u>E</u>
	<b>C.</b>	Be located in area of soil instability (subsidence, landslide or severe erosion)?			X			<u>A, B</u>
	d.	Be located on, or adjacent to a known earthquake fault?			X			<u>B</u>
The second second	e.	Involve Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?	X					<u>B</u>
	f.	Cause erosion or siltation?			X			<u>A, E</u>
	g.	Result in damage to soil capability or loss of agricultural land?	X					<u>B</u>
	h.	Be located within a flood hazard area?	X					<u>G</u>
	i.	Be located in an area where a high water table may adversely affect land use?			X			<u>B</u>
	j.	Affect a natural drainage channel or streambed, or watercourse?	X					<u>E</u>
2.	VE	GETATION AND WILDLIFE						
	Wi	Il (or could) this project:						
	а.	Affect federal or state listed rare or endangered species of plant life in the project area?	x					В

				166	IMPACT	N. Markey		
			NO	Part Act	Company of the second of the s	ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
t	b.	Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?			X			<u>E</u>
C	С.	Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?			X			<u>E</u>
c	d.	Significantly affect fish, wildlife, reptiles, or plant life?			X			<u>E</u>
€	Э.	Be located inside or within 200 feet of a marine or wildlife reserve?	X					<u>B</u>
f		Infringe on any sensitive habitats?			X			<u>B</u>
g	g.	Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?			X			<u>B, E</u>
3. <u>F</u>	ЭΗ'	YSICAL RESOURCES						
V	∕Vill	(or could) this project:		·				
а		Result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, oil, trees, minerals or top soil)?	X					<u>B</u>
b	<b>)</b> .	Involve grading in excess of 150 cubic yards?			X			<u>E</u>
С	).	Involve lands currently protected under the Williamson Act (agricultural preserve) or an Open Space Easement?	X					<u>E, F</u>
d	i.	Affect any existing or potential agricultural uses?	X					<u>A, E, F</u>

			32.4		IMPACT			
			NO NO		the real property of the second	ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
4.	Alf	R QUALITY, WATER QUALITY, SONIC						
	Wil	I (or could) this project:						
	a.	Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?			_X_			<u>E</u>
	b.	Involve the burning of any material, including brush, trees and construction materials?	X					<u>E</u>
	C.	Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?		X				<u>E</u>
	d.	Involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances, or radioactive material?	X					<u>E</u>
	e.	Be subject to noise levels in excess of levels determined appropriate according to the County Noise Ordinance or other standard?	x					<u>B</u>
	f.	Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?			x			<u>E</u>
	g.	Generate polluted or increased surface water runoff or affect groundwater resources?			X			<u>E</u>
	h.	Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?			X			<u>E</u>

					IMPACT		Maria Tarah Barana A	
			NO			ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
5.	TR	ANSPORTATION						
	Wi	ll (or could) this project:						
	a.	Affect access to commercial establishments, schools, parks, etc.?	X					<u>E</u>
	b.	Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?	X					<u>E</u>
	c.	Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?		X				<u>E</u>
	d.	Involve the use of off-road vehicles of any kind (such as trail bikes)?	X				<u></u>	<u>E</u>
	e.	Result in or increase traffic hazards?			X		Mark 19 10 10 10 10 10 10 10 10 10 10 10 10 10	<u>E</u>
	f.	Provide for alternative transportation amenities such as bike racks?	X					<u>E</u>
	g.	Generate traffic which will adversely affect the traffic carrying capacity of any roadway?			X		<u></u>	<u>E</u>
6.	<u>LA</u>	ND USE AND GENERAL PLANS						
	Wil	I (or could) this project:						
	a.	Result in the congregating of more than 50 people on a regular basis?	X					<u>E</u>
	b.	Result in the introduction of activities not currently found within the community?	X					<u>E</u>
	C.	Employ equipment which could interfere with existing communication and/or defense systems?	X					<u>E</u>

		- 12km/2		IMPACT			
		NO		Particle & Salar Committee Charles and Bridge and World Committee	ES		
			Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
d.	Result in any changes in land use, either on or off the project site?	_X_					<u>E</u>
e.	Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?	X					<u>E</u>
f.	Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?			X			<u>E</u>
g.	Generate any demands that will cause a public facility or utility to reach or exceed its capacity?			X			<u>E</u>
h.	Be adjacent to or within 500 feet of an existing or planned public facility?		X				<u>E</u>
i.	Create significant amounts of solid waste or litter?			X			<u>E</u>
j.	Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?		<del></del>	X		<del></del>	<u>E</u>
k.	Require an amendment to or exception from adopted general plans, specific plans, or community policies or goals?	X					<u>E</u>
I.	Involve a change of zoning?	<u>X</u>					<u>E</u>
m.	Require the relocation of people or businesses?	X					<u>E</u>
n.	Reduce the supply of low-income housing?	X					<u>E</u>

			in the		IMPACT			
			NO		Franklike von Anter State bestellt in der	ES		
			X.	Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
	0.	Result in possible interference with an emergency response plan or emergency evacuation plan?	X					<u>E</u>
	p.	Result in creation of or exposure to a potential health hazard?	X					<u>E</u>
7.	<u>AE</u>	STHETIC, CULTURAL AND HISTORIC				:		
	Wi	ll (or could) this project:						
	a.	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X			<u>B, E</u>
	b.	Obstruct scenic views from existing residential areas, public lands, public water body, or roads?			X			<u>B, E</u>
	C.	Involve the construction of buildings or structures in excess of three stories or 36 feet in height?	X	<del></del>				<u>E</u>
	d.	Directly or indirectly affect historical or archaeological resources on or near the site?	X	<del></del>				<u>B, E</u>
	e.	Visually intrude into an area having natural scenic qualities?		X				<u>A, E</u>

# III. RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		Х	
State Water Resources Control Board		Х	
Regional Water Quality Control Board	Х		Storm Water Pollution Prevention Plan (SWPPP)
State Department of Public Health		Х	
San Francisco Bay Conservation and Development Commission (BCDC)		X	

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Environmental Protection Agency (EPA)		Х	
County Airport Land Use Commission (ALUC)		Х	
CalTrans		Х	
Bay Area Air Quality Management District		Х	
U.S. Fish & Wildlife Service		Х	
Coastal Commission		Х	
City		Х	
Sewer/Water District:		Х	
Other:		Х	

### IV. MITIGATION MEASURES

Mitigation measures have been proposed in project application.	Yes X	No
Other mitigation measures are needed.	X	

The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:

- Grading and construction activities must adhere to standards contained in the County's Noise Ordinance.
- Best management practices (BMPs) to be used during grading and construction (e.g. grading in the dry season, protecting storm drain inlets, etc.)
- Trees removed would be replaced with new native trees at a 3:1 ratio.
- Thirty-two percent (approximately two acres) of the project site would be designated as a conservation easement.

# V. MANDATORY FINDINGS OF SIGNIFICANCE

		Yes	No
1.	Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal, or eliminate important examples of the major periods of California history or prehistory?	X	
2.	Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?		X
3.	Does the project have possible environmental effects which are individually limited, but cumulatively considerable?	X	
4.	Would the project cause substantial adverse effects on human beings, either directly or indirectly?		X

4	4. Would the project cause substantial adverse effects on human beings, either directly or indirectly?			
On	the basis of this initial evaluation:			
	I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DEC prepared by the Planning Division.	LARATION w	ill be	
	I find that although the proposed project could have a significant effect on the environment, there WILL NOT this case because of the mitigation measures in the discussion have been included as part of the proposed prop			
	X I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL required.	IMPACT REF	PORT is	
	(Sign) Rilly			
Dat	9/25/03 Regions/ Manager (Title)			

## VI. SOURCE LIST

- A. Field Inspection
- B. County General Plan 1986
- C. County Subdivision Regulations
- D. County Zoning Regulations
- E. Vesting Tract Map or EIF
- F. Williamson Act Maps
- G. FEMA Flood Hazard Map, ESRI/FEMA Project Impact Hazard Information and Awareness Site

CPD FORM A-ENV-30 FRM00018.DOC (8/4/1999)

# ATTACHMENT A County of San Mateo Environmental Services Agency Planning and Building Division

Initial Study Pursuant to CEQA
Project Narrative to Questions for the Initial Study
File Number: PLN 2002-00517
Thomas Subdivision

#### Introduction

The proposed project consists of a major subdivision and a grading permit to divide six legal parcels, totaling 13.3 acres, into 25 single-family lots.

#### **Environmental Setting**

The project site is located on the eastern corner of Bel Aire Road and Ascension Drive, within the unincorporated San Mateo Highlands area of San Mateo County (see Figures 1 and 2). The project site is undeveloped and is located southwest of the City of San Mateo. On-site vegetation includes grassland, small brush, and approximately 78 trees (e.g. oak trees, pine trees and eucalyptus trees). The general plan designation for the project site is Medium Low Density Residential (2.4 – 6.0 dwelling units/acre). The project site is zoned R-1/S-8 (single-family residential/7,500 square foot minimum lot size). This zoning requires 40% yard coverage, and setbacks of 20 feet (front and back yards) and five feet (side yards). The maximum height limit for the project site is three stories or 36 feet.

The project site is surrounded by single-family homes. A water tank (owned by the California Water Service Company) and a cell site are enclosed by the project site and are served by a small access road that connects to Bel Aire Road, which also serves as the only access point to the site. This piece of property is not a part of the proposed project.

#### **Project Description**

The proposed project consists of a 25-lot single-family residential subdivision on a public street, with lot sizes ranging from 10,120 square feet to 17,590 square feet (see Figure 3). Lots are proposed to be located on both sides of a new public street, which would be 32 feet wide. Approximately 100,200 cubic yards (cy) of earth material would be graded for the proposed project on a slope averaging 40 percent. Specifically, the grading phase of the proposed project would require approximately 93,100 cy of cut material and 7,100 cy of fill material.

New utility lines would need to be installed to accommodate the proposed project. California Water Service would provide water services to the project site. Water lines would be connected to the site from two points: (1) the intersection of Bel Aire Road and the new public street built by the project site, and (2) an extension at the northeastern edge of the project site from the north where there are other single family homes receiving water service. Storm drain inlets would be provided near the project site entrance, the northeastern portion of the project site, and three points along the southern portion of the project site. Sanitary sewer lines would exit the project site at two points near the entrance and at the southwestern and northeastern portions of the project site. Sewer service would be provided by Crystal Springs Sanitary District.

The proposed project would provide recreational trails, a tot lot, and a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation.

The individual homes of the proposed project would require building permits. The project applicant is requesting approval of the Tentative Subdivision Map and the Grading Plan.

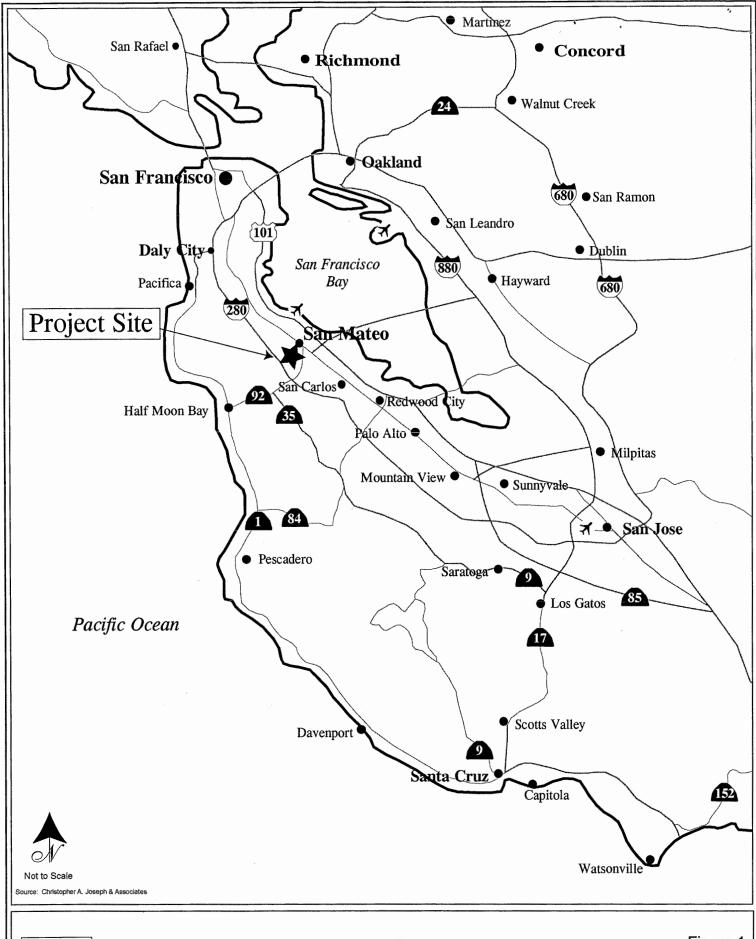
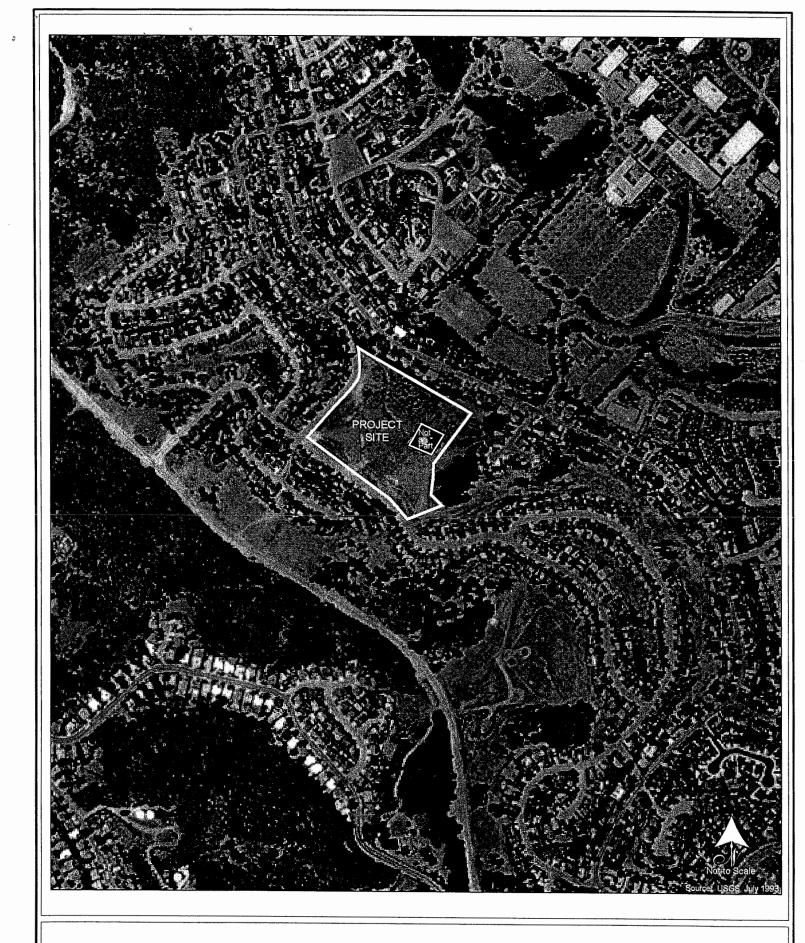
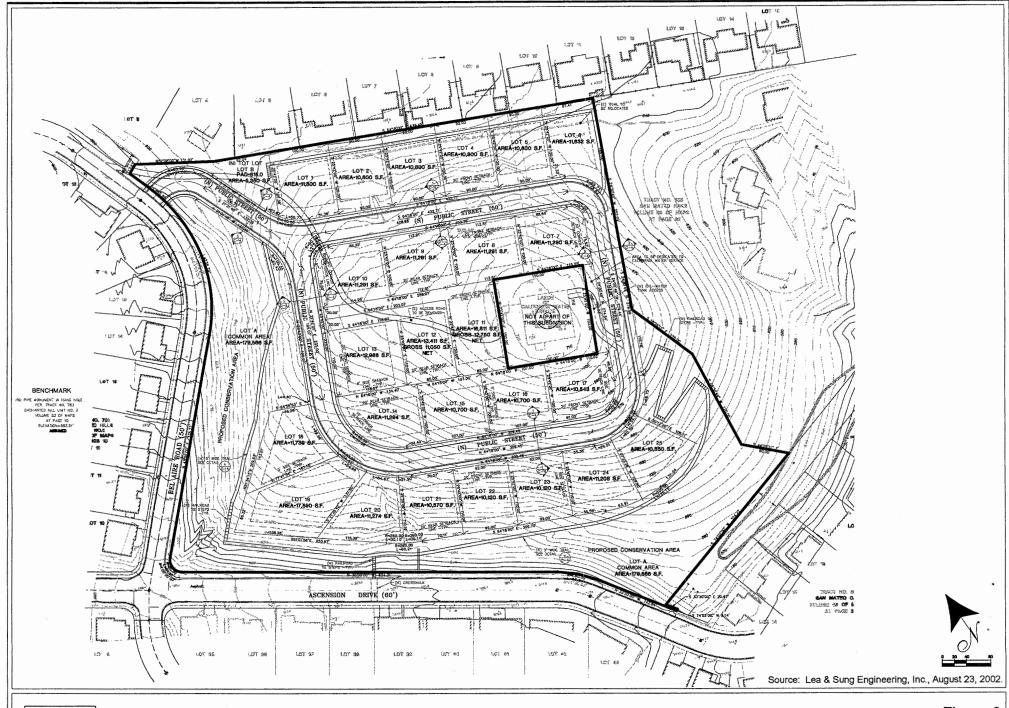




Figure 1 Regional Map







CHRISTOPHER A. JOSEPH & ASSOCIATES Environmental Planning and Research

Figure 3
Tentative Tract Map

#### ANSWERS TO INITIAL STUDY QUESTIONS

#### 1. LAND SUITABILITY AND GEOLOGY

#### b. Involve construction on slope of 15% or greater?

The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Such grading is proposed in order to create suitable building pads and access roads. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### c. Be located in area of soil instability (subsidence, landslide or severe erosion)?

Historical landslide activity in the subdivision adjacent to the site indicates that the slopes may be highly susceptible to landslides. For example, a landslide occurred in 1983 between Rainbow Drive and Starlite Drive, approximately 800 feet northwest of the site. The north boundary (headscarp) of the 1983 landslide extended into the back yards of several Starlite Drive properties and threatened several homes. Another landslide occurred in 1997 between Polhemus Road and Rainbow Drive, approximately 1,200 feet northwest of the site. Additionally, surficial erosion is visible on-site. If not properly designed, the project could exacerbate soil erosion during runoff conditions. Therefore, additional analysis of these issues is required.

#### d. Be located on, or adjacent to a known earthquake fault?

The project site is located less than one mile east of the San Andreas Fault and the Alquist-Priolo Special Studies Zone. The project site will experience strong seismic ground shaking in the event of an earthquake along the San Andreas Fault. If not properly designed, significant damage could occur to proposed on-site buildings and roadways. Additional analysis is required.

#### f. Cause erosion or siltation?

The project site is subject to natural erosion and siltation during periods of high runoff. Surficial erosion is visible on-site. Soils would be exposed during grading and construction. If not properly designed, the project could result in slope erosion and siltation during runoff conditions. Additional analysis of these issues is required which documents anticipated increases in siltation.

#### i. Be located in an area where a high water table may adversely affect land use?

The project site is located within the Pulgas Watershed and within a groundwater basin. It is unknown at this time at what depth the water table is on-site. Because water table depths vary from place to place, additional analysis of this issue is required which documents the approximate water table depth and if it could affect the proposed project.

#### 2. VEGETATION AND WILDLIFE

# b. Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?

The proposed project would remove 37 of the 78 trees located on-site. Three of the 37 trees proposed to be removed are significant trees, which are 12-inches or more in diameter. It is unknown at this time if any of the 37 trees proposed to be removed are heritage trees. All of the large pine trees on the site will remain and the existing trees removed would be replanted with new native trees at a 3:1 ratio. Additional analysis of this issue is required, including a review of the Heritage Tree ordinances, a tree survey and, if necessary, the identification of any required mitigation measures.

# c. Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?

While the project site does not contain a natural water source, there are a variety of native and nonnative trees on-site that may provide a habitat food source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species. Existing trees proposed to be removed would be replanted with new native trees at a 3:1 ratio. The proposed project would also provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. Additional analysis of these issues is required, including the identification of required mitigation measures.

#### d. Significantly affect fish, wildlife, reptiles, or plant life?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

#### f. Infringe on any sensitive habitats?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources and sensitive habitats, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

g. Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?

The project site is not located within a County Scenic Corridor or a sensitive habitat or buffer zone. However, the proposed project would require the clearing of more than 5,000 square feet of land. The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 3. PHYSICAL RESOURCES

#### b. Involve grading in excess of 150 cubic yards?

Grading of the project site is required in order to create suitable building pads and access roads. The project would require grading of approximately 100,200 cubic yards of earth. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 4. AIR QUALITY, WATER QUALITY, SONIC

a. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?

Grading and construction of the project site would result in the creation of a variety of air pollutant emissions, such as fugitive dust, carbon monoxide, nitrogen dioxide, and sulfur dioxide. Such emissions may exceed the air quality standards established by the Bay Area Air Quality Management District (BAAQMD). During operation of the project, regional emissions would be generated by mobile sources, and to a lesser extent, stationary sources. Mobile emissions (e.g. carbon monoxide) would occur as a result of project-related motor vehicles traveling to and from the project site. Stationary source emissions would occur indirectly as a result of space and water heating systems, and various appliances. While operational emissions are not anticipated to exceed BAAQMD standards, additional analysis of air quality impacts from the project is required, including the identification of applicable regulations and any required mitigation measures.

c. Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?

Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors,

existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

# f. Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?

Implementation of the proposed project may result in an increase in ambient noise levels during both the construction phase and the operational phase. During the construction phase, heavy equipment and machinery would be used to grade the site, to install various infrastructure, and to construct the access roads and single-family residences. These activities may increase the existing noise levels at adjacent residential properties in excess of levels determined appropriate. All grading and construction activities are required to adhere to standards contained in the County's Noise Ordinance (e.g. hours of construction). Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population and as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors, existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

#### g. Generate polluted or increased surface water runoff or affect groundwater resources?

Without proper mitigation, the proposed project could contribute to the degradation of existing surface water quality conditions, primarily due to: 1) potential erosion and sedimentation during the grading phase; 2) automobile/street-generated pollutants (e.g., oil and grease, tire wear, etc.); 3) fertilizers associated with landscaping; and 4) particulate matter from dirt and dust generated on the project site.

The project site contains an access road used for the water tank and cell sites. The remainder of the project site consists of undeveloped land. Construction of the project would result in an increase in impermeable surfaces, which would increase existing storm water runoff levels.

Additional analysis is required which documents the project's potential to degrade water quality during the grading/construction and operational phases, as well as the increased runoff associated with the project. The additional analysis shall also document the adequacy of the applicant's proposed best management practices (BMPs) as well as existing water quality regulations and standards and any required mitigation measures.

# h. Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?

The project applicant proposes a sanitary sewer system for wastewater disposal instead of septic systems. The Crystal Springs County Sanitation District serves the project area. Additional analysis is required which documents the existing and projected available wastewater treatment capacity, future sewage generation by the proposed project, capacities of sewer lines that would serve the project site, and any required mitigation measures.

#### 5. TRANSPORTATION

#### c. Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?

The proposed project would bring additional traffic to a site that previously only was visited by maintenance vehicles for the water tank and cell sites. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, potential traffic impacts from the proposed project, and any required mitigation measures.

#### e. Result in or increase traffic hazards?

Several of the roads that access the project area are relatively steep (e.g. portions of Bel Aire Road and Ascension Drive). Also, the access road to the project site is located on a curve on Bel Aire Road. This curve may represent potential traffic hazards for vehicles entering and exiting the project site. Conversely, the increased vehicular traffic entering and exiting the project site may create traffic hazards for motorists traveling on Bel Aire Road. The grading phase of the proposed project also

requires the use of heavy trucks to export approximately 86,000 cy of soil from the site to an off-site location. These circumstances warrant additional analysis and mitigation, as necessary.

#### g. Generate traffic which will adversely affect the traffic carrying capacity of any roadway?

The addition of 25 single-family homes would add traffic to the roadways surrounding the project site. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

#### 6. LAND USE AND GENERAL PLANS

f. Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?

A traffic study for the project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may affect the capacity of public facilities and utilities. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

# g. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may cause a public facility or utility to reach or exceed its capacity. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water and energy conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

#### h. Be adjacent to or within 500 feet of an existing or planned public facility?

The project site encloses a piece of property (which is not part of the proposed project) housing a water tank owned by the California Water Service Company. The College of San Mateo is located approximately 350 feet northeast of the project site. Two rows of housing and Parrot Drive separate the project site from the College. No significant impact is anticipated.

#### i. Create significant amounts of solid waste or litter?

Implementation of the proposed project would result in an increase in solid waste generated at the site on a daily basis. This issue requires additional analysis, including: the identification of landfills that accept solid waste from the project area; the existing and planned future capacities of each landfill; the daily amount of solid waste to be generated by the proposed project; existing recycling regulations; and any required mitigation measures.

#### Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for electricity and natural gas. Additional analysis is required which documents the utility service providers, the daily amount of electricity and natural gas

to be consumed by the project, an assessment as to whether the utilities can adequately serve the project site, energy conservation measures, and any required mitigation measures.

#### 7. AESTHETIC, CULTURAL AND HISTORIC

#### a. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?

The project site is not located within a scenic corridor. However, the project site is located outside of the I-280 State Scenic Corridor which is an important viewpoint. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### b. Obstruct scenic views from existing residential areas, public lands, public water body, or roads?

The project site is not located within the I-280 State Scenic Corridor but is located within the Polhemus County Scenic Corridor. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### e. Visually intrude into an area having natural scenic qualities?

The project site is undeveloped land characterized by natural scenic qualities. Construction of the project would eliminate areas that contain natural scenic qualities. Existing trees removed would be replanted with new native trees at a 3:1 ratio. The proposed project would provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. The project site is also surrounded by existing residential uses. However, additional analysis of the project's impact on natural scenic qualities is required, including an assessment of proposed on-site landscaping, and any other required mitigation measures.

RECEIVED

7003 JAN 15 P 4: 53

From:

Gabrielle Rowan

To:

Jay Mazzetta: Jean Demouthe

Date:

12/22/2003 6:24:39 PM

Subject:

PLN2002-00517 - Thomas Subdivision

#### Jay/Jean

I have put copies of the Geotechnical report and peer review comments received from the EIR consultants for this project - to keep you updated on the review of this project.

We have received lots of comments/concerns regarding the geotech work for this subdivision and this will be a major topic in the EIR - so I wanted to make sure you are kept up to date with the progress of the geotech work.

Also, a number of people have mentioned a recent slide on Los Altos Drive. I was wondering if you would have any information on this and whether this should be investigated as part of the geo-review for this project on Ascension and Bel Aire.

Thanks

Gabrielle,

The slide on los Altos was repaired under GRO97-0012. It affected four addresses:

1739, 1741, 1745 & 1749 Lu, Ats Done.

# Thomas Subdivision Environmental Impact Report (EIR) Items Needed <u>from the Applicant to Prepare EIR</u>

1.	Full size plans (grading, drainage, utility composite plan, etc.)
2.	Technical Reports prepared for project: a) drainage; 2) geology; 3) Phase I Environmental Site Assessment?; 4)
3.	Aerial photograph or other maps of site if available
4.	Landscape plan if available
5.	Elevations & architectural renderings if available
6.	Building materials and colors if available
7. 8.	Approximate start of grading, construction, length of grading, construction, and buildout date-year (or phasing if applicable)  List of pending projects in unincorporated San Mateo County near project site (CAJA working with Gabrielle and City of San Mateo to update the list per the scoping meeting comments).
	Updated project description information if applicable (e.g. revised grading, lots, etc.)  Input on questions submitted in previous email to County:
	<ul> <li>While the precise site to export the soil to may change over time due to availability, we need to show in the EIR where the soil would go, or some possible locations. We also need to describe the proposed haul route. Does the applicant's team have any ideas about the soil haul truck route(s)?</li> <li>Approximately what size of haul truck is anticipated to be used for the soil hauling? Mr. McClelland suggested an eight (8) cubic yard truck,</li> </ul>

but perhaps a 10 cubic yard truck could be used. This is needed to

• In quantifying truck trips, we will assume a five day work week, but

trucks won't likely be used later in the day based on my experience. So the hours per day might be something like 8AM -3PM? Or Less? Would grading occur on a Saturday? The more detailed information we can provide for the soil hauling the more accurate the EIR will be in

quantify truck trips.

quantifying the truck trips and describing impacts from the trucks (e.g. traffic, air, noise). A construction plan would help a lot but is not required.

- 11. Would air brakes be used for soil haul trucks?
- 12. How long of a trip would be required for the soil haul trucks?
- 13. Where would construction workers park?



Environ ntal Services Agency

Planning and Building Division

# **County of San Mateo**

Mail Drop PLN 122 • 455 County Center, 2nd Floor • Redwood City California 94063 • www.co.sanmateo.ca.us/planning • plnbldg@co.sanmateo.ca.us

Board of Supervisors Mark Church

Richard S. Gordon Jerry Hill Rose Jacobs Gibson Michael D. Nevin

Marcia Raines Director

Terry Burnes
Planning Administrator

650/363-4161 FAX 650/363-4849

Facsimile Transmittal Sheet
Date sent: 12 17 03
To be delivered to: DENNIS THONAS
Facsimile number: 578 0394
Sent by: GARHELE ROWAN.
Number of pages to follow Cover Sheet:
Message or Special Instructions:
please fed attached a list of additional informer
equired by the ETR consultants.
, 2
I think we should sit down and go
tunigh these. I'll give you a call to
arrange a suitable time.
Thanks
Gerbriella

Our facsimile number is (650) 363-4849.

Please call (650) 363-4161 immediately if there is any problem with this transmission. Thank you.

## Thomas Subdivision Environmental Impact Report (EIR) Additional Issues to Discuss with County per the EIR Scoping Meeting

1. Which buildout year to use for the project (traffic, etc.)?

completion of traffic 2. Shall a health risk assessment/modeling of air pollutants during grading/construction be added to the EIR scope? This would help identify impacts air quality impacts to individuals in the neighborhood, but is not typically done as a part of an EIR. BAAQMD does not have any significance thresholds for grading/construction emissions. They recommend Best Management Practices to reduce emissions during grading/construction.

- 3. Should we increase the geologist scope/cost (by about \$500) to look at the Los Altos Drive landslide? He already looked at a few other landslides in the area in relationship to the project, but not the one on Los Altos mentioned by Pat McGuire at the meeting.
- 4. The more detailed information available about the grading/construction phases, the more accurate the EIR will be in terms of short-term impacts related to truck trips, air, noise, etc.

## NOTICE OF PREPARATION

#### OF A

## DRAFT ENVIRONMENTAL IMPACT REPORT THOMAS SUBDIVISION **OCTOBER 10, 2003**

**Project Title:** 

Thomas Subdivision

**Project Applicant:** 

San Mateo Real Estate, Inc.

**Project Location:** 

Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County

**Project Description:** See attached materials

Lead Agency:

County of San Mateo

Planning & Building Division 455 County Center, 2nd Floor Redwood City, CA 94063

Gabrielle Rowan, Project Planner

(650) 363-1829

The County of San Mateo will be the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know the views of your agency as to the scope and content of the EIR which is germane to your agency's statutory responsibilities in connection with the proposed project. Your agency will need to use the EIR when considering your permit or other approval for the project.

The project description, location, and the potential environmental effects of the proposed project are contained in the attached Initial Study.

Please send your response within 30 days of receipt of this notice to Gabrielle Rowan at the address provided above.

ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR.

The public scoping meeting for the EIR will be held on:

Monday, October 27, 2003 at 7:30 p.m. at South Cafeteria, Building 5 College of San Mateo 1700 West Hillsdale Boulevard San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\*

# County of San Mateo Planning and Building Division

# INITIAL STUDY ENVIRONMENTAL EVALUATION CHECKLIST (To Be Completed By Planning Division)

## **BACKGROUND**

Project Title: <u>Thomas Subdivision</u>			
File No.: PLN 2002-00517			
Project Location: <u>Eastern corner of Be</u>	el Aire Road and Ascension Drive, San	Mateo County (See Figures 1 and 2)	
Assessor's Parcel No.: 041-111-020,	<u>041-111-130, 041-111-160, 041-111-27</u>	<u>70, 041-111-280, 041-111-320, 041-1</u>	11-360
Applicant/Owner: Applicant: San Mate	o Real Estate, Inc. Owner: John O'R	Courke	
Date Environmental Information Form Su	bmitted: August 28, 2002		
PROJECT DESCRIPTION			
See Attachment A for a detailed descrip	otion of the proposed project.		

## II. ENVIRONMENTAL ANALYSIS

Any controversial answers or answers needing clarification are explained on an attached sheet. For source, refer to pages 10 and 11.

					IMPACT			
			NO		property of the property of the property	ES		5 452
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
1.	<u>L/</u>	AND SUITABILITY AND GEOLOGY						
	W	ill (or could) this project:						
	a.	Involve a unique landform or biological area, such as beaches, sand dunes, marshes, tidelands, or San Francisco Bay?	X					<u>B, E</u>
	b.	Involve construction on slope of 15% or greater?			X			<u>E</u>
	c.	Be located in area of soil instability (subsidence, landslide or severe erosion)?			X			<u>A, B</u>
	d.	Be located on, or adjacent to a known earthquake fault?			X			В
	e.	Involve Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?	X					<u>B</u> .
	f.	Cause erosion or siltation?			X			<u>A, E</u>
	g.	Result in damage to soil capability or loss of agricultural land?	X			·		В
	h.	Be located within a flood hazard area?	X		<del></del> .			<u>G</u>
	i.	Be located in an area where a high water table may adversely affect land use?			X			В
	j.	Affect a natural drainage channel or streambed, or watercourse?	x		<u>-</u>			<u>E</u>
2.	<u>VE</u>	GETATION AND WILDLIFE						
	Wi	Il (or could) this project:						
	a.	Affect federal or state listed rare or endangered species of plant life in the project area?	X					<u>B</u>

					IMPACT	A PART OF		
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				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
	b.	Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?			X			<u>E</u>
	C.	Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?			X			<u>E</u>
	d.	Significantly affect fish, wildlife, reptiles, or plant life?	1		X			<u>E</u>
	e.	Be located inside or within 200 feet of a marine or wildlife reserve?	x					<u>B</u>
	f.	Infringe on any sensitive habitats?			X			<u>B</u>
	g.	Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?		<del></del> .	_X_			<u>B, E</u>
3.	<u>PH</u>	YSICAL RESOURCES						
	Wil	I (or could) this project:						
	a.	Result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, oil, trees, minerals or top soil)?	X	·				<u>B</u>
	b.	Involve grading in excess of 150 cubic yards?			X			<u>E</u>
	C.	Involve lands currently protected under the Williamson Act (agricultural preserve) or an Open Space Easement?	X					<u>E, F</u>
	d.	Affect any existing or potential agricultural uses?	_x_					<u>A, E, F</u>

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				Not	Significant Unless			
				Significant	Mitigated	Significant	Cumulative	SOURCE
4.	All	R QUALITY, WATER QUALITY, SONIC						
	Wi	ll (or could) this project:	·					
	a.	Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?		· · · · · · · · · · · · · · · · · · ·	X			<u>E</u>
	b.	Involve the burning of any material, including brush, trees and construction materials?	X					<u>E</u>
	c.	Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?		·X				<u>E</u>
	d.	Involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances, or radioactive material?	X					<u>E</u>
	e.	Be subject to noise levels in excess of levels determined appropriate according to the County Noise Ordinance or other standard?	X				·	<u>B</u>
	f.	Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?			X			<u>E</u>
	g.	Generate polluted or increased surface water runoff or affect groundwater resources?			X			<u>E</u>
	h.	Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?			X			<u>E</u>

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			NO:		Market Company of the Same of the Company of the Co	ES	L	
	20-11-11-1			Not Significant	Significant Unless Mitigated	Significant	Gumulative	SOURCE
5.	TF	RANSPORTATION						
	W	ill (or could) this project:						
	a.	Affect access to commercial establishments, schools, parks, etc.?	X					<u>E</u>
	b.	Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?	<u> </u>					E
	c.	Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?		X				<u>E</u>
-	d.	Involve the use of off-road vehicles of any kind (such as trail bikes)?	X		<del></del>			<u>E</u>
	e.	Result in or increase traffic hazards?			X			<u>E</u>
	f.	Provide for alternative transportation amenities such as bike racks?	X					<u>E</u>
	g.	Generate traffic which will adversely affect the traffic carrying capacity of any roadway?			X			<u>E</u>
6.	<u>LA</u>	ND USE AND GENERAL PLANS						
	Wil	I (or could) this project:						
	a.	Result in the congregating of more than 50 people on a regular basis?	_x_					<u>E</u>
	b.	Result in the introduction of activities not currently found within the community?	_x_					<u>E</u>
	c.	Employ equipment which could interfere with existing communication and/or defense systems?	x					<u>E</u>
			I			·	L	
							ŧ .	

		NO	IMPACT YES				
			Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
d.	Result in any changes in land use, either on or off the project site?	X					<u>E</u>
e.	Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?	- <u>X</u>					<u>E</u>
f.	Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?			_x_	<u> </u>		<u>E</u>
g.	Generate any demands that will cause a public facility or utility to reach or exceed its capacity?	-		X			<u>E</u>
h.	Be adjacent to or within 500 feet of an existing or planned public facility?		_x_		<del></del> .		<u>E</u>
i.	Create significant amounts of solid waste or litter?			_x_			<u>E</u>
j.	Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?		· .	X			<u>E</u>
k	Require an amendment to or exception from adopted general plans, specific plans, or community policies or goals?	X					<u>E</u>
l.	Involve a change of zoning?	X					<u>E</u>
m.	Require the relocation of people or businesses?	X					<u>E</u>
n.	Reduce the supply of low-income housing?	_x_					<u>E</u>

			Was a	in the second	IMPACT	Sample State Committee		
			NO		and the second second second	ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
	о.	Result in possible interference with an emergency response plan or emergency evacuation plan?	<u> </u>			<del></del>		<u>E</u>
	p.	Result in creation of or exposure to a potential health hazard?	X					<u> </u>
7.	AE	STHETIC, CULTURAL AND HISTORIC						
	Wil	I (or could) this project:						
	a.	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X			<u>B, E</u>
	b.	Obstruct scenic views from existing residential areas, public lands, public water body, or roads?			X	•		<u>B, E</u>
	c.	Involve the construction of buildings or structures in excess of three stories or 36 feet in height?	X					<u>E</u>
	d.	Directly or indirectly affect historical or archaeological resources on or near the site?	X		<del></del>			<u>B, E</u>
- Constitution of the Cons	e.	Visually intrude into an area having natural scenic qualities?		X				<u>A, E</u>

III. RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		Х	
State Water Resources Control Board		Х	
Regional Water Quality Control Board	Х		Storm Water Pollution Prevention Plan (SWPPP)
State Department of Public Health		Х	
San Francisco Bay Conservation and Development Commission (BCDC)		Х	

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Environmental Protection Agency (EPA)		X	
County Airport Land Use Commission (ALUC)		Х	
CalTrans		Х	
Bay Area Air Quality Management District		. X	
U.S. Fish & Wildlife Service		Х	
Coastal Commission		Х	
City		Х	·
Sewer/Water District:		X	
Other:		X	
·			

#### IV. MITIGATION MEASURES

Mitigation measures have been proposed in project application.	Yes X	No ———
Other mitigation measures are needed.	X_	

The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:

- Grading and construction activities must adhere to standards contained in the County's Noise Ordinance.
- Best management practices (BMPs) to be used during grading and construction (e.g. grading in the dry season, protecting storm drain inlets, etc.)
- Trees removed would be replaced with new native trees at a 3:1 ratio.
- Thirty-two percent (approximately two acres) of the project site would be designated as a conservation easement.

## V. MANDATORY FINDINGS OF SIGNIFICANCE

2		Yes	No
1.	Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal, or eliminate important examples of the major periods of California history or prehistory?	X	i i
2.	Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?		_x_
3.	Does the project have possible environmental effects which are individually limited, but cumulatively considerable?	_X_	
4.	Would the project cause substantial adverse effects on human beings, either directly or indirectly?		X

	I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Division.
_	I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.
X	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.

9/25/03 Date

Title) Regional Manager

## VI. SOURCE LIST

- A. Field Inspection
- B. County General Plan 1986
- C. County Subdivision Regulations
- D. County Zoning Regulations
- E. Vesting Tract Map or EIF
- F. Williamson Act Maps
- G. FEMA Flood Hazard Map, ESRI/FEMA Project Impact Hazard Information and Awareness Site

CPD FORM A-ENV-30 FRM00018.DOC (8/4/1999)

# ATTACHMENT A County of San Mateo Environmental Services Agency Planning and Building Division

Initial Study Pursuant to CEQA
Project Narrative to Questions for the Initial Study
File Number: PLN 2002-00517
Thomas Subdivision

#### Introduction

The proposed project consists of a major subdivision and a grading permit to divide six legal parcels, totaling 13.3 acres, into 25 single-family lots.

#### **Environmental Setting**

The project site is located on the eastern corner of Bel Aire Road and Ascension Drive, within the unincorporated San Mateo Highlands area of San Mateo County (see Figures 1 and 2). The project site is undeveloped and is located southwest of the City of San Mateo. On-site vegetation includes grassland, small brush, and approximately 78 trees (e.g. oak trees, pine trees and eucalyptus trees). The general plan designation for the project site is Medium Low Density Residential (2.4 – 6.0 dwelling units/acre). The project site is zoned R-1/S-8 (single-family residential/7,500 square foot minimum lot size). This zoning requires 40% yard coverage, and setbacks of 20 feet (front and back yards) and five feet (side yards). The maximum height limit for the project site is three stories or 36 feet.

The project site is surrounded by single-family homes. A water tank (owned by the California Water Service Company) and a cell site are enclosed by the project site and are served by a small access road that connects to Bel Aire Road, which also serves as the only access point to the site. This piece of property is not a part of the proposed project.

#### **Project Description**

The proposed project consists of a 25-lot single-family residential subdivision on a public street, with lot sizes ranging from 10,120 square feet to 17,590 square feet (see Figure 3). Lots are proposed to be located on both sides of a new public street, which would be 32 feet wide. Approximately 100,200 cubic yards (cy) of earth material would be graded for the proposed project on a slope averaging 40 percent. Specifically, the grading phase of the proposed project would require approximately 93,100 cy of cut material and 7,100 cy of fill material.

New utility lines would need to be installed to accommodate the proposed project. California Water Service would provide water services to the project site. Water lines would be connected to the site from two points: (1) the intersection of Bel Aire Road and the new public street built by the project site, and (2) an extension at the northeastern edge of the project site from the north where there are other single family homes receiving water service. Storm drain inlets would be provided near the project site entrance, the northeastern portion of the project site, and three points along the southern portion of the project site. Sanitary sewer lines would exit the project site at two points near the entrance and at the southwestern and northeastern portions of the project site. Sewer service would be provided by Crystal Springs Sanitary District.

The proposed project would provide recreational trails, a tot lot, and a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation.

The individual homes of the proposed project would require building permits. The project applicant is requesting approval of the Tentative Subdivision Map and the Grading Plan.

#### ANSWERS TO INITIAL STUDY QUESTIONS

#### 1. LAND SUITABILITY AND GEOLOGY

#### b. Involve construction on slope of 15% or greater?

The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Such grading is proposed in order to create suitable building pads and access roads. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### c. Be located in area of soil instability (subsidence, landslide or severe erosion)?

Historical landslide activity in the subdivision adjacent to the site indicates that the slopes may be highly susceptible to landslides. For example, a landslide occurred in 1983 between Rainbow Drive and Starlite Drive, approximately 800 feet northwest of the site. The north boundary (headscarp) of the 1983 landslide extended into the back yards of several Starlite Drive properties and threatened several homes. Another landslide occurred in 1997 between Polhemus Road and Rainbow Drive, approximately 1,200 feet northwest of the site. Additionally, surficial erosion is visible on-site. If not properly designed, the project could exacerbate soil erosion during runoff conditions. Therefore, additional analysis of these issues is required.

#### d. Be located on, or adjacent to a known earthquake fault?

The project site is located less than one mile east of the San Andreas Fault and the Alquist-Priolo Special Studies Zone. The project site will experience strong seismic ground shaking in the event of an earthquake along the San Andreas Fault. If not properly designed, significant damage could occur to proposed on-site buildings and roadways. Additional analysis is required.

#### f. Cause erosion or siltation?

The project site is subject to natural erosion and siltation during periods of high runoff. Surficial erosion is visible on-site. Soils would be exposed during grading and construction. If not properly designed, the project could result in slope erosion and siltation during runoff conditions. Additional analysis of these issues is required which documents anticipated increases in siltation.

#### i. Be located in an area where a high water table may adversely affect land use?

The project site is located within the Pulgas Watershed and within a groundwater basin. It is unknown at this time at what depth the water table is on-site. Because water table depths vary from place to place, additional analysis of this issue is required which documents the approximate water table depth and if it could affect the proposed project.

#### 2. VEGETATION AND WILDLIFE

# b. Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?

The proposed project would remove 37 of the 78 trees located on-site. Three of the 37 trees proposed to be removed are significant trees, which are 12-inches or more in diameter. It is unknown at this time if any of the 37 trees proposed to be removed are heritage trees. All of the large pine trees on the site will remain and the existing trees removed would be replanted with new native trees at a 3:1 ratio. Additional analysis of this issue is required, including a review of the Heritage Tree ordinances, a tree survey and, if necessary, the identification of any required mitigation measures.

# c. Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?

While the project site does not contain a natural water source, there are a variety of native and nonnative trees on-site that may provide a habitat food source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species. Existing trees proposed to be removed would be replanted with new native trees at a 3:1 ratio. The proposed project would also provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. Additional analysis of these issues is required, including the identification of required mitigation measures.

#### d. Significantly affect fish, wildlife, reptiles, or plant life?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

#### f. Infringe on any sensitive habitats?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources and sensitive habitats, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

g. Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?

The project site is not located within a County Scenic Corridor or a sensitive habitat or buffer zone. However, the proposed project would require the clearing of more than 5,000 square feet of land. The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 3. PHYSICAL RESOURCES

b. Involve grading in excess of 150 cubic yards?

Grading of the project site is required in order to create suitable building pads and access roads. The project would require grading of approximately 100,200 cubic yards of earth. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 4. AIR QUALITY, WATER QUALITY, SONIC

a. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?

Grading and construction of the project site would result in the creation of a variety of air pollutant emissions, such as fugitive dust, carbon monoxide, nitrogen dioxide, and sulfur dioxide. Such emissions may exceed the air quality standards established by the Bay Area Air Quality Management District (BAAQMD). During operation of the project, regional emissions would be generated by mobile sources, and to a lesser extent, stationary sources. Mobile emissions (e.g. carbon monoxide) would occur as a result of project-related motor vehicles traveling to and from the project site. Stationary source emissions would occur indirectly as a result of space and water heating systems, and various appliances. While operational emissions are not anticipated to exceed BAAQMD standards, additional analysis of air quality impacts from the project is required, including the identification of applicable regulations and any required mitigation measures.

c. Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?

Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors,

existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

# f. Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?

Implementation of the proposed project may result in an increase in ambient noise levels during both the construction phase and the operational phase. During the construction phase, heavy equipment and machinery would be used to grade the site, to install various infrastructure, and to construct the access roads and single-family residences. These activities may increase the existing noise levels at adjacent residential properties in excess of levels determined appropriate. All grading and construction activities are required to adhere to standards contained in the County's Noise Ordinance (e.g. hours of construction). Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population and as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors, existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

#### g. Generate polluted or increased surface water runoff or affect groundwater resources?

Without proper mitigation, the proposed project could contribute to the degradation of existing surface water quality conditions, primarily due to: 1) potential erosion and sedimentation during the grading phase; 2) automobile/street-generated pollutants (e.g., oil and grease, tire wear, etc.); 3) fertilizers associated with landscaping; and 4) particulate matter from dirt and dust generated on the project site.

The project site contains an access road used for the water tank and cell sites. The remainder of the project site consists of undeveloped land. Construction of the project would result in an increase in impermeable surfaces, which would increase existing storm water runoff levels.

Additional analysis is required which documents the project's potential to degrade water quality during the grading/construction and operational phases, as well as the increased runoff associated with the project. The additional analysis shall also document the adequacy of the applicant's proposed best management practices (BMPs) as well as existing water quality regulations and standards and any required mitigation measures.

# h. Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?

The project applicant proposes a sanitary sewer system for wastewater disposal instead of septic systems. The Crystal Springs County Sanitation District serves the project area. Additional analysis is required which documents the existing and projected available wastewater treatment capacity, future sewage generation by the proposed project, capacities of sewer lines that would serve the project site, and any required mitigation measures.

#### 5. TRANSPORTATION

#### c. Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?

The proposed project would bring additional traffic to a site that previously only was visited by maintenance vehicles for the water tank and cell sites. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, potential traffic impacts from the proposed project, and any required mitigation measures.

#### e. Result in or increase traffic hazards?

Several of the roads that access the project area are relatively steep (e.g. portions of Bel Aire Road and Ascension Drive). Also, the access road to the project site is located on a curve on Bel Aire Road. This curve may represent potential traffic hazards for vehicles entering and exiting the project site. Conversely, the increased vehicular traffic entering and exiting the project site may create traffic hazards for motorists traveling on Bel Aire Road. The grading phase of the proposed project also

requires the use of heavy trucks to export approximately 86,000 cy of soil from the site to an off-site location. These circumstances warrant additional analysis and mitigation, as necessary.

#### g. Generate traffic which will adversely affect the traffic carrying capacity of any roadway?

The addition of 25 single-family homes would add traffic to the roadways surrounding the project site. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

#### 6. LAND USE AND GENERAL PLANS

f. Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?

A traffic study for the project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may affect the capacity of public facilities and utilities. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

#### g. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may cause a public facility or utility to reach or exceed its capacity. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water and energy conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

#### h. Be adjacent to or within 500 feet of an existing or planned public facility?

The project site encloses a piece of property (which is not part of the proposed project) housing a water tank owned by the California Water Service Company. The College of San Mateo is located approximately 350 feet northeast of the project site. Two rows of housing and Parrot Drive separate the project site from the College. No significant impact is anticipated.

#### i. Create significant amounts of solid waste or litter?

Implementation of the proposed project would result in an increase in solid waste generated at the site on a daily basis. This issue requires additional analysis, including: the identification of landfills that accept solid waste from the project area; the existing and planned future capacities of each landfill; the daily amount of solid waste to be generated by the proposed project; existing recycling regulations; and any required mitigation measures.

#### j. Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for electricity and natural gas. Additional analysis is required which documents the utility service providers, the daily amount of electricity and natural gas

to be consumed by the project, an assessment as to whether the utilities can adequately serve the project site, energy conservation measures, and any required mitigation measures.

#### 7. AESTHETIC, CULTURAL AND HISTORIC

#### a. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?

The project site is not located within a scenic corridor. However, the project site is located outside of the I-280 State Scenic Corridor which is an important viewpoint. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### b. Obstruct scenic views from existing residential areas, public lands, public water body, or roads?

The project site is not located within the I-280 State Scenic Corridor but is located within the Polhemus County Scenic Corridor. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### e. Visually intrude into an area having natural scenic qualities?

The project site is undeveloped land characterized by natural scenic qualities. Construction of the project would eliminate areas that contain natural scenic qualities. Existing trees removed would be replanted with new native trees at a 3:1 ratio. The proposed project would provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. The project site is also surrounded by existing residential uses. However, additional analysis of the project's impact on natural scenic qualities is required, including an assessment of proposed on-site landscaping, and any other required mitigation measures.

## NOTICE OF PREPARATION

#### OF A

## DRAFT ENVIRONMENTAL IMPACT REPORT THOMAS SUBDIVISION **OCTOBER 10, 2003**

**Project Title:** 

Thomas Subdivision

**Project Applicant:** 

San Mateo Real Estate, Inc.

**Project Location:** 

Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County

**Project Description:** See attached materials

Lead Agency:

County of San Mateo

Planning & Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94063

Gabrielle Rowan, Project Planner

(650) 363-1829

The County of San Mateo will be the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know the views of your agency as to the scope and content of the EIR which is germane to your agency's statutory responsibilities in connection with the proposed project. Your agency will need to use the EIR when considering your permit or other approval for the project.

The project description, location, and the potential environmental effects of the proposed project are contained in the attached Initial Study.

Please send your response within 30 days of receipt of this notice to Gabrielle Rowan at the address provided above.

ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR.

The public scoping meeting for the EIR will be held on:

Monday, October 27, 2003 at 7:30 p.m. at South Cafeteria, Building 5 College of San Mateo 1700 West Hillsdale Boulevard San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\*

# County of San Mateo Planning and Building Division

## **INITIAL STUDY** ENVIRONMENTAL EVALUATION CHECKLIST (To Be Completed By Planning Division)

## **BACKGROUND**

Project Title: Thomas Subdivision				1
File No.: PLN 2002-00517				
Project Location: Eastern corner of Bel Aire Road and Ascension Drive, San Mateo County (See Figu	res 1 and 2)			
Assessor's Parcel No.: <u>041-111-020, 041-111-130, 041-111-160, 041-111-270, 041-111-280, 041-11</u>	<u>1-320, 041-1</u>	11-360	,,	
Applicant/Owner: Applicant: San Mateo Real Estate, Inc. Owner: John O'Rourke				
Date Environmental Information Form Submitted: August 28, 2002				
PROJECT DESCRIPTION				
See Attachment A for a detailed description of the proposed project.			A	
				-

## II. ENVIRONMENTAL ANALYSIS

Any controversial answers or answers needing clarification are explained on an attached sheet. For source, refer to pages 10 and 11.

					IMPACT			
			NO -		A. Care day and and a transfer of the Contract	ES 🖖		
		·		Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
1.	LA	ND SUITABILITY AND GEOLOGY						
	Wi	Il (or could) this project:						
	a.	Involve a unique landform or biological area, such as beaches, sand dunes, marshes, tidelands, or San Francisco Bay?	X					B, E
	b.	Involve construction on slope of 15% or greater?			X			<u>E</u>
	C.	Be located in area of soil instability (subsidence, landslide or severe erosion)?			X			<u>A, B</u>
	d.	Be located on, or adjacent to a known earthquake fault?			X			<u>B</u>
	e.	Involve Class I or Class II Agriculture Soils and Class III Soils rated good or very good for artichokes or Brussels sprouts?	X					<u>B</u>
	f.	Cause erosion or siltation?			X			<u>A, E</u>
	g.	Result in damage to soil capability or loss of agricultural land?	X					<u>B</u>
	h.	Be located within a flood hazard area?	X					<u>G</u>
	i.	Be located in an area where a high water table may adversely affect land use?			X	***************************************		В
	j.	Affect a natural drainage channel or streambed, or watercourse?	<u>X</u>					<u>E</u>
2.	<u>VE</u>	GETATION AND WILDLIFE						
	Wi	Il (or could) this project:						
	a.	Affect federal or state listed rare or endangered species of plant life in the project area?	X					<u>B</u>

			- 1 Mar 19	IMPACT	200 41 200		
		NO			ES		
			Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
b.	Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?			X			<u>E</u>
C.	Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?			<u> </u>			<u>E</u>
d.	Significantly affect fish, wildlife, reptiles, or plant life?			X			<u>E</u>
e.	Be located inside or within 200 feet of a marine or wildlife reserve?	X				<u> </u>	<u>B</u>
f.	Infringe on any sensitive habitats?			X			<u>B</u>
g.	Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?			X			<u>B, E</u>
3. <u>P</u> ł	IYSICAL RESOURCES						
W	ll (or could) this project:		-				
a.	Result in the removal of a natural resource for commercial purposes (including rock, sand, gravel, oil, trees, minerals or top soil)?	X					<u>B</u>
b.	Involve grading in excess of 150 cubic yards?			X			<u>E</u>
C.	Involve lands currently protected under the Williamson Act (agricultural preserve) or an Open Space Easement?	X					<u>E, F</u>
d.	Affect any existing or potential agricultural uses?	X					<u>A, E, F</u>

			AAN STAN		IMPACT			
			- NO		Merchanist and the state of the state of the state of	ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
4.	<u>Alf</u>	R QUALITY, WATER QUALITY, SONIC						
	Wil	l (or could) this project:						
	a.	Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?			X		<del>:</del>	<u>E</u>
	b.	Involve the burning of any material, including brush, trees and construction materials?	X					<u>E</u>
	C.	Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?		X				<u>E</u>
	d.	Involve the application, use or disposal of potentially hazardous materials, including pesticides, herbicides, other toxic substances, or radioactive material?	X					<u>E</u>
	e.	Be subject to noise levels in excess of levels determined appropriate according to the County Noise Ordinance or other standard?	X					<u>B</u>
	f.	Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?			x			<u>E</u>
	g.	Generate polluted or increased surface water runoff or affect groundwater resources?			_x_			<u>E</u>
	h.	Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?			X			<u>E</u>

				IMPACT			
		NO		Y Significant	ES		
			Not Significant	Unless Mitigated	Significant	Cumulative	SOURCE
d.	Result in any changes in land use, either on or off the project site?	X					<u>E</u>
e.	Serve to encourage off-site development of presently undeveloped areas or increase development intensity of already developed areas (examples include the introduction of new or expanded public utilities, new industry, commercial facilities or recreation activities)?	X					<u>E</u>
f.	Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?			<u> </u>			<u>E</u>
g.	Generate any demands that will cause a public facility or utility to reach or exceed its capacity?			x			<u>E</u>
h.	Be adjacent to or within 500 feet of an existing or planned public facility?		X				<u>E</u>
i.	Create significant amounts of solid waste or litter?			X	<del></del>		<u>E</u>
j.	Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?			X	<del></del>	<del></del>	<u>E</u>
k.	Require an amendment to or exception from adopted general plans, specific plans, or community policies or goals?	_x_			<del></del>	<del></del>	Ε
I.	Involve a change of zoning?	x_					<u>E</u>
m.	Require the relocation of people or businesses?	x					<u>E</u>
n.	Reduce the supply of low-income housing?	x					<u>E</u>

					IMPACT			
			NO'	7.4	September 19 Septe	ES		
				Not Significant	Significant Unless Mitigated	Significant	Cumulative	SOURCE
5.	TR	<u>ANSPORTATION</u>						
	Wil	I (or could) this project:						
	<b>a.</b>	Affect access to commercial establishments, schools, parks, etc.?	_X_			<u> </u>		<u>E</u>
	b.	Cause noticeable increase in pedestrian traffic or a change in pedestrian patterns?	X					<u>E</u>
	c.	Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?		X				<u>E</u>
	d.	Involve the use of off-road vehicles of any kind (such as trail bikes)?	X					<u>E</u>
	e.	Result in or increase traffic hazards?			x			<u>E</u>
	f.	Provide for alternative transportation amenities such as bike racks?	X					<u>E</u>
	g.	Generate traffic which will adversely affect the traffic carrying capacity of any roadway?			x			<u>E</u>
6.	LA	ND USE AND GENERAL PLANS						
	Wi	l (or could) this project:						
	a.	Result in the congregating of more than 50 people on a regular basis?	X					<u>E</u>
	b.	Result in the introduction of activities not currently found within the community?	X					<u>E</u>
	c.	Employ equipment which could interfere with existing communication and/or defense systems?	X					<u>E</u>

					IMPACT			
			NO		The state of the s	ES ·		
					Significant			
				Not Significant	Unless Mitigated	Significant	Cumulative	SOURCE
	О.	Result in possible interference with an emergency response plan or emergency evacuation plan?	_x_					<u>E</u>
	p.	Result in creation of or exposure to a potential health hazard?	X					<u>E</u>
7.	AE	STHETIC, CULTURAL AND HISTORIC						
	Wi	Il (or could) this project:						,
	a.	Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?			X			<u>B, E</u>
	b.	Obstruct scenic views from existing residential areas, public lands, public water body, or roads?			X			<u>B, E</u>
	c.	Involve the construction of buildings or structures in excess of three stories or 36 feet in height?	X					<u>E</u>
	d.	Directly or indirectly affect historical or archaeological resources on or near the site?	X					<u>B, E</u>
	е.	Visually intrude into an area having natural scenic qualities?		X				<u>A, E</u>

## III. RESPONSIBLE AGENCIES. Check what agency has permit authority or other approval for the project.

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Army Corps of Engineers (CE)		X	
State Water Resources Control Board		X	
Regional Water Quality Control Board	Х		Storm Water Pollution Prevention Plan (SWPPP)
State Department of Public Health		X	
San Francisco Bay Conservation and Development Commission (BCDC)		Х	

AGENCY	YES	NO	TYPE OF APPROVAL
U.S. Environmental Protection Agency (EPA)		Х	
County Airport Land Use Commission (ALUC)		Х	
CalTrans		Х	
Bay Area Air Quality Management District		Х	
U.S. Fish & Wildlife Service		Х	
Coastal Commission		Х	
City		Х	
Sewer/Water District:		Х	
Other:		Х	,

#### IV. <u>MITIGATION MEASURES</u>

Mitigation measures have been proposed in project application.	Yes X	No
Other mitigation measures are needed.	X	

The following measures are included in the project plans or proposals pursuant to Section 15070(b)(1) of the State CEQA Guidelines:

- Grading and construction activities must adhere to standards contained in the County's Noise Ordinance.
- Best management practices (BMPs) to be used during grading and construction (e.g. grading in the dry season, protecting storm drain inlets, etc.)
- Trees removed would be replaced with new native trees at a 3:1 ratio.
- Thirty-two percent (approximately two acres) of the project site would be designated as a conservation easement.

#### V. MANDATORY FINDINGS OF SIGNIFICANCE

		Yes	No
1.	Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal, or eliminate important examples of the major periods of California history or prehistory?	X	
2.	Does the project have the potential to achieve short-term environmental goals to the disadvantage of long-term environmental goals?		X
3.	Does the project have possible environmental effects which are individually limited, but cumulatively considerable?	X	
4.	Would the project cause substantial adverse effects on human beings, either directly or indirectly?		X]

	I find the proposed project COULD NOT have a significant effect on the environment, and a NEGATIVE DECLARATION will be prepared by the Planning Division.
	I find that although the proposed project could have a significant effect on the environment, there WILL NOT be a significant effect in this case because of the mitigation measures in the discussion have been included as part of the proposed project. A NEGATIVE DECLARATION will be prepared.
X	I find that the proposed project MAY have a significant effect on the environment, and an ENVIRONMENTAL IMPACT REPORT is required.
	Mos Rill

 $\frac{9/25/03}{\text{Date}} \frac{\frac{\text{Reg jong } / \text{ Manager}}{\text{(Title)}}$ 

#### VI. SOURCE LIST

- A. Field Inspection
- B. County General Plan 1986
- C. County Subdivision Regulations
- D. County Zoning Regulations
- E. Vesting Tract Map or EIF
- F. Williamson Act Maps
- G. FEMA Flood Hazard Map, ESRI/FEMA Project Impact Hazard Information and Awareness Site

CPD FORM A-ENV-30 FRM00018.DOC (8/4/1999)

## ATTACHMENT A County of San Mateo Environmental Services Agency Planning and Building Division

Initial Study Pursuant to CEQA
Project Narrative to Questions for the Initial Study
File Number: PLN 2002-00517
Thomas Subdivision

#### Introduction

The proposed project consists of a major subdivision and a grading permit to divide six legal parcels, totaling 13.3 acres, into 25 single-family lots.

#### **Environmental Setting**

The project site is located on the eastern corner of Bel Aire Road and Ascension Drive, within the unincorporated San Mateo Highlands area of San Mateo County (see Figures 1 and 2). The project site is undeveloped and is located southwest of the City of San Mateo. On-site vegetation includes grassland, small brush, and approximately 78 trees (e.g. oak trees, pine trees and eucalyptus trees). The general plan designation for the project site is Medium Low Density Residential (2.4 – 6.0 dwelling units/acre). The project site is zoned R-1/S-8 (single-family residential/7,500 square foot minimum lot size). This zoning requires 40% yard coverage, and setbacks of 20 feet (front and back yards) and five feet (side yards). The maximum height limit for the project site is three stories or 36 feet.

The project site is surrounded by single-family homes. A water tank (owned by the California Water Service Company) and a cell site are enclosed by the project site and are served by a small access road that connects to Bel Aire Road, which also serves as the only access point to the site. This piece of property is not a part of the proposed project.

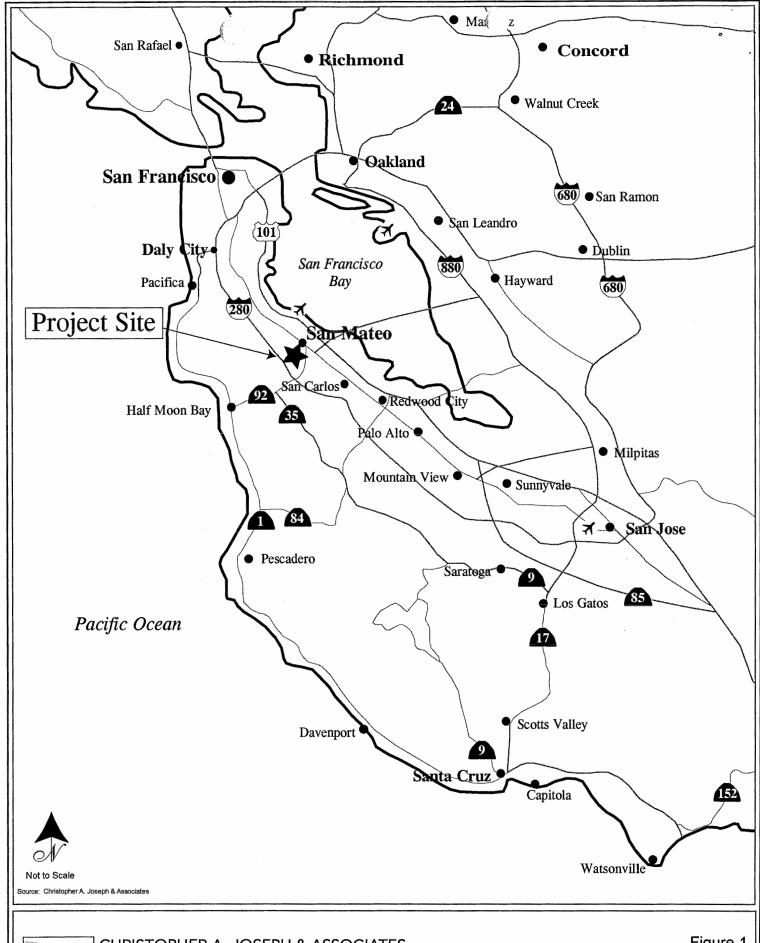
#### **Project Description**

The proposed project consists of a 25-lot single-family residential subdivision on a public street, with lot sizes ranging from 10,120 square feet to 17,590 square feet (see Figure 3). Lots are proposed to be located on both sides of a new public street, which would be 32 feet wide. Approximately 100,200 cubic yards (cy) of earth material would be graded for the proposed project on a slope averaging 40 percent. Specifically, the grading phase of the proposed project would require approximately 93,100 cy of cut material and 7,100 cy of fill material.

New utility lines would need to be installed to accommodate the proposed project. California Water Service would provide water services to the project site. Water lines would be connected to the site from two points: (1) the intersection of Bel Aire Road and the new public street built by the project site, and (2) an extension at the northeastern edge of the project site from the north where there are other single family homes receiving water service. Storm drain inlets would be provided near the project site entrance, the northeastern portion of the project site, and three points along the southern portion of the project site. Sanitary sewer lines would exit the project site at two points near the entrance and at the southwestern and northeastern portions of the project site. Sewer service would be provided by Crystal Springs Sanitary District.

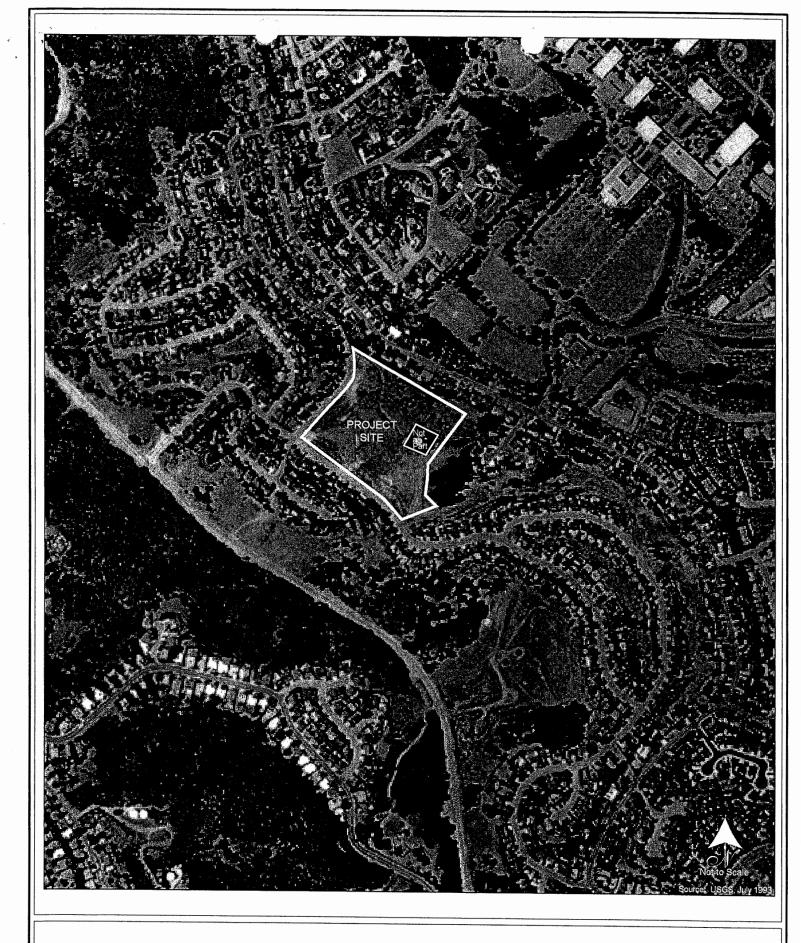
The proposed project would provide recreational trails, a tot lot, and a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation.

The individual homes of the proposed project would require building permits. The project applicant is requesting approval of the Tentative Subdivision Map and the Grading Plan.



CHRISTOPHER A. JOSEPH & ASSOCIATES Environmental Planning and Research

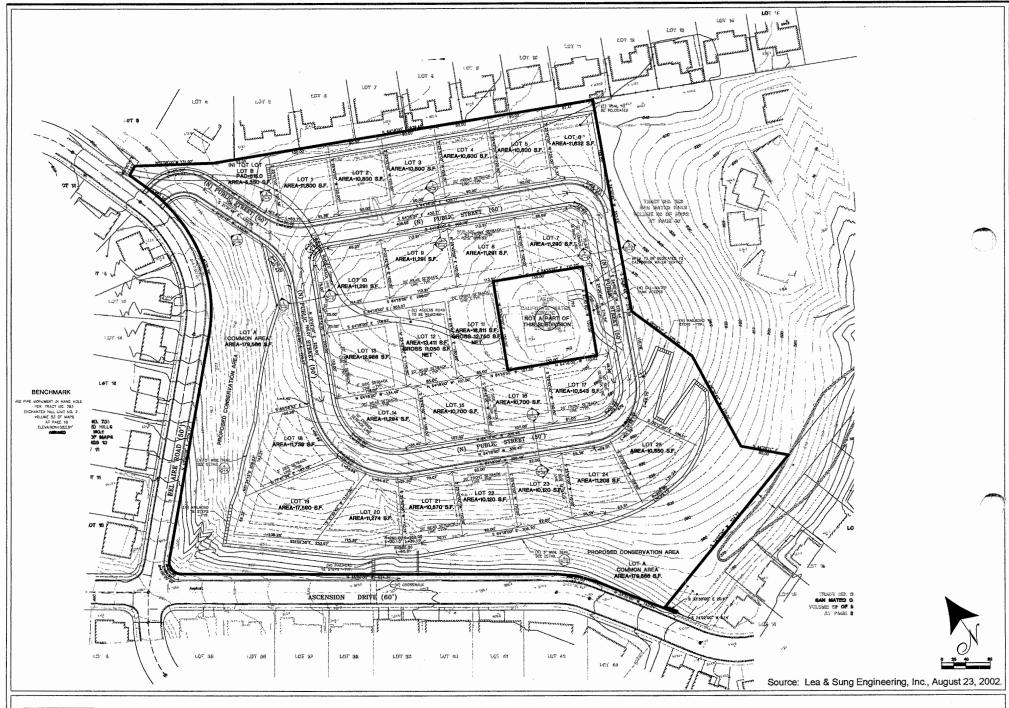
Figure 1 Regional Map





CHRISTOPHER A. JOSEPH & ASSOCIATES
Environmental Planning and Research

Figure 2 Aerial Photograph of the Project Site



CHRISTOPHER A. JOSEPH & ASSOCIATES Environmental Planning and Research

Figure 3
Tentative Tract Map

#### **ANSWERS TO INITIAL STUDY QUESTIONS**

#### 1. LAND SUITABILITY AND GEOLOGY

#### b. Involve construction on slope of 15% or greater?

The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Such grading is proposed in order to create suitable building pads and access roads. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### c. Be located in area of soil instability (subsidence, landslide or severe erosion)?

Historical landslide activity in the subdivision adjacent to the site indicates that the slopes may be highly susceptible to landslides. For example, a landslide occurred in 1983 between Rainbow Drive and Starlite Drive, approximately 800 feet northwest of the site. The north boundary (headscarp) of the 1983 landslide extended into the back yards of several Starlite Drive properties and threatened several homes. Another landslide occurred in 1997 between Polhemus Road and Rainbow Drive, approximately 1,200 feet northwest of the site. Additionally, surficial erosion is visible on-site. If not properly designed, the project could exacerbate soil erosion during runoff conditions. Therefore, additional analysis of these issues is required.

#### d. Be located on, or adjacent to a known earthquake fault?

The project site is located less than one mile east of the San Andreas Fault and the Alquist-Priolo Special Studies Zone. The project site will experience strong seismic ground shaking in the event of an earthquake along the San Andreas Fault. If not properly designed, significant damage could occur to proposed on-site buildings and roadways. Additional analysis is required.

#### f. Cause erosion or siltation?

The project site is subject to natural erosion and siltation during periods of high runoff. Surficial erosion is visible on-site. Soils would be exposed during grading and construction. If not properly designed, the project could result in slope erosion and siltation during runoff conditions. Additional analysis of these issues is required which documents anticipated increases in siltation.

#### i. Be located in an area where a high water table may adversely affect land use?

The project site is located within the Pulgas Watershed and within a groundwater basin. It is unknown at this time at what depth the water table is on-site. Because water table depths vary from place to place, additional analysis of this issue is required which documents the approximate water table depth and if it could affect the proposed project.

#### 2. VEGETATION AND WILDLIFE

### b. Involve cutting of heritage or significant trees as defined in the County Heritage Tree and Significant Tree Ordinance?

The proposed project would remove 37 of the 78 trees located on-site. Three of the 37 trees proposed to be removed are significant trees, which are 12-inches or more in diameter. It is unknown at this time if any of the 37 trees proposed to be removed are heritage trees. All of the large pine trees on the site will remain and the existing trees removed would be replanted with new native trees at a 3:1 ratio. Additional analysis of this issue is required, including a review of the Heritage Tree ordinances, a tree survey and, if necessary, the identification of any required mitigation measures.

### c. Be adjacent to or include a habitat food source, water source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species?

While the project site does not contain a natural water source, there are a variety of native and nonnative trees on-site that may provide a habitat food source, nesting place or breeding place for a federal or state listed rare or endangered wildlife species. Existing trees proposed to be removed would be replanted with new native trees at a 3:1 ratio. The proposed project would also provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. Additional analysis of these issues is required, including the identification of required mitigation measures.

#### d. Significantly affect fish, wildlife, reptiles, or plant life?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

#### f. Infringe on any sensitive habitats?

The project site is undeveloped land that is characterized by both native and non-native vegetation. The project site would be graded to provide suitable building pads and an access road that would result in the removal of natural habitat. Additional analysis of this issue is required, including an inventory of existing flora and fauna, a determination of the project's potential impact to biological resources and sensitive habitats, and identification of existing standards and regulations relative to habitat protection and preservation, as well as any required mitigation measures.

g. Involve clearing land that is 5,000 sq. ft. or greater (1,000 sq. ft. within a County Scenic Corridor), that has slopes greater than 20% or that is in a sensitive habitat or buffer zone?

The project site is not located within a County Scenic Corridor or a sensitive habitat or buffer zone. However, the proposed project would require the clearing of more than 5,000 square feet of land. The residential subdivision would require grading of approximately 100,200 cubic yards of earth on an average slope of 40 percent. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 3. PHYSICAL RESOURCES

#### b. Involve grading in excess of 150 cubic yards?

Grading of the project site is required in order to create suitable building pads and access roads. The project would require grading of approximately 100,200 cubic yards of earth. Additional analysis of these issues is required, including the project's relationship to applicable hillside grading codes and standards, and any required mitigation measures.

#### 4. AIR QUALITY, WATER QUALITY, SONIC

a. Generate pollutants (hydrocarbon, thermal odor, dust or smoke particulates, radiation, etc.) that will violate existing standards of air quality on site or in the surrounding area?

Grading and construction of the project site would result in the creation of a variety of air pollutant emissions, such as fugitive dust, carbon monoxide, nitrogen dioxide, and sulfur dioxide. Such emissions may exceed the air quality standards established by the Bay Area Air Quality Management District (BAAQMD). During operation of the project, regional emissions would be generated by mobile sources, and to a lesser extent, stationary sources. Mobile emissions (e.g. carbon monoxide) would occur as a result of project-related motor vehicles traveling to and from the project site. Stationary source emissions would occur indirectly as a result of space and water heating systems, and various appliances. While operational emissions are not anticipated to exceed BAAQMD standards, additional analysis of air quality impacts from the project is required, including the identification of applicable regulations and any required mitigation measures.

c. Be expected to result in the generation of noise levels in excess of those currently existing in the area, after construction?

Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors,

existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

### f. Generate noise levels in excess of levels determined appropriate according to the County Noise Ordinance standard?

Implementation of the proposed project may result in an increase in ambient noise levels during both the construction phase and the operational phase. During the construction phase, heavy equipment and machinery would be used to grade the site, to install various infrastructure, and to construct the access roads and single-family residences. These activities may increase the existing noise levels at adjacent residential properties in excess of levels determined appropriate. All grading and construction activities are required to adhere to standards contained in the County's Noise Ordinance (e.g. hours of construction). Long-term operation of the proposed project would increase the noise levels on the project site and at adjacent properties due to the increased residential population and as well as the associated increase in vehicle trips. Additional analysis is required which documents adjacent noise-sensitive receptors, existing ambient noise levels, project-related construction and operational noise levels, noise impacts upon adjacent uses, applicable noise standards and regulations, and any required mitigation measures.

#### g. Generate polluted or increased surface water runoff or affect groundwater resources?

Without proper mitigation, the proposed project could contribute to the degradation of existing surface water quality conditions, primarily due to: 1) potential erosion and sedimentation during the grading phase; 2) automobile/street-generated pollutants (e.g., oil and grease, tire wear, etc.); 3) fertilizers associated with landscaping; and 4) particulate matter from dirt and dust generated on the project site.

The project site contains an access road used for the water tank and cell sites. The remainder of the project site consists of undeveloped land. Construction of the project would result in an increase in impermeable surfaces, which would increase existing storm water runoff levels.

Additional analysis is required which documents the project's potential to degrade water quality during the grading/construction and operational phases, as well as the increased runoff associated with the project. The additional analysis shall also document the adequacy of the applicant's proposed best management practices (BMPs) as well as existing water quality regulations and standards and any required mitigation measures.

### h. Require installation of a septic tank/leachfield sewage disposal system or require hookup to an existing collection system which is at or over capacity?

The project applicant proposes a sanitary sewer system for wastewater disposal instead of septic systems. The Crystal Springs County Sanitation District serves the project area. Additional analysis is required which documents the existing and projected available wastewater treatment capacity, future sewage generation by the proposed project, capacities of sewer lines that would serve the project site, and any required mitigation measures.

#### 5. TRANSPORTATION

#### c. Result in noticeable changes in vehicular traffic patterns or volumes (including bicycles)?

The proposed project would bring additional traffic to a site that previously only was visited by maintenance vehicles for the water tank and cell sites. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, potential traffic impacts from the proposed project, and any required mitigation measures.

#### e. Result in or increase traffic hazards?

Several of the roads that access the project area are relatively steep (e.g. portions of Bel Aire Road and Ascension Drive). Also, the access road to the project site is located on a curve on Bel Aire Road. This curve may represent potential traffic hazards for vehicles entering and exiting the project site. Conversely, the increased vehicular traffic entering and exiting the project site may create traffic hazards for motorists traveling on Bel Aire Road. The grading phase of the proposed project also

requires the use of heavy trucks to export approximately 86,000 cy of soil from the site to an off-site location. These circumstances warrant additional analysis and mitigation, as necessary.

g. Generate traffic which will adversely affect the traffic carrying capacity of any roadway?

The addition of 25 single-family homes would add traffic to the roadways surrounding the project site. A traffic study for the proposed project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

#### 6. LAND USE AND GENERAL PLANS

f. Adversely affect the capacity of any public facilities (streets, highways, freeways, public transit, schools, parks, police, fire, hospitals), public utilities (electrical, water and gas supply lines, sewage and storm drain discharge lines, sanitary landfills) or public works serving the site?

A traffic study for the project is required which documents existing traffic levels in the area, traffic operating levels of service, future traffic levels, traffic impacts from the proposed project, and any required mitigation measures.

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may affect the capacity of public facilities and utilities. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

g. Generate any demands that will cause a public facility or utility to reach or exceed its capacity?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for various public facilities (e.g. schools, parks, sheriff and fire) and public utilities (e.g. electricity, water, natural gas, sewage, storm drains, and sanitary landfills). Such increased demands may cause a public facility or utility to reach or exceed its capacity. Additional analysis is required, including: 1) identification of the locations and capacities of each public service and utility; 2) the project's demand for public services and utilities; 3) impacts to the various public facilities and utilities; 4) applicable County and/or state regulations (e.g. water and energy conservation measures, recycling requirements, school impact fees, etc.); and any required mitigation measures.

h. Be adjacent to or within 500 feet of an existing or planned public facility?

The project site encloses a piece of property (which is not part of the proposed project) housing a water tank owned by the California Water Service Company. The College of San Mateo is located approximately 350 feet northeast of the project site. Two rows of housing and Parrot Drive separate the project site from the College. No significant impact is anticipated.

i. Create significant amounts of solid waste or litter?

Implementation of the proposed project would result in an increase in solid waste generated at the site on a daily basis. This issue requires additional analysis, including: the identification of landfills that accept solid waste from the project area; the existing and planned future capacities of each landfill; the daily amount of solid waste to be generated by the proposed project; existing recycling regulations; and any required mitigation measures.

Substantially increase fossil fuel consumption (electricity, oil, natural gas, coal, etc.)?

Implementation of the proposed project would result in an increase in residential population at the project site, resulting in increased demands for electricity and natural gas. Additional analysis is required which documents the utility service providers, the daily amount of electricity and natural gas

to be consumed by the project, an assessment as to whether the utilities can adequately serve the project site, energy conservation measures, and any required mitigation measures.

#### 7. AESTHETIC, CULTURAL AND HISTORIC

Ä

#### a. Be adjacent to a designated Scenic Highway or within a State or County Scenic Corridor?

The project site is not located within a scenic corridor. However, the project site is located outside of the I-280 State Scenic Corridor which is an important viewpoint. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### b. Obstruct scenic views from existing residential areas, public lands, public water body, or roads?

The project site is not located within the I-280 State Scenic Corridor but is located within the Polhemus County Scenic Corridor. Development of the project may result in the obstruction of scenic views from existing public viewing locations. Additional analysis is required which documents the existence of scenic views in the area, as well as the identification of applicable County aesthetic standards, and any required mitigation measures.

#### e. Visually intrude into an area having natural scenic qualities?

The project site is undeveloped land characterized by natural scenic qualities. Construction of the project would eliminate areas that contain natural scenic qualities. Existing trees removed would be replanted with new native trees at a 3:1 ratio. The proposed project would provide a conservation easement consisting of 32 percent (approximately two acres) of the total project site acreage. The conservation easement would be landscaped with native vegetation. The project site is also surrounded by existing residential uses. However, additional analysis of the project's impact on natural scenic qualities is required, including an assessment of proposed on-site landscaping, and any other required mitigation measures.

RECEIVED

2003 OCT | 14 P | 11: 45 SAN MATES COUNTY PLANNING DIVISION

#### (This letter sent to the attached list)

January 10, 2003

«NAME» «ADDRESS»

**Interested Parties:** 

SUBJECT: Request for Proposal

Thomas Subdivision Environmental Document Preparation

The San Mateo County Planning Division is soliciting proposals for the preparation of an Environmental Impact Report (EIR) for a 25-lot subdivision in unincorporated San Mateo Highlands. The applicant is San Mateo Real Estate, Inc. (Dennis Thomas) and the owner is John Rourke.

#### Project Description and Project Site Location and Setting

A Major Subdivision and a Grading Permit to divide six legal parcels totaling 13.3 acres to create 25 single-family lots. The project would include all associated improvements, including creation of new public streets, new storm drain system, new sewer system, realignments of water main, new pump for domestic water, recreational trails and kids playground.

Project site location including Zoning and General Plan Maps are attached.

#### **Development Processing**

The applicant has submitted the following application (see attached applications):

- 1. A Major Subdivision Vesting Tentative Map for a 25-lot subdivision.
- 2. A Grading Permit.

The following project elements, to be submitted by the applicant, have not yet been submitted, but are required and will be available at a future date:

- 1. Geotechnical Report (prepared by a licensed soils engineer).
- 2. Erosion Control and Drainage Plans.

#### **Environmental Issues**

San Mateo County is seeking a consultant with expertise in analyzing the following issues:

- 1. <u>General Plan and Policy Consistency</u>. A review of the project for consistency with applicable policies included in the County General Plan and other applicable planning documents should be thoroughly addressed.
- 2. <u>Geology and Soils</u>. The consultant will evaluate the geology and soils report prepared by the applicant's consultants. Multiple peer reviews and further analysis would be required.
- 3. <u>Hydrology</u>. The consultant will evaluate the hydrology and drainage report prepared by the applicant's consultants. Multiple peer reviews and further analysis would be required.
- 4. <u>Vegetation and Wildlife</u>. The consultant will evaluate project's impact on the biological resources (flora and fauna) of the site including impact on adjacent properties.
- 5. <u>Traffic, Circulation and Transportation</u>. Analysis of the safety and circulation issues related to turning movements and trip generation should be discussed with regard to the proposed subdivision's street intersection design with Bel Aire Road and cumulative traffic impact on the Ascension Drive and Polhemus Road. The latest data from the Countywide Transportation Plan and C/CAG Congestion Management Program as they relate to the South-Bayside area shall be reviewed and incorporated in the overall analysis.
- 6. <u>Air Quality</u>. Analysis of air quality impacts, both short-term and long-term, should be addressed.
- 7. <u>Visual Resources</u>. The project site falls outside the Interstate 280 state scenic corridor and inside Polhemus county scenic corridor. Although the project falls outside Interstate 280 scenic corridor, the site is clearly visible from the freeway. At a minimum, the EIR should address the impact of the changes of view as seen from both Polhemus Road, as well as Interstate 280.
- 8. <u>Noise</u>. County resource maps indicate that the project site is located near a noise impact area of Polhemus Road. This issue shall be addressed.
- 9. <u>Public Services</u>. An analysis of current staffing service capability for emergency services (i.e., fire protection, sheriff, animal control and paramedic support) shall be addressed.
- 10. <u>Utilities</u>. An analysis of capacity of various utility (water and sewer) districts and/or companies to handle provision of additional service. Additional discussion should address telephone, gas, electric, cable and solid waste disposal services.

«NAME» January 10, 2003 Page 3

- 11. <u>Cumulative Impacts</u>. As applicable, the cumulative impacts of all issues included in the final scope of work shall be addressed. These items should be addressed separately where appropriate.
- 12. <u>Mitigation Monitoring Program</u>. Pursuant to CEQA, the consultant shall design a mitigation monitoring program to address the timing, responsibility and funding source (as applicable) for the implementation of mitigation measures included in the Final EIR. These items should be addressed separately for each project, where appropriate.

#### **Proposal Contents**

The consultant shall prepare an Administrative Draft Initial Study and an Initial Study. The consultant will also be responsible for preparing an Administrative Draft EIR, Draft EIR, and Final EIR/Response to Comments. The County will coordinate the Notice of Preparation process once the Initial Study is complete. The EIR must conform to the requirements set forth in the CEQA Guidelines and County of San Mateo Implementing Procedures for Administering CEQA. The EIR should address the impacts and mitigations where applicable. The consultant will be expected to attend up to six meetings with staff during preparation of the EIR, up to three Planning Commission hearings, and one Board of Supervisors hearing.

#### The proposal shall include:

- 1. Firm qualifications, including environmental documents prepared for projects in and near San Mateo County and experience on similar projects and experience with land use issues.
- 2. Scope of work.
- 3. List of specific team members assigned and their backgrounds.
- 4. Proposed timeline for preparation of all drafts, meetings, and other work associated with the EIR.
- 5. Total estimated cost for preparation of the EIR, including a schedule of hourly billing rates and an indication of any multiplier. The fee should also include the cost of printing two copies of the Administrative Draft Initial Study, two copies of the Final Initial Study, five copies of the Administrative Draft EIR, 90 copies of the Draft EIR and 90 Final EIR/Response to Comment volumes and a digital copy of Draft EIR and Final EIR.

If you are interested, contact Miroo Desai Brewer at 650/363-1853 for copies of the tentative maps.

Four copies of the proposal shall be submitted by 5:00 p.m., February 15, 2002, to Miroo Desai Brewer, Project Planner, at the San Mateo County Planning Division, 455 County Center,

«NAME» January 10, 2003 Page 4

Second Floor, Redwood City, California, 94063. Planning staff will interview a short list of consultants soon thereafter. Inquiries concerning this request should be directed to Miroo Desai Brewer at 650/363-1853.

Sincerely,

Jim Eggemeyer Development Review Services Manager

JKE:MDB/kcd - MDBN0016 main form.doc

Attachments:
Location Map
Zoning Map
General Plan Map
Major Subdivision and Grading Permit Applications

NAME	ADDRESS
CAJA (Christopher A. Joseph & Associates)	35640 Fremont Boulevard, Suite 185
	Fremont, CA 94536
CERES: Environmental	2221 Commerce Avenue, Suite D1
	Concord, CA 94520
Donaldson Associates	627 Spokane Avenue
	Albany, CA 94706
EIP Associates	601 Montgomery Street, Suite 500
	San Francisco, CA 94111
Environmental Resources Consultants	15791 Simoni Drive
	San Jose, CA 95127
The Habitat Restoration Group	P.O. Box 40066180 Highway 9
	Felton, CA 95018
Impact Sciences	One Kaiser Plaza, Suite 1520
	Oakland, CA 94612
LCP Associates	260 State Street, Suite 105
	Los Altos, CA 94022
Walter Levison	542-A Castle Street
	Daly City, CA 94014
Mundie & Associates	3452 Sacramento Street
	San Francisco, CA 94118-1914
Ogden Environmental & Energy Services Co.,	221 Main Street, Suite 1400
Inc.	San Francisco, CA 94105
Pacific Municipal Consultants	944 Market Street, Suite 400
	San Francisco, CA 94102
Wagstaff & Associates	Parker Plaza; 2550 North Street, Suite 205
	Berkeley, CA 94710
Zitney & Associates	7 Villa Vista Court
	Novato, CA 94947

John Hagstaff 2512 9th Street, Snite 5 Bakeley, CA 94710 Ph: 510-540-0303 F: 510-540-4788



January 14, 2003

Gerald McClellan Land Use Committee Baywood Park Homeowner's Associations, Inc 1899 Parrott Drive San Mateo, CA 94404

ENVIRONMENTAL SERVICES AGENCY

Dear Mr. McClellan:

SUBJECT: PLN 2002-00517

Ascension Heights Subdivision/Thomas

Agricultural Commissioner/ Sealer of Weights & Measures

Animal Control

Cooperative Extension

Fire Protection

LAFCo

Library

Parks & Recreation

Planning & Building

Thank you for your letter dated December 2, 2002. The County has the following procedure to process large projects. A pre-application workshop is conducted whose purpose is to provide a venue whereby the community is informed of a prospective project and given a chance to provide comments. This enables the developer to assess what potential concerns that the community may have. At this stage, a formal application has not been made and the developer can choose to revise his application upon consideration of the community's concerns or any other concerns. Once a formal application is made, the County staff determines whether the application is complete or not. When the application is determined to be complete, the staff determines whether an EIR is necessary. If it is determined that an EIR is necessary, staff puts out a Request for Proposal to hire a consultant to prepare the EIR. Once a consultant is hired then a scoping session is conducted for which notification goes out to the community members within 500 feet and to all other interested parties and organizations.

The status of the above-referenced project is that staff is in the process of sending out a Request for Proposal in order to hire a consultant to prepare the EIR for the project. It is only after the consultant is hired that a scoping session will be conducted. Naturally, proper notification will be done to elicit community response and comments. The file, PLN 2002-00517, does **not** contain information gathered during the pre-application workshops. This information is stored under file number, PLN 2001-00759 and is available for public review. The separation of the two files is merely a method of file organization practiced by our office. Further, the requirement that a scoping session be conducted for EIRs is a matter of law. As you can imagine, it would not be practical to store all the laws, regulations and ordinances that are applicable to the project in the file.

You are correct to point out that Dennis Thomas has revised his project from a 22-lot subdivision proposal presented during the workshop to a 25-lot proposal. It is his right to revise his proposal and comments regarding an increase in the number of lots that can be made during the scoping session.

In summary, the next step for community involvement would be scoping session for the EIR. This would be conducted when the County hires a consultant. Naturally, we will keep you and other interested parties informed when these steps have been taken.

If you have any more questions, you can either contact me at 650/363-1859 or the Project Planner, Miroo Desai Brewer, at 650/363-1853.

Sincerely,

Terry Burnes

Planning Administrator

TB/MDB:cdn - MDBN0042 WCN.DOC

cc: Marcia Raines, Director Environmental Services Agency Miroo Desai Brewer, Project Planner



March 18, 2003

Kim Avila EIP Associates 601 Montgomery Street, Suite 500 San Francisco, CA 94111

**Subject: Thomas Subdivision** 

#### ENVIRONMENTAL SERVICES AGENCY

Dear Kim:

Agricultural
Commissioner/ Sealer of
Weights & Measures

Thankyou for your proposal to prepare the Environmental Impact Report for the Thomas subdivision. I am pleased to inform you that your firm has been selected for an interview. As per my phone conversation with Carrie, interview will be held on March 27, 2003 in Room 201, 455 County Center, Redwood City at 3.00 p.m. One hour has been allotted for the interview during which time you would be have an opportunity to give a presentation followed by questions and answers. The interview panel will include Dave Holbrook, Senior Planner, Jim Eggemeyer, Development Review Services Manager and myself.

Animal Control

If you have any questions please do not hesitate to contact me at 650/363-1853. We look forward to meeting you.

Cooperative Extension

Sincerely,

This desai hever

Fire Protection

Miroo Desai Brewer Project Planner

LAFCo

cc: Jim Eggemeyer, Development Services Review Manager

Library

Parks & Recreation

Planning & Building



March 18, 2003

Chris Joseph CAJA 11849 West Olympic Boulevard Suite 101 Los Angeles, CA 90064

Subject: Thomas Subdivision

#### ENVIRONMENTAL SERVICES AGENCY

Dear Chris

Agricultural
Commissioner/ Sealer of
Weights & Measures

Thankyou for your proposal to prepare the Environmental Impact Report for the Thomas subdivision. I am pleased to inform you that your firm has been selected for an interview. As per our phone conversation, interview will be held on March 27, 2003 in Room 201, 455 County Center, Redwood City at 11.30 a.m. One hour has been allotted for the interview during which time you would be have an opportunity to give a presentation followed by questions and answers. The interview panel will include Dave Holbrook, Senior Planner, Jim Eggemeyer, Development Review Services Manager and myself.

Animal Control

If you have any questions please do not hesitate to contact me at 650/363-1853. We look forward to meeting you.

Cooperative Extension

Sincerely,

Fire Protection

Miroo Desai Brewer Project Planner

LAFCo

cc: Jim Eggemeyer, Development Services Review Manager

Library

Parks & Recreation

Planning & Building



March 18, 2003

Arlyn Purcell Impact Sciences One Kaiser Plaza, Suite 1520 Oakland, CA 94612

**Subject: Thomas Subdivision** 

#### ENVIRONMENTAL SERVICES AGENCY

Dear Ms. Purcell:

Agricultural
Commissioner/ Sealer of
Weights & Measures

Thankyou for your proposal to prepare the Environmental Impact Report for the Thomas subdivision. I am pleased to inform you that your firm has been selected for an interview. As per my phone conversation with Carrie, interview will be held on March 27, 2003 in Room 201, 455 County Center, Redwood City at 10.00 a.m. One hour has been allotted for the interview during which time you would be have an opportunity to give a presentation followed by questions and answers. The interview panel will include Dave Holbrook, Senior Planner, Jim Eggemeyer, Development Review Services Manager and myself.

Animal Control

If you have any questions please do not hesitate to contact me at 650/363-1853. We look forward to meeting you.

Cooperative Extension

Sincerely,

This Leai Brewer

Fire Protection

Miroo Desai Brewer Project Planner

cc: Jim Eggemeyer, Development Services Review Manager

LAFCo

Library

Parks & Recreation

Planning & Building

# AGENDA Thomas Subdivision Environmental Impact Report (EIR) Scoping Meeting Thursday, December 4, 2003 (7:30 PM)

- 1. INTRODUCTION
- 2. PURPOSE OF EIR SCOPING MEETING
- 3. EIR PROCESS
- 4. PROJECT DESCRIPTION
- 5. PUBLIC COMMENTS



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Date: December 4,200
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Your Mailing Address: 1538 Parrott Drive San Mafeo, CA 94402
Phone No. 377-0207 Fax No. (optional)
E-mail address (optional)
Your Organization or Affiliation (if any):
Please provide a brief summary of your position:
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Date: 12/5/63
Your Name (Please Print): Pat McGuire
Your Mailing Address: 1610 Ascension Drive
San Mateo, CA 94402
Phone No. 341-5275 Fax No. (optional)
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Date:/4 / 0 3
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Date: 12/4/03

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#### County of San Mateo • Planning an illding Division

### Speaker's Request Form

Date: 12/4/03

* ** ** ** ** ** ** ** ** ** ** ** ** *
our Name (Please Print): Giffin Cliver
our Mailing Address: 1601 Ascension Dr.
San mateo (A 94402
Phone No Fax No. (optional)
E-mail address (optional) giffy oliver @ hotrail.com
our Organization or Affiliation (if any):
Please provide a brief summary of your position:
☐ Support ☐ Oppose ☐ Oral-Communication
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impart will their displacement
have in hoeal lines?
In concerned about the removal is
so many trees especially theritage
trees. I look up at the hillside
from my historian family vorm &
buch garden - and it is a
heautiful view, and one of the
Vacusous we bought Thank you

negative - a remod about impact the structure process will have property values. a meny struction project will deter ices at flact temporarily to we have ell before project is completed, sie at a loss.

Live across the street from e proposed project. I'm cered about what impact the vegrading will have our property. . What weed March Van bour for the 3 Co Do Coo

PLEASE SIGN IN

Meeting 12/4/03

# NAME	ADDRESS
1 GERALD MCCLELL	W 1899 PARROTT DR SM. 94402
2 Jean Kidera	1432 Bel Aire Rd. 5M 94402
3 Row Arlene John	son 1398 Parrott
4 GilmA P. WAlkER	155 STARLITE DRIVE, S.M 94402-3638
4	1348 ENCHANTED WAY, SN 94402
6 Pauline Yoshida	164 Starlite Dr. San Mateo 94402
7 SACK + MERI BEEMAN	1526 PARROTT DR. 94402
8 French Chasteed	1783 Parott 94402
9 DONFELSE WELCH	1550 PARROTT DR. 94402
10 NEVAIR MURLAY	1563 PARROTT Dr. 94902
11 CARD/ MCGRAW.	1944 PARROTT D 94402
12 ton Meder (WESER	
13 HAYN WONES	1582 ASCENSION DV 94402
14 FRANL ShissLen	1583 Ascension Dr 94402
15 Et SCHAFFER	1596 ASCONSION
16 Linda Ozaque	1434 Enchanted Way 94402
17 Jerry Uzanne	l- i, le / ir
18 Carl M. Pileri	1725 Los Altos Drive S.M 94402
19 HARRIC Debrow	1705 Los A Hos Dr
20 TED GENERAL	1597 ASLOWSIN DA SIM 94402
21 MAXIE O'Kour KE	124 (SM) Dr. 94402
22 Eamony O'Brien-Strain	107 Starlite Dr., Son Nuteo 44402
23 Peggy "	(GRAMES)
24 Flayd & Arame	140 CSM Un Jan Males 94440;
25 Pat McGuire	1610 Ascension Drive San Mateo 94402

PLEASE SIGN IN

Meeting 12/4/03

# NAME	ADDRESS
26 Lene promi	1606 ascension
27 JIM HART	1474 ASCONSION DE.
28 Por Ohil	210 F Los Alto Dr
29 KEVIN ROSE	OFFICE OF SUPERVISOR CHURCH 400 COUNTY CENTER RWC 94063
30 Marian Sosnick	1605 Ascension Dr. S.M. CA 94402
31 Tony Detego/Brian Brown	
32 PAUL HOCKETT	32 VALLEY VIEW OF SM, CA 94402
33 ART ERINOTEAD	1527 PARROTT DRIVE, SM CA 94402
34 Chiachn Hou	180 Kristin Ct S/M CA 94402
35 AU GIVECHI	1512 Ascension
36 Marce Ines Malaudino	Q8 Valley Vien C+
37 Lee B& Maggie Bussey	1561 Ascension Dr. SM CA 94402
38 Hade Prost	soft. View 1. SM "
39 Harr Profit	
40 Heinz Moser	1566 Ascension Drive SM 94402
41 KATHY EVERI	TT 5 PARROTT CT SM GY402
42 Scott Miller	1635 Ascension Dr. Sm94402
43 Helen Hann (MANN)	1383 Endrated Way SM 94462
44 Total bourance	1542 ASCEASION Dr.
45 Dnell Magle	1538 Parrott Drive, San Mater 94402
46 Cl. A Donley	30 Shelburne Place, Son Mateo 94402
47 Pam+ Gordy Stroud	1486 Parrott Dr Sh 94402
48 Giffin Oliver	1601 Ascension Dr SM 94402
49 Martellellams	1414 BELAIREROAD, SM 9440Z
50 KNeit Leigeran	1654 ASCENSION DITUE

PLEASE SIGN IN

Meeting 12/4/03

# NAME	ADDRESS
51 Barbara Mikelic	132 CSMDrive
52	(60)
53	
54	
55	
56	
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## Major Themes For Thomas Subdivision Draft EIR

December 4, 2003



Peggy O'Brien-Strain, President Gerard Ozanne, Vice President Gerald McClellan, Director

# Major Interrelated Issues

For each dimension of EIR, consider:

- · Cumulative impacts
- Magnitude of the project
- Health and safety concerns



# Magnitude: Over 43,000 trips?

- Grading: 100,200 cubic yards (cy) of earth
- 86,000 cy moved offsite and returned
- Move off 8 cy per truck: 10,750 truckloads
- Move back 8 cy per truck: 10,750 truckloads
- 2 passes per truckload =

### 43,000 truck trips for soil alone

# 43,000 truck trips = 100 truckloads per day for 10 months

### Example questions for the EIR:

- -Which homes will these trucks pass?
- -What is the wear and tear on our streets?
- How will slow trucks on steep hills impact traffic?
- How will heavy trucks on sharp curves impact safety?

# Health and Safety

Gerard Ozanne, MD University of California, San Francisco

# Health and Safety: Airborne Contaminants

- · Inhabitants surround project / access streets
- Wind: speed, prevailing direction, inversions
- Particle size: PM10, PM2.5 (airborne for weeks)
- Soil Dust
  - Allergens, pollens, mold spores (Aspergillus fumigatus), silica particles, asbestos
  - Particle size: PM10, PM2.5
  - Quantity and duration of exposures by location

## Airborne Contaminants

- Diesel Exhaust
  - •Oxides of nitrogen, particulate matter (carbon spheres 0.1 micron), carbon monoxide, and hydrocarbons (100's)
  - Quantity and duration of exposures by locations
- Brake Lining Debris
  - •Particle Size: 2-6 micron (50% airborne)
  - Non-asbestos materials untested for safety

# Consequences from Airborne Pollution

- Increased mortality, chronic bronchitis, respiratory infections, ischemic heart disease, stroke, cancer and asthma (Epidemiological, lab studies)
- Highest risks to elderly, young, compromised immune system
- Adjacent neighbors with life-threatening pulmonary disease (down wind)

# Consequences from Airborne Pollution

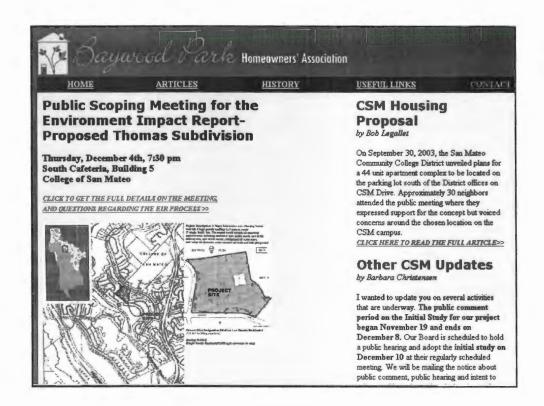
"Expert opinion is that there is no threshold concentration below which particulates have no effect on health."

# Health and Safety: Other Concerns

- Noise Pollution
  - -9-12 months, trucks every 3-4 minutes
  - -Construction
- Rodent disruptions
- Traffic Safety
  - -Limited Access
  - -10,000's truck trips (brake, steering failure)
  - -Accidents

# Keep Neighborhood Involved

- •BPHA is happy to facilitate communication between neighbors and project members.
- •HOAs other than BPHA are also concerned about potential impacts.
- •Website offers setting to share documents: www.baywood.org.



#### ENVIRONMENTAL IMPACT REPORT AND SUBDIVISION PROCESS

The subdivision and EIR process is outlined below. The following information should be used as a guide only, however, it may be helpful in understanding how the process works.

#### 1. Project Submittal

- a. The project is submitted to the Planning Division for review.
- b. The project planner sends out copies of the proposal to all reviewing agencies, including Public Works, Building, Fire, Homeowners Association, Sphere of Influence city etc.
- c. Planner receives initial comments from agencies.
- d. Planner completes an initial study checklist to determine appropriate environmental review process. (EIR determined).

#### 2. Environmental Impact Report (EIR) Determination

- a. Once the Planner determines an EIR is appropriate, the planner sends out a Request for Proposal (RFP) requesting various environmental consultants if they would be interested in completing the environmental document.
- b. Interested consultants send in their proposals, which include issues the environmental document would cover, as well as both time and cost estimates for completing the work.
- c. Consultants who submit proposals are interviewed by a panel of County Planners.
- d. One consultant is selected.
- e. The selected consultant enters into a contract with the County of San Mateo to complete the Environmental Impact Report.

#### 3. Preparation of the EIR

- a. Once the contract is complete, the County and selected consultant begin the EIR process.
- b. The consultant completes an Initial Study which will help determine the issues to be addressed in the EIR. The Initial Study is reviewed by the County and the consultant revises the Initial Study based on any comments the County may have.
- c. A Notice of Preparation (NOP) of an EIR is sent out to all agencies and interested parties to inform them that an EIR will be prepared for the project. The NOP is

- circulated for 30 days to allow time for comments from those agencies and interested parties.
- d. During the NOP circulation period, an optional public scoping meeting is held in the area of the project site to allow an opportunity for the agencies and interested parties to attend and vocalize their concerns about the proposed project and help to define the scope of the EIR.
- e. Ongoing throughout this time, the selected consultant is preparing various aspects of the EIR, including the analysis of any impacts determined to be significant in the Initial Study.
- f. A Draft EIR (DEIR) is prepared by the consultant and circulated by the County. Copies of the DEIR will be sent to all interested parties and agencies.
- g. The DEIR is circulated for a period of 45 days to allow time for written comments. A public meeting will also be held during this review period.
- h. A Notice of Completion (NOC) is filed with the Office of Planning and Research (OPR) once the DEIR is completed.
- Once the public review and comment period for the DEIR is complete, the consultant begins addressing any comments received on the adequacy of the DEIR and prepares written responses.
- j. The Final EIR is prepared which includes the written response to comments received on the DEIR, as well as any corrections and additions to the DEIR that may be required based on the comments, and a mitigation monitoring and reporting program.

#### 4. Public Hearings

- a. Once the Final EIR has been prepared for the projects, the EIR may be taken before a public hearing body, the Planning Commission, for certification. This is a public hearing and provides the opportunity for any interested party to provide their comments regarding the environmental document to the Planning Commission directly.
- b. If the Commission certifies the EIR the project may be presented to the decision makers for a decision. In this case, the proposed 25-lot subdivision requires approval from the Planning Commission.
- c. A number of hearings may be required before a decision can be made. The certification of the EIR may require multiple public hearings. The number of public hearings with regards to the review of the actual project may also be multiple. Every public hearing will be noticed, so that everyone involved will have the opportunity, if desired, to be a part of that process.

1700 West Hillsdale Boulevard - Sun Mateo, California 94402 (650) 574-6161

# Please keep this information with you while on campus

## Contracted Facilities Users Security Information

Thank you for selecting College of San Mateo for your special activities. We have written a contract that will provide you college facilities to enhance the success of your event.

If you need special help while on campus, please utilize the following telephone numbers from any pay phone. A college map with pay phone locations on campus is on the back of this form for your reference. Please use the space below to write your event's building and room number location:

| Building | Room South CAFETERIA

### For Medical, Fire or Police EMERGENCIES......dial 911

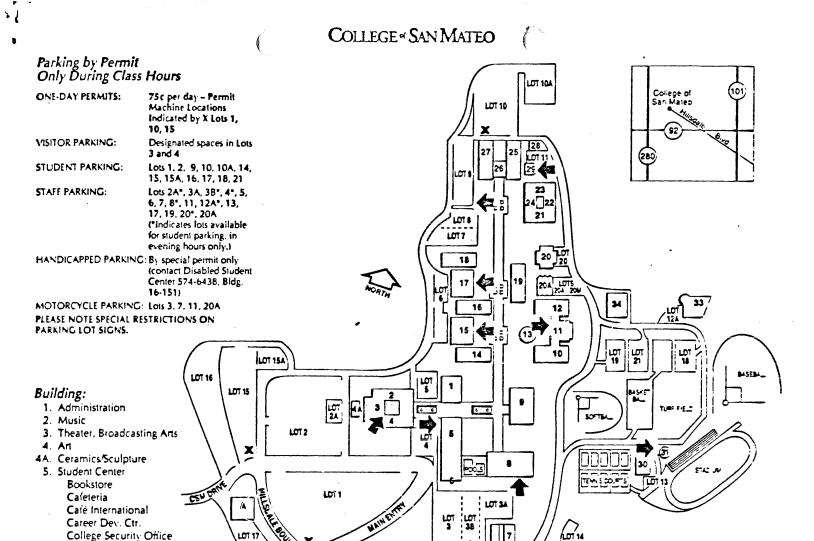
This call will connect you with San Mateo County emergency services which will send help to your College of San Mateo location.

### For CSM Security Office Assistance......dial (650) 574-6415

This call will connect you with the College Security Department. A recorded message will assist you. Please call this number if you need assistance in getting doors unlocked, or if you have a problem which is not an emergency requiring response form San Mateo county Police, Fire or Ambulance.

We sincerely hope that you will not need to use these telephone numbers during your event, but want to be sure that they are available to you if needed. Please be sure to report any problems to the College of San Mateo Operations Office, 574-6220, after your event so that we can make every effort to correct them for the future.

Thank you and best wishes for an outstanding event on the College of San Mateo Campus.



- 6. Museum
- 7. Maintenance
- 8. Gymnasium
- 9. Library, KCSM-TV/FM

Cooperative Education Student Employment

- 10. Life Science
- 11. Science Lecture
- 12. Physical Science
- 13. Planetarium
- 14. South Hall
- 15. Faculty Offices
- 16. Central Hall
- 17. Faculty Offices
- 18. North Hall
- 19. Engineering, Electronics
- 20. EOPS, Multicultural Center, Horticulture
- 20A. Horticulture Greenhouses
- 21. Cosmetology
- 22. Dental Assisting
- 23. Nursing Lab, Public Safety
- 24. Locker Rooms
- 25. Aeronautics
- 26. Technical Lecture
- 27. Technical Training
- 28. Test Cell
- 29. Canteen
- 30. Team House
- 31. Ticket Booth
- 33. Lazarus Child Development Center
- 34. Temporary Building
- A. District Administrative Offices 3401 CSM Drive

# Outdoor Pay Phones located at College of San Mateo

this symbol on the map above indicates where you can find an outdoor pay phone on campus. There are pay phones located inside many buildings also. Please determine where the closest pay phone is located BEFORE you need it!



JOYCE BEP OFF FACILITIES - OF IONS PHONE: (650) 574-6220 FAX: (650) 574-6680 E-MAIL: berghoff@smccd.net

1700 W. HILLSDALE BOULEVARD SAN MATEO, CALIFORNIA 94402-3784

SAN MATEO COUNTY COMMUNITY COLLEGE DISTRICT

CAÑADA COLLEGE
4200 FARM HILL BLVD., REDWOOD CITY
364-1212

COLLEGE OF SAN MATEO
1700 W. HILLSDALE BLVD., SAN MATEO
355-7000

SKYLINE COLLEGE OD 997
3300 COLLEGE DR., SAN BRUNO
355-7000

APPLICATION AND CONTRACT FOR USE OF FACILITIES

	13. 14. 4. 151-15		NON-PROFIT I.D. #	DATE OF APPLICATION
organization San Mateo County Planning De	partment			10/9/03
ADDRESS	CA 0/062			
455 County Center Redwood C	olty, CA 94002	TITLE	PHONE	
XXXXXXXXXXXXX Gabrielle Row	an .	COMMUNITY	363-182 OTHER	
DIVISION OF COLLEGE		SERVICE		
GYM BUILDING	ACAD. BUILDING	FINE ARTS	MAIN THEATRE	OTHER
FACILITY  REQUESTED  MAIN MULTI DRESS RM.  GYM PURP. RM. & SHOWERS	CLASS RM. LECTURE OR LAB RM.	CHORAL STUDIO RM. THEATRE	1	lding 5 th Cafeteria
SERVICES SECURITY CUSTODIAL	MAINTENANCE STUDENTS	1000		OTHER
REQUESTED X			NO. OF	PARKING INFO
PURPOSE Public Meeting			PERSONS	00 LOT NO.
(Billing will be made follow-		OOD CUSTODI		TECHNICAL
FEES ING date of use.) \$	T	0 \$ 128.0	\$ 0	\$ 0 ESTIMATED TOTAL FEE
DATE OF 10/27/03 7:00	P M. 10:00 P	M. OF USE 3		\$128.00
SOUND SYSTEM ( ) MICROPHONES			N SYSTEM SLIDE PROJI	
IMPORTANT: TECHNICIAN REQUIRED O	MUSIC STANDS N ANY OF THE ABOVE		CHORAL SH	
SPECIAL REQUIREMENTS AND INSTRUCTIONS:				
CUSTODIAL: Please have a ma	an on dury during	g event.		
SECURITY: Please open and s	secure facility.	Please do not	cite in Lot 3.	
Account 10004 4001 2342 6790	006			
IN ADDITION TO THE CONDITIONS LIS COMMUNITY COLLEGE DISTRICT RULI THE COMMUNITY USE AND CHARGES AND CONTRACT.	ES AND REGULATION	S, INCLUDING BUT N	OT LIMITED TO THE RE	EGULATIONS REGARDING
ESTIMATE OF CHARGES TO BE RENDE	RED \$128	.00	Amount invoiced may vary as le	ssee is responsible for actual costs
50% DEPOSIT REQUIRED WITH RETU	IRNED CONTRACT (10	0% OF DEPOSIT, MI	NIMUM \$20, IS NONRI	EFUNDABLE IF EVENT IS
CANCELED BY LESSEE.  1. THIS CONTRACT MUST BE COMPL	ETED ONE MONTH PI	RIOR TO THE DATE (	OF USE.	
2. This contract shall be considered as	a reasonable guarant	tee from the College	to the Lessee that the f	
use as specified. Should facilities be reserves the right to reassign space				
3. The Lessee is liable for the care and	protection of College p	roperty and will be ch	arged for any damages	
furniture, or equipment because of t 4. The Lessee agrees to be bound by the				nade a part of the contract
5. Lessee shall provide a Certificate of				
additional insured.  LESSEE HEREBY ACCEPTS CONTRACT	AND AGREES TO BE B	OUND BY TERMS AN	D CONDITIONS AS OUTL	INED ABOVE, AS PRINTED
ON THE REVERSE SIDE HEREOF AND DRGANIZATION				
	11 D	E. Dona	Z PSAN	SER ILIZIOZ
SM County Planning - Gabrie	lle Kowan	BY		DATE
CSM Facilities - Virgil Sta	nford	<u> </u>	V \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	100

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Bro	kers	of C	A Inc Lic.#07	26293					FORDED BY THE POLIC	
			Spear Twr Ste co, CA 94105							
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			Mail Stop EPS					Lexington Insura	nce Co. rwriters Insurance Co	
			55 County C		loor			Continental Casu		20443
		F	Redwood City	, CA 9406	3-1663		INSURER E:	Continental Casu	arry Company	20443
CO	/FRA	GES			<del></del>		INSURER E.			
COVERAGES  THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. AGGREGATE LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.						SUED OR				
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-			OMMERCIAL GENE	RAL LIABILITY		,	-,,-		DAMAGE TO RENTED PREMISES (Ea occurrence)	\$
			CLAIMS MADE		\$500,000 SIR				MED EXP (Any one person)	\$
		ΧI	Public Entity						PERSONAL & ADV INJURY	\$4,750,000
			Error/Omissio	ons					GENERAL AGGREGATE	\$4,750,000
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		]-							PROPERTY DAMAGE (Per accident)	\$
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х	If yes	, descri	be under OVISIONS below		(Excess WC)				E.L. DISEASE - POLICY LIMIT	
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						-				
DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES / EXCLUSIONS ADDED BY ENDORSEMENT / SPECIAL PROVISIONS										
Certificate Holder is named as Additional Insured as respect the use of College of San Mateo facilities by the Insured for Meeting on December 04, 2003										
CERTIFICATE HOLDER CANCELLATION Ten Day Notice for Non-Payment of Premium										
			1		BED POLICIES BE CANCELLED					
			1		ER WILL ENDEAVOR TO MAIL					
1700 W. Hillsdale Blvd.			1		R NAMED TO THE LEFT, BUT FA					
1			IMPOSE NO OBLIGATION OR LIABILITY OF ANY KIND UPON THE INSURER, ITS AGENTS OR							
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#### **IMPORTANT**

If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

#### **DISCLAIMER**

The Certificate of Insurance on the reverse side of this form does not constitute a contract between the issuing insurer(s), authorized representative or producer, and the certificate holder, nor does it affirmatively or negatively amend, extend or alter the coverage afforded by the policies listed thereon.

### **Additional Insured Endorsement**

THE:

College of San Mateo 1700 W. Hillsdale Blvd. San Mateo, CA 94402

IS ADDED AS AN ADDITIONAL INSURED HEREUNDER, BUT ONLY AS RESPECTS LIABILITY ARISING OUT OF THE OPERATIONS OF THE NAMED INSURED AS RESPECTS:

Use of College of San Mateo facilities for Meeting on December 04, 2003

AND ONLY TO THE EXTENT COVERAGE IS PROVIDED BY THIS POLICY. THE INCLUSION OF SUCH ADDITIONAL INSURED SHALL NOT SERVE TO INCREASE THE COMPANY'S LIMIT OF LIABILITY AS SPECIFIED IN THE DECLARATIONS PAGE OF THE POLICY.

THIS POLICY WILL NOT BE CANCELLED UNTIL AT LEAST THIRTY (30) DAYS AFTER NOTICE OF SUCH CANCELLATION HAS BEEN MAILED TO THE NOTED ADDITIONAL INSURED.

IN THE EVENT THAT COVERAGE IS CANCELLED FOR NONPAYMENT OF PREMIUM, THE ADDITIONAL INSURED WILL BE GIVEN TEN (10) DAYS WRITTEN NOTICE.

ALL OTHERS TERMS AND CONDITIONS REMAIN THE SAME.

EFFECTIVE DATE OF THIS ENDORSEMENT IS: <u>December 04, 2003</u>

ATTACHED TO AND FORMING A PART OF POLICY NUMBER: 47034492

ISSUED TO: County of San Mateo, Etal

#### SAN MATEO COUNTY COMMUNITY COLLEGE DISTRICT

#### ADDENDUM TO APPLICATION AND CONTRACT FOR USE OF FACILITIES

HOLD HARMLESS, INDEMNITY; DUTY TO DEFEND. Lessee agrees to indemnify and save harmless San Mateo County Community College (District), its Board of Trustees officers, agents, employees and representatives from all claims, lawsuits or actions of every name, kind and description, brought for, or on account of injuries to or death of any person, including lessee or any servant of lessee, or damage to property of any kind whatever including intangible property and to whomever belonging, INCLUDING BUT NOT LIMITED TO SUCH INJURIES, DEATH OR DAMAGE CAUSED BY THE CONCURRENT ACTIVE OR PASSIVE NEGLIGENCE OF THE DISTRICT, ITS BOARD OF TRUSTEES, OFFICERS, AGENTS EMPLOYEES AND REPRESENTATIVES, where such injuries, death or damages occurred in, upon, or in any manner by reason of lessee's use to the district's premises or property, provided that this indemnity obligation shall not apply to injuries for which District has been found in a court of competent jurisdiction to be solely liable by reason of its own negligence.

The duty of lessee to indemnify and save harmless as set forth herein shall include the duty to defend as established in section 2778 of the California Civil Code, and the duty to defend shall arise upon the making of any such claim against District or its officers or employees or agents notwithstanding that no adjudication of the underlying facts has occurred, and whether or not lessee has also been sued.

Signature of Lessee County of SAN MATED 11 (2/03)

ASCENSION HEIGHTS DEVELOPMENT, INC. 1777 BOREL PL STE, 330 SAN MATEO, CA, 94402

Bay Arr **3ank** 

A MEMBER OF THE GREAL AAY BANGO 900 Veterans Boulevard Redwood City, California 94063 JAY BANCORP FAMILY

90-3766-1211

1002

PAY TO THE ORDER OF

College Of San Mateo

EXACTLY ONE HUNDRED EIGHTY DOLLARS

College Of San Mateo

MEMO

10/27/03 Meeting

#001002#c#121137661# OB17480 L#

10/02/2003

\*\*\*\*\*\*\*\$180.00

DOLLARS 🖺

Subj:

**Scoping Session Dates** 

Date:

9/30/2003 11:31:14 AM Pacific Daylight Time

From:

GRowan@co.sanmateo.ca.us

To: CC: geoff@cajaeir.com SMREdt@aol.com

#### Geoff

I have tentatively reserved a room at the College of San Mateo for the scoping session for Monday, October 27, 2003 - p.m. - 10 p.m. So if the meeting starts at 7.30 - this allows half an hour set up time. The room is the South Cafeteria in Building 5 and will easily hold 100 people. Please let me know if this date works in terms of the timing of the Initial Study/NOP circulation. Then I can confirm with the College of San Mateo and they can designate appropriate parking for the event.

The hourly charge is \$60.00 - so Dennis I'll need a check from you for \$180.00 made payable to College of San Mateo.

Thanks

Gabrielle

I need a check from Assension for \$180.00 to the College of Son Mateo.

 $\Omega$ 7

# San Mateo County Environmental Services Agency

Planning and Building Division - 455 County Center - Redwood City California 94063 - Planning: 650/363-4161 - Building: 650/599-7311 - Fax: 650/363-4849

Facsimile Transmittal Sheet
Date sent:
To be delivered to: PRISCILLA HAFRIS - PISK HANAGENENT
Facsimile number: 4864
Sent by: GABRIEUE ROWAN - PLANNING (PUN 122)
Number of pages to follow Cover Sheet: \
Message or Special Instructions:
Please see attached from College of San Makes
requesting insurance documents in order to
perene a maching room on 12/4/03.
Please would you be able to provide agrics of the
recessary documents.
Please call me ar 1829 if you have any
questins.
Manks
Chiello
Quon .

Our facsimile number is (650) 363-4849. Please call (650) 363-4161 immediately if there is any problem with this transmission. Thank you.

1700 West Hillsdale Boulevard . San Mateo, California 94402 (650) 574-6161

October 14, 2003

Ms. Gabrielle Rowan San Mateo County Planning Department 455 County Center Redwood City, CA 94062

Dear Ms. Rowan,

Thank you for planning your event at the College of San Mateo.

The following checked information is required to complete your reservation:

- (X) Sign and date contract.
- Keep white "originator" copy for your files. Make sure to bring your contract **(X)** copy with you to the event as proof of authorization.)
- (X) 3 Return pink "technician" copy along with the 50% deposit (see below) in the selfaddressed envelope.
- Keep security memo and addendum regarding smoking policy for your information.
- Sign and return Hold Harmless Addendum.

Return your required Certificate of Insurance with a \$1,000,000 aggregate (\$1,000,000 of property damage coverage and \$1,000,000 of personal liability coverage) naming the College of San Mateo as the Certificate holder.

Your signed contract, Certificate of Insurance (if requested above), and 50% deposit must be returned prior to the event or the event will have to be canceled.

The price quoted is an 'estimate of charges to be rendered'. You will be invoiced for the actual expenses after the event has taken place. A 50% deposit of \$64.00 is required with your returned contract (a minimum of \$20.00 or 10% of the deposit, whichever is higher, is nonrefundable upon cancellation). Please make your check payable to S.M.C.C.D. and return it in the enclosed self-addressed envelope.

For your convenience you will find information regarding security on campus including emergency telephone numbers and a college map. We have also enclosed the San Mateo County Community College District's policy on smoking.

If you have any questions or need additional assistance, please feel free to call me at (650) 574-6220.

er Elechogy Joyce Berghoff

Sincerely,

Facilities Rental Office

Enclosures

/jbd



December 8, 2003

Gerald McClellan Baywood Park Homeowners Association 1899 Parrott Drive San Mateo, CA 94404

Dear Mr. McClellan:

ENVIRONMENTAL SERVICES AGENCY

SUBJECT: Thomas Subdivision - Public Scoping Meeting

County File No: PLN2002-00517

Agricultural Commissioner/ Sealer of Weights & Measures Thank you for your Association's attendance at the Public Scoping meeting on December 4, 2003. I feel that your presentation and questions outlining the community's objection to the development were very constructive and useful in relation to defining the scope of the Draft EIR.

Animal Control

Please find enclosed a copy of the sign-in sheets as requested at the meeting. I have also forwarded copies of the tape recordings of the meeting to Peggy O'Brien-Strain as she requested.

Cooperative Extension

If you have any further questions or requests for information please do not hesitate to call me at 650/363-1829.

Sincerely

Fire Protection

Gabrielle Rowan

LAFCo

Project Planner

Library

Parks & Recreation

Planning & Building



December 8, 2003

Peggy O'Brien-Strain Baywood Park Homeowners Association 107 Starlite Drive San Mateo, CA 94402

Dear Ms. O'Brien-Strain:

ENVIRONMENTAL SERVICES AGENCY

SUBJECT: Thomas Subdivision - Public Scoping Meeting

County File No: PLN2002-00517

Agricultural Commissioner/ Sealer of Weights & Measures Thank you for your Association's attendance at the Public Scoping meeting on December 4, 2003. I feel that your presentation and questions outlining the community's objection to the development were very constructive and useful in relation to defining the scope of the Draft EIR.

Animal Control

Please find enclosed copies of the tape recordings of the meeting as requested. I have also forwarded a copy of the sign-in sheets to Gerald McClellan as he requested.

If you have any further questions or requests for information please do not hesitate to call me at 650/363-1829.

Cooperative Extension

Sincerely

Fire Protection

Gabrielle Rowan
Project Planner

LAFCo

Library

Parks & Recreation

Planning & Building

MS

#### FAX transmittal

DATE:

October 20, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo @ FAX: (650) 599 1721

Supervisor Mark Church Supervisor Jerry Hill County of San Mateo @ FAX: (650) 599 1027

FROM:

Board of Directors

Baywood Park Homeowners Association

4 pages including cover sheet

# RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

Ms. Raines,

This letter documents the response of the Baywood Park Homeowners Association to your proposal to reschedule the October 27<sup>th</sup>, 2003 Public Scoping Meeting for the Draft Environmental Impact Report for the Thomas Subdivision for the week of November 17th.

1. Thank you for your October 17<sup>th</sup> agreement to cancel the October 27<sup>th</sup> meeting. The board confirms that the October 27<sup>th</sup> meeting will be cancelled. Notification of this cancellation needs to be sent out immediately based on the following concerns:

- In the pre-application workshops, the county committed to work with area communities in the planning, coordination, and scheduling of the public scoping meeting to ensure that the serious concerns of homeowners regarding the impact of the proposed project would be adequately addressed in the scope of the EIR. The county has not met this commitment.
- The community made itself available through letters to the Planning and Building Division in April and June 2003.
- Homes <u>directly</u> adjacent to the project—on CSM Drive, Ascension
   Drive and Los Altos Drive—were not notified of the project, have no
   knowledge of the project and are extremely concerned about not being
   involved in the planning of the scoping meeting.
- 2. The appropriate next step is to hold a planning meeting for the purpose of organizing and scheduling the scope of work meeting. This planning meeting needs to solicit the views of not only our association, but also other adjacent communities that will be directly affected by the project and that participated in the pre-application meetings.
- 3. Given the need for a planning meeting including representatives of BPHA and other directly affected communities, the proposed reschedule dates for the week of November 17<sup>th</sup> are not feasible.

Please suggest some possible dates for the planning meeting. We will be glad to assist in providing contact information for the other interested communities. Our president, Peggy O'Brien-Strain, can be contacted at 650-346-7347 or BPHA Board Members Gerry McClellan (650-345-9930), Bob Legallet (650-345-1990) or Gerry Ozanne (650-572-1652) will also serve as our representatives on this matter.

Cc: San Mateo Oaks Homeowners Association Ticonderoga Townhomes Association Baywood Plaza Community Association Highlands Community Association Clearview Area Association



FAX

205 De Anza Boulevard, Box 43 Crystal Springs Shopping Village San Mateo, CA 94402-3633

To: Mr. Terry Burnes

From: Peggy O'Brien-Strain, President

Date: October 16, 2003

Thank you again for taking so much of your time this morning discussing the Public Scoping Meeting on the Thomas Subdivsion (PLN 2002-00517).

As you know, given commitments made by Miroo Brewer in your office at the preapplication meetings for this project, our association expected to participate in the planning, coordination and scheduling of the public scoping meeting, to ensure that the serious concerns of our homeowners regarding the impact of the proposed project would be adequately addressed in the scope of the EIR. BPHA expressed in writing early this summer our availability on this issue, but our first notice of the plan for the meeting was the October 10<sup>th</sup> Notice of Preparation, starting the 30 day notice period and scheduling the October 27<sup>th</sup> meeting.

This letter confirms my understanding that (1.) at this time, you do not feel bound by the commitments made by your staff at the pre-application meetings and (2.) your office is not willing to cancel the meeting and reschedule it in consultation with our association and other interested homeowners.

Based on this understanding, we will confer with Supervisor Church's office to explore other options. In any case, I trust that we can work together to make sure the neighbors' concerns are appropriately considered and still maintain a civil and constructive dialogue as this project moves through the process. Please feel free to contact me at (650) 346-7347 or <a href="mailto:octation-neighbors">octation-neighbors</a> or <a hre="mailto:octation-neighbors">octation-neighbors</a> or <a href="m

Sincerely,

Peggy O'Brien-Strain

Mayber Ballery of Harris.

President

#### FAX transmittal

DATE:

October 17, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo

@ FAX: (650) 599 1721

FROM:

Peggy O'Brien-Strain

Baywood Park Homeowners Association

@ FAX: (650) 558-3981

I page including cover sheet

# RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

**MEMO** 

Marcia.

Thank you very much for your call this morning, upholding the commitments made by Planning staff to include area communities in the planning and organization of the public scoping meeting for the Thomas Subdivision EIR. This fax confirms my understanding that the October 27<sup>th</sup> meeting will be cancelled and that we will discuss on Monday the logistics for canceling this meeting and initiate a plan to reschedule the meeting in a reasonable time frame.

I greatly appreciate your assistance on this matter and look forward to working together to assure that the process is constructive in addressing the concerns of the affected neighbors.



# **CANCELLATION**

# OF OCTOBER 27 PUBLIC **SCOPING MEETING**

#### ENVIRONMENTAL **SERVICES** AGENCY

Agricultural Commissioner/ Sealer of Weights & Measures

The public scoping meeting to be held on October 27, 2003 has been cancelled and will be rescheduled in order to better facilitate public input on the project

Animal Control

Cooperative Extension

LAFCo

Library

A separate notification will be sent informing you of the rescheduled public scoping session.

**Project Title:** 

Thomas Subdivision

Project Applicant: San Mateo Real Estate, Inc.

Project Location: Eastern corner of Bel Aire Road and Ascension

Drive, San Mateo County

Fire Protection

**Project Description:** Major Subdivision application to subdivide 13.9

acre parcel into 25 single-family residential lots.

Lead Agency:

County of San Mateo

Planning & Building Division

455 County Center, 2<sup>nd</sup> Floor

Redwood City, CA 94063

Gabrielle Rowan, Project Planner

(650) 363-1829

Parks & Recreation

If you have any questions please contact Gabrielle Rowan at the above office.

Planning & Building

## \*\*\* OCTOBER 27, 2003 PUBLIC SCOPING **MEETING HAS BEEN CANCELLED\*\*\***

PLANNING AND BUILDING

455 County Center, 2nd Floor • Redwood City, CA 94063 • Phone (650) 363-4161 • FAX (650) 363-4849

Baywood Park Homeowners Association Attn: Margaret O'Brien-Strain 205 De Anza Boulevard, Box 43 San Mateo, CA 94402-3633

San Mateo Oaks

Clearview Area Association

Baywood Plaza Homeowners Association Attn: Karen Farnesi 2063 Timberland Way San Mateo, CA 94402

San Mateo Real Estate, Inc Attn: Dennis Thomas 1777 Boreal Place, Suite 330 San Mateo, CA 94402 Ticonderoga Court Homeowners Association Attn: Mr. & Mrs. Knapel 2331 Ticonderoga Court San Mateo, CA 94402 John O'Rourke 29 San Francisco Street Brisbane, CA 94005 CA Dept.of Forestry & Fire Protection AttnJ James Geiger 1416 9th Street Sacramento, CA 95814 CA Dept. of Real Estate Attn: J.A. Edmonds Jr., Commissioner 2201 Broadway Sacramento, CA 95818 S.F. Water Department Attn: John Mullane 425 Mason Street San Francisco, CA 44012

County Parks Foundation Attn: Julia Bott 215 Bay Road Menlo Park, CA 94025 City of San Mateo - Planning Division Attn: Bob Breyer 330 West 20th Avenue San Mateo, CA 94403 Hillsborough - Planning Division Attn: Maureen Morton 1600 Floribunda Avenue Hillsborough, CA 94010-6418

County of San Mateo - Parks & Recreation Division 455 County Center Redwood City, CA 94063 LAFCo Attn: Martha Poyatos 455 County Center Redwood City, CA 94063 U.S. Postal Service Attn: Steven Stielstra Facilities Service Center San Bruno, CA 94099-0330

Bay Area Open Space Council Attn: John Woodbury 246 John Street Oakland, CA 94611 CA Regional Water Quality Control Board Attn: Habte Kifle 1515 Clay Street, Suite 1400 Oakland, CA 94612 -3011 San Mateo County Dept. of Housing & Community Development 262 Harbor Boulevard, Building A Belmont, CA 94002

Redwood City School District Attn: Ronald Crates, Superintendent 815 Allerton Street Redwood City, CA 94063 County of San Mateo Attn: John Maltbie, County Manager 400 County Center Redwood City, CA 94063 County of San Mateo
Attn: Terry Burnes, Planning Administrator
455 County Center
Redwood City, CA 96063

CA Dept. of Housing & Community Dev. Division of Housing & Policy Development P.O. Box 952053 Sacramento, CA 94252

City/County Association of Govt. of SMCo Attn: Richard Napier, Executive Director 10 Twin Dolphin Drive, Suite C-200 Redwood City, CA 94065 Committee for Green Foothills Attn: Lennie Roberts 339 La Cuesta Drive Portola Valley, CA 94028

Sequoia Union High School District Attn: Dr. Merle Fruehling, Superintendent 480 James Avenue Redwood City, CA 94062 County of San Mateo
Attn: Marcia Raines, Director of
Environmental Services
455 County Center
Redwood City, CA 94063

County of San Mateo Attn: Neil Cullen, Director of Public Works 555 County Center Redwood City, CA 94063

State Clearing House CA Office of Planning & Research P.O. Box 3044 Sacramento, CA 95812-3044 San Mateo Highlands Community Association Attn: Cliff Donley, President 30 Shelburne Place San Mateo, CA 94402 Baywood Park Homeowners Association Attn: Gerald Ozanne 1434 Enchanted Way San Mateo, CA 94402

Caltrans District 4 PO Box 23660 Oakland, CA 94623 Department of Fish and Game PO Box 47 Yountville, CA 94549 SWRCB Region #2 1515 Clay St. Suite 1400 Oakland, CA 94612

BAAQMD 939 Ellis St San Francisco, CA 94109 San Mateo County Clerk 555 County Center Redwood City, CA 94063-1665 County of San Mateo Planning Dept. Attn: Gabrielle Rowan 455 County Center Redwood City, CA 94063

#### Workshop & 500' Radius

Raphael Al Tr 100 Valley View Ct San Mateo, CA 94402--3618

Eamonn & Peggy O'Brien-Strain 107 Starlite Dr. San Mateo, CA 94402 June Strauch 108 College of San Mateo Drive San Mateo, CA 94402 Rios Robert Noel & Rona Molina 108 Starlite Dr San Mateo, CA 94402

Jo & Guy Buovo 1111 Parrot Drive San Mateo, CA 94402 Chan Brian H 113 Starlite Dr San Mateo, CA 94402--3604 City & Co Of S F Water Dept 1155 Market St Floor 5 San Francisco, CA 94070--3701

Karen Chew 116 College of San Mateo Drive San Mateo, CA 94402 Massoudi Jahanbakhsh Tr 116 Starlite Dr San Mateo, CA 94402--3613 Mcsheery Tracy D 119 Starlite Dr San Mateo, CA 94402--3618

Button Nellie B Tr 12 Valley View Ct San Mateo, CA 94402--3605 Yan Martin & Susan K Trs 1208 Tournament Dr Hillsborough, CA 94402--3613 Kong Jessica 1210 Tournament Dr Hillsborough, CA 94402--3613

Evangel Peter & Despena Trs 1220 Tournament Dr Hillsborough, CA 94402--3640 Cordell Robert J & Sue L Trs 123 Lakeshore Dr San Mateo, CA 94402--3601 Wong Paul Y & Beatriz C Trs 1230 Tournament Dr Hillsborough, CA 94402--3605

Huang Steve C & Angela S 1235 Tournament Dr Hillsborough, CA 94402--3604 Tony & Marie O'Rourke 124 College of San Mateo Drive San Mateo, CA 94402

Ishizaki Masayuki & Yuki 124 Lakeshore Dr San Mateo, CA 94112-

Jim Castagno 124 Starlite Drive San Mateo, CA 94402 Kyle Stephan E 124 Starlite Dr San Mateo, CA 94402--3607 Chinn Richard B & Carrie C 1240 Tournament Dr Hillsborough, CA 94402--3606

Lim Kent M Tr 1245 Tournament Dr Hillsborough, CA 94402--3652 Lee Charles S 125 Starlite Dr San Mateo, CA 94402--3613 Ginsburg Lee 1250 Tournament Dr Hillsborough, CA 94402--3604

Monozon Michael C Tr 1255 Tournament Dr Hillsborough, CA 94010--7433 Taslim Marcus E 1260 Tournament Dr Hillsborough, CA 94402--3601

Morgan William R & Caren H 1265 Tournament Dr Hillsborough, CA 94402

*		
Yang Nelson C & Jennifer C	Mendes Robert P & Dustynne C	Li Kam T & Betty W
1270 Tournament Dr	1275 Tournament Dr	1285 Tournament Dr
Hillsborough, CA 944023613	Hillsborough, CA 944023636	Hillsborough, CA 94402
Acw Trust Investments	Chow Hilton H & Kam-Fung L Trs	Rob Grialou
1290 Tournament Dr	1305 Tournament Dr	131 Lakeshore Drive
Hillsborough, CA 94014-	Hillsborough, CA 944023611	San Mateo, CA 94402
Hanford Edwin T Tr	Steve & Barbara Mikulic	Ong Frank & Ellen
1315 Tournament Dr	132 College of San Mateo Drive	1331 Schooner St
Hillsborough, CA 944023641	San Mateo, CA 94402	Foster City, CA 94404
Sweeney Lawrence & Beverly J	Chuck & Sarah Farelli	Wadera Ranvir Tr
1335 Bel Aire Rd	1335 Parrot Drive	1342 Bel Aire Rd
San Mateo, CA 944023618	San Mateo, CA 94402	San Mateo, CA 944023646
Noreen Hui	Raposo Carlos	Lee Yao Chung Raymond
1343 Bel Aire Road	1343 Parrott Dr	1344 Parrott Dr
San Mateo, CA 94402	San Mateo, CA 944023621	San Mateo, CA 944023610
Bob Legallet	Schilling James Walter Jr	Chen Tracy L
1347 Rainbow Drive	1350 Bel Aire Rd	1351 Bel Aire Rd
San Mateo, CA 94402	San Mateo, CA 944023613	San Mateo, CA 944023640
Preiser Larry S Tr	Joelson Ealon M	Conci Dennis E
1351 Parrott Dr	1352 Parrott Dr	1358 Bel Aire Rd
San Mateo, CA 944023605	San Mateo, CA 944020000	San Mateo, CA 944023612
Kalkbrenner Robert L & E A	Danigelis William K Tr	Murti Benjamin K & Kristina L
1359 Bel Aire Rd	1360 Parrott Dr	1365 Enchanted Way
San Mateo, CA 944023641	San Mateo, CA 944023641	San Mateo, CA 944023641
Ghosh Jayant	Tong Vincent M & Catherine J	Wendy Woodard
1366 Bel Aire Rd	1367 Bel Aire Rd	1367 Parrot Drive
San Mateo, CA 944023631	San Mateo, CA 944023640	San Mateo, CA 94402
Robert Yamamoto	Merrill Wallace C & Mary F	Salvador Melencio M & Mary A P 1374 Bel Aire Rd

1371 Enchanted Way San Mateo, CA 94402--3605

1368 Parrott Drive

San Mateo, CA 94402

1374 Bel Aire Rd

San Mateo, CA 94402--3633

Cooney Thomas J & Linda A Dan & Ashleigh Hager Kelley Mark S 1375 Parrott Dr 1383 Bel Aire Road 1375 Bel Aire Rd San Mateo, CA 94402--3621 San Mateo, CA 94402--3989 San Mateo, CA 94402 Logan Gail Charlotte Tr Tognotti Michael J & P E Helen Mann 1383 Parrott Dr 1384 Parrott Dr 1383 Enchanted Way San Mateo, CA 94402--3605 San Mateo, CA 94402--0000 San Mateo, CA 94402 Dittia Zubin Soon Dennis L Tr Kiel Walter A & Gloria G 139 Lakeshore Dr 139 Starlite Dr 1392 Bel Aire Rd San Mateo, CA 94402--3621 San Mateo, CA 94010--7400 San Mateo, CA 94402--3632 Custino Aaron Volkov Grigoriy & Yelena Ron Johnson 1398 Bel Aire Rd 1398 Parrot Drive 1395 Enchanted Way San Mateo, CA 94402--3613 San Mateo, CA 94402 San Mateo, CA 94402--3604 Hsin Yvonne Grames Lloyd M & Jalene H Trs Harbison Michael E Tr 1399 Parrott Dr 140 College of San Mateo Dr 1399 Bel Aire Rd San Mateo, CA 94402--3618 San Mateo, CA 94010--7402 San Mateo, CA -Mukha Peter Grayson Daniel P Bennett Dorothy L & Dennis Tr 140 Starlite Dr 1405 Enchanted Way 1407 Enchanted Way San Mateo, CA 94402--3612 San Mateo, CA 94402--3611 San Mateo, CA 94402--3641 Mark Williams Parisis Simeon Tr Pitkin Peter B Tr 1414 Bel Aire Road 1411 Enchanted Way 1414 Parrott Dr San Mateo, CA 94402 San Mateo, CA 94402 San Mateo, CA 94402--3612 Wong Gary Keith Blutman Mary Sue Tr Hens Christopher D & Julie A 1419 Parrott Dr 1420 Enchanted Way 1417 Enchanted Way San Mateo, CA 94402--3615 San Mateo, CA 94402--3619 San Mateo, CA 94402--3612

Goodwine James K Jr & H L Trs 1423 Enchanted Way San Mateo, CA 94402--3623

Metz James J & Linda G 1426 Bel Aire Rd San Mateo, CA 94402--3633 Gasparini Louis & Lisa 1426 Parrott Dr San Mateo, CA 94402--0000

Dowse Bard K & Marilyn J 1427 Parrott Dr San Mateo, CA 94402--3647 Michal Steven P & Susan D 1427 Rainbow Dr San Mateo, CA 94402--3613 Haw David Lawrence & Gan Jee C 1428 Enchanted Way San Mateo, CA 94402--3638 Balestreri Thomas A & Nancy B Abramson Scott Allen & P A Trs Richard Cole 1428 Rainbow Dr 1429 Enchanted Way 1431 Tarrytown Street San Mateo, CA 94402--3621 San Mateo. CA 94402--3641 San Mateo, CA 94402 Ozanne Gerard M & Linda C Jean A. Kidera Ottoboni Gary & Linda K 1432 Bel Aire 1434 Enchanted Way 1435 Enchanted Way San Mateo, CA 94402--3613 San Mateo, CA 94402 San Mateo, CA 94402 Dean Evelyn E Tr Tripplett Larry Calvin Tr L. Blackton 1435 Parrott Dr 1435 Rainbow Dr 1438 Bel Aire San Mateo, CA 94402--3613 San Mateo, CA 94402 San Mateo, CA 94402 Lapier Marie I Tr Craig Stephen L & Anita M Blackton Louanna 1438 Parrott Dr 1439 Rainbow Dr 1438 Bel Aire Rd San Mateo, CA 94402--3649 San Mateo, CA 94402--3621 San Mateo, CA 94402 George Mitroff Kanaga Stephen R Tr Mcdonald Roy 1440 Enchanted Way 1441 Enchanted Way 1443 Parrott Dr San Mateo, CA 94402 San Mateo, CA 94402--3602 San Mateo, CA 94402--3605 Ward Thomas T & Deanna R Lee Huntsberger Carl M Jurado Michael A 1444 Bel Aire Rd 1443 Rainbow Dr 1446 Enchanted Way San Mateo, CA 94402--3640 San Mateo, CA 94402 San Mateo, CA 94402--3640 Hilby Timothy Roland Massoudi Jahangir & Soudabeh Fabris Edward L & Elva A Trs 1449 Ascension Dr 1447 Enchanted Way 1450 Bel Aire Rd San Mateo, CA 94402--3636 San Mateo, CA 94402--3610 San Mateo, CA 94402--3612 Kenneth B. Weser Hughes Michael Schaible Robert L Tr 1450 Parrot Drive 1453 Enchanted Way 1455 Ascension Dr San Mateo, CA 94402--3605 San Mateo, CA 94402 San Mateo, CA 94402--3641 Roach Geraldine R Fronczak David W Jacobs Martha S 1456 Bel Aire Rd 1456 Ascension Dr 1459 Enchanted Wy San Mateo, CA 94402--3641 San Mateo, CA 94402--3624 San Mateo, CA 94402

Kao Shu-Hsin 1459 Parrott Dr San Mateo, CA 94402--3604 Talbot Kurt A & Marilyn Jean 1461 Ascension Dr San Mateo, CA 94402--3640 Lam Kevin 1462 Ascension Dr San Mateo, CA 94402--3646

Toti Argentina J Swartz Jonathan T Ward Edward V & Joyce M 1468 Ascension Dr 1468 Bel Aire Rd 1462 Bel Aire Rd San Mateo, CA 94112-San Mateo, CA 94402 San Mateo, CA 94402--3618 Novy Brian J & Laurie D Hart James J & Ellen P Schane Dale E Tr 1471 Ascension Dr 1474 Ascension Dr 1469 Ascension Dr San Mateo, CA 94402--3641 San Mateo, CA 94402 San Mateo, CA 94402--3605 Fung Willie W & Martha L Hsu Joseph T & Sharon S Craig Nishizaki 1474 Bel Aire Rd 1474 Bel Aire Rd 1474 Ascension Drive San Mateo, CA 94402--0000 San Mateo, CA 94402--3648 San Mateo, CA 94402 Nishizaki Craig M Tr Russo Anthony M Codemo Patricia M Tr 1474 Parrott Dr 1475 Ascension Dr 1475 Parrott Dr San Mateo, CA 94402--3641 San Mateo, CA 94402--3621 San Mateo, CA 94402--3613 Ho James F Tr Mulligan Edith E Sakurai Jennifer L 148 Starlite Dr 148 College of San Mateo Dr 1479 Ascension Dr San Mateo, CA 94402--3601 San Mateo, CA 94402--3639 San Mateo, CA 94402--3640 Thomas Robert E & Rosemarie A Beering Joan M Tr Schwab Ellen M 1485 Ascension Dr 1486 Ascension Dr 1480 Bel Aire Rd San Mateo, CA 95112--4598 San Mateo, CA 94402--3622 San Mateo, CA 94402--3622 Stroud Gordon Edward & Palmyre Trs Loomis Mary Wales Tr Mishra Dev K Tr 1487 Parrott Dr 1492 Ascension Dr 1486 Parrott Dr San Mateo, CA 94402--3633 San Mateo, CA 94402-San Mateo, CA 94402 Moroni Donald & Leslie Rathsack Haruko A Tr Fran & Arnold Baker 1498 Ascension Dr 1498 Parrot Drive 1496 Bel Aire Rd San Mateo, CA 94402--3641 San Mateo, CA 94402 San Mateo, CA 94402--3602

Romano Peter J & Glenda L 1499 Parrott Dr San Mateo, CA 94103Witte Maurice E & F G Trs 1500 Ascension Dr San Mateo, CA 94010Rich Torres 1506 Ascension Drive San Mateo, CA 94402

Gilma P. Walker 151 Starlite Drive San Mateo, CA 94402 Givechi Ali 1512 Ascension Dr San Mateo, CA 94402--3632 Liu Han-Te & Lin Chun-Hsing 1514 Irving St San Francisco, CA 94122-1909

Greenwood Doris A Gunn Scott C Et Al Russell Riley R & Tomoko 1514 Parrott Dr 1515 Parrott Dr 1518 Ascension Dr San Mateo, CA 94402 San Mateo, CA 94402--3633 San Mateo, CA 94402--3632 Marilyn & Jack Beeman Grinstead Arthur W Tr Aliamus Robert J & M J Trs 1526 Parrott Drive 1524 Ascension Dr 1527 Parrott Dr San Mateo, CA 94402 San Mateo, CA 94402--3605 San Mateo, CA 94402--3631 Whitham Calvin D Nagle Donald R Suyehiro David K Tr 1538 Parrott Dr 1530 Ascension Dr 1536 Ascension Dr San Mateo, CA 94402--3633 San Mateo, CA 94402--3613 San Mateo, CA 94402--3612 Lawrence Peter C & Diane F Trs Caitlin Wilfred & Jennifer Wilson Walker Richard H & G P Trs 1539 Parrot Drive 1542 Ascension Dr 155 Starlite Dr San Mateo, CA 94402 San Mateo, CA 94066-San Mateo, CA 94402--3646 Donald & Else Welch Jones Albert L & Sussan Lertora Ronald J Tr 1551 Parrott Dr 1554 Ascension Dr 1550 Parrott Drive San Mateo, CA 94402--3622 San Mateo, CA 94402 San Mateo, CA 94402--3640 Vercelli Christopher J Jeung Patricia Y Tr Aflak Bahram Et Al 156 College of San Mateo Dr 1556 Parrott Dr 1560 Ascension Dr San Mateo, CA 94402 San Mateo, CA 94402--3618 San Mateo, CA 94402-Murray Nevair Bussey Lee B & Margaret Moser Heinz 1561 Ascension Dr 1563 Parrott Dr 1566 Ascension Dr San Mateo, CA 94402--3623 San Mateo, CA 94402 San Mateo, CA 94402--3613 Giometti Rhoda L Tr Tsivikas Eula Tr Wright Elsie W Tr 1570 Ascension Dr 1574 Ascension Dr 1574 Parrott Dr San Mateo, CA 94402--3640 San Mateo, CA 94402 San Mateo, CA 94402--3640

1575 Ascension Dr San Mateo, CA 94402--3641

Velarde Robert J & Patricia R

Dyson Douglas Tr 1575 Parrott Dr San Mateo, CA 94402--3622

Sonia & Harold Isaac Wong Hay C
1581 Ascension Drive 1582 Ascension Dr
San Mateo, CA 94402 San Mateo, CA 94402--3612

Martin Elio L & Barbara L 1578 Ascension Dr San Mateo, CA 94402--3610

Frank Shissler 1583 Ascension Drive San Mateo, CA 94402

Llerena Alex	Cummings Roger Wesley Tr	Uyeda Yoshio & Hiromi Trs
1586 Ascension Dr	1586 Parrott Dr	1587 Ascension Dr
San Mateo, CA 944023614	San Mateo, CA 94402	San Mateo, CA 944023640
Dierkes Paul M & Margery H	Guzman Edward G & Brenda F	Kennedy William B Tr
1587 Parrott Dr	1590 Ascension Dr	1591 Ascension Dr
San Mateo, CA 944023641	San Mateo, CA 94402-	San Mateo, CA 944023600
Chang Henry S & Stella Y	Schaffer Peter W	Glasgow Edwin M & C F Trs
1593 Ascension Dr	1596 Ascension Dr	1597 Ascension Dr
San Mateo, CA 944020000	San Mateo, CA 944023604	San Mateo, CA 944023652
Tuohey Thomas J & L M Trs	Poremba Clifford J Tr	Pagani Aurelio B & L M Trs
1598 Ascension Dr	1599 Parrott Dr	16 Valley View Ct
San Mateo, CA 944023621	San Mateo, CA 94402-	San Mateo, CA 94010-
Loretta Pagani	Simmons Scott A	Sheryl Edwards
16 Valleyview Court	1601 Ascension Dr	1601 Ascension Road
San Mateo, CA 94402	San Mateo, CA 944023618	San Mateo, CA 94402
Sosnick Jeffrey H & Marian J	Ciranni Eugene H & Ruth A	Mcguire D Pat & Doris A Trs
1605 Ascension Dr	1606 Ascension Dr	1610 Ascension Dr
San Mateo, CA 944023632	San Mateo, CA 944023618	San Mateo, CA 944023650
Davis Edwin W Iii	James Inez R Tr	Wil Pinney
1615 Parrott Dr	1616 Parrott Dr	1624 Yorktown Road
San Mateo, CA 944023605	San Mateo, CA 94402	San Mateo, CA 94402
O'Connell Dennis V & Shirley G	Estupinian Joseph R Tr	Hubley Bruce D & Susan E Trs
1627 Parrott Dr	1628 Parrott Dr	163 Starlite Dr
San Mateo, CA 94402-	San Mateo, CA 944023622	San Mateo, CA 944023619
Friedman Marvin A & S K Trs	Sparks Marlan Frank Tr	Key Edwin R Tr
1635 Parrott Dr	1636 Parrott Dr	164 Kristin Ct
San Mateo, CA 94402-	San Mateo, CA 944023612	San Mateo, CA 944023639

Pauline Yoshida Sakkestad Robert & Olga V Trs 164 Starlite Drive 1644 Parrott Dr San Mateo, CA 94402 San Mateo, CA 94402--3640

Richard Glen 1659 Lexington San Mateo, CA 94402

The second secon		
Mark & Barbara Phillips	Dubrow Harris Gerald Tr	Bertiglia Gary D Tr
1675 Parrott Drive	1705 Los Altos Dr	1706 Los Altos Dr
San Mateo, CA 94402	San Mateo, CA 944023611	San Mateo, CA 944023612
Leibs David & Lydia	Bull Walter E & Yvonne L Trs	Yuan Yu Jan & Ye-Chiang
1709 Los Altos Dr	1712 Los Altos Dr	1713 Los Altos Dr
San Mateo, CA 944023646	San Mateo, CA 944023630	San Mateo, CA 940107433
Sullivan Barbara Tr	Leung Wilfred K & Linda H	California Water Service Co
1717 Los Altos Dr	172 Kristin Ct	1720 N 1st St
San Mateo, CA 944023640	San Mateo, CA 944023614	San Jose, CA 95112-4508
Ma Sammy Shun Chow	Pileri Carl M & Lois D Trs	Barney Edward R & Dianne S
1721 Los Altos Dr	1725 Los Altos Dr	1729 Los Altos Dr
San Mateo, CA 944023613	San Mateo, CA 944023613	San Mateo, CA 944023603
Hal Kuehn	Hsu Chia Chu	Kevin Manalili
1760 Los Altos Drive	180 Kristin Ct	1852 Parrott Drive
San Mateo, CA 94402	San Mateo, CA 940107402	San Mateo, CA 94402
Paulina Brusator	Jack & Jane Leddy	Erik Larson
1859 Parrott Drive	1860 Parrott	1875 Parrott
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Huvane Thomas P & Jane C Trs	Ramsay Kawar	Gerald McClellan
188 Kristin Ct	1883 Parrott Drive	1899 Parrott Drive
San Mateo, CA 944023646	San Mateo, CA 94402	San Mateo, CA 94402
Ng Nelson & Belle Lim	Alice Carhart	Snow Robert
192 Kristin Ct	1935 Ticonderoga Drive	194 Kristin Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640
G. McGraw	Pau Peter S & Susanna H	Ficklin Vernon W & Dora L
1944 Parrott Drive	20 Brooke Ct	20 Valley View Ct
San Mateo, CA 94402	Hillsborough, CA 944023618	San Mateo, CA 944023638

Mclaughlin Jean B Tr 20075 Cedar Rd Sonora, CA 95370-5900 Alan Palter 2035 Queens Lane San Mateo, CA 94402 Rallo A J & M E Trs 205 De Anza Blvd Pmb#149 San Mateo, CA 94402--3646

was a second of the second of		
Sam Naifeh	Pat O'Neil	James Goodman
2059 New Bruinswick Drive	2105 Los Altos Drive	2228 Cobblehill Place
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Westphal Roberta Lee Tr	Torres Richard	Malardino Ines Tr
24 Valley View Ct	2580 Summit Drive	28 Valley View Ct
San Mateo, CA 94402	Burlingame, CA 94010	San Mateo, CA 944023618
Sterlekar Olga S Tr	Peggy & Jack Prost	Cliff Donley
282 Patten St	30 Mountain View Place	30 Shelburne Place
Sonoma, CA 95476-6731	San Mateo, CA 94402	San Mateo, CA 94402
Craig Stuart H Tr Et Al	Hockett Paul John Tr	San Mateo County Community
3021 Leger Ct	32 Valley View Ct	3401 College Dr
Pleasanton, CA 94588-2934	San Mateo, CA 944023622	San Bruno, CA 940107433
Michaels Leonard Tr	Rogers John Paul Tr	Schulhof David S
36 Valley View Ct	4 Bennington Ct	40 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 944023601	San Mateo, CA 944023641
Singh Ganendra M	Nelson Herbert W & Wanda J	Hesselink Dick & Antje C
44 Admiral Callaghan Ln	44 Valley View Ct	48 Valley View Ct
Vallejo, CA 94591-4004	San Mateo, CA 944023641	San Mateo, CA 944023618
Juricich Mitchell J & Linda L	Abreu Antonio Pedro T	Robert Winters
52 Valley View Ct	56 Valley View Ct	56 Valleyview Court
San Mateo, CA 94402	San Mateo, CA 94402	San Mateo, CA 94402
Grosey John W Sr & J G Trs	Martucci Dean T & Debra B	Andrakin Frances T Tr
60 Valley View Ct	64 Valley View Ct	65 Partridge Ln
San Mateo, CA 944023613	San Mateo, CA 944023631	Daly City, CA 94014-1361
Paulus David A & Carolyn B	Col. & Mrs Ray Fitts	Fairchild Jane L Tr
72 Valley View Ct	76 Valley View Court	78 Valley View Ct
San Mateo, CA 944023613	San Mateo, CA 94402	San Mateo, CA 944023640
Fava Bruno & Lida Trs	Chandler Helen Anne	Hance Daniel J & Grace Trs

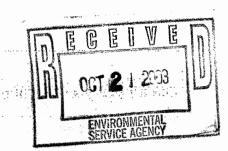
80 Valley View Ct San Mateo, CA 94402--3638

8 Valley View Ct San Mateo, CA 94402--3618 84 Valley View Ct San Mateo, CA 94402--3640 Orourke John 850 E Brunswick St San Francisco, CA 94402--3613 Haslam Robert T 861 Overlook Ct San Mateo, CA 94402 Mason Harry J & Caroline A Trs 88 Valley View Ct San Mateo, CA 94402--3611

Galatolo Mark A & Norma J 901 Bauer Dr San Carlos, CA 94070-3701 Pedersen Arne H & Mary A 92 Valley View Ct San Mateo, CA 94402--3621 Chang Wesley Tr 95 Sugar Hill Dr Hillsborough, CA 94402--3641

Brugioni Robert L & Linda J 96 Valley View Ct San Mateo, CA 94402--3632 Anguiano Robert D 98 Valley View Ct San Mateo, CA 94402--3618 Chang Luke Y P O Box 19106 Stanford, CA 94309-9106

Kwan John Che K & Susan Ting PO Box 47300 Morrison Hill Hong Kong, 94402--3646



#### FAX transmittal

DATE:

October 20, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo @ FAX: (650) 599 1721

Supervisor Mark Church Supervisor Jerry Hill County of San Mateo @ FAX: (650) 599 1027

FROM:

Board of Directors

Baywood Park Homeowners Association

4 pages including cover sheet

## RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

Ms. Raines,

This letter documents the response of the Baywood Park Homeowners Association to your proposal to reschedule the October 27<sup>th</sup>, 2003 Public Scoping Meeting for the Draft Environmental Impact Report for the Thomas Subdivision for the week of November 17th.

Thank you for your October 17<sup>th</sup> agreement to cancel the October 27<sup>th</sup> meeting. The board confirms that the October 27<sup>th</sup> meeting will be cancelled. Notification of this cancellation needs to be sent out immediately based on the following concerns:

NB

- In the pre-application workshops, the county committed to work with area communities in the planning, coordination, and scheduling of the public scoping meeting to ensure that the serious concerns of homeowners regarding the impact of the proposed project would be adequately addressed in the scope of the EIR. The county has not met this commitment.
- The community made itself available through letters to the Planning and Building Division in April and June 2003.
- Homes <u>directly</u> adjacent to the project—on CSM Drive, Ascension
  Drive and Los Altos Drive—were not notified of the project, have no
  knowledge of the project and are extremely concerned about not being
  involved in the planning of the scoping meeting.
- 2. The appropriate next step is to hold a planning meeting for the purpose of organizing and scheduling the scope of work meeting. This planning meeting needs to solicit the views of not only our association, but also other adjacent communities that will be directly affected by the project and that participated in the pre-application meetings.
- 3. Given the need for a planning meeting including representatives of BPHA and other directly affected communities, the proposed reschedule dates for the week of November 17<sup>th</sup> are not feasible.

Please suggest some possible dates for the planning meeting. We will be glad to assist in providing contact information for the other interested communities. Our president, Peggy O'Brien-Strain, can be contacted at 650-346-7347 or BPHA Board Members Gerry McClellan (650-345-9930), Bob Legallet (650-345-1990) or Gerry Ozanne (650-572-1652) will also serve as our representatives on this matter.

Cc: San Mateo Oaks Homeowners Association Ticonderoga Townhomes Association Baywood Plaza Community Association Highlands Community Association Clearview Area Association



**FAX** 

205 De Anza Boulevard, Box 43 Crystal Springs Shopping Village San Mateo, CA 94402-3633

To: Mr. Terry Burnes

From: Peggy O'Brien-Strain, President

Date: October 16, 2003

Thank you again for taking so much of your time this morning discussing the Public Scoping Meeting on the Thomas Subdivsion (PLN 2002-00517).

As you know, given commitments made by Miroo Brewer in your office at the preapplication meetings for this project, our association expected to participate in the planning, coordination and scheduling of the public scoping meeting, to ensure that the serious concerns of our homeowners regarding the impact of the proposed project would be adequately addressed in the scope of the EIR. BPHA expressed in writing early this summer our availability on this issue, but our first notice of the plan for the meeting was the October 10<sup>th</sup> Notice of Preparation, starting the 30 day notice period and scheduling the October 27<sup>th</sup> meeting.

This letter confirms my understanding that (1.) at this time, you do not feel bound by the commitments made by your staff at the pre-application meetings and (2.) your office is not willing to cancel the meeting and reschedule it in consultation with our association and other interested homeowners.

Based on this understanding, we will confer with Supervisor Church's office to explore other options. In any case, I trust that we can work together to make sure the neighbors' concerns are appropriately considered and still maintain a civil and constructive dialogue as this project moves through the process. Please feel free to contact me at (650) 346-7347 or <a href="mailto:operation-noise-neighbors">operation-noise-neighbors</a> or <a href="ma

Sincerely,

Peggy O'Brien-Strain

Weight Buttern College

President

#### FAX transmittal

DATE:

October 17, 2003

TO:

Marcia Raines, Director

**Environmental Services Agency** 

County of San Mateo

@ FAX: (650) 599 1721

FROM:

Peggy O'Brien-Strain

Baywood Park Homeowners Association

@ FAX: (650) 558-3981

I page including cover sheet

## RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

**MEMO** 

Marcia.

Thank you very much for your call this morning, upholding the commitments made by Planning staff to include area communities in the planning and organization of the public scoping meeting for the Thomas Subdivision EIR. This fax confirms my understanding that the October 27<sup>th</sup> meeting will be cancelled and that we will discuss on Monday the logistics for canceling this meeting and initiate a plan to reschedule the meeting in a reasonable time frame.

I greatly appreciate your assistance on this matter and look forward to working together to assure that the process is constructive in addressing the concerns of the affected neighbors.

#### FAX transmittal

DATE:

October 20, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo @ FAX: (650) 599 1721

Supervisor Mark Church Supervisor Jerry Hill County of San Mateo @ FAX: (650) 599 1027

FROM:

Board of Directors

Baywood Park Homeowners Association

4 pages including cover sheet

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Cc: San Mateo Oaks Homeowners Association Ticonderoga Townhomes Association Baywood Plaza Community Association Highlands Community Association Clearview Area Association #

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The said the said

Sincerely,

Peggy O'Brien-Strain

President

#### FAX transmittal

DATE:

October 17, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo

@ FAX: (650) 599 1721

FROM:

Peggy O'Brien-Strain

Baywood Park Homeowners Association

@ FAX: (650) 558-3981

I page including cover sheet

## RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

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#### FAX transmittal

DATE:

October 17, 2003

TO:

Marcia Raines, Director

Environmental Services Agency

County of San Mateo

@ FAX: (650) 599 1721

FROM:

Peggy O'Brien-Strain

Baywood Park Homeowners Association

@ FAX: (650) 558-3981 pobrain@pacbell.net

1 page including cover sheet

## RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

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# NOTICE OF PUBLIC SCOPING MEETING

### REVISED NOTICE OF PREPARATION OF A DRAFT ENVIRONMENTAL IMPACT REPORT

ENVIRONMENTAL **SERVICES** 

AGENCY

**Project Title:** 

Thomas Subdivision

**Project Applicant:** 

San Mateo Real Estate, Inc.

**Project Location:** 

Eastern corner of Bel Aire Road and Ascension Drive, San

Mateo County

Project Description: Major Subdivision application to subdivide 13.9 acre parcel

into 25 single-family residential lots.

Agricultural Commissioner/ Sealer of Weights & Measures

Lead Agency:

County of San Mateo

Planning & Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94063

Gabrielle Rowan, Project Planner

Animal Control

(650) 363-1829

Cooperative Extension

The County of San Mateo is the Lead Agency and will prepare the environmental impact report (EIR) for the proposed project. The Lead Agency needs to know your views as to the scope and content of the EIR. Please send written comments to GABRIELLE ROWAN at the address above by **DECEMBER 18, 2003.** 

Fire Protection

ALL INTERESTED PARTIES ARE INVITED TO ATTEND A PUBLIC SCOPING MEETING TO ASSIST IN IDENTIFYING ISSUES TO BE

LAFCo

ADDRESSED IN THE EIR. ATTENDEES WILL HAVE AN OPPORTUNITY TO PROVIDE INPUT TO THE CONSULTANTS PREPARING THE EIR. THIS MEETING HAS BEEN RESCHEDULED TO BETTER FACILITIATE PUBLIC

Library

INPUT ON THE PROJECT

The public scoping meeting for the EIR will be held on:

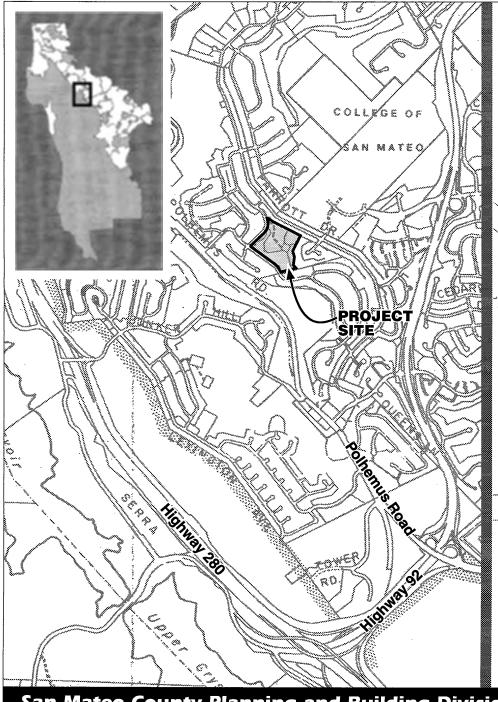
Parks & Recreation

Thursday, December 4, 2003 at 7:30 p.m. at South Cafeteria, Building 5 College of San Mateo 1700 West Hillsdale Boulevard

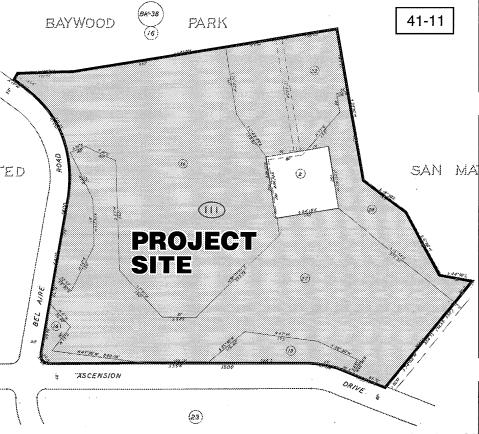
Planning & Building

San Mateo, California 94402 \*\*Parking available at Campus Parking Lot #3\*\* PLANNING AND BUILDING

455 County Center, 2<sup>nd</sup> Floor • Redwood City, CA 94063 • Phone (650) 363-4161 • FAX (650) 363-4849



**Project Description:** A Major Subdivision and a Grading Permit to divide 6 legal parcels totalling 13.3 acres to create 25 single family lots. The project would include all associated improvements including creation of new public streets new storm drain system, new sewer system, realigments of water main, new pump for domestic water, recreational trails and kids playground.



SAN MATED SCHOOL DIST

General Plan Designation: Medium Low Density Residential (2.4 6.0 dwelling units/acre)

Zoning: R-1/S-8

(Single Family Residential/7,500 sq.ft. minimum lot size)

San Mateo County Planning and Building Division

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LI 620 252 1138



#### FAX transmittal

DATE:

November 23, 2003

TO:

Terry Burnes, Planning Administrator

Planning and Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94603 @ FAX: (650) 363-4849

CC:

Gabrielle Rowan, Planner

Kevin Rose, Office of Supervisor Mark Church

FROM:

Gerald McClellan, Land Use Committee

Peggy O'Brien-Strain, President

Baywood Park Homeowners Association

4 pages including cover sheet

# RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

Dear Mr. Burnes,

Thank you again for rescheduling the October 27<sup>th</sup> scoping meeting to December 4<sup>th</sup> at the request of the community. As the enclosed fax to Supervisor Church notes, it was our expectation that your division would meet with us regarding the development and scheduling of the intended Public Scoping Meeting. Instead, we were offered only the choice of specific days within the week of December 1<sup>st</sup> and the choice of venues. Given your earlier concerns about moving this process forward as quickly as possible and your flexibility in rescheduling the original meeting, we accepted the rescheduled date. Nevertheless, in the absence of a preparatory meeting, we have some questions (at the end of this fax) about the "Initial Study, Environmental Evaluation Checklist" and the format of the December 4<sup>th</sup> meeting. To help us prepare for the December 4<sup>th</sup> meeting, we

Terry Burnes, 11-23-2003

2 of 3

would appreciate written answers to these questions by fax or email before COB on December 2<sup>nd</sup>.

More importantly, we formally request that the public comment time period, currently set to end December 18<sup>th</sup>, only two weeks after the public scoping meeting, be extended to at least January 29<sup>th</sup>, 2004 (and possibly longer if questions arise that require a response from the county, the EIR consultants or the developer as background for the specific comments for the EIR scope We are currently preparing a list of concerns for the community, many of which will be raised December 4<sup>th</sup>. However, as we develop our data for submission to the EIR consultants, we are finding a number of questions we need answered to enable our expert consultants to fully evaluate and comment on important issues. Since the meeting is scheduled in the middle of the holiday season, we anticipate that there may be some delay in getting questions resolved. .) In our telephone conversations the week of October 13<sup>th</sup>, you indicated that the deadline for public comments is generally flexible.

Two areas of concern illustrate our questions and the need for additional information as input for the EIR. We can provide additional examples if that would be helpful.

First, it would appear from the Initial Study Checklist that important health and safety concerns were not considered, even after individuals raised these concerns at pre-application meetings. For example, a number of vulnerable residents, including very young and very old neighbors, live in the path of the dust and exhaust "plume" expected to arise from the construction process. Some of these residents suffer from very serious respiratory problems, such as acute asthma and chronic obstructive pulmonary disorder. We need to get additional information on the magnitude of the proposed grading and the potential particulate matter to identify potential health issues and the vulnerability of neighbors, in order to ensure that the concerns are adequately raised in the scope of the EIR. The information on construction volume is also an important input for our engineering consultants, who will review the geotechnical report to evaluate the hydrology and safety aspects concerning the potential for slides on disturbed slopes.

Second, in the Initial Study Checklist, we do not see any recognition of the parallel projects that will affect the same neighborhood, in terms of traffic, geology, air quality and visual impacts. The Chamberlain Project, which we anticipate will be moving into the EIR scoping process shortly; the College of San Mateo multifamily housing project, which is currently in the comment period for the negative

Terry Burnes, 11-23-2003

3 of 3

declaration; and the new San Francisco PUC water tunnel may all be under construction at the same time, creating potentially major cumulative impacts.

It is our hope that a full and complete EIR can address the majority of neighborhood concerns, reducing the conflict over this project as it moves to the Planning Commission and the Board of Supervisors. In this way, additional time for public comment at this point could alleviate problems later, reducing the overall time for this project to move through the planning process.

Questions regarding the "Initial Study, Environmental Evaluation Checklist"

- 1. Who completes this document?
- 2. Who decides the significance of any particular impact? On whose expertise is that impact decided? Which, if any, experts are consulted?
- 3. What criteria are used to decide the impact of any particular category? Who provides the data used to make that decision?
- 4. Can the degree of impacts listed in this checklist be changed?

#### Questions regarding the Public Scoping Meeting

- 1. What are the ground rules for this meeting? What is the protocol for presentation of questions and data? Is there a time limit?
- 2. Will the developer or the county provide answers to our questions?
- 3. What will be the time frame for providing those answers?
- 4. What is the protocol for presentation of written data?
- 5. How will public comments and data provided through this process be considered for inclusion as a study item in the EIR? Who makes that decision and on what basis?

#### Contact information:

Gerald McClellan

1899 Parrott Drive

San Mateo, CA 94402

Fax (650) 571-1989

Peggy O'Brien-Strain

107 Starlite Drive

San Mateo, CA 94402

Fax (650) 558-3981 pobrain@pacbell.net



#### FAX transmittal

DATE:

October 22, 2003

TO:

Supervisor Mark Church

Kevin Rose

County of San Mateo @ FAX: (650) 599 1027

FROM:

Peggy O'Brien-Strain, President

Baywood Park Homeowners Association

4 pages including cover sheet

# RE: Thomas Subdivision Public Scoping Meeting (PLN 2002-00517)

Supervisor Church,

Thank you very much for your assistance addressing our concerns regarding the October 27<sup>th</sup>, 2003 Public Scoping Meeting for the Draft Environmental Impact Report for the Thomas Subdivision. If I understand correctly from your phone messages, notice of the cancellation of the October 27<sup>th</sup> meeting went out late yesterday, and we will expect a call from the Planning and Building Division to expedite a meeting to reschedule the scoping session. Please let me know if I have misinterpreted.

We recognize the challenges you face balancing the needs of the community with the interests of the applicant, and we appreciate your commitment to community inclusion from the beginning of the process. Although our association is relatively new to this process, it is our goal to use the opportunity for thoughtful and considered input from the community in the scoping process to reduce controversy at later stages in the application.

Thanks again to both you and Kevin Rose for your help.



November 25, 2003

Baywood Park Homeowners' Association
Attn: Gerald McClellan
1899 Parrott Drive
San Mateo, CA 94402

Baywood Park HOA Attn: Peggy O'Brien-Strain 107 Starlite Drive San Mateo, CA 94402

#### ENVIRONMENTAL SERVICES AGENCY

Dear Baywood Park Homeowners' Association:

Agricultural Commissioner/ Sealer of Weights & Measures SUBJECT: Thomas Subdivision Public Scoping Meeting (PLN2002-00517)

Animal Control

This letter is in response to your fax dated November 23, 2003 in relation to the Public Scoping meeting on December 4, 2003 and a number of questions you have raised. I hope this letter clarifies the purpose of the scoping session for your association.

Cooperative Extension

The scoping session allows an opportunity for the community and other interested parties to attend and express their comments or concerns on the project and the Initial Study in order to help to define the scope of the EIR. This is an information-gathering meeting for the EIR consultants hired by the County (Christopher Joseph & Associates) to focus their research and analysis for the preparation of the Draft EIR. If a person is not able to attend the scheduled scoping meeting, they also have the ability to submit their comments in writing in response to the NOP.

Fire Protection

LAFCo

Library

Parks & Recreation

Planning & Building

The California Environmental Quality Act (CEQA) and the CEQA Guidelines guide the process for the preparation of EIR documents. The NOP is the initial step which notifies all interested parties and initiates a 30-day response period. This notice was mailed out on October 10, 2003. Therefore the noticing period through to December 18, 2003 already provides an extended period for comments to be received (more than 60 days or two times the State requirement). However, comments received outside of that period may still be accepted by the County and may be considered by the EIR consultants in the preparation of the Draft EIR. Also, please be aware that there will be other opportunities for your association to comment on the various stages of the EIR.

In your letter, you list two areas that you feel were deficient in the Initial Study Checklist. These are the health and safety impacts of the construction phase and the cumulative impacts of other pending development projects in the area. The Public Scoping Meeting provides you with an opportunity to raise these concerns and to request that these issues are investigated and discussed in greater detail in the Draft EIR. The Draft EIR will discuss potential air quality health impacts during the grading, construction and operational phases of the project. The Draft EIR will also analyze the potential cumulative impacts associated with implementation of the proposed project and other pending projects in the area.

You listed specific questions in relation to the Initial Study and the Public Scoping meeting at the end of your letter. I respond to each one of these below:

#### **Initial Study**

1. Who completes this document?

This was completed by the EIR consultants hired by the County to undertake the EIR, Christopher Joseph & Associates. The Initial Study was also reviewed by the County of San Mateo Department of Planning & Building.

2. Who decides the significance of any particular impact? On whose expertise is that impact decided? Which, if any experts are consulted?

Christopher Joseph & Associates completed the Initial Study with input from the County and from other sub-consultants including Hexagon Transportation Consultants, Gilpin Geosciences, Inc and Schaaf & Wheeler Civil Engineers. The Initial Study is a preliminary document and during the review process of the EIR, certain impacts may change in significance and others may be introduced. The purpose of the Initial Study and the Scoping Meeting is to highlight areas of concern which will be investigated and researched during the preparation of the Draft EIR. Based on the Initial Study, virtually all environmental issues on the checklist will be analyzed in detail in the Draft EIR, with the exception of a few issues which were found to be less than significant such as the loss of agricultural resources and mineral resources. The Draft EIR will have "Thresholds of Significance" for each environmental issue area which determines when a significant impact is generated by the proposed project.

3. What criteria are used to decide the impact of any particular category? Who provides the data used to make that decision?

The Initial Study is a preliminary document used to highlight areas of concern as determined by the EIR consultants, their sub-consultants and the County. Comments received during the 30-day public review period and during the Public Scoping meeting may introduce additional areas of concern or may change the level of significance of certain impacts. The Draft EIR will have "Thresholds of Significance" for each

environmental issue area which determines when a significant impact is generated by the proposed project.

4. Can the degree of impacts listed in this checklist be changed?

Yes, the degree of impacts can be redefined as part of the Draft EIR.

#### **Public Scoping Meeting**

1. What are the ground rules for this meeting? What is the protocol for presentation of questions and data? Is there a time limit?

The meeting will consist of a brief introduction to the purpose of the meeting and the background of the project by County Staff and representatives from Christopher Joseph and Associates and their sub-consultants. Then attendees will be invited to present their comments and concerns. The meeting will be tape-recorded to ensure that all comments are accurately received. There will be a sign-in sheet for all attendees to complete and if people wish to speak, there will be speaker slips to be completed, again to ensure there is a correct record of who attended and who spoke. If you wish to submit your comments in writing at the meeting, please hand them directly to myself or else these can be mailed after the meeting to the above address. There is no specific time limit for each speaker. The room is available for two hours which should allow adequate time for all speakers to present their comments.

2. Will the developer or the County provide answers to our questions?

The purpose of this meeting is not to provide definite answers to questions. The EIR consultants will listen to all the concerns and this will help to develop a more defined scope for the Draft EIR. Concerns raised at this stage will be addressed in the Draft EIR.

3. What will be the time frame for providing those answers?

The next step in the process is to receive and review comments from this public review period and then to prepare a Draft EIR. The timeframe for this will depend on the number of comments received. The Draft EIR will be available for public review in a couple of months.

4. What is the protocol for presentation of written data?

Written data can be submitted directly to myself at the meeting or can be mailed afterwards. If a speaker wishes to read the data at the meeting, that would acceptable also, time permitting.

5. How will public comments and data provided through this process be considered for inclusion as a study item in the EIR. Who makes that decision and on what basis?

All comments received will be considered and included in the preparation of the Draft EIR. There will be a 45-day public review period for the Draft EIR as well as a public hearing on the Draft EIR. Additional comments on the adequacy of the Draft EIR can also be received at that time.

I hope the above information is useful to yourselves. If you have any questions, prior to the meeting, please contact me at 650/363-1829.

Sincerely,

Gabrielle Rowan Project Planner

c.c. Supervisor Mark Church
Marcia Raines, Environmental Services Director
Terry Burnes, Planning Administrator
Geoff Reilly, Christopher Joseph & Associates



December 9, 2003

San Mateo Real Estate, Inc Attn: Dennis Thomas 1777 Boreal Place, Suite 330 San Mateo, CA 94402

ENVIRONMENTAL SERVICES AGENCY Dear Dennis:

SUBJECT:

Ascension Heights Subdivision

PLN2002-00517

Agricultural
Commissioner/ Sealer of
Weights & Measures

Please find enclosed copies of the third party reviews of the Geotechnical/Geological Report and the Hydrology Study forwarded to me from the EIR consultants.

Animal Control

Some issues raised by the third party review require responses from your consultants at this stage in order to be included in the Draft EIR.

If you have any questions please contact me at 650/363-1829.

Cooperative Extension

Sincerely,

Fire Protection

Gabrielle Rowan Project Planner

LAFCo

Library

Parks & Recreation

Planning & Building



#### Geotechnical Review Sheet

Department of Public Works Soils/Engineering Geology Section

DEVELO	PER/OWNER	R San	Mateo	Real	Estat	e, 1	Inc.
SITE I	LOCATION A	Ascens	ion Dr	cive			
APN NO	0. 041-111	1-130,	160,	270,	280,	320,	360
GEOLOG	SIST						
SOTT.S	ENGINEER	Miche	lucci	ړ. ∆ ۵۰	cociat	- 6 9	

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FILE NO. 9E-122 SHEET 1 OF 2

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(		)	PLANNING NO. PLN2002-0051/	( X	) DEVELOPER/OWNER
(		)	GEOLOGIC REPORT DATED	$(\mathbf{x})$	) GEOLOGIST
(	X	)	SOILS REPORT DATED 12-16-02, No. 01-3186	$(\mathbf{x})$	) SOILS ENGINEER
(		)	OTHER	$(\mathbf{x})$	) BUILDING PERMITS
			·	$(\mathbf{x})$	) DPW
AC	TI	101	<b>7:</b>		
(		)	REPORTS APPROVED SUBJECT TO CONDITIONS BEL	OW:	•
(	X	)	BEFORE APPROVAL THE FOLLOWING INFORMATION	IS R	EQUIRED:
			(from Geotech Consultant)		

#### REVIEW:

1. It is noted that this review sheet only addresses the currently proposed grading permit application. Further review comments may be made with any future building permit applications in conjunction with this soils report, subdivision and/or grading.

) PLANS AND REPORTS NOT APPROVED FOR REASONS BELOW:

- 2. The report states that no bedding attitude was discerned during the investigation of this site. Are there any dominant joint sets within the fractured and weathered bedrock? And, if so, what are the attitudes of these sets? Are any of them parallel to any of the slopes on this site? Please discuss.
- 3. Does the planned grading for the steepest cut above the road on this site include the removal of all of the uppermost fractured soil & rock? Please discuss.
- 4. Please provide a slope stability analysis for the proposed cut slopes on this site. This should include calculations for both static and pseudo-static condtions. At least one analysis should run through the steepest, southwest-facing slope.

Based on the approval of responses to the above, the following will apply:

- a.) Approval of the development plans and applicable structural design criteria must be obtained from the geotechnical consultant of record prior to issuance of the building permit as required by Section I of the enclosed "Geotechnical Consultant Approval" form.
- b.) Section II must be observed and completed by the Geotechnical Consultant of record prior to acceptance of the completed work by the Geotechnical Section of the Department of Public Works.

Note: Please include the Geotechnical File Number, 9E-122, in all correspondence with the Geotechnical Section of the Department of Public Works.

PREPARED BY JLM FMTGEO.REC (3/93)

DATE April 7, 2003



# COUNTY OF SAN MATEO COUNTY GOVERNMENT CENTER . REDWOOD CITY . CALIFORNIA 94063

### DEPARTMENT OF PUBLIC WORKS

GEOTECHNICAL SECTION

### GEOTECHNICAL CONSULTANT APPROVAL

Con Mala D. 1 To	
APPLICANT (OWNER) San Mateo Real Estate, Inc.	GEO. FILE #9E-122
SITE ADDRESS Ascension Drive	APN. #41-111-130, 160, 270, 280 320, 360
PERMIT TYPE#	
NOTICE TO APPLICANT: SECTION I of this form must be com Section prior to approval of application by the Dep	pleted and a copy returned to Geotechnical artment of Public Works.
SECTION II must be completed and a copy returne approval of the completed construction by the Depar	d to Geotechnical Section prior to final tment of Public Works.
IMPORTANT: It is the responsibility of the applica factors as noted in SECTION I have b SECTION II by the applicants consulta	een observed and approved in
FAILURE TO DO SO WILL RESULT IN UNNECES	SARY DELAYS PENDING SUCH APPROVAL.
SECTION I  Michelucci & Associates  (Name of legally qualified geotechnical Plans prepared for Ascension Heights Subdivision  Plan No. 2020135  and find that such plans are in accordance with the recomm our report(s) No. 01-3186  affecting or affected by the proposed site development. The grading (cuts / fills), surface and subsurface water cont seismic hazard consideration, slope stability, "restricts"	by Lea & Sung , Revision endations provided by us or presented in with respect to geotechnical factors ese include but are not limited to: rol measures, foundation design criteria,
(Geotechnical Consultant)	COUNTY APPROVAL
(Date)	Co. Geol Date
SECTION !! Michelucci & Associates  (Name of legally qualified geotechnical conhaving been done in accordance with their recommendations	has observed and approved as
	all applicable work as noted in SECTION I  NOTE:  Grading Report Required:  No
(Geotechnical Consultant)	NOTE:  Grading Report Required:  Yes

#### TRANSMITTAL SHEET

#### COUNTY OF SAN MATEO

DEPARTMENT OF PUBLIC WORKS
COUNTY GOVERNMENT CENTER
REDWOOD CITY, CALIFORNIA 94063

TO: John O'Rourke

11 Sargent Lane

San Mateo, Ca. 94402

DATE: April 7, 2003

We are forwarding to you via:

ENCLOSURE: X

SEPARATE COVER:

MESSENGER:

DRAWING NUMBER:

RE: Proposed Grading

Ascension Drive

THE FOLLOWING:

Copy of Geotechnical Review Sheet No. 9E-122 for reports for above prepared by Michelucci & Associates, Job No. 01-3186, dated December 16, 2002.

cc: Michelucci & Associates 505 Tunnel Ave., Suite #1 Brisbane, Ca. 94005

San Mateo Real Estate, Inc. 1777 Borel Place, Suite 330

San Mateo, Ca. 94402

AS REQUESTED BY YOU

FOR YOUR APPROVAL

FOR YOUR INFORMATION X

Very truly yours,

J. L. Mazzetta

Geotechnical Section

FRM00031 (12/89)



## COUNTY OF SAN MATEO COUNTY GOVERNMENT CENTER . REDWOOD CITY . CALIFORNIA 94063

### DEPARTMENT OF PUBLIC WORKS

GEOTECHNICAL SECTION

### GEOTECHNICAL CONSULTANT APPROVAL

APPLICANT (OWNER) San Mateo Real Estate, Inc. GEO.FILE # 9E-122
SITE ADDRESS <u>Ascension Drive</u> APN. #41-111-130, 160, 270, 280
PERMIT TYPE <u>Grading</u> # <u>PLN2002-005/7</u> REQUIRED BY DATE 4-7-03
NOTICE TO APPLICANT: SECTION I of this form must be completed and a copy returned to Geotechnical Section prior to approval of application by the Department of Public Works.
SECTION II must be completed and a copy returned to Geotechnical Section prior to final approval of the completed construction by the Department of Public Works.
IMPORTANT: It is the responsibility of the applicant to ensure that <u>ALL</u> geotechnical factors as noted in SECTION I have been observed and approved in SECTION II by the applicants consultant.
FAILURE TO DO SO WILL RESULT IN UNNECESSARY DELAYS PENDING SUCH APPROVAL.
SECTION I Michelucci & Associates (Name of legally qualified geotechnical consultant)  Plans prepared for Ascension Heights Subdivision by Lea & Sung  Plan No. 2020135 , Dated 8-23-02 , Revision  and find that such plans are in accordance with the recommendations provided by us or presented in our report(s) No. 01-3186 , dated 12-16-02 with respect to geotechnical factors affecting or affected by the proposed site development. These include but are not limited to: grading (cuts / fills), surface and subsurface water control measures, foundation design criteria, seismic hazard consideration, slope stability, "restricted from building" areas, and  (Ceotechnical Consultant)  4-9-03  (Date)  Co. Geol. Date  Co. Geol. Date
SECTION II Michelucci & Associates  (Name of legally qualified geotechnical consultant) having been done in accordance with their recommendations all applicable work as noted in SECTION I  (NOTE:  Crading Report Required:  NO
(Geotechnical Consultant)  COUNTY APPROVAL
(Date) Co. Geol Date



JUL 16 2007

San Mateo County Planning Division

### **INTRODUCTION**

Ascension Heights Subdivision is a proposed 25-lot development that is situated in the San Mateo Hills area near the College of San Mateo. A new looping public roadway will service the 25 lots proposed by this development. Along with this is a new secondary access road for emergency purposes only. No regular vehicular traffic will be allowed. The land is currently undeveloped with the exception of an existing water tank owned by California Water Service, Inc. The tank is located on a separate parcel located in the middle of the property and is not a part of the proposed subdivision. This parcel is made accessible by a paved roadway with an access easement through the project. The existing property currently drains downhill to public roadways of Bel Aire Road and Ascension Drive to the west and south. The northerly side of the property currently drains down to the existing houses on Parrott Drive while the southerly side drains to the houses on CSM Drive.

The current storm drain system appears to have been installed in the late 1950's when the current subdivision was constructed. The system starts in various locations throughout the neighborhood. All systems then drain into the main line, which follows Ascension Drive from the intersection of Ascension Drive and Bel Aire Road and then flows downhill to a drop inlet at the intersection of Ascension Drive and Polhemus Road. At this point the runoff flows across Polhemus Road and outfalls into Polhemus Creek.

This report is an analysis of and recommendation on the adequacy of the proposed system as well as the impact on the existing storm drain system into which it is planned to. This study is concentrated on the main storm drain line that follows Ascension Drive from the intersection of Bel Aire Road and Ascension Drive to the outfall in Polhemus Creek.

#### **DRAINAGE NARRATIVE**

The new development will add approximately 4.55 acres of impervious surface (roads, house, and flatwork) to the site which is now currently undeveloped except for the water tank and access road. The new storm drain system proposed as part of the Tentative Subdivision Map will consist of County-approved inlets, drainage structures, concrete valley gutters and underground pipes. The majority of the proposed system will be smooth-walled High Density Polyethylene (HDPE) plastic pipe. The proposed on-site

system will constitute two separate lines, designated in this report as Line "A" and Line "B", which serve the northerly side of the property and the southerly side, respectively.

In compliance with San Mateo County's C.3 requirements, we are proposing to release runoff at predevelopment rates. To accomplish this, all new lots will be constructed with its own detention system. Runoff will be collected in large underground storage pipes and the runoff will released through a metered pipe to restrict runoff. Cumulatively the detention systems have been sized to detain enough runoff to offset the amount of runoff being released through the direct tie in of the street inlets. All runoff is then directed to a new storm drain main on both Ascension and Bel Aire. Prior to leaving the site, the runoff is also proposed to be treated via a CDS mechanical separator unit.

This new storm drain lines will then connect into a new common manhole at the intersection of Ascension Drive and Bel Aire Road. The system then connects into the existing system, following Ascension Drive down to Polhemus Road. The runoff is then released into Polhemus Creek.

The site currently has extensive soil erosion on portions of the site as discussed in the "Geotechnical and Engineering Geologic Investigation" <sup>1</sup> This surface erosion is proposed to be repaired as part of the subdivision. The new valley gutters and storm drain infrastructure are designed to take a significant amount of runoff away from these areas and thus help prevent future erosion.

The new impervious surface runoff associated with the development consists of the following:

New roadway and sidewalk surface	2.25 Acres
New house and driveways	2.30 Acres
(Assumed at 4000 s.f. per lot)	
Total	4.55 Acres

#### ASSUMPTIONS AND METHODOLOGY

In performing the hydrological calculations, the Rational Method (Q=C\*I\*A) was used, as specified in the "San Mateo County, Guidelines for Drainage Review". A 10-year storm event interval was used in the calculations. Per instructions in the guideline and confirmation with Pete Bentley, engineer with the County. The project is outside of any floodplain. Please note that several flows are shown that have been determined via computer hydrograph analysis submitted as a separate report.

<sup>&</sup>lt;sup>1</sup> "Geotechnical and Engineering Geologic Investigation", by Michelucci and Associates, Inc., dated December 16, 2002, Job No. 01-3186

The size, slope, material type and location of the existing system was done in combination of a field survey which located and verified "As-built" conditions of the system and the original improvement plans<sup>2</sup> for the system.

The runoff coefficient "C" was determined in two ways. The first method used to determine the "C" values was by using the values given in the Rainfall Runoff Data Chart<sup>3</sup>. The second method used for determining "C" values for areas that include the large areas of undeveloped land that compromise the parcel was determined by a weighted average method of calculating the percentage of each type of surface, whether residential, asphalt streets or open space.<sup>4</sup>

The Time of Concentration (Tc) was determined by assuming an initial Tc at the uppermost inlet. Starting with the initial Tc and adding the pipe flow time, we then computed the actual Tc at each structure. Since multiple storm drain systems connected to the main system, the overall area and the longest Tc value was used for each structure. Thus some structures jump dramatically in time from the upstream inlet because the runoff took longer to get to this inlet via the branch system that connected to it.

The values for the frictional coefficient, "n" were determined by both manufacturers specifications for the new Corrugated HDPE smooth wall pipe and a good condition for the existing reinforced concrete pipe.

Pipe	<u>"n"</u>
HANCOR Hi-Q <sup>®</sup> PIPE <sup>5</sup>	0.011
Reinforced Concrete Pipe (good condition) <sup>6</sup>	0.013

Hydraulic information was also omitted in this report. Since the slope of the majority of the pipes is in excess of 10% and the new and existing systems are located in a very steep environment, there is negligible chance of having any hydraulic problems. In most instances the hydraulic grade line will simply be the actual water level of the runoff in the pipe section itself. Pete Bentley, engineer for the County of San Mateo, agreed and said that the County would not require any hydraulic calculations.

<sup>2</sup> Improvement Plans – Enchanted Hills Unit No. 2, dated November 1959.

<sup>&</sup>lt;sup>3</sup> Rainfall Runoff Data, San Mateo County

<sup>&</sup>lt;sup>4</sup> Drainage Manual, County of Santa Clara, Department of Public Works.

<sup>&</sup>lt;sup>5</sup> HANCOR Hi-Q<sup>®</sup> PIPE SPECIFICATION, http://www.hancor.com/product/hiqspecs.html

<sup>&</sup>lt;sup>6</sup> Drainage Manual, County of Santa Clara, Department of Public Works.

#### RESULTS

Detailed hydrology calculations for both the existing and proposed systems are shown in Exhibit "A". The calculations take into account all the information shown in the references sheet, the assumptions and methodology section of this report and good engineering judgment.

#### **EXISTING SYSTEM**

The results of the calculations shown in Exhibit "A.1" show that the existing system is able to handle to current pre-development runoff with two pipe run exceptions. Pipe PC-7 as shown on the existing hydrology base map is a 15" RCP sloped at 2%. This exceeds capacity of the pipe by almost 20%. This is primarily due to its flat slope. The outfall pipe, PC-13 that crosses Polhemus Road is also over capacity. This is a 30" RCP sloped at 1.3%. This too has capacity problems due to its flat slope. All other pipes exceed the capacity requirements.

#### PROPOSED SYSTEM

The proposed system is specifically designed to not only handle a 10 year event, but also a 100 year event.

#### HOW THE PROPOSED SYSTEM WILL IMPACT THE EXISTING SYSTEM

The proposed design will have little impact on the existing system. Since the proposed system has a great deal of capacity to it and a long time of concentration, the runoff will be contained in the pipe for some time before it has a chance to severely impact the existing system. The actual system flow is increased with the additional impervious surfaces, however the majority of the pipes in the system are able to handle the additional runoff with no adverse effects. As with the existing system, however, the added runoff has an adverse effect on the same two pipes that posed problems on the existing system.

Should the rainfall from a severe storm exceed that of a 10-year event, or the lines or inlets get clogged, the water does have an overland release via the public streets. Due to the extreme slope of the existing streets, any runoff that is not intercepted by the existing storm drain system will simply drain down Ascension and flow over Pulhemus Road and into the creek. Thus it is anticipated that none of the existing houses or neighboring hillsides in the neighborhood would be affected by any flooding as a result of additional runoff imposed by this development. The proposed on-site system does

have some low spots to it in the new public street that would prevent overland release via the streets. In this case the pipes have been intentionally oversized to handle as much capacity as possible, even in the event of some blockage.

#### RECOMMENDATIONS

The analysis incorporated in this report has shown that the existing system can handle the anticipated additional runoff from the proposed development, except for two specific pipes. It is recommended that these pipes be redesigned and upsized to increase their capacity, both for the existing condition and the proposed development.

In the case of pipe PC-7, in which a 15" RCP flowing at 2.0% is crossing Ascension Drive at Enchanted Way, we recommend a new 21" RCP replace the existing pipe. Since the upstream and downstream pipe are of adequate size, it is more reasonable to simply replace the pipe at the same invert locations as is currently in place.

In the case of pipe PC-13, in which a 30" RCP flows at 1.3%, it is feasible to both increase the size of the pipe as well as increase the slope. The upstream invert of this outgoing pipe is several feet lower than the incoming pipe invert, thus the invert can be raised and not affect the upstream pipe. We recommend replacing the existing 30" RCP with a 36" RCP sloped at 2%.

In both cases, the recommendations will allow the entire system to handle the design storm event with a factor of safety built into it.

The calculations for the above recommendations are shown in Exhibit A.3

#### References

- 1. Rainfall Runoff Data, San Mateo County, California
- 2. San Mateo County, Guideline for Drainage Review
- 3. Tentative Subdivision Map dated 8-23-02 and revised 1-31-03.
- 4. County Aerial Map 9E
- 5. Improvement Plans Enchanted Hills Unit No. 2, dated November 1959."
- 6. "Drainage Manual", Santa Clara County, Department of Public Works
- 7. "Geotechnical and Engineering Geologic Investigation", by Michelucci and Associates, Inc., dated December 16, 2002, Job No. 01-3186
- 8. HANCOR Hi-Q® PIPE SPECIFICATION, http://www.hancor.com/product/hiqspecs.html



## Storm Drain Design by Rational Formula - County of San Mateo Acension Heights Subdivision Ascension Dr and Bel Aire, San Mateo 10 YEAR STORM South Side - Line "S"

Exhibit A.2

Label	Description	Tc (min)	Local Intensity (in/hr)	Area Designation	Area (sf)	Area (acres)	С	System Contributing flow (cfs)	Total System Flow (cfs)	Pipe Size (inches)		Manning's "n"	Pipe Length (ft)	Pipe Slope (ft/ft)	Average Velocity (ft/s)	Pipe Flow Time (min)	Pipe Capacity (cfs)	Exceeds Capacity
CB-S1	(N) COUNTY INLET	10.00	2.20	AREA S-1	12750.00	0.293	*	0.13										
				AREA S-2	11050.00	0.254	*	0.11										
				AREA S-3	13372.57	0.307	*	0.11										
D 04				AREA S-22	4947.93	0.114	0.95	0.24	0.59	12	HDPE	0.010	139	19.40%	8.662	0.27	20.39	'NO
P-S1 CB-S2	(N) COUNTY INLET	10.27	2.19	AREA S-21	15545.85	0.357	0.95	0.74	0.59	12	HUPE	0.010	139	13.4070	0.002	0.21	20.00	110
P-S2	(N) COONTT INLET	10.21	2.13	ANEA 3-21	10040.00	0.557	0.55	0.74	1.33	12	HDPE	0.010	43	2.33%	3.002	0.24	7.07	'NO
CB-S3	(N) V-24 JUNCTION BOX	10.51	2.17	AREA S-4	11974.14	0.275	*	0.11	1.00	12	TIDIL	0.010	10	2.0070				
P-S3	(II) V ET CONCITON DOX	10.01		71112710		0.2.0			1.44	12	HDPE	0.010	110	52.00%	14.182	0.13	33.39	'NO
CB-S4	(N) COUNTY INLET	10.64	2.16	AREA S-5	11074.50	0.254	*	0.11										
				AREA S-6	11074.50	0.254	*	0.11										
				AREA S-20	7109.87	0.163	0.95	0.33				0.010	115	55.000/	44.005	0.40	34.52	'NO
P-S4		10.00	0.01		11500 10		-	0.44	0.55	12	HDPE	0.010	115	55.60%	14.665	0.13	34.52	NO
CB-S5	(N) COUNTY INLET	10.00	2.21	AREA S-7	11709.48	0.269	*	0.11										
DOF				AREA S-19	20536.86	0.471	0.6	0.62	0.73	12	HDPE	0.010	116	40.10%	12.454	0.16	29.32	'NO
P-S5 CB-S6	(N) V-24 CATCH BASIN	10.16	2.19	AREA S-15	12634.44	0.290	*	0.10	0.73	12	HUFE	0.010	110	40.1070	12.404	0.10	20.02	
P-S6	(IN) V-24 CATCH BASIN	10.10	2.15	ANEA 3-13	12034.44	0.290		0.10	0.83	12	HDPE	0.010	103	20.60%	8.926	0.19	21.01	'NO
CB-S7	(N) V-24 CATCH BASIN	10.35	2.18	AREA S-14	10627.57	0.244	*	0.10	0.00		1121							
P-S7	(IV) V Z I G/ II G/ I G/ I	10.00		71112710 11	10021101	V.2		0.10	0.93	12	HDPE	0.010	92	20.60%	8.926	0.17	21.01	'NO
CB-S8	(N) V-24 CATCH BASIN	10.52	2.17	AREA S-13	10798.53	0.248	*	0.10										
P-S8									1.59	12	HDPE	0.010	92	20.60%	8.926	0.17	21.01	'NO
CB-S9	(N) V-24 CATCH BASIN	10.81	2.15	AREA S-12	10787.89	0.248	*	0.10				0.010	07	00.000/	0.000	0.18	21.01	'NO
P-S9		10.00	0.01	1551.00	10000 07	0.070	-	0.11	1.69	12	HDPE	0.010	97	20.60%	8.926	0.18	21.01	NO
	(N) V-24 JUNCTION BOX	10.00	2.21	AREA S-8	12099.67	0.278	-	0.11	0.44	12	HDPE	0.010	136	3.10%	3.463	0.65	8.15	'NO
P-S12	(N) V-24 CATCH BASIN	10.65	2.16	AREA S-9	17789.20	0.408	*	0.11	0.11	12	TUPE	0.010	130	3.1076	3.403	0.00	0.10	110
CB-S11 P-S11	(N) V-24 CATCH BASIN	10.05	2.10	AREA 3-9	17709.20	0.000		0.11	0.22	12	HDPE	0.010	142	3.10%	3.463	0.68	8.15	'NO
CB-S10	(N) V-24 CATCH BASIN	11.34	2.11	AREA S-11	10891.51	0.250	*	0.10	0.22	12	1101 -	0.010	112	0.1070				
00-010	(IV) V-Z-I O/ I O I I B/ IOI I	11.01	2.11	AREA S-10	11461.10	0.263	*	0.11										
P-S10									3.56	12	HDPE	0.010	35	3.10%	3.463	0.17	8.15	'NO
CB-S13	(N) V-24 CATCH BASIN	10.00	2.21	AREA S-16	17203.00	0.395	0.6	0.52									0.45	1110
P-S12									0.52	12	HDPE	0.010	135	3.10%	3.463	0.65	8.15	'NO
CB-S14	(N) V-24 CATCH BASIN	10.65	2.16	AREA S-17	13823.18	0.317	0.6	0.41	0.00	- 10	11555	0.040	115	0.400/	2.400	0.70	8.15	'NO
P-S11		44.00	0.11	ADEC	7047.45	0.100	-	0.00	0.93	12	HDPE	0.010	145	3.10%	3.463	0.70	0.15	INO
	(N) V-24 JUNCTION BOX	11.35	2.11	AREA S-18	7945.45	0.182	0.6	0.23	4.70	45	HDDE	0.010	38	3.10%	5.410	0.12	14.78	'NO
P-S13	(AI) COLINITY MANUELLE	11 40	2.40	**					4.72	15	HDPE	0.010	30	3.10%	5.410	0.12	14.70	140
	(N) COUNTY MANHOLE	11.46	2.10						4.72	15	HDPE	0.010	130	1.92%	4.258	0.51	11.63	'NO
P-S16	(N) COUNTY MANHOLE	11.97	2.06	**					7.12	10	TIDEL	0.010	100	1.0270	1.200	0.01	11100	
P-S17	(N) COUNTY MAINTIOLE	11.91	2.00				-		4.72	15	HDPE	0.010	130	1.92%	4.258	0.51	11.63	'NO
	(N) COUNTY MANHOLE	12.48	2.03	**	-				7.12	10	1,0,0	0.010	100					



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## Storm Drain Design by Rational Formula - County of San Mateo Acension Heights Subdivision Ascension Dr and Bel Aire, San Mateo 10 YEAR STORM North Side - Line "N" Exhibit A.2

Label	Description	Tc (min)	Local Intensity (in/hr)	Area Designation	Area (sf)	Area (acres)	С	System Contributing flow (cfs)	Total System Flow (cfs)	Pipe Size (inches)	Pipe Type	Manning's "n"	Pipe Length (ft)	Pipe Slope (ft/ft)	Average Velocity (ft/s)	Pipe Flow Time (min)	Pipe Capacity (cfs)	Exceeds Capacity
CB-N1	(N) COUNTY INLET	10.00	2.20	AREA N-15	12693	0.29	0.60	0.38										
P-N1									0.38	12	HDPE	0.010	105	17.10%	8.133	0.22	19.15	'NO
CB-N2	(N) COUNTY INLET	10.22	2.19	AREA N-14	10952	0.25	0.95	0.52										
				AREA N-7	12879	0.30	*	0.11							10.510	0.00	04.70	INIO
P-N2		10.05	0.10	**					1.02	12	HDPE	0.010	21	28.60%	10.518	0.03	24.76	'NO
	(N) COUNTY MANHOLE	10.25	2.19	**					1.00	40	LIDDE	0.040	400	0.400/	2.047	0.67	7.17	'NO
P-N3	(Al) COLINITY IN ET	40.05	0.40	ADEANIC	40070	0.05		0.44	1.02	12	HDPE	0.010	123	2.40%	3.047	0.07	7.17	INO
CB-N3	(N) COUNTY INLET	10.25	2.19	AREA N-6	10973	0.25	-	0.11										
P-N4	(N) COUNTY MANHOLE								1.13	12	HDPE	0.010	181	9.40%	6.030	0.50	14.20	'NO
	(N) COUNTY MANHOLE	10.25	2.19	AREA N-5	9675	0.22	*	0.11	1.13	12	HUPE	0.010	101	9.40%	0.030	0.50	14.20	140
P-N5	(IN) COUNTY MANHOLE	10.25	2.19	AREA IV-3	9075	0.22		0.11	1.24	12	HDPE	0.010	350	1.00%	1.967	2.97	4.63	'NO
	(N) COUNTY MANHOLE	13.21	1.97	AREA N-4	9665	0.22	*	0.11	1.24	12	HUFL	0.010	330	1.0070	1.507	2.01	4.00	110
ODIVII I-144	(N) COONT I WANTOLL	10.21	1.07	AREA N-3	9684	0.22	*	0.11										
				AREA N-2	9675	0.22	*	0.11										
				AREA N-1	10558	0.24	*	0.11										
P-N6				7.0.1					1.68	12	HDPE	0.010	103	0.97%	1.937	0.89	4.56	'NO
CB-N4	(N) COUNTY INLET	10.00	2.20	AREA N-8	11686	0.27	*	0.11										
				AREA N-9	11686	0.27	*	0.11										
				AREA N-13	2669	0.06	0.95	0.13										
P-N7									2.03	12	HDPE	0.010	123	2.40%	3.047	0.67	7.17	'NO
CB-N5	(N) COUNTY INLET	10.67	2.16	AREA N-10	12013	0.28	*	0.11										
				AREA N-12	24709	0.57	0.95	1.16										1110
P-N8									3.30	12	HDPE	0.010	123	2.40%	3.047	0.67	7.17	'NO
CB-N6	(N) COUNTY INLET	10.00	2.21	**														
	(N) COUNTY MANHOLE			**						10		0.010	100	0.400/	0.047	0.07	7.47	INIO
P-N9	(A) COLINET ANALUSIE	40.07	0.40	**					3.30	12	HDPE	0.010	123	2.40%	3.047	0.67	7.17	'NO
	(N) COUNTY MANHOLE	10.67	2.16						0.00	40	LUDDE	0.010	44	9.40%	6.030	0.12	14.20	'NO
P-N10	(AI) COLINITY INILET	10.70	2.45	ADEA NI 44	20427	0.47	0.60	0.60	3.30	12	HDPE	0.010	44	9.40%	0.030	0.12	14.20	INO
CB-N7	(N) COUNTY INLET	10.79 10.79	2.15	AREA N-11	20427	0.47	0.60	0.60		-	-							
P-N11	(N) COUNTY MANHOLE	10.79	2.10			-	-		3.90	12	HDPE	0.010	33	9.40%	6.030	0.09	14.20	'NO
	(N) COUNTY MANHOLE	10.89	2.14	**					3.90	12	HUPE	0.010	33	3.4070	0.000	0.00	14.20	1,0
P-N12	(N) COUNT I WANTOLE	10.09	2.14						3.90	12	HDPE	0.010	158	9.40%	6.030	0.44	14.20	'NO
SDMH-NO	(N) COUNTY MANHOLE	11.32	2.11	**				_	0.00	12	I IDI L	0.010	100	0.4070	0.000	0.11	10	.,,
P-N13	(IV) COCIVITI WANTOLE	11.02	٤.11						3.90	12	HDPE	0.010	500	13.10%	7.118	1.17	16.76	'NO
	(N) COUNTY MANHOLE	12.49	2.03	**					0.00	12	1101 2	0.010	000	10.1070				



## Storm Drain Design by Rational Formula - County of San Mateo Acension Heights Subdivision Ascension Dr and Bel Aire, San Mateo 10 YEAR STORM

County - Line "C" Exhibit A.2

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Label	Description	Tc (min)	Local Intensity (in/hr)	Area Designation	Area (acres)	С	System Contributing flow (cfs)	Total System Flow (cfs)	Pipe Size (inches)	Pipe Type	Manning's "n"	Pipe Length (ft)	Pipe Slope (ft/ft)	Average Velocity (ft/s)	Pipe Flow Time (min)	Pipe Capacity (cfs)	Exceeds Capacity
I-C1	(E) COUNTY INLET	10.00	2.32	AREA C-1	0.41	0.95	0.90										
P-C1								0.90	15	RCP	0.013	38	1.80%	3.171	0.20	8.66	'NO
I-C2	(E) COUNTY INLET	10.20	2.24	AREA C-2	6.49	0.40	5.81										
P-C2								6.72	15	RCP	0.013	17	2.8%	3.955	0.07	10.81	'NO
I-C3	(E) COUNTY INLET	10.00	2.32	AREA C-3	3.03	0.35	2.46									Market 1	
P-C3								2.46	15	RCP	0.013	34	23.2%	11.385	0.05	31.10	'NO
SDMH-C1	(E) COUNTY MANHOLE	10.05	2.13	**													
P-C4								9.18	15	RCP	0.013	26	5.8%	5.693	0.08	15.55	'NO
	(N) COUNTY MANHOLE	12.49	1.99	NORTH			3.90							7.5			
	(N) COUNTY MANHOLE	12.48	1.99	SOUTH			4.98										
P-C5								18.06	18	RCP	0.013	30	5.8%	8.198	0.06	25.29	'NO
I-C4	(E) COUNTY INLET	12.54	1.99	AREA C-4	0.24	0.95	0.45										
P-C6		1001						18.51	15	RCP	0.013	164	15.7%	9.366	0.29	25.59	'NO
I-C5	(E) COUNTY INLET	12.84	1.97	AREA C-5	2.12	0.40	1.67										
P-C7	(E) 001 H E5 ( H H E 5	10.10		155100				20.18	15	RCP	0.013	60	2.0%	3.343	0.30	9.13	'YES
I-C6	(E) COUNTY INLET	13.13	1.95	AREA C-6	0.13	0.95											
D 00		13.13	1.95	AREA C-7	17.41	0.45	15.30							1000			
P-C8	(E) COLINITY IN ILET	40.40	4.00	ADELOG	0.00	0.50	0.00	35.72	18	RCP	0.013	278	14.5%	12.961	0.36	39.99	'NO
I-C7	(E) COUNTY INLET	13.49	1.93	AREA C-8	2.36	0.50	2.28				2010		10.007	10.111		00.00	1110
P-C9	(E) COLINITY IN ET	40.70	4.00	ADEAGG	45.40	0.50	44.45	38.00	18	RCP	0.013	200	13.3%	12.414	0.27	38.29	'NO
I-C8	(E) COUNTY INLET	13.76	1.92	AREA C-9	15.10	0.50	14.47	50.47	0.4	DOD	0.040	400	40.40/	40,000	0.40	55.00	1010
P-C10	(E) COUNTY IN ET	42.00	4.04	ADEA C 40	7.50	0.50	7.04	52.47	21	RCP	0.013	130	12.4%	16.328	0.13	55.82	'NO
I-C9	(E) COUNTY INLET	13.89	1.91	AREA C-10	7.59	0.50	7.24	50.74	0.4	DOD	0.040	074	44.007	00.000	0.07	05.50	100
P-C11	(E) COLINITY INILET	4447	1.00	ADEA C 44	0.45	0.05	0.04	59.71	24	RCP	0.013	374	14.3%	22.883	0.27	85.52	'NO
I-C10 P-C12	(E) COUNTY INLET	14.17	1.89	AREA C-11	0.45	0.95	0.81	60.50	0.4	DCD	0.042	CA	10.00/	10 100	0.06	74.54	'NO
	(E) COUNTY INITE	14.00	4.00	ADEA C 40	0.44	0.45	0.00	60.52	24	RCP	0.013	64	10.0%	19.136	0.06	71.51	NO
I-C11 P-C13	(E) COUNTY INLET	14.22	1.89	AREA C-12	3.41	0.45	2.90	62.40	20	DCD	0.042	116	1 20/	10 704	0.10	16.7F	'YES
	DUI HEMUS CREEK							63.42	30	RCP	0.013	116	1.3%	10.781	0.18	46.75	TES
OUTLET	PULHEMUS CREEK																



#### **CDS Stormwater Treatment Unit**

**Project: Ascension Heights Subdivision** 

Location: San Mateo, CA

May 15, 2006

Prepared for Lea & Braze Engineering

By:

Hong Lin, Ph.D.

Project Manager- Project Development

CDS™ Technologies, Inc. Morgan Hill, California

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San Mateo County Planning Division

### **CDS Unit Sizing**

The following calculation(s) used to size a CDS storm water treatment unit for the treatment of stormwater runoff is based upon the criteria established by the California Stormwater BMP Handbook for New Development and Redevelopment. These guidelines have established a water quality rainfall intensity of 0.2 inches/hour for flow-based stormwater BMP structures.

#### Calculation/Estimation of Runoff Flow from Water Quality Storm Event:

Rational Method:  $Q_{wq} = C \cdot I_{wq} \cdot A$ 

 $Q_{wq}$  = Discharge Flow, (Cubic Feet Per Second)

C = Runoff Coefficient, (non-dimensional)

 $I_{wq}$  = Rainfall Intensity, (0.2 Inches/Hour)

A = Catchment Area, (Acres)

#### Site-Specific Runoff Coefficient & Catchment Area Size:

#### Drainage Area A (North)

Variable	Value	Unit	Definition
C =	0.50	Non-dimensional	Runoff Coefficient (Average)
$I_{wq} =$	0.2	in/hr	Rainfall Intensity of Water-Quality Storm Event
A =	3.70	acres	Catchment Area Size (Total)
$Q_{wq} =$	0.37	cfs	Water-Quality Storm Event (WQSE) Discharge Flow

#### **Selection of Structural Storm Water Treatment Device**

CDS Model = PMSU20\_15\_4

#### **Drainage Area B (South)**

Variable	Value	Unit	Definition
C =	0.50	Non-dimensional	Runoff Coefficient (Average)
$I_{wq} =$	0.2	in/hr	Rainfall Intensity of Water-Quality Storm Event
A =	5.30	acres	Catchment Area Size (Total)
$Q_{wq} =$	0.53	cfs	Water-Quality Storm Event (WQSE) Discharge Flow

#### Selection of Structural Storm Water Treatment Device

CDS Model = PMSU20\_15\_4

#### **CDS Unit Selection**

The smallest CDS Model PMSU20\_15\_4 stormwater treatment unit possessing a standard (indirect screening) treatment rate of 0.7-cfs would be adequate for treating the stormwater runoff from this project's north and south catchment areas. The storm water treatment unit will be equipped with a 4700-micron screen for the removal of settleable, floatable and neutrally-buoyant solids, oil and grease. This unit is equipped with an oil-baffle for the control of gross spillages of oil and/or grease. Additionally, for enhanced removal of free (residual) oil and grease, the unit may also be supplied with oil-sorbent material to retain oil and grease in solidified form.

## **Technology Overview**



#### TREATMENT OF STORM WATER RUNOFF

#### STRUCTURAL POLLUTION CONTROL MEASURES

The CDS (Continuous Deflective Separation) technology features a patented non-blocking, indirect screening technique developed in Australia in 1992 to remove pollutants from storm water runoff. The technology was introduced in the United States in 1996 and has gained rapid acceptance. This technology successfully captures total suspended solids (TSS), sediments, oil and grease, trash and debris (including floatables, neutrally buoyant, and negatively buoyant debris) under very high flow rate conditions.

The components of a CDS unit consist of a sump, separation chamber (which contains a stationary screen cylinder), inlet/outlet and diversion weir. Treatment flows are diverted into the CDS separation chamber through either the installation of a diversion structure situated within the alignment of the storm drain/channel ("Inline Units"), or immediately off the storm drain/channel alignment ("Offline Units").

The CDS Technology employs multiple primary clarification treatment processes to remove pollutants from storm flows in a very small footprint: Deflective Screening/Filtration, Swirl Concentration/Vortexing, Diffusion Settlement and Baffling. A detailed review of the treatment flow path shows the application of each of these primary clarification processes. Treatment flows are introduced tangentially along the stainless steel screen by the CDS unit's intake structure located above the cylindrical screen. A balanced set of hydraulics is produced in the separation chamber. These balanced hydraulics provide washing flows across the stainless steel screen surface, which prevent any clogging of the apertures as well as establish the hydraulic regiment necessary to separate solids through deflective separation / swirl concentration / vortex separation.

Vortex separation produces a low energy, quiescent zone in the middle of the swirl that enables effective settlement of fines through a much wider range of flowrates than could otherwise be achieved using a simple settling tank in the same footprint. Particles within the diverted treatment flow are retained by the deflective screen and are maintained in a circular motion, forcing them to the center of the separation chamber, creating an enhanced swirl concentration of solids (Vortex separation), until they settle into the sump. Additionally, the hydraulic boundary layer and deflective force that exist at the stainless steel screen face enhance the separation efficiency of the vortexing, swirl concentration of solids beyond that which could be achieved by a basic smooth cylinder walled vortex chamber. The pollutants captured in the sump located below the swirl concentration/vortexing screening chamber are isolated from high velocity bypass flows through the unit preventing the scouring loss of trapped pollutants. Scouring losses occur in those structural BMP's that are designed such that the deposition zone of settled material is integral to the treatment flow path.

Treated water flows across the entire face of the screen cylinder surface area. This creates the lowest exit velocity rate (under-flowrate) from the CDS separation chamber of any vortexing separator available to date. This low underflow rate greatly enhances the separation capacity of the vortexing solids separation process beyond that of a basic smooth cylinder walled vortexing unit. Besides the quiescence zone in the middle of the swirl separation chamber, the lowest flow rate velocities occur in the annular and volute spaces behind the screen. The flow passing through the stainless steel separation screen is dispersed / diffused into the annular space behind the screen at extremely low velocities so that straight settling occurs as the flow goes beneath the oil baffle and then exits the unit. In short there is no other piece of the equipment that brings this multitude of primary clarification processes together in one treatment system. No other single system can approach the capabilities and capacities of a CDS unit.

A unique advantage of the CDS Technology is the ability to treat a wide range of flows from 0.7 to 300 cubic feet per second (cfs) which allows large drainage basins to be treated by a few strategically located facilities, thereby reducing overall life cycle costs of the treatment system. In addition to reducing the capital and maintenance costs this innovative equipment requires a small footprint for installation using minimal real estate, saving this valuable resource for other uses.

#### MULTIPLE CDS UNIT CONFIGURATIONS

CDS units are available in 3 different types of configurations and can have either an internal or external diversion weir: Off-line (PSW, PSWC & CSW), In-line (PMSU), and Drop-Inlet (PMIU). Figure 1, provides an illustration of a typical Offline PSW, PSWC & CSW model CDS unit, Figure 2 is an illustration of our Inline PMSU model unit and Figure 3 shows our Drop-Inlet storm water treatment units.

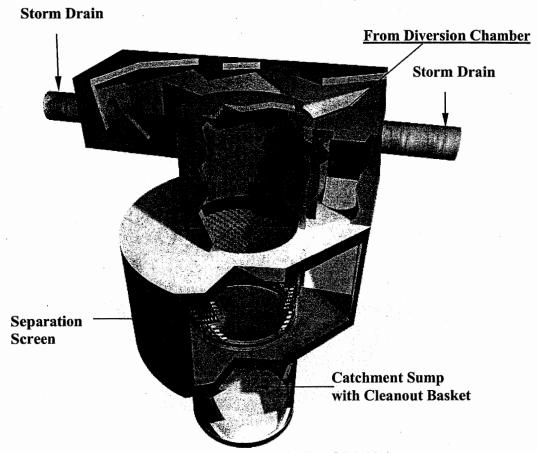


Figure 1 Schematic of an Offline CDS Unit

**Off-line Units**: CDS off-line units are available in precast (PSW & PSWC prefix models) and cast-in-place (CSW prefix models) reinforced concrete structures. These Offline units can also be installed in parallel or series. The precast PSW & PSWC models are standard units, designed to treat flows up to 1813-l/s (64-cfs). The cast-in-place, CSW prefix models, can be constructed to treat flows up to 8.4-m³/s (300-cfs). The diversion weir box structure can be designed to accommodate multiple inlet pipes and bypass very large flood flows. For applications requiring larger flow processing, units are designed complete with construction specifications for cast-in-place construction.

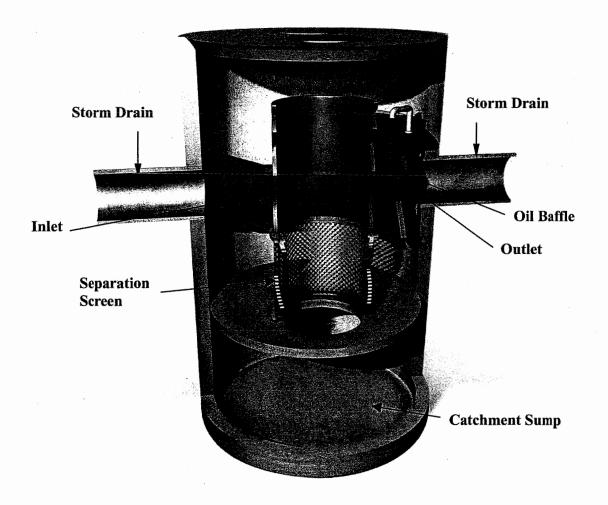


Figure 2 Schematic of an Inline CDS Unit

**In-line Units:** CDS In-line (PMSU prefix model) units are smaller pre-manufactured systems configured inside standard precast manhole structures. These Inline, PMSU, units are sized to process flows of 20 to 171-l/s (0.7 – 6-cfs) from new and existing urban developments. The CDS unit can be placed within new or retrofitted into existing storm water collection systems. Its remarkably small footprint takes little space and requires no supporting infrastructure. These smaller PMSU units are ideal for treating the runoff from parking lots and vehicle maintenance yards.

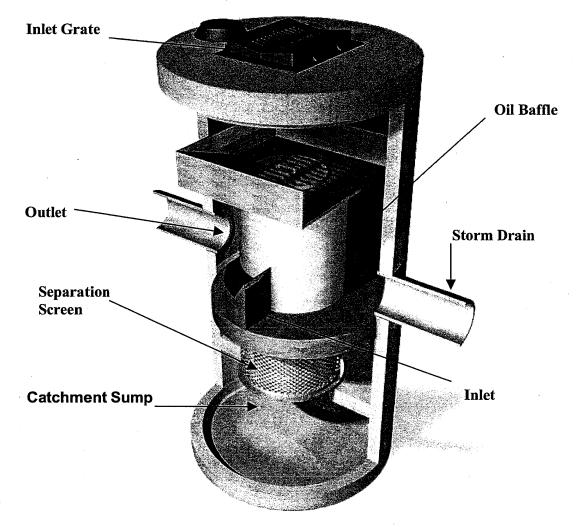


Figure 3 Schematic of a Drop-In CDS Unit

**Drop-Inlet Unit:** this pre-manufactured drop-inlet, (PMIU prefix) unit is designed to process flows of 0.7-cfs (20-l/s) or less and is ideal for small drainage areas such as parking lots. This unit is configured inside a small diameter precast manhole that enables the PMIU unit to function as a typical drop-inlet and would be installed in lieu of a catch basin or storm drain inlet.

#### MAJOR STORM WATER POLLUTION CONTROL APPLICATIONS

CDS Technologies storm water treatment systems are appropriate structural BMPs to treat the storm water runoff from:

- Retail, Commercial, Industrial and Residential Developments
- Parking Lots, Vehicle Maintenance Yards
- Road Improvement Projects
- Inter-modal Transportation Facilities
- Solid Waste Management Facilities and Transfer Stations
- Pre-Treatment to Wetlands and Detention, and Retention Ponds
- Pretreatment / Screening of Storm Water Pump Stations
- Combined Sewage Overflows
- Sanitary Sewer Overflows

CDS Technologies offers solid separation units to treat storm water runoff from the catchment areas subject to the land use activities listed above as well as the runoff from vehicle parking and other areas subject to the buildup of oil, grease, sediment, trash and debris. CDS units can also treat the effluent from vehicle maintenance yards and wash racks.

CDS effectively captures the following storm water pollutants of concern.

- Suspended Solids
- Fine, Medium and Coarse Sediments
- Oil & Grease
- Trash, Debris, Vegetation
- Floatables
- Neutrally Buoyant Material
- Particulate associated pollutants Nutrients (Phosphorus) & Heavy metals

### **Product Specification**

## STORM WATER TREATMENT UNIT Performance & Design Specifications

The Contractor shall install a precast storm water treatment unit (SWTU) in accordance with the notes and details shown on the Drawings and in conformance with these Specifications. The precast storm water treatment units shall be a continuous deflective separator (CDS®) unit, model PMSU20\_15\_4 unit as manufactured by CDS Technologies or proven equivalent.

Acceptable SWTU unit(s) shall be non-mechanical and gravity driven, requiring no external power requirements. The SWTU unit shall be capable of capturing and permanently retaining settleable, floatable, and neutrally buoyant particles and contaminants in accordance with the sizing criteria of these specifications. The SWTU unit shall be equipped with a stainless steel expanded metal screen having a screen opening of 4700 microns (4.7 mm or 0.185 inches). The separation screen shall be self-cleaning and non-blocking for all flows diverted to it, even when flows within the storm drain pipeline exceed the SWTU unit's design treatment flow capacity. A bypass structure shall be provided to allow conveyance of design flows in excess of the SWTU treatment capacity.

Alternative SWTUs shall only be considered equivalent when all conditions of the Storm Water Treatment BMP Equivalency Approval Process portion of these specifications listed below have been satisfied and subject to the complete submittal, review and approved process.

#### Storm Water Treatment Unit Design

Solids Removal Performance Requirements: The SWTU shall remove oil and sediment from storm water during frequent wet weather events. The SWTU shall treat a minimum of 75 to 90 percent of the annual runoff volume and be capable of removing 80 percent of the total suspended sediment load (TSS) and greater than 90 percent of the floatable free oil. The SWTU must be capable of trapping silt and clay size particles in addition to large particles. The SWTU units shall capture 100% of the floatables and 100% of all particles equal to or greater than 4.7 millimeter (mm) for all flow conditions up to unit's design treatment flow capacity, regardless of the particle's specific gravity. The SWTU unit shall capture 100% of all neutrally buoyant material greater than 4.7 mm for all flow conditions up to its design treatment flow capacity.

There shall be no flow conditions up to the design treatment flow capacity of the SWTU unit in which a flow path through the SWTU unit can be identified that allows the passage of a 4.7-mm or larger neutrally buoyant object. The SWTU unit shall permanently retain all captured material for all flow conditions of the storm drains to include flood conditions. The SWTU unit shall not allow materials that have been captured within the unit to be flushed through or out of the unit during any flow condition to include flood and/or tidal influences.

**Minimum Treatment Flow Capacity:** The Model PMSU20\_15\_4 storm water treatment unit shall have a minimum treatment flow capacity of 0.7-cfs (19.8-liters/sec). This treatment capacity shall be achieved without any flow bypassing the overflow weir of the treatment unit. The hydraulic loading rate (gpm/ft²) of the unit shall not exceed recommended loadings when calculated using the peak runoff rate of the water quality storm event.

**Storm Water Treatment Unit Structure:** The structure shall be designed to withstand H20 traffic and earth loadings to be experienced **during the life of the treatment unit**.

**Minimum Sump Design:** The Model PMSU20\_15\_4 shall be furnished with a sump that has a minimum volume of 0.5 cubic yards (0.4 cubic meters) for storage of sediment, organic solids, and other settleable trash and debris. This sump zone shall be separated from the swirl chamber by a constricting access-way for both physical and hydraulic shear separation.

The storm water filtration unit shall be furnished with a sump to store settleable materials and pollutants. The sump shall be below the invert of the separation swirl concentrating or vortexing zone or chamber. Units without sumps or units in which settleable material is deposited within the separation or vortexing chamber shall not be allowed. The unit shall have the volumetric sump capacities list above which is materially separated from the separation or vortex chamber to ensure that settled material does not reside in the treatment flow path and thus subject to re-suspension.

Oil and Grease Removal Performance: The SWTU unit is equipped with a conventional oil baffle to capture and retain oil and grease and Total Petroleum Hydrocarbons (TPH) pollutants as they are transported through the storm drain system during dry weather (gross spills) and wet weather flows. The conventional oil baffle within a unit assures satisfactory oil and grease removal from typical urban storm water runoff.

**Minimum Oil Storage Capacity:** The Model PMSU20\_15\_4 shall be furnished with a baffle that provides a minimum gross oil storage volume of 60 gallons (227-liters).

The SWTUs shall be equipped with a conventional oil baffle to capture and retain oil and grease and Total Petroleum Hydrocarbons (TPH) pollutants as they are transported through the storm drain system during dry weather (gross spills) and wet weather flows.

The SWTU units shall also be capable of receiving and retaining the addition of Oil Sorbents within their separation chambers. The addition of the oil sorbents can ensure the permanent removal of 80% to 90% of the free oil and grease from the storm water runoff. The addition of sorbents enables increased oil and grease capture efficiencies beyond that obtainable by conventional oil baffle systems. Sorbent material shall be added in accordance with the "USE OF OIL SORBENTS" specifications provided by CDS Technologies.

#### **Manufacturers Performance Certificate**

The manufacturer of the SWTU unit shall submit details and shop drawings of sufficient detail for the Engineer to confirm that no available flow paths exist that would allow the passage of an object greater than 4.7 mm and that the hydraulic loading rate at the peak runoff of the water quality storm event is with in does not exceed recommendations. Additionally, the manufacturer shall submit a "Manufacturers Performance Certificate" certifying that the SWTU unit shall achieve the specified removal efficiencies listed in these specifications. This Manufacturer's Performance Certification of removal efficiencies shall clearly and unequivocally state that the listed removal efficiency shall be achieved throughout the entire treatment flow processed by the SWTU unit with no attenuation of removal efficiency as the flow increase up to the minimum treatment flow capacity specified above.

#### **Warranty**

The manufacturer of the SWTU unit shall guarantee the filtration unit free from defects in materials and workmanship for a period one year following installation. Equipment supplied by the manufacturer shall be installed and used only in the particular application for which it was specifically designed.

#### **Storm Water Treatment BMP Equivalency Approval Process**

It is the responsibility of the Project Civil Engineer to design a post-construction treatment control BMP system that conforms to storm water treatment unit these product and performance specifications. When considering equivalencies of previously approved post-construction treatment control BMPs, the project Civil Engineer of Record shall provide a stamped BMP Treatment Report that includes that following:

#### Sizing Storm Water Treatment Unit for Treatment Efficiency and Conveyance

**Treatment Efficiency:** Submit stamped project specific SWTU sizing calculations that explicitly state that the proposed SWTU has been sized in conformance with either of the following:

- 1. The alternative unit's treatment hydraulic loading rate does not exceed 24-gallons/square foot of separator chamber area at the peak of the design *Minimum Treatment Flow Capacity* listed in the following paragraph(s). This is the (horizontal) plan area of the separator zone within the vortex separation chamber, not the total footprint area of the unit.
- 2. Alternative solid separators whose treatment process is primary based on particle settling in vaults or tanks shall only be considered equivalent when the unit's treatment hydraulic loading rate does not exceed 2-gallons/square foot of separator chamber footprint at the peak of the design *Minimum Treatment Flow Capacity*

#### SWTU Performance & Design Specifications

listed in the SWTU performance specifications. This is the (horizontal) internal area of the settling tank or vault, not the total footprint area of the unit.

This portion of the submittal shall also include an explicit listing of design criteria and/or methodology used to develop the minimum flow-based treatment capacities.

**Hydraulic Analysis:** Submit stamped project specific hydraulic calculations stamped by professional engineer registered with the state where the project is located. This Hydraulic Analysis shall provide the following.

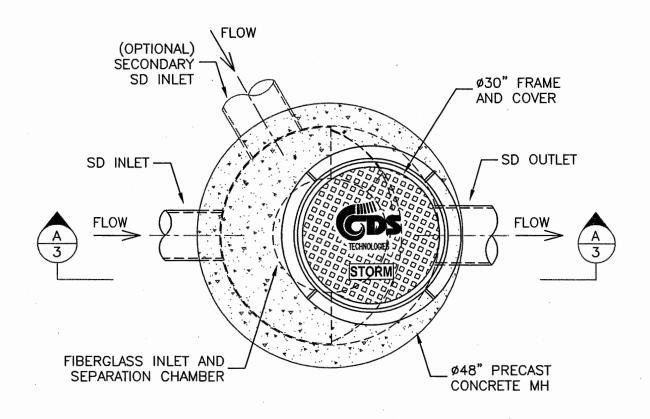
- The Hydraulic Gradeline (HGL) through the diversion structure and proposed storm water treatment system for the water quality storm event shall be calculated and plotted on a detail of the storm water treatment system.
  - This hydraulic analysis shall explicitly show that the water quality volume or water quality runoff flow rate calculated in accordance with the best practices of hydraulic analysis performed by civil engineers.
- 2. The HGL for the design flood event (e.g., Q<sub>10</sub>, Q<sub>15</sub>, Q<sub>25</sub>, etc.) shall also be calculated and plotted through the Treatment Control BMP.

#### Reference:

Section 5.5 BMP Design Criteria for Flow and Volume of the California Stormwater Best Management Practice Handbook New Development and Redevelopment published by California Stormwater Quality Association (CASQA) Stormwater Best Management Practice Handbook for New Development and Redevelopment.

### **Typical Plan & Profile Drawings**

#### PLAN VIEW



#### NOTE:

CDS UNIT IS SHIPPED COMPLETE WITH FIBERGLASS INLET/OIL BAFFLE AND SEPARATION SCREEN ASSEMBLY PRE-INSTALLED.

#### CDS MODEL PMSU20\_15\_4 STORMWATER TREATMENT UNIT



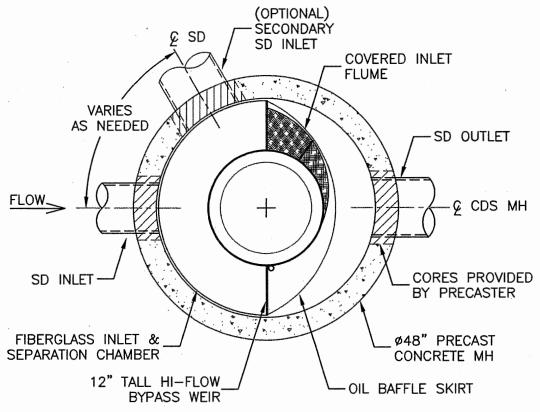
#### PROJECT NAME PROJECT LOCATION

JOB# CA-	SCALE 1"=20"
DATE:	SHEET
DRAWN:	1
APPROV.	

16360 MONTEREY RD. SUITE 250 MORGAN HILL, CA 95037

TEL: (888) 535-7559 FAX: (408) 782-0721

#### SECTION B-B



NOTE:

CDS UNIT IS SHIPPED COMPLETE WITH FIBERGLASS INLET/OIL BAFFLE AND SEPARATION SCREEN ASSEMBLY PRE-INSTALLED.

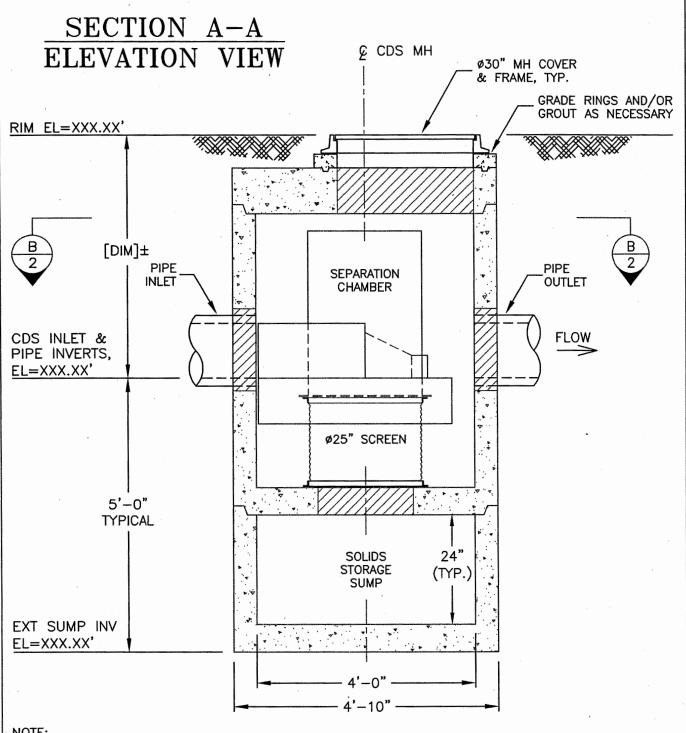
## CDS MODEL PMSU20\_15\_4 STORMWATER TREATMENT UNIT



### PROJECT NAME PROJECT LOCATION

	JOB# CA-	-	SCALE 1"=20"
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J			9
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	APPROV.		
TEL:	(888) 535-755	9 FAX: (408)	782-0721

16360 MONTEREY RD. SUITE 250 MORGAN HILL, CA 95037



NOTE:

CDS UNIT IS TYPICALLY DELIVERED W/ FIBERGLASS INLET/OIL BAFFLE & SCREEN ASSEMBLY PRE-INSTALLED. FOR FIELD ASSEMBLY OF INTERNAL COMPONENTS, THE GREEN SCREEN CYLINDER FLANGE SHALL FACE UP.

CDS MODEL PMSU20\_15\_4 STORMWATER TREATMENT UNIT



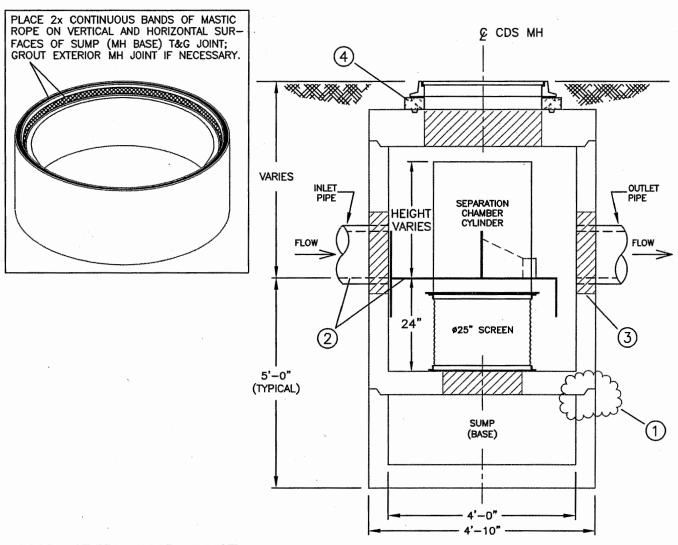
#### PROJECT NAME PROJECT LOCATION

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16360 MONTEREY RD. SUITE 250 MORGAN HILL, CA 95037

TEL: (888) 535-7559

FAX: (408) 782-0721

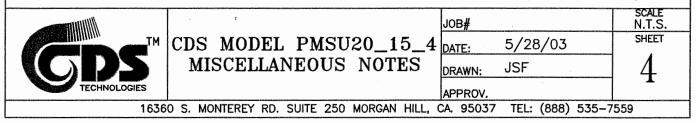


#### CONSTRUCTION NOTES:

- 1. APPLY BUTYL MASTIC TO SEAL JOINTS OF ANHOLE STRUCTURE (SEE INSET DETAIL DRAWING); APPLY GROUT TO EXTERIOR T&G JOINTS OF MH SECTIONS TO COMPLETELY SEAL IF NECESSARY (UNIT MUST BE WATER TIGHT, HOLDING WATER UP TO FLOWLINE INVERT, MINIMUM).
- 2. BEFORE PLACING MORE PRECAST COMPONENTS OR BACKFILLING, ENSURE FIBERGLASS INLET & PIPE INLET INVERT ELEVATIONS MATCH -ADJUST AS REQUIRED.
- 3. PLACE GROUT OR USE FLEXIBLE CONNECTORS TO SEAL PIPE-MH CONNECTIONS.
- 4. USE GRADE RINGS, WALL SECTIONS, AND/OR GROUT TO MAT H FINISHED-GRADE ELEVATION; SEAL AS NECESSARY.

#### GENERAL NOTES:

- 1. CDS UNIT COMES COMPLETE W/ FIBERGLASS INLET/OIL BAFFLE & SEPARATION SCREEN ASSEMBLY PRE-INSTALLED.
- 2. INSTALL UNIT PER CDS INSTALLATION GUIDELINES & ALL APPLICABLE PROJECT SPECIFICATIONS.
- 3. CONTRACTOR TO BE EQUIPPED TO HANDLE THE HEAVIEST PICK SECTION (5,000# TYP. / 6,500# MAXIMUM).



### **Operation & Maintenance Guideline**

## OPERATIONS AND MAINTENANCE GUIDELINES For the CDS Technologies Models PMSU CONTINUOUS DEFLECTIVE SEPARATION UNIT Located at Ascension Heights Subdivision

#### INTRODUCTION

The CDS unit is an important and effective component of your storm water management program and proper operation and maintenance of the unit are essential to demonstrate your compliance with local, state and federal water pollution control requirements.

The CDS technology features a patented non-blocking, indirect screening technique developed in Australia to treat water runoff. The unit is highly effective in the capture of suspended solids, fine sands and larger particles. Because of its non-blocking screening capacity, the CDS unit is un-matched in its ability to capture and retain gross pollutants such as trash and debris. In short, CDS units capture a very wide range of organic and in-organic solids and pollutants that typically result in tons of captured solids each year such as: Total suspended solids (TSS) and other sedimentitious materials, oil and greases, trash, and other debris (including floatables, neutrally buoyant, and negatively buoyant debris). These pollutants will be captured even under very high flow rate conditions.

CDS units are equipped with conventional oil baffles to capture and retain oil and grease. Laboratory evaluations show that the CDS units are capable of capturing up to 70% of the free oil and grease from storm water. CDS units can also accommodate the addition of oil sorbents within their separation chambers. The addition of the oil sorbents can ensure the permanent removal of 80% to 90% of the free oil and grease from the storm water runoff.

#### **OPERATIONS**

The CDS unit is a non-mechanical self-operating system and will function any time there is flow in the storm drainage system. The unit will continue to effectively capture pollutants in flows up to the design capacity even during extreme rainfall events when the design capacity may be exceeded. Pollutants captured in the CDS unit's separation chamber and sump will be retained even when the units design capacity is exceeded.

#### **CDS UNIT CLEANOUT**

The frequency of cleaning the CDS unit will depend upon the generation of trash and debris and sediments in your application. Cleanout and preventive maintenance schedules will be determined based on operating experience unless precise pollutant loadings have been determined. The unit should be periodically inspected to determine the amount of accumulated pollutants and to ensure that the cleanout frequency is adequate to handle the predicted pollutant load being processed by the CDS unit. The recommended cleanout of solids within the CDS unit's sump should occur at 75% of the

sump capacity. However, the sump may be completely full with no impact to the CDS unit's performance.

Access to the CDS unit is typically achieved through two manhole access covers – one allows inspection and cleanout of the separation chamber (screen/cylinder) & sump and another allows inspection and cleanout of sediment captured and retained behind the screen. For units possessing a sizable depth below grade (depth to pipe), a single manhole access point would allow both sump cleanout and access behind the screen.

CDS Technologies Recommends The Following:

NEW INSTALLATIONS – Check the condition of the unit after every runoff event for the first 30 days. The visual inspection should ascertain that the unit is functioning properly (no blockages or obstructions to inlet and/or separation screen), measuring the amount of solid materials that have accumulated in the sump, the amount of fine sediment accumulated behind the screen, and determining the amount of floating trash and debris in the separation chamber. This can be done with a calibrated "dip stick" so that the depth of deposition can be tracked. Refer to the "Cleanout Schematic" (Appendix B) for allowable deposition depths and critical distances. Schedules for inspections and cleanout should be based on storm events and pollutant accumulation.

<u>ONGOING OPERATION</u> – During the rainfall season, the unit should be inspected at least once every 30 days. The floatables should be removed and the sump cleaned when the sump is 75-85% full. If floatables accumulate more rapidly than the settleable solids, the floatables should be removed using a vactor truck or dip net before the layer thickness exceeds one to two feet.

Cleanout of the CDS unit at the end of a rainfall season is recommended because of the nature of pollutants collected and the potential for odor generation from the decomposition of material collected and retained. This end of season cleanout will assist in preventing the discharge of pore water from the CDS® unit during summer months.

<u>USE OF SORBENTS</u> – It needs to be emphasized that the addition of sorbents is not a requirement for CDS units to effectively control oil and grease from storm water. The conventional oil baffle within a unit assures satisfactory oil and grease removal. However, the addition of sorbents is a unique enhancement capability special to CDS units, enabling increased oil and grease capture efficiencies beyond that obtainable by conventional oil baffle systems.

Under normal operations, CDS units will provide effluent concentrations of oil and grease that are less than 15 parts per million (ppm) for all dry weather spills where the volume is less than or equal to the spill capture volume of the CDS unit. During wet weather flows, the oil baffle system can be expected to remove between 40 and 70% of the free oil and grease from the storm water runoff.

CDS Technologies only recommends the addition of sorbents to the separation chamber if there are specific land use activities in the catchment watershed that could produce exceptionally large concentrations of oil and grease in the runoff, concentration levels well above typical amounts. If site evaluations merit an

increased control of free oil and grease then oil sorbents can be added to the CDS unit to thoroughly address these particular pollutants of concern.

#### Recommended Oil Sorbents

Rubberizer® Particulate 8-4 mesh or OARS™ Particulate for Filtration, HPT4100 or equal. Rubberizer® is supplied by Haz-Mat Response Technologies, Inc. 4626 Santa Fe Street, San Diego, CA 92109 (800) 542-3036. OARS™ is supplied by AbTech Industries, 4110 N. Scottsdale Road, Suite 235, Scottsdale, AZ 85251 (800) 545-8999.

The amount of sorbent to be added to the CDS separation chamber can be determined if sufficient information is known about the concentration of oil and grease in the runoff. Frequently the actual concentrations of oil and grease are too variable and the amount to be added and frequency of cleaning will be determined by periodic observation of the sorbent. As an initial application, CDS recommends that approximately 4 to 8 pounds of sorbent material be added to the separation chamber of the CDS units per acre of parking lot or road surface per year. Typically this amount of sorbent results in a ½ inch to one (1") inch depth of sorbent material on the liquid surface of the separation chamber. The oil and grease loading of the sorbent material should be observed after major storm events. Oil Sorbent material may also be furnished in pillow or boom configurations.

The sorbent material should be replaced when it is fully discolored by skimming the sorbent from the surface. The sorbent may require disposal as a special or hazardous waste, but will depend on local and state regulatory requirements.

#### **CLEANOUT AND DISPOSAL**

A vactor truck is recommended for cleanout of the CDS unit and can be easily accomplished in less than 30-40 minutes for most installations. Standard vactor operations should be employed in the cleanout of the CDS unit. Disposal of material from the CDS unit should be in accordance with the local municipality's requirements. Disposal of the decant material to a POTW is recommended. Field decanting to the storm drainage system is <u>not</u> recommended. Solids can be disposed of in a similar fashion as those materials collected from street sweeping operations and catch-basin cleanouts.

#### **MAINTENANCE**

The CDS unit should be pumped down at least once a year and a thorough inspection of the separation chamber (inlet/cylinder and separation screen) and oil baffle performed. The unit's internal components should not show any signs of damage or any loosening of the bolts used to fasten the various components to the manhole structure and to each other. Ideally, the screen should be power washed for the inspection. If any of the internal components is damaged or if any fasteners appear to

be damaged or missing, please contact CDS Technologies to make arrangements to have the damaged items repaired or replaced:

CDS Technologies, Inc. 16360 Monterey Road, Suite 250 Morgan Hill, CA 95037-5406 Phone, Toll Free: (888) 535-7559

Fax: (408) 782-0721

The screen assembly is fabricated from Type 316 stainless steel and fastened with Type 316 stainless steel fasteners that are easily removed and/or replaced with conventional hand tools. The damaged screen assembly should be replaced with the new screen assembly placed in the same orientation as the one that was removed.

#### **CONFINED SPACE**

The CDS unit is a confined space environment and only properly trained personnel possessing the necessary safety equipment should enter the unit to perform particular maintenance and/or inspection activities beyond normal procedure. Inspections of the internal components can, in most cases, be accomplished by observations from the ground surface.

#### RECORDS OF OPERATION AND MAINTENANCE

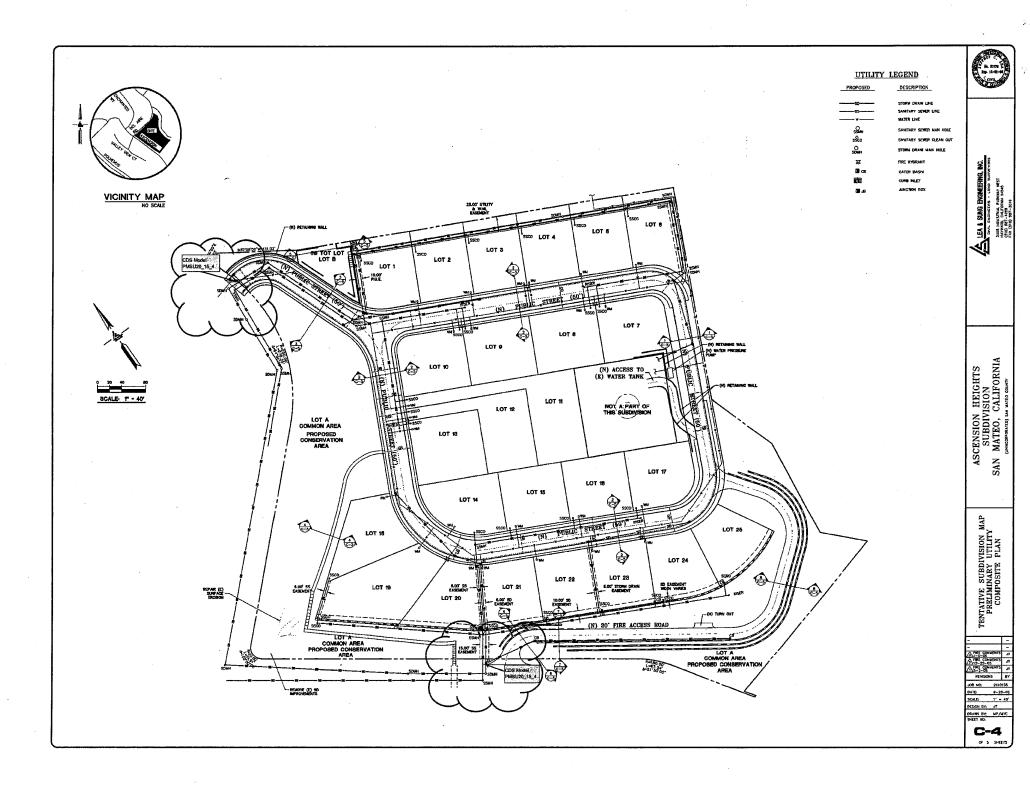
CDS Technologies recommends that the owner maintain annual records of the operation and maintenance of the CDS unit to document the effective maintenance of this important component of your storm water management program. The attached **Annual Record of Operations and Maintenance** form (see **Appendix A**) is suggested and should be retained for a minimum period of three years.

## APPENDIX A ANNUAL RECORD OF OPERATIONS & MAINTENANCE

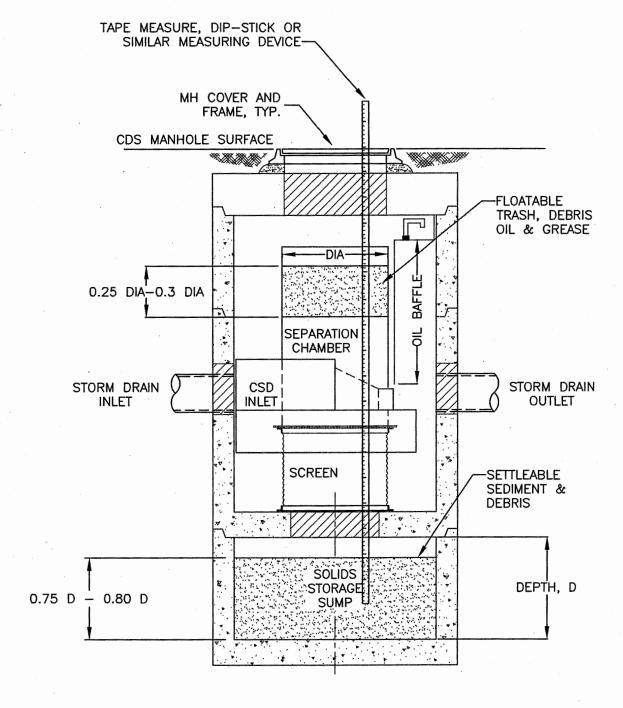
## CDS TECHNOLOGIES ANNUAL RECORD OF OPERATION AND MAINTENANCE

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# APPENDIX B SITE LOCATION PLANS & CLEANOUT SCHEMATIC



## CLEANOUT SCHEMATIC CDS MODEL PMSU





PROJECT LOCATION CITY, CA

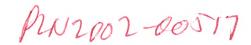
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DATE:	SHEET
DRAWN:	1 1
APPROV.	1

16360 S. MONTEREY RD. SUITE 250 MORGAN HILL, CA. 95037 TEL: (888) 535-7559

# APPENDIX C AS-BUILT PLAN & PROFILE DRAWINGS

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- o brokerage
- o construction
- o development
- o CA Lic. #581591

September 21, 2005

David Holbrook
San Mateo County Planning Dept.
455 County Center
2nd Floor
Redwood City, CA 94063

Dear David,

Enclosed is a copy of the Biologist's report for the Ascension Project. As you will read, he conducted a survey to determine the presence of a Mission Blue Butterfly on the property. He did not find any and submits the results of his field survey.

I look forward to seeing you next Wednesday the 28th.

Very Truly Yours,

Dennis Thomas

And Thomas

6年年日 5月 6月 5月

Dennis Thomas San Mateo Real Estate 1777 Borel Place, Suite 330 San Mateo CA 94402 September 15, 2005 TRA Case: BBIO

Subject: Results of Mission blue butterfly surveys at Ascension Heights Project Area, San Mateo, California.

Dear Mr. Thomas:

Attached are the results of the Mission blue butterfly surveys I conducted on your property in spring 2005. Please feel free to contact me at the office if you have any questions.

Sincerely,

Patrick Kobernus Senior Biologist

#### Summary

In the spring of 2005, I assessed the undeveloped property at the corner of Bel Aire Road and Ascension Drive in the town of Highlands, California, in unincorporated San Mateo County, for the federally endangered Mission blue butterfly (Plebejus (Icaricia) icaroides missionensis). A residential development, the Ascension Heights Project, is proposed for part of the site. Prior to conducting the surveys. I conducted research by consulting the California Natural Diversity Database for historical occurrences of Mission blue butterflies and communicated with local experts Stuart Weiss and Bob Langston, both of whom have conducted surveys for Mission blue and Pardalis blue butterflies (Plebejus (Icaricia) icaroides pardalis) in the San Mateo/ Crystal Springs area. The Pardalis blue butterfly is a relatively common butterfly that does not have protected status and is found in areas surrounding the known range of the Mission blue butterfly. The results of my field surveys and research indicate that the site is most likely occupied by a very small colony of Pardalis blue butterfly. This conclusion is based on the phenology of the host plants (L. formosus) present on site, the known geographic range of Mission blue and Pardalis blue butterflies, and the presence of significant barriers (residential development, freeways, and forests) between the nearest known location of Mission blue butterflies and the project site. No adult butterflies were observed on site during the course of my surveys.

#### Introduction

I assessed the property at the corner of Bel Aire Road and Ascension Drive in the town of Highlands for Mission blue butterflies between March 24 – and June 24, 2005. I also conducted research by consulting the California Natural Diversity Database for historical occurrences of Mission blue butterflies and communicated with local experts Stuart Weiss and Bob Langston, both of whom have conducted surveys for Mission blue and Pardalis blue butterflies in the San Mateo/ Crystal Springs area. I also made three (unreturned) phone calls to Chris Nagano with the US Fish and Wildlife Service over the course of these surveys.

As the Habitat Manager for the San Bruno Mountain Habitat Conservation Plan, I have conducted surveys for Mission blue butterfly annually during its flight season for the past 10 years (1995-2005). I have also conducted surveys for Mission blue in the Skyline, Gypsy Hill, and Sweeney Ridge areas. My qualifications are shown in <u>Appendix A.</u>

#### **Setting**

The project site is located at the corner of Bel Aire Road and Ascension Heights Drive in the town of Hillside, in unincorporated San Mateo County, California (<u>Figure 1</u>). The surrounding area is primarily residential development and Fish and Game open space lands (Crystal Springs). The project site is approximately 1.4 miles northwest of the junction between Highways 92 and 280.

#### **Background**

The Mission blue butterfly is a federally listed endangered species. Mission blue habitat consists of open grassland habitats that provide the appropriate larval host plants and adult nectar plants to support the species. Habitats where Mission blues are found include native and non-native grasslands and disturbed roadcuts. The species uses three larval host plants, all of

Conservation Planning and Imp	leme	entation 📮 Environn	nental	Impact Analysis
Geographic Information Systems		Wetland Delineation		Biological Surveys

which are perennial lupines: silver lupine (*Lupinus albifrons var. collinus*), summer lupine (*Lupinus formosus var. formosus*), and varied lupine (*Lupinus variicolor*). At least one of these lupine species needs to be present for Mission blues to reproduce and persist. A sizeable patch of lupines with approximately 50 – 100 plants, with other habitat patches within ¼ mile are needed for this species to persist in an area (San Mateo County, 1982; and personal observations). Mission blues may use a variety of nectar plants in any given area. Favored nectar plants include coastal buckwheat (*Eriogonum latifolium*), California Phacelia (*Phacelia californica*), golden aster (*Heterotheca bollanderi*), California horkelia (*Horkelia californica*), and a variety of native and non-native thistles.

The mission blue butterfly is one of several subspecies of the Boisduval's blue (*Plebejus* (*Icaricia*) *icaroides*). The Mission blue subspecies is limited in its distribution to the coastal fogbelt of Pacifica, San Francisco, and the Marin headlands. The species is currently found on San Bruno Mountain, Twin Peaks, Milagra Ridge, Montara Mountain and associated ridgelines, and in the Marin headlands. These areas are strongly influenced by summertime fog. The Pardalis blue (*Plebejus* (*Icaricia*) *icariodes pardalis*), is a similar looking subspecies that is much more widespread and does not have protected status, whose geographic range surrounds that of the Mission blue. Pardalis blues are found in grassland habitats immediately north and south of the Mission blue habitats, and it's distribution includes Santa Clara County to the south, Contra Costa and Alameda Counties to the east, and Marin and Sonoma Counties to the north (Howe, et al, 1975). The two subspecies appear to overlap in distribution in the Tennessee Valley area of Marin County on the north, and in the Crystal Springs area of San Mateo County on the south (personal communication Summer Lindzey, Bob Langston, and Stuart Weiss).

Pardalis blues use some of the same host plants as the Mission blue and are very similar in appearance. The two subspecies have been differentiated from one another by lepidopterists by the color of the females. Pardalis females are brown (mouse gray) in color, whereas Mission blue females often have blue, and this form is referred to as the "pheres" phenotype. Mission blue females can also be all brown, and this form is referred to as the "pardalis" phenotype (Personal communication Bob Langston). Pardalis and Mission blue males are identical in coloration. Timing of emergence, flight season, and diapause are also likely different for each subspecies due to the different climates in which they are found. The Pardalis blue utilizes over a dozen varieties of lupines over its wide range in California. At Point Richmond, Pardalis blues utilize a specific variety of *L. formosus* that is bigger and taller than the *L. formosus* found on San Bruno Mountain (personal communication Bob Langston).

Optimum weather for observing Mission blue butterflies is in temperatures above 20 C, and wind speeds below 5 mph. These butterflies can be observed in conditions outside of this range, such as on warm, windy days; or slightly cool days with low wind. Both Pardalis and Mission blues are typically observed on or hovering over their host plants, or within tens of feet of their host plants, sometimes nectaring or chasing one another or other butterflies.

#### **Methods**

The site was surveyed for vegetation types in February 2004, and a vegetation map was created for the site. At that time perennial lupines were identified (several *Lupinus formosus* plants and one *Lupinus albifrons var. albifrons* on site. These plants were found occurring only in an approximately 1 acre area located on previously graded slopes on the northwest corner of the property at the corner of Bel Aire Road and Ascension Drive (<u>Figures 3 and 4</u>). These cut slopes, created at some point in the 1950's, have sections that are severely eroded. Disturbed, eroded slopes are often colonized by lupines because they are an early successional species. No other areas of the property were found to contain perennial lupines.

Conservation Planning and Impl	leme	ntation ם Environn	nenta	l Impact Analysis
Geographic Information Systems		Wetland Delineation		Biological Surveys

The site was surveyed for Mission blue butterflies on five days during the spring of 2005 between March 24 and June 24, 2005. Weather was recorded and photos were taken on each survey date. The lupine areas were walked for approximately 30 – 45 minutes on each date. Air temperature, wind speed, and time of day were recorded on each survey date.

#### Results

No Mission blue or Pardalis blue butterflies were observed in the five visits made to the project site (<u>Table 1</u>). Two Lycaenid butterfly eggs were observed on one of the *L. formosus* plants on the June 23 site visit.

Table 1 shows the dates, weather and results of Mission blue/Pardalis blue surveys.

Date	Time	Weather	Surveyor	Results	Notes
3/24/05	9:30- 10:15	Temp. 60's. Wind <5 mph Rain on day before.	PK	No Mission or Pardalis blues	L. formosus just leafing out.
4/18/05	2:30- 3:30	Temp. 22.7 C Wind: 8.3 mph Weather warm, but windy.	PK	No Mission or Pardalis blues	L. formosus not blooming yet. Nectar plants in bloom.
6/16/05		Temp. Cool Wind: >5 mph Weather cool and windy.	PK	No Mission or Pardalis blues	L. formosus in bloom.
6/23/05	5:00 <b>–</b> 5:30	Temp. 30.1 C Ave. Wind 6.2 mph Weather windy and warm (fog in morning)	PK	No Mission or Pardalis blues *Observed 2 Lycaenid eggs	L. formosus in bloom, some going to seed.
6/24/05	10:15 – 10:45	Temp. 23 C Ave. Wind 3.0	PK	No Mission or Pardalis blues	L. formosus in bloom, some going to seed.

#### **Discussion**

No adult butterflies were observed on the project site, however two butterfly eggs were seen and based on their size and appearance, these could be from a variety of Lycaenidae butterflies that use lupines, including Mission blue and Pardalis blue. It is not possible to determine subspecies from eggs.

Though these results are inconclusive as to which subspecies, if either, is present on site, it is unlikely that Mission blues would be present on site based on the known distribution of Mission blue butterfly and Pardalis butterfly, the habit and phenology of the *L. formosus* plants found on site, and the existence of significant barriers between the closest recorded observation of Mission blue butterflies and the project site.

<u>Figure 2</u> shows the known locations of Mission blue butterfly and Pardalis butterfly in proximity to the project site. The nearest recorded Mission blue observations (pheres phenotypes) near the project site is approximately 4 miles northwest between the Crystal Springs golf course and San Andreas Dam. These observations were made in the late 1980's or early 1990's by Stuart Weiss. The nearest recorded Pardalis blue observations were made southeast of the Highway

Conservation Planning and Imp	leme	entation		Environm	ental	Impact Anal	ysis
Geographic Information Systems		Wetland	l De	lineation		Biological S	urvevs

Results of butterfly surveys at Ascension Heights Project Area ---- September 15, 2005 - Page 5

92/ 280 junction, approximately 1.5 miles southeast of the project site, also by Stuart Weiss (personal communication Stuart Weiss).

It is unknown if the Mission blue habitat near the San Andreas Dam area still supports Mission blues. However in-between this area and the project site is four miles of forest, highway, and residential development that is likely a significant barrier for Mission blue. Between the San Andreas Dam area and the project site there is very dense oak/bay woodland forest on the west side of Highway 280, Highway 280, and dense residential development within the cities of Millbrae, Burlingame, Burlingame Hills, Hillsborough, and the Highlands (Figure 2). It is highly unlikely that Mission blue butterflies, if still present at the Dam site, would have any potential for reaching the project area. Typically Mission blue butterflies can move up to approximately ½ mile between habitat patches (San Mateo County, 1982).

The *Lupinus formosus* plants observed on site were different in habit and phenology of the *L. formosus var. formosus* that is utilized by the Mission blue butterfly on San Bruno Mountain and elsewhere. The plants identified on the project site were less tomentose (i.e. less hairy), more "leggy" and taller than the *L. formosus var. formosus* utilized by Mission blue on San Bruno Mountain (personal observations). It was also observed that the *L. formosus* on the project site bloomed and set seed approximately 2-4 weeks later in the season than the *L. formosus var. formosus* on San Bruno Mountain.

Mission blue butterflies that use *L. formosus var. formosus* on San Bruno Mountain are typically flying from late April to mid-June (San Mateo County, 1982-2004). In 2005, Mission blues were detected on San Bruno Mountain (within *L. formosus var. formosus* patches) on May 11, May 23, May 31, June 1, June 7, June 12, and June 13. Surveys at the project site were conducted in March, April and June. No adults were observed on the survey dates, however two Lycaenid eggs were observed on one *L. formosus* plant.

Though these results are inconclusive, it is thought that based on the phenology of the host plants on site, the known geographic distribution of Mission blue and Pardalis blue butterflies, and the existence of significant barriers between the closest recorded observation of Mission blue butterfly and the project site, that the project site is unlikely to support Mission blue butterflies. The site may support a small colony of Pardalis blue butterflies.

Conservation Planning and Impl	lemei	ntation 🖵 Environ	menta	l Impact Analysis
Geographic Information Systems		Wetland Delineation		Biological Surveys

#### References

- CNDDB, May 2005. California Natural Diversity Database, updated May 27, 2005. Records search for Mission blue butterfly occurrences.
- Howe, W. H., and contributors, 1975. The Butterflies of North America. Doubleday and Company, Inc. Garden City, New York.
- San Mateo County, 1982 2004. San Bruno Mountain Habitat Conservation Plan Activities Reports. Permit No. PRT-2-9818. Prepared for San Mateo County and the US Fish and Wildlife Service. Prepared by Thomas Reid Associates.
- San Mateo County, 1982. Endangered Species Survey, San Bruno Mountain. Biological Study 1980 1981. Final Report to the San Mateo County Steering Committee for San Bruno Mountain. Prepared for San Mateo County by Thomas Reid Associates, May 1982.

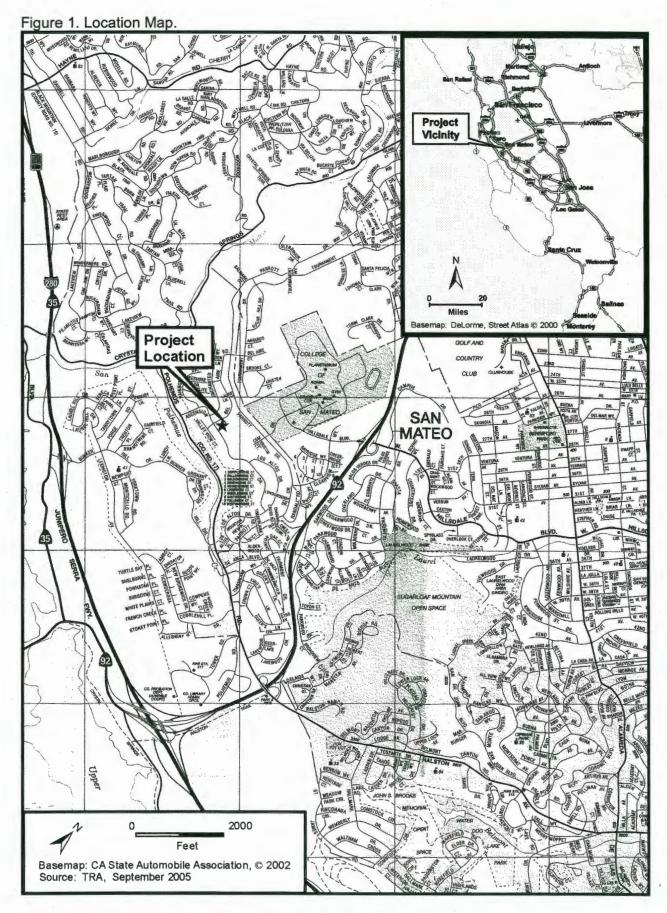
#### Personal Communications

Bob Langston, several email communications, August and September 2005.

Stuart Weiss, several email communications, August 2005.

Summer Lindzey, SFSU Graduate student, personal communication, May 31 2005.

Conservation Planning and Impl	leme	entation 📮 Enviror	nmental	Impact Analysis
Geographic Information Systems		Wetland Delineation		Biological Surveys



Conservation Planning and Implementation 
Environmental Impact Analysis
Geographic Information Systems 
Wetland Delineation 
Biological Surveys

Figure 2. Mission Blue Recorded Observations Near the Ascension Heights Project Site





Figure 3. Cut slope along Bel Aire Road, looking west toward intersection with Ascension Drive. Approximately 100 *L. formosus* plants were found within an approximately one acre-size area on site (photo date: 3/24/05).



<u>Figure 4</u>. Corner of property at intersection of Bel Aire Road and Ascension Drive. Deep gullies have formed on the cut slopes, and *L. formosus* plants were found growing in the gullies (photo date: 6/24/05).

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Geographic Information Systems		Wetland Delir	neation		<b>Biological</b>	Surveys

#### **APPENDIX A: Qualifications**

#### Patrick Kobernus (Senior Associate)

Mr. Kobernus has a Master's degree in Ecology, from California State University, Hayward, and has been an Associate with Thomas Reid Associates (TRA) since 1995. He is familiar with the status and range of many state and federally protected wildlife species, and with biological data sources such as the California Natural Diversity Database (CNDDB). Mr. Kobernus has conducted biological assessments and surveys for the Mission blue butterfly, Callippe silverspot butterfly, San Bruno elfin butterfly, Smith's blue butterfly, monarch butterfly, steelhead, southern seep salamander, California tiger salamander, California red-legged frog, burrowing owl, northern spotted owl and several rare plant species, including serpentine endemic species.

As a staff biologist for TRA, Mr. Kobernus has conducted over 100 endangered species surveys, biological impact assessments, and wetland delineations for clients in the San Francisco Bay Area. He has conducted biological surveys in San Mateo, Alameda, Contra Costa, Marin, Santa Cruz, Monterey, Santa Clara, and San Benito Counties. He has particular expertise in conducting biological assessments in streams and associated habitats in San Francisco Bay Area watersheds. He has conducted endangered species surveys and/or wetland delineations for Santa Clara Valley Water District, San Mateo County Parks and Recreation, Kaufman and Broad, Cal-Trans, and several other clients. Mr. Kobernus often works closely with developers, public utilities, government agencies, and individual homeowners in modifying projects to avoid or minimize biological impacts to sensitive species and the environment.

As a project manager for TRA, Mr. Kobernus has managed the implementation of the San Bruno Mountain Habitat Conservation Plan since 1995. He supervises field crews on the Mountain conducting monitoring for the endangered mission blue, callippe silverspot, and San Bruno elfin butterflies. He also oversees the rare plant mapping, exotics control, grazing, controlled burning, and replanting projects on the Mountain. He has conducted several presentations for local governments and academic groups on the technicalities of the San Bruno Mountain HCP, and the ongoing the management programs under his direction.

Mr. Kobernus is a trained wetland delineator in the US Army Corps of Engineers Wetland Delineation methodology (Wetland Training Institute, March, 2001). He has also received specialty training in Applied Hydric Soils (WTI, May 2003). He has assisted clients in preparing California Department of Fish and Game 1600 Streambed Alteration Agreements, and with permit applications for the US Army Corps of Engineers and for the California Regional Water Quality Control Board.

Mr. Kobernus has a diverse biological background with a focus in stream ecology. As a graduate student at Cal State University Hayward, he conducted his Master's research on assessing urbanization impacts to steelhead and other fishes in San Lorenzo Creek. He also assisted with a study on heavy metal accumulation within urban creeks (Vegetated Channels Study, 1992), and performed a study testing the toxicity of stormwater on macroinvertebrates and fish (DUST Marsh toxicity study, 1993) for Alameda County Water Resources Department. As a wildlife biologist for Gualala Redwoods in 1996 (Gualala, CA) he conducted surveys for northern spotted owls and conducted independent research on carnivores using riparian habitat. Mr. Kobernus developed and directed a program that provided hands-on experience to kids in stream ecology from 1996-1997 (San Lorenzo Creek Wildlife Hikes).

#### **Educational Background**

M.S. Ecology, California State University, Hayward, CA 1998 B.A. English, Sonoma State University, Rohnert Park, CA 1987

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Geographic Information Systems		Wetland Delineation		Biological Surveys

Dennis Thomas
San Mateo Real Estate & Construction
1777 Borel Place
San Mateo, CA 94402

Subject:

**Hydrology Study** 

Ascension Heights Subdivision, San Mateo (Unincorporated)

Lea & Braze Job No: 2010135

#### Dear Dennis:

It is my pleasure to present to you the following hydrology study for an on-site retention system. This study is a detailed analysis of the proposed storm drain retention system that is planned for this project. This report presents our analysis and conclusions on the design of a retention system capable of containing and treating on-site post-development flows and releasing flows at pre-development rates.

The intent of this study is to demonstrate the adequacy of the system to fulfill San Mateo County's C.3 storm water quality requirements for on-site retention and treatment. The purpose of this system is to release the flows into the County storm drain system at or below pre-development rates. The treatment portion of the C.3 requirements will be fulfilled with CDS stormwater hydrodynamic separators and grassy lined swales. Please feel free to call at any time should you have any questions.

Very truly yours,

Jim Toby, P.E. Project Manager

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San Mateo County Planning Division PLN 2-517

# RECEIVED

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San Mateo County Planning Division

Hydrology Study

Ascension Heights Subdivision Ascension Drive at Bel Aire Road San Mateo, California (Unincorporated)

Prepared for San Mateo Real Estate & Construction

October 17, 2006 Lea & Braze Job No. 2010135

Jeffrey C. Lea, Principal Engineer
Lea & Braze Engineering, Inc.

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A. Retention System calculations and hydrograph	
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# INTRODUCTION

Ascension Heights Subdivision is a new 25 lot subdivision on a moderately steep slope in San Mateo (Unincorporated). The project is surrounded on two sides by developed streets with curb, gutter and sidewalk and is serviced by a traditional storm drain system. The project includes new private streets with grades up to 20%. Runoff is generally directed to an on-site storm drain system. Each individual lot of this project will have its own retention system which will retain runoff. Before the runoff leaves the site, it will be treated by a CDS (continuous deflective separation) hydrodynamic separator runoff treatment device.

# DRAINAGE NARRATIVE

The project has been designed with several permanent "Best Management Practice" (BMP's) for long term treatment of the runoff. Each lot will have its own individual retention system comprising of a two large diameter pipes. The pipe size and length are specified in the enclosed calculations. Lots 1-10, 14-18, and 20 will have 2-24" diameter x 50' long retention pipes. Lots 11-13 and 21-25 will have 2-24" diameter x 60' long retention pipes. Lot 19 will have 2-36" diameter x 60' long retention pipes. The sizing was determined by assuming that each lot will be built out to the full extent of the zoning code which states that the maximum hardscape area is 40% of each lot. This system will retain stormwater runoff in each lot prior to entering the storm drain system. Then, the runoff will be collected in a common main and conveyed to the adjacent existing storm drain system in either Ascension Drive or Bel Aire Road.

The premise for the design is to allow significant portions of the runoff from the lots to flow through the landscaping vegetation prior to entering the storm drain and exiting the site. Once the runoff leaves the individual retention system, it then enters the main storm drain system and will be directed towards a "CDS" filtration chamber. This chamber is designed to remove as many pollutants as possible. The device is specifically designed to remove large trash, oil and small sedimentation particles. Please note that the "CDS" needs to have a regular maintenance schedule to perform properly. It will need to be cleaned out from time to time per the manufacturer's recommendations or at an interval established by the County of San Mateo. It is anticipated that any CC&Rs will require a maintenance agreement. It is recommended that a maintenance agreement be made part of any conditions of approval for the tentative map.

The goal of this design was to retain the runoff and release it at predevelopment rates and to treat it in the CDS units before it leaves the project site. Our design philosophy was to only have retention on individual lots and not retain the roadway runoff. We will however treat the runoff in the CDS units. Therefore, each lot retention

system has been oversized in order to compensate for the runoff from the roadway. The total predevelopment runoff from the entire project was 12.46 cfs. The total post development runoff including the roadway was determined to be 15.26 cfs. The net flow rate difference, which is also the amount of runoff that we required to retain on-site, is 2.8 cfs. The proposed system of oversized retention pipes on each lot can retain a maximum of 2.8 cfs total. Therefore, the system can retain and meter release the flows at predevelopment rate of 12.46 cfs. The calculations within this report demonstrate that each lot has the ability to retain enough runoff that collectively, all 25 lots aid in releasing runoff at a predevelopment rate to compensate for all new impervious surfaces resulting from the new private streets. Retention is thereby provided for the runoff resulting from the streets.

# ASSUMPTIONS AND METHODOLOGY

This section includes data used in calculating the pre-development and post-development runoff volumes.

#### **References**:

- Topographic Survey by Lea & Braze Engineering, Inc.
- San Mateo County Rainfall Runoff Data Map
- HydroCAD 7.0 UNIT HYDROGRAPH Definitions Copyright (c) 1990-2003
   Applied Microcomputer Systems

#### **Project Information:**

Project Location:

Ascension Drive at Bel Aire Road

San Mateo, California (Unincorporated)

APN: 041-111-020, 130, 160, 270, 280, 320, 360

#### **Hydrology Information:**

Storm Interval:

10 Year Return, 10 min. rainfall intensity

Roughness coefficient "n":

0.011, HDPE Storage Pipes

Rainfall Intensity (I):

2.21 in/hour (Per San Mateo County Rainfall

Runoff Data Map) Initial Intensity (10 Minutes)

# RECOMMENDATIONS

#### Lots 1,6,18 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.23 cfs. The net increase due to the construction is 0.12 cfs. The proposed detention system retains and meters release of 0.12 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 50' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### <u>Lots 2-5 – Retention System:</u>

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.21 cfs. The net increase due to the construction is 0.10 cfs. The proposed detention system retains and meters release of 0.10 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 50' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### Lot 7,10, 14,20 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.22 cfs. The net increase due to the construction is 0.11 cfs. The proposed detention system retains and meters release of 0.11 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 50' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### <u>Lot 11 – Retention System:</u>

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.13 cfs. The post-construction flow is 0.29 cfs. The net increase due to the construction is 0.16 cfs. The proposed detention system retains and meters release of 0.16 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 60' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### <u>Lots 12-13 – Retention System:</u>

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.23 cfs. The net increase due to the construction is 0.12 cfs. The proposed detention system retains and meters release of 0.16 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 60' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### Lots 15-16 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.21 cfs. The net increase due to the construction is 0.10 cfs. The proposed detention system retains and meters release of 0.10 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 50' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### Lot 17 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.11 cfs. The post-construction flow is 0.21 cfs. The net increase due to the construction is 0.10 cfs. The proposed detention system retains and meters release 0.10 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 50' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### Lot 19 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.12 cfs. The post-construction flow is 0.24 cfs. The net increase due to the construction is 0.12 cfs. The proposed detention system retains and meters release of 0.12 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 36" diameter x 60' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.

#### Lots 21-25 – Retention System:

Based on our calculations assuming a 40% impervious surface build out, preconstruction flow is 0.10 cfs. The post-construction flow is 0.20 cfs. The net increase due to the construction is 0.10 cfs. The proposed detention system retains and meters release of 0.10 cfs for a 10 year storm. This proposed storm study is for a 10 minute time of concentration. The proposed retention system consists of (2) 24" diameter x 60' long solid wall HDPE pipes. The primary outlet pipe is a 2" PVC with an 8" secondary emergency overflow pipe. The secondary outlet will not be used for drainage but would be utilized only in an emergency situation. The system slows down the incoming flow and meters the outflow over a 1 (or more) hour time period. This amount of runoff will be held in the retention pipes.



2495 INDUSTRIAL PARKWAY WEST HAYWARD, CALIFORNIA 94545 (510) 887-4086 VOICE (510) 887-3019 FAX WWW.LEABRAZE.COM

# **HYDROLOGY SUMMARY**

PROJECT: Ascension Heights Subdivision

ADDRESS: Ascension Drive at Bel Aire Road, San Mateo (Unincorporated)

JOB#: 2010135

# **HYDROLOGY DATA**

	TOTAL	PRECON	POSTCON	NET	PROPOSED	
	AREA	RUNOFF	RUNOFF	INCREASE	TO BE	
LOT#	(SF)	(CFS)	(CFS)	(CFS)	RETAINED (CFS)	RETENTION DESIGN
1	11801	0.11	0.23	0.12	0.12	(2) 24" Dia x. 50' Long
2	10800	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
3	10800	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
4	10800	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
5	10800	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
6	11632	0.11	0.23	0.12	0.12	(2) 24" Dia x. 50' Long
7	11293	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
8	11291	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
9	11291	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
10	11291	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
11	16811	0.13	0.29	0.16	0.16	(2) 24" Dia x. 60' Long
12	13411	0.11	0.23	0.12	0.12	(2) 24" Dia x. 60' Long
13	12988	0.11	0.23	0.12	0.12	(2) 24" Dia x. 60' Long
14	11294	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
15	10700	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
16	10700	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
17	10543	0.11	0.21	0.10	0.10	(2) 24" Dia x. 50' Long
18	11739	0.11	0.23	0.12	0.12	(2) 24" Dia x. 50' Long



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# **HYDROLOGY SUMMARY**

PROJECT: Ascension Heights Subdivision

ADDRESS: Ascension Drive at Bel Aire Road, San Mateo (Unincorporated)

JOB#: 2010135

### **HYDROLOGY DATA**

	TOTAL	PRECON	POSTCON	NET	PROPOSED	
	AREA	RUNOFF	RUNOFF	INCREASE	TO BE	RETENTION
LOT#	(SF)	(CFS)	(CFS)	(CFS)	RETAINED (CFS)	DESIGN
19	17590	0.12	0.30	0.18	0.18	(2) 36" Dia x. 60' Long
20	11274	0.11	0.22	0.11	0.11	(2) 24" Dia x. 50' Long
21	10570	0.10	0.20	0.10	0.10	(2) 24" Dia x. 60' Long
22	10460	0.10	0.20	0.10	0.10	(2) 24" Dia x. 60' Long
23	10460	0.10	0.20	0.10	0.10	(2) 24" Dia x. 60' Long
24	10461	0.10	0.20	0.10	0.10	(2) 24" Dia x. 60' Long
25	10462	0.10	0.20	0.10	0.10	(2) 24" Dia x. 60' Long
ROADWAY		9.73	9.73			
TOTAL	291262	12.46	15.26	2.80	2.80	

Total project runoff proposed to be retained is greater than the runoff required to be retained.

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#### Subcatchment 1S: EXISTING SITE TOTAL PRE

Runoff

=

12.46 cfs @

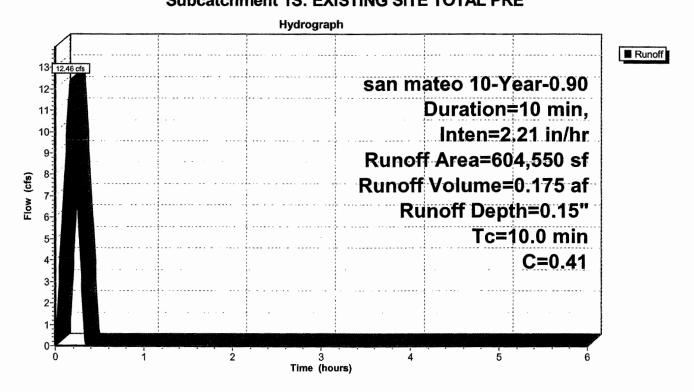
0.17 hrs, Volume=

0.175 af, Depth= 0.15"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs san mateo 10-Year-0.90 Duration=10 min, Inten=2.21 in/hr

_	A	rea (sf)	С	Description	1	
		10,867	0.95	Impervious	Areas	
_	5	93,683	0.40	Pervious A	reas	
	6	304,550	0.41	Weighted A	Average	
	604,550 0.41 Pervious Area		rea			
	Tc	Length	Slope	Velocity	Capacity	Description
_	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)	
	10.0					Direct Entry, net increase

# Subcatchment 1S: EXISTING SITE TOTAL PRE



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# Hydrograph for Subcatchment 1S: EXISTING SITE TOTAL PRE

Time	Runoff	Time	Runoff	Time	Runoff	Time	Runoff
(hours)	(cfs)	(hours)	(cfs)	(hours)	(cfs)	(hours)	(cfs)
0.00	0.00	0.52	0.00	1.04	0.00	1.56	0.00
0.01	0.76	0.53	0.00	1.05	0.00	1.57	0.00
0.02	1.52	0.54	0.00	1.06	0.00	1.58	0.00
0.03	2.28	0.55	0.00	1.07	0.00	1.59	0.00
0.04	3.04	0.56	0.00	1.08	0.00	1.60	0.00
0.05	3.80	0.57	0.00	1.09	0.00	1.61	0.00
0.06	4.56	0.58	0.00	1.10	0.00	1.62	0.00
0.07	5.33	0.59	0.00	1.11	0.00	1.63	0.00
0.08	6.09	0.60	0.00	1.12	0.00	1.64	0.00
0.09	6.85	0.61	0.00	1.13	0.00	1.65 1.66	0.00 0.00
0.10 0.11	7.61 8.37	0.62 0.63	0.00 0.00	1.14 1.15	0.00 0.00	1.67	0.00
0.11	9.13	0.63	0.00	1.16	0.00	1.68	0.00
0.12	9.89	0.65	0.00	1.17	0.00	1.69	0.00
0.13	10.65	0.66	0.00	1.18	0.00	1.70	0.00
0.15	11.41	0.67	0.00	1.19	0.00	1.71	0.00
0.16	12.17	0.68	0.00	1.20	0.00	1.72	0.00
0.17	12.43	0.69	0.00	1.21	0.00	1.73	0.00
0.18	11.67	0.70	0.00	1.22	0.00	1.74	0.00
0.19	10.90	0.71	0.00	1.23	0.00	1.75	0.00
0.20	10.14	0.72	0.00	1.24	0.00	1.76	0.00
0.21	9.38	0.73	0.00	1.25	0.00	1.77	0.00
0.22	8.62	0.74	0.00	1.26	0.00	1.78	0.00
0.23	7.86	0.75	0.00	1.27	0.00	1.79	0.00
0.24	7.10	0.76	0.00	1.28	0.00	1.80	0.00
0.25	6.34	0.77	0.00	1.29	0.00	1.81	0.00
0.26	5.58	0.78	0.00	1.30	0.00	1.82	0.00
0.27	4.82	0.79	0.00	1.31	0.00	1.83	0.00
0.28	4.06	0.80	0.00	1.32	0.00	1.84	0.00
0.29	3.30	0.81	0.00	1.33	0.00	1.85	0.00
0.30	2.54	0.82	0.00	1.34	0.00	1.86	0.00
0.31	1.78	0.83	0.00	1.35	0.00	1.87	0.00
0.32	1.01	0.84	0.00	1.36	0.00	1.88	0.00
0.33	0.25	0.85	0.00	1.37	0.00	1.89	0.00
0.34 0.35	0.00 0.00	0.86 0.87	0.00	1.38 1.39	0.00	1.90 1.91	0.00 0.00
0.36	0.00	0.87	0.00	1.40	0.00 0.00	1.92	0.00
0.37	0.00	0.89	0.00	1.41	0.00	1.93	0.00
0.38	0.00	0.90	0.00	1.42	0.00	1.94	0.00
0.39	0.00	0.91	0.00	1.43	0.00	1.95	0.00
0.40	0.00	0.92	0.00	1.44	0.00	1.96	0.00
0.41	0.00	0.93	0.00	1.45	0.00	1.97	0.00
0.42	0.00	0.94	0.00	1.46	0.00	1.98	0.00
0.43	0.00	0.95	0.00	1.47	0.00	1.99	0.00
0.44	0.00	0.96	0.00	1.48	0.00	2.00	0.00
0.45	0.00	0.97	0.00	1.49	0.00	2.01	0.00
0.46	0.00	0.98	0.00	1.50	0.00	2.02	0.00
0.47	0.00	0.99	0.00	1.51	0.00	2.03	0.00
0.48	0.00	1.00	0.00	1.52	0.00	2.04	0.00
0.49	0.00	1.01	0.00	1.53	0.00	2.05	0.00
0.50	0.00	1.02	0.00	1.54	0.00	2.06	0.00
0.51	0.00	1.03	0.00	1.55	0.00	2.07	0.00

#### **NEW STREETS POST**

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#### Subcatchment 1S: NEW STREETS POST

Runoff

=

9.73 cfs @

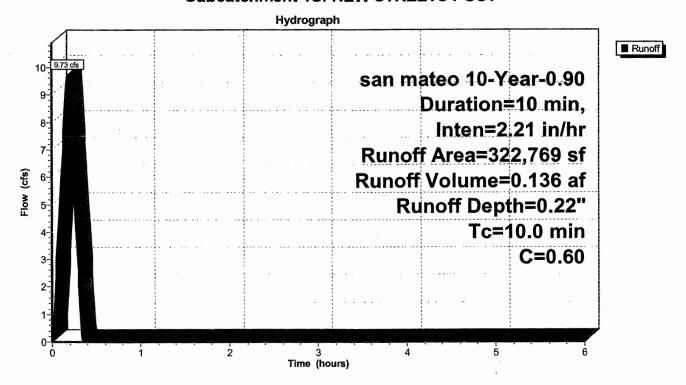
0.17 hrs, Volume=

0.136 af, Depth= 0.22"

Runoff by Rational method, Rise/Fall=1.0/1.0 xTc, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs san mateo 10-Year-0.90 Duration=10 min, Inten=2.21 in/hr

	P	Area (sf)	С	Description	)		
_		116,473	0.95	Impervious	Areas		
		206,296	0.40	Pervious A	reas		
_		322,769	0.60	Weighted A	Average		
	;	322,769	0.60	Pervious A	rea		
	Tc	Length	Slope	<ul> <li>Velocity</li> </ul>	Capacity	Description	
_	(min)	(feet)	(ft/ft)	(ft/sec)	(cfs)		
	10.0					Direct Entry, net increase	

# **Subcatchment 1S: NEW STREETS POST**



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# Hydrograph for Subcatchment 1S: NEW STREETS POST

Time	Runoff	Time	Runoff	Time	Runoff	Time	Runoff
(hours)	(cfs)	(hours)	(cfs)	(hours)	(cfs)	(hours)	(cfs)
0.00	0.00	0.52	0.00	1.04	0.00	1.56	0.00
0.01	0.59	0.53	0.00	1.05	0.00	1.57	0.00
0.02	1.19	0.54	0.00	1.06	0.00	1.58	0.00
0.03	1.78	0.55	0.00	1.07	0.00	1.59	0.00
0.04	2.38	0.56	0.00	1.08	0.00	1.60	0.00
0.05	2.97	0.57	0.00	1.09	0.00	1.61	0.00
0.06	3.57	0.58	0.00	1.10	0.00	1.62	0.00
0.07	4.16	0.59	0.00	1.11	0.00	1.63	0.00
0.08	4.76	0.60	0.00	1.12	0.00	1.64	0.00
0.09	5.35	0.61	0.00	1.13	0.00	1.65	0.00
0.10	5.94	0.62	0.00	1.14	0.00	1.66	0.00
0.11	6.54	0.63	0.00	1.15	0.00	1.67	0.00
0.12	7.13	0.64	0.00	1.16	0.00	1.68	0.00
0.13	7.73	0.65	0.00	1.17	0.00	1.69	0.00
0.14	8.32	0.66	0.00	1.18	0.00	1.70	0.00
0.15	8.92	0.67	0.00	1.19	0.00 0.00	1.71	0.00 0.00
0.16 0.17	9.51 <b>9.71</b>	0.68 0.69	0.00 0.00	1.20 1.21	0.00	1.72 1.73	0.00
0.17	9.11	0.09	0.00	1.22	0.00	1.74	0.00
0.18	8.52	0.70	0.00	1.23	0.00	1.75	0.00
0.19	7.93	0.71	0.00	1.24	0.00	1.76	0.00
0.21	7.33	0.72	0.00	1.25	0.00	1.77	0.00
0.22	6.74	0.74	0.00	1.26	0.00	1.78	0.00
0.23	6.14	0.75	0.00	1.27	0.00	1.79	0.00
0.24	5.55	0.76	0.00	1.28	0.00	1.80	0.00
0.25	4.95	0.77	0.00	1.29	0.00	1.81	0.00
0.26	4.36	0.78	0.00	1.30	0.00	1.82	0.00
0.27	3.76	0.79	0.00	1.31	0.00	1.83	0.00
0.28	3.17	0.80	0.00	1.32	0.00	1.84	0.00
0.29	2.58	0.81	0.00	1.33	0.00	1.85	0.00
0.30	1.98	0.82	0.00	1.34	0.00	1.86	0.00
0.31	1.39	0.83	0.00	1.35	0.00	1.87	0.00
0.32	0.79	0.84	0.00	1.36	0.00	1.88	0.00
0.33	0.20	0.85	0.00	1.37	0.00	1.89	0.00
0.34	0.00	0.86	0.00	1.38	0.00	1.90	0.00
0.35	0.00	0.87	0.00	1.39	0.00	1.91	0.00
0.36	0.00	0.88	0.00	1.40	0.00 0.00	1.92	0.00
0.37	0.00	0.89 0.90	0.00	1.41 1.42		1.93 1.94	0.00 0.00
0.38 0.39	0.00 0.00	0.90	0.00 0.00	1.42	0.00 0.00	1.95	0.00
0.39	0.00	0.91	0.00	1.43	0.00	1.96	0.00
0.41	0.00	0.92	0.00	1.45	0.00	1.97	0.00
0.42	0.00	0.94	0.00	1.46	0.00	1.98	0.00
0.43	0.00	0.95	0.00	1.47	0.00	1.99	0.00
0.44	0.00	0.96	0.00	1.48	0.00	2.00	0.00
0.45	0.00	0.97	0.00	1.49	0.00	2.01	0.00
0.46	0.00	0.98	0.00	1.50	0.00	2.02	0.00
0.47	0.00	0.99	0.00	1.51	0.00	2.03	0.00
0.48	0.00	1.00	0.00	1.52	0.00	2.04	0.00
0.49	0.00	1.01	0.00	1.53	0.00	2.05	0.00
0.50	0.00	1.02	0.00	1.54	0.00	2.06	0.00
0.51	0.00	1.03	0.00	1.55	0.00	2.07	0.00

LOT 1

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#### Pond 5P: detention basin

Inflow Area =	0.271 ac, Inflo	ow Depth = 0.35"	for 10-Year-0.90 event
Inflow =	0.23 cfs @ 0	0.17 hrs, Volume=	0.008 af
Outflow =	0.11 cfs @ 0	0.50 hrs, Volume=	0.008 af, Atten= 51%, Lag= 19.9 min
Primary =	0.11 cfs @ 0	0.50 hrs, Volume=	0.008 af
Secondary =	0.00 cfs @ 0	0.00 hrs, Volume=	0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.15' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

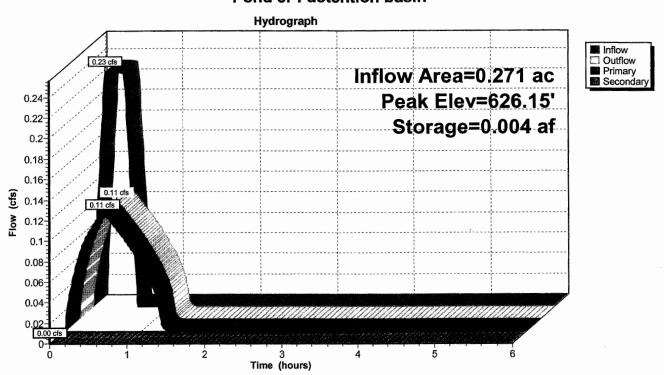
Plug-Flow detention time= 18.6 min calculated for 0.008 af (100% of inflow) Center-of-Mass det. time= 18.7 min ( 36.2 - 17.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	tlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.50 hrs HW=626.15' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.17 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)

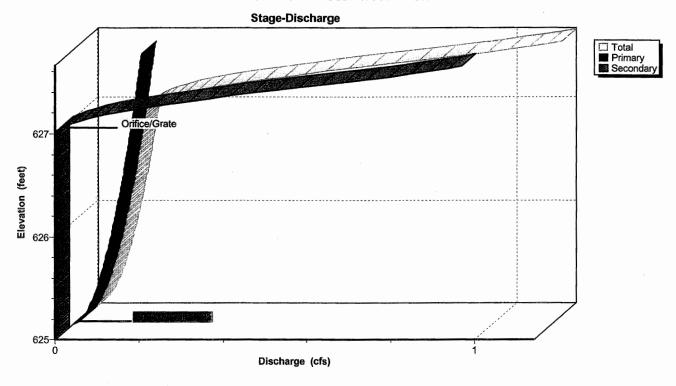
#### Pond 5P: detention basin



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# Pond 5P: detention basin



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# Hydrograph for Pond 5P: detention basin

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00 0.01	<b>0.00</b> 0.00
0.02 0.04	0.03 0.05	0.000 0.000	625.03 625.06	0.01 0.02	0.01	0.00
0.04	0.05	0.000	625.00	0.02	0.02	0.00
0.08	0.08	0.000	625.14	0.03	0.03	0.00
0.00	0.11	0.000	625.19	0.04	0.04	0.00
0.10	0.14	0.000	625.25	0.05	0.05	0.00
0.12	0.19	0.001	625.32	0.06	0.06	0.00
0.14	0.13	0.001	625.38	0.07	0.07	0.00
0.18	0.23	0.001	625.45	0.07	0.07	0.00
0.20	0.23	0.001	625.52	0.08	0.08	0.00
0.22	0.23	0.002	625.58	0.08	0.08	0.00
0.24	0.23	0.002	625.64	0.08	0.08	0.00
0.26	0.23	0.002	625.69	0.09	0.09	0.00
0.28	0.23	0.002	625.74	0.09	0.09	0.00
0.30	0.23	0.003	625.79	0.09	0.09	0.00
0.32	0.23	0.003	625.84	0.10	0.10	0.00
0.34	0.23	0.003	625.89	0.10	0.10	0.00
0.36	0.23	0.003	625.94	0.10	0.10	0.00
0.38	0.23	0.004	625.98	0.10	0.10	0.00
0.40	0.23	0.004	626.03	0.11	0.11	0.00
0.42	0.22	0.004	626.07	0.11	0.11	0.00
0.44	0.20	0.004	626.11	0.11	0.11	0.00
0.46	0.17	0.004	626.13	0.11	0.11	0.00
0.48	0.14	0.004	626.15	0.11	0.11	0.00
0.50	0.11	0.004	626.15	0.11	0.11	0.00
0.52	0.09	0.004	626.15	0.11	0.11	0.00
0.54	0.06	0.004	626.14	0.11	0.11	0.00
0.56	0.03	0.004	626.11	0.11	0.11	0.00
0.58	0.00	0.004	626.08	0.11	0.11	0.00
0.60	0.00	0.004	626.04	0.11	0.11	0.00
0.62	0.00	0.004	626.00	0.11	0.11	0.00
0.64	0.00	0.003	625.96	0.10	0.10	0.00
0.66	0.00	0.003	625.93	0.10	0.10	0.00
0.68	0.00	0.003	625.89	0.10	0.10	0.00
0.70	0.00	0.003	625.86	0.10	0.10	0.00
0.72	0.00	0.003	625.82	0.10	0.10	0.00
0.74	0.00	0.003	625.79	0.09	0.09	0.00
0.76	0.00	0.002	625.75	0.09	0.09	0.00
0.78	0.00	0.002	625.72	0.09	0.09	0.00
0.80	0.00	0.002	625.69	0.09	0.09	0.00
0.82	0.00	0.002	625.65	0.08	0.08	0.00
0.84	0.00	0.002	625.62	0.08	0.08	0.00
0.86	0.00	0.002	625.59	0.08	0.08	0.00
0.88	0.00	0.002	625.56	0.08	0.08	0.00
0.90	0.00	0.002	625.52	0.08	0.08	0.00
0.92	0.00	0.001	625.49	0.07	0.07	0.00
0.94	0.00	0.001	625.46	0.07	0.07	0.00
0.96	0.00	0.001	625.43	0.07	0.07	0.00
0.98	0.00	0.001	625.40	0.07	0.07	0.00
1.00	0.00	0.001	625.37	0.06	0.06	0.00
1.02	0.00	0.001	625.34	0.06	0.06	0.00

# Hydrograph for Pond 5P: detention basin (continued)

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.31	0.06	0.06	0.00
1.06	0.00	0.001	625.29	0.06	0.06	0.00
1.08	0.00	0.001	625.26	0.05	0.05	0.00
1.10	0.00	0.000	625.23	0.05	0.05	0.00
1.12	0.00	0.000	625.20	0.05	0.05	0.00
1.14	0.00 0.00	0.000 0.000	625.17 625.14	0.04 0.04	0.04 0.04	0.00 0.00
1.16	0.00	0.000	625.12	0.04	0.04	0.00
1.18 1.20	0.00	0.000	625.12	0.04	0.04	0.00
1.20	0.00	0.000	625.09	0.03	0.03	0.00
1.24	0.00	0.000	625.04	0.02	0.02	0.00
1.24	0.00	0.000	625.03	0.01	0.01	0.00
1.28	0.00	0.000	625.03	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00 0.00
2.00 2.02	0.00 0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00 0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	020.00	0.00	0.00	0.00

**LOT 2-5** 

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#### Pond 5P: detention basin

Inflow Area =	0.248 ac, Inflow Depth = 0.34"	for 10-Year-0.90 event
Inflow =	0.21 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af, Atten= 50%, Lag= 18.8 min
Primary =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.05' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

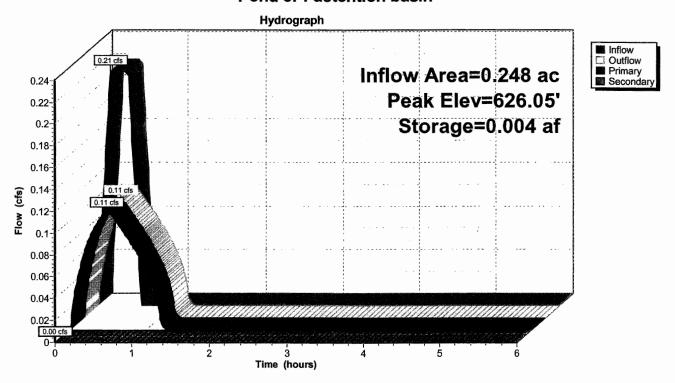
Plug-Flow detention time= 17.4 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 17.4 min ( 34.4 - 17.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Out	let Devices
#1	Primary	625.00' <b>2.0</b> '	'Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b> '	Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.05' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 4.92 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)

#### Pond 5P: detention basin

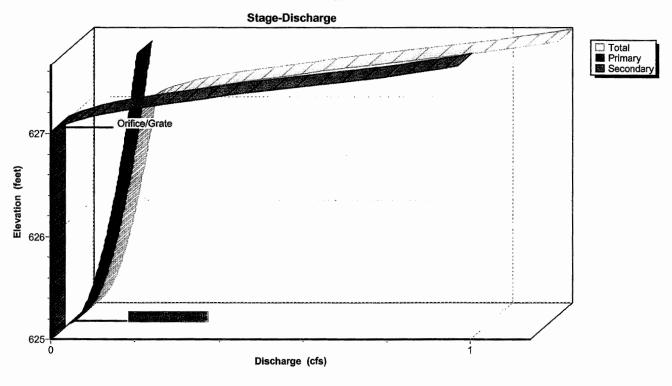


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# Pond 5P: detention basin



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# Hydrograph for Pond 5P: detention basin

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.10	0.000	625.13	0.04	0.04	0.00
0.10	0.13	0.000	625.18	0.05	0.05	0.00
0.12	0.15	0.000	625.24	0.05	0.05	0.00
0.14	0.18	0.001	625.30	0.06	0.06	0.00
0.16	0.21	0.001	625.36	0.06	0.06	0.00
0.18	0.21	0.001	625.43	0.07	0.07	0.00
0.20	0.21	0.001	625.49	0.07	0.07	0.00
0.22	0.21	0.002	625.55	0.08	0.08	0.00
0.24	0.21	0.002	625.60	0.08	0.08	0.00
0.26	0.21	0.002	625.65	0.08	0.08	0.00
0.28	0.21	0.002	625.70	0.09	0.09	0.00
0.30	0.21	0.002	625.75	0.09	0.09	0.00
0.32	0.21	0.003	625.79	0.09	0.09	0.00
0.34	0.21	0.003	625.84	0.10	0.10	0.00
0.36	0.21	0.003	625.88	0.10	0.10	0.00
0.38	0.21	0.003	625.92	0.10	0.10	0.00
0.40	0.21	0.003	625.96	0.10	0.10	0.00
0.42	0.19	0.004	626.00	0.10	0.10	0.00
0.44	0.16	0.004	626.02	0.11	0.11	0.00
0.46	0.14	0.004	626.04	0.11	0.11	0.00
0.48	0.11	0.004	626.05	0.11	0.11	0.00
0.50	0.09	0.004	626.04	0.11	0.11	0.00
0.52	0.06	0.004	626.03	0.11	0.11	0.00
0.54	0.03	0.004	626.01	0.11	0.11	0.00
0.56	0.01	0.004	625.98	0.10 0.10	0.10 0.10	0.00 0.00
0.58	0.00 0.00	0.003 0.003	625.94 625.91	0.10	0.10	0.00
0.60	0.00	0.003	625.87	0.10	0.10	0.00
0.62 0.64	0.00	0.003	625.84	0.10	0.10	0.00
0.66	0.00	0.003	625.80	0.10	0.10	0.00
	0.00	0.003	625.77	0.09	0.09	0.00
0.68 0.70	0.00	0.003	625.77	0.09	0.09	0.00
0.70	0.00	0.002	625.70	0.09	0.09	0.00
0.72	0.00	0.002	625.67	0.09	0.09	0.00
0.74	0.00	0.002	625.63	0.08	0.08	0.00
0.78	0.00	0.002	625.60	0.08	0.08	0.00
0.78	0.00	0.002	625.57	0.08	0.08	0.00
0.82	0.00	0.002	625.54	0.08	0.08	0.00
0.84	0.00	0.002	625.51	0.07	0.07	0.00
0.86	0.00	0.001	625.48	0.07	0.07	0.00
0.88	0.00	0.001	625.45	0.07	0.07	0.00
0.90	0.00	0.001	625.42	0.07	0.07	0.00
0.92	0.00	0.001	625.39	0.07	0.07	0.00
0.94	0.00	0.001	625.36	0.06	0.06	0.00
0.96	0.00	0.001	625.33	0.06	0.06	0.00
0.98	0.00	0.001	625.30	0.06	0.06	0.00
1.00	0.00	0.001	625.27	0.05	0.05	0.00
1.02	0.00	0.000	625.24	0.05	0.05	0.00
1.02	0.00	3.000	720.27	0.00	0.00	0.00

# Hydrograph for Pond 5P: detention basin (continued)

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.000	625.21	0.05	0.05	0.00
1.06	0.00	0.000	625.18	0.04	0.04	0.00
1.08	0.00	0.000	625.16	0.04	0.04	0.00
1.10 1.12	0.00	0.000	625.13	0.04	0.04	0.00
1.12	0.00 0.00	0.000	625.10 625.07	0.03	0.03	0.00
1.14	0.00	0.000	625.05	0.03 0.02	0.03 0.02	0.00 0.00
1.18	0.00	0.000	625.03	0.02	0.02	0.00
1.20	0.00	0.000	625.03	0.00	0.00	0.00
1.22	0.00	0.000	625.01	0.00	0.00	0.00
1.24	0.00	0.000	625.00	0.00	0.00	0.00
1.26	0.00	0.000	625.00	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60 1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00 0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00 0.00	0.00 0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00 2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00 0.00	0.000 0.000	625.00 625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00 0.00
2.00	0.00	0.000	020.00	0.00	0.00	0.00

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#### Pond 5P: detention basin

Inflow Area =	0.267 ac, Inflow Depth = 0.35"	for 10-Year-0.90 event
Inflow =	0.23 cfs @ 0.17 hrs, Volume=	: 0.008 af
Outflow =	0.11 cfs @ 0.50 hrs, Volume=	0.008 af, Atten= 50%, Lag= 19.8 min
Primary =	0.11 cfs @ 0.50 hrs, Volume=	: 0.008 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	: 0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.14' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.4 min calculated for 0.008 af (100% of inflow) Center-of-Mass det. time= 18.5 min ( 36.0 - 17.5 )

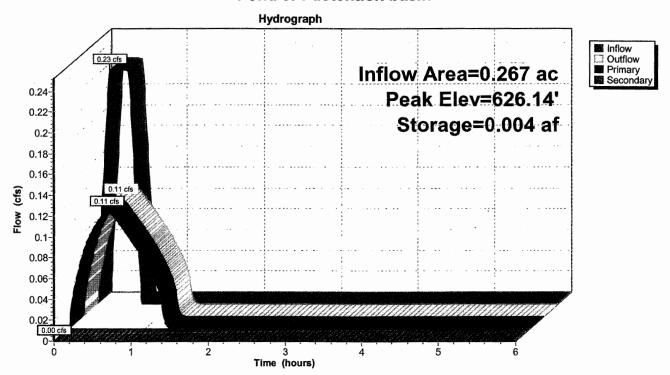
Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Out	tlet Devices
#1	Primary	625.00' <b>2.0</b> '	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b> '	"Vert. Orifice/Grate C= 0.600

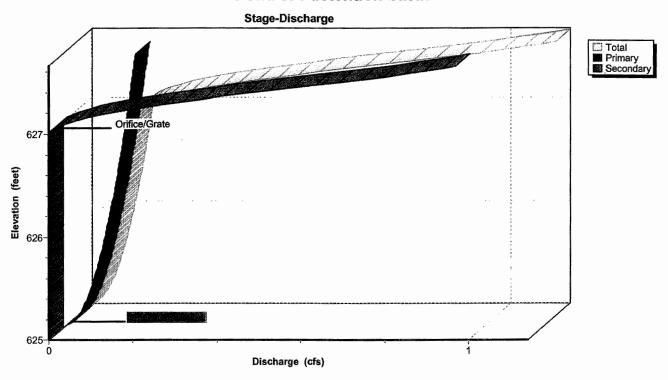
Primary OutFlow Max=0.11 cfs @ 0.50 hrs HW=626.14' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.13 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge)

2=Orifice/Grate (Controls 0.00 cfs)

#### Pond 5P: detention basin





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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.10	0.03	0.03	0.00
0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.10	0.14	0.000	625.19	0.05	0.05	0.00
0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.14	0.19	0.001	625.31	0.06	0.06	0.00
0.16	0.22	0.001	625.38	0.06	0.06	0.00
0.18	0.23	0.001	625.45	0.07	0.07	0.00
0.20	0.23	0.001	625.51	0.08	0.08	0.00
0.22	0.23	0.002	625.57	80.0	0.08	0.00
0.24	0.23	0.002	625.63	80.0	80.0	0.00
0.26	0.23	0.002	625.68	0.09	0.09	0.00
0.28	0.23	0.002	625.73	0.09	0.09	0.00
0.30	0.23	0.003	625.78	0.09	0.09	0.00
0.32	0.23	0.003	625.83	0.10	0.10	0.00
0.34	0.23	0.003	625.88	0.10	0.10	0.00
0.36	0.23	0.003	625.92	0.10	0.10	0.00
0.38	0.23	0.003	625.97	0.10	0.10	0.00
0.40	0.23	0.004	626.01	0.11	0.11	0.00
0.42	0.22	0.004	626.05	0.11	0.11	0.00
0.44	0.19	0.004	626.09	0.11	0.11	0.00
0.46	0.17	0.004	626.12	0.11	0.11	0.00
0.48	0.14	0.004	626.13	0.11	0.11	0.00
0.50	0.11	0.004	626.14	0.11	0.11	0.00
0.52	0.09	0.004	626.13	0.11	0.11	0.00
0.54	0.06	0.004	626.12	0.11	0.11	0.00
0.56	0.03	0.004	626.09	0.11	0.11	0.00
0.58	0.00	0.004	626.06	0.11	0.11	0.00
0.60	0.00	0.004	626.02	0.11	0.11	0.00
0.62	0.00	0.004	625.98	0.10	0.10	0.00
0.64	0.00	0.003	625.95	0.10	0.10	0.00
0.66	0.00	0.003	625.91	0.10	0.10	0.00
0.68	0.00	0.003	625.87	0.10	0.10	0.00
0.70	0.00	0.003	625.84	0.10	0.10	0.00
0.72	0.00	0.003	625.80	0.09	0.09	0.00
0.74	0.00	0.003	625.77	0.09	0.09	0.00
0.76	0.00	0.002	625.74	0.09	0.09	0.00
0.78	0.00	0.002	625.70	0.09	0.09	0.00
0.80	0.00	0.002	625.67	0.09	0.09	0.00
0.82	0.00	0.002	625.64	0.08	0.08	0.00
0.84	0.00	0.002	625.60	0.08	0.08	0.00
0.86	0.00	0.002	625.57	0.08	0.08	0.00
0.88	0.00	0.002	625.54	0.08	0.08	0.00
0.90	0.00	0.001	625.51	0.08	0.08	0.00
0.92	0.00	0.001	625.48	0.07	0.07	0.00
0.94	0.00	0.001	625.45	0.07	0.07	0.00
0.96	0.00	0.001	625.42	0.07	0.07	0.00
0.98	0.00	0.001	625.39	0.07	0.07	0.00
1.00	0.00	0.001	625.36	0.06	0.06	0.00
1.02	0.00	0.001	625.33	0.06	0.06	0.00

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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.30	0.06	0.06	0.00
1.06	0.00	0.001	625.27	0.05	0.05	0.00
1.08	0.00	0.001	625.24	0.05	0.05	0.00
1.10	0.00	0.000	625.21	0.05	0.05	0.00
1.12	0.00	0.000	625.19	0.05	0.05	0.00
1.14	0.00	0.000	625.16	0.04	0.04	0.00
1.16	0.00	0.000	625.13	0.04	0.04	0.00
1.18	0.00	0.000	625.10	0.03	0.03	0.00
1.20	0.00	0.000	625.08	0.03	0.03	0.00
1.22	0.00	0.000	625.05	0.02	0.02	0.00
1.24	0.00	0.000	625.03	0.01	0.01	0.00
1.26	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.01	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00 0.00
1.76	0.00	0.000	625.00	0.00	0.00 0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00 0.00		0.00
1.82	0.00	0.000 0.000	625.00	0.00	0.00 0.00	0.00
1.84	0.00 0.00	0.000	625.00 625.00	0.00	0.00	0.00
1.86 1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.00	5.00	0.000	020.00	0.00	0.00	0.00

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#### Pond 5P: detention basin

Inflow Area =	0.259 ac, Inflow Depth = 0.34"	for 10-Year-0.90 event
Inflow =	0.22 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af, Atten= 51%, Lag= 18.9 min
Primary =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

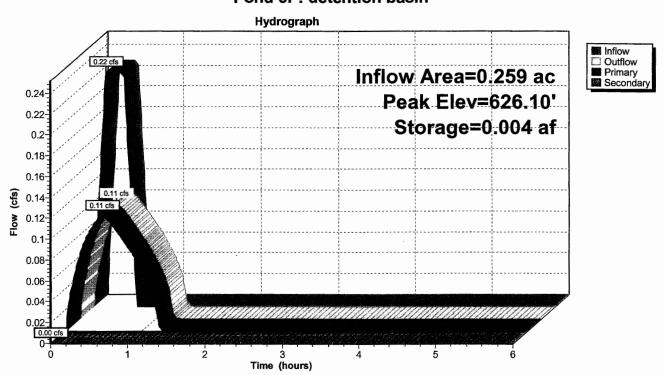
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.10' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.0 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.0 min ( 35.0 - 17.0 )

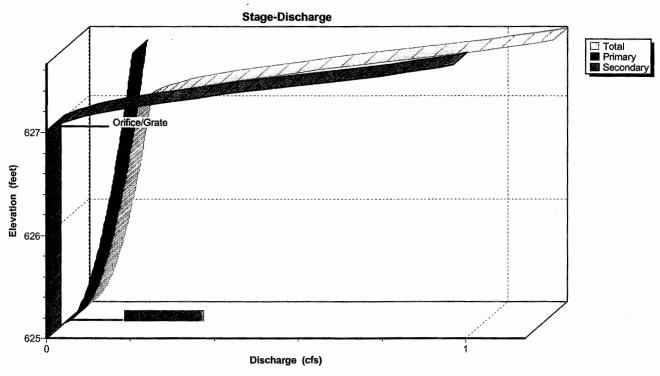
Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder x 2
Device	Routing	Invert Out	tlet Devices
#1	Primary	625.00' <b>2.0</b> '	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b> '	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.10' (Free Discharge)
1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.05 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



10/9/2006



Time	Inflow	Storage	Elevation	Outflow	Drimary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.10	0.13	0.000	625.19	0.05	0.05	0.00
0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.14	0.19	0.001	625.31	0.06	0.06	0.00
0.16	0.22	0.001	625.38	0.06	0.06	0.00
0.18	0.22	0.001	625.45	0.07	0.07	0.00
0.20	0.22	0.001	625.51	0.08	0.08	0.00
0.22	0.22	0.002	625.57	0.08	0.08	0.00
0.24	0.22	0.002	625.63	0.08	0.08	0.00
0.26	0.22	0.002	625.68	0.09	0.09	0.00
0.28	0.22	0.002	625.73	0.09	0.09	0.00
0.30	0.22	0.003	625.78	0.09	0.09	0.00
0.32	0.22	0.003	625.83	0.10	0.10	0.00
0.34	0.22	0.003	625.88	0.10	0.10	0.00
0.36	0.22	0.003	625.92	0.10	0.10	0.00
0.38	0.22	0.003	625.97	0.10	0.10	0.00
0.40	0.22	0.004	626.01	0.11	0.11	0.00
0.42	0.20	0.004	626.05	0.11	0.11	0.00
0.44	0.17	0.004	626.07	0.11	0.11	0.00
0.46	0.14	0.004	626.09	0.11	0.11	0.00
0.48	0.12	0.004	626.10	0.11	0.11	0.00
0.50	0.09	0.004	626.10	0.11	0.11	0.00
0.52	0.06	0.004	626.08	0.11	0.11	0.00
0.54	0.04	0.004	626.06	0.11	0.11	0.00
0.56 0.58	0.01	0.004	626.03	0.11	0.11	0.00
0.60	0.00 0.00	0.004 0.003	625.99 625.96	0.10 0.10	0.10 0.10	0.00 0.00
0.62	0.00	0.003	625.92	0.10	0.10	0.00
0.64	0.00	0.003	625.88	0.10	0.10	0.00
0.66	0.00	0.003	625.85	0.10	0.10	0.00
0.68	0.00	0.003	625.81	0.09	0.09	0.00
0.70	0.00	0.003	625.78	0.09	0.09	0.00
0.72	0.00	0.002	625.75	0.09	0.09	0.00
0.74	0.00	0.002	625.71	0.09	0.09	0.00
0.76	0.00	0.002	625.68	0.09	0.09	0.00
0.78	0.00	0.002	625.65	0.08	0.08	0.00
0.80	0.00	0.002	625.61	0.08	0.08	0.00
0.82	0.00	0.002	625.58	0.08	0.08	0.00
0.84	0.00	0.002	625.55	0.08	0.08	0.00
0.86	0.00	0.001	625.52	0.08	0.08	0.00
0.88	0.00	0.001	625.49	0.07	0.07	0.00
0.90	0.00	0.001	625.46	0.07	0.07	0.00
0.92	0.00	0.001	625.43	0.07	0.07	0.00
0.94	0.00	0.001	625.40	0.07	0.07	0.00
0.96	0.00	0.001	625.37	0.06	0.06	0.00
0.98	0.00	0.001	625.34	0.06	0.06	0.00
1.00	0.00	0.001	625.31	0.06	0.06	0.00
1.02	0.00	0.001	625.28	0.06	0.06	0.00

Time (hours)	Inflow (cfs)	Storage (acre-feet)	Elevation (feet)	Outflow (cfs)	Primary (cfs)	Secondary (cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.04	0.00	0.000	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.19	0.05	0.05	0.00
1.10	0.00	0.000	625.17	0.04	0.04	0.00
1.12	0.00	0.000	625.14	0.04	0.04	0.00
1.14	0.00	0.000	625.11	0.03	0.03	0.00
1.16	0.00	0.000	625.08	0.03	0.03	0.00
1.18	0.00	0.000	625.06	0.02	0.02	0.00
1.20	0.00	0.000	625.04	0.01	0.01	0.00
1.22	0.00	0.000	625.02	0.01	0.01	0.00
1.24	0.00	0.000	625.01	0.00	0.00	0.00
1.26	0.00	0.000	625.01	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04 2.06	0.00 0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00 0.00	0.00 0.00
2.00	0.00	0.000	020,00	0.00	0.00	0.00

**LOT 8-9** 

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### Pond 5P: detention basin

Inflow Area =	0.259  ac, Inflow Depth = $0.34$ "	for 10-Year-0.90 event
Inflow =	0.22 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af, Atten= 51%, Lag= 18.9 min
Primary =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

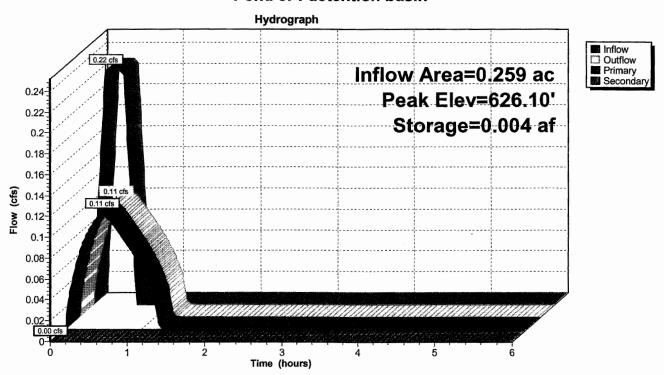
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.10' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

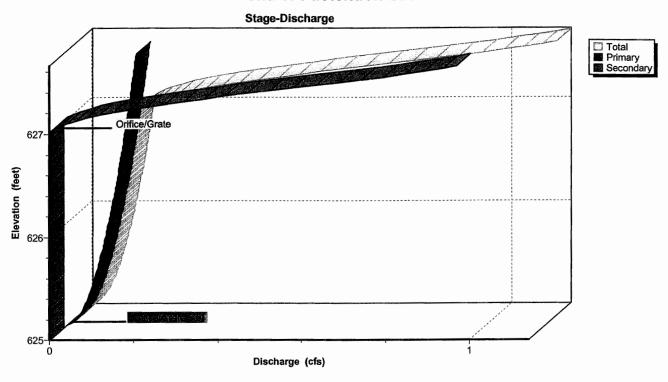
Plug-Flow detention time= 18.0 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.0 min ( 35.0 - 17.0 )

Volume	Invert	Avail.Storage Storage Description	
#1	625.00'	0.007 af <b>24.0"D x 50.00'L Horizontal Cylinder</b> x 2	
	0_0100		
Device	Routing	Invert Outlet Devices	
#1	Primary	625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600	
#2	Secondary	627.00' 8.0" Vert. Orifice/Grate C= 0.600	

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.10' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.05 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)





Time	Inflow	Storage	Elevation	Outflow	Primary	
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	80.0	0.000	625.09	0.03	0.03	0.00
0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.10	0.13	0.000	625.19	0.05	0.05	0.00
0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.14	0.19	0.001	625.31	0.06	0.06	0.00
0.16	0.22	0.001	625.38	0.06	0.06	0.00
0.18	0.22	0.001	625.45	0.07	0.07	0.00
0.20	0.22	0.001	625.51	0.08	0.08	0.00
0.22	0.22	0.002	625.57	0.08	0.08	0.00
0.24	0.22	0.002	625.63	80.0	0.08	0.00
0.26	0.22	0.002	625.68	0.09	0.09	0.00
0.28	0.22	0.002	625.73	0.09	0.09	0.00
0.30	0.22	0.003	625.78	0.09	0.09	0.00
0.32	0.22	0.003	625.83	0.10	0.10	0.00
0.34	0.22	0.003	625.88	0.10	0.10	0.00
0.36	0.22	0.003	625.92	0.10	0.10	0.00
0.38	0.22	0.003	625.97	0.10	0.10	0.00
0.40	0.22	0.004	626.01	0.11	0.11	0.00
0.42	0.20	0.004	626.05	0.11	0.11	0.00
0.44	0.17	0.004	626.07	0.11	0.11	0.00
0.46	0.14	0.004	626.09	0.11	0.11	0.00
0.48	0.12	0.004	626.10	0.11	0.11	0.00
0.50	0.09	0.004	626.10	0.11	0.11	0.00
0.52	0.06	0.004	626.08	0.11	0.11	0.00
0.54	0.04	0.004	626.06	0.11	0.11	0.00
0.56	0.01	0.004	626.03	0.11	0.11	0.00
0.58	0.00	0.004	625.99	0.10	0.10	0.00
0.60	0.00	0.003	625.96	0.10	0.10	0.00
0.62	0.00	0.003	625.92	0.10	0.10	0.00
0.64	0.00	0.003	625.88	0.10	0.10	0.00
0.66	0.00	0.003	625.85	0.10	0.10	0.00
0.68	0.00	0.003	625.81	0.09	0.09	0.00
0.70	0.00	0.003	625.78	0.09	0.09	0.00
0.72	0.00	0.002	625.75	0.09	0.09	0.00
0.74	0.00	0.002	625.71	0.09	0.09	0.00
0.76	0.00	0.002	625.68	0.09	0.09	0.00
0.78	0.00	0.002	625.65	0.08	0.08	0.00
0.80	0.00	0.002	625.61	0.08	0.08	0.00
0.82	0.00	0.002	625.58	0.08	0.08	0.00
0.84	0.00	0.002	625.55	0.08	0.08	0.00
0.86	0.00	0.001	625.52	0.08	0.08	0.00
0.88	0.00	0.001	625.49	0.07	0.07	0.00
0.90	0.00	0.001	625.46	0.07	0.07	0.00
0.92	0.00	0.001	625.43	0.07	0.07	0.00
0.94	0.00	0.001	625.40	0.07	0.07	0.00
0.96	0.00	0.001	625.37	0.06	0.06	0.00
0.98	0.00	0.001	625.34	0.06	0.06	0.00
1.00	0.00	0.001	625.31	0.06	0.06	0.00
1.02	0.00	0.001	625.28	0.06	0.06	0.00

Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.000	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.19	0.05	0.05	0.00
1.10	0.00	0.000	625.17	0.04	0.04	0.00
1.12	0.00	0.000	625.14	0.04	0.04	0.00 0.00
1.14	0.00	0.000	625.11	0.03	0.03 0.03	0.00
1.16	0.00	0.000	625.08	0.03	0.03	0.00
1.18	0.00	0.000 0.000	625.06 625.04	0.02 0.01	0.02	0.00
1.20 1.22	0.00 0.00	0.000	625.04	0.01	0.01	0.00
1.24	0.00	0.000	625.02	0.00	0.00	0.00
1.24	0.00	0.000	625.01	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00 0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88 1.90	0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00	0.00
1.90	0.00 0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	020.00	0.00	0.00	0.00

**LOT 10** 

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#### Pond 5P: detention basin

Inflow Area =	0.259 ac, Inflow Depth = 0.34"	for 10-Year-0.90 event
Inflow =	0.22 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af, Atten= 51%, Lag= 18.9 min
Primary =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.10' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

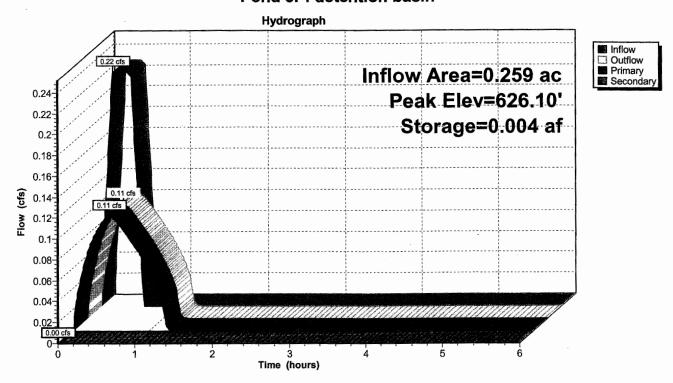
Plug-Flow detention time= 18.0 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.0 min (35.0 - 17.0)

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	utlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	O" Vert. Orifice/Grate C= 0.600

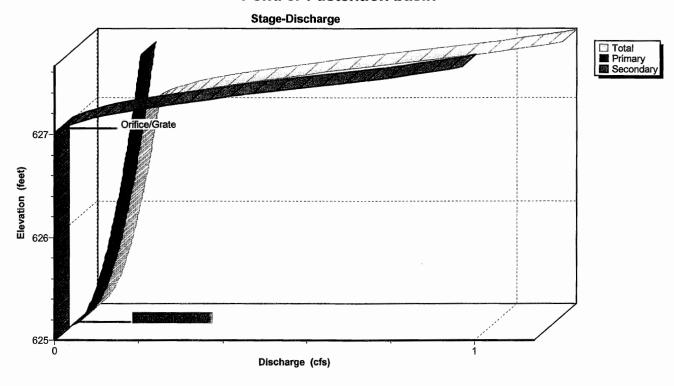
Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.10' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.05 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge)

2=Orifice/Grate (Controls 0.00 cfs)



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0.00         0.00         0.00         625.00         0.00         0.00         0.00           0.02         0.03         0.000         625.06         0.02         0.02         0.00           0.06         0.08         0.000         625.06         0.02         0.02         0.00           0.06         0.08         0.000         625.09         0.03         0.03         0.00           0.08         0.11         0.000         625.14         0.04         0.04         0.00           0.10         0.13         0.000         625.19         0.05         0.05         0.00           0.14         0.19         0.001         625.25         0.05         0.05         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.18         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.51         0.08         0.08         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.22         0.02         0.002         625.63         <	Time	Inflow	Storage	Elevation	Outflow		Secondary
0.02         0.03         0.000         625.06         0.02         0.02         0.00           0.06         0.08         0.000         625.09         0.03         0.03         0.00           0.08         0.11         0.000         625.14         0.04         0.04         0.00           0.10         0.13         0.000         625.19         0.05         0.05         0.00           0.12         0.16         0.001         625.25         0.05         0.05         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.16         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.34         0.06         0.06         0.00           0.18         0.22         0.001         625.57         0.08         0.08         0.00           0.22         0.22         0.002         625.63         0.08         0.08         0.00           0.22         0.22         0.002         625.73         0.09         0.09         0.00           0.23         0.22         0.002         625.83	(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.04         0.05         0.000         625.06         0.02         0.02         0.00           0.08         0.011         0.000         625.09         0.03         0.03         0.00           0.10         0.13         0.000         625.14         0.04         0.04         0.00           0.12         0.16         0.001         625.25         0.05         0.05         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.18         0.22         0.001         625.51         0.08         0.08         0.00           0.22         0.22         0.001         625.51         0.08         0.08         0.00           0.22         0.22         0.002         625.63         0.08         0.08         0.00           0.24         0.22         0.002         625.68         0.09         0.09         0.00           0.30         0.22         0.002         625.73	0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.06         0.08         0.000         625.09         0.03         0.03         0.00           0.08         0.11         0.000         625.14         0.04         0.04         0.00           0.12         0.16         0.001         625.25         0.05         0.05         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.16         0.22         0.001         625.31         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.22         0.22         0.002         625.51         0.08         0.08         0.00           0.22         0.22         0.002         625.63         0.08         0.08         0.00           0.24         0.22         0.002         625.68         0.09         0.09         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.32         0.22         0.003         625.88	0.02	0.03	0.000		0.01		
0.08         0.11         0.000         625.14         0.04         0.04         0.00           0.10         0.13         0.000         625.19         0.05         0.05         0.00           0.14         0.19         0.001         625.25         0.05         0.06         0.00           0.16         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.22         0.22         0.002         625.67         0.08         0.08         0.00           0.22         0.22         0.002         625.63         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.08         0.00           0.24         0.22         0.002         625.68         0.09         0.09         0.00           0.33         0.22         0.003         625.73         0.09         0.09         0.00           0.34         0.22         0.003         625.88	0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.10         0.13         0.000         625.19         0.05         0.05         0.00           0.12         0.16         0.001         625.25         0.05         0.05         0.00           0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.16         0.22         0.001         625.45         0.07         0.07         0.00           0.18         0.22         0.001         625.51         0.08         0.08         0.00           0.20         0.22         0.002         625.57         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.08         0.00           0.26         0.22         0.002         625.63         0.08         0.09         0.00           0.28         0.22         0.002         625.63         0.08         0.08         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.83	0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.12         0.16         0.001         625.25         0.05         0.06         0.00           0.14         0.19         0.001         625.38         0.06         0.06         0.00           0.16         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.002         625.57         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.08         0.00           0.26         0.22         0.002         625.63         0.08         0.08         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.83	0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.14         0.19         0.001         625.31         0.06         0.06         0.00           0.18         0.22         0.001         625.38         0.06         0.06         0.00           0.20         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.09         0.09           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.11         0.00           0.36         0.22         0.003         625.92	0.10	0.13	0.000	625.19	0.05	0.05	0.00
0.16         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.24         0.22         0.002         625.68         0.09         0.09         0.00           0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.38         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.34         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.92         0.10         0.10         0.00           0.46         0.1         0.04         0.1         0	0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.16         0.22         0.001         625.38         0.06         0.06         0.00           0.18         0.22         0.001         625.45         0.07         0.07         0.00           0.20         0.22         0.001         625.51         0.08         0.08         0.00           0.24         0.22         0.002         625.68         0.09         0.09         0.00           0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.38         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.34         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.92         0.10         0.10         0.00           0.46         0.1         0.04         0.1         0	0.14	0.19	0.001	625.31	0.06	0.06	0.00
0.20         0.22         0.001         625.57         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.00           0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.38         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.10         0.00           0.44         0.22         0.004         626.01         0.11         0.11         0.00           0.44         0.17         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.10         0.11	0.16	0.22	0.001		0.06	0.06	0.00
0.20         0.22         0.001         625.57         0.08         0.08         0.00           0.24         0.22         0.002         625.63         0.08         0.00           0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.38         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.10         0.00           0.44         0.22         0.004         626.01         0.11         0.11         0.00           0.44         0.17         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.10         0.11	0.18	0.22	0.001	625.45	0.07	0.07	0.00
0.24         0.22         0.002         625.63         0.08         0.08         0.00           0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.28         0.22         0.002         625.78         0.09         0.09         0.00           0.30         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.10         0.00           0.42         0.20         0.004         626.01         0.11         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.05         0.11         0.11         0.00           0.48         0.12         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004 <t< td=""><td>0.20</td><td>0.22</td><td></td><td>625.51</td><td>0.08</td><td>0.08</td><td>0.00</td></t<>	0.20	0.22		625.51	0.08	0.08	0.00
0.26         0.22         0.002         625.68         0.09         0.09         0.00           0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.92         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.42         0.20         0.004         626.07         0.11         0.11         0.00           0.44         0.17         0.004         626.07         0.11         0.11         0.11         0.00           0.48         0.12 <b>0.004</b> 626.10         0.11         0.11         0.00           0.52         0.06         0.004	0.22	0.22	0.002	625.57	0.08	0.08	0.00
0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.97         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.42         0.20         0.004         626.07         0.11         0.11         0.00           0.44         0.17         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08	0.24	0.22	0.002	625.63	0.08	0.08	0.00
0.28         0.22         0.002         625.73         0.09         0.09         0.00           0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.34         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.97         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.42         0.20         0.004         626.07         0.11         0.11         0.00           0.44         0.17         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08							0.00
0.30         0.22         0.003         625.78         0.09         0.09         0.00           0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.05         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.08         0.11         0.11         0.00           0.52         0.06         0.004         626.06	0.28	0.22	0.002	625.73	0.09	0.09	0.00
0.32         0.22         0.003         625.83         0.10         0.10         0.00           0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.11         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.09         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.08         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.08							0.00
0.34         0.22         0.003         625.88         0.10         0.10         0.00           0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.11         0.01         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00			0.003				
0.36         0.22         0.003         625.92         0.10         0.10         0.00           0.38         0.22         0.003         625.97         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.09         0.11         0.11         0.00           0.46         0.14         0.004         626.10         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.08         0.11         0.11         0.00           0.55         0.01         0.004         625.99							
0.38         0.22         0.003         625.97         0.10         0.10         0.00           0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.07         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.01           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.08         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.55         0.01         0.004         625.99         0.10         0.10         0.10           0.58         0.00         0.003         625.92							
0.40         0.22         0.004         626.01         0.11         0.11         0.00           0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.07         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.01           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.54         0.04         0.004         626.03         0.11         0.11         0.00           0.55         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.10           0.60         0.00         0.003         625.88							
0.42         0.20         0.004         626.05         0.11         0.11         0.00           0.44         0.17         0.004         626.07         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.01           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.52         0.06         0.004         626.06         0.11         0.11         0.00           0.54         0.04         0.004         626.03         0.11         0.11         0.00           0.55         0.01         0.004         625.99         0.10         0.10         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.92         0.10         0.10         0.00           0.62         0.00         0.003         625.88			0.004				
0.44         0.17         0.004         626.07         0.11         0.11         0.00           0.46         0.14         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.01           0.50         0.09         0.004         626.08         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.54         0.04         0.004         626.03         0.11         0.11         0.00           0.55         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.92         0.10         0.10         0.00           0.62         0.00         0.003         625.88         0.10         0.10         0.00           0.64         0.00         0.003         625.85							
0.46         0.14         0.004         626.09         0.11         0.11         0.00           0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.88         0.10         0.10         0.00           0.64         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.85         0.10         0.10         0.00           0.72         0.00         0.003         625.78							
0.48         0.12         0.004         626.10         0.11         0.11         0.00           0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.85         0.10         0.10         0.00           0.72         0.00         0.003         625.78							
0.50         0.09         0.004         626.10         0.11         0.11         0.00           0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.99         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.62         0.00         0.003         625.82         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.72         0.00         0.002         625.75							
0.52         0.06         0.004         626.08         0.11         0.11         0.00           0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.89         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.64         0.00         0.003         625.85         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.68							
0.54         0.04         0.004         626.06         0.11         0.11         0.00           0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65							
0.56         0.01         0.004         626.03         0.11         0.11         0.00           0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65							
0.58         0.00         0.004         625.99         0.10         0.10         0.00           0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.78         0.00         0.002         625.68         0.09         0.09         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.001         625.52							
0.60         0.00         0.003         625.96         0.10         0.10         0.00           0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.001         625.52							
0.62         0.00         0.003         625.92         0.10         0.10         0.00           0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.65         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.001         625.52							
0.64         0.00         0.003         625.88         0.10         0.10         0.00           0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.88         0.00         0.001         625.49							
0.66         0.00         0.003         625.85         0.10         0.10         0.00           0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.68         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.88         0.00         0.001         625.46							
0.68         0.00         0.003         625.81         0.09         0.09         0.00           0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.94         0.00         0.001         625.43							
0.70         0.00         0.003         625.78         0.09         0.09         0.00           0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.94         0.00         0.001         625.40							
0.72         0.00         0.002         625.75         0.09         0.09         0.00           0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.94         0.00         0.001         625.43         0.07         0.07         0.00           0.98         0.00         0.001         625.34							
0.74         0.00         0.002         625.71         0.09         0.09         0.00           0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34							
0.76         0.00         0.002         625.68         0.09         0.09         0.00           0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.34         0.07         0.07         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31							
0.78         0.00         0.002         625.65         0.08         0.08         0.00           0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31							
0.80         0.00         0.002         625.61         0.08         0.08         0.00           0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31         0.06         0.06         0.00							
0.82         0.00         0.002         625.58         0.08         0.08         0.00           0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31         0.06         0.06         0.00							
0.84         0.00         0.002         625.55         0.08         0.08         0.00           0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31         0.06         0.06         0.00							
0.86         0.00         0.001         625.52         0.08         0.08         0.00           0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31         0.06         0.06         0.00							
0.88         0.00         0.001         625.49         0.07         0.07         0.00           0.90         0.00         0.001         625.46         0.07         0.07         0.00           0.92         0.00         0.001         625.43         0.07         0.07         0.00           0.94         0.00         0.001         625.40         0.07         0.07         0.00           0.96         0.00         0.001         625.37         0.06         0.06         0.00           0.98         0.00         0.001         625.34         0.06         0.06         0.00           1.00         0.00         0.001         625.31         0.06         0.06         0.00							
0.90       0.00       0.001       625.46       0.07       0.07       0.00         0.92       0.00       0.001       625.43       0.07       0.07       0.00         0.94       0.00       0.001       625.40       0.07       0.07       0.00         0.96       0.00       0.001       625.37       0.06       0.06       0.00         0.98       0.00       0.001       625.34       0.06       0.06       0.00         1.00       0.00       0.001       625.31       0.06       0.06       0.00							
0.92     0.00     0.001     625.43     0.07     0.07     0.00       0.94     0.00     0.001     625.40     0.07     0.07     0.00       0.96     0.00     0.001     625.37     0.06     0.06     0.00       0.98     0.00     0.001     625.34     0.06     0.06     0.00       1.00     0.00     0.001     625.31     0.06     0.06     0.00							
0.94     0.00     0.001     625.40     0.07     0.07     0.00       0.96     0.00     0.001     625.37     0.06     0.06     0.00       0.98     0.00     0.001     625.34     0.06     0.06     0.00       1.00     0.00     0.001     625.31     0.06     0.06     0.00							
0.96     0.00     0.001     625.37     0.06     0.06     0.00       0.98     0.00     0.001     625.34     0.06     0.06     0.00       1.00     0.00     0.001     625.31     0.06     0.06     0.00							
0.98     0.00     0.001     625.34     0.06     0.06     0.00       1.00     0.00     0.001     625.31     0.06     0.06     0.00							
1.00 0.00 0.001 625.31 0.06 0.06 0.00							
	1.02	0.00	0.001	625.28	0.06	0.06	0.00

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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.000	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.19	0.05	0.05	0.00
1.10	0.00	0.000	625.17	0.04	0.04	0.00
1.12	0.00	0.000	625.14	0.04	0.04	0.00
1.14	0.00	0.000	625.11	0.03	0.03	0.00
1.16	0.00	0.000	625.08	0.03	0.03	0.00
1.18	0.00	0.000	625.06	0.02	0.02	0.00
1.20	0.00	0.000	625.04	0.01	0.01	0.00
1.22	0.00	0.000	625.02	0.01	0.01	0.00
1.24	0.00	0.000	625.01	0.00	0.00	0.00
1.26	0.00	0.000	625.01	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34 1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00 0.00	0.000	625.00 625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00 0.00	0.00	0.00 0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00		0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

**LOT 11** 

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### Pond 5P: detention basin

Inflow Area =	0.386 ac, Inflow Depth = 0.37"	for 10-Year-0.90 event
Inflow =	0.29 cfs @ 0.17 hrs, Volume=	0.012 af
Outflow =	0.13 cfs @ 0.59 hrs, Volume=	0.012 af, Atten= 55%, Lag= 25.3 min
Primary =	0.13 cfs @ 0.59 hrs, Volume=	0.012 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

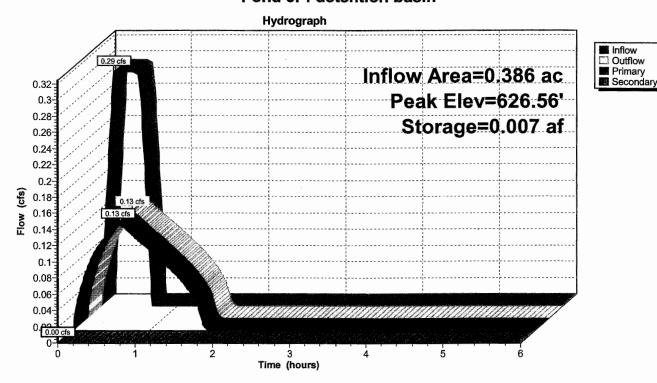
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.56' @ 0.59 hrs Surf.Area= 0.005 ac Storage= 0.007 af

Plug-Flow detention time= 27.0 min calculated for 0.012 af (100% of inflow) Center-of-Mass det. time= 27.1 min (47.1 - 20.0)

<u>Volume</u>	Invert	Avail.Storage	Storage Description
#1	625.00'	0.009 af	24.0"D x 60.00'L Horizontal Cylinder x 2
Device	Routing	Invert Ou	utlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	"Vert. Orifice/Grate C= 0.600

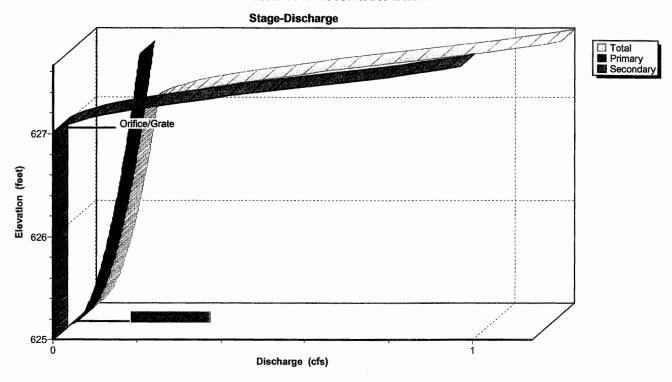
Primary OutFlow Max=0.13 cfs @ 0.59 hrs HW=626.56' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.13 cfs @ 6.00 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.07	0.000	625.06	0.02	0.02	0.00
0.06	0.10	0.000	625.11	0.03	0.03	0.00
0.08	0.14	0.000	625.16	0.04	0.04	0.00
0.10	0.17	0.000	625.21	0.05	0.05	0.00
0.12	0.21	0.001	625.28	0.06	0.06	0.00
0.14	0.24	0.001	625.35	0.06	0.06	0.00
0.16	0.28	0.001	625.42	0.07	0.07	0.00
0.18	0.29	0.002	625.50	0.07	0.07	0.00
0.20	0.29	0.002	625.57	0.08	0.08	0.00
0.22	0.29	0.002	625.64	0.08	0.08	0.00
0.24	0.29	0.003	625.70	0.09	0.09	0.00
0.26	0.29	0.003	625.77	0.09	0.09	0.00
0.28	0.29	0.003	625.83	0.10	0.10	0.00
0.30	0.29	0.004	625.88	0.10	0.10	0.00
0.32	0.29	0.004	625.94	0.10	0.10	0.00
0.34	0.29	0.004	626.00	0.10	0.10	0.00
0.36	0.29	0.005	626.05	0.11	0.11	0.00
0.38	0.29	0.005	626.11	0.11	0.11	0.00
0.40	0.29	0.005	626.16	0.11	0.11	0.00
0.42	0.29	0.005	626.21	0.12	0.12	0.00
0.44	0.29	0.006	626.27	0.12	0.12	0.00
0.46	0.29	0.006	626.32	0.12	0.12	0.00
0.48	0.29	0.006	626.37	0.12	0.12	0.00
0.50	0.29	0.007	626.43	0.13	0.13	0.00
0.52	0.25	0.007	626.48	0.13	0.13	0.00
0.54	0.22	0.007	626.51	0.13	0.13	0.00
0.56	0.19	0.007	626.54	0.13	0.13	0.00
0.58	0.15	0.007	626.55	0.13	0.13	0.00
0.60 0.62	0.12 0.08	<b>0.007</b> 0.007	<b>626.55</b> 626.54	<b>0.13</b> 0.13	<b>0.13</b> 0.13	0.00 0.00
0.62	0.05	0.007	626.52	0.13	0.13	0.00
0.66	0.03	0.007	626.48	0.13	0.13	0.00
0.68	0.00	0.007	626.44	0.13	0.13	0.00
0.70	0.00	0.007	626.40	0.13	0.13	0.00
0.70	0.00	0.006	626.36	0.12	0.12	0.00
0.74	0.00	0.006	626.32	0.12	0.12	0.00
0.76	0.00	0.006	626.28	0.12	0.12	0.00
0.78	0.00	0.006	626.25	0.12	0.12	0.00
0.80	0.00	0.005	626.21	0.12	0.12	0.00
0.82	0.00	0.005	626.18	0.11	0.12	0.00
0.84	0.00	0.005	626.14	0.11	0.11	0.00
0.86	0.00	0.005	626.11	0.11	0.11	0.00
0.88	0.00	0.005	626.08	0.11	0.11	0.00
0.90	0.00	0.005	626.04	0.11	0.11	0.00
0.92	0.00	0.004	626.01	0.11	0.11	0.00
0.94	0.00	0.004	625.98	0.10	0.10	0.00
0.96	0.00	0.004	625.95	0.10	0.10	0.00
0.98	0.00	0.004	625.92	0.10	0.10	0.00
1.00	0.00	0.004	625.89	0.10	0.10	0.00
1.02	0.00	0.004	625.86	0.10	0.10	0.00

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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.003	625.83	0.10	0.10	0.00
1.06	0.00	0.003	625.80	0.09	0.09	0.00 0.00
1.08	0.00	0.003	625.77	0.09	0.09	
1.10	0.00	0.003	625.74	0.09	0.09	0.00
1.12	0.00	0.003	625.72	0.09	0.09	0.00
1.14	0.00	0.003	625.69	0.09	0.09	0.00 0.00
1.16	0.00	0.002	625.66	0.09	0.09	0.00
1.18	0.00	0.002	625.63	80.0	0.08	0.00
1.20	0.00	0.002	625.61	0.08	80.0 80.0	0.00
1.22	0.00	0.002 0.002	625.58 625.55	0.08	0.08	0.00
1.24	0.00			0.08	0.08	0.00
1.26	0.00	0.002 0.002	625.53 625.50	0.08	0.08	0.00
1.28	0.00		625.48	0.07 0.07	0.07	0.00
1.30 1.32	0.00	0.002 0.001	625.45	0.07	0.07	0.00
1.34	0.00	0.001	625.43	0.07	0.07	0.00
1.34	0.00	0.001	625.40	0.07	0.07	0.00
1.38	0.00 0.00	0.001	625.38	0.07	0.07	0.00
1.40	0.00	0.001	625.35	0.06	0.06	0.00
1.42	0.00	0.001	625.33	0.06	0.06	0.00
1.44	0.00	0.001	625.30	0.06	0.06	0.00
1.44	0.00	0.001	625.28	0.06	0.06	0.00
1.48	0.00	0.001	625.25	0.05	0.05	0.00
1.50	0.00	0.001	625.23	0.05	0.05	0.00
1.52	0.00	0.000	625.21	0.05	0.05	0.00
1.54	0.00	0.000	625.18	0.04	0.04	0.00
1.56	0.00	0.000	625.16	0.04	0.04	0.00
1.58	0.00	0.000	625.14	0.04	0.04	0.00
1.60	0.00	0.000	625.11	0.04	0.04	0.00
1.62	0.00	0.000	625.09	0.03	0.03	0.00
1.64	0.00	0.000	625.07	0.03	0.03	0.00
1.66	0.00	0.000	625.05	0.02	0.02	0.00
1.68	0.00	0.000	625.03	0.01	0.01	0.00
1.70	0.00	0.000	625.02	0.01	0.01	0.00
1.72	0.00	0.000	625.01	0.00	0.00	0.00
1.74	0.00	0.000	625.01	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1,86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

**LOT 12** 

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### Pond 5P: detention basin

Inflow Area =	0.308 ac, Inflow Depth = 0.37"	for 10-Year-0.90 event
Inflow =	0.23 cfs @ 0.17 hrs, Volume=	= 0.010 af
Outflow =	0.11 cfs @ 0.58 hrs, Volume=	= 0.010 af, Atten= 50%, Lag= 24.8 min
Primary =	0.11 cfs @ 0.58 hrs, Volume=	= 0.010 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	= 0.000 af

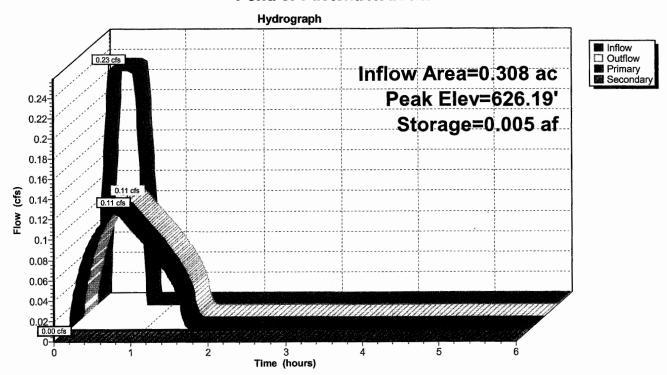
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.19' @ 0.58 hrs Surf.Area= 0.005 ac Storage= 0.005 af

Plug-Flow detention time= 22.8 min calculated for 0.010 af (100% of inflow) Center-of-Mass det. time= 22.8 min ( 42.8 - 20.0 )

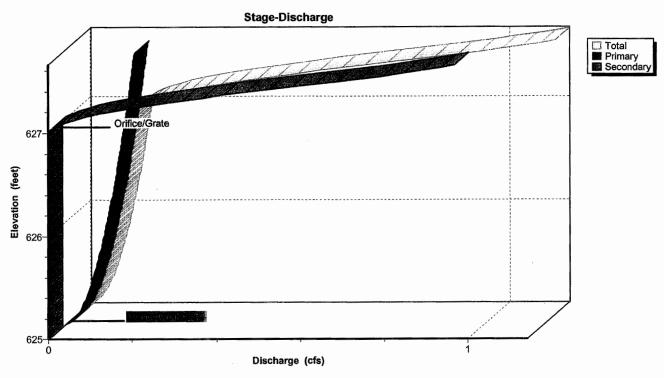
Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.009 af	24.0"D x 60.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	utlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	O" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.58 hrs HW=626.19' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.25 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) —2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.02	0.01	0.01	0.00
0.04	0.06	0.000	625.05	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.11	0.000	625.13	0.04	0.04	0.00
0.10	0.14	0.000	625.18	0.04	0.04	0.00
0.12	0.17	0.001	625.23	0.05	0.05	0.00
0.14	0.19	0.001	625.29	0.06	0.06	0.00
0.16	0.22	0.001	625.35	0.06	0.06	0.00
0.18	0.23	0.001	625.41	0.07	0.07	0.00
0.20	0.23	0.002	625.47	0.07	0.07	0.00
0.22	0.23	0.002	625.52	0.08	0.08	0.00
0.24	0.23	0.002	625.57	0.08	0.08	0.00 0.00
0.26	0.23	0.002	625.62	0.08	0.08	
0.28	0.23	0.003	625.67 625.72	0.09	0.09	0.00 0.00
0.30	0.23	0.003 0.003	625.76	0.09	0.09	0.00
0.32	0.23	0.003	625.80	0.09 0.09	0.09 0.09	0.00
0.34 0.36	0.23 0.23	0.003	625.84	0.09	0.09	0.00
0.38	0.23	0.003	625.88	0.10	0.10	0.00
0.36	0.23	0.004	625.92	0.10	0.10	0.00
0.40	0.23	0.004	625.96	0.10	0.10	0.00
0.42	0.23	0.004	626.00	0.10	0.10	0.00
0.44	0.23	0.004	626.04	0.11	0.11	0.00
0.48	0.23	0.005	626.07	0.11	0.11	0.00
0.40	0.23	0.005	626.11	0.11	0.11	0.00
0.52	0.23	0.005	626.11	0.11	0.11	0.00
0.52	0.20	0.005	626.17	0.11	0.11	0.00
0.54	0.15	0.005	626.18	0.11	0.11	0.00
0.58	0.13	0.005	<b>626.19</b>	0.11	0.11	0.00
0.60	0.09	0.005	626.18	0.11	0.11	0.00
0.62	0.06	0.005	626.17	0.11	0.11	0.00
0.64	0.04	0.005	626.15	0.11	0.11	0.00
0.66	0.01	0.005	626.13	0.11	0.11	0.00
0.68	0.00	0.005	626.09	0.11	0.11	0.00
0.70	0.00	0.005	626.06	0.11	0.11	0.00
0.72	0.00	0.004	626.03	0.11	0.11	0.00
0.74	0.00	0.004	626.00	0.10	0.10	0.00
0.76	0.00	0.004	625.97	0.10	0.10	0.00
0.78	0.00	0.004	625.94	0.10	0.10	0.00
0.80	0.00	0.004	625.91	0.10	0.10	0.00
0.82	0.00	0.004	625.88	0.10	0.10	0.00
0.84	0.00	0.003	625.85	0.10	0.10	0.00
0.86	0.00	0.003	625.82	0.09	0.09	0.00
0.88	0.00	0.003	625.79	0.09	0.09	0.00
0.90	0.00	0.003	625.76	0.09	0.09	0.00
0.92	0.00	0.003	625.73	0.09	0.09	0.00
0.94	0.00	0.003	625.70	0.09	0.09	0.00
0.96	0.00	0.003	625.68	0.09	0.09	0.00
0.98	0.00	0.002	625.65	0.08	0.08	0.00
1.00	0.00	0.002	625.62	80.0	0.08	0.00
1.02	0.00	0.002	625.60	0.08	0.08	0.00

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Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.002	625.57	0.08	0.08	0.00
1.06	0.00	0.002	625.54	0.08	0.08	0.00
1.08	0.00	0.002	625.52	0.08	0.08	0.00
1.10	0.00	0.002	625.49	0.07	0.07	0.00
1.12	0.00	0.002	625.47	0.07	0.07	0.00
1.14	0.00	0.001	625.44	0.07	0.07	0.00
1.16	0.00	0.001	625.41	0.07	0.07	0.00
1.18	0.00	0.001 0.001	625.39	0.07	0.07	0.00
1.20 1.22	0.00 0.00	0.001	625.37 625.34	0.06 0.06	0.06	0.00 0.00
1.24	0.00	0.001	625.32	0.06	0.06 0.06	0.00
1.24	0.00	0.001	625.29	0.06	0.06	0.00
1.28	0.00	0.001	625.27	0.05	0.05	0.00
1.30	0.00	0.001	625.24	0.05	0.05	0.00
1.32	0.00	0.001	625.22	0.05	0.05	0.00
1.34	0.00	0.000	625.20	0.05	0.05	0.00
1.36	0.00	0.000	625.17	0.04	0.04	0.00
1.38	0.00	0.000	625.15	0.04	0.04	0.00
1.40	0.00	0.000	625.13	0.04	0.04	0.00
1.42	0.00	0.000	625.10	0.03	0.03	0.00
1.44	0.00	0.000	625.08	0.03	0.03	0.00
1.46	0.00	0.000	625.06	0.02	0.02	0.00
1.48	0.00	0.000	625.04	0.01	0.01	0.00
1.50	0.00	0.000	625.03	0.01	0.01	0.00
1.52	0.00	0.000	625.02	0.00	0.00	0.00
1.54	0.00	0.000	625.01	0.00	0.00	0.00
1.56	0.00	0.000	625.01	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86 1.88	0.00 0.00	0.000 0.000	625.00 625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00 0.00	0.00	0.00 0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00
		2.220	0.00	3.00	0.00	0.00

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#### Pond 5P: detention basin

Inflow Area =	0.298 ac, Inflow Depth = $0.3$	37" for 10-Year-0.90 event
Inflow =	0.23 cfs @ 0.17 hrs, Volum	e= 0.009 af
Outflow =	0.11 cfs @ 0.57 hrs, Volum	ie= 0.009 af, Atten= 51%, Lag= 23.9 min
Primary =	0.11 cfs @ 0.57 hrs, Volum	e= 0.009 af
Secondary =	0.00 cfs @ 0.00 hrs, Volum	e= 0.000 af

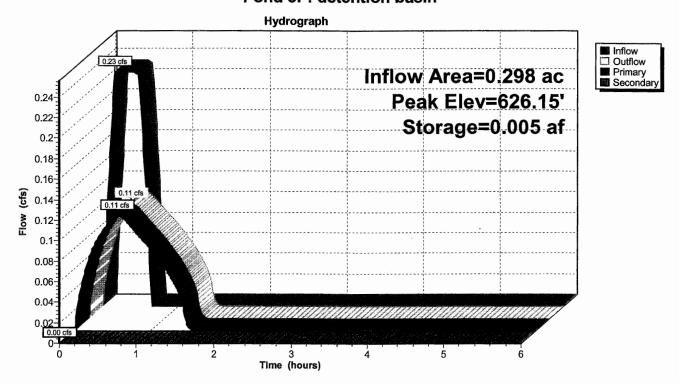
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.15' @ 0.57 hrs Surf.Area= 0.005 ac Storage= 0.005 af

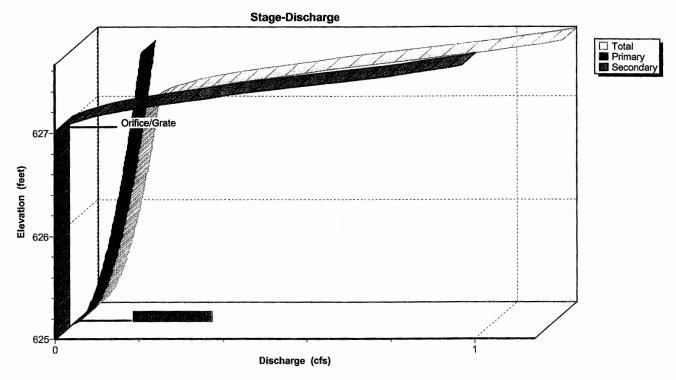
Plug-Flow detention time= 22.1 min calculated for 0.009 af (100% of inflow) Center-of-Mass det. time= 22.2 min (41.7 - 19.5)

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.009 af	24.0"D x 60.00'L Horizontal Cylinder x 2
			•
Device	Routing	Invert Ou	tlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.57 hrs HW=626.14' (Free Discharge)
1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.15 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)





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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.05	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.11	0.000	625.13	0.04	0.04	0.00
0.10	0.14	0.000	625.18	0.04	0.04	0.00
0.12	0.16	0.001	625.23	0.05	0.05	0.00
0.14	0.19	0.001	625.28	0.06	0.06	0.00
0.16	0.22	0.001	625.34	0.06	0.06	0.00
0.18	0.23	0.001	625.41	0.07	0.07	0.00
0.20 0.22	0.23	0.002	625.46	0.07	0.07	0.00
0.22	0.23 0.23	0.002	625.52	0.08	0.08	0.00
0.24	0.23	0.002 0.002	625.57 625.62	0.08 0.08	0.08 0.08	0.00 0.00
0.28	0.23	0.002	625.66	0.08	0.08	0.00
0.30	0.23	0.003	625.71	0.09	0.09	0.00
0.32	0.23	0.003	625.75	0.09	0.09	0.00
0.34	0.23	0.003	625.79	0.09	0.09	0.00
0.36	0.23	0.003	625.84	0.10	0.10	0.00
0.38	0.23	0.004	625.88	0.10	0.10	0.00
0.40	0.23	0.004	625.91	0.10	0.10	0.00
0.42	0.23	0.004	625.95	0.10	0.10	0.00
0.44	0.23	0.004	625.99	0.10	0.10	0.00
0.46	0.23	0.004	626.03	0.11	0.11	0.00
0.48	0.23	0.005	626.06	0.11	0.11	0.00
0.50	0.21	0.005	626.10	0.11	0.11	0.00
0.52	0.18	0.005	626.12	0.11	0.11	0.00
0.54	0.15	0.005	626.14	0.11	0.11	0.00
0.56	0.12	0.005	626.14	0.11	0.11	0.00
0.58	0.10	0.005	626.14	0.11	0.11	0.00
0.60	0.07	0.005	626.13	0.11	0.11	0.00
0.62	0.04	0.005	626.12	0.11	0.11	0.00
0.64	0.01	0.005	626.09	0.11	0.11	0.00
0.66	0.00	0.005	626.06	0.11	0.11	0.00
0.68	0.00	0.004	626.03	0.11	0.11	0.00
0.70	0.00	0.004	626.00	0.10	0.10	0.00
0.72 0.74	0.00 0.00	0.004	625.97	0.10	0.10	0.00
0.74	0.00	0.004 0.004	625.93 625.90	0.10	0.10 0.10	0.00
0.78	0.00	0.004	625.87	0.10 0.10	0.10	0.00 0.00
0.78	0.00	0.004	625.84	0.10	0.10	0.00
0.82	0.00	0.003	625.82	0.10	0.10	0.00
0.84	0.00	0.003	625.79	0.09	0.09	0.00
0.86	0.00	0.003	625.76	0.09	0.09	0.00
0.88	0.00	0.003	625.73	0.09	0.09	0.00
0.90	0.00	0.003	625.70	0.09	0.09	0.00
0.92	0.00	0.003	625.68	0.09	0.09	0.00
0.94	0.00	0.002	625.65	0.08	0.08	0.00
0.96	0.00	0.002	625.62	0.08	0.08	0.00
0.98	0.00	0.002	625.59	0.08	0.08	0.00
1.00	0.00	0.002	625.57	0.08	80.0	0.00
1.02	0.00	0.002	625.54	0.08	0.08	0.00

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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.002	625.52	0.08	0.08	0.00
1.06	0.00	0.002	625.49	0.07	0.07	0.00
1.08	0.00	0.002	625.46	0.07	0.07	0.00
1.10	0.00	0.001	625.44	0.07	0.07	0.00
1.12	0.00	0.001	625.41	0.07	0.07	0.00
1.14	0.00	0.001	625.39	0.07	0.07	0.00
1.16	0.00	0.001	625.36	0.06	0.06	0.00
1.18	0.00	0.001	625.34	0.06	0.06	0.00
1.20	0.00	0.001	625.32	0.06	0.06	0.00
1.22	0.00	0.001	625.29	0.06	0.06	0.00
1.24	0.00	0.001	625.27	0.05	0.05	0.00
1.26	0.00	0.001	625.24	0.05	0.05	0.00
1.28	0.00	0.001	625.22	0.05	0.05	0.00
1.30	0.00	0.000	625.20	0.05	0.05	0.00
1.32	0.00	0.000	625.17	0.04	0.04	0.00
1.34	0.00	0.000	625.15	0.04	0.04	0.00
1.36	0.00	0.000	625.13	0.04	0.04	0.00
1.38	0.00	0.000	625.10	0.03	0.03	0.00
1.40	0.00	0.000	625.08	0.03	0.03	0.00
1.42	0.00	0.000	625.06	0.02	0.02	0.00
1.44	0.00	0.000	625.04	0.01	0.01	0.00
1.46	0.00	0.000	625.03	0.01	0.01	0.00
1.48	0.00	0.000	625.02	0.00	0.00	0.00
1.50	0.00	0.000	625.01	0.00	0.00	0.00
1.52	0.00	0.000	625.01	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

**LOT 14** 

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### Pond 5P: detention basin

Inflow Area =	0.259 ac, Inflow Depth = $0.3$	34" for 10-Year-0.90 event
Inflow =	0.22 cfs @ 0.17 hrs, Volum	e= 0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volum	ie= 0.007 af, Atten= 51%, Lag= 18.9 min
Primary =	0.11 cfs @ 0.48 hrs, Volum	e= 0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volum	e= 0.000 af

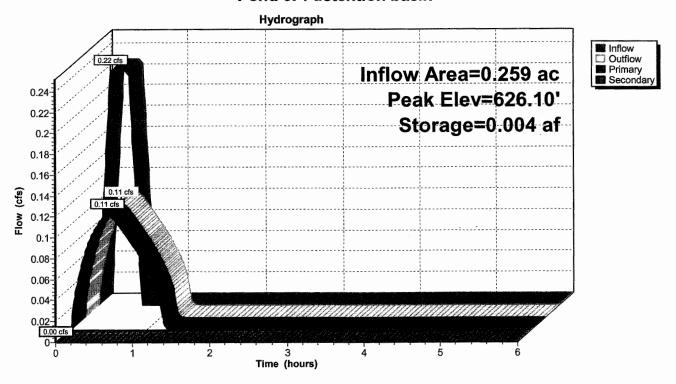
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.10' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.0 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.0 min ( 35.0 - 17.0 )

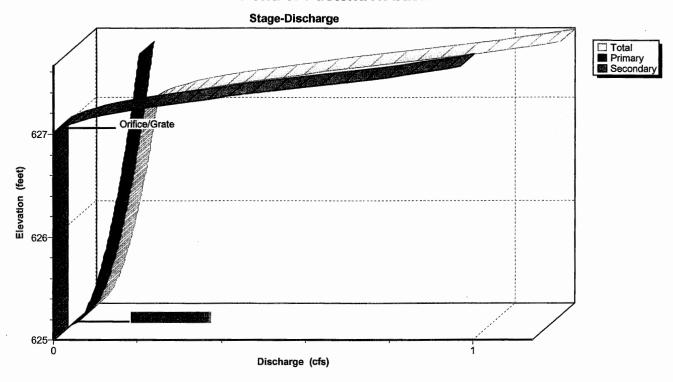
Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder x 2
			•
Device	Routing	Invert Ou	tlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	"Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.10' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.05 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06 625.09	0.02	0.02 0.03	0.00
0.06	0.08 0.11	0.000	625.14	0.03 0.04	0.03	0.00 0.00
0.08 0.10	0.11	0.000	625.19	0.04	0.04	0.00
0.10	0.13	0.000	625.25	0.05	0.05	0.00
0.12	0.10	0.001	625.31	0.06	0.03	0.00
0.14	0.19	0.001	625.38	0.06	0.06	0.00
0.18	0.22	0.001	625.45	0.07	0.07	0.00
0.20	0.22	0.001	625.51	0.08	0.07	0.00
0.22	0.22	0.002	625.57	0.08	0.08	0.00
0.24	0.22	0.002	625.63	0.08	0.08	0.00
0.26	0.22	0.002	625.68	0.09	0.09	0.00
0.28	0.22	0.002	625.73	0.09	0.09	0.00
0.30	0.22	0.003	625.78	0.09	0.09	0.00
0.32	0.22	0.003	625.83	0.10	0.10	0.00
0.34	0.22	0.003	625.88	0.10	0.10	0.00
0.36	0.22	0.003	625.92	0.10	0.10	0.00
0.38	0.22	0.003	625.97	0.10	0.10	0.00
0.40	0.22	0.004	626.01	0.11	0.11	0.00
0.42	0.20	0.004	626.05	0.11	0.11	0.00
0.44	0.17	0.004	626.07	0.11	0.11	0.00
0.46	0.14	0.004	626.09	0.11	0.11	0.00
0.48	0.12	0.004	626.10	0.11	0.11	0.00
0.50	0.09	0.004	626.10	0.11	0.11	0.00
0.52	0.06	0.004	626.08	0.11	0.11	0.00
0.54	0.04	0.004	626.06	0.11	0.11	0.00
0.56	0.01	0.004	626.03	0.11	0.11	0.00
0.58	0.00	0.004	625.99	0.10	0.10	0.00
0.60 0.62	0.00 0.00	0.003 0.003	625.96 625.92	0.10 0.10	0.10 0.10	0.00 0.00
0.62	0.00	0.003	625.88	0.10	0.10	0.00
0.66	0.00	0.003	625.85	0.10	0.10	0.00
0.68	0.00	0.003	625.81	0.10	0.10	0.00
0.70	0.00	0.003	625.78	0.09	0.09	0.00
0.72	0.00	0.002	625.75	0.09	0.09	0.00
0.74	0.00	0.002	625.71	0.09	0.09	0.00
0.76	0.00	0.002	625.68	0.09	0.09	0.00
0.78	0.00	0.002	625.65	0.08	0.08	0.00
0.80	0.00	0.002	625.61	0.08	0.08	0.00
0.82	0.00	0.002	625.58	0.08	0.08	0.00
0.84	0.00	0.002	625.55	0.08	0.08	0.00
0.86	0.00	0.001	625.52	0.08	0.08	0.00
0.88	0.00	0.001	625.49	0.07	0.07	0.00
0.90	0.00	0.001	625.46	0.07	0.07	0.00
0.92	0.00	0.001	625.43	0.07	0.07	0.00
0.94	0.00	0.001	625.40	0.07	0.07	0.00
0.96	0.00	0.001	625.37	0.06	0.06	0.00
0.98	0.00	0.001	625.34	0.06	0.06	0.00
1.00	0.00	0.001	625.31	0.06	0.06	0.00
1.02	0.00	0.001	625.28	0.06	0.06	0.00

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Time	Inflow		Elevation	Outflow	Primary	
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.000	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.19	0.05	0.05	0.00
1.10	0.00	0.000	625.17	0.04	0.04	0.00
1.12	0.00	0.000	625.14	0.04	0.04	0.00
1.14	0.00	0.000	625.11	0.03	0.03	0.00
1.16	0.00	0.000	625.08	0.03	0.03	0.00
1.18	0.00	0.000	625.06	0.02	0.02	0.00
1.20	0.00	0.000	625.04	0.01	0.01	0.00
1.22	0.00	0.000	625.02	0.01	0.01	0.00
1.24	0.00	0.000	625.01	0.00	0.00	0.00
1.26	0.00	0.000	625.01	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42 1.44	0.00	0.000	625.00	0.00	0.00	0.00
	0.00 0.00	0.000 0.000	625.00	0.00	0.00	0.00
1.46 1.48		0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00 625.00	0.00	0.00	0.00
1.52	0.00 0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00 0.00	0.00 0.00	0.00 0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

LOT 15-16

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### Pond 5P: detention basin

Inflow Area =	0.246 ac, Inflow Depth = 0.34"	for 10-Year-0.90 event
Inflow =	0.21 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af, Atten= 50%, Lag= 18.8 min
Primary =	0.11 cfs @ 0.48 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

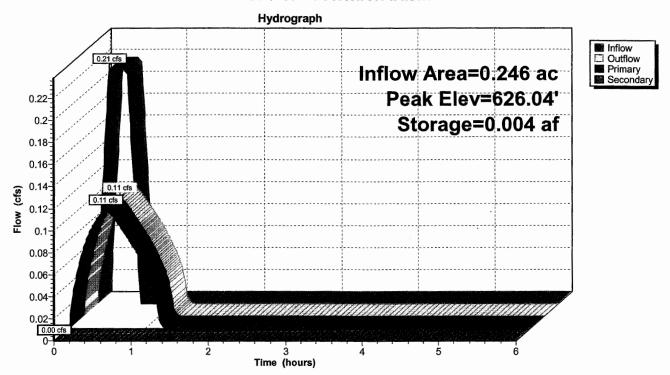
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.04' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 17.2 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 17.2 min ( 34.2 - 17.0 )

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	itlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.03' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 4.90 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)

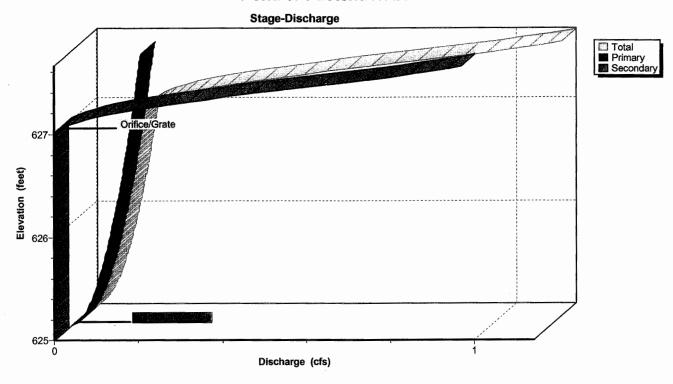


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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
80.0	0.10	0.000	625.13	0.04	0.04	0.00
0.10	0.13	0.000	625.18	0.04	0.04	0.00
0.12	0.15	0.000	625.24	0.05	0.05	0.00
0.14	0.18	0.001	625.30	0.06	0.06	0.00
0.16	0.20	0.001	625.36	0.06	0.06	0.00
0.18	0.21	0.001	625.43	0.07	0.07	0.00
0.20	0.21	0.001	625.49	0.07	0.07	0.00
0.22	0.21	0.002	625.54	0.08	0.08	0.00
0.24	0.21	0.002	625.60	80.0	0.08	0.00
0.26	0.21	0.002	625.65	0.08	0.08	0.00
0.28	0.21	0.002	625.70	0.09	0.09	0.00
0.30	0.21	0.002	625.74	0.09	0.09	0.00
0.32	0.21	0.003	625.79	0.09	0.09	0.00
0.34	0.21	0.003	625.83	0.10	0.10	0.00
0.36	0.21	0.003	625.87	0.10	0.10	0.00
0.38	0.21	0.003	625.91	0.10	0.10	0.00
0.40	0.21	0.003	625.95	0.10	0.10	0.00
0.42	0.19	0.004	625.99	0.10	0.10	0.00
0.44	0.16	0.004	626.01	0.11	0.11	0.00
0.46	0.14	0.004	626.03	0.11	0.11	0.00
0.48	0.11	0.004	626.04	0.11	0.11	0.00
0.50	0.09	0.004	626.03	0.11	0.11	0.00
0.52	0.06	0.004	626.02	0.11	0.11	0.00
0.54	0.03	0.004	626.00	0.10	0.10	0.00
0.56	0.01	0.003	625.97	0.10	0.10	0.00
0.58	0.00	0.003	625.93	0.10	0.10	0.00
0.60	0.00	0.003	625.90	0.10	0.10	0.00
0.62	0.00	0.003	625.86	0.10	0.10	0.00
0.64	0.00	0.003	625.83	0.10	0.10	0.00
0.66	0.00	0.003	625.79	0.09	0.09	0.00
0.68	0.00	0.002	625.76	0.09	0.09	0.00
0.70	0.00	0.002	625.72	0.09	0.09	0.00
0.72	0.00	0.002	625.69	0.09	0.09	0.00
0.74	0.00	0.002	625.66	0.09	0.09	0.00
0.76	0.00	0.002	625.62	0.08	0.08	0.00
0.78	0.00	0.002	625.59	0.08	80.0	0.00
0.80	0.00	0.002	625.56	0.08	0.08	0.00
0.82	0.00	0.002	625.53	0.08	0.08	0.00
0.84	0.00	0.001	625.50	0.07	0.07	0.00
0.86	0.00	0.001	625.47	0.07	0.07	0.00
0.88	0.00	0.001	625.44	0.07	0.07	0.00 0.00
0.90	0.00	0.001	625.41 625.38	0.07	0.07	0.00
0.92	0.00	0.001 0.001		0.06 0.06	0.06	0.00
0.94	0.00 0.00	0.001	625.35 625.32	0.06	0.06 0.06	0.00
0.96 0.98	0.00	0.001	625.32	0.06	0.06	0.00
1.00	0.00	0.001	625.29	0.06	0.05	0.00
1.00	0.00	0.001	625.23	0.05	0.05	0.00
1.02	0.00	0.000	020.23	0.05	0.05	0.00

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Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.000	625.20	0.05	0.05	0.00
1.06	0.00	0.000	625.18	0.04	0.04	0.00
1.08	0.00	0.000	625.15	0.04	0.04	0.00
1.10	0.00	0.000	625.12	0.04	0.04	0.00
1.12	0.00	0.000	625.09	0.03	0.03	0.00
1.14	0.00	0.000	625.07	0.02	0.02	0.00
1.16	0.00	0.000	625.04	0.02	0.02	0.00
1.18	0.00	0.000	625.03	0.01	0.01	0.00
1.20	0.00	0.000	625.01	0.00	0.00	0.00
1.22	0.00	0.000	625.01	0.00	0.00	0.00
1.24	0.00	0.000	625.00	0.00	0.00	0.00
1.26	0.00	0.000	625.00	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72 1.74	0.00 0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00	0.00 0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00
		2.234			5.55	

**LOT 17** 

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### Pond 5P: detention basin

Inflow Area =	0.242 ac, Inflow Depth =	0.34" for 10-Year-0.90 event	
Inflow =	0.21 cfs @ 0.17 hrs, Vol	lume= 0.007 af	
Outflow =	0.11 cfs @ 0.48 hrs, Vol	lume= 0.007 af, Atten= 49%,	Lag= 18.7 min
Primary =	0.11 cfs @ 0.48 hrs, Vol	lume= 0.007 af	
Secondary =	0.00 cfs @ 0.00 hrs, Vol	lume= 0.000 af	9

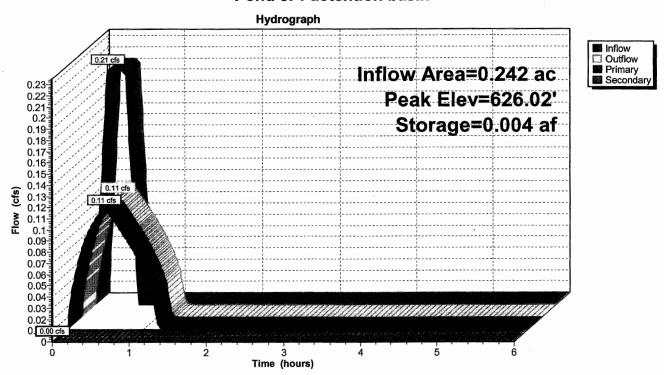
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.02' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 17.0 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 17.0 min ( 34.0 - 17.0 )

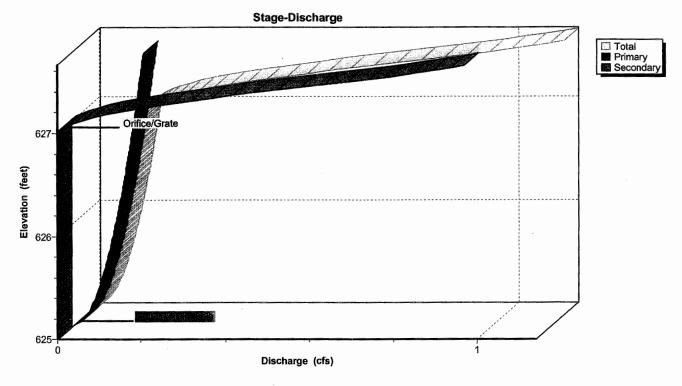
Volume	Invert	Avail.Storage Storage Description	_
#1	625.00'	0.007 af <b>24.0"D x 50.00'L Horizontal Cylinder</b> × 2	
Device	Routing	Invert Outlet Devices	
#1	Primary	625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600	
#2	Secondary	627.00' <b>8.0" Vert. Orifice/Grate</b> C= 0.600	

Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.02' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 4.86 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.10	0.000	625.13	0.04	0.04	0.00
0.10	0.13	0.000	625.18	0.04	0.04	0.00
0.12	0.15	0.000	625.23	0.05	0.05	0.00
0.14	0.18	0.001	625.29	0.06	0.06	0.00
0.16	0.20	0.001	625.36	0.06	0.06	0.00
0.18	0.21	0.001	625.42	0.07	0.07	0.00
0.20	0.21 0.21	0.001	625.48 625.54	0.07 0.08	0.07 0.08	0.00 0.00
0.22 0.24	0.21	0.002 0.002	625.59	0.08	0.08	0.00
0.24	0.21	0.002	625.64	0.08	0.08	0.00
0.28	0.21	0.002	625.69	0.08	0.00	0.00
0.30	0.21	0.002	625.73	0.09	0.09	0.00
0.32	0.21	0.002	625.78	0.09	0.09	0.00
0.34	0.21	0.003	625.82	0.10	0.10	0.00
0.36	0.21	0.003	625.86	0.10	0.10	0.00
0.38	0.21	0.003	625.90	0.10	0.10	0.00
0.40	0.21	0.003	625.94	0.10	0.10	0.00
0.42	0.18	0.003	625.97	0.10	0.10	0.00
0.44	0.16	0.004	626.00	0.10	0.10	0.00
0.46	0.13	0.004	626.01	0.11	0.11	0.00
0.48	0.11	0.004	626.02	0.11	0.11	0.00
0.50	0.08	0.004	626.01	0.11	0.11	0.00
0.52	0.06	0.004	626.00	0.11	0.11	0.00
0.54	0.03	0.004	625.98	0.10	0.10	0.00
0.56	0.01	0.003	625.95	0.10	0.10	0.00
0.58	0.00	0.003	625.92	0.10	0.10	0.00
0.60	0.00	0.003	625.88	0.10	0.10	0.00
0.62	0.00	0.003	625.84	0.10	0.10	0.00
0.64	0.00	0.003	625.81	0.09	0.09	0.00
0.66	0.00	0.003	625.78	0.09	0.09	0.00
0.68	0.00	0.002	625.74	0.09	0.09	0.00
0.70	0.00	0.002	625.71	0.09	0.09	0.00
0.72	0.00	0.002	625.67	0.09	0.09	0.00
0.74	0.00	0.002	625.64	0.08	0.08	0.00
0.76	0.00	0.002	625.61	0.08	0.08	0.00
0.78	0.00	0.002	625.58	0.08	0.08	0.00
0.80	0.00	0.002	625.55	0.08	0.08	0.00
0.82	0.00	0.001	625.52	0.08	0.08 0.07	0.00 0.00
0.84	0.00	0.001 0.001	625.48 625.45	0.07 0.07	0.07	0.00
0.86 0.88	0.00 0.00	0.001	625.43	0.07	0.07	0.00
0.88	0.00	0.001	625.39	0.07	0.07	0.00
0.90	0.00	0.001	625.36	0.07	0.06	0.00
0.92	0.00	0.001	625.33	0.06	0.06	0.00
0.94	0.00	0.001	625.31	0.06	0.06	0.00
0.98	0.00	0.001	625.28	0.06	0.06	0.00
1.00	0.00	0.001	625.25	0.05	0.05	0.00
1.02	0.00	0.000	625.22	0.05	0.05	0.00
1.02	0.00	0.000	J_ V	0.00	0.00	3.00

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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.000	625.19	0.05	0.05	0.00
1.06	0.00	0.000	625.16	0.04	0.04	0.00
1.08	0.00	0.000	625.14	0.04	0.04	0.00
1.10	0.00	0.000	625.11	0.03	0.03	0.00
1.12	0.00	0.000	625.08	0.03	0.03	0.00
1.14	0.00	0.000	625.05	0.02	0.02	0.00
1.16	0.00	0.000	625.03	0.01	0.01	0.00
1.18	0.00	0.000	625.02	0.01	0.01	0.00
1.20	0.00	0.000	625.01	0.00	0.00	0.00
1.22	0.00	0.000	625.01	0.00	0.00	0.00
1.24	0.00	0.000	625.00	0.00	0.00	0.00
1.26	0.00	0.000	625.00	0.00	0.00	0.00
1.28	0.00	0.000	625.00	0.00	0.00	0.00
1.30	0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000 0.000	625.00 625.00	0.00	0.00	0.00 0.00
1.66	0.00	0.000	625.00	0.00 0.00	0.00	0.00
1.68 1.70	0.00 0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

**LOT 18** 

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### Pond 5P: detention basin

Inflow Area =	0.269  ac, Inflow Depth = $0.35'$	for 10-Year-0.90 event
Inflow =	0.23 cfs @ 0.17 hrs, Volume:	= 0.008 af
Outflow =	0.11 cfs @ 0.50 hrs, Volume:	= 0.008 af, Atten= 51%, Lag= 19.9 min
Primary =	0.11 cfs @ 0.50 hrs, Volume:	= 0.008 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume	= 0.000 af

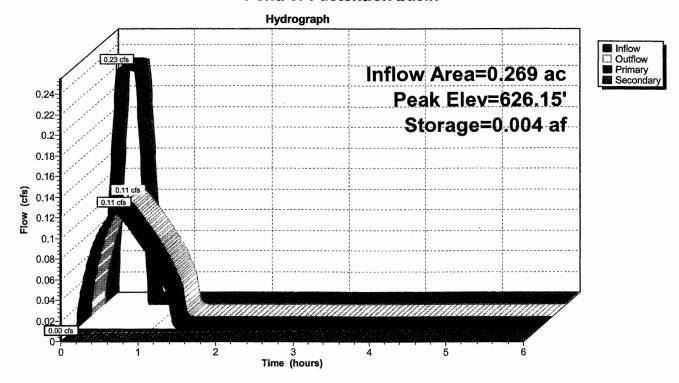
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.15' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.6 min calculated for 0.008 af (100% of inflow) Center-of-Mass det. time= 18.6 min (36.1 - 17.5)

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.007 af	24.0"D x 50.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	utlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	O" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.11 cfs @ 0.50 hrs HW=626.15' (Free Discharge)
1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.16 fps)

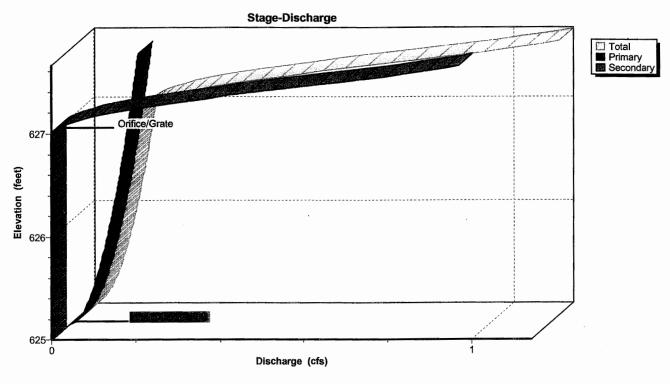
Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow	Drimary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.10	0.03	0.03	0.00
0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.10	0.14	0.000	625.19	0.05	0.05	0.00
0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.14 0.16	0.19 <b>0.22</b>	0.001 0.001	625.31 625.38	0.06 0.06	0.06 0.06	0.00 0.00
0.18	0.22	0.001	625.45	0.00	0.07	0.00
0.10	0.23	0.001	625.52	0.07	0.07	0.00
0.22	0.23	0.002	625.58	0.08	0.08	0.00
0.24	0.23	0.002	625.63	0.08	0.08	0.00
0.26	0.23	0.002	625.69	0.09	0.09	0.00
0.28	0.23	0.002	625.74	0.09	0.09	0.00
0.30	0.23	0.003	625.79	0.09	0.09	0.00
0.32	0.23	0.003	625.84	0.10	0.10	0.00
0.34	0.23	0.003	625.89	0.10	0.10	0.00
0.36	0.23	0.003	625.93	0.10	0.10	0.00
0.38 0.40	0.23 0.23	0.004 0.004	625.98 626.02	0.10 0.11	0.10 0.11	0.00 0.00
0.42	0.23	0.004	626.06	0.11	0.11	0.00
0.44	0.20	0.004	626.10	0.11	0.11	0.00
0.46	0.17	0.004	626.13	0.11	0.11	0.00
0.48	0.14	0.004	626.14	0.11	0.11	0.00
0.50	0.11	0.004	626.15	0.11	0.11	0.00
0.52	0.09	0.004	626.14	0.11	0.11	0.00
0.54	0.06	0.004	626.13	0.11	0.11	0.00
0.56	0.03	0.004	626.10	0.11	0.11	0.00
0.58	0.00	0.004	626.07	0.11	0.11	0.00
0.60 0.62	0.00	0.004 0.004	626.03	0.11 0.10	0.11 0.10	0.00 0.00
0.64	0.00 0.00	0.004	626.00 625.96	0.10	0.10	0.00
0.66	0.00	0.003	625.92	0.10	0.10	0.00
0.68	0.00	0.003	625.89	0.10	0.10	0.00
0.70	0.00	0.003	625.85	0.10	0.10	0.00
0.72	0.00	0.003	625.81	0.09	0.09	0.00
0.74	0.00	0.003	625.78	0.09	0.09	0.00
0.76	0.00	0.002	625.75	0.09	0.09	0.00
0.78	0.00	0.002	625.71	0.09	0.09	0.00
0.80	0.00	0.002	625.68	0.09	0.09	0.00
0.82	0.00	0.002	625.65	0.08	0.08	0.00
0.84 0.86	0.00	0.002 0.002	625.61	0.08	0.08	0.00 0.00
0.88	0.00 0.00	0.002	625.58 625.55	0.08 0.08	80.0 80.0	0.00
0.90	0.00	0.002	625.52	0.08	0.08	0.00
0.92	0.00	0.001	625.49	0.07	0.07	0.00
0.94	0.00	0.001	625.46	0.07	0.07	0.00
0.96	0.00	0.001	625.43	0.07	0.07	0.00
0.98	0.00	0.001	625.40	0.07	0.07	0.00
1.00	0.00	0.001	625.37	0.06	0.06	0.00
1.02	0.00	0.001	625.34	0.06	0.06	0.00

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Time	Inflow	Storage	Elevation	Outflow	Primary	
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.31	0.06	0.06	0.00
1.06	0.00	0.001	625.28	0.06	0.06	0.00
1.08	0.00	0.001	625.25	0.05	0.05	0.00
1.10	0.00	0.000	625.22	0.05	0.05	0.00
1.12	0.00	0.000	625.19	0.05	0.05 0.04	0.00
1.14 1.16	0.00	0.000	625.17	0.04	0.04	0.00 0.00
1.18	0.00 0.00	0.000	625.14 625.11	0.04 0.04	0.04	0.00
1.10	0.00	0.000	625.08	0.04	0.04	0.00
1.22	0.00	0.000	625.06	0.03	0.03	0.00
1.24	0.00	0.000	625.04	0.02	0.02	0.00
1.26	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.02	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00 2.02	0.00 0.00	0.000 0.000	625.00	0.00 0.00	0.00 0.00	0.00 0.00
2.02	0.00	0.000	625.00 625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	020.00	0.00	0.00	0.00

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#### Pond 5P: detention basin

Inflow Area =	0.404 ac, Inflow Depth = 0.42"	for 10-Year-0.90 event
Inflow =	0.24 cfs @ 0.17 hrs, Volume=	0.014 af
Outflow =	0.12 cfs @ 0.78 hrs, Volume=	0.014 af, Atten= 51%, Lag= 36.9 min
Primary =	0.12 cfs @ 0.78 hrs, Volume=	0.014 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.30' @ 0.78 hrs Surf.Area= 0.008 ac Storage= 0.008 af

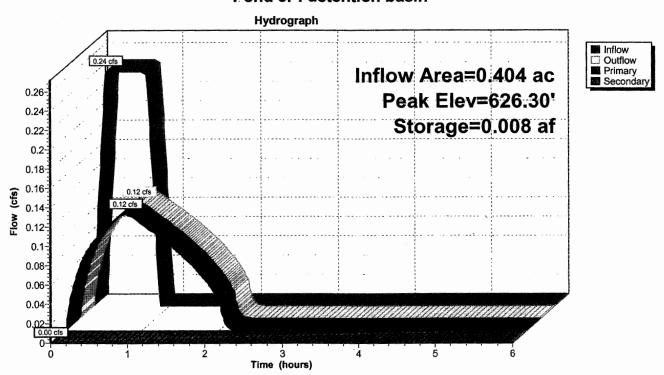
Plug-Flow detention time= 32.5 min calculated for 0.014 af (100% of inflow) Center-of-Mass det. time= 32.5 min (58.5 - 26.0)

Volume	invert	Avail.Storage Storage Description	Avail.Storage	
#1	625.00'	0.019 af <b>36.0"D x 60.00'L Horizontal Cylinder</b> x 2	0.019 af	
Device	Routing	Invert Outlet Devices	Invert O	
#1	Primary	625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600	625.00' <b>2</b>	
#2	Secondary	628.00' 8.0" Vert. Orifice/Grate C= 0.600	628.00' <b>8</b> .	

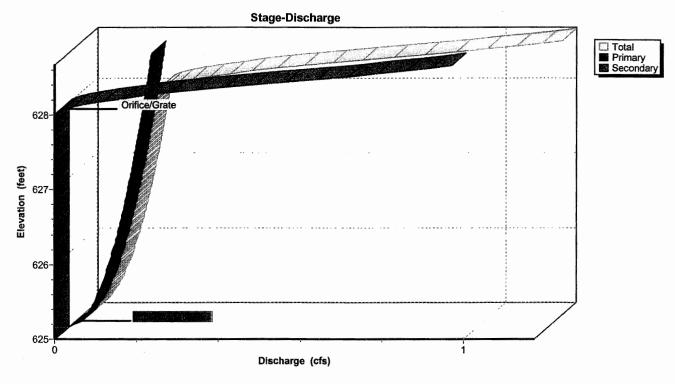
Primary OutFlow Max=0.12 cfs @ 0.78 hrs HW=626.30' (Free Discharge)
1=Orifice/Grate 2.0" (Orifice Controls 0.12 cfs @ 5.49 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge)

2=Orifice/Grate (Controls 0.00 cfs)



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Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02 0.04	0.03 0.06	0.000 0.000	625.02 625.05	0.01 0.02	0.01 0.02	0.00 0.00
0.04	0.09	0.000	625.08	0.02	0.02	0.00
0.08	0.09	0.000	625.12	0.03	0.03	0.00
0.00	0.12	0.000	625.16	0.04	0.04	0.00
0.12	0.17	0.001	625.21	0.05	0.05	0.00
0.12	0.20	0.001	625.26	0.05	0.05	0.00
0.14	0.23	0.001	625.32	0.06	0.06	0.00
0.18	0.24	0.001	625.37	0.06	0.06	0.00
0.20	0.24	0.002	625.43	0.07	0.07	0.00
0.22	0.24	0.002	625.47	0.07	0.07	0.00
0.24	0.24	0.002	625.52	0.08	0.08	0.00
0.26	0.24	0.003	625.56	0.08	0.08	0.00
0.28	0.24	0.003	625.60	0.08	0.08	0.00
0.30	0.24	0.003	625.64	0.08	0.08	0.00
0.32	0.24	0.003	625.68	0.09	0.09	0.00
0.34	0.24	0.004	625.72	0.09	0.09	0.00
0.36	0.24	0.004	625.75	0.09	0.09	0.00
0.38	0.24	0.004	625.79	0.09	0.09	0.00
0.40	0.24	0.004	625.82	0.10	0.10	0.00
0.42	0.24	0.005	625.85	0.10	0.10	0.00
0.44	0.24	0.005	625.88	0.10	0.10	0.00
0.46	0.24	0.005	625.92	0.10	0.10	0.00
0.48	0.24	0.005	625.95	0.10	0.10	0.00
0.50	0.24	0.005	625.98	0.10	0.10	0.00
0.52	0.24	0.006	626.01	0.11	0.11	0.00
0.54	0.24	0.006 0.006	626.03	0.11 0.11	0.11 0.11	0.00 0.00
0.56 0.58	0.24 0.24	0.006	626.06 626.09	0.11	0.11	0.00
0.60	0.24	0.007	626.12	0.11	0.11	0.00
0.62	0.24	0.007	626.14	0.11	0.11	0.00
0.64	0.24	0.007	626.17	0.11	0.11	0.00
0.66	0.24	0.007	626.20	0.11	0.11	0.00
0.68	0.24	0.007	626.22	0.12	0.12	0.00
0.70	0.24	0.008	626.25	0.12	0.12	0.00
0.72	0.21	0.008	626.27	0.12	0.12	0.00
0.74	0.18	0.008	626.29	0.12	0.12	0.00
0.76	0.16	0.008	626.30	0.12	0.12	0.00
0.78	0.13	0.008	626.30	0.12	0.12	0.00
0.80	0.10	0.008	626.30	0.12	0.12	0.00
0.82	0.07	0.008	626.29	0.12	0.12	0.00
0.84	0.04	0.008	626.28	0.12	0.12	0.00
0.86	0.01	0.008	626.26	0.12	0.12	0.00
0.88	0.00	0.008	626.24	0.12	0.12	0.00
0.90	0.00	0.007	626.21	0.12	0.12	0.00
0.92	0.00	0.007	626.19	0.11	0.11	0.00
0.94	0.00	0.007	626.17	0.11	0.11	0.00
0.96 0.98	0.00	0.007	626.14	0.11 0.11	0.11	0.00
1.00	0.00 0.00	0.007 0.006	626.12 626.10	0.11	0.11 0.11	0.00 0.00
1.00	0.00	0.006	626.07	0.11	0.11	0.00
1.02	0.00	0.000	020.07	0.11	0.11	0.00

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(cfs)	Time	Inflow	Storage	Elevation	Outflow		Secondary
1.06         0.00         0.006         626.03         0.11         0.11         0.00           1.10         0.00         0.006         625.98         0.10         0.10         0.00           1.12         0.00         0.005         625.98         0.10         0.10         0.00           1.14         0.00         0.005         625.94         0.10         0.10         0.00           1.16         0.00         0.005         625.92         0.10         0.10         0.00           1.18         0.00         0.005         625.88         0.10         0.10         0.00           1.20         0.00         0.005         625.85         0.10         0.10         0.00           1.22         0.00         0.004         625.83         0.10         0.10         0.00           1.24         0.00         0.004         625.83         0.10         0.10         0.00           1.26         0.00         0.004         625.83         0.09         0.09         0.00           1.28         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.73							
1.08         0.00         0.006         626.91         0.11         0.10         0.00           1.12         0.00         0.005         625.96         0.10         0.10         0.00           1.14         0.00         0.005         625.94         0.10         0.10         0.00           1.18         0.00         0.005         625.92         0.10         0.10         0.00           1.20         0.00         0.005         625.99         0.10         0.10         0.00           1.22         0.00         0.005         625.88         0.10         0.10         0.00           1.22         0.00         0.004         625.83         0.10         0.10         0.00           1.24         0.00         0.004         625.83         0.10         0.10         0.00           1.28         0.00         0.004         625.73         0.09         0.09         0.00           1.28         0.00         0.004         625.77         0.09         0.09         0.00           1.33         0.00         0.004         625.73         0.09         0.09         0.00           1.34         0.00         0.004         625.73							
1,10         0,00         0,006         625,98         0,10         0,10         0,00           1,14         0,00         0,005         625,94         0,10         0,10         0,00           1,16         0,00         0,005         625,92         0,10         0,10         0,00           1,18         0,00         0,005         625,92         0,10         0,10         0,00           1,20         0,00         0,005         625,85         0,10         0,10         0,00           1,22         0,00         0,005         625,85         0,10         0,10         0,00           1,24         0,00         0,004         625,83         0,10         0,10         0,00           1,24         0,00         0,004         625,83         0,10         0,10         0,00           1,28         0,00         0,004         625,73         0,09         0,09         0,00           1,30         0,00         0,004         625,77         0,09         0,09         0,00           1,34         0,00         0,004         625,75         0,09         0,09         0,00           1,36         0,00         0,003         625,64							
1,12         0.00         0.005         625.96         0.10         0.10         0.00           1,16         0.00         0.005         625.92         0.10         0.10         0.00           1,18         0.00         0.005         625.92         0.10         0.10         0.00           1,20         0.00         0.005         625.88         0.10         0.10         0.00           1,22         0.00         0.005         625.85         0.10         0.10         0.00           1,24         0.00         0.004         625.83         0.10         0.10         0.00           1,26         0.00         0.004         625.83         0.10         0.10         0.00           1,28         0.00         0.004         625.77         0.09         0.09         0.00           1,30         0.00         0.004         625.75         0.09         0.09         0.00           1,32         0.00         0.004         625.75         0.09         0.09         0.00           1,34         0.00         0.003         625.68         0.09         0.09         0.00           1,33         0.00         0.003         625.68							
1.14         0.00         0.005         625.94         0.10         0.10         0.00           1.18         0.00         0.005         625.90         0.10         0.10         0.00           1.20         0.00         0.005         625.88         0.10         0.10         0.00           1.20         0.00         0.005         625.85         0.10         0.10         0.00           1.22         0.00         0.004         625.83         0.10         0.10         0.00           1.26         0.00         0.004         625.81         0.09         0.09         0.09           1.28         0.00         0.004         625.77         0.09         0.09         0.00           1.30         0.00         0.004         625.77         0.99         0.09         0.00           1.34         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.42         0.00         0.003         625.68							
1.16         0.00         0.005         625.92         0.10         0.10         0.00           1.18         0.00         0.005         625.88         0.10         0.10         0.00           1.20         0.00         0.005         625.88         0.10         0.10         0.00           1.24         0.00         0.004         625.83         0.10         0.10         0.00           1.26         0.00         0.004         625.81         0.09         0.09         0.00           1.28         0.00         0.004         625.77         0.09         0.09         0.00           1.30         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.75         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66							
1.18         0.00         0.005         625.98         0.10         0.10         0.00           1.20         0.00         0.005         625.88         0.10         0.10         0.00           1.22         0.00         0.005         625.83         0.10         0.10         0.00           1.24         0.00         0.004         625.81         0.09         0.09         0.00           1.28         0.00         0.004         625.79         0.09         0.09         0.00           1.30         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.73         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.34         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66							
1.20         0.00         0.005         625.88         0.10         0.10         0.00           1.22         0.00         0.004         625.83         0.10         0.10         0.00           1.26         0.00         0.004         625.81         0.09         0.09         0.00           1.28         0.00         0.004         625.79         0.09         0.09         0.00           1.30         0.00         0.004         625.75         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.34         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.56							
1.22         0.00         0.004         625.85         0.10         0.10         0.00           1.24         0.00         0.004         625.81         0.09         0.09         0.00           1.28         0.00         0.004         625.79         0.09         0.09         0.00           1.30         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.68         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.60							
1.24         0.00         0.004         625.81         0.09         0.09         0.00           1.28         0.00         0.004         625.81         0.09         0.09         0.00           1.30         0.00         0.004         625.79         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.66         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.66         0.09         0.09         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.48         0.00         0.003         625.56         0.08         0.08         0.00           1.50         0.00         0.003         625.56							
1.26         0.00         0.004         625.79         0.09         0.09         0.00           1.28         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.71         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.64         0.08         0.08         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54							
1.28         0.00         0.004         625.79         0.09         0.09         0.00           1.30         0.00         0.004         625.75         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.003         625.68         0.09         0.09         0.00           1.36         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.66         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.60         0.08         0.08         0.00           1.48         0.00         0.003         625.60         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54							
1.30         0.00         0.004         625.77         0.09         0.09         0.00           1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.68         0.09         0.09         0.00           1.38         0.00         0.003         625.66         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.46         0.00         0.003         625.56         0.08         0.08         0.00           1.46         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.54         0.08         0.08         0.00           1.52         0.00         0.002         625.54							
1.32         0.00         0.004         625.75         0.09         0.09         0.00           1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.46         0.00         0.003         625.56         0.08         0.08         0.00           1.55         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.54         0.00         0.002         625.48							
1.34         0.00         0.004         625.73         0.09         0.09         0.00           1.36         0.00         0.003         625.71         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.60         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.54         0.00         0.002         625.42         0.07         0.07         0.00           1.54         0.00         0.002         625.48							
1.36         0.00         0.003         625.71         0.09         0.09         0.00           1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.62         0.08         0.08         0.00           1.44         0.00         0.003         625.60         0.08         0.08         0.00           1.46         0.00         0.003         625.56         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.54         0.08         0.08         0.00           1.56         0.00         0.002         625.44							
1.38         0.00         0.003         625.68         0.09         0.09         0.00           1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.64         0.08         0.08         0.00           1.44         0.00         0.003         625.60         0.08         0.08         0.00           1.46         0.00         0.003         625.56         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.50         0.00         0.002         625.54         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.54         0.08         0.08         0.00           1.56         0.00         0.002         625.48         0.07         0.07         0.00           1.58         0.00         0.002         625.48							
1.40         0.00         0.003         625.66         0.09         0.09         0.00           1.42         0.00         0.003         625.64         0.08         0.08         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.46         0.00         0.003         625.60         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.50         0.00         0.002         625.54         0.08         0.08         0.00           1.52         0.00         0.002         625.52         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.54         0.07         0.07         0.07           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.44							
1.42         0.00         0.003         625.64         0.08         0.08         0.00           1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.46         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.44         0.07         0.07         0.00           1.62         0.00         0.002         625.42         0.07         0.07         0.00           1.64         0.00         0.002         625.42							
1.44         0.00         0.003         625.62         0.08         0.08         0.00           1.46         0.00         0.003         625.60         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.42         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.001         625.38							
1.46         0.00         0.003         625.60         0.08         0.08         0.00           1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.42         0.07         0.07         0.00           1.70         0.00         0.001         625.38         0.07         0.07         0.00           1.72         0.00         0.001         625.34							
1.48         0.00         0.003         625.58         0.08         0.08         0.00           1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.48         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.34         0.06         0.06         0.00           1.72         0.00         0.001         625.34							
1.50         0.00         0.003         625.56         0.08         0.08         0.00           1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.42         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.38         0.07         0.07         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33							
1.52         0.00         0.002         625.54         0.08         0.08         0.00           1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.34         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33							
1.54         0.00         0.002         625.52         0.08         0.08         0.00           1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.38         0.07         0.07         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.78         0.00         0.001         625.29							
1.56         0.00         0.002         625.50         0.07         0.07         0.00           1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.34         0.06         0.06         0.00           1.78         0.00         0.001         625.33         0.06         0.06         0.00           1.80         0.00         0.001         625.29         0.06         0.06         0.00           1.82         0.00         0.001         625.25							
1.58         0.00         0.002         625.48         0.07         0.07         0.00           1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.001         625.38         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.25							
1.60         0.00         0.002         625.46         0.07         0.07         0.00           1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25							
1.62         0.00         0.002         625.44         0.07         0.07         0.00           1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23							
1.64         0.00         0.002         625.42         0.07         0.07         0.00           1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.88         0.00         0.001         625.19							
1.66         0.00         0.002         625.40         0.07         0.07         0.00           1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.29         0.05         0.05         0.00           1.82         0.00         0.001         625.27         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.88         0.00         0.001         625.21         0.05         0.05         0.00           1.92         0.00         0.000         625.15							
1.68         0.00         0.001         625.38         0.07         0.07         0.00           1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.86         0.00         0.001         625.21         0.05         0.05         0.00           1.90         0.00         0.001         625.19         0.05         0.05         0.00           1.92         0.00         0.000         625.15							
1.70         0.00         0.001         625.36         0.06         0.06         0.00           1.72         0.00         0.001         625.34         0.06         0.06         0.00           1.74         0.00         0.001         625.33         0.06         0.06         0.00           1.76         0.00         0.001         625.31         0.06         0.06         0.00           1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.86         0.00         0.001         625.21         0.05         0.05         0.00           1.88         0.00         0.001         625.19         0.05         0.05         0.00           1.90         0.00         0.000         625.17         0.04         0.04         0.00           1.94         0.00         0.000         625.14							
1.72       0.00       0.001       625.34       0.06       0.06       0.00         1.74       0.00       0.001       625.33       0.06       0.06       0.00         1.76       0.00       0.001       625.31       0.06       0.06       0.00         1.78       0.00       0.001       625.29       0.06       0.06       0.00         1.80       0.00       0.001       625.27       0.05       0.05       0.00         1.82       0.00       0.001       625.25       0.05       0.05       0.00         1.84       0.00       0.001       625.23       0.05       0.05       0.00         1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.94       0.00       0.000       625.15       0.04       0.04       0.00         1.98       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.06 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>							
1.74       0.00       0.001       625.33       0.06       0.06       0.00         1.76       0.00       0.001       625.31       0.06       0.06       0.00         1.78       0.00       0.001       625.29       0.06       0.06       0.00         1.80       0.00       0.001       625.27       0.05       0.05       0.00         1.82       0.00       0.001       625.25       0.05       0.05       0.00         1.84       0.00       0.001       625.23       0.05       0.05       0.00         1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.08 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>							
1.76       0.00       0.001       625.31       0.06       0.06       0.00         1.78       0.00       0.001       625.29       0.06       0.06       0.00         1.80       0.00       0.001       625.27       0.05       0.05       0.00         1.82       0.00       0.001       625.25       0.05       0.05       0.00         1.84       0.00       0.001       625.23       0.05       0.05       0.00         1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.98       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06 <td></td> <td></td> <td></td> <td></td> <td></td> <td></td> <td></td>							
1.78         0.00         0.001         625.29         0.06         0.06         0.00           1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.86         0.00         0.001         625.21         0.05         0.05         0.00           1.88         0.00         0.001         625.19         0.05         0.05         0.00           1.90         0.00         0.000         625.17         0.04         0.04         0.00           1.92         0.00         0.000         625.15         0.04         0.04         0.00           1.94         0.00         0.000         625.14         0.04         0.04         0.00           1.98         0.00         0.000         625.12         0.04         0.04         0.00           1.98         0.00         0.000         625.08         0.03         0.03         0.00           2.02         0.00         0.000         625.06							
1.80         0.00         0.001         625.27         0.05         0.05         0.00           1.82         0.00         0.001         625.25         0.05         0.05         0.00           1.84         0.00         0.001         625.23         0.05         0.05         0.00           1.86         0.00         0.001         625.21         0.05         0.05         0.00           1.88         0.00         0.001         625.19         0.05         0.05         0.00           1.90         0.00         0.000         625.17         0.04         0.04         0.00           1.92         0.00         0.000         625.15         0.04         0.04         0.00           1.94         0.00         0.000         625.14         0.04         0.04         0.00           1.98         0.00         0.000         625.12         0.04         0.04         0.00           1.98         0.00         0.000         625.08         0.03         0.03         0.03           2.02         0.00         0.000         625.06         0.02         0.02         0.00           2.04         0.00         0.000         625.05							
1.82       0.00       0.001       625.25       0.05       0.05       0.00         1.84       0.00       0.001       625.23       0.05       0.05       0.00         1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.96       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.10       0.03       0.03       0.03         2.00       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06       0.02       0.02       0.00         2.04       0.00       0.000       625.05       0.02       0.02       0.00							
1.84       0.00       0.001       625.23       0.05       0.05       0.00         1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.96       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.10       0.03       0.03       0.00         2.00       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06       0.02       0.02       0.00         2.04       0.00       0.000       625.05       0.02       0.02       0.00							
1.86       0.00       0.001       625.21       0.05       0.05       0.00         1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.96       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.10       0.03       0.03       0.00         2.00       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06       0.02       0.02       0.00         2.04       0.00       0.000       625.05       0.02       0.02       0.00							
1.88       0.00       0.001       625.19       0.05       0.05       0.00         1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.96       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.10       0.03       0.03       0.00         2.00       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06       0.02       0.02       0.00         2.04       0.00       0.000       625.05       0.02       0.02       0.00							
1.90       0.00       0.000       625.17       0.04       0.04       0.00         1.92       0.00       0.000       625.15       0.04       0.04       0.00         1.94       0.00       0.000       625.14       0.04       0.04       0.00         1.96       0.00       0.000       625.12       0.04       0.04       0.00         1.98       0.00       0.000       625.10       0.03       0.03       0.00         2.00       0.00       0.000       625.08       0.03       0.03       0.00         2.02       0.00       0.000       625.06       0.02       0.02       0.00         2.04       0.00       0.000       625.05       0.02       0.02       0.00							
1.92     0.00     0.000     625.15     0.04     0.04     0.00       1.94     0.00     0.000     625.14     0.04     0.04     0.00       1.96     0.00     0.000     625.12     0.04     0.04     0.00       1.98     0.00     0.000     625.10     0.03     0.03     0.00       2.00     0.00     0.000     625.08     0.03     0.03     0.00       2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
1.94     0.00     0.000     625.14     0.04     0.04     0.00       1.96     0.00     0.000     625.12     0.04     0.04     0.00       1.98     0.00     0.000     625.10     0.03     0.03     0.00       2.00     0.00     0.000     625.08     0.03     0.03     0.00       2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
1.96     0.00     0.000     625.12     0.04     0.04     0.00       1.98     0.00     0.000     625.10     0.03     0.03     0.00       2.00     0.00     0.000     625.08     0.03     0.03     0.00       2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
1.98     0.00     0.000     625.10     0.03     0.03     0.00       2.00     0.00     0.000     625.08     0.03     0.03     0.00       2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
2.00     0.00     0.000     625.08     0.03     0.03     0.00       2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
2.02     0.00     0.000     625.06     0.02     0.02     0.00       2.04     0.00     0.000     625.05     0.02     0.02     0.00							
2.04 0.00 0.000 625.05 0.02 0.02 0.00							
2.00 0.00 0.000 020.04 0.01 0.01 0.00							
	۷.00	0.00	0.000	020.04	0.01	0.01	0.00

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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
2.08	0.00	0.000	625.02	0.01	0.01	0.00
2.10	0.00	0.000	625.01	0.00	0.00	0.00
2.12	0.00	0.000	625.01	0.00	0.00	0.00
2.14	0.00	0.000	625.01	0.00	0.00	0.00
2.16	0.00	0.000	625.00	0.00	0.00	0.00
2.18	0.00	0.000	625.00	0.00	0.00	0.00
2.20	0.00	0.000	625.00	0.00	0.00	0.00
2.22	0.00	0.000	625.00	0.00	0.00	0.00
2.24	0.00	0.000	625.00	0.00	0.00	0.00
2.26	0.00	0.000	625.00	0.00	0.00	0.00
2.28	0.00	0.000	625.00	0.00	0.00	0.00
2.30	0.00	0.000	625.00	0.00	0.00	0.00
2.32	0.00	0.000	625.00	0.00	0.00	0.00
2.34	0.00	0.000	625.00	0.00	0.00	0.00
2.36	0.00	0.000	625.00	0.00	0.00	0.00
2.38	0.00	0.000	625.00	0.00	0.00	0.00
2.40	0.00	0.000	625.00	0.00	0.00	0.00
2.42	0.00	0.000	625.00	0.00	0.00	0.00
2.44	0.00	0.000	625.00	0.00	0.00	0.00
2.46	0.00	0.000	625.00	0.00	0.00	0.00
2.48	0.00	0.000	625.00	0.00	0.00	0.00
2.50	0.00	0.000	625.00	0.00	0.00	0.00
2.52	0.00	0.000	625.00	0.00	0.00	0.00
2.54	0.00	0.000	625.00	0.00	0.00	0.00
2.56	0.00	0.000	625.00	0.00	0.00	0.00
2.58	0.00	0.000	625.00	0.00	0.00	0.00
2.60	0.00	0.000	625.00	0.00	0.00	0.00
2.62	0.00	0.000	625.00	0.00	0.00	0.00
2.64	0.00	0.000	625.00	0.00	0.00	0.00
2.66	0.00	0.000	625.00	0.00	0.00	0.00
2.68	0.00	0.000	625.00	0.00	0.00	0.00
2.70	0.00	0.000	625.00	0.00	0.00	0.00
2.72	0.00	0.000	625.00	0.00	0.00	0.00
2.74	0.00	0.000	625.00	0.00	0.00	0.00
2.76	0.00	0.000	625.00	0.00	0.00	0.00
2.78 2.80	0.00 0.00	0.000 0.000	625.00 625.00	0.00	0.00	0.00 0.00
2.82	0.00	0.000	625.00	0.00 0.00	0.00 0.00	0.00
2.84	0.00	0.000	625.00	0.00	0.00	0.00
2.86	0.00	0.000	625.00	0.00	0.00	0.00
2.88	0.00	0.000	625.00	0.00	0.00	0.00
2.90	0.00	0.000	625.00	0.00	0.00	0.00
2.92	0.00	0.000	625.00	0.00	0.00	0.00
2.94	0.00	0.000	625.00	0.00	0.00	0.00
2.96	0.00	0.000	625.00	0.00	0.00	0.00
2.98	0.00	0.000	625.00	0.00	0.00	0.00
3.00	0.00	0.000	625.00	0.00	0.00	0.00
3.02	0.00	0.000	625.00	0.00	0.00	0.00
3.04	0.00	0.000	625.00	0.00	0.00	0.00
3.06	0.00	0.000	625.00	0.00	0.00	0.00
3.08	0.00	0.000	625.00	0.00	0.00	0.00
3.10	0.00	0.000	625.00	0.00	0.00	0.00
<del>-</del>				2.00	2.00	

**LOT 20** 

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Pond 5P: detention basin

Inflow Area = 0.259 ac, Inflow Depth = 0.34" for 10-Year-0.90 event

Inflow = 0.22 cfs @ 0.17 hrs, Volume= 0.007 af

Outflow = 0.11 cfs @ 0.48 hrs, Volume= 0.007 af Atten= 519

Outflow = 0.11 cfs @ 0.48 hrs, Volume= 0.007 af, Atten= 51%, Lag= 18.9 min

Primary = 0.11 cfs @ 0.48 hrs, Volume= 0.007 af Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af

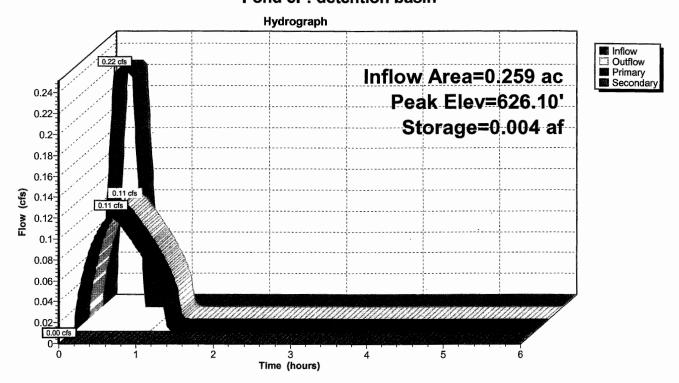
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 626.10' @ 0.48 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 17.9 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.0 min ( 35.0 - 17.0 )

Volume Invert Avail.Storage Storage Description #1 625.00' 0.007 af **24.0"D x 50.00'L Horizontal Cylinder** x 2 Device Routing Invert Outlet Devices #1 Primary 625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600 #2 Secondary 627.00' 8.0" Vert. Orifice/Grate C= 0.600

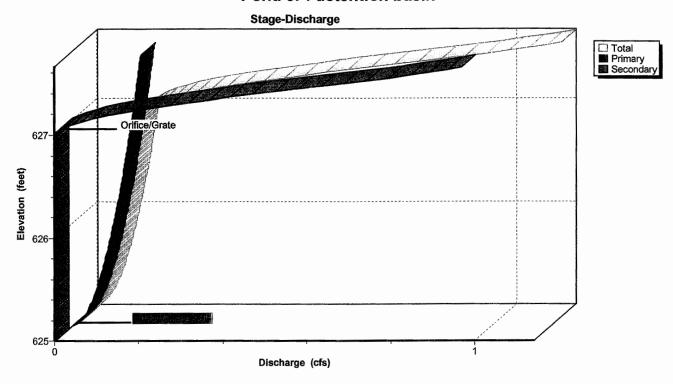
Primary OutFlow Max=0.11 cfs @ 0.48 hrs HW=626.10' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.11 cfs @ 5.04 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.03	0.000	625.03	0.01	0.01	0.00
0.04	0.05	0.000	625.06	0.02	0.02	0.00
0.06	0.08	0.000	625.09	0.03	0.03	0.00
0.08	0.11	0.000	625.14	0.04	0.04	0.00
0.10	0.13	0.000	625.19	0.05	0.05	0.00
0.12	0.16	0.001	625.25	0.05	0.05	0.00
0.14	0.19	0.001	625.31	0.06	0.06	0.00
0.16	0.22	0.001	625.38	0.06	0.06	0.00 0.00
0.18	0.22	0.001	625.45	0.07	0.07 0.08	0.00
0.20	0.22	0.001	625.51	0.08 0.08	0.08	0.00
0.22 0.24	0.22 0.22	0.002 0.002	625.57	0.08	0.08	0.00
0.24	0.22	0.002	625.63 625.68	0.08	0.09	0.00
0.28	0.22	0.002	625.73	0.09	0.09	0.00
0.20	0.22	0.002	625.78	0.09	0.09	0.00
0.30	0.22	0.003	625.83	0.09	0.09	0.00
0.32	0.22	0.003	625.87	0.10	0.10	0.00
0.34	0.22	0.003	625.92	0.10	0.10	0.00
0.38	0.22	0.003	625.96	0.10	0.10	0.00
0.40	0.22	0.003	626.01	0.10	0.10	0.00
0.42	0.20	0.004	626.04	0.11	0.11	0.00
0.42	0.17	0.004	626.07	0.11	0.11	0.00
0.46	0.17	0.004	626.09	0.11	0.11	0.00
0.48	0.12	0.004	626.10	0.11	0.11	0.00
0.50	0.09	0.004	626.09	0.11	0.11	0.00
0.52	0.06	0.004	626.08	0.11	0.11	0.00
0.54	0.04	0.004	626.06	0.11	0.11	0.00
0.56	0.01	0.004	626.03	0.11	0.11	0.00
0.58	0.00	0.004	625.99	0.10	0.10	0.00
0.60	0.00	0.003	625.96	0.10	0.10	0.00
0.62	0.00	0.003	625.92	0.10	0.10	0.00
0.64	0.00	0.003	625.88	0.10	0.10	0.00
0.66	0.00	0.003	625.85	0.10	0.10	0.00
0.68	0.00	0.003	625.81	0.09	0.09	0.00
0.70	0.00	0.003	625.78	0.09	0.09	0.00
0.72	0.00	0.002	625.74	0.09	0.09	0.00
0.74	0.00	0.002	625.71	0.09	0.09	0.00
0.76	0.00	0.002	625.68	0.09	0.09	0.00
0.78	0.00	0.002	625.64	0.08	0.08	0.00
0.80	0.00	0.002	625.61	0.08	0.08	0.00
0.82	0.00	0.002	625.58	0.08	0.08	0.00
0.84	0.00	0.002	625.55	0.08	0.08	0.00
0.86	0.00	0.001	625.52	0.08	0.08	0.00
0.88	0.00	0.001	625.49	0.07	0.07	0.00
0.90	0.00	0.001	625.46	0.07	0.07	0.00
0.92	0.00	0.001	625.43	0.07	0.07	0.00
0.94	0.00	0.001	625.40	0.07	0.07	0.00
0.96	0.00	0.001	625.37	0.06	0.06	0.00
0.98	0.00	0.001	625.34	0.06	0.06	0.00
1.00	0.00	0.001	625.31	0.06	0.06	0.00
1.02	0.00	0.001	625.28	0.06	0.06	0.00

Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.000	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.19	0.05	0.05	0.00
1.10	0.00	0.000	625.16	0.04	0.04	0.00
1.12	0.00	0.000	625.14	0.04	0.04	0.00
1.14	0.00	0.000	625.11	0.03	0.03	0.00
1.16	0.00	0.000	625.08	0.03	0.03	0.00
1.18	0.00	0.000	625.06	0.02	0.02	0.00
1.20	0.00	0.000	625.04	0.01	0.01	0.00
1.22	0.00	0.000	625.02	0.01	0.01	0.00
1.24	0.00	0.000	625.01	0.00	0.00 0.00	0.00 0.00
1.26	0.00	0.000	625.01 625.00	0.00 0.00	0.00	0.00
1.28 1.30	0.00 0.00	0.000	625.00	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00 0.00
1.82 1.84	0.00 0.00	0.000 0.000	625.00 625.00	0.00 0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

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### Pond 5P: detention basin

Inflow Area =	0.243  ac,  Inflow Depth = 0.35"	for 10-Year-0.90 event
inflow =	0.20 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af, Atten= 51%, Lag= 19.9 min
Primary =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

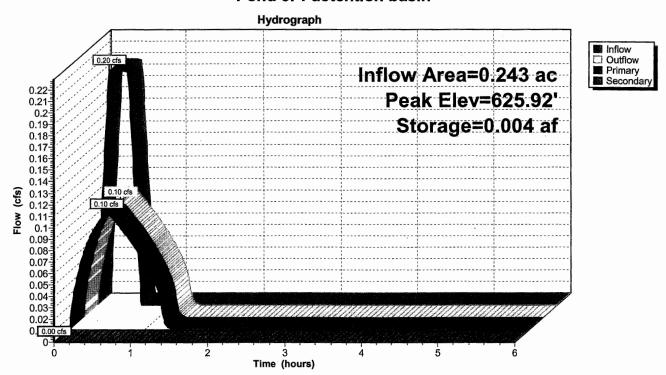
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 625.92' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.6 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.7 min (36.2 - 17.5)

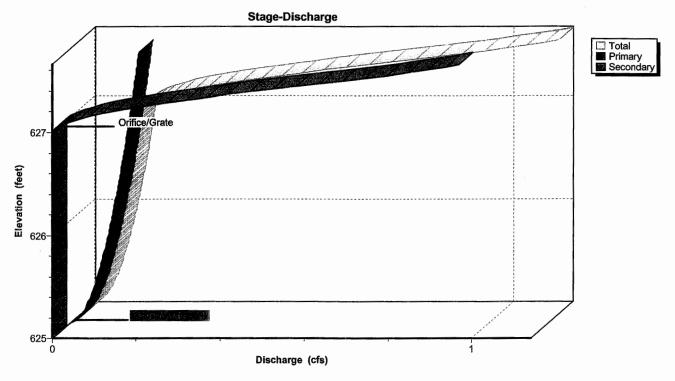
Volume	Invert	Avail.Storage Storage Description
#1	625.00'	0.009 af <b>24.0"D x 60.00'L Horizontal Cylinder</b> x 2
		·
Device	Routing	Invert Outlet Devices
#1	Primary	625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' 8.0" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.10 cfs @ 0.50 hrs HW=625.92' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.10 cfs @ 4.61 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge)
2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation	Outflow	Primary	Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.02	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.05	0.02	0.02	0.00
0.06	0.07	0.000	625.08	0.03	0.03	0.00
80.0	0.10	0.000	625.12	0.04	0.04	0.00
0.10	0.12	0.000	625.16	0.04	0.04	0.00
0.12	0.15	0.000	625.21	0.05	0.05	0.00
0.14	0.17	0.001	625.26	0.05	0.05	0.00
0.16	0.20	0.001	625.31	0.06	0.06	0.00
0.18	0.20	0.001	625.37	0.06	0.06	0.00
0.20	0.20	0.001	625.42	0.07	0.07	0.00
0.22	0.20	0.002	625.47	0.07	0.07	0.00
0.24	0.20	0.002	625.52	0.08	0.08	0.00
0.26	0.20	0.002	625.56	0.08	0.08	0.00
0.28	0.20	0.002	625.60	0.08	0.08	0.00
0.30	0.20	0.002	625.64	0.08	0.08	0.00
0.32	0.20	0.003	625.68	0.09	0.09	0.00
0.34	0.20	0.003	625.72	0.09	0.09	0.00 0.00
0.36	0.20	0.003	625.75	0.09	0.09	0.00
0.38	0.20	0.003 0.003	625.79	0.09	0.09 0.10	0.00
0.40	0.20 0.20	0.003	625.82 625.85	0.10 0.10	0.10	0.00
0.42 0.44	0.20	0.004	625.88	0.10	0.10	0.00
0.44	0.15	0.004	625.90	0.10	0.10	0.00
0.48	0.13	0.004	625.91	0.10	0.10	0.00
0.50	0.10	0.004	625.92	0.10	0.10	0.00
0.52	0.10	0.004	625.91	0.10	0.10	0.00
0.54	0.05	0.004	625.90	0.10	0.10	0.00
0.56	0.03	0.004	625.88	0.10	0.10	0.00
0.58	0.00	0.004	625.86	0.10	0.10	0.00
0.60	0.00	0.003	625.83	0.10	0.10	0.00
0.62	0.00	0.003	625.80	0.09	0.09	0.00
0.64	0.00	0.003	625.77	0.09	0.09	0.00
0.66	0.00	0.003	625.74	0.09	0.09	0.00
0.68	0.00	0.003	625.72	0.09	0.09	0.00
0.70	0.00	0.003	625.69	0.09	0.09	0.00
0.72	0.00	0.002	625.66	0.09	0.09	0.00
0.74	0.00	0.002	625.63	0.08	0.08	0.00
0.76	0.00	0.002	625.61	0.08	0.08	0.00
0.78	0.00	0.002	625.58	0.08	0.08	0.00
0.80	0.00	0.002	625.55	0.08	0.08	0.00
0.82	0.00	0.002	625.53	0.08	0.08	0.00
0.84	0.00	0.002	625.50	0.07	0.07	0.00
0.86	0.00	0.002	625.48	0.07	0.07	0.00
0.88	0.00	0.001	625.45	0.07	0.07	0.00
0.90	0.00	0.001	625.43	0.07	0.07	0.00
0.92	0.00	0.001	625.40	0.07	0.07	0.00
0.94	0.00	0.001	625.38	0.06	0.06	0.00 0.00
0.96	0.00	0.001 0.001	625.35	0.06 0.06	0.06 0.06	0.00
0.98 1.00	0.00 0.00	0.001	625.33 625.30	0.06	0.06	0.00
1.00	0.00	0.001	625.28	0.06	0.06	0.00
1.02	0.00	0.001	020.20	0.00	0.00	0.00

Time -	1 £1	04	C1	0.45	D-1	0
Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.26	0.05	0.05	0.00
1.06	0.00	0.001	625.23	0.05	0.05	0.00
1.08	0.00	0.000	625.21	0.05	0.05	0.00
1.10	0.00	0.000	625.18	0.05	0.05	0.00
1.12	0.00	0.000	625.16	0.04	0.04	0.00
1.14	0.00	0.000	625.14	0.04	0.04	0.00
1.16	0.00	0.000	625.11	0.04	0.04	0.00
1.18	0.00	0.000	625.09	0.03	0.03	0.00
1.20	0.00	0.000	625.07	0.03	0.03	0.00
1.22	0.00	0.000	625.05	0.02	0.02	0.00
1.24	0.00	0.000	625.03	0.01	0.01	0.00
1.26	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.01	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
	0.00	0.000				0.00
1.98			625.00	0.00	0.00	
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

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### Pond 5P: detention basin

Inflow Area =	0.240 ac, Inflow Depth = 0.35"	for 10-Year-0.90 event
Inflow =	0.20 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af, Atten= 51%, Lag= 19.9 min
Primary =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 625.91' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

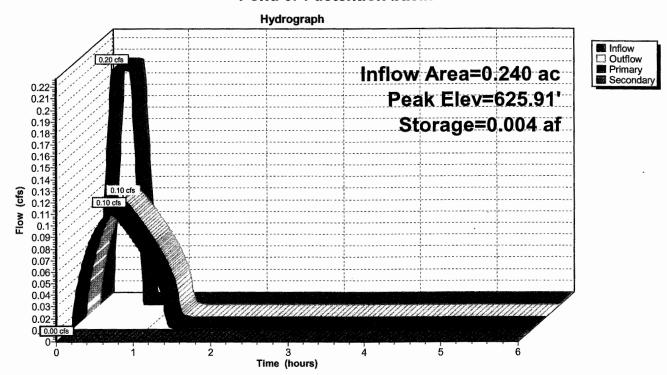
Plug-Flow detention time= 18.5 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.5 min ( 36.0 - 17.5 )

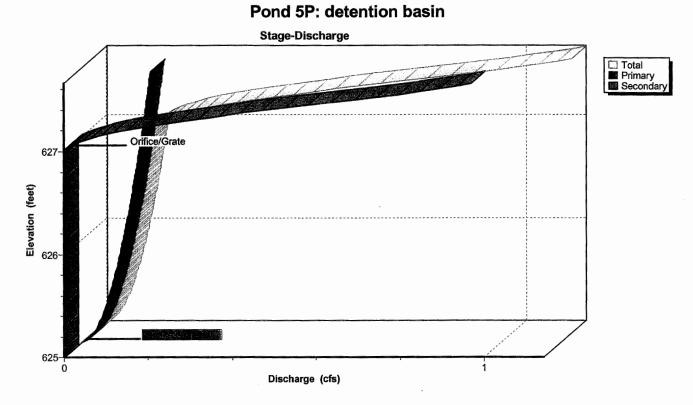
Volume	Invert	Avail.Storage Storage Description	
#1	625.00'	0.009 af 24.0"D x 60.00'L Horizontal Cylinder x 2	
Device	Routing	Invert Outlet Devices	
#1	Primary	625.00' 2.0" Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600	
#2	Secondary	627.00' 8.0" Vert. Orifice/Grate C= 0.600	

Primary OutFlow Max=0.10 cfs @ 0.50 hrs HW=625.91' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.10 cfs @ 4.58 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge)

2=Orifice/Grate (Controls 0.00 cfs)





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Time	Inflow	Storage	Elevation	Outflow	Primary	
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.02	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.05	0.02	0.02	0.00
0.06	0.07	0.000	625.08	0.03	0.03	0.00
0.08	0.10	0.000	625.12	0.04	0.04	0.00
0.10	0.12	0.000	625.16	0.04	0.04	0.00
0.12	0.15	0.000	625.21	0.05	0.05	0.00
0.14	0.17	0.001	625.26	0.05	0.05	0.00
0.16	0.19	0.001	625.31	0.06	0.06	0.00
0.18	0.20	0.001	625.37	0.06	0.06	0.00
0.20	0.20	0.001	625.42	0.07	0.07	0.00
0.22	0.20	0.002	625.47	0.07 0.08	0.07 0.08	0.00 0.00
0.24	0.20	0.002	625.51	0.08	0.08	0.00
0.26	0.20	0.002 0.002	625.55 625.59	0.08	0.08	0.00
0.28 0.30	0.20 0.20	0.002	625.63	0.08	0.08	0.00
0.30	0.20	0.002	625.67	0.08	0.08	0.00
0.32	0.20	0.003	625.71	0.09	0.09	0.00
0.34	0.20	0.003	625.74	0.09	0.09	0.00
0.38	0.20	0.003	625.78	0.09	0.09	0.00
0.30	0.20	0.003	625.76	0.09	0.09	0.00
0.40	0.20	0.003	625.84	0.10	0.03	0.00
0.42	0.20	0.003	625.87	0.10	0.10	0.00
0.44	0.17	0.004	625.89	0.10	0.10	0.00
0.48	0.13	0.004	625.90	0.10	0.10	0.00
0.50	0.10	0.004	<b>625.91</b>	0.10	0.10	0.00
0.52	0.10	0.004	625.90	0.10	0.10	0.00
0.52	0.05	0.004	625.89	0.10	0.10	0.00
0.56	0.03	0.004	625.87	0.10	0.10	0.00
0.58	0.00	0.004	625.85	0.10	0.10	0.00
0.60	0.00	0.003	625.82	0.10	0.10	0.00
0.62	0.00	0.003	625.79	0.09	0.09	0.00
0.64	0.00	0.003	625.76	0.09	0.09	0.00
0.66	0.00	0.003	625.73	0.09	0.09	0.00
0.68	0.00	0.003	625.71	0.09	0.09	0.00
0.70	0.00	0.003	625.68	0.09	0.09	0.00
0.72	0.00	0.002	625.65	0.08	0.08	0.00
0.74	0.00	0.002	625.63	0.08	0.08	0.00
0.76	0.00	0.002	625.60	0.08	0.08	0.00
0.78	0.00	0.002	625.57	0.08	0.08	0.00
0.80	0.00	0.002	625.55	0.08	0.08	0.00
0.82	0.00	0.002	625.52	0.08	0.08	0.00
0.84	0.00	0.002	625.49	0.07	0.07	0.00
0.86	0.00	0.002	625.47	0.07	0.07	0.00
0.88	0.00	0.001	625.44	0.07	0.07	0.00
0.90	0.00	0.001	625.42	0.07	0.07	0.00
0.92	0.00	0.001	625.39	0.07	0.07	0.00
0.94	0.00	0.001	625.37	0.06	0.06	0.00
0.96	0.00	0.001	625.34	0.06	0.06	0.00
0.98	0.00	0.001	625.32	0.06	0.06	0.00
1.00	0.00	0.001	625.29	0.06	0.06	0.00
1.02	0.00	0.001	625.27	0.05	0.05	0.00

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.001	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.20	0.05	0.05	0.00
1.10	0.00	0.000	625.18	0.04	0.04	0.00
1.12	0.00	0.000	625.15	0.04	0.04	0.00
1.14	0.00	0.000	625.13	0.04	0.04	0.00
1.16	0.00	0.000	625.11	0.03	0.03	0.00
1.18 1.20	0.00	0.000	625.08 625.06	0.03 0.02	0.03 0.02	0.00
1.20	0.00 0.00	0.000	625.04	0.02	0.02	0.00
1.24	0.00	0.000	625.03	0.02	0.02	0.00
1.24	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.01	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	.0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00 625.00	0.00 0.00	0.00 0.00	0.00 0.00
1.76 1.78	0.00 0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

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### Pond 5P: detention basin

Inflow Area =	0.240 ac, Inflow Depth = 0.35"	for 10-Year-0.90 event
Inflow =	0.20 cfs @ 0.17 hrs, Volume=	0.007 af
Outflow =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af, Atten= 51%, Lag= 19.9 min
Primary =	0.10 cfs @ 0.50 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @ 0.00 hrs, Volume=	0.000 af

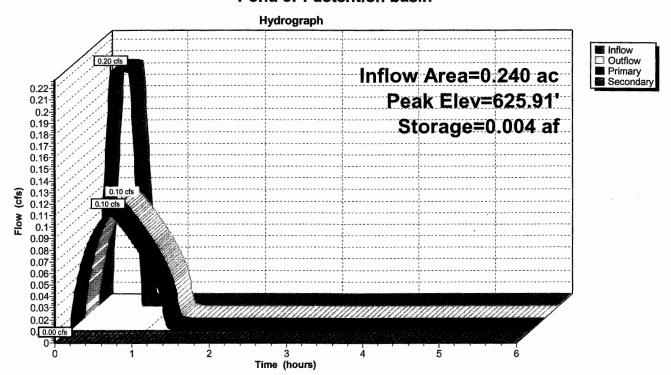
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 625.91' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.5 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.5 min ( 36.0 - 17.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.009 af	24.0"D x 60.00'L Horizontal Cylinder × 2
Device	Routing	Invert Ou	tlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.10 cfs @ 0.50 hrs HW=625.91' (Free Discharge)
—1=Orifice/Grate 2.0" (Orifice Controls 0.10 cfs @ 4.58 fps)

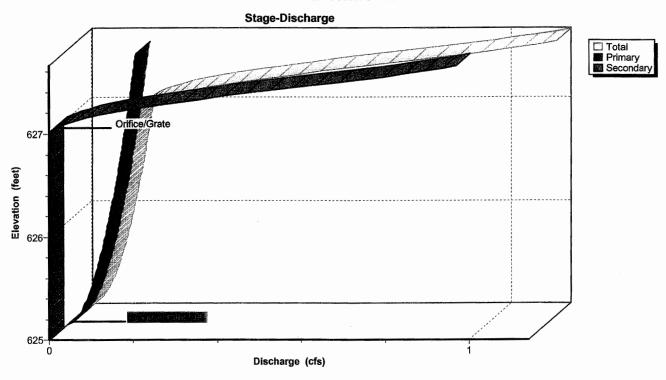
Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)



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Time	Inflow	Storage	Elevation (feet)	Outflow	Primary (cfs)	Secondary
(hours) 0.00	(cfs) 0.00	(acre-feet) 0.000	625.00	(cfs)	0.00	(cfs) 0.00
0.00	0.00	0.000	625.00	0.00 0.01	0.00	0.00
0.02	0.02	0.000	625.02	0.01	0.01	0.00
0.04	0.03	0.000	625.08	0.02	0.02	0.00
0.08	0.10	0.000	625.12	0.04	0.03	0.00
0.10	0.12	0.000	625.16	0.04	0.04	0.00
0.12	0.15	0.000	625.21	0.05	0.05	0.00
0.14	0.17	0.001	625.26	0.05	0.05	0.00
0.16	0.19	0.001	625.31	0.06	0.06	0.00
0.18	0.20	0.001	625.37	0.06	0.06	0.00
0.20	0.20	0.001	625.42	0.07	0.07	0.00
0.22	0.20	0.002	625.47	0.07	0.07	0.00
0.24	0.20	0.002	625.51	0.08	0.08	0.00
0.26	0.20	0.002	625.55	0.08	0.08	0.00
0.28	0.20	0.002	625.59	0.08	0.08	0.00
0.30	0.20	0.002	625.63	0.08	0.08	0.00
0.32	0.20	0.003	625.67	0.09	0.09	0.00
0.34	0.20	0.003	625.71	0.09	0.09	0.00
0.36	0.20	0.003	625.74	0.09	0.09	0.00
0.38	0.20	0.003	625.78	0.09	0.09	0.00
0.40	0.20	0.003	625.81	0.09	0.09	0.00
0.42 0.44	0.20 0.17	0.003 0.004	625.84	0.10	0.10	0.00 0.00
0.44	0.17	0.004	625.87 625.89	0.10 0.10	0.10 0.10	0.00
0.48	0.13	0.004	625.90	0.10	0.10	0.00
0.50	0.10	0.004	<b>625.91</b>	<b>0.10</b>	0.10	0.00
0.52	0.10	0.004	625.90	0.10	0.10	0.00
0.54	0.05	0.004	625.89	0.10	0.10	0.00
0.56	0.03	0.004	625.87	0.10	0.10	0.00
0.58	0.00	0.004	625.85	0.10	0.10	0.00
0.60	0.00	0.003	625.82	0.10	0.10	0.00
0.62	0.00	0.003	625.79	0.09	0.09	0.00
0.64	0.00	0.003	625.76	0.09	0.09	0.00
0.66	0.00	0.003	625.74	0.09	0.09	0.00
0.68	0.00	0.003	625.71	0.09	0.09	0.00
0.70	0.00	0.003	625.68	0.09	0.09	0.00
0.72	0.00	0.002	625.65	0.08	0.08	0.00
0.74	0.00	0.002	625.63	0.08	0.08	0.00
0.76	0.00	0.002	625.60	0.08	0.08	0.00
0.78	0.00	0.002	625.57	0.08	0.08	0.00
0.80	0.00	0.002	625.55	0.08	0.08	0.00
0.82 0.84	0.00 0.00	0.002 0.002	625.52 625.49	0.08	0.08	0.00 0.00
0.86	0.00	0.002	625.49	0.07 0.07	0.07 0.07	0.00
0.88	0.00	0.002	625.44	0.07	0.07	0.00
0.90	0.00	0.001	625.42	0.07	0.07	0.00
0.92	0.00	0.001	625.39	0.07	0.07	0.00
0.94	0.00	0.001	625.37	0.06	0.06	0.00
0.96	0.00	0.001	625.34	0.06	0.06	0.00
0.98	0.00	0.001	625.32	0.06	0.06	0.00
1.00	0.00	0.001	625.30	0.06	0.06	0.00
1.02	0.00	0.001	625.27	0.05	0.05	0.00

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Time	Inflow		Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.001	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.20	0.05	0.05	0.00
1.10	0.00	0.000	625.18	0.04	0.04	0.00
1.12	0.00	0.000	625.15	0.04	0.04	0.00
1.14	0.00	0.000	625.13	0.04	0.04	0.00
1.16	0.00	0.000	625.11	0.03	0.03	0.00
1.18	0.00	0.000	625.08	0.03	0.03	0.00
1.20	0.00	0.000	625.06	0.02	0.02	0.00
1.22	0.00	0.000	625.04	0.02	0.02	0.00 0.00
1.24	0.00	0.000	625.03	0.01	0.01	0.00
1.26	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.01	0.00	0.00	0.00
1.30	0.00	0.000	625.01 625.00	0.00 0.00	0.00 0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000		0.00	0.00	0.00
1.36	0.00 0.00	0.000	625.00 625.00	0.00	0.00	0.00
1.38 1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0.000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00

**LOT 25** 

Prepared by Lea & Braze Engineering, Inc.

Page 1

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10/9/2006

### Pond 5P: detention basin

Inflow Area =	0.240 ac, Inf	flow Depth = $0.35$ "	for 10-Year-0.90 event
Inflow =	0.20 cfs @	0.17 hrs, Volume=	0.007 af
Outflow =	0.10 cfs @	0.50 hrs, Volume=	0.007 af, Atten= 51%, Lag= 19.9 min
Primary =	0.10 cfs @	0.50 hrs, Volume=	0.007 af
Secondary =	0.00 cfs @	0.00 hrs, Volume=	0.000 af

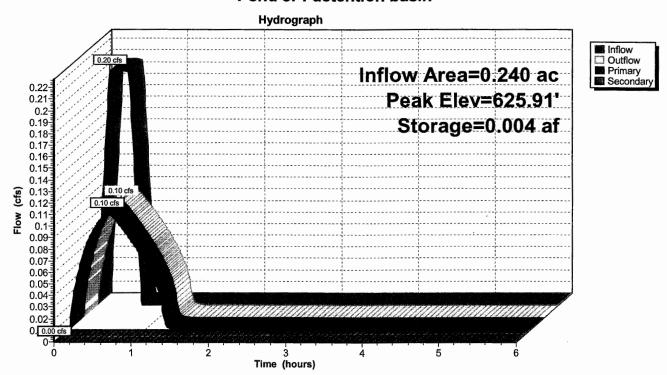
Routing by Stor-Ind method, Time Span= 0.00-6.00 hrs, dt= 0.01 hrs Peak Elev= 625.91' @ 0.50 hrs Surf.Area= 0.005 ac Storage= 0.004 af

Plug-Flow detention time= 18.5 min calculated for 0.007 af (100% of inflow) Center-of-Mass det. time= 18.5 min ( 36.0 - 17.5 )

Volume	Invert	Avail.Storage	Storage Description
#1	625.00'	0.009 af	24.0"D x 60.00'L Horizontal Cylinder x 2
Device	Routing	Invert Ou	tlet Devices
#1	Primary	625.00' <b>2.0</b>	"Horiz. Orifice/Grate 2.0" Limited to weir flow C= 0.600
#2	Secondary	627.00' <b>8.0</b>	" Vert. Orifice/Grate C= 0.600

Primary OutFlow Max=0.10 cfs @ 0.50 hrs HW=625.91' (Free Discharge) 1=Orifice/Grate 2.0" (Orifice Controls 0.10 cfs @ 4.58 fps)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=625.00' (Free Discharge) 2=Orifice/Grate ( Controls 0.00 cfs)

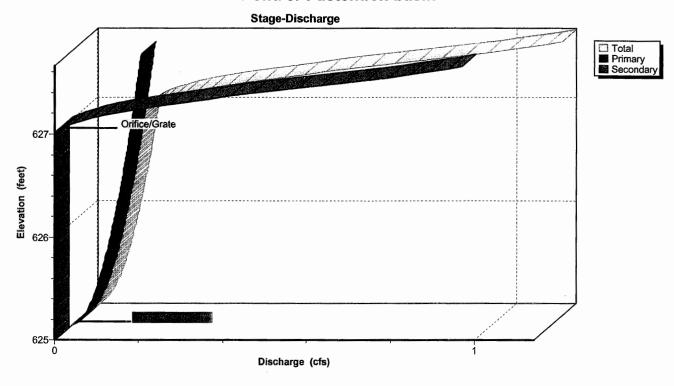


san mateo 10-Year-0.90 Duration=25 min, Inten=1.35 in/hr

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Page 2

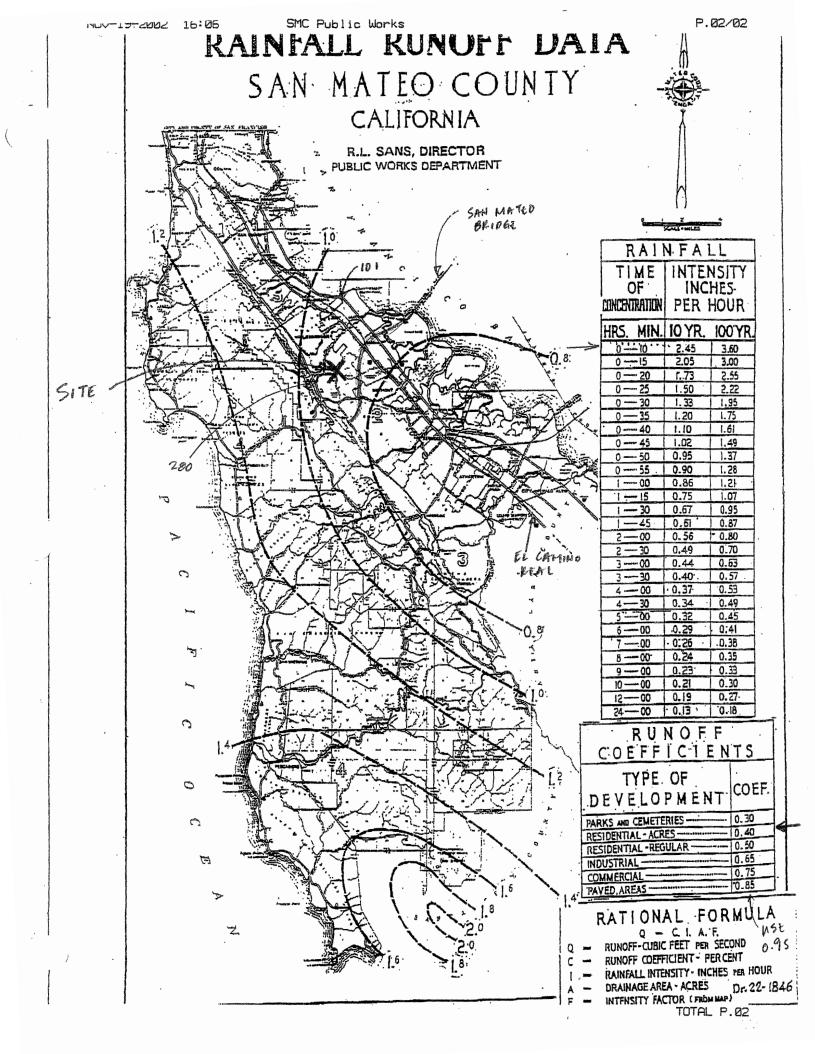
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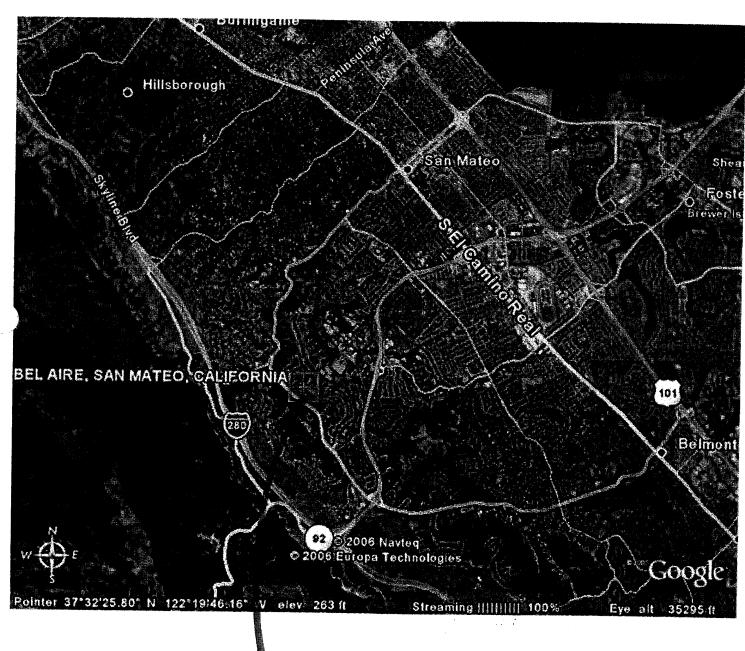


Page 3 10/9/2006

Time	Inflow	Storage	Elevation	Outflow	Primary	
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
0.00	0.00	0.000	625.00	0.00	0.00	0.00
0.02	0.02	0.000	625.02	0.01	0.01	0.00
0.04	0.05	0.000	625.05	0.02	0.02	0.00
0.06	0.07	0.000	625.08	0.03	0.03	0.00
0.08	0.10	0.000	625.12	0.04	0.04	0.00
0.10	0.12	0.000	625.16	0.04	0.04	0.00
0.12	0.15	0.000	625.21	0.05	0.05	0.00
0.14	0.17	0.001	625.26	0.05	0.05	0.00
0.16	0.19	0.001	625.31	0.06	0.06	0.00
0.18	0.20	0.001	625.37	0.06	0.06	0.00
0.20	0.20	0.001	625.42	0.07	0.07	0.00
0.22	0.20	0.002	625.47	0.07	0.07	0.00
0.24	0.20	0.002	625.51	0.08	0.08	0.00
0.26	0.20	0.002	625.55	0.08	80.0	0.00
0.28	0.20	0.002	625.59	0.08	0.08	0.00
0.30	0.20	0.002	625.63	0.08	0.08	0.00
0.32	0.20	0.003	625.67	0.09	0.09	0.00
0.34	0.20	0.003	625.71	0.09	0.09	0.00
0.36	0.20	0.003	625.74	0.09	0.09	0.00
0.38	0.20	0.003	625.78	0.09	0.09	0.00
0.40	0.20	0.003	625.81	0.09	0.09	0.00
0.42	0.20	0.003	625.84	0.10	0.10	0.00
0.44	0.17	0.004	625.87	0.10	0.10	0.00
0.46	0.15	0.004	625.89	0.10	0.10	0.00
0.48	0.13	0.004	625.90	0.10	0.10	0.00
0.50	0.10	0.004	625.91	0.10	0.10	0.00
0.52	0.08	0.004	625.90	0.10	0.10	0.00
0.54	0.05	0.004	625.89	0.10	0.10	0.00
0.56	0.03	0.004	625.87	0.10	0.10	0.00
0.58	0.00	0.004	625.85	0.10	0.10	0.00
0.60	0.00	0.003	625.82	0.10	0.10	0.00
0.62	0.00	0.003	625.79	0.09	0.09	0.00
0.64	0.00	0.003	625.76	0.09	0.09	0.00
0.66	0.00	0.003	625.74	0.09	0.09	0.00
0.68	0.00	0.003	625.71	0.09	0.09	0.00
0.70	0.00	0.003	625.68	0.09	0.09	0.00
0.72	0.00	0.002	625.65	0.08	0.08	0.00
0.74	0.00	0.002	625.63	0.08	80.0	0.00
0.76	0.00	0.002	625.60	80.0	0.08	0.00
0.78	0.00	0.002	625.57	0.08	0.08	0.00
0.80	0.00	0.002	625.55	0.08	0.08	0.00
0.82	0.00	0.002	625.52	0.08	0.08	0.00
0.84	0.00	0.002	625.49	0.07	0.07	0.00
0.86	0.00	0.002	625.47	0.07	0.07	0.00
0.88	0.00	0.001	625.44	0.07	0.07	0.00
0.90	0.00	0.001	625.42	0.07	0.07	0.00
0.92	0.00	0.001	625.39	0.07	0.07	0.00
0.94	0.00	0.001	625.37	0.06	0.06	0.00
0.96	0.00	0.001	625.34	0.06	0.06	0.00
0.98	0.00	0.001	625.32	0.06	0.06	0.00
1.00	0.00	0.001	625.30	0.06	0.06	0.00
1.02	0.00	0.001	625.27	0.05	0.05	0.00

Time	Inflow	Storage	Elevation	Outflow		Secondary
(hours)	(cfs)	(acre-feet)	(feet)	(cfs)	(cfs)	(cfs)
1.04	0.00	0.001	625.25	0.05	0.05	0.00
1.06	0.00	0.001	625.22	0.05	0.05	0.00
1.08	0.00	0.000	625.20	0.05	0.05	0.00
1.10	0.00	0.000	625.18	0.04	0.04	0.00
1.12	0.00	0.000	625.15	0.04	0.04	0.00
1.14	0.00	0.000	625.13	0.04	0.04	0.00
1.16	0.00	0.000	625.11	0.03	0.03	0.00
1.18	0.00	0.000	625.08	0.03	0.03	0.00
1.20	0.00	0.000	625.06	0.02	0.02	0.00
1.22	0.00	0.000	625.04	0.02	0.02	0.00
1.24	0.00	0.000	625.03	0.01	0.01	0.00
1.26	0.00	0.000	625.02	0.01	0.01	0.00
1.28	0.00	0.000	625.01	0.00	0.00	0.00
1.30	0.00	0.000	625.01	0.00	0.00	0.00
1.32	0.00	0.000	625.00	0.00	0.00	0.00
1.34	0.00	0.000	625.00	0.00	0.00	0.00
1.36	0.00	0.000	625.00	0.00	0.00	0.00
1.38	0.00	0.000	625.00	0.00	0.00	0.00
1.40	0.00	0.000	625.00	0.00	0.00	0.00
1.42	0.00	0.000	625.00	0.00	0.00	0.00
1.44	0.00	0.000	625.00	0.00	0.00	0.00
1.46	0.00	0.000	625.00	0.00	0.00	0.00
1.48	0.00	0.000	625.00	0.00	0.00	0.00
1.50	0.00	0.000	625.00	0.00	0.00	0.00
1.52	0.00	0.000	625.00	0.00	0.00	0.00
1.54	0.00	0.000	625.00	0.00	0.00	0.00
1.56	0.00	0.000	625.00	0.00	0.00	0.00
1.58	0.00	0.000	625.00	0.00	0.00	0.00
1.60	0.00	0.000	625.00	0.00	0.00	0.00
1.62	0.00	0.000	625.00	0.00	0.00	0.00
1.64	0.00	0.000	625.00	0.00	0.00	0.00
1.66	0.00	0.000	625.00	0.00	0.00	0.00
1.68	0.00	0.000	625.00	0.00	0.00	0.00
1.70	0.00	0.000	625.00	0.00	0.00	0.00
1.72	0.00	0.000	625.00	0.00	0.00	0.00
1.74	0.00	0.000	625.00	0.00	0.00	0.00
1.76	0.00	0.000	625.00	0.00	0.00	0.00
1.78	0.00	0.000	625.00	0.00	0.00	0.00
1.80	0.00	0.000	625.00	0.00	0.00	0.00
1.82	0.00	0.000	625.00	0.00	0.00	0.00
1.84	0.00	0.000	625.00	0.00	0.00	0.00
1.86	0.00	0.000	625.00	0.00	0.00	0.00
1.88	0.00	0.000	625.00	0.00	0.00	0.00
1.90	0.00	0.000	625.00	0.00	0.00	0.00
1.92	0.00	0.000	625.00	0.00	0.00	0.00
1.94	0.00	0.000	625.00	0.00	0.00	0.00
1.96	0.00	0.000	625.00	0.00	0.00	0.00
1.98	0.00	0,000	625.00	0.00	0.00	0.00
2.00	0.00	0.000	625.00	0.00	0.00	0.00
2.02	0.00	0.000	625.00	0.00	0.00	0.00
2.04	0.00	0.000	625.00	0.00	0.00	0.00
2.06	0.00	0.000	625.00	0.00	0.00	0.00





SITE

PLN200200517



12/4/03 CULHULATIVE IMPACTS - CSH HSG - UERONA RIDGE - PUC TUNNEL - CHAMBELLAIN - J. HALL SCIDE ISSUES GRADING - Construction valuicles impact - hoath + safety. HEALTH + SHFETY ISSUES Antono Contalinants Noise Pollution Kodens Traffic Safety LAND STABILITY

HERITHGE TREES

SONSTRUCTION TRAFFIC PARKING

SIZE OF PROJECT

MPACT ON BUSINESSES

CAPACITY OF INFRASTRUCTURE



IMG\_0001.jpg



IMG\_0002.jpg



IMG\_0004.jpg

Folder - pln2002-00517 (04-05-07)















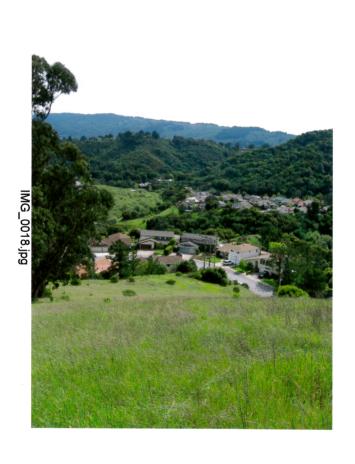






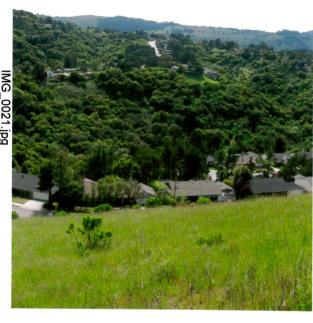
















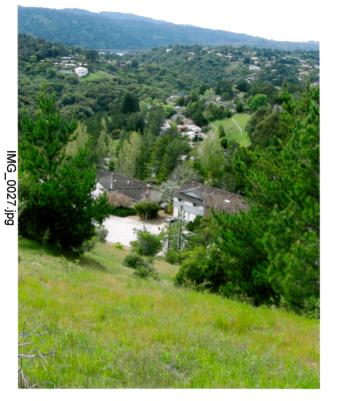














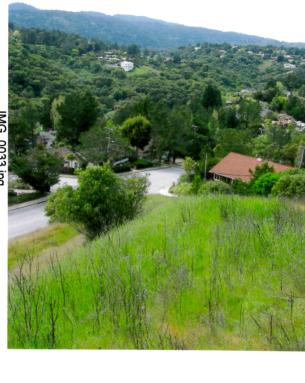


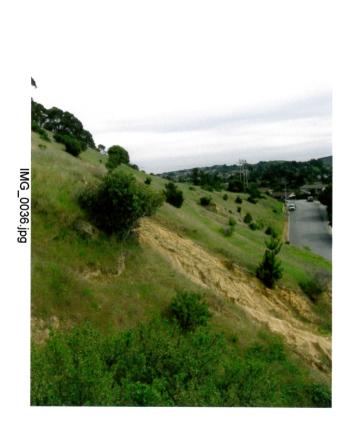












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June 14, 2004

Baywood Park Homeowners Association Attn: Gerald Ozanne 1434 Enchanted Way San Mateo, CA 94402

Dear Mr. Ozanne:

#### ENVIRONMENTAL SERVICES AGENCY

**SUBJECT:** Thomas Subdivision - County File No: PLN2002-00517

Agricultural
Commissioner/ Sealer of
Weights & Measures

Thank you for providing us a copy of your recent letter to Supervisor Church dated June 7, 2004. In your letter, you reiterate the concerns that your Association has regarding the potential health and safety issues of the above project and you consider that these should be addressed in the Draft EIR. A copy of this letter has been forwarded to the EIR Consultant for their review and will be included as a Notice of Preparation (NOP) comment letter in the Draft EIR.

Animal Control

I am writing to confirm that the Draft EIR will include an analysis of the health and safety issues of this project. This was an issue identified by the EIR consultant and the County as being significant in the Initial Study and therefore requires further investigation as part of the Draft EIR.

Cooperative Extension

Fire Protection

LAFCo

\_\_\_\_

Library

Parks & Recreation

The analysis in the Draft EIR will include an explanation of relevant legislation which this project will need to comply with, Federal, State and Regional; definitions of the potential pollutants, acceptable levels and the health affects of these pollutants; a review of the environmental setting of the project site; a discussion of the environmental impacts of the project including construction and grading activities and operational impacts and assessing these against the required standards; and recommended mitigation measures to address any potential significant impacts identified.

At the time the Draft EIR is published, your Association will have the opportunity to review the document and provide any comments you may have on its adequacy pursuant to Section 15204 of the CEQA Guidelines.

I understand from your letter that your Association does not consider an additional meeting is necessary as suggested in my letter dated May 13, 2004. Therefore we will be moving forward with the publication of the Draft EIR.

Planning & Building

Baywood Park Homeowners Association June 14, 2004 Page 2

If you have any further questions please call me at 650/363-1829. However, I will be leaving the County shortly and therefore if you have any questions after my departure on June 17, 2004, please contact Jim Eggemeyer, Development Review Services Manager on 650 363 1930 who can assist you prior to this project being reassigned.

Sincerely,

Gabrielle Rowan Project Planner

c.c. Supervisor Mark Church
Marcia Raines, Director of Environmental Services
Terry Burnes, Planning Administrator
Jim Eggemeyer, Development Review Services Manager
Michael Murphy, Chief Deputy, County Counsel
Geoff Reilly, CAJA
Dennis Thomas



June 7, 2004

Mark Church, Supervisor County of San Mateo 400 Government Center Redwood City, CA 94063

Via Email

RE: Thomas Subdivision, PLN 2002 – 00517

Dear Mark:

At this time the only goal Baywood Park Homeowners' Association has with respect to the Thomas Project is to insure issues critical to the neighborhood be appropriately analyzed in the draft EIR. Through both verbal presentations and written documents, we have provided the Planning Department and the EIR consultant with expert evidence that raises serious health and safety concerns specifically related to the size and location of the proposed Thomas project.

To date, we have received no acknowledgement from the Planning Department of the potential seriousness of these risks or whether, for example, they plan to 1) identify and estimate risks for "sensitive receptors" including both pulmonary and cardiovascular outcomes, 2) include a Toxic Air Contaminants model analysis [URBEMIS 2002], 3) propose a monitoring program for nearby homes, 4) adhere to the BAAQMB requirements for potential asbestos contamination from serpentine rock formations, or 5) determine the reduction of important health risks as a function of several reduced-density alternatives.

The scientific data and conclusions regarding air pollution risks are quite compelling. The American Heart Association recently published a Scientific Statement (*Air Pollution and Cardiovascular Disease*) delineating a strong relationship between daily air pollution levels (PM<sub>10</sub>) and immediate cardiovascular mortality. The elevation in the risk of cardiovascular death within 24 hours of peak pollution levels is substantial and nontrivial. (*A PM*<sub>10</sub> concentration of 50 micrograms per cubic meter for 50 days would increase the risk of mortality by 50% or more.)

Similar data analyses identify a 10-20% elevation in risk of acute exacerbation of asthma. ("A 0.67-ppm rise in the previous day's carbon monoxide levels increased the odds of a severe exacerbation by about 20%; a 10-µg/m3 rise in PM10 increased the risk of an asthma attack on that day by about 10%.") Previously, the County was formally notified that individuals living

Page2 of 2 Mr. Church June 7, 2004

immediately adjacent to the construction site have chronic, life-threatening pulmonary disease and could be severely compromised by an acute asthmatic attack.

Since there is a substantial body of scientific evidence supporting strong associations between air pollution and catastrophic health outcomes, we are convinced that both the community and the ultimate decision makers must have a complete assessment of the health and safety impacts resulting from this enormous project. We are not requesting to review preliminary versions of the draft EIR. However, since the health and safety risks are quite complex and the analyses involve many variables, we are convinced the risks must be addressed appropriately and fully in the draft EIR to ensure the creation of a knowledge base essential for future assessments and decisions.

We thank you very much for facilitating a meeting with the EIR consultant. However, the ground rules, as proposed by Ms. Rowan—that the EIR consultant will only "listen" to us—have failed multiple times in the past to produce the appropriate health and safety investigations in the draft EIR and we sincerely believe this meeting would fail also.

Therefore, Mark, we are requesting the Planning Department <u>be directed</u> to include in the draft EIR a comprehensive air quality assessment of the entire project including 1) expected concentrations throughout the neighborhood and for the duration of the project of TAC,  $PM_{10}$  and  $PM_{2.5}$  particles and 2) amelioration benefits on health and safety risks as a result of incrementally reduced-density alternatives.

We would appreciate notification of the inclusions and scope of such a study. We are quite willing to provide expertise to the County to facilitate the study.

We thank you very much for your continued support.

Peggy O'Brien-Strain, President Jerry Ozanne, Vice President Jerry McClellan, Board; Chair, Land Use Committee Kathy Everitt, Vice President

Cc: Marcia Raines Terry Burnes February 9, 2004

Gabrielle Rowan, Project Planner Planning Department 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94063

RE: Thomas Subdivision - No: PLN2002-00517

Dear Ms. Rowan:

Thank you for your letter of January 21, 2004 explaining the EIR process again. However, it seems to explain that the primary issues of the EIR had already been identified and work commenced June 2003, well before the time of the subsequent public scoping meeting held December 4, 2003, which the community understood was to allow for community input of specific concerns and important elements for study in the Environmental Impact Report (EIR).

Since the preparation for the earliest pre-application meetings, beginning March 7, 2002, it has always been agreed to and committed by the Planning Department staff that this community would have an opportunity for meaningful input into the Scope of Work preparation, including participation in the development and review of the final Scope of Work document. To date we have not received either a draft or an outline for the Scope of Work, which was to have been a product of the public Scoping workshop meeting held December 4, 2003. Our previous correspondence, including a letter to your Department on December 2, 2002, clearly described our understanding of community involvement in this process, and our expectations that we would assist in organizing and scheduling scoping meetings for such public input.

A January 14, 2004 response from Mr. Burnes clearly reports "Once a consultant is hired then a scoping sessions conducted for which notification goes out to the community members within 500 feet and to all other interested parties and organizations." He further indicated, "It is only after the consultant is hired that a scoping session will be conducted." Your letter defines the public scoping meeting, held December 4, 2003, as only "to better define the scope of the EIR and elements to be included in the Draft EIR..." However it appears that the EIR has been well under way for six months, and you indicate the only opportunity for further public input will be after the Draft EIR is published, which then allows only 45 days for public response. This is outside your Departments' commitments from the beginning of this process, and unacceptable to this community. Your letter of January 21, 2004 appears to abrogate the prior commitments made by the Planning Department to this community with regard to review and active participation by the community in the finalization of the Scope of Work Document.

Page2 of 4 Ms. Rowan

As you know, our Association has provided, in writing, specific and well documented information requesting study of important Health and Safety and Geotechnical elements including:

- Respiratory Health issues, which may fall outside the Bay Area Air Quality Management
  District guidelines. These Health issues proposed to be studied are supported by expert
  medical evaluation and comment.
- Multiple Health and Safety issues which stem from a projection of what would be considered to be inordinate volumes of truck traffic through steep and difficult residential roadways.
- Health and Safety issues which stem from the inordinate effects from cumulative other projects.
- Geotechnical concerns supported by expert evaluation and comment. Also please find a letter from our Geotechnical Experts supporting and confirming the geotechnical concerns and issues described in my letter of January 21, 2004.
- Adverse impacts to our schools and infrastructure.
- Specific reduced alternatives and "Mitigated Alternatives," with supporting documentation.

We are concerned that much of the project data that we, and our expert consultants, had to work with was only provided with the Initial Study Document and Answers to Initial Study Questions, documents which were issued September 25, 2003, some three months after the contract with the EIR consultants was approved, "...in order to enable the consultants to commence and proceed with their work."

Since we have not been allowed to participate in the review, writing, or finalization of the scoping document, our association is very concerned that the serious Health and Safety issues mentioned above will not be fully or adequately addressed in either the Scope of Work, or the EIR. It is essential that these critical elements submitted be included in the Scope of Work and be fully evaluated in the EIR to provide the Board of Supervisors with the best information possible for their decision on this proposal. This was the process promised to the community by the Planning Staff since the first Pre-Application meeting of March 3, 2002. We have dealt in good faith based on those representations, and we expect the Planning staff to meet those representations.

By way of this letter, we are formally requesting:

1. The initial Scope of Work and the Contract which was issued to Christopher Joseph & Associates in June 2003.

- 2. The current working draft version of the Scope of Work document which your staff indicated would be created and which would include those issues brought forth by the public, at and following the December 4, 2003 public scoping meeting.
- 3. Full and active participation by the community, through BPHA representatives, on all continuing and future development of the Scope of Work document.
- 4. A public meeting held in the neighborhood, in evening hours, to review and finalize the Scope of Work for the intended EIR project.
- 5. A minimum of 90 days for public response to the Draft EIR.
- 6. Planning Commission Hearings on the Draft EIR to be held in this Community, in evening hours.

Kindly advise when these documents will be provided. Following receipt and review of these documents, we will actively participate in the planning of the necessary public meeting. Gerald McClellan will serve as BPHA's contact person on this project. Please coordinate with him by phone at (650) 345-9930 or by mail at 1899 Parrott Drive, San Mateo CA 94402. Thank you very much for your cooperation.

Sincerely,

Gerald McClellan

Land Use Committee Chairperson

(650) 345-9930 Page O'Brie Strain

Peggy O"Brien-Strain

President, Baywood Park Homeowners' Association

(650) 525-1139

Jerry Ozanne

Vice President, Baywood Park Homeowners' Association

(650) 572-1652

Page4 of 4 Ms. Rowan February 9, 2004

Attachment: letter - Cotton Shires and Assoc.

cc:

Marcia Raines, Director Terry Burnes Administrator Mark Church, Supervisor

January 21, 2004 G0193

TO:

Gerald McClellan

BAYWOOD PARK HOMEOWNERS' ASSOCIATION

1899 Parrott Drive

San Mateo, California 94402

SUBJECT:

Geotechnical Review of "Mitigated Alternative" (Letter)

RE:

Ascension Heights/Thomas Subdivision Proposal

PLN 2002-00517

San Mateo County, California

Dear Mr. McClellan:

We have reviewed geotechnical aspects of the proposed Thomas Subdivision Tentative Map, a Geotechnical Investigation (report) by Michelucci & Associates, and a Mitigated Alternative (letter dated January 21, 2004) prepared by the Baywood Park Homeowner's Association.

We make no assertion regarding the geotechnical necessity of any specific number of future residential lots at the subject property. This issue has not been evaluated by our office. However, we do concur with the basic project geotechnical constraints outlined in the letter noted above. We recommend that these issues be satisfactorily addressed during the development design review process.

Our services consist of professional opinions and recommendations made in accordance with generally accepted engineering geology and geotechnical engineering principles and practices. No warranty, expressed or implied, or merchantability of fitness, is made or intended in connection with our work, by the proposal for consulting or other services, or the furnishing of oral or written reports.

Sincerely,

COTTON, SHIRES AND ASSOCIATES, INC.

Ted Sayre

Supervising Engineering Geologist

**CEG 1795** 

David T. Schrier

Senior Geotechnical Engineer

GE 2334

DTS:TS:st

#### Pam and Gordy Stroud

RECEIVED

JUN 1 3 2007

San Mateo County
Planning Division

June 7, 2007

Miroo Desai Brewer, Project Planner San Mateo County Planning and Building Department 455 County Center Redwood City CA 94063

Re: Proposed project at Bel Aire Road, San Mateo APN 041-111-360, County File No. PLN 2001-00759

In the past two years we have watched the destruction of two back yards on Parrott Drive, at addresses 1111 and 1127, caused by slides from the houses built on Tournament Drive two to three decades ago.

If this Bel Aire project is given approval, we urge you to study the problems encountered on the Parrott/Tournament properties and to require construction/stabilization that will prevent that from happening to established properties surrounding the project.

Yours,

Gordy and Pam Stroud

cc: Kerwin & Kerwin, Esquire

Baywood Park Homeowners Association

Neighbors at 1474, 1498, 1514, 1526, 1538, 1550 & 1556 Parrott

Drive



February 19, 2004

Gerald McClellan Baywood Park Homeowners' Association 1899 Parrott Drive San Mateo, CA 94404

#### ENVIRONMENTAL SERVICES AGENCY

Dear Mr. McClellan:

SUBJECT: Thomas Subdivision - County File No: PLN2002-00517

Agricultural Commissioner/ Sealer of Weights & Measures

Thank you for your letter dated February 9, 2004 in relation to the above project.

Animal Control

The issues raised by your association are in relation to our commitment to public involvement in this process particularly in relation to the scope of the EIR. I have discussed your concerns with senior department management and County Counsel.

Cooperative Extension

We feel that there has been significant community involvement during the early stages of the process including two pre-application workshops held prior to the submittal of the planning application and an extended public review period for the Notice of Preparation (NOP) document which included a public scoping session. We continue to be committed to encouraging public involvement throughout the next stages of the EIR as required by the CEQA process.

Fire Protection

Your letter includes six requests. Our response to each of these follows:

LAFCo

1. Please find attached the approved contract with Christopher Joseph & Associates dated June 2003 as requested. This includes their scope of work.

Library

.2. The scope of the EIR is continually developed between the EIR consultants and the County throughout this process. The EIR consultants have a significant level of technical expertise in the preparation of environmental documents and the EIR process. The County relies on the professional judgment of the consultants to provide an initial scope for the EIR. In order to help define this scope, the NOP public review

period provided an opportunity for individuals to provide written

Parks & Recreation

Planning & Building

Baywood Park Homeowners' Association February 19, 2004 Page 2

comments and the scoping session, held on December 4, 2003, allowed interested parties to directly address the County and the EIR consultants. We feel that this meeting was very productive and all comments were received and duly recorded both by the County and the EIR consultants. As with the initial scope of work, we rely on the professional judgment of the consultant to incorporate the input received from the public into the scope of work as he prepares what, in his professional judgment is a "complete, correct and adequate EIR". The consultants are now working towards a Draft EIR to address all comments received during the public review period. The next opportunity for public comment will be the circulation of the Draft EIR.

- 3. As explained in point two above, the opportunity to comment on the scope of the EIR took place during the NOP review period and the public scoping session.
- 4: The process calls for the next public meeting to be to review the Draft EIR. However, your association could arrange community meetings to discuss this project. This may be an effective way to co-ordinate community comments and to raise community awareness of the project and the EIR process.
- 5. We will take this request for a 90-day public response period for the Draft EIR under advisement and delay setting a review time until the Draft EIR is complete. When we get closer to the release of the Draft EIR, we will have a better understanding of the length of review time appropriate for this document. Please be aware, however, that we are also required to follow the time requirements as set by CEQA in order to ensure that this process continues to move forward in a timely manner.
- 6. At the time the Draft EIR is released for public comment, we will forward your request to the Planning Commission for a local evening meeting to review the Draft EIR. They will decide closer to that time if they can accommodate your request.

We appreciate that your association has serious concerns about this development and are therefore eager to ensure comprehensive community involvement during every stage of the process. The County is committed to continuing to involve your association and members of the community during all the public review stages of the project and welcomes your constructive comments.

If you have any further questions regarding the project or the EIR process, please do not hesitate to call me at 650/363-1829.

Baywood Park Homeowners' Association February 19, 2004 Page 3

Sincerely

Gabrielle Rowan

Project Planner

Enc. EIR Contract

c.c. Supervisor Mark Church

Marcia Raines, Director of Environmental Services (no enclosure)

Terry Burnes, Planning Administrator (no enclosure)

Michael Murphy, County Counsel (no enclosure)

Geoff Reilly, CAJA (no enclosure)

Dennis Thomas, San Mateo Real Estate, Inc (no enclosure)



May 13, 2004

Gerald McClellan Baywood Park Homeowners' Association 1899 Parrott Drive San Mateo, CA 94404

#### ENVIRONMENTAL SERVICES AGENCY

Dear Mr. McClellan:

**SUBJECT:** Thomas Subdivision - County File No: PLN2002-00517

Agricultural Commissioner/ Sealer of Weights & Measures

We would like to invite your Homeowners' Association to a meeting at the County to obtain any further input you care to provide regarding our preparation of the Draft EIR for the subject project. Geoff Reilly from Christopher Joseph & Associates will be at the meeting. The applicant, Dennis Thomas will also be invited to the meeting.

Animal Control

Cooperative Extension

Fire Protection

LAFCo

Library

Parks & Recreation

Planning & Building

The purpose of this additional meeting is to provide an extra opportunity for your Homeowners' Association to highlight relevant issues or information that you consider should be addressed in the Draft EIR. Please be aware that the County and the EIR consultants will not be able to provide definite answers to questions in relation to the findings of the draft EIR or in relation to research or analysis already undertaken at that meeting, as this is still ongoing. The comments or questions received will be addressed in the Draft EIR, to the degree we and the consultants determine it is appropriate to do so.

Listed below are three available dates and times for this meeting:

Thursday, June 10, 2004 - (4:00 - 6:00 p.m.)

Tuesday, June 15, 2004 - (4:00 - 6:00 p.m.)

Tuesday, June 29, 2004 - (4:00 - 6:00 pm.)

Please confirm which date you would prefer by Thursday May 27, 2004. Also please can you confirm the number of people from your Association who will be attending in order for us to make appropriate arrangements. This meeting is also open to representatives from other Homeowner's groups who may wish to

Baywood Park Homeowners' Association May 13, 2004 Page 2

provide additional comments or information. Therefore, if you feel this is necessary, please extend this invitation to other local groups.

I will be on vacation from May 24 through June 1, 2004. Therefore, please contact Dave Holbrook, Senior Planner at (650) 363 1837 to confirm the meeting date.

Sincerely

Gabrielle Rowan

Project Planner

c.c. Supervisor Mark Church

Marcia Raines, Director of Environmental Services

Terry Burnes, Planning Administrator

Jim Eggemeyer, Development Review Services Manager

Dave Holbrook, Senior Planner

Michael Murphy, Chief Deputy, County Counsel

Geoff Reilly, CAJA

Dennis Thomas, San Mateo Real Estate, Inc

#### GERALD McCLELLAN 1899 PARROTT DR., SAN MATEO, CA. 94402 BAYWOOD PARK HOMEOWNER'S ASSOCIATION

January 21, 2004

BY: FAX & Mail

Terry Burnes, Planning Administrator Planning and Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, Ca 94063

RE: Thomas Subdivision #PLN 2002-00517 "Mitigated Alternative"

Dear Mr. Burnes:

In accordance with agreement between communities in this area and the County at the preapplication workshops, we are submitting in this document alternatives for inclusion in the Scope Of Work for study and analysis in the EIR on the proposed project.

The proposed development has provoked considerable concerns which were brought to County attention in such areas as short and long term cumulative impacts, health hazards, geotechnical safety, design standards, fire safety, efficient police patrols, community character, traffic, visual impacts, and so as previously recorded.

Our Association has received further technical data following review by our Geotechnical Expert, and is prepared to propose a reasonable alternative and feasible alternative for specific study to the proposed project.

The information suggests that a good deal of the site consists of existing very steep out slopes (approximately 1.5:1, horizontal:vertical) approaching 100 feet or more in height above Ascension Dr. and Bel Aire Road. Native slopes are generally moderately steep, (20 - 40% inclination). The existing slope demonstrates extensive erosion in several areas, and several areas of instability are noted nearby.

Basic concerns include the proposed grading and drainage design, which do not appear consistent with currently accepted 1997 National Uniform Building Code (UBC) requirements, in that:

Lots 14-17 would appear to be uniformly re-graded to exceed an inclination of 2:1, approximately 70 feet in height. UBC typically requires slope terraces and drainage interceptor ditches at maximum 30 foot vertical intervals.

Lots 14-17 would require substantial additional grading, with cut slopes on the order of

correct UPC code?

Page 2 Terry Burnes UES

FROM : CATHY HOLCOMB

January 21, 2004

20 feet in depth below the currently proposed grades to allow construction on these sites.

Lots 19-24 would appear to be re-graded to inclinations of close to 1.5:1. These very steep slopes may not be consistent with suitable building pads found in the general Bay Area.

The very steep existing slopes in the vicinity of Lots 19-25 may also require similar additional grading to notch any structures into the slopes. The resulting structures and necessary cripple walls developed down the steep slopes, would present a significant visual mass. The connecting driveways would cross inclinations of 1.5:1 slopes.

The UBC grading requirements have evolved over time, resulting in progressively more conservative design practices. Because of generally poor performance of cuts completed at such steep inclinations. UBC grading requirements have been revised to generally limit new cut slopes to a maximum inclination of 2:1. Additionally, building setbacks g have been adopted from the top and toes of graded 2:1 slopes, and included specific minimum terracing and drainage improvement requirements.

The current proposal does not give considerations for the following:

New slopes, intended for residential construction, should not be created which are steeper than inclinations of 2:1.

Establishing minimum building setbacks from the tops of grades exceeding 2:1, consistent with UBC requirements, and construction should not be allowed across such slopes.

Coordination of necessary and effective slope drainage control measures between properties if individual lots are sold and developed by separate owners.

While the developer's Geotechnical study, as far as it went, was conducted in a manner consistent with prevailing standards, the potential for topographic amplification of seismic ground shaking, with mitigation measures appears to be an area of consideration. Construction across such steep slopes is likely to result in increased damage levels to future residences under seismic ground shaking conditions. As slopes become steeper, the foundations and shear resistant design elements that anchor buildings to slopes become more severely tested under ground shaking conditions.

In view of the significant environmental issues, the communities have determined a need to have two alternatives studied in the EIR. Both alternatives mitigate the impacts from the project proposal. The first alternative for study for five single family houses would be consistent with

Page 3 Terry Burnes UES

January 21, 2004

currently accepted UBC requirements and potentially answer serious questions for the following reasons:

- 1. The identified steep slopes would not be utilized for building, substantially reducing the required grading costs, and resultant health and safety issues which the developer proposes to be born by this older established neighborhood.
- Significantly less truck and construction traffic.
- 3. Safe building setbacks could be maintained, and would be Geothechnically preferred, reducing slope maintenance and liability.
- There would be significantly less drainage issues if the developer were responsible for effective drainage control measures co-ordinated between individual lots.
- 5. This alternative incurs minimal long term liability for all affected parties, especially to the County and the taxpayers.
- б. There would be significantly less engineering costs.
- 7. The roads could be appropriately and properly widened allowing for parking, which is prohibited in this proposal, and reducing the conflict with fire safety equipment (as occurred on the narrow streets during the recent Oakland fire), and allow for safety equipment to turn around.
- 8. Building design could be consistent with the existing neighborhood, and the architecture could provide for a neutral visual effect, maintaining the aesthetics of this hillside area which defines the community character.
- 9. Economically, the developer could still realize a reasonable profit from their investment.

Area communities also want a second alternative studies: land donation, with financial benefit to the owners. This alternative clearly mitigates all liabilities of the proposed project. Both short and long term tax benefits accrue to the owners for donation of the property. We would be happy to facilitate acquisition of information for BIR study of this alternative.

Please let me know if you need any further information to facilitate inclusion in the EIR of these alternatives to the current proposal.

Page 4 Terry Burnes January 21, 2004

Sincerely

Gerald McClellan
Land Use Committee

Baywood Park Homeowner's Association

cc: Gabrielle Rowan, Planner

cc: Cotton, Shires and Associates, Inc.

GM:gm



January 21, 2004 G0193

TO:

Gerald McClellan

BAYWOOD PARK HOMEOWNERS' ASSOCIATION

1899 Parrott Drive

San Mateo, California 94402

SUBJECT:

Geotechnical Review of "Mitigated Alternative" (Letter)

RE:

Ascension Heights/Thomas Subdivision Proposal

PLN 2002-00517

San Mateo County, California

Dear Mr. McClellan:

We have reviewed geotechnical aspects of the proposed Thomas Subdivision Tentative Map, a Geotechnical Investigation (report) by Michelucci & Associates, and a Mitigated Alternative (letter dated January 21, 2004) prepared by the Baywood Park Homeowner's Association.

We make no assertion regarding the geotechnical necessity of any specific number of future residential lots at the subject property. This issue has not been evaluated by our office. However, we do concur with the basic project geotechnical constraints outlined in the letter noted above. We recommend that these issues be satisfactorily addressed during the development design review process.

Our services consist of professional opinions and recommendations made in accordance with generally accepted engineering geology and geotechnical engineering principles and practices. No warranty, expressed or implied, or merchantability of fitness, is made or intended in connection with our work, by the proposal for consulting or other services, or the furnishing of oral or written reports.

Sincerely,

COTTON, SHIRES AND ASSOCIATES, INC.

Ted Sayre `

Supervising Engineering Geologist

CÉG 1795

David T. Schrier

Senior Geotechnical Engineer

GE 2334

DTS:TS:st

#### GERALD McCLELLAN 1899 PARROTT DR., SAN MATEO, CA. 94402 BAYWOOD PARK HOMEOWNER'S ASSOCIATION

January 21, 2004

FROM : CATHY HOLCOMB

BY: FAX & Mail

Terry Burnes, Planning Administrator Planning and Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, Ca 94063

RE: Thomas Subdivision #PLN 2002-00517 "Mitigated Alternative"

Dear Mr. Burnes:

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Our Association has received further technical data following review by our Geotechnical Expert, and is prepared to propose a reasonable alternative and feasible alternative for specific study to the proposed project.

The information suggests that a good deal of the site consists of existing very steep cut slopes (approximately 1.5:1, horizontal:vertical) approaching 100 feet or more in height above Ascension Dr. and Bel Aire Road. Native slopes are generally moderately steep, (20 - 40% inclination). The existing slope demonstrates extensive erosion in several areas, and several areas of instability are noted nearby.

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January 21, 2004

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Page 4

Terry Burnes

January 21, 2004

Sincerely

Gerald McClellan Land Use Committee

Baywood Park Homeowner's Association

cc: Gabrielle Rowan, Planner

cc: Cotton, Shires and Associates, Inc.

GM:gm

### GERALD McCLELLAN 1899 PARROTT DR., SAN MATEO, CA. 94402

January 12. 2004

Terry Burnes, Planning Administrator Planning and Building Division 455 County Center, 2<sup>nd</sup> Floor Redwood City, CA 94063

RE: Thomas Subdivision #PLN 2002-00517

Regarding the above project, our Association is formally requesting a copy of the proposed Scope of Work document which will be presented to the Board of Supervisors for approval, in addition to the approved Contract for the Environmental Impact Report.

We would appreciate receiving this proposed Scope of Work document in a timely manner prior to it's being presented to the Board, so that we may review and comment appropriately.

By way of this letter, we are also advising that we will be submitting a specific Mitigated Alternative, with supporting documents, for study by the EIR Consultants, in the near future.

Sincerely,

Gerald McClellan

Land Use Committee

Baywood Park Homeowner's Association

(650) 345-9930

cc: Gabrielle Rowan, Planner

## GERALD McCLELLAN 1899 PARROTT DR., SAN MATEO, CA. 94402 BAYWOOD PARK HOMEOWNER'S ASSOCIATION

January 21, 2004

BY: FAX & Mail

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Page 4 Terry Burnes

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Gerald McClellan Land Use Committee

Baywood Park Homeowner's Association

cc: Gabrielle Rowan, Planner

cc: Cotton, Shires and Associates, Inc.

GM:gm



January 21, 2004

Gerald McClellan Baywood Park Homeowners Association 1899 Parrott Drive San Mateo, CA 94404

Dear Mr. McClellan:

#### ENVIRONMENTAL SERVICES AGENCY

**SUBJECT:** Thomas Subdivision - County File No: PLN2002-00517

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Agricultural Commissioner/ Sealer of Weights & Measures

Please let me explain the order of events in the EIR process in order to clarify matters for your Association. The contract with the EIR consultants was approved in June 2003 in order to enable the consultants to commence and proceed with their work. The Board of Supervisors did not need to approve this contract as it was under a certain dollar amount threshold.

Animal Control

Cooperative Extension

Fire Protection

LAFCo

The purpose of the EIR scoping session held in December 2003 was to better define the scope of the EIR and elements to be included in the Draft EIR rather than to form a specific contract for the EIR consultants. The next step is for the Draft EIR to be published to address those issues raised at the scoping session and the NOP responses. Interested parties will have an opportunity to comment on the adequacy and scope of the Draft EIR at that stage. There will be a 45-day comment period for the Draft EIR as set by CEQA and a public hearing will be held during that time. This will take place within the next few months.

If you have any further questions please do not hesitate to call me at 650/363-1829.

Sincerely

Library

Gabrielle Rowan

Parks & Recreation

Project Planner

c.c. Marcia Raines, Director of Environmental Services

Terry Burnes, Planning Administrator

Planning & Building Geoff Reilly, CAJA

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Animal Control

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RE: Thomas Subdivision #PLN 2002-00517 "Mitigated Alternative"

Dear Mr. Burnes:

In accordance with agreement between communities in this area and the County at the preapplication workshops, we are submitting in this document alternatives for inclusion in the Scope Of Work for study and analysis in the EIR on the proposed project.

The proposed development has provoked considerable concerns which were brought to County attention in such areas as short and long term cumulative impacts, health hazards, geotechnical safety, design standards, fire safety, efficient police patrols, community character, traffic, visual impacts, and so as previously recorded.

Our Association has received further technical data following review by our Geotechnical Expert, and is prepared to propose a reasonable alternative and feasible alternative for specific study to the proposed project.

The information suggests that a good deal of the site consists of existing very steep cut slopes (approximately 1.5:1, horizontal:vertical) approaching 100 feet or more in height above Ascension Dr. and Bel Aire Road. Native slopes are generally moderately steep, (20 - 40% inclination). The existing slope demonstrates extensive erosion in several areas, and several areas of instability are noted nearby.

Basic concerns include the proposed grading and drainage design, which do not appear consistent with currently accepted 1997 National Uniform Building Code (UBC) requirements, in that:

Lots 14-17 would appear to be uniformly re-graded to exceed an inclination of 2:1, approximately 70 feet in height. UBC typically requires slope terraces and drainage interceptor ditches at maximum 30 foot vertical intervals.

Lots 14-17 would require substantial additional grading, with cut slopes on the order of

20 feet in depth below the currently proposed grades to allow construction on these sites.

Lots 19-24 would appear to be re-graded to inclinations of close to 1.5:1. These very steep slopes may not be consistent with suitable building pads found in the general Bay Area.

The very steep existing slopes in the vicinity of Lots 19-25 may also require similar additional grading to notch any structures into the slopes. The resulting structures and necessary cripple walls developed down the steep slopes, would present a significant visual mass. The connecting driveways would cross inclinations of 1.5:1 slopes.

The UBC grading requirements have evolved over time, resulting in progressively more conservative design practices. Because of generally poor performance of cuts completed at such steep inclinations, UBC grading requirements have been revised to generally limit new cut slopes to a maximum inclination of 2:1. Additionally, building setbacks g have been adopted from the top and toes of graded 2:1 slopes, and included specific minimum terracing and drainage improvement requirements.

The current proposal does not give considerations for the following:

New slopes, intended for residential construction, should not be created which are steeper than inclinations of 2:1.

Establishing minimum building setbacks from the tops of grades exceeding 2:1, consistent with UBC requirements, and construction should not be allowed across such slopes.

Coordination of necessary and effective slope drainage control measures between properties if individual lots are sold and developed by separate owners.

While the developer's Geotechnical study, as far as it went, was conducted in a manner consistent with prevailing standards, the potential for topographic amplification of seismic ground shaking, with mitigation measures appears to be an area of consideration. Construction across such steep slopes is likely to result in increased damage levels to future residences under seismic ground shaking conditions. As slopes become steeper, the foundations and shear resistant design elements that anchor buildings to slopes become more severely tested under ground shaking conditions.

In view of the significant environmental issues, the communities have determined a need to have two alternatives studied in the EIR. Both alternatives mitigate the impacts from the project proposal. The first alternative for study for five single family houses would be consistent with

currently accepted UBC requirements and potentially answer serious questions for the following reasons:

- 1. The identified steep slopes would not be utilized for building, substantially reducing the required grading costs, and resultant health and safety issues which the developer proposes to be born by this older established neighborhood..
- 2. Significantly less truck and construction traffic.
- 3. Safe building setbacks could be maintained, and would be Geothechnically preferred, reducing slope maintenance and liability.
- 4. There would be significantly less drainage issues if the developer were responsible for effective drainage control measures co-ordinated between individual lots.
- 5. This alternative incurs minimal long term liability for all affected parties, especially to the County and the taxpayers.
- 6. There would be significantly less engineering costs.
- 7. The roads could be appropriately and properly widened allowing for parking, which is prohibited in this proposal, and reducing the conflict with fire safety equipment (as occurred on the narrow streets during the recent Oakland fire), and allow for safety equipment to turn around.
- 8. Building design could be consistent with the existing neighborhood, and the architecture could provide for a neutral visual effect, maintaining the aesthetics of this hillside area which defines the community character.
- 9. Economically, the developer could still realize a reasonable profit from their investment.

Area communities also want a second alternative studies: land donation, with financial benefit to the owners. This alternative clearly mitigates all liabilities of the proposed project. Both short and long term tax benefits accrue to the owners for donation of the property. We would be happy to facilitate acquisition of information for EIR study of this alternative.

Please let me know if you need any further information to facilitate inclusion in the EIR of these alternatives to the current proposal.

Page 4 Terry Burnes

Sincerely

Gerald McClellan
Land Use Committee

Baywood Park Homeowner's Association

cc: Gabrielle Rowan, Planner

cc: Cotton, Shires and Associates, Inc.

GM:gm



205 De Anza Boulevard, Box 43 Crystal Springs Shopping Village San Mateo, CA 94402-3633

To: Mr. Terry Burnes

From: Peggy O'Brien-Strain, President

Date: October 16, 2003

Thank you again for taking so much of your time this morning discussing the Public Scoping Meeting on the Thomas Subdivision (PLN 2002-00517).

As you know, given commitments made by Miroo Brewer in your office at the preapplication meetings for this project, our association expected to participate in the planning, coordination and scheduling of the public scoping meeting, to ensure that the serious concerns of our homeowners regarding the impact of the proposed project would be adequately addressed in the scope of the EIR. BPHA expressed in writing early this summer our availability on this issue, but our first notice of the plan for the meeting was the October 10<sup>th</sup> Notice of Preparation, starting the 30 day notice period and scheduling the October 27<sup>th</sup> meeting.

This letter confirms my understanding that (1.) at this time, you do not feel bound by the commitments made by your staff at the pre-application meetings and (2.) your office is not willing to cancel the meeting and reschedule it in consultation with our association and other interested homeowners.

Based on this understanding, we will confer with Supervisor Church's office to explore other options. In any case, I trust that we can work together to make sure the neighbors' concerns are appropriately considered and still maintain a civil and constructive dialogue as this project moves through the process. Please feel free to contact me at (650) 346-7347 or pobrain@pacbell.net or Gerald McClellan at (650) 345-9930.

Sincerely,

Peggy O'Brien-Strain

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President

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\* Notification. expand radius limit.

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Better facilate public input as project.

Dec, 1 2003 - unite comments.

At the Public Scoping Meeting held on May 15, 2001, there was a request for staff to outline the subdivision and EIR process the proposed subdivision projects will be subject to. The following information should be used as a guide only, however, it may be helpful in understanding how the process works.

#### 1. Project Submittal

- a. The projects are submitted to the Planning Division for review
- b. The project planner sends out copies of the proposal to all reviewing agencies, including Public Works, Building, Fire, Homeowners Association, Sphere of Influence city (San Carlos) etc.
- c. Planner receives initial comments from agencies.
- d. Planner completes an initial study checklist to determine appropriate environmental review process. (EIR determined)

#### 2. Environmental Impact Report (EIR) Determination

- a. Once the Planner determines an EIR is appropriate, the planner sends out an Request for Proposal (RFP) requesting various environmental consultants if they would be interested in completing the environmental document.
- b. Interested consultants send in their proposals, which include issues the environmental document would cover as well as both time and cost estimates for completing the work.
- c. Consultants who submit proposals are interviewed by a panel of County Planners
- d. One consultant is selected
- e. The selected consultant enters into a contract wit the County of San Mateo for completing the Environmental Impact Report.

#### 3. Preparation of the EIR

- a. Once the contract is complete, the County and selected consultant begin the EIR process.
- b. The consultant completes an Initial Study checklist, which will help determine exactly what issues will be addressed by the document.
- c. A Notice of Preparation (NOP) of an EIR is sent out to all agencies and interested parties to inform them that an EIR will be prepared for the project. The document is circulated for 30 days to allow time for comments from those agencies and interested parties.
- d. During the NOP circulation period, an optional public scoping meeting can be held, within the vicinity of the project site; to allow an opportunity for the agencies and interested parties to attend and vocalize their comments on the Initial Study and help to define the scope of the EIR. (This meeting was held on May 15, 2001 at Saint Matthias' Church on Cordilleras Rd.)

- e. Ongoing throughout this time, the selected consultant is preparing various aspects of the EIR, including the analysis of any impacts determined to be significant in the Initial Study.
- f. An Administrative Draft EIR (DEIR) is prepared and delivered to the County for review by County staff.
- g. Consultant responds and addresses County staff's comments on the Administrative DEIR.
- h. A DEIR is prepared by the consultant and circulated by the County. Copies of the DEIR will be sent to all interested parties and agencies.
- i. The DEIR is circulated for a period of 45 days to allow time for comments. (This is the time to put your comments in writing and send them to either County staff or the EIR Consultant.)
- j. A Notice of Completion (NOC) is filed with the Office of Planning and Research (OPR) once the DEIR is completed.
- k. Once the public review and comment period for the DEIR is complete, the consultant begins addressing any comments received and prepares a written response.
- 1. The Final EIR is prepared which includes the written response to comments received on the DEIR.

#### 4. Public Hearings

- a. Once the Final EIR has been prepared for the projects, the EIR may be taken before a public hearing body, The Planning Commission, for certification. This is a public hearing and provides the opportunity for any interested party to provide their comments regarding the environmental document to the Planning Commission directly.
- b. If the Commission certifies the EIR the projects themselves may be presented to the decision makers for a decision. In this case, the proposed 13-lot subdivision requires approval from both the Planning Commission and the Board of Supervisor's whereas the proposed 5-lot subdivision only requires approval by the Planning Commission.
- c. A number of hearings may be required before a decision can be made. The certification of the EIR may require multiple public hearings. The number of public hearings with regards to the review of the actual projects may also be multiple. Every public hearing will be noticed, so that everyone involved will have the opportunity, if desired, to be a part of that process.



June 10, 2003

Board of Directors
Baywood Park Homeowners' Association
1899 Parrott Drive
San Mateo, CA 94404

Dear Sirs:

SUBJECT: San Mateo Real Estate Inc. Subdivision

Ascension Drive (County File No: PLN 2002-00517)

#### ENVIRONMENTAL SERVICES AGENCY

Thank you for your letter dated April 10, 2003 sent to Miroo Desai Brewer with regard to the proposed Ascension Height Subdivision Development and, in particular, the two public workshops held on this matter.

Agricultural Commissioner/ Sealer of Weights & Measures At both meetings, a sign-in sheet was provided in order to record the names of interested people attending the meetings. At the first meeting on March 7, 2002, 72 individuals signed in, and at the second meeting held on May 30, 2002, 40 individuals signed in. The summary letter, dated January 27, 2003, sent to all interested parties listed the issues that were discussed at both meetings.

Animal Control

The next stage in this process is to organize the scoping session in relation to the Environmental Impact Report, following the hiring of Christopher A. Joseph and Associates to undertake the report. Please provide any suggestions your Association may have for an appropriate venue for this scoping session.

Cooperative Extension

May I also take this opportunity to inform your Association that this project has been reassigned to Gabrielle Rowan in the Planning Division following the departure of Miroo Desai Brewer from the County. If you have any questions or need additional information on this project, please contact Gabrielle Rowan at 650/363 1829.

Fire Protection

Sincerely,

LAFCo

Library

Terry Burnes

Planning Administrator

Parks & Recreation

Planning & Building

TB:GER/kcd - GERN0813 WKN.DOC

cc: Supervisor Rich Gordon

Supervisor Jerry Hill

Marcia Raines, Director of Environmental Services

Dennis Thomas

Gabrielle Rowan, Project Planner

PLANNING AND BUILDING

- o brokerage
- o construction
- o development
- o CA Lic. #581591

Second

TUBLIC WORKSHOP

5-30-02

## PLEASE SIGN IN

Meeting 05/30/02

PW 2001-00759

		NAME	ADDRESS	PHONE
	1.	G.M°CLELLAD	1899 PARROTT DR	345-9930
	2,	Donald Welch	1550 Parrott Dr.	
	3	Else Wilde	(1	
	4	FRANK Struster	1583 ASCENSION	3456462
	5	Silma P. Walker	155 Starlite Drive	5
	6	nerlyn Beeman	1526 Parrott Dr.	
	7	Jack Beemon	1526 V	
	8	ROBERT YAMAMOTO	1368 PARROTT DR.	
	9	SONIA ISAAC	1581 ASCENSION DR.	574-4619
	10	HAROLD ISAAC	1581 ASCENSIEN DR.	4
SKUSALOR.	11	PICHARD COLS	1431 TARRYTOWN ST.	345-0567
·	12	PAULINABRUSA	JOP, 1859 PARROTT	345-7822
J. F	13	KEVW Manneger	1852 PARTITOTO DR	341-5277
	14	Pauline Yoshida		349-1709
· · · · ·	15		1414 Bel Arre Rel	578-8373
tank .	IJ.	Dak Phelipi	1675 Parrott Dr	345-6843
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	18	DEAN MARTICA	64 Valley Yew CT	573-9594
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Hunds	_21	C/M. Santsberger	1444 Bel auc '	34-8060
Luge	<b>~22</b>	Will PINNEY	1624 Yorkson Rd	345-2546
Ø	23	Russ Wright	1574 Parnott Dr.	345-7454
	24	ELSIE WRIGHT	US74 PARROTT D	345-7454
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# San Ivateo 1001 estate inc.

- o brokerage
- o construction
- o development
- o CA Lic. #581591

## PLEASE SIGN IN

Meeting 05/30/02

	NAME	ADDRESS	PHONE
24	Rajusey Kawar	1883 Pallott Drive	377-0208
-17	Not Grealoy	131-LAKESHORE DRIVE	341-2484
28	Eamon & Peggy O'Brien-Str	ain 107 Starlite	525 1139
સર્વ	ashleightagu	1383 Bel au	573-2544
	Ant from teach	1527 Lamott Droue	345-7772
31	Staggy 1 Det Prost		345-0594
32	Cliff Donley	30 Shelburne Place SM	349-5290
33	Rich TORRES	1506 ASCENSION DR	573-1015
34	Helen Hann	1383 Excharter Wg	571-1197
35		1944 Parroll Dr.	345-8949
36	STEVE & BARBARA MIKULIC		574-1923
37	JAM NAIREH	2059 NEW BRUNSWICKER	5728787
38	BOB LEGALLET	1347 RAINBOW DRIVE,	650/345-1990
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San Mateo Real Estate, Inc. 1777 Borel Place, Suite 330 San Mateo, CA 94402 650-578-0330 ~ Fax 650-578-0394 Meeti , Date: March 7, 2002

	Name,	Address	Telephone
1.	RICHARD COLE	143/ TARRYTUWN ST.S.M.	345-0567
2.	ACK & JAME LEDDY	1860 PARROTT DU 5/h	341-0104
<b>3</b> .	JIM CASTAGNO	124 STARLITE DR SM	574-0102
4	Old MRS RAY FILE		345.0643
5	Wil Pinney	1624 Yorktown Ragyson	
6	FRANIZ Shisslen	1583 Ascension De 94402	345 6462.
7	M Water	1500 ascension DA SM	341 2314
Е	HAL KUCHA	1760 LOS ALTOS DR SHAY45	1349-7354
9	GLERALD MCCIELLAN	1899 PARROTT DR SM	345-9930
10	TWE STRAUGH	108 C.S.H. DR SH 9440	1514-8970
H	Clift Donley.	30 Shelburne Place SM	349-5290
12	JACK + MERIBEEMAN	1526 Parote DR. S.M.	345-7725
13	Mary Loomes	1487 Faryott Mr	345-8012
14	Suchard aren	1699 Enjurion 5M	341-1878
15	1000 MARIE O'Koreke	124 CSM (De. S.M	345 8163
16	STEVE & BARBARA MIKULIC	132 CSM DR SM	574-1923
174	D'Neil	2105 Los Alter	570 -4695
18	ROBERT WINTERS	56 VALLEY VIEW OF SM	349-6905
19	KENNETH B. WESER	1450 PARROTT DR JM	345 7325
20	DON FEISE WELCH	1550 PARROTT DR S.M.	349-7832
21	Chucket Sarah Fanelli	1335 Parroll Dr. S.M.	345-4226
a٦	Jean A. Kidera	1432 Bel Aire Rd SM	341-0487
23	Lougna Bhockton	1438 11 11 11	341-4304
24	Gordy Stovel	1486 PAROSTRE.	341-0391
25	SONIA ISAAC Y HAROLD	1581 ASCENSON DR.	574-4619
24	MARK UNLIAMS	1414 BEL AIRE	578-8373
27	Frankfind & Baker	1498 Parrott	345-1452
28	Lee & Mass to Buss	1561 Ascension Or	573,9296
29 20	Karen Chew	116 CSM Dr	570-6869
30	Al Jones	1581 COWOTT PV	574-3055
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San Mateo Real Estate, Inc. 1777 Borel Place, Suite 330 San Mateo, CA 94402 650-578-0330 ~ Fax 650-578-0394 Meetil Date: March 7, 2002

	Name	Address	Telephone
38	5. Mc Kraw =	1944 Parrett Dra SM94	3458949
39	Defle Comment from	mas 1480 Del auce Ration	345-7682
40	Marika Camus	1524 ascension	349-4231
41	be fu Buono	1111 - Paprett Dr	341-5745
42	lack forson	1875 Parrett Dr.	572-8281
43	A Men their	1343 Bel aine	570-S132
44	Rich Voeres	1506 ASCONSION DR	573 1015
45	Sem Mart	2059 New Driverdich	5728787
46	Peter Company	15th Ascension Ur.	574-1277
47	Digue Courance	9440	
48	Linda Ozanae	1434 Enchanted Way	572-1652
45	Sern Boack	1456 Bel Are Xl	345-3277
50	Shery Edward	1601 Ascensiin Dr.	349-3132
51	January 16	1538 PARROTT DR	906.8332
52	-1		345-7459
54	Elsi Wnehr	1579 4 u a	342-1437
55	RUSS Windin Wendy Woodard	1367 Parrott DIE SM 94402	286-0607
56	Enis Doniskonson	1515 PARMOTT DR.A	57/-8377
57	TIM HADT	1474 ASCENSION DE.	341-7643
58	Names Goodman	2228 Coldenill Pl. SM 9470	
59	CRAIG NISHIZAKI	1474 PARROTT DR. 99	
60	Ray Johnson	1398 PARROTT Dr. 949	0111 07/1
61	Loretta Pagani	16 Valler View ct. SM 9440	- 1 -
62	ROBERT K. YAMAMOTO	1368 PARROTTDR, SM 94462	543-9031
63		2035 Queens Ln, 94402	424-5885
14	Rlice Carnart	1935 Triand crops Dr	349- 7315
		Ticon deroga M. 9440	
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		new BRUNSWICK DR	
		94402	
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## ROBERT W. WINTERS 19525 KNEEBONE LN PENN VALLEY, CA 95946-9723

(530)432-9876

March 27, 2003

Miroo Brewer, Project Planner
San Mateo County - Planning & Building
455 County Center 2<sup>nd</sup> Floor
Redwood City, CA 94063

Regarding the proposed subdivision on Bel Aire at Ascension, San Mateo.

Dear Ms Brewer:

56 Valley View Ct was my residence for 35 years, prior to moving to Penn Valley in the fall of 2002. I believe I have some insight that may be helpful in the planning and approval process.

I attended both workshops (March 7, 2002 and May 30, 2002) and in addition hosted a neighborhood seminar for interested Valley View Ct. residents. Valley View Ct. is at the foot of Bel Aire Rd.

There are 8 houses on Parrot Dr., which share a backyard property line with the subject parcel.

There are 7 houses on Bel Aire and 10 on Ascension which face directly on the erosion scarred hillside.

Having recently sold my home on Valley View Ct, I am acutely aware that the erosion on that hillside probably has a negative effect on property values on Bel Aire, Ascension, and Valley View Ct. In the process of listing and showing my home I asked several real estate agents what (if any) effect that hillside has on the psychology of a potential home buyer. There was unanimous opinion that it is a negative. How much of a negative is very difficult to define.

I am aware that the homeowners on Parrot Dr. are vehement in their opposition to development of the property. Many of them are long-term homeowners who have enjoyed having an undeveloped parcel behind their homes. In some cases they have, in my opinion, come to believe that the parcel belongs to them and they are willing to fight the development with any available excuse to prevent it. I heard some whoppers at the neighborhood seminars.

I would like to point out that the 7 homes on Bel Aire, 10 on Ascension, and 27 on Valley View Ct would probably benefit by having the eroded hillside fixed and covered with new plantings.

This erosion is at best an eyesore. I enclose some photos I took of the corner of Bel Aire and Ascension and the slope along Ascension. It is UGLY!

Some in the neighborhood have expressed concern at the amount of traffic which would be generated by 22 additional homes with traffic entering Bel Aire. I lived at the point where Bel Aire intersects Valley View Ct. The traffic from 27 homes on Valley View Ct passed by my house everyday for 35 years. I never found it objectionable. The kids on that street manage to play whiffle baseball and football in that street, interrupted by an occasional car passing by. Traffic is not a problem there.

The developer has proposed to build (at no cost to the neighbors) a "tot lot" as part of his development. That presumably will be oriented toward small children. It would be the ONLY facility in the entire area even suggesting a public park. If a young mother in that neighborhood wanted to take a child to a playground now, how far would she have to drive?

In summary, I think the opinions of the proposed development in the neighborhood are a matter of perspective. The Parrot Dr. residents are looking at the front end of the horse – flat and grassy. All the rest are looking at the back end.

If the developer is willing to guarantee the development of the tot lot, the walking trail, and correction of the erosion problem, the neighborhood would benefit from this improvement and I encourage its approval.

Respectfully,

Robert W. Winters

Kelerth alinters

April 10, 2003

To: Miroo Desai Brewer, Project Planner

Environmental Services Agency Planning and Building Division County of San Mateo

From: Baywood Park Homeowners' Association, Board of Directors

Russ Wright, President (650-345-7475)

Peggy O'Brian-Strain, Vice President (650-525-1139)

Kathy Everett, Vice President (650-341-6742) Jerry Ozanne, Vice President (650-572-1652)

Subject: Ascension Heights Subdivision, PLN 2001-00759

Baywood Park Homeowners' Association (BPHA) has 185 current members, whose houses surround the proposed Ascension Height Subdivision development. BPHA actively participated in the Pre-Application Workshop meetings held at the College of San Mateo in the spring of 2002.

We are concerned that your January 27, 2003 memo to the Board of Supervisors describing the two Pre-Application Meetings provides the impression there is a lack of community interest since you state "Approximately 13 people attended the second workshop." on May 30. This is incorrect. The BPHA count for this meeting was between 55 and 65 people—thirteen members of our Board of Directors alone were present at the meeting. More than 100 people attended the first meeting on March 7th.

The BPHA remains very interested in providing input into this development project and we currently are conducting regular meetings to formulate our concerns and recommendations. BPHA asks to participate in the planning of the Scoping meetings focusing the EIR topics. In addition, we would like the Scoping meetings held in the evenings at a neighborhood location with sufficient seating capacity.

Thank you for your assistance and cooperation.

Cc: Marcia Raines, Director, Environmental Services Agency
Terry Burnes, Planning Administrator
Jim Eggemeyer, Development Review Services Manager
Dave Holbrook, Senior Planner
Dennis Thomas
Mark Church, Supervisor
Jerry Hill, Supervisor

Museon

## BAYWOOD PARK HOMEOWNER'S ASSOCIATION, INC. 205 DeANZA BLVD., BOX 43 CRYSTAL SPRINGS SHOPPING VILLAGE SAN MATEO, CA 94402-3633

December 2, 2002

Marcia Raines, Director Environmental Services agency County of San Mateo 455 County Center, Second Floor Redwood City, CA 94063

RE: PLN2002-00517 Ascension Heights Subdivision

Dear Ms. Raines:

It was a pleasure meeting with you recently, along with members of the Highlands Community Association and Baywood Plaza, concerning proposed projects in the western San Mateo foothills. As you are aware, these communities, and others in the hillside and coastal areas, are increasingly concerned with projects being proposed for what may be considered risk laden, or marginal areas. These are vacant lands that were not built on previously due to their steep terrain and unstable geological characteristics inherent to the geology in this area of San Mateo County.

Over time it has become evident that areas of significant slope and grade, when disturbed through construction, has become a liability to all county residents when costs to safety, and to stabilization and restoration must be confronted and shared following catastrophic ground movements. I am sure that your agency is aware that as these locations are noted on the county map they are increasing, and disturbing.

We appreciate you agency's initiating pre-application community workshops with developers to increase awareness and discuss issues. Such was the case with the above noted development when community workshops were held on March 7, 2002, and May 30, 2002. Turnout at these meetings was significant and issues of geo-technical impact were paramount, especially considering the proximity of this development to the very recent slides and repairs at San Mateo Oaks, and Polhemus Road. We were surprised to discover last week that this developer's planning application was submitted over three months ago, and preliminary subsurface investigations already initiated at the site. The applicant's file is devoid of any comments regarding the issues from the pre-planning workshops.

Further, the file contains no information concerning community involvement in a scoping session to define the scope of the EIR, as indicated by staff to be a typical element for such a project. The applicant's tentative site map is also different from that presented and discussed at the workshops. The development footprint is now larger than first proposed, and encompasses even more of the very steep perimeter slopes.

Given the level of concern expressed by residents in this area, expanding the size of the development can only intensify the problems pointed out. The file contains no information of these significant community concerns. It would be appreciated if we could be invited to participate, and be kept advised on a timely basis as this development progresses. Such a request was made at the earlier workshops. Please advise as to when we can meet with you to plan and schedule the public scoping meeting for the EIR

Thank you for your kind attention to this matter.

Sincerely,

Gerald McClellan

Land Use Committee

Baywood Park Homeowner's Association, Inc.

1899 Parrott Dr. San Mateo, CA 94402 (650) 345-9930

cc: Cliff Donley, San Mateo Highlands Community Association

Alan Palter, Baywood Plaza Community Association Jane Knapel, Ticonderoga Homeowners' Association











From:

Gabrielle Rowan

To:

Geoff Reilly

Date:

9/16/2003 12:36:34 PM

Subject:

RE: Thomas Subdivision - Initial Study

Hi Geoff

Thanks for sending another draft of the Initial Study. This is fine.

The NOP form you used on the Edgewood Estates EIR will work well for this EIR too. I am working on the mailing list for the NOP and will forward that to you shortly.

Thanks

Gabrielle

>>> "Geoff Reilly" <geoff@cajaeir.com> 8/21/2003 1:32:22 PM >>> Hi Gabrielle,

Thanks for your comments on the Initial Study. Sorry for the error regarding the Polhemus Scenic corridor; I revised the Draft Initial Study to indicate such based on information contained in the RFP. We will revise the Initial Study within the next week and send you one more copy for final review if you want. You are correct about the NOP. The proposal addendum indicates we are to prepare and circulate the NOP (and Initial Study). It appears Sara used a standard NOP form from the State Clearinghouse for the Edgewood Estates EIR, so that is what we propose to use for the Thomas Subdivision EIR unless you have another preferred format. Would it be possible for you to help us with a mailing list for the NOP? Perhaps it could start with the one used for Edgewood Estates. I look forward to speaking with you when you return from your vacation. Thanks again.

Geoff

----Original Message-----

From: Gabrielle Rowan [mailto:GRowan@co.sanmateo.ca.us]

Sent: Thursday, August 21, 2003 12:18 PM

To: Geoff@cajaeir.com

Subject: Thomas Subdivision - Initial Study

Geoff,

Thanks for sending a copy of the Draft Initial Study. It is very comprehensive and covers all the points we were discussing during our last meeting. I have only a few minor comments as follows:

Page 1: Date Env. Form Submitted - August 28, 2002

Page 11: Last paragraph refers to design review. There is no design review in this zoning district. The individual houses will require building permits only and there will be no discretionary planning review process.

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In relation to the NOP, I was reviewing your cost proposal and the preparation of the NOP was included in your revised letter dated April 16, 2003. I know at our last meeting it was discussed that we would be do the NOP and circulate it. I am on vacation next week, returning to the office on September 3 - so maybe we can discuss this more then and start arranging the scoping session.

Thanks

Gabrielle

From:

Mary Raftery

To:

Brewer, Miroo; Raftery, Mary

Date:

7/17/02 11:17AM

Subject:

Re: Liability Issues/San Mateo Highlands

Miroo -

Here is a suggested response for you to insert in your report. Please feel free to edit.

"Members of the community have asked who would ultimately be responsible if in the future there is landslide as a result of the development. Staff consulted with County Counsel and was advised that the County itself would not be liable for issuing permit approvals under State Law immunities. However, the County would require the applicant to obtain a geotechnical review permit. Under that process, the applicant's geologist or civil engineer would be responsible for certifying the integrity of the proposed plans for development."

Mary x4795

>>> Miroo Brewer 06/11/02 05:43PM >>> Mary:

I conducted two pre-application workshops for a 22-lot subdivision in the San Mateo Highlands area (Bel Aire and Ascension). The proposed development is on a hill.

During the first workshop, several questions came up regarding who would ultimately be responsible if in the future there is landslide as a result of the development. Our response was that such questions would need to be posed to the PC (final decision-maker in this case) at which time the Counsel would provide appropriate response. During the follow-up workshop, the liability issue again came up and some of the key players in the area were of the opinion that a legal response would be appropriate now rather than later particularly if it was unfavorable to the developor.

The anxiety among the community members regarding potential hill failure is primarily as a result of the Polhemus slide that took place a few years ago. Please let me know what your initial thoughts on this issue are. Thanks.

Miroo

CC:

Burnes, Terry

From:

"Geoff Reilly" <geoff@cajaeir.com>

To:

"Gabrielle Rowan" <growan@co.sanmateo.ca.us>

Date: Subject: 5/23/2003 4:23:18 PM FW: Thomas Subdivision

Hi Gabrielle.

Below is an update from our traffic consultant regarding study intersections and traffic counts. Based on our last conversation and the information below, it appears we will need to take traffic counts after June 16. Pls let me know if you have any questions or comments. Thank you.

Geoff Reilly 707/283-4040

----Original Message----

From: Michelle Hunt [mailto:mhunt@hextrans.com]

Sent: Friday, May 23, 2003 3:00 PM

To: geoff@cajaeir.com Subject: Thomas Subdivision

#### Geoff,

I toured the Thomas Subdivision project area last week and believe that we should modify the list of study intersections listed in our proposal. I suggest that we analyze the following locations:

Polhemus/Ascension Ascension/Bel Aire Bel Aire/Project Driveway Parrott/CSM CSM/West Hillsdale

I do not see a need to evaluate Polhemus/SR 92, as previously proposed, because the peak-hour project traffic would number only 5 trips or less at this location. I left a message for Neil Cullen today regarding our scope of work.

I have not yet scheduled any traffic counts for this project as the College of San Mateo finished regular classes for the spring semester on May 16th. Summer classes begin June 16th. I would expect that enrollment for the summer may be lower than the spring and fall semesters so new traffic counts conducted in the summer may be low. If the County can't wait until fall to complete the traffic analysis, we could conduct counts after June 16th, and factor up the counts based on a comparison of summer versus fall enrollment.

Please let me know about the project schedule. Have a nice weekend.

Regards, Michelle

Michelle Hunt Principal Associate HEXAGON TRANSPORTATION CONSULTANTS. INC.

#### Miroo Brewer - Re: Dennis Thomas

From:

Miroo Brewer

To:

Toby, James

Date:

01/06/2003 2:17 PM

Subject:

Re: Dennis Thomas

#### Jim:

Essentially, it would be sophisticated drainage plan that would assess how proposed development, is going to affect the drainage as a result of creation of impervious surfaces. And yes, it would also address the adequacy of proposed storm drain system. Also, you would need to assess the potential impact of landscaping and swimming pools on potential slides.

>>> James Toby <jtoby@LEASUNG.COM> 01/06/03 10:25AM >>> Miroo,

Hope you had a good New Year,

I wanted to be a squeeky wheel and see if you can get me the hydrology requirements for Ascension. Do you want me to just test the adequacy of the existing system with the new developement or do you want me to also test the adequacy of the entire proposed storm drain system? Let me know

#### Thanks

Jim Toby, P.E. Civil Engineer Project Manager Lea & Sung Engineering, Inc. 2495 Industrial Parkway West Hayward, CA 94545 (510) 887-4086 (510) 887-3019 fax From:

Gabrielle Rowan

To:

Geoff Reilly

Date:

6/3/2003 4:27:24 PM

Subject:

Thomas Subdivision

Thank you for sending the additional information to me. The contract is now being drafted and I will keep you updated on the progress.

In the meantime, I do need an original copy of the insurance document you sent to Miroo. The faxed copy is fine to get the draft contract started, however, we need an original prior to the contract being signed.

If you could send this to me and I will forward it to our Risk Management Section.

Thanks

Gabrielle

Gabrielle Rowan Planning & Building Division County of San Mateo 455 County Center, 2nd Floor Redwood City, CA 94063

Tel: (650) 363 1829 Fax: (650) 363 4849

Jim Eggemeyer

To: Date: Gabrielle Rowan

Date.

6/3/2003 9:10:02 AM

Subject:

Re: Thomas Subdivision Contract

That sounds fine to me. What have we done in the past? I don't know, as I let Virginia take care of those details.

(I was going to talk with you face to face, but you left for the field today before I had a chance to see you. If you want to talk, just come and see me.) Thanks.

ike

>>> Gabrielle Rowan 5/29/2003 1:40:01 PM >>>

I am preparing the EIR contract with Virginia for this project and am working on the proposed scope of work for the project to be included in the contract. I propose to keep this brief and attach a section of the Consultants proposal which provides more thorough details (Exhibit A).

The scope of work in the contract will read:

"Contractor will prepare a Draft and Final Environmental Impact Report for the San Mateo Real Estate Inc. Subdivision. A complete scope of work is included in Exhibit A."

The term of the contract will be 12 months from the date of signing with payment on a monthly basis on receipt of billings from the Contractor.

Please advise if this scope or work is okay.

Thanks

Dave Holbrook

To:

Gabrielle Rowan

Date:

6/2/2003 10:54:43 AM

Subject:

Re: Thomas Subdivision Contract

The consultant may not bill monthly, perhaps quarterly. I think their payment schedule is in their proposal. If not, call them & ask. You can always say in this report that payment shall occur as billed by the consultant. Virginia can help with this language.

#### >>> Gabrielle Rowan 5/29/2003 1:40:01 PM >>>

I am preparing the EIR contract with Virginia for this project and am working on the proposed scope of work for the project to be included in the contract. I propose to keep this brief and attach a section of the Consultants proposal which provides more thorough details (Exhibit A).

The scope of work in the contract will read:

"Contractor will prepare a Draft and Final Environmental Impact Report for the San Mateo Real Estate Inc. Subdivision. A complete scope of work is included in Exhibit A."

The term of the contract will be 12 months from the date of signing with payment on a monthly basis on receipt of billings from the Contractor.

Please advise if this scope or work is okay.

Thanks

Gabrielle Rowan

To:

Dave Holbrook; Jim Eggemeyer

Date:

5/29/2003 1:40:01 PM

Subject:

**Thomas Subdivision Contract** 

I am preparing the EIR contract with Virginia for this project and am working on the proposed scope of work for the project to be included in the contract. I propose to keep this brief and attach a section of the Consultants proposal which provides more thorough details (Exhibit A).

The scope of work in the contract will read:

"Contractor will prepare a Draft and Final Environmental Impact Report for the San Mateo Real Estate Inc. Subdivision. A complete scope of work is included in Exhibit A."

The term of the contract will be 12 months from the date of signing with payment on a monthly basis on receipt of billings from the Contractor.

Please advise if this scope or work is okay.

**Thanks** 

Gabrielle Rowan

To:

Geoff Reilly

Date:

7/14/2003 8:20:41 AM

Subject:

Re: Thomas Subdivision Geotechnical Report

Hi Geoff

I have mailed a copy of the applicant's geotechnical report to Chuck Snell today as requested for him to start his review.

Next week would work well for me for the EIR kick-off meeting, perhaps Tuesday or Wednesday. Please let me know if this suits you.

I look forward to speaking with you soon.

Thanks

Gabrielle

>>> "Geoff Reilly" <geoff@cajaeir.com> 7/10/2003 3:44:18 PM >>> Hi Gabrielle,

Per my voice mail message on July 10, 2003, if you are okay with us proceeding with the geotechnical review for the Thomas Subdivision EIR, could you please forward a full copy of the applicant's geotechnical report to our geotechnical consultant listed below? Thank you and I look forward to speaking with you in the near future regarding an EIR kick-off meeting, etc.

Gilpin Geosciences Attn: Chuck Snell 2175 E. Francisco Blvd., Suite P San Rafael, CA 94901

Geoffrey Reilly
Christopher Joseph & Associates
101 H Street, Suite Q
Petaluma, CA 94952
707/283-4040
707/283-4041 (fax)
www.cajaeir.com <a href="http://www.cajaeir.com/">http://www.cajaeir.com/</a>

West Los Angeles Office 11849 W. Olympic Blvd., Suite 101 Los Angeles, CA 90064 310/473-1600 310/473-9336 (fax)

CC:

Csnell@Gilpingeosciences.Com

Gabrielle Rowan

To:

Geoff Reilly

Date:

7/23/2003 9:59:47 AM

Subject:

Thomas Subdivision

#### Geoff

Here are the contact details requested at yesterday's meeting:

Bruce Kirk 650/363 4100 - Public Works - information on traffic studies/accident records and also information on slide/road maintenance

Pete Bentley 650/363 1821 - Public Works - information on road standards specifically in relation to review of the proposed subdivision plan

Jay Mazzetta 650/363 1838 - Geotechnical Division - I am working with him to retrieve the requested geotech reports but contact him directly if you need any further information.

Thanks

Gabrielle Rowan

To:

Pete Bentley

Date:

7/22/2003 3:33:51 PM

Subject:

Ascension Heights Subdivision - Dennis Thomas

#### Pete

I had a meeting with the EIR consultants in relation to the above subdivision today and they are requesting a variety of information to assist in the preparation of the EIR. I was wondering if you could help point me in the right direction. They would like the following:

- 1. Information in relation to traffic counts and accident records for County roads in San Mateo Highlands. I have got this kind of information from Bob Cambron previously and was wondering if he would be the correct person and whether I need to get the information from him or whether the consultants can contact him directly.
- 2. Information in relation to any previous slope/road maintenance undertaken by DPW along Bel Aire & Ascension- and again whether I need to get this information from them or if the consultants can request this directly.
- 3. The traffic consultant, Gary Black from Hexagon Transportation Consultants Inc would also like to speak directly with you in relation to the proposed road design i.e. steepness and radius of access road. Would it be okay for me to give him your tel. number so he can direct his questions to you?

Thanks

Gabrielle

#1 CONTACT

BRUCK KIRK

(650) 363-4100

#2 AGAIN

BRUCK KIRK

HAVE THEN GNITACT

BRUCK PIRECTLY

#3 Give His Hy #

#### **AGENDA**

#### Thomas Subdivision Environmental Impact Report (EIR) EIR Kick-Off Meeting (July 22, 2003)

- Items needed from County to prepare EIR (see handout)
- Traffic
- Study Intersections
- Traffic Counts
- Other?
- Geology and Soils
  - Geotechnical Report (previously provided by County)
  - Other?
- Hydrology/Drainage
  - Status of availability from applicant
  - Other?
- Biological Resources
  - Site survey conducted during spring
  - Report pending for EIR
- Initial Study/Notice of Preparation
  - Per RFP, Chris Joseph & Associates to prepare Initial Study
  - County to prepare and circulate NOP and Initial Study
  - Use existing County Initial Study Checklist format
- Scoping Meeting
  - To occur near end of 30-day NOP circulation period
  - Attendance by EIR Project Manager, Traffic Engineer and Geologist
  - Geoff to provide County with list of requirements/needs for meeting (e.g. noticing of meeting, location, recording of meeting, role of applicant and EIR team, sign-in sheet, etc.)
- Project Alternatives
  - No Project
  - Reduced Density Alternative
  - Alternative Design of Subdivision (per on-site constraints if applicable)
  - City of San Mateo Zoning Alternative
- Visual Simulations
  - Up to 5 color visual simulations from: a) Polhemus Road; b) I-280; c) Site access location?; d) Bunker Hill?; e) San Mateo College?
- Schedule
  - Approximately 2 weeks for Draft Initial Study
  - Scoping meeting to occur near end of 30-day NOP period
  - Approximately 8 weeks for Administrative Draft EIR for County Review

Gabrielle Rowan

To:

Jay Mazzetta

Date:

7/22/2003 4:08:24 PM

Subject:

Ascension Heights Subdivision - Dennis Thomas PLN2002-00517

Jay

I am trying to find two old geotech reports in relation to the above site and was wondering if you could help me. The reports are:

- 1. Harlan & Associates, 1981 "Feasibility Geotechnical Investigation, Ascension/Bel Aire P.U.D., San Mateo, CA" (7/8/81)
- 2. Terrasearch, Inc, 1979, "Soil Investigation on Proposed Subdivision, Northeast Corner of Ascension Drive and Bel Aire Road, San Mateo County, CA" (11/12/79, revised 2/15/80)

Do we keep old geotech studies and if so, where will they be??

I have an old planning file reference number - CP81-4 - but I cannot find the file in our basement.

The APN's are: 041-111-020/130/160/270/280/320/360

Any help you can give me would be great - thanks

Gabrielle Rowan

To:

Pete Bentley

Date:

7/22/2003 3:33:51 PM

Subject:

Ascension Heights Subdivision - Dennis Thomas

#### Pete

I had a meeting with the EIR consultants in relation to the above subdivision today and they are requesting a variety of information to assist in the preparation of the EIR. I was wondering if you could help point me in the right direction. They would like the following:

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Thanks

Gabrielle Rowan

To:

Geoff Reilly

Date:

7/22/2003 5:27:40 PM

Subject:

RE: Thomas Subdivision EIR Kick-off Meeting

#### Geoff

It was good to meet you and the project team this morning and to get moving along with this project.

I am working on the additional items that you requested from me. I have requested that the applicant submit additional sets of full-size grading and drainage plans, landscape plans, elevation and architectural renderings, building materials and colors and construction information. As soon as I receive these I will forward them to you.

I do have spare copies of the full-size project plans and a copy of the Hydrology study submitted by the applicant and will mail these to you tomorrow.

I am also gathering information on the various contacts in the Department of Public Works to assist in compiling data in relation to traffic studies/accident data and slope/road maintenance data.

Also, I am looking for the two referenced geotech studies and am working with our Geotechnical division in retrieving these.

In terms of significant pending projects near the project site. There is a private middle school development for 45 students proposed at 201 Polhemus Road (at the junction with Crystal Springs Road). This development obtained a Use Permit approval in June 2003 and currently has an application for a building permit pending. A traffic analysis study was submitted as part of the planning application. If you consider that this may be relevant to the proposed subdivision, I can provide more details for you. There are no other significant pending developments in the surrounding area.

However there is an application which was submitted for a major subdivision, rezoning, grading permit, & General Plan amendment to subdivide a 97-acre parcel to create 26 single family lots & a 40-unit condominium project located on parcels 041-101-280/290 near Bunker Hill Road and Yorktown Road. This application was placed on hold in December 2002 at the request of the applicant before any process or review was initiated and when/if it is reinstated it would be required to start at the beginning of the process. Again, if you need any further details on this I can provide these.

As soon as I have any of the above information I will pass this onto you.

Regards

Gabrielle

CC:

canderson@swsv.com; Csnell@Gilpingeosciences.Com; Gary Black (Gary Black)

## Thomas Subdivision Environmental Impact Report (EIR) Items Needed to Prepare EIR

1.	Full size plans (grading, drainage, utility composite plan, etc.)
2.	Technical Reports prepared for project: a) drainage; 2) geology; 3) Phase I Environmental Site Assessment?; 4)
3.	Aerial photograph or other maps of site if available
4.	Landscape plan if available - NT
5.	Elevations & architectural renderings if available - n
6.	Building materials and colors if available $\sim 0$ .
7.	Approximate start of construction, length of construction, and buildout date (or phasing if applicable) - 0.
<i>\&amp;</i> .	List of pending projects in unincorporated San Mateo County near project site - GOL-
	Updated project description information if applicable (e.g. revised grading, lots, etc.)  No of cubic yords of grading to leave sile.  Now big a truck is required to more earth 943 per 6,000 cubic years of export.
(1)	Zonlig Standards P1/5-8.

## Thomas Subdivision Environmental Impact Report (EIR) Items Needed to Prepare EIR

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- 7. Approximate start of construction, length of construction, and buildout date (or phasing if applicable)
- 8. List of pending projects in unincorporated San Mateo County near project site
- 9. Updated project description information if applicable (e.g. revised grading, lots, etc.)

Ged: 10. Prior reports for site (referenced in Michelucii Geotech rept)

i) Harland Associates, 1981, "Feasibility Geotechnical Investigation, Ascension/Bel Aire P.U.D., San Moteo, CA" (7/8/81)

Z) Terresearch, Inc., 1979, "Soil investigation on Proposed Subdivision, Northeast Corner of Ascension Drive and Bel Aire Rd, San Mateo County, CA"

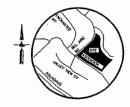
(11/12/79, revised 2/15/80)

> 11. Public Works dota on slope/road maintenance along Bel Aire & Ascension

C.P. 81-4. UP 797.

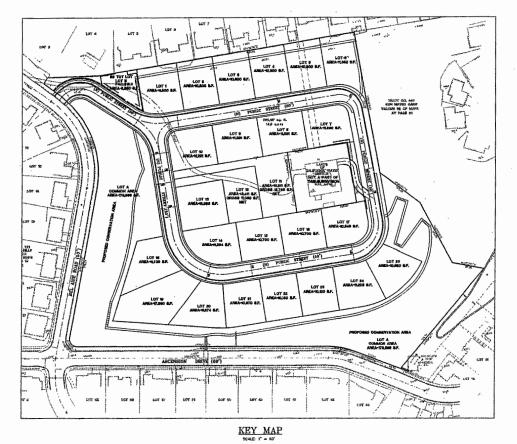
LEGEND

### **ASCENSION HEIGHTS SUBDIVISION** SAN MATEO, CALIFORNIA (UNINCORPORATED)



VICINITY MAP

EXISTING PROPOSED DESCRIPTION STORM DRAW LINE SANITARY SEWER LIN WATER LINE PINE TREE (UNLESS NOTED) (F) TREE LIGHT ON POL 0 O 305.0 ra Cousiñs



PROJECT INFORMATION

SAN MATEO REAL ESTATE & CONSTRUCTION 1777 BORD, PLACE, SUITE 330 SAN MATEO, CA. 94402 PH: (850) 578-0330 CONTACT: DENNIS THOMAS

COUNTY/DISTRICT APPROVALS

S OF TOTAL BEFORE

GAS & BUSCINICA

CRYSTAL, SPRINGS SANITARY DISTRICT CALIFORNIA WATER CALIFORNIA DEPARTMENT OF FORESTRY ATAT CABLE SERVICES

VACANT LOT EXISTING USE:

BENCHMARK

SHEET INDEX

SHEET NO

DESIGN BY: JT C-1

REVISIONS B JOB NO: 2010135

DATE: 8-23-02 SCALE: 1" = 40

ASCENSION HEIGHTS SUBDIVISION AN MATEO, CALIFORNIA

SAN

MAP

TENTATIVE SUBDIVISION TITLE SHEET

"Geoff Reilly" <geoff@cajaeir.com>

To:

"Gabrielle Rowan" <GRowan@co.sanmateo.ca.us>

Date:

7/22/2003 5:43:18 PM

Subject:

RE: Thomas Subdivision EIR Kick-off Meeting

Thank you Gabrielle. It was a pleasure meeting with you and Dave today. I failed to drop by Sara's office to say hello as I had another commitment, but will try to do so next time.

To be conservative, I would be interested in reviewing more information regarding the "Related Projects" near the Thomas site. Both seem close enough to warrant consideration. While the 97-acre project was put on hold, some may argue that it is a "reasonably foreseeable project" that should have been considered in the EIR cumulative impacts analysis. Generally we are interested in: location, status, size (sf, students, units, etc.). Perhaps the applications cover all of this. We will also check with the City of San Mateo for other applicable related projects. Thanks also for your help with the other materials. I have all of the other County General Plan, subdivision regulations, etc., so we are off to a great start.

Sincerely,

#### Geoff

----Original Message-----

From: Gabrielle Rowan [mailto:GRowan@co.sanmateo.ca.us]

Sent: Tuesday, July 22, 2003 5:28 PM

To: geoff@cajaeir.com

Cc: csnell@gilpingeosciences.com; gblack@hextrans.com; canderson@swsv.com

Subject: RE: Thomas Subdivision EIR Kick-off Meeting

#### Geoff

It was good to meet you and the project team this morning and to get moving along with this project.

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As soon as I have any of the above information I will pass this onto you.

Regards

<SMREdt@aol.com>

To:

<growan@co.sanmateo.ca.us>

Date:

8/28/2003 3:42:00 PM

Subject:

Ascension Project

Gabrielle,

I need to notify some folks as to the status of my application for the subdivision. Miroo would print out of your computer a summary of the milestones that had been reached. Could you do one for me? Either email it to me or fax to my office. Fax is (650) 578-0394.

Thank you.

**Dennis Thomas** 

Gabrielle Rowan

To:

Geoff Reilly

Date:

8/21/2003 12:18:28 PM

Subject:

Thomas Subdivision - Initial Study

Geoff,

Thanks for sending a copy of the Draft Initial Study. It is very comprehensive and covers all the points we were discussing during our last meeting. I have only a few minor comments as follows:

Page 1: Date Env. Form Submitted - August 28, 2002

**Page 11:** Last paragraph refers to design review. There is no design review in this zoning district. The individual houses will require building permits only and there will be no discretionary planning review process.

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Thanks



July 23, 2003

Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952

Dear Geoff:

#### ENVIRONMENTAL SERVICES AGENCY

#### SUBJECT: Thomas Subdivision

Following our meeting yesterday, please find enclosed the following materials as requested:

Agricultural Commissioner/ Sealer of Weights & Measures

- 1. Full size project plans;
- Hydrology report;

Animal Control

- 3. Application materials submitted for the proposed Highlands Estates Subdivision;
- 4. Decision Letter and Staff Report for the proposed Odyssey School at 201 Polhemus.

Cooperative Extension

I am working on the other requested materials and will forward these in due course. Please let me know if there is any other information you require at 650/363 1829.

Fire Protection

Sincerely,

LAFCo

Gabrielle Rowan

Library

Project Planner

Parks & Recreation

Planning & Building

Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952

Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952

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Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 Geoff Reilly Christopher A. Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952

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TAV	-		Date:	5/4/03 9:24 AM
<b>FAX</b>			Number of p	ages including cover sheet: 3
Eb: From:	FIA		From: (v.	Diane Hogan
Attention: Phone: Fax Phone:	Lucy Nakanishi 626-792-2321		Phone: Fax Phone:	(310) 473-1600 (310) 473-9336
CC:	020-792-2321	<del></del>	Pax I none.	(310) 473-9330
Project:	Thomas Subdivision			
Remarks:	☐ Urgent ⊠ For you	ır review	☐ Reply A	4SAP
	axed the attached Certificate of Insuit files; a faxed copy is not acceptable		mail an origina	al copy to:
County of San	ilding Division Mateo nter, 2 <sup>nd</sup> Floor		i Diam	e-original to day!
Thank you for	your assistance in this matter.	1	Melle.	(195)
Sincerely,				What all
Diane Hogan,	Office Manager			

#### Certificate of Insurance

11/4/45/45	1 of 1 #M90422
Agency Name and Address: Professional Practice Insurance Brokers, Inc. 2030 Main Street, Suite 350 Irvine, CA 92614-7248	THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED THE POLICIES LISTED BELOW.
Insureds Name and Address: Christopher A. Joseph & Associates 11849 W. Olympic Blvd. #204 Los Angeles, CA 90064	Companies Affording Policies: A Lloyd's of London B. C. D. E. F.

COVERAGES: THIS IS TO CERTIFY THAT POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN. THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS, AND CONDITIONS OF SUCH POLICIES.

	TYPE OF INSURANCE	POLICY NUMBER	EFF.DATE	EXP.DATE	POLICY LIMITS	
	GENERAL LIABILITY  Commercial General Liability  Claims Made  Occurrence  Owner's and Contractors  Protective				General Aggregate: Products-Com/Ops Aggregate: Personal and Adv. Injury: Each Occurrence: Fire Dmg. (any one fire):	
	AUTO LIABILITY  Any Automobile  All Owned Autos  Scheduled Autos  Hired Autos  Non-owned Autos  Garage Liability				Combined Single Limit: Bodily Injury/person: Bodily Injury/accident: Property Damage:	
	EXCESS LIABILITY  Umbrella Form  Other than Umbrella Form				Each Occurrence: Aggregate:	
	WORKERS' COMPENSATION AND EMPLOYER'S LIABILITY				Statutory Limits Each Accident: Disease/Policy Limit: Disease/Employee:	
A	PROFESSIONAL LIABILITY*	PL000191Q002	01/20/05	01/20/06	Per Claim         \$1,000.           Aggregate         \$1,000.	
					\$0	

Description of Operations/Locations/Vehicles/Restrictions/Special items: RE: THOMAS SUBSIDIVISION.

\*Written at aggregate limits of liability not less than amount shown.

#### Certificate Holder:

County of San Mateo Attn: Miroo Desai Brewer 455 County Ctr 2nd Flr Redwood City, CA 94063 THE AGGREGATE LIMIT IS THE TOTAL INSURANCE AVAILABLE FOR CLAIMS PRESENTED WITHIN THE POLICY FOR ALL OPERATIONS OF THE INSURED.

#### CANCELLATION:

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELED BEFORE THE EXPIRATION DATE THEREOF, THE ISSUING COMPANY, ITS AGENTS OR REPRESENTATIVES WILL MAIL 30 DAYS WRITTEN NOTICE TO THE CERTIFICATE HOLDER NAMED TO THE LEFT, EXCEPT IN THE EVENT OF CANCELLATION FOR NON-PAYMENT OF PREMIUM IN WHICH CASE 10 DAYS NOTICE WILL BE GIVEN.

Authorized Representative:

amorna

02/10/05

Susan Naylor Rose, Kevin

To: Date:

10/20/03 1:35:52 PM

Subject:

Fwd: Thomas Subdivision and Baywood Park HOA

Kevin,

This is regarding the project I mentioned this morning.

>>> Terry Burnes 10/20/03 1:09:00 PM >>>

Marcia, Gabrielle Rowan (project planner) and I talked with Peggy from Baywood Park HOA about noon today. Her request was a staff meeting sometime in the next few weeks with reps from 5 affected HOAs to plan the scoping of the EIR for the Thomas subdivision. Only after that would a scoping period and scoping meeting be set, the latter likely sometime after Thanksgiving.

We offered instead to extend the deadline for written input on the scope of work to December 1st, to reschedule the public scoping meeting to the week of November 17 (from October 27) and to notice a significantly larger area than the 500' radius noticed last time (sufficient to include all of the Baywood Park and San Mateo Oaks HOAs). We would once again notice all the HOAs, as we did before. And we offered to provide additional copies of the notice for the HOAs to use in leafleting their membership if they wish.

She could not commit to our proposal but must check with the 4 other HOAs with whom she is coordinating. She promised to get back to us on that tomorrow. If they agree, then we will proceed to send out a notice canceling the meeting on the 27th and informing folks of the new date. If not, then Marcia will likely be consulting with Supervisors Church and Hill about how to proceed.

Kevin Rose

To:

Burnes, Terry

Date:

10/28/2003 10:09:14 AM

Subject:

Constituent Request

Terry,

If possible, could you please mail out a copy of the plans for the Thomas Subdivision to the following individual as well as include her on the mailing list.

Ms. Winnie Green 1644 Ascension Drive San Mateo, CA 94402

Ph: 650-349-5650

Thank you.

Kevin

CC:

Raines, Marcia

Sout 10/29/03 priarling list + added priarling

"Peggy O'Brien-Strain" <pobrain@pacbell.net>

To:

"Gabrielle Rowan" < GRowan@co.sanmateo.ca.us>

Date:

11/3/2003 1:37:40 AM

Subject:

RE: Ascension Heights Subdivision

If these are the only available dates and you have no interest in further involving homeowners in planning, I guess I prefer the 3rd.

Peggy

----Original Message----

From: Gabrielle Rowan [mailto:GRowan@co.sanmateo.ca.us]

Sent: Thursday, October 30, 2003 5:36 PM

To: pobrain@pacbell.net

Subject: Ascension Heights Subdivision

As requested, here is my email address. Please provide any additional HOA contact information that you may have.

Please let me know your preference for either Monday December 1, 2003 or Wednesday December 3, 2003 for the scoping session to be held at South Cafeteria at College of San Mateo.

Thank you

Gabrielle Rowan

(650) 363 1829

"Peggy O'Brien-Strain" <pobrain@pacbell.net>

To:

"Gabrielle Rowan" <GRowan@co.sanmateo.ca.us>

Date:

11/3/2003 6:54:11 AM

Subject:

RE: Ascension Heights Subdivision

Gabrielle,

Would you please double check with Kevin Rose in Supervisor Church's office before moving forward with any other plans? I know he has been trying to coordinate with HOA's -- I'm not sure you and he are on the same page.

Thanks, Peggy O'Brien-Strain

----Original Message----

From: Gabrielle Rowan [mailto:GRowan@co.sanmateo.ca.us]

Sent: Thursday, October 30, 2003 5:36 PM

To: pobrain@pacbell.net

Subject: Ascension Heights Subdivision

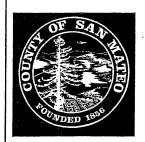
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Thank you

Gabrielle Rowan

(650) 363 1829



#### **Environmental Services Agency**

### Planning and Building Division

## **County of San Mateo**

Mail Drop PLN 122 • 455 County Center, 2nd Floor • Redwood City California 94063 • www.co.sanmateo.ca.us/planning • plnbldg@co.sanmateo.ca.us

Board of Supervisors Mark Church

Mark Church Richard S. Gordon Jerry Hill Rose Jacobs Gibson Michael D. Nevin

Marcia Raines

Director

Terry Burnes
Planning Administrator

650/363-4161 FAX 650/363-4849

Facsimile Transmittal Sheet
Date sent: 11 25 03
To be delivered to: GEOFF REIWY
Facsimile number: 707 283 4041
Sent by: GABLIEL ROWAN
Number of pages to follow Cover Sheet: 8
Message or Special Instructions:
As perentil
Thanks
Cabrielle.

Gabrielle Rowan

To:

Geoff Reilly

Date:

11/25/2003 12:28:18 PM

Subject:

Letter from HOA

#### Hi Geoff

I just wanted to keep you in the loop in relation to correspondence we have received from Baywood Park HOA regarding the Scoping meeting. We have received a list of questions and comments from them which I have prepared a draft response to. I have attached this draft to this email as I would like you to briefly review my answers to their nine questions. I want to just make sure I am not saying anything incorrectly in relation to the process etc. They are also requesting an extension to the December 18 deadline - which is no surprise.

I'll fax over a copy of their letter for your review too. I want to try and send this to them by tomorrow so they have plenty of time to receive and review prior to the meeting.

Thanks

Michele Mitchell <mmitchell@EXAMINER.COM>

To:

'Irma Compton' <ICompton@co.sanmateo.ca.us>

Date:

11/18/2003 7:47:09 AM

Subject:

RE: Notice of Public Scoping Meeting/Revised Notice of Preparation of a Draft EIR

I have received your email and your ad will run on Saturday, November 22, 2003 in all zones.

----Original Message-----

From: Irma Compton [mailto:ICompton@co.sanmateo.ca.us]

Sent: Monday, November 17, 2003 5:31 PM

To: mmitchell@examiner.com

Subject: Notice of Public Scoping Meeting/Revised Notice of Preparation

of a Draft EIR

Dear Michelle,

Please publish the attached Notice of Public Scoping Meeting and Revised Notice of Preparation of a Draft Environmental Impact Report in all your zones on; Saturday, November 22, 2003.

Please send us a confirmation asap.

Thank you, Irma

Gabrielle Rowan

To:

Irma Compton

Date:

11/17/2003 3:48:15 PM

Subject:

**Newspaper Notice** 

Irma - Please can you send the attached to your contact at the Independent Newspaper Group for publication on Saturday November 22, 2003.

Thanks

"Geoff Reilly" <geoff@cajaeir.com>

To:

"Gabrielle Rowan" < GRowan@co.sanmateo.ca.us>

Date:

11/18/2003 3:25:14 PM

Subject:

RE: Scoping Meeting

Hello Gabrielle.

I've addressed each of your questions/points below:

Pls let me know if I can help with anything you are proposing to deal with (e.g. purpose of mtg., etc.). I've attached an outline/script I used on another EIR scoping meeting that you are welcome to review and/or use as you wish. It's pretty concise but addresses the main issues.

It would help if Mr. Thomas provides presentation boards or at least the maps to be put on the wall to aid the public in understanding the project. I can bring up to 3 easels if necessary. Other than presenting the proejct and possibly answering questions about the project. I can't think of anything else the applicant needs to do or provide.

3. I can give an update on the EIR status, etc.

It would be a good idea to bring extra copies of the Initial Study 4. and site plans (reduced).

We should have a sign in list at the front (name, address, ...)

I'll take notes of each commenter regardless if the meeting is taped 6. or not.

The contract requires that our geologist and traffic engineer be 7. present at the meeting. We talked about the meeting not being a Q&A session on environmental impacts, so perhaps they can be available to briefly describe what their scope of work is, etc.

Pls call or email me should you have any questions. Thanks.

707/283-4040

----Original Message----

From: Gabrielle Rowan [ <mailto:GRowan@co.sanmateo.ca.us>

mailto:GRowan@co.sanmateo.ca.us]

Sent: Monday, November 17, 2003 5:44 PM

To: geoff@cajaeir.com Subject: Re: Scoping Meeting

Hi Geoff

Now that the scoping session is definitely set for December 4, 2003 (the notices have been out for a week and I have not received any objections to the date!), we should start discussing the format for the meeting.

As this is my first scoping session, I will refer to you for guidance on this but I anticipate that I will do a short introduction to the meeting giving an outline of the purpose of the scoping session and giving brief details of the project and the process and then introduce Dennis Thomas, who may want to do a brief introduction/background of the project, and introduce

Sign-in shoot.

Spootsups.

Proovder:

description to you.
org. role-ne.
can speakers
keep roles too.

you to do a wrap up of the progress of the EIR so far. Then open up to the public for comments/ concerns.

Dennis Thomas has been asking me if there is anything he needs to prepare in advance of the meeting. I think he should bring presentation boards showing the tentative map and other application materials so that attendees can fully understand the project. I also anticipate that I need to have additional copies of the Initial Study and reduced scale site plans available for attendees who did not receive a copy via mail and maybe a handout outlining the EIR process. Is there anything else that you think may be needed?

The room should be large enough to accommodate everyone and I have arranged for a microphone and podium in case one is needed.

We can discuss the finer details nearer the time but I just wanted to get your initial feedback just in case I need to alert Dennis Thomas to provide any additional information.

Thanks

01/07/03

# SCOPING MEETING Laguna Beach Community/Senior Center EIR Tuesday, January 7, 2003 (6:30 PM)

#### INTRODUCTION

- Good evening and thank you for attending tonight's scoping meeting.
- My name is Geoff Reilly, project manager with Chris Joseph & Associates.
- We have been hired by the City to prepare an Environmental Impact Report ("EIR") for the proposed Laguna Beach Community and Senior Center and Community Clinic.
- At this time I would like to briefly discuss the purpose of tonight's meeting, and the overall environmental review process for the proposed project.

#### PURPOSE OF SCOPING MEETING

- The purpose of tonight's meeting is to allow the public an opportunity to comment on the scope of the EIR.
- As you may know, a Notice of Preparation ("NOP") for the EIR was previously circulated to interested parties and agencies which solicited written comments on the scope of the EIR.
- The NOP provides a preliminary list of environmental issues that will be addressed in the EIR, including but not limited to: traffic, aesthetics, and land use.
- All comments will be carefully considered in our preparation of the EIR for the project.
- We are also recording tonight's meeting and taking notes, so everyone's concerns will be heard.

#### EIR PROCESS

- A Draft EIR will be available for a 45-day public review period within a couple of months.
- During the 45-day review period, you are welcome to submit any comments you may have on the adequacy of the Draft EIR to the City.
- The Draft EIR is required to identify any significant impacts of the project, recommend mitigation measures for such impacts, and to explore alternatives to

01/07/03

the project.

- After the 45-day public review period, a Final EIR will be prepared, which includes responses to written comments submitted on the Draft EIR by the public and agencies.
- Additional public meetings will also be held later in the process on the EIR and proposed project.
- So this is by no means your last chance to participate in the environmental review process for the project.

#### **PUBLIC COMMENTS**

- At this time, I would like to start the public scoping meeting.
- As we are just beginning our EIR analysis, we are not prepared at this time to answer questions about the potential environmental effects of the proposed project.
- Instead, tonight we are interested in hearing any comments you may have regarding the content or environmental issues to be included in the EIR.
- Finally, please state your name and address prior to speaking.
- Thank you

Gabrielle Rowan

To:

Kevin Rose

Date:

11/19/2003 2:43:37 PM

Subject:

Re: San Mateo Oaks

Thanks Kevin - I received the fax and I have sent notices to all ten and have added them to the main mailing list. Six were already on the mailing list so they may receive two notices but better to be safe than sorry.

Thanks

Gabrielle

>>> Kevin Rose 11/19/2003 12:21:52 PM >>> Just received a fax from Mr. McClellan with contact info for San Mateo Oaks folks.

I'll walk it over and leave a copy at the front desk for you. Could you please send a notice to these individuals if they aren't already on the mailing list.

Thanks, Kevin

PAGE 01



### FAX

To: San Matee Cashy  Planning + Brilding Dir.	Date:	12/9/03
A stantian.	Number of Page	s: 3
6a brielle Rowan	From:	Geoff Reilly
CC:		
Phone:	Phone	(707) 283-4040
Fax: 650/363-4849	Fax Phone	(707) 283-4041
	review Renh	ASAP Please Comment
Remarks: Urgent For your r		
Remarks: Urgent For your r		
Remarks: Urgent For your r  Our email 15 5  Mussuges 5	HII down	for outgoing
Remarks: Urgent For your r  Our email 15 5  Mussages 5  the me	tell down & I'm ta, ssage We	for outgoing xing your discussed
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Remarks: Urgent For your r  Our email 15 5  Mussages 5  the me.	All down for Jun for sage we argut. To	for outgoing xing your discussed

confidential. It is privileged communication between the firm and the person named. Any use, distribution or reproduction of the information by anyone than that person is prohibited.

Page 1 of 3

#### Geoff Rellly

From:

Message

Geoff Reilly [geoff@cajaeir.com]

Sent:

Tuesday, December 09, 2003 8:55 AM

To:

Gabrielle Rowan (growan@co.sanmateo.ca.us)

Subject: FW: Thomas Scoping Mtg Follow-Up

----Original Message-----

From: Geoff Reilly [mailto:geoff@cajaeir.com] Sent: Monday, December 08, 2003 5:04 PM To: Gabrielle Rowan (growan@co.sanmateo.ca.us) Subject: FW: Thomas Scoping Mtg Follow-Up

----Original Message----

From: Geoff Reilly [mailto:geoff@cajaeir.com] Sent: Monday, December 08, 2003 5:03 PM To: Gabrielle Rowan (growan@co.sanmateo.ca.us) Subject: FW: Thomas Scoping Mtg Follow-Up

This is my second attempt to send the email message below. One other question for the applicant is: where would all of the construction workers park? Thanks

#### Geoff

----Original Message----

From: Geoff Reilly [mailto:geoff@cajaeir.com] Sent: Monday, December 08, 2003 4:58 PM

To: 'Gabrielle Rowan' Cc: 'Scott A, Johnson'

Subject: Thomas Scoping Mtg Follow-Up

Hi Gabrielle,

Thank you for all of your help at Thursday's meeting. I thought the meeting went pretty well in terms of organization, input from the public, room set-up, etc. Below are some items I want to run by you for your consideration, not in any order of importance:

- The NOP mailing list includes the City of San Mateo. So it appears that they were indeed notified despite what Mr. McClellan suggested.
- Please send me copies of the speaker sheets so I can make copies of them for the EIR appendix, I'm proposing to include the slides from the power point presentation in the appendix as well. A copy of the sign-in sheet would also help.
- PIs also fax the comment letters as they arrive so I can distribute them accordingly to our team.
- 4. Pls review and forward our peer review comments for geology and hydrology to the applicant ASAP to allow them to start responding to our comments. I'm suggesting that their consultants be allowed to speak with ours to help clarify comments and responses to comments.
- 5. We will check our related projects list to make sure all of the projects they listed are in the EIR. We have info for the PUC project, will confirm if the information we have for Chamberlain is for 3 separate sites. whether Verona Ridge Is on the list (the CSM project is already on the IIst)...do you have any information on the Juvenile Hall? I don't think that is on our list.

Page 2 of 3

- 6. Regarding the comment about how trees on an adjacent property have very long limbs that extend onto the project site, I'm assuming that the project applicant by no means can take down any trees off-site (heritage or not) without the consent of the property and/or County, but that the applicant may be able to have such limbs trimmed so they don't present a safety hazard to project site construction or residents, and that such trimming may actually be required of the property owner and not the applicant?
- 7. We should consult on the size of a reduced project alternative as the environmental analysis is further along.
- 8. I'm assuming that the County does not provide any guarantees (in perpetuity) that the project site slopes will not ever fail. Correct? Do you know if the County allows for bonds to be posted for the construction phase in case the project is abandoned by the applicant during construction which would give the County the ability to go in and fix any problems left by the applicant, particularly geotechnical? This issue will likely come up a lot more. Looking ahead, I envision having some "topical responses" in the Final EIR which address issues that keep coming up in comment letters on the Draft EIR, such as slope stability, soil haul truck impacts, guarantee from the County that hill won't slide, etc. So we may want to get an official opinion about "guarantees" from County Counsel that can be relied on throughout the EIR process.
- 9. As a follow-up to No. 6 above, who would be responsible for such damage to off-site properties? I think the off-site owners would have to sue the applicant to prove that the project caused the slide and damage? This is something that County Counsel may also be helpful in addressing.
- 10. Below is a list of information needed from, and questions for, the applicant if available. If not available, we will need to make some assumptions.
  - I believe Mr. McClellan was incorrect in his calculations of truck trips, soil to be graded, etc. The project is not proposing to add roughly the same amount of fill material that is being removed from the site. Only a small fraction would be added in comparison to what would be "cut" from the site. So his truck trip calculations also appear incorrect, although there will be a lot of trucks.
  - While the precise site to export the soil to may change over time due to availability, we need to show in the EIR where the soil would go, or some possible locations. We also need to describe the proposed haul route. Does the applicant's team have any ideas about the soil haul truck route(s)?
  - Approximately what size of haul truck is anticipated to be used for the soil hauling? Mr. McClelland suggested an eight (8) cubic yard truck, but perhaps a 10 cubic yard truck could be used. This is needed to quantify truck trips.
  - In quantifying truck trips, we will assume a five day work week, but trucks won't likely be used later in the
    day based on my experience. So the hours per day might be something like 8AM -3PM? or Less? Would
    grading occur on a Saturday? The more detailed information we can provide for the soil hauling the more
    accurate the EIR will be in quantifying the truck trips and describing impacts from the trucks (e.g. traffic, air,
    noise). A construction plan would help a lot but is not required.
  - I don't recall if I received any input from the applicant in response to our list of needs that was submitted at the EIR kick-off meeting. For example, how long would construction occur? grading?

Those are the main items in my notes that I wanted to pass on to you. Pls contact me if you would like to discuss in more detail; Jim E. said he had a few things he wanted to discuss as well. Thank you.

Geoffrey Reilly Christopher Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 707/283-4040 707/283-4041 (fax) www.cajaeir.com

West Los Angeles Office 11849 W. Olympic Blvd., Suite 101 Los Angeles, CA 90064 310/473-1600 310/473-9336 (fax)

Ventura County Office 31255 Cedar Valley Drive. Suite 222 Westlake Village, CA 91362 (805) 782-9706 (818) 735-8858 (fax) age

#### **Geoff Rellly**

From:

Geoff Reilly [geoff@cajaeir.com]

Sent:

Tuesday, December 09, 2003 8:55 AM

To:

Gabrielle Rowan (growan@co.sanmateo.ca.us)

Subject: FW: Thomas Scoping Mtg Follow-Up

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Sent: Monday, December 08, 2003 5:04 PM
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Subject: FW: Thomas Scoping Mtg Follow-Up

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Cc: 'Scott A. Johnson'

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المرك

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CHRIS JOSEPH ASSOC

09:13

Page 2 of 3

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- 9. As a follow-up to No. 6 above, who would be responsible for such damage to off-site properties? I think the off-site owners would have to sue the applicant to prove that the project caused the slide and damage? This is something that County Counsel may also be helpful in addressing.
- 10. Below is a list of information needed from, and questions for, the applicant if available. If not available, we will need to make some assumptions.
  - I believe Mr. McClellan was incorrect in his calculations of truck trips, soil to be graded, etc. The project is not proposing to add roughly the same amount of fill material that is being removed from the site. Only a small fraction would be added in comparison to what would be "cut" from the site. So his truck trip calculations also appear incorrect, although there will be a lot of trucks.
  - While the precise site to export the soil to may change over time due to availability, we need to show in the EIR where the soil would go, or some possible locations. We also need to describe the proposed haul route. Does the applicant's team have any ideas about the soil haul truck route(s)?
  - Approximately what size of haul truck is anticipated to be used for the soil hauling? Mr. MoClelland suggested an eight (8) cubic yard truck, but perhaps a 10 cubic yard truck could be used. This is needed to quantify truck trips.
  - In quantifying truck trips, we will assume a five day work week, but trucks won't likely be used later in the day based on my experience. So the hours per day might be something like 8AM -3PM? or Less? Would grading occur on a Saturday? The more detailed information we can provide for the soll hauling the more accurate the EIR will be in quantifying the truck trips and describing impacts from the trucks (e.g. traffic, air, noise). A construction plan would help a lot but is not required.
  - I don't recall if I received any input from the applicant in response to our list of needs that was submitted at the EIR kick-off meeting. For example, how long would construction occur? grading? .....

Those are the main items in my notes that I wanted to pass on to you. Pis contact me if you would like to discuss in more detail; Jim E. said he had a few things he wanted to discuss as well. Thank you.

Geoffrey Reilly Christopher Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 707/283-4040 707/283-4041 (fax) www.cajaeir.com

West Los Angeles Office 11849 W. Olympic Blvd., Suite 101 Los Angeles, CA 90064 310/473-1600 310/473-9336 (fax)

Ventura County Office 31255 Cedar Valley Drive, Suite 222 Westleke Village, ĆA 91362 (805) 782-9708 818) 735-8858 (fax)

495 r.cor ilum

"Geoff Reilly" < geoff@cajaeir.com>

To:

"'Gabrielle Rowan" <GRowan@co.sanmateo.ca.us>

Date: Subject: 12/11/2003 3:17:34 PM Thomas Accident Data

Hi Gabrielle,

Do you remember Jim's comment about using CHP for accident data? Our traffic engineer was able to obtain such data from County Public Works.

Also, in discussing the issue of cut-through traffic with the engineer, no one seems to be aware of any construction in the area that would cause such short-cuts. I'm guessing that they (public) believe that cut-through traffic is currently occurring by students, etc., and that the construction phase of the project could exacerbate the situation, perhaps depending on the soil haul route. If you think there is construction in the area that might be contributing to short-cutting, is there a contact person we could call? Again, I tend to think it is (may be) happening without construction. Thanks!

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CC:

"Gary Black (Gary Black)" <gblack@hextrans.com>

Gabrielle Rowan

To:

Geoff Reilly

Date:

12/17/2003 11:15:39 AM

Subject:

**EIR Scoping Session Issues** 

Geoff,

I will make sure I pass on all the requests for information to Dennis Thomas including those listed below in your email and the list we went through during our conference call. I will try to arrange a meeting with him either this week or early next week.

In terms of any ongoing construction in the vicinity of the site which may be the cause of the cut-through traffic, there is some ongoing repair work to Polhemus Road near the junction with Crystal Springs Road - this may have an affect on traffic routes near the project site.

Following up on our call, specifically in relation to the potential requirement for a health risk assessment/modeling. I have spoken with Terry Burnes and he would like to see if there is any additional input or help that the BAAQMD can provide on this issue before we determine whether a specialist consultant needs to be involved. The BAAQMD may have some literature or may have done some research into this issue on other similar or larger projects. Also, if a permit is required from BAAQMD, what level of review would they require and what conditions or mitigation measures may they add - these could then be included as part of the EIR mitigation measures.

This issue came up on the recent CEQA/NEPA review for the Juvenile Hall project on Tower Road. I have a copy of the environmental assessment report which I am having copied and will send to you for your review. That site contained serpentine soils and there was an issue with asbestos contaminants. However, mitigation measures were recommended and no additional risk assessment was required.

Terry would like to see more research done before we reach a conclusion whether additional expertise is required to respond to this issue.

In relation to the additional slide on Los Altos Drive, I am going to consult with our geotech division to see if they have any information on this and see if they think it is relevant and requires additional investigation. If so, the applicant's geotech engineer should do the investigation first and then Treadwell & Rollo can do their review.

I am going to review the Highlands Estates project (Chamberlain Group) to see what the response was to the liability/guarantee issue on that project. This issue was prevalent during that project, and Terry wants to make sure that we are providing a consistent response and options to the residents.

I am going to be away from the office from December 24 returning January 4 - so I'll see how much of this I can get done before I leave.

Thanks

Gabrielle

>>> "Geoff Reilly" <geoff@cajaeir.com> 12/12/2003 9:33:34 AM >>> A couple of other things that I just realized might be discussed in the meeting are:

Do any of the roads exceed the maximum allowable grade per the

Subdivision Ordinance (20%?) as per Neil Cullen's letter dated November 19, 2003? Our preliminary review appears to indicate that road grades would not exceed 20 %.

- Per LAFCo's letter dated October 15, 2003, the possible requirement to annex a portion of the site to County Service Area No. 1 in order to receive the same level of fire and police service as as the remainder of CSA No. 1. This would need to be added to the EIR project description I believe.
- 3. Perhaps copies of the NOP letters should be provided to the applicant as they raise some questions about the project description, most all of which appear to now be incorporated into our information requests to the applicant.

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CC:

Jim Eggemeyer

"Geoff Reilly" <geoff@cajaeir.com>

To:

"Gabrielle Rowan" <GRowan@co.sanmateo.ca.us>

Date:

12/12/2003 9:34:00 AM

Subject:

Mtg with Mr. Thomas

A couple of other things that I just realized might be discussed in the meeting are:

1. Do any of the roads exceed the maximum allowable grade per the Subdivision Ordinance (20%?) as per Neil Cullen's letter dated November 19, 2003? Our preliminary review appears to indicate that road grades would not exceed 20 %.

 Per LAFCo's letter dated October 15, 2003, the possible requirement to annex a portion of the site to County Service Area No. 1 in order to receive the same level of fire and police service as as the remainder of CSA No. 1. This would need to be added to the EIR project description I believe.

3. Perhaps copies of the NOP letters should be provided to the applicant as they raise some questions about the project description, most all of which appear to now be incorporated into our information requests to the applicant.

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Ventura County Office 31255 Cedar Valley Drive, Suite 222 Westlake Village, CA 91362 (805) 782-9708 (818) 735-8858 (fax) ) Loscribbin

Gabrielle Rowan

To:

SMREdt@aol.com

Date:

12/23/2003 12:38:34 PM

Subject:

Los Altos Drive Slide

As per our conversation last week in relation to issues brought up at the scoping session - I have spoken with Jay Mazzetta in our Geotechnical division regarding the Los Altos Slide. This happened in 1997 and affected four properties: 1739, 1741, 1745 and 1749 Los Altos Drive. Please have Michelucci & Associates take a look at this and comment on its relevance to the subdvision site.

We can discuss this more in the New Year if necessary

Thanks and Happy Christmas

Gabrielle

Terry Burnes

To:

Rowan, Gabrielle

Date:

1/20/2004 5:10:55 PM

Subject:

Re: Thomas Subdivision

I agree.

>>> Gabrielle Rowan 01/20/2004 4:18:39 PM >>>

Terry

You and I received a letter last week from Baywood Park Homeowners Group requesting that they receive the proposed Scope of Work document and contract documents for the EIR prior to it being presented to the Board.

They are obviously a little confused with our process here so I suggest that I write a letter to them outlining the following points:

- 1. The contract with the EIR consultants has already been approved (June 2003) in order to enable them to proceed with their work.
- 2. The BOS did not need to approve this contract/scope of work as it was under a certain dollar amount threshold.
- 3. The purpose of the EIR scoping session was to better define the scope of the EIR and elements to be included in the Draft EIR rather than to form a detailed contract for the EIR Consultants.
- 4. The next step is for the Draft EIR to be published to address those issues raised at the scoping session and the NOP responses. Interested parties will have an opportunity to comment on the adequacy and scope of the draft EIR at that stage.
- 5. There will be a 45 day comment period for the Draft EIR and a public hearing will be held during that time for all interested parties. This may happen March/April time.

Please let me know if you have any other comments to include.

Thanks

Gabrielle.

CC:

Raines, Marcia

P.01

P.02

Jan-28-04 08:16A scq c. istruction

(408) 3 6445

# SCQ Construction

A Division of Stevens Creek Quarry, Inc.

## Fax - Transmittal

To: Dennis Thomas

Company: San Mateo Real Estate

Phone: 650-578-0330 Fax: 650-578-0394

From: Jeff Wells

Company: SCQ Construction

Phone: (408) 253-2512 x239

Fax: (408) 253-6445

Date: 1/28/04

Pages including this 1

cover page:

Dennis, after reviewing the information you sent me, It looks like SCQ could off haul between 150 to 190 truckloads per day. If the total amount to be off hauled is 86,000 CY that would require between 34 to 44 days of truck hauling. Depending on the location of the dumpsite that could mean between 25 and 35 trucks each day hauling 6 loads each. The further away the dump site the more trucks needed, as the number of loads each truck could produce in a day would go down. Also work hours would play a part in this, I assume that the trucks would be able to be load for 8 hours, if there are restrictions on work hours the would effect the production. Call me with any questions.

### F.X COVER SHEE'

TO: <u>Gabrielle Rowan</u>	:
PHONE:	DATE: 1/28/04
FROM: DENNIS THOMAS SAN MATEO REA (650) 578-0330 FA	AL ESTATE, INC.
PAGES TO FOLLOW	
COMMENTS: Number of tripe soil from the Ascension Site	s required to offhour

Gabrielle Rowan

To:

Geoff Reilly

Date:

1/29/2004 10:07:01 AM

Subject:

Update

Hi Geoff

I have got a fax from Dennis in relation to the grading questions which I will forward to you. I also spoke to him earlier to get some other details.

In terms of the build out year: The grading will take 34-44 days to complete, the construction of the road will take a further 6 months and then 8 homes may be constructed every 14 months (depending on the market). So approximately the whole project will take 4-4.5 years to complete. So assuming construction begins this time next year the build out year will be 2009/2010.

In terms of construction parking: Dennis is confident that this can all occur on site and there will be no need to park on the roads.

In terms of the haulage route: this is dependant on where the soil is going which will not be known until the start of construction. However, all trucks will probably head to Hwy 92 and will go via Bel Aire, Ascension and Polhemus. There will be no requirement to use other local residential roads.

In terms of brakes: all construction trucks will use air brakes.

The landscaping plans and architectural renderings will be ready shortly and I will forward these to you as soon as I get them. Also the response to the hydrology comments should be ready soon.

That's it for my update at the moment.

Thanks!

Gabrielle

"Geoff Reilly" <geoff@cajaeir.com>

To:

"Gabrielle Rowan" < GRowan@co.sanmateo.ca.us>

Date:

6/8/2004 6:48:45 PM

Subject:

RE: Thomas Subdivision Project

Hi Gabrielle,

I've reviewed the letter and our draft Air Quality analysis (attached but not for public review). In response to their first paragraph, page one, the EIR is addressing "issues critical to the neighborhood" which are based on things like: the Initial Study, comments received in response to the NOP, the scoping meeting and subsequent input from project opponents, and our professional experience with similar project types proposed in similar environments. The EIR is analyzing virtually every environmental issue on the County's checklist, excluding agricultural resources, mineral resources, etc.

However, the EIR is not analyzing all air quality impacts to the level of detail requested by the Baywood Park HOA in Items 1 and 2 of paragraph 2. They appear to be requesting something similar to a health risk assessment. I would defer to my past emails to you for more details about such a study. But overall while I would agree that type of study would allow one to better understand the health risks associated with the air quality impacts of the project, it: a) is not in our scope of work (would cost about \$4,000 - \$6,000), b) the County did not want such a study to be prepared, c) BAAQMD does not require such and relies more on qualitative analysis and a lot of mitigation (although my air consultant tells me the Air District that oversees Monterey did require him to do a diesel analysis for a shopping center project), d) the Admin. Draft EIR still finds that air quality impacts would be significant and unavoidable during the construction phase (particularly the haul trucks...but PM10 impacts can be mitigated).

Item 3 in paragraph 2, page one: we do propose that a disturbance coordinator be established, but I think they may be seeking someone to measure air pollutant levels, and that is not included in the EIR.

Item 4 in paragraph 2, page one: Based on the geology reports and peer reviews, there is no evidence the site contains serpentine rock formations. But if it did, BAAQMD's requirement would be effective.

Item 5 in paragraph 2, page one: We are not quantifying how much less air pollutants would be created by reduced density alternatives. But any such alternative that involves less grading and fewer truck trips would indeed reduce the emissions of concern.

Typically the time when project opponents learn if all of the issues they raised during the scoping process have been addressed in the EIR is when the Draft EIR is released. If they are not satisfied, CEQA allows them to provide comments on the adequacy of the Draft EIR. The Baywood Park HOA has done a good job at backing up the potential health risks. But we (CAJA and the County) have not agreed to do a health risk assessment and it would set a precedent for other EIRs, MNDs, etc. if we did.

Feel free to call me to discuss further.

Geoffrey Reilly

Christopher Joseph & Associates 101 H Street, Suite Q Petaluma, CA 94952 707/283-4040 707/283-4041 (fax) www.cajaeir.com

----Original Message-----

From: Gabrielle Rowan [mailto:GRowan@co.sanmateo.ca.us]

Sent: Monday, June 07, 2004 8:02 AM

To: geoff@cajaeir.com

Subject: Fwd: Thomas Subdivision Project

Hi Geoff

Hope you had a good weekend.

Please find attached the latest correspondence from Baywood Park HOA sent directly to Supervisor Church. From their letter it seems that they are not interested in a meeting.

Please could you review the letter and let me know your thoughts on the specific information they are asking to be included in the Draft EIR. Do you think: a) this has been included in the Draft EIR or b) they are requesting too much specific information over and above what is necessary for this type of project.

I will be responding to this letter this week and I'd like to include your feedback with that.

**Thanks** 

Gabrielle

Terry Burnes Bortolussi, Sara

To: Date:

08/09/2004 8:01:16 AM

Subject:

Re: Housing Element issue - Dennis Thomas subdivision

Sara,

I suggest you consult with Lisa here to get the facts on how this was factored into our housing element analysis and our ability to meet our housing production targets without it. Then I think you need to get back with Mary about harmonizing housing law with CEQA, especially the mitigation of significant impacts.

#### Terry

>>> Mary Raftery 08/05/2004 12:04:49 PM >>>

Here is the Government Code section that we discussed yesterday in relation to the Dennis Thomas subdivision: Gov. Code section 65863 now provides that cities and counties are prohibited from reducing residential density for any parcel below the density used by the State HCD in determining housing element compliance with state law unless the City/County makes findings that (1) the reduction is consistent with the general plan and (2) the remaining units identified in the housing element are adequate to accommodate the agency's share of regional housing needs. If these findings cannot be made, the agency can still reduce the density if it identifies additional sites with greater density so there is no net loss of residential unit capacity. A copy of the statute is attached.

There could be other legal issues if there were impacts on affordable housing. Let me know if you think that may be an issue here.

#### Mary

Mary K. Raftery
Deputy County Counsel
400 County Center
Redwood City, California 94070
phone: (650) 363-4795
fax: (650) 363-4034
mraftery@co.sanmateo.ca.us

CC:

Eggemeyer, Jim; Murphy, Michael; Osborn, China; Raftery, Mary

"Geoff Reilly" <geoff@cajaeir.com>

"Sara Bortolussi" <SBortolussi@co.sanmateo.ca.us>, <jeggemeyer@co.sanmateo.ca.us>, <MRaftery@co.sanmateo.ca.us>

Date:

07/14/2004 6:44:22 PM

Subject:

Thomas Subdivision Alternatives

I discussed conceptual exhibits for the EIR Alternatives with my staff and we can prepare the Alternatives exhibits using the original CAD files, but not at an engineering level. I believe these versions would suffice for the EIR. Here are some of the items we discussed for each exhibit:

- 5-lot subdivision: We are considering proposing the 5 lots be located along the back end of the property where slopes are not as steep. This could involve an access road along the back edge of the site and the 5 lots along the south edge of the road. This would substantially reduce grading and the visual impacts would be far less compared to the project as the homes would not be visible from Ascension. This could involve lot sizes greater than proposed by the applicant if we wanted, perhaps with backyards going up the hill.
- 15-lot subdivision The access road would be moved from the back edge of the site as described above and closer to the proposed northern alignment of the proposed project road. The homes could straddle this road near the back end of the site. Similar to the above alternative, this would substantially reduce grading, avoid the steeper slopes, and minimize visual impacts.
- 3. 25-lot subdivision - This alternative could involve lot sizes in the area of 7.500 sf. It would use a similar concept as the 15-lot subdivision. and perhaps could also include an additional 10 units along the southern edge of the site (Ascension Drive) without a new access road. The 10 homes would potentially be accessed via driveways off of Ascension. Alternatively, this alternative could use the proposed project's circular roadway plan, with the lots being located in the same areas as the project but the lots would be smaller and hence could allow for eliminating the flag lots and possibly the provision of open space at the top of the hill.

Pls let me know if you would like us to create these draft conceptual exhibits for your review, or perhaps for your meeting with Terry. I also welcome any comments you may have regarding the above concepts. But overall I like the idea of moving homes to the back end of the property as that clearly avoids the steeper slopes.

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CC:

"Gary Helfrich" <gary@cajaeir.com>

#### Dave Holbrook - Re: Thomas Sub. Revised plan 5/2/05 PLN 2002-00517

From:

Jim Rust

To:

Jim Rust; Pete Bentley 6/14/2005 2:33:23 PM

Date: Subject:

Re: Thomas Sub. Revised plan 5/2/05 PLN 2002-00517

CC:

Chet Swancey; China Osborn; Dave Holbrook; Jim Eggemeyer; John Sims

<John.sims@fire.ca.gov>; Ken Au; Marc Colbert

#### Pete,

The original 2000'+ looped road was proposed to provide sole access to the 25-lot subdivision. It is the opinion of County Fire, and as defined in Title 14, "looped roads" are considered as dead-end roads. By Ordinance, dead-end roads are limited to 1000' in length. Also by ordinance, County Fire is authorized to mitigate the excessive length by requiring an alternate means of access.

Ideally this secondary access should be at the far end of the looped road. The developers assured me there were no other possible locations for the secondary road, and submitted the revision showing the two roads, basically side-by-side.

Our policy is to be as consistent as possible with the interpretation and application of the various codes. It is also our policy to reduce the environmental impacts of our requirements where possible. Based on your comments below, the design as submitted is poor for various reasons, and it is questionable whether it actually does meet the intent of providing secondary access.

Granting an exception in this particular subdivision is not recommended by County Fire. The steepness of the lots, road grade, density of structures and the overall length of the dead-end road are a few reasons. We also have other projects in the works that have similar access issues that would love to hear we are granting exceptions. If you would like to set up a meeting to discuss these issues and possible options, myself or staff will be happy to attend.

Jim

>>> Jim Rust 06/14/05 2:22 PM >>> Pete,

The original 2000'+ looped road was proposed to provide sole access to the 25-lot subdivision. In my opinion, and as defined in Title 14, "looped roads" are considered as dead-end roads. By Ordinance, dead-end roads are limited to 1000' in length. Also by ordinance, County Fire is authorized to mitigate the excessive length by requiring an alternate means of access.

Ideally this secondary access should be at the far end of the looped road. The developers assured me there were no other possible locations for the secondary road, and submitted the revision showing the two roads, basically side-by-side.

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have other projects in the works that have similar access issues that would love to hear we are granting exceptions. If you would like to set up a meeting to discuss these issues and possible options, myself or staff will be happy to attend.

Jim

>>> Pete Bentley 05/31/05 11:24 AM >>>

Jim:

Dave H. gave me a copy of revised plans requested by Fire per Fire's P\*P comments/condition of 3/14/05 for a "secondary Fire access road". I will forward this plan to Ken Au for the Engineering review needed by DPW. However, from a Planning standpoint, if this alignment is acceptable to Fire because it meets the "letter" of the regulations, I'm hard pressed to believe the Public, the Planning Division, the Planning Commission, and ultimately the Board would support this plan. The added grading, the need for additional and somewhat massive retaining walls next to an already existing access road is NOT a good design or concept. It still appears, that even with side by side access, a "looped" access exists which Fire won't accept.

I would suggest that if this is the only option available (side by side roadways) that Fire consider the granting of an exception to their 1000 foot requirement.

Dave also asked for comments back to China as soon as possible. Thanks for the quick review and response.

Pete

Matthew Seubert

To:

Dave Holbrook; Jim Eggemeyer; Matthew Seubert

Date:

3/2/2006

Time:

2:00:00 PM - 3:00:00 PM

Subject:

PLN2002-00517, Ascension Subdivision EIR

Place:

Telephone conference call

Note: Alternative time could be Wed., 3/1 at 10:00 am. -Matt

Go ahead & set up as requested. Thanks.

David Holbrook

>>> Jim Eggemeyer 2/27/2006 9:03 AM >>> Just have Matt set this up.

This is only between the Consultants (Geoff Riley) and us. The applicant, Dennis Thomas does not need to be involved with this until Geoff figures out how much more his contract needs to be for services. Then we'll talk with Dennis since Geoff works for us.

jke

>>> Dave Holbrook 2/23/2006 12:24 PM >>>

I'll have Matt (or Kan Dee?) set up, with us, the applicants & consultant, OK? Kan Dee's good at setting up the necessary "bridge" # so everyone's plugged in.

David Holbrook

You should see the following and then let's talk about what we have, what we need and where this is going, and when. Let's see about an internal meeting with you, Dave and me sometime soon. Can you please set this up? Thanks.

jke

>>> "Geoff Reilly" <<u>geoff@cajaeir.com</u>> 2/23/2006 8:40 AM >>> Hi Dave and Jim,

We recently received revised plans for this project. The plans were revised per our meeting with the applicant a couple of months ago. It is my understanding the applicant is also to do new geotechnical and hydrological analyses for the revised project, but wanted to check in with you about your anticipated timing for our new proposal or contract amendment. Can we wait until these studies are done so that our subconsultants might be able to look at them in order to prepare a more accurate cost amendment? Thanks in advance for any input you may have.

Geoff

Geoffrey Reilly
Vice President/Regional Manager

"Geoff Reilly" <geoff@cajaeir.com>

To:

<dholbrook@co.sanmateo.ca.us>, "'Jim Eggemeyer"

<JEggemeyer@co.sanmateo.ca.us>
Date: 2/23/2006 8:42:15 AM

Subject:

Thomas Subdivision EIR - Revised Plans

Hi Dave and Jim,

We recently received revised plans for this project. The plans were revised per our meeting with the applicant a couple of months ago. It is my understanding the applicant is also to do new geotechnical and hydrological analyses for the revised project, but wanted to check in with you about your anticipated timing for our new proposal or contract amendment. Can we wait until these studies are done so that our subconsultants might be able to look at them in order to prepare a more accurate cost amendment? Thanks in advance for any input you may have.

Geoff

Geoffrey Reilly Vice President/Regional Manager geoff@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research www.cajaeir.com

Petaluma Office 179 H Street Petaluma, CA 94952 Phone: (707) 283-4040 Fax: (707) 283-4041

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Confidentiality Statement

This transmittal is intended to be transmitted to the person named. Should it be received by another person, its contents are to be treated as strictly confidential. It is privileged communications between the firm and the person(s) named. Any use, distribution or reproduction of the information by anyone other than that person is prohibited.

CC:

"'Jennie Anderson" <anderson@cajaeir.com>

West

Lisa Ekers

To:

Holbrook, Dave; Matthew Seubert

Date:

4/27/2006 2:40:23 PM

Subject:

Re: Ascension Heights/Thomas subdivision PLN2002-517

Matt:

You are correct that both the right of way width for Urban-residential minor public streets and the easement width for private roads would be 50', but there's more to it that the project must address. The sections referenced below are from the Subdivision Regulations.

The applicant is required to design to County standards for public road (Section 7022.3.a), urban residential minor street (50 foot right of way, 36' wide paved travel way with curbs, gutters and ADA compliant sidewalks on both sides (Section 7022.1, Table 3.1)), 15% max grade (Section 7023.5). They will need to apply for an exception to the street grades requirement (Section 7023.5) if they cannot achieve 15% max (they are proposing 20%).

They are also required to offer the roads for dedication to the County as a condition of approval (Section 7038). We have disclosed to them that we will probably not recommend to the Board of Supervisors acceptance of the roads into the County system. Regardless, they are still required to meet standards and offer for dedication.

Let me know if this creates new questions.

Lisa

>>> Matthew Seubert 04/27/06 12:07 PM >>> Lisa & Dave,

I spoke with Lea & Braze Engineering today regarding the road standards for this subdivision. Their proposed public road exceeds the grade standards of Public Works, so they are proposing a private road. Also, they are proposing to have the easement run to the back of the sidewalk, which would give them larger lots. However, it looks to me like the private road standards are the same as for public roads in terms of both easement and pavement width - which wouldn't allow them to do this. Do you see any problems with having private roads that meet the public road width standards? Please advise.

Matt Seubert

CC:

geoff@cajaeir.com; Jim Eggemeyer; itoby@leabraze.com

Lisa Ekers

To: Date: James Toby 4/13/2006 1:38:15 PM

Subject:

RE: PLN2002-00517 (Ascension Hts)

Jim:

I have received only one message from you which I got yesterday. The storms have made things rather busy at Public Works.

I will embed responses to your comments below in **bold**. After you review them, feel free to call me to discuss, or if you think a meeting would be more productive, please contact Matt Seubert to set something up.

Thanks-

Lisa Ekers, Road Operations Manager San Mateo County DPW 650/599.1453

>>> "James Toby" <jtoby@leabraze.com> 04/13/06 11:50 AM >>> Lisa,

My name is Jim Toby, with Lea & Braze Engineering. I am the Civil Engineer on Dennis Thomas' subdivision on Acension and Bel Aire in San Mateo hills near CSM. I would like to talk to you about some of your comments below and keep the process going. I have left several messages with you and would like to discuss these issues. I am glad to have a phone converstation or stop by your office, whichever you think is appropriate.

In general here are my comments to the issues you raised.

1. Sewer facilities in the rear. - These houses are downsloping lots. In order to bring the sewer to the street, we would have to pump all sewage from the lower stories of the houses up to the street. From an engineering point of view, it is far better to allow sewage to gravity downhill to the mains in Ascension. My guess is that the County/Sewer district does not want to maintain the sewers in the rear. What if we made the sewer a private system that will have to be maintained by a HOA? I would much rather have that than a pump that has a greater potential for failure over time.

The Director of Public Works looked at the proposed locations of your sewer lines and indicated they would not be approved in the back of lot locations shown due to the access problems. The sewer district will not approve tie in by a private system due to potential problems resulting from lack of maintenance.

2. This project has been working through the County for at least 4 years now, has a preliminary EIR and has been reviewed extensively by planning (multiple planners) and by Public Works, primarily Pete Bentley. Up to now, everyone in the county has agreed that the streets could be public. I would prefer not to change midstream and disrupt the intent of the tentative map, disrupt the EIR process, etc. I have tried to get a hold of Pete, but he is on vacation and is not as involved with public works since his retirement. Nonetheless, I would like to get his input, since he has a history on this project. I am curious what reasoning you have

to wanting to change the streets from a Public, which has been the idea from day 1 to private four years after our original submittal?

The streets (as shown on the most recent submittal) do not meet County standards, and therefor cannot be accepted as public roads. If Pete did not provide you with the County's road standards, we can get them to you.

3. I would like find out exactly what the County would require for C.3. Being that it is a very steep site, standard BMP's would be hard to implement (such as grassy lined swales, retention systems and the like) underground detention and release at predevelopment rates or a CDS or Stormceptor unit might be an alterative. Let's talk about the differt scenarios.

The County implements the Regional Water Quality Control Board's requirements under C.3. It will be the applicant's responsibility to determine what is required to achieve compliance, and to demonstrate compliance to the County's satisfaction.

- 4. I have received the new C.3 worksheet and will gladly fill it out and comply with the C.3 requirements. **Thanks.**
- 5. I'll be glad to give you any information on the conservation area you would like. In general that area was intended to: fix any surface erosion problems, replant the area with native trees and add a common use trail for the neighborhood to use. The new plans do show an alternative fire entrance that now cuts into the open space. Please show those items on the plans, along with provisions for surface drainage.

Thanks for you help and we'll do our end of the work as fast as we can to keep the project moving.

Thanks for your help and I look forward to talking with you.

Jim

Jim Toby, P.E.
Civil Engineer
Project Manager
Lea & Braze Engineering, Inc.
2495 Industrial Parkway West
Hayward, CA 94545
(510) 887-4086
(510) 887-3019 fax
www.leasung.com

----Original Message-----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Thursday, March 23, 2006 5:27 PM

To: SMREdt@aol.com

Cc: Lisa Ekers

Subject: Re: PLN2002-00517 (Ascension Hts)

Dennis,

Below is the latest review comment from Public Works on your

subdivision. Please contact me with any questions, or you may contact Lisa Ekers with Public Works directly. - Matt

3/23/06 LE: FAIL status remains due to incompleteness of plans for roadway and drainage. Applicant needs to submit \$500 plan review deposit to DPW with next submittal as per subdivision regs. Preliminary comments are:

- 1. Sewer facilities will not be approved at back of lots.
- 2. DPW will not accept roadway as "public," so may need form of exception.
- 3. Applicant will be required to abide by Provision C.3 stormwater requirements (on-site treatment/detention).
- 4. Advised Project Planner to send C.3 worksheet.
- 5. Additional info needed re "conservation" areas Still reviewing plan, so additional comments may be forthcoming.

CC:

Matthew Seubert; SMREdt@aol.com

"James Toby" <jtoby@leabraze.com>

To:

"Lisa Ekers" < lekers@co.sanmateo.ca.us>

Date:

4/13/2006 11:55:00 AM

Subject:

RE: PLN2002-00517 (Ascension Hts)

Lisa,

My name is Jim Toby, with Lea & Braze Engineering. I am the Civil Engineer on Dennis Thomas' subdivision on Acension and Bel Aire in San Mateo hills near CSM. I would like to talk to you about some of your comments below and keep the process going. I have left several messages with you and would like to discuss these issues. I am glad to have a phone converstation or stop by your office, whichever you think is appropriate.

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Thanks for you help and we'll do our end of the work as fast as we can

to keep the project moving.

Thanks for your help and I look forward to talking with you.

Jim

Jim Toby, P.E. Civil Engineer Project Manager Lea & Braze Engineering, Inc. 2495 Industrial Parkway West Hayward, CA 94545 (510) 887-4086 (510) 887-3019 fax www.leasung.com

----Original Message----

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Sent: Thursday, March 23, 2006 5:27 PM

To: SMREdt@aol.com

Cc: Lisa Ekers

Subject: Re: PLN2002-00517 (Ascension Hts)

Dennis,

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- 4. Advised Project Planner to send C.3 worksheet.
- 5. Additional info needed re "conservation" areas Still reviewing plan, so additional comments may be forthcoming.

CC: "Matthew Seubert" < MSeubert@co.sanmateo.ca.us>, < SMREdt@aol.com>

Matthew Seubert

To:

Lisa Ekers

Date:

3/23/2006 5:22:28 PM

Subject:

Re: PLN2002-00517 (Ascension Hts)

Lisa,

Thanks. I will notify the applicant.

The EIR for this project is being completed by Geoff Reilly at Christopher Joseph Associates. They have a draft completed, which I have 4 copies of if you want to see it, and will update it based on the latest submittal with the new secondary fire access road. I've pasted below his last email regarding the traffic counts. They were done a couple years ago, but their sub-consultant is considering re-running the numbers.

Matt

Hi Matt,

Below is a preliminary response from our traffic consultant about the traffic report becoming outdated. He doubts that much has changed for the area but offers the following based on the controversial nature of the project and the organized opposition:

I'm sure the project is very controversial, and we want to avoid all possible criticism of our approach. One red flag for criticism always is the date of the traffic counts. I think we should redo them. We should redo our list of approved projects also (I don't know if anything has changed).

I'll consider this when we are asked to prepare a proposal for the revised project/alternative.

Thanks,

Geoff

Geoffrey Reilly Vice President/Regional Manager geoff@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research www.cajaeir.com

Petaluma Office 179 H Street Petaluma, CA 94952 Phone: (707) 283-4040 Fax: (707) 283-4041

Petaluma · Oakland · Los Angeles · Westlake Village · Mammoth Lakes

Confidentiality Statement

This transmittal is intended to be transmitted to the person named. Should it be received by another person, its contents are to be treated as strictly confidential. It is privileged communications between the firm and the person(s) named. Any use, distribution or reproduction of the information by anyone other than that person is prohibited.

>>> Lisa Ekers 3/23/2006 2:36 PM >>> Hi Matt

I have reviewed this project and entered preliminary comments into P/P. Is there an EIR already done for this, or on its way? We're very interested in traffic impacts, among other things.

I also noted in P/P that the applicant will be required to pay a plan review deposit of \$500 to DPW with any subsequent revisions. I'll send your referral sheet back.

Do you take care of notifying the applicant?

Thanks! Lisa

CC:

geoff@cajaeir.com; Ken Au

Matthew Seubert

To:

SMREdt@aol.com 3/13/2006 1:27:47 PM

Date: Subject:

RE: Fwd: Ascension Heights Subdivision

Dennis,

Thanks for your earlier email. Below is some additional feedback from Geoff that you might want to consider.

In case the email addresses don't show up they are:

Dennis: SMREdt@aol.com

Geoff: geoff@cajaeir.com

Matt Seubert Project Planner

>>> "Geoff Reilly" <geoff@cajaeir.com> 3/13/2006 12:41 PM >>> Matt.

Thanks for forwarding me the series of emails regarding Thomas Subdivision EIR. As we discussed last week, I am fine with using the latest submittal as an alternative in the EIR as it would save time and money, but want to make sure Dennis understands it's possible that this new alternative may not be approved by the decisionmakers even if such an alternative reduces some of the project's impacts (e.g. grading and access). Hence, if we treat it as an alternative, it is not a "second project" for the County's consideration in addition to the first project. Instead, it would be one of several alternatives analyzed in the EIR. Whether the decisionmakers use the alternatives analyses to modify the project in their consideration of project approval remains to be seen.

I don't appear to have Dennnis' email address so I could not send this reply to him.....perhaps you can forward this to him for consideration and any additional emails could be copied to all at the county.

#### Geoff

----Original Message----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Monday, March 13, 2006 8:52 AM

To: geoff@cajaeir.com; Dave Holbrook; Jim Eggemeyer

Subject: Re: Fwd: Ascension Heights Subdivision

All:

FYI. See the email reply below from Dennis. I'm leaning toward keeping the original submittal as 'project' and the latest as 'alternative' if that will save time, \$ and most accurately explain the entire picture/process, unless you have objections.

Matt

Matt,

Thanks for the email. My goal is to move the project forward in the most expeditious and cost effective manner. If that means leaving the original plan as the project and labeling this the alternative then by all means do it that way. You know the proceedures best so I will defer to your recommendation.

Joe.

Please proceed with answers and information to all that Matt and/or the

County Geologist have asked for and respond accordingly.

Dennis Thomas
San Mateo Real Estate and Construction, Inc.
1777 Borel Place, Suite 330
San Mateo, CA 94402
(650) 578-0330 Office
(650) 578-0394 Fax
(650) 867-8811 Cell

>>> Matthew Seubert 3/10/2006 4:08 PM >>> Joe and Dennis,

We had a conference call yesterday with Jim, Dave, Geoff and myself. Geoff said it would be helpful to get an updated/supplemental geo. report that would address geology, soils, drainage/hydro., slope stability and maintenance for the new road & wall.

I also got a comment sheet back on my referral sheet to the County Geologist, who added two related conditions: 1) Slope stability analysis for statis and seismic conditions, and 2) Investigate the shear zones identified in the 1981 Harlan & Assoc. report. Geoff is curious to know a possible timeframe for completion of this updated geological information.

In our conference call we also discussed updates to some parts of the report, for example traffic and aesthetics. There was also discussion of the pros and cons of having this most recent plan become 'the project' versus having it as an alternative. There may be time and cost savings to having it labeled as an alternative and keeping the original map as 'the project.' This is probably something for Dennis to consider, and please let me know if you have a strong feeling on this one way or the other. Please contact me if you have any questions.

Sincerely,

Matt Seubert Project Planner

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>>> Matthew Seubert 2/27/2006 2:44 PM >>> Joe,
```

I did get your message. I was following up with our Geo. person to see if anything more is needed but haven't heard anything back yet. I will forward the revised set of plans to them to see is they have any comments. I already sent the plans to Fire and Public Works but haven't received any comments yet. Until I get comments from the review agencies, I don't know if we need anything additional from you. If we do, either the review agencies or I will let you know.

Sincerely,

>>

Matt Seubert Project Planner

>>> "Joe Michelucci" <<u>ioe@michelucci.com</u>> 2/27/2006 11:40 AM >>> Dear Mu Seubert

I was wondering if you got the message from me last week. In case you did not I am resending. Thanks in advance for letting us know what is required.

Begin forwarded message:

```
> From: Joe Michelucci < joe@michelucci.com>
> Date: February 22, 2006 10:58:53 AM PST
> To: mseubert@co.sanmateo.ca.us
> Cc: Dennis Thomas <smredt@aol.com>
> Subject: Fwd: Ascension Heights Subdivision
>
>
> Begin forwarded message:
>> From: Joe Michelucci <joe@michelucci.com>
>> Date: February 22, 2006 10:55:36 AM PST
>> To: mseubert@co.sanmateo.as.us
>> Cc: Dennis Thomas <smredt@aol.com>
>> Subject: Ascension Heights Subdivision
>>
>> Dear Mr. Seubert
>> We recently received a tentative subdivision map prepared by Lea &
>> Sung Engineering, latest revision dated January 5, 2006. Do you
>> require any sort of a letter from us regarding the revisions?
>> Please let me know what is needed, if anything, at this point and we
>> will follow through.
>>
>> Thank You
>>
>> Joe Michelucci
>> Michelucci & Associates, Geotechnical Consultants joe@michelucci.com
>>
```

>> > Joe Michelucci > joe@michelucci.com > >

Joe Michelucci joe@michelucci.com

CC: Dave Holbrook; geoff@cajaeir.com; Jim Eggemeyer

Matthew Seubert

To:

Dave Holbrook; geoff@cajaeir.com; Jim Eggemeyer

Date:

3/13/2006 8:51:57 AM

Subject:

Re: Fwd: Ascension Heights Subdivision

All:

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```

joe@michelucci.com

Matthew Seubert

To:

Dennis Thomas; joe@michelucci.com

Date:

3/10/2006 4:08:49 PM

Subject:

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> Joe Michelucci
> joe@michelucci.com
Joe Michelucci
```

CC: Dave Holbrook; geoff@cajaeir.com; Jim Eggemeyer

joe@michelucci.com

"Geoff Reilly" < geoff@cajaeir.com>

To:

"'Matthew Seubert" <MSeubert@co.sanmateo.ca.us>, "'Dave Holbrook"

<DHolbrook.Planning.CSM@co.sanmateo.ca.us>, "'Jim Eggemeyer"

<JEggemeyer.Planning.CSM@co.sanmateo.ca.us>, "'Matthew Seubert'"

<MSeubert.Planning.CSM@co.sanmateo.ca.us>

Date:

3/6/2006 1:23:51 PM

Subject:

RE: PLN2002-00517, Ascension Hts. Sub.

Hi Matt,

I am available at that time and have saved the date and time. I'll look forward to your call at 10:30 am Thursday (3/9/06), unless you have a separate call-in number. My number is 707/283-4040. Thanks

Geoff Reilly

----Original Message-----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Monday, March 06, 2006 12:03 PM

To: geoff@cajaeir.com; Dave Holbrook; Jim Eggemeyer; Matthew Seubert

Subject: PLN2002-00517, Ascension Hts. Sub.

Item Type: Appointment

Start Date: Thursday, 9 Mar 2006, 10:30:00am (Pacific Standard Time)

Duration: 1 Hour

Place: Telephone conference call

Geoff,

Dave, Jim and I met last week regarding this project and had a couple questions for you. Do you have time for a telephone conference call this Thursday, March 9 at 10:30 am? An alternate time would be any other time between 10 am and noon, or 3-4 pm.

Thanks,

Matt Seubert Project Planner

Geoff et al.,

Thanks for your reply Geoff. I think I will go ahead and meet with Dave and Jim this Thursday, and then we will get in touch with you next week.

Sincerely,

Matt Seubert Project Planner

>>> "Geoff Reilly" <geoff@cajaeir.com> 2/27/2006 3:30 PM >>>
Thank you for setting this up Matt. Unfortunately I am out of town for a
meeting Wednesday and am attending an all day CEQA Workshop on Thursday in

Santa Rosa. I am available after 3:30 PM on Friday however, as well as Monday, Tuesday and Thursday of next week.

Geoff 707/283-4040

----Original Message----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Monday, February 27, 2006 2:52 PM

To: Dave Holbrook; Jim Eggemeyer; Matthew Seubert

Cc: geoff@cajaeir.com

Subject: PLN2002-00517, Ascension Subdivision EIR

Item Type: Appointment

Start Date: Thursday, 2 Mar 2006, 02:00:00pm (Pacific Standard Time)

Duration: 1 Hour

Place: Telephone conference call

Note: Alternative time could be Wed., 3/1 at 10:00 am. -Matt

Go ahead & set up as requested. Thanks.

David Holbrook

>>> Jim Eggemeyer 2/27/2006 9:03 AM >>> Just have Matt set this up.

This is only between the Consultants (Geoff Riley) and us. The applicant, Dennis Thomas does not need to be involved with this until Geoff figures out how much more his contract needs to be for services.

Then we'll talk with Dennis since Geoff works for us.

ike

>>> Dave Holbrook 2/23/2006 12:24 PM >>> I'll have Matt (or Kan Dee?) set up, with us, the applicants & consultant, OK? Kan Dee's good at setting up the necessary "bridge" # so everyone's plugged in.

David Holbrook

You should see the following and then let's talk about what we have, what we need and where this is going, and when. Let's see about an internal meeting with you, Dave and me sometime soon. Can you please set this up? Thanks.

jke

>>> "Geoff Reilly" <geoff@cajaeir.com> 2/23/2006 8:40 AM >>> Hi Dave and Jim,

We recently received revised plans for this project. The plans were revised per our meeting with the applicant a couple of months ago. It is my understanding the applicant is also to do new geotechnical and hydrological analyses for the revised project, but wanted to check in with you about your anticipated timing for our new proposal or contract amendment. Can we wait until these studies are done so that our subconsultants might be able to look at them in order to prepare a more accurate cost amendment? Thanks in advance for any input you may have.

Geoff

Geoffrey Reilly Vice President/Regional Manager geoff@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research

CC:

"Jennie Anderson" <anderson@cajaeir.com>

Lisa Ekers

To:

Matthew Seubert

Date:

11/21/2006 2:17 PM

Subject:

Re: Ascension subdivision status: PLN2002-00517

Don't go to any trouble if they've already ok'd, but it looks to me like skateboard heaven. Literally.

>>> Matthew Seubert 11/21/2006 2:13 PM >>> Lisa and Jim,

Thanks for reviewing this. Fire signed off back in March with a number of conditions. I will route your question to CDF to double check that they are ok with it as proposed.

Matt

>>> Lisa Ekers 11/21/2006 2:10 PM >>>

I reviewed the revised map and updated comments in P\*P. There are still several items missing. I will route the map to the sewer district for review. Meanwhile, I still have hydrology report and will look that over asap.

The proposed fire access is quite steep, narrow and curved and has no restrictions to its use shown (i.e. gates). Do you know if that's how Fire wanted it?

Thanks!

Lisa

>>> Matthew Seubert 11/15/2006 9:24 AM >>>

Lisa

That's fine with me. Take whatever time you need.

Matt

>>> Lisa Ekers 11/15/2006 7:06 AM >>>

Hi Matt

I have it on my desk. Requested response date was 11/27, so should be okay on turnaround time, no?

Lisa

>>> Matthew Seubert 11/9/2006 3:32 PM >>> Dennis,

I haven't received comments from Public Works on your latest submittal. Lisa Ekers with Public Works is out this week, but I will touch base with her when she returns regarding this project.

Sincerely,

Matt Seubert Project Planner

Lisa Ekers

To: Date: SMREdt@aol.com 12/8/2006 8:52 AM

Subject:

Re: Ascension

CC:

Matthew Seubert

Dennis:

Our review of the hydrology study was completed. I realize by your email that we had not updated the case to reflect that. Please accept my apologies for the oversight.

The last DPW review (11/21/06) indicated several items missing from the tentative map. We have since then received another tentative map which is currently under review.

I will input notes on Monday when I return to the office.

Also, the best number to reach me is 650-599-1453.

Lisa Ekers, Road Operations Manager San Mateo County DPW

>>> Matthew Seubert 12/07/06 4:19 PM >>> Dennis,

This project has been reviewed by several different people in Public Works over a long period of time, during which some of the regulations may have changed. Lisa Ekers with Public Works has forwarded the drainage plans to County sewer for review. When we get comments from them, I will forward them to you. If you have questions regarding Public Works approval in the meantime, you might want to start with Lisa Ekers, as she is the chief reviewer for Public Works and works for Neil Cullen. She can be reached at lekers@co.sanmateo.ca.us or at 363-1852. Once Public Works has removed their 'Fail' status from the project, I can send it to the environmental consultant for their report revision.

Sincerely,

Matt Seubert Project Planner

>>> <<u>SMREdt@aol.com</u>> 12/7/2006 2:33 PM >>>

All the comments are new issues that should have been brought up before. Why aren't they picking up on this in the begining and being all-inclusive in their remarks?

We resubmitted the drainage plan well over a month ago and still no response? I want to bring this to the attention of a department head to get a response now to the plan. Should I approach Neil Cullen, Lisa Grote or whom to get a fire put under someone?

**Dennis Thomas** San Mateo Real Estate and Construction, Inc. 1777 Borel Place, Suite 330 San Mateo, CA 94402 (650) 578-0330 Office (650) 578-0394 Fax

(650) 867-8811 Cell

Lisa Ekers

To:

Matthew Seubert

Date:

12/11/2006 2:02 PM

Subject:

Fwd: RE: RE: Ascension

#### FYI

>>> "James Toby" <<u>itoby@leabraze.com</u>> 12/11/2006 2:02 PM >>> Lisa, I'll review this and make sure you have everything you need and get it all back to you as soon as possible.

Thanks, Jim

----Original Message----

From: Lisa Ekers [mailto:lekers@co.sanmateo.ca.us]

Sent: Monday, December 11, 2006 1:58 PM

To: James Toby

Cc: SMREdt@aol.com; Matthew Seubert

Subject: RE: RE: Ascension

Hi Jim

I just completed inputting comments on the hydrology study. Here's the text from Permit-Plan:

\* 12/11/06 LE: Hydrology study received at Planning 10/20/06 is missing a map of the drainage basins and subbasins and does not indicate how compliance with NPDES Provision C.3 is achieved. The rationale and calculations appear to meet the County's drainage requirements, but the drainage map and additional discussion of NPDES C.3 compliance are required.

County sewer district was given requested response date of 12/15/06 for their review. They anticipate returning comments on or before 12/15/06.

Please forward the basin maps used to develop the calculations, and a page or 2 describing how C.3 compliance is achieved. When we have those, the drainage submittal will be complete for now.

I've attached the County's Drainage Guidelines in case you don't have those handy.

Lisa

>>> "James Toby" < <a href="mailto:jtoby@leabraze.com">jtoby@leabraze.com</a>> 12/11/2006 1:49 PM >>> Thanks Lisa,

As far as the building elevations, I will just show a box of a conceptual house with a simple Finish floor elevation. We already show proposed easements and will add in the trees schematically.

I also wanted to find out how your review on the storm water retention or any other public works items are going? We've had the plans in for some time and have not heard anything on that part of the project.

Please feel free to email or call at any time

Thanks, Jim

Jim Toby, P.E., P.L.S.

Civil Engineer
Project Manager
Lea & Braze Engineering, Inc.
2495 Industrial Parkway West
Hayward, CA 94545
(510) 887-4086
(510) 887-3019 fax
www.leabraze.com

----Original Message----

From: Lisa Ekers [mailto:lekers@co.sanmateo.ca.us]

Sent: Monday, December 11, 2006 1:35 PM

To: James Toby Cc: Matthew Seubert Subject: Fwd: RE: Ascension

Hi Jim

The County's Subdivision Regulations require that tentative maps show, among other things, anticipated floor elevations, trees to be removed, replanting locations for replacement trees, proposed easements, etc. We

realize these are often conceptual, as are the locations of utilities, finish grades, etc., but they must be shown on the tentative map.

I will defer the street naming question to Matt in case it is required for a Planning approval. It is not required for the subdivision map. The

street can be labeled as "PRIVATE STREET" on the map.

Lisa Ekers, Road Operations Manager San Mateo County DPW

>>> "James Toby" <<u>jtoby@leabraze.com</u>> 12/7/2006 5:16 PM >>> Matt, to clarify a little more. Since this development is for the streets and lots only (no buildings at this time) and the lots are steep, there will be no pads for this development. The houses that will be designed after the tentative map is approved will be terraced on the hillside with various floors built to match the existing terrain. Some lots have a up or downslope of 2:1 or greater. This means that the ground will stay in its place and most likely a pier and grade beam foundation will be built with a varying pad height (existing ground)

The tree replacement I would rather see as a condition of approval to be done once we are the design phase of the project. I could put some on the plan now, but I would be guessing as to their placement.

I'm not sure what you mean by an easement. There is an existing easement already on the property, which will be abandoned in lieu of the new private streets and a dedicaiton to Cal Water for the area between the roadway and the tank property. So there will be an ingress/egress easement over all streets and the newly expanded tank property will front this, therefore no new easement is necessary. I don't know of any building use restrictions necessary other than the overlying zoning that is already in place.

I will follow up also with Lisa Eckert to see where Public Works is with their end of the work.

Thanks for your help and if you have any questions, please feel free to email or call me directly.

In the meantime, I will revise the plans to indicate ownership/APN, intersection angles (almost all are 90 degrees and add street names once Dennis chooses some

- I like Toby Circle myself ;-)

Thanks,

Jim Toby, P.E., P.L.S.
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From: <u>SMREdt@aol.com</u> [mailto:SMREdt@aol.com] Sent: Thursday, December 07, 2006 4:28 PM

To: MSeubert@co.sanmateo.ca.us

Subject: Re: Ascension

## Matt,

In my opinion, the review of the drainage should have been completed a long time ago. I turned that plan in at least 45 days ago. When did Lisa forward it on to County Sewer? How long have they had it? Shouldn't they have responded to us by now?

The other items on the list are easily resolved with one exception. They are asking for pad elevations for the lots. We are not creating pads with this plan. This map is to subdivide only, not a grading plan for finished lots. That plan will be submitted later after we have approved lots.

Dennis Thomas
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(650) 578-0330 Office
(650) 578-0394 Fax
(650) 867-8811 Cell

Lisa Ekers

To: Date: jtoby@leabraze.com 12/11/2006 1:34 PM

Subject:

Fwd: RE: Ascension

CC:

Matthew Seubert

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From: <u>SMREdt@aol.com</u> [mailto:SMREdt@aol.com] Sent: Thursday, December 07, 2006 4:28 PM

To: MSeubert@co.sanmateo.ca.us

Subject: Re: Ascension

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(650) 867-8811 Cell

"Geoff Reilly" < geoff@cajaeir.com>

To:

"'Matthew Seubert'" < MSeubert@co.sanmateo.ca.us>

Date:

7/14/2006 9:33 AM

Subject:

RE: Thomas Subdivision EIR

# Sounds good. Thanks Matt!

----Original Message-----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Friday, July 14, 2006 8:43 AM

To: Geoff Reilly

Cc: 'Jennie Anderson'; 'Chris Joseph'; Jim Eggemeyer; Virginia Diehl

Subject: RE: Thomas Subdivision EIR

## Geoff,

Thanks for your response. Virginia tells me that the contract has been extended until June of 2007, and that there is a bit over \$20,000 left on it. At this point, the applicant must resubmit plans to obtain PW approval. When PW has given approval, I will then forward the full set to you so that you can prepare a contract amendment, as well as begin work on the updated EIR.

Matt Seubert Project Planner

>>> "Geoff Reilly" <geoff@cajaeir.com> 7/12/2006 11:55 AM >>> Thank you Matt for the updates. We are able to work on this project as long as the contract can be extended to. Hence if it is extended another year that does not represent a problem for us. We could prepare a contract amendment for your consideration upon Public Works approval of the resubmittal. In order to prepare the contract amendment we would appreciate receiving copies of all maps and correspondence related to the approved resubmittal, and then ultimately the County's approval of the contract amendment.

## Geoff

----Original Message-----

From: Matthew Seubert [mailto:MSeubert@co.sanmateo.ca.us]

Sent: Wednesday, July 12, 2006 9:08 AM

To: Geoff Reilly

Cc: Jim Eggemeyer; Virginia Diehl Subject: Re: Thomas Subdivision EIR

## Geoff,

Public Works failed the most recent submittal from the applicant:

6/29/06 LE: Reviewed resubmittal received by PLN 6/6/06. Sewer laterals and mains have been relocated, but plans are still incomplete (missing utility info, road data, etc). Recommend applicant obtain a copy of Subdivision Regulations and refer to Section 7011 for requirements for tentative maps.

I have let the applicant know this, and they will have to resubmit to get Public Works approval. When that happens, I'll let you know so that you can continue with the environmental review.

Virginia Diehl has been working on extending your contract for another year (I think it may already be extended). How long will you be able to continue working on that extended contract? At what point do you need a contract amendment, and what do you need from us to have the contract amended?

Matt

>>> "Geoff Reilly" <geoff@cajaeir.com> 7/11/2006 4:15 PM >>> Hi Matt,

Any new updates to report? Thanks for any information you may be able to provide and clarifying if we can be of any help at this time.

Sincerely,

Geoff

Geoffrey Reilly Vice President/Regional Manager geoff@cajaeir.com

Christopher A. Joseph & Associates Environmental Planning and Research www.cajaeir.com

Petaluma Office 179 H Street Petaluma, CA 94952 Phone: (707) 283-4040 Fax: (707) 283-4041

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it be received by another person, its contents are to be treated as strictly confidential. It is privileged communications between the firm

and the person(s) named. Any use, distribution or reproduction of the information by anyone other than that person is prohibited.

Jim Eggemeyer Matthew Seubert

To: Date:

3/15/2007 4:22 PM

Subject:

Re: Dennis Thomas subdivision

I spoke with Lisa E. yesterday and we agreed that based on their reviews right now and conditions they are preparing (check and see if P\*P is updated yet), that the project can move off dead center and move back along with CAJA's review and document preparation. Please make sure that the comments and conditions of approval from DPW are shared with CAJA so that there are no conflicts with project discussions in the report and mitigation measures proposed. That should go for all of our agency reviews. Thanks.

jke

>>> Matthew Seubert 3/12/2007 10:14 AM >>> Jim,

I sent the referral to Ken Au, but I believe that he and Richard are both reviewing this one as it is a large project. Lisa Ekers and Mark Chow with Crystal Springs Sewer District have also reviewed the project (Mark Chow provided conditions, but the PW review still has a 'fail'.) Perhaps I could give Dennis the option of proceeding with the environmental review - at his own financial risk if there are further significant changes required as a result of PW review?

-Matt

>>> Jim Eggemeyer 3/9/2007 9:21 AM >>> Who in DPW is reviewing your project? Do you know? Please let me know. Thanks.

jke

>>> Matthew Seubert 3/8/2007 4:34 PM >>> Jim,

Dennis Thomas is anxious to get his revised subdivision back to CAJA for EIR review. It has been held up because Public Works still has a 'Fail' on the project as they are still reviewing storm drainage plans. The storm drainage plans do not any longer include any above-ground detention basins, and what PW is reviewing at this point is apparently all underground. Dennis thinks it should be ok to move the project back to the consultant as even if PW has comments, they shouldn't affect anything above ground. Is it ok for me to send this on to CAJA or should I wait until PW has removed their 'Fail?' Thanks.

-Matt